

February 23, 2017

NOTICE OF DECISIONS
(Section 53 and 54 of the Planning Act)

PLEASE NOTE:

Application(s) Deferred *sine die*:

- Item 22. 19 Farrell Ave., A1092/16NY

Thursday, February 23, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0019/16NY	Zoning	R4/RD (f15.0; a550)(ZR)
Owner(s):	RAJINDER SINGH SETHI	Ward:	Willowdale (24)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	302 CUMMER AVE	Community:	North York
Legal Description:	CON I EY PT LOT 23		

Notice was given and the application considered on Thursday, February 23, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into three parts for the purpose of lot additions to facilitate the creation of three new residential building lots fronting onto Maxome Avenue.

Conveyed - Part 1

The frontage is 14.25m along Cummer Avenue with a lot area is 262.4m². Part 1 will be added to Part 2 severed from related consent file B0020/16NY to create a new building lot fronting onto Maxome Avenue (LOT 1) with a frontage of 17.81m and a lot area of 494.2m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable Zoning By-law(s).

Conveyed - Part 3

The frontage is 15.51m along Cummer Avenue with a lot area is 232.0m². Part 3 will be added to Part 4 severed from consent file B0020/16NY to create a new building lot fronting onto Maxome Avenue (LOT 2) with a frontage of 14.47m and a lot area of 443.0m². The property will be redeveloped as the site of a new two-storey detached dwelling requiring variances to the applicable Zoning By-law(s).

Conveyed - Parts 5

The frontage is 16.54m along Cummer Avenue and the lot area is 231.8m². Part 5 will be added to Part 6 severed from consent file B0020/16NY to create a new building lot fronting Maxome Avenue (LOT 3) with a frontage of 13.62m and a lot area of 443.8m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable Zoning By-law(s).

PART 7 is a road widening for the City.

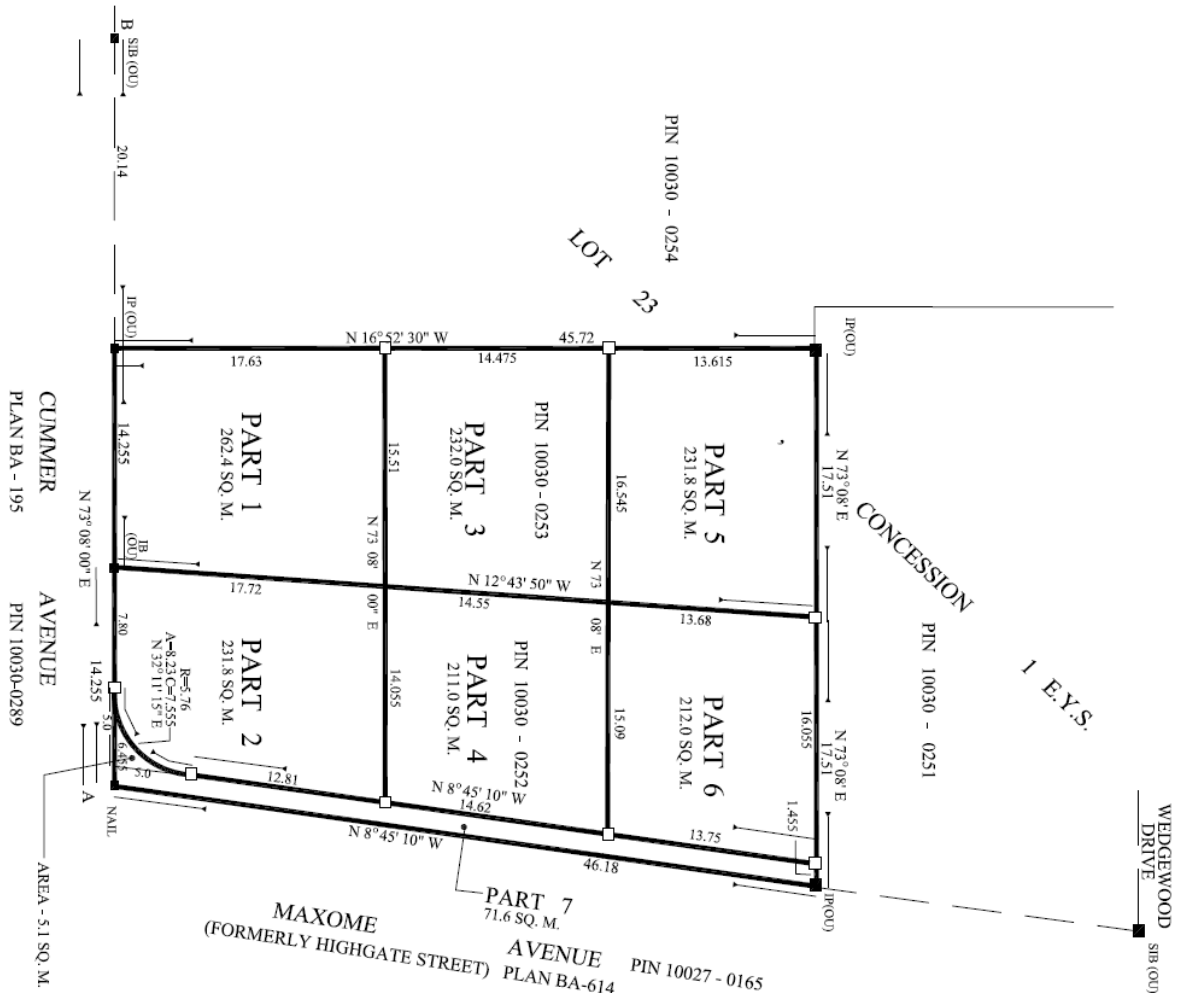
The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
4. **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
5. The applicant to satisfy the requirements of the Engineering and Construction Services Division;
 - i. The owner shall convey to the City, at nominal cost, such lands to be free and clear of all encumbrances, save and except for utility poles and subject to a right-of-way for access purposes in favour of the Grantor until such times as said lands have been laid out and dedicated for public highway purposes:
 - a. a 6.00m corner rounding on the north-west corner of Cummer Avenue and Maxome Avenue; and
 - b. A 1.44m widening is required along the Maxome Avenue frontage of No. 304 Cummer Avenue to satisfy the requirement of a 23m wide right-of-way.

Deeds for these lands in a satisfactory form shall be deposited with the City Solicitor and registered by the City prior to the stamping of the deeds for severance.
6. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE

P. MANSFIELD, OLS

LAND REGISTRAR FOR THE LAND TITLES DIVISION OF TORONTO. (No. 66)

DATE

PLAN 66R -
RECEIVED AND DEPOSITED

SCHEDULE	LOT	CON	PIN
1			PART OF 10030-0253
2			PART OF 10030-0252
3	PART OF 23	1 E.Y.S.	PART OF 10030-0253
4			PART OF 10030-0252
5			PART OF 10030-0253
6			PART OF 10030-0252
7			PART OF 10030-0252

PLAN OF SURVEY OF
PART OF LOT 23
CONCESSION 1 E. Y.S.
FORMERLY CITY OF NORTH YORK
CITY OF TORONTO

SCALE: 1:250

0 6 12 24 METRES

PETER J. MANSFIELD, OLS - 2016

NOTES

BEARINGS SHOWN HEREON ARE ASTRONOMIC AND ARE DERIVED FROM THE ONTARIO COORDINATE SYSTEM, ZONE 10 CENTRAL MERIDIAN 79°30' WEST LONGITUDE. (STATIONS 02019700976 AND 02019784194)

- DENOTES FOUND SURVEY MONUMENT
- SIB STANDARD IRON BAR
- IB IRON BAR
- OU ORIGIN UNKNOWN
- MS MEASURED
- D1 INST. TR51891
- D2 INST. TB528421
- P1 PLAN BA-195
- P2 PLAN BA-614

DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND LEVEL DISTANCES WHICH CAN BE CONVERTED TO GRID DISTANCES AND COORDINATES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.99987.

NAD 83 - CGRS INTEGRATION - ATM COORDINATES	NORTHING	EASTING
POINT A	4895285	31260428
POINT B	4895285.721	3126043.753

COORDINATES IN THESE VALUES CANNOT BE USED TO ESTABLISH PROPERTY CORNERS OR BOUNDARIES.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM;
 - THE SURVEY WAS COMPLETED ON
- DATE

P. J. MANSFIELD
ONTARIO LAND SURVEYOR

METRIC CONVERSION
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Job No. 15-4559

P. J. MANSFIELD
Ontario Land Surveyor
58 CHIEFTAIN CRESCENT
BARRIE ONTARIO L4N 4L8
705 - 728 - 8832

SIGNATURE PAGE

File Number:	B0019/16NY	Zoning	R4/RD (f15.0; a550)(ZR)
Owner(s):	RAJINDER SINGH SETHI	Ward:	Willowdale (24)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	302 CUMMER AVE	Community:	North York
Legal Description:	CON I EY PT LOT 23		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 22, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, February 23, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0020/16NY	Zoning	R4/RD (f15.0; a550)(ZR)
Owner(s):	SHALINI SETHI RABINDER SETHI	Ward:	Willowdale (24)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	304 CUMMER AVE	Community:	North York
Legal Description:	YORK CON 1 EYS PT LOT 23		

Notice was given and the application considered on Thursday, February 23, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into three parts for the purpose of lot additions to facilitate the creation of three new residential building lots fronting onto Maxome Avenue.

Conveyed - Part 2

The frontage is 14.25m along Cummer Avenue and the lot area is 262.4m². Part 2 will be added to Part 1 severed from consent file B0019/16NY to create a new building lot fronting onto Maxome Avenue (LOT 1) with a new frontage of 17.81m and a lot area of 494.2m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable Zoning By-law(s).

Conveyed - Part 4

The frontage is 15.51m along Cummer Avenue and the lot area is 211.0m². Part 4 will be added to Part 3 severed from consent application B0019/16NY to create a new building lot fronting Maxome Avenue (LOT 2) with a new frontage of 14.47m and a lot area of 443.0m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable Zoning By-law(s).

Conveyed - Parts 6

The frontage is 16.54m along Cummer Avenue and the lot area is 212.0m². Part 6 will be added to Part 5 severed from consent application B0019/16NY to create a new building lot fronting Maxome Avenue (LOT 3) with a frontage of 13.62m and a lot area of 443.8m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable Zoning By-law(s).

PART 7 is a road widening for the City.

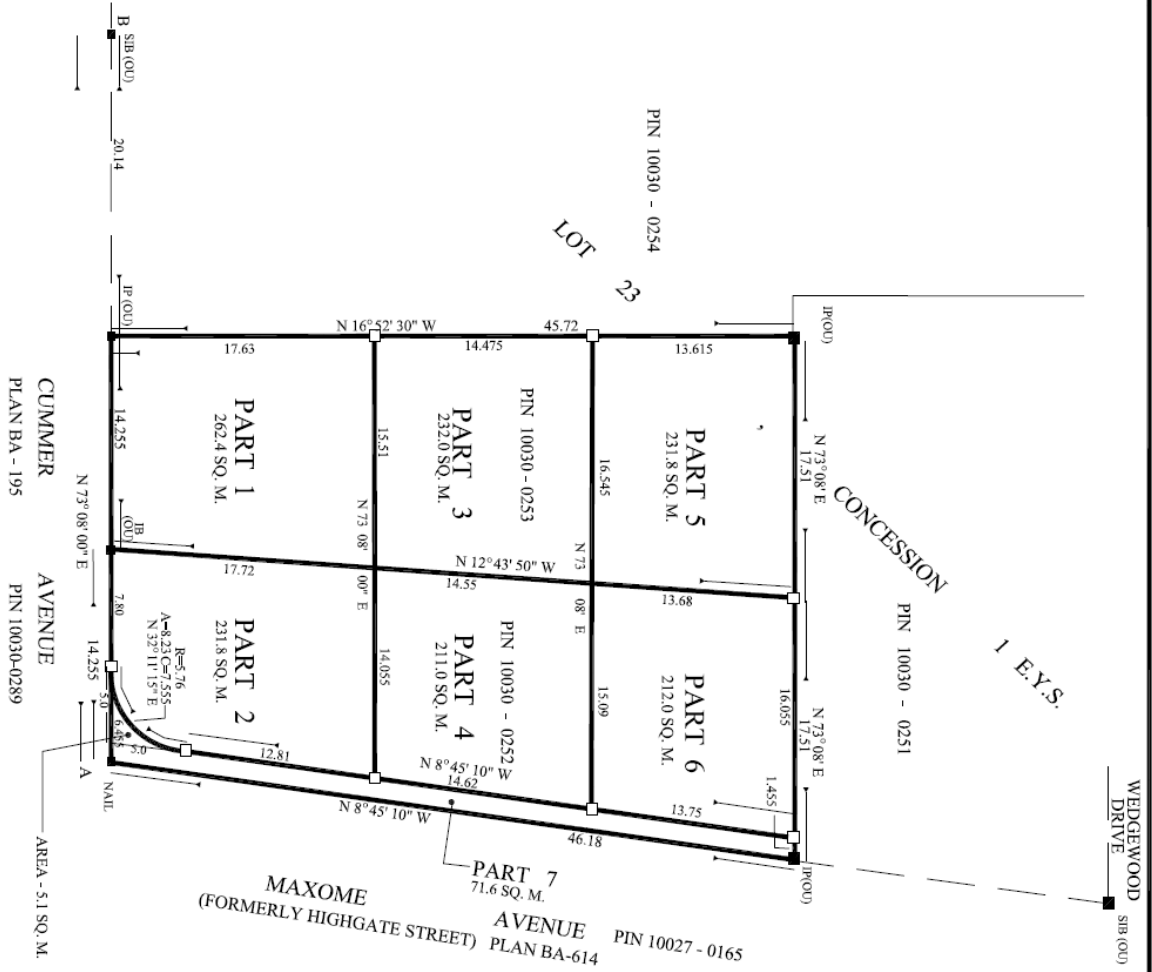
The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
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 - i. The owner shall convey to the City, at nominal cost, such lands to be free and clear of all encumbrances, save and except for utility poles and subject to a right-of-way for access purposes in favour of the Grantor until such times as said lands have been laid out and dedicated for public highway purposes:
 - a) a 6.00m corner rounding on the north-west corner of Cummer Avenue and Maxome Avenue; and
 - b) A 1.44m widening is required along the Maxome Avenue frontage of No. 304 Cummer Avenue to satisfy the requirement of a 23m wide right-of-way.

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6. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.		PLAN 60R - RECEIVED AND DEPOSITED	
DATE		DATE	
P. MANSFIELD, O.L.S.		LAND REGISTRAR FOR THE LAND TITLES DIVISION OF TORONTO. (No. 66)	

SCHEDULE	LOT	CON.	PIN
1			PART OF 10030-0253
2			PART OF 10030-0252
3	PART OF 23	1 E.Y.S.	PART OF 10030-0253
4			PART OF 10030-0252
5			PART OF 10030-0253
6			PART OF 10030-0252
7			PART OF 10030-0252

PLAN OF SURVEY OF
 PART OF LOT 23
 CONCESSION 1 E.Y.S.
 FORMERLY CITY OF NORTH YORK
 CITY OF TORONTO



SCALE: 1:250
 0 6 12 24 METRES
 PETER J. MANSFIELD, O.L.S. - 2016

NOTES

BEARINGS SHOWN HEREON ARE ASTRONOMICAL AND ARE DERIVED FROM THE ONTARIO COORDINATE SYSTEM, ZONE 10 CENTRAL MERIDIAN 79° 30' WEST LONGITUDE. (STATIONS 02019700976 AND 02019784194)

- FOUND SURVEY MONUMENT
- SIB STANDARD IRON BAR
- IB IRON BAR
- OU ORIGIN UNKNOWN
- MS MEASURED
- D1 INST. TR51891
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- P1 PLAN BA-195
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DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND LEVEL DISTANCES WHICH CAN BE CONVERTED TO GRID DISTANCES AND COORDINATES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.99987.

NAD 83 - CGRS INTEGRATION - MTM COORDINATES POINT	NORTHING	EASTING
A	4849652.835	312710.428
B	4849658.741	312665.875

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
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 - THE SURVEY WAS COMPLETED ON
- DATE

P. J. MANSFIELD
 ONTARIO LAND SURVEYOR

METRIC CONVERSION
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

Job No. 15-4559
 P. J. MANSFIELD
 Ontario Land Surveyor
 58 CHEFFAIN CRESCENT
 BARRIE, ONTARIO L4N 4L8
 705 - 728 - 8832

SIGNATURE PAGE

File Number:	B0020/16NY	Zoning	R4/RD (f15.0; a550)(ZR)
Owner(s):	SHALINI SETHI RABINDER SETHI	Ward:	Willowdale (24)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	304 CUMMER AVE	Community:	North York
Legal Description:	YORK CON 1 EYS PT LOT 23		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 22, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0339/16NY	Zoning	R4/RD (f15.0; a550)(ZR)
Owner(s):	RABINDER SETHI RABINDER SETHI	Ward:	Willowdale (24)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	304 CUMMER AVE (PARTS 1 & 2)	Community:	North York
Legal Description:	YORK CON 1 EYS PT LOT 23		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage fronting Cummer Avenue.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 494.2m².
- 2. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
The permitted maximum lot coverage is 30.0% of the lot area.
The proposed lot coverage is **32.80%** of the lot area.
- 3. Chapter 10.5.80.40.(3), Zoning By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front street.
- 4. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the north side exterior main wall is 8.35m.
- 5. Chapter 10.5.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 6.85m.
The proposed front yard setback is 5.06m.

6. **Chapter 13.2.3(b), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed north side yard setback is 1.52m.
7. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 494.2m².
8. **Section 13.2.3(b), Zoning By-law No. 7625**
The required minimum side yard setbacks are 1.8m each side.
The proposed north side yard setback is 1.52m.
9. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is **32.80%** of the lot area.
10. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **9.37m**.
11. **Section 13.2.3(a), Zoning By-law No. 7625**
The minimum required front yard setback is 7.5m, +/- 1.0m.
The proposed front yard setback is 5.06m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant to satisfy the requirements of the Engineering and Construction Services Division.
 - a) The driveway accesses on Cummer Avenue must be removed and restored to soft landscaping;
and
 - b) The applicant must apply for a Construction Access permit from Transportation Services' Right-of-Way Management for the required access approval and curb repairs.

SIGNATURE PAGE

File Number:	A0339/16NY	Zoning	R4/RD (f15.0; a550)(ZR)
Owner:	RABINDER SETHI RABINDER SETHI	Ward:	Willowdale (24)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	304 CUMMER AVE (PARTS 1 & 2)	Community:	North York
Legal Description:	YORK CON 1 EYS PT LOT 23		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0340/16NY	Zoning	R4/RD (f15.0; a550)(ZR)
Owner(s):	RABINDER SETHI RABINDER SETHI	Ward:	Willowdale (24)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	304 CUMMER AVE (PARTS 3 & 4)	Community:	North York
Legal Description:	YORK CON 1 EYS PT LOT 23		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage fronting Cummer Avenue.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 6.85m.
The proposed front yard setback is 5.6m.
- 2. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 443.0m².
- 3. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15.0m.
The proposed lot frontage is 14.47m.
- 4. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
The permitted maximum lot coverage is 30.0% of the lot area.
The proposed lot coverage is **32.5%** of the lot area.
- 5. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the south side exterior main wall is 8.35m.

6. **Chapter 900.3.10(5), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed south side yard setback is 1.52m.
7. **Chapter 900.3.10(5), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed north side yard setback is 1.52m.
8. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15.0m.
The proposed lot frontage is 14.62m.
9. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 443.0m².
10. **Section 13.2.3(b), Zoning By-law No. 7625**
The required minimum side yard setbacks are 1.8m each side.
The proposed south side yard setback is 1.52m.
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The required minimum side yard setbacks are 1.8m each side.
The proposed north side yard setback is 1.52m.
12. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is **32.50%** of the lot area.
13. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **9.42m**.
14. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed. The minimum required lot width is 15.0m.
The proposed lot width is 14.47m.
15. **Section 13.2.3(a), Zoning By-law No. 7625**
The minimum required front yard setback is 7.5m, +/- 1.0m.
The proposed front yard setback is 5.06m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant to satisfy the requirements of the Engineering and Construction Services Division.
 - a) The driveway accesses on Cummer Avenue must be removed and restored to soft landscaping;
and
 - b) The applicant must apply for a Construction Access permit from Transportation Services' Right-of-Way Management for the required access approval and curb repairs.

2. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf. Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0340/16NY	Zoning	R4/RD (f15.0; a550)(ZR)
Owner:	RABINDER SETHI RABINDER SETHI	Ward:	Willowdale (24)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	304 CUMMER AVE (PARTS 3 & 4)	Community:	North York
Legal Description:	YORK CON 1 EYS PT LOT 23		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0341/16NY	Zoning:	R4/RD (f15.0; a550)(ZR)
Owner(s):	RAJINDER SINGH SETHI RABINDER SETHI	Ward:	Willowdale (24)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	302 CUMMER AVE (PARTS 5 & 6)	Community:	North York
Legal Description:	CON IEY PT LOT 23		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage fronting Cummer Avenue.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 443.8m².
- 2. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15.0m.
The proposed lot frontage is 13.62m.
- 3. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
The permitted maximum lot coverage is 30.0 percent of the lot area.
The proposed lot coverage is **32.5%** of the lot area.
- 4. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the north side exterior main wall is 8.49m.

5. **Chapter 10.5.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 6.85m.
The proposed front yard setback is 5.32m.
6. **Chapter 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed south side yard setback is 1.52m.
7. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15.0m.
The proposed lot frontage is 13.76m.
8. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 443.8m².
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The required minimum side yard setbacks are 1.8m each side.
The proposed south side yard setback is 1.52m.
10. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is **32.5%** of the lot area.
11. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **9.23m**.
12. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed. The minimum required lot width is 15.0m.
The proposed lot width is 13.62m.
13. **Section 13.2.3(a), Zoning By-law No. 7625**
The minimum required front yard setback is 7.5m +/- 1.0m.
The proposed front yard setback is 5.32m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant to satisfy the requirements of the Engineering and Construction Services Divisio;
 - a) The driveway accesses on Cummer Avenue must be removed and restored to soft landscaping;
and
 - b) The applicant must apply for a Construction Access permit from Transportation Services' Right-of-Way Management for the required access approval and curb repairs.

SIGNATURE PAGE

File Number:	A0341/16NY	Zoning	R4/RD (f15.0; a550)(ZR)
Owner:	RAJINDER SINGH SETHI RABINDER SETHI	Ward:	Willowdale (24)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	302 CUMMER AVE (PARTS 5 & 6)	Community:	North York
Legal Description:	CON IEY PT LOT 23		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0037/16NY	Zoning	R4/RD (f15.0; a550) x5(ZR)
Owner(s):	JIN SOO KIM	Ward:	Willowdale (23)
Agent:	C/O AIRD AND BERLIS, BARRISTERS & SOLICITORS	Heritage:	Not Applicable
Property Address:	155 DREWRY AVE	Community:	North York
Legal Description:	PLAN 7583 LOT 3		

Notice was given and the application considered on Thursday, February 23, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized (lot frontages) residential lots.

Conveyed - Part 1

Address to be assigned

The frontage is 10.0m and the lot area is 604.9m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s).

Retained - Part 2

Address to be assigned

The frontage is 10.0m and the lot area is 604.9m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

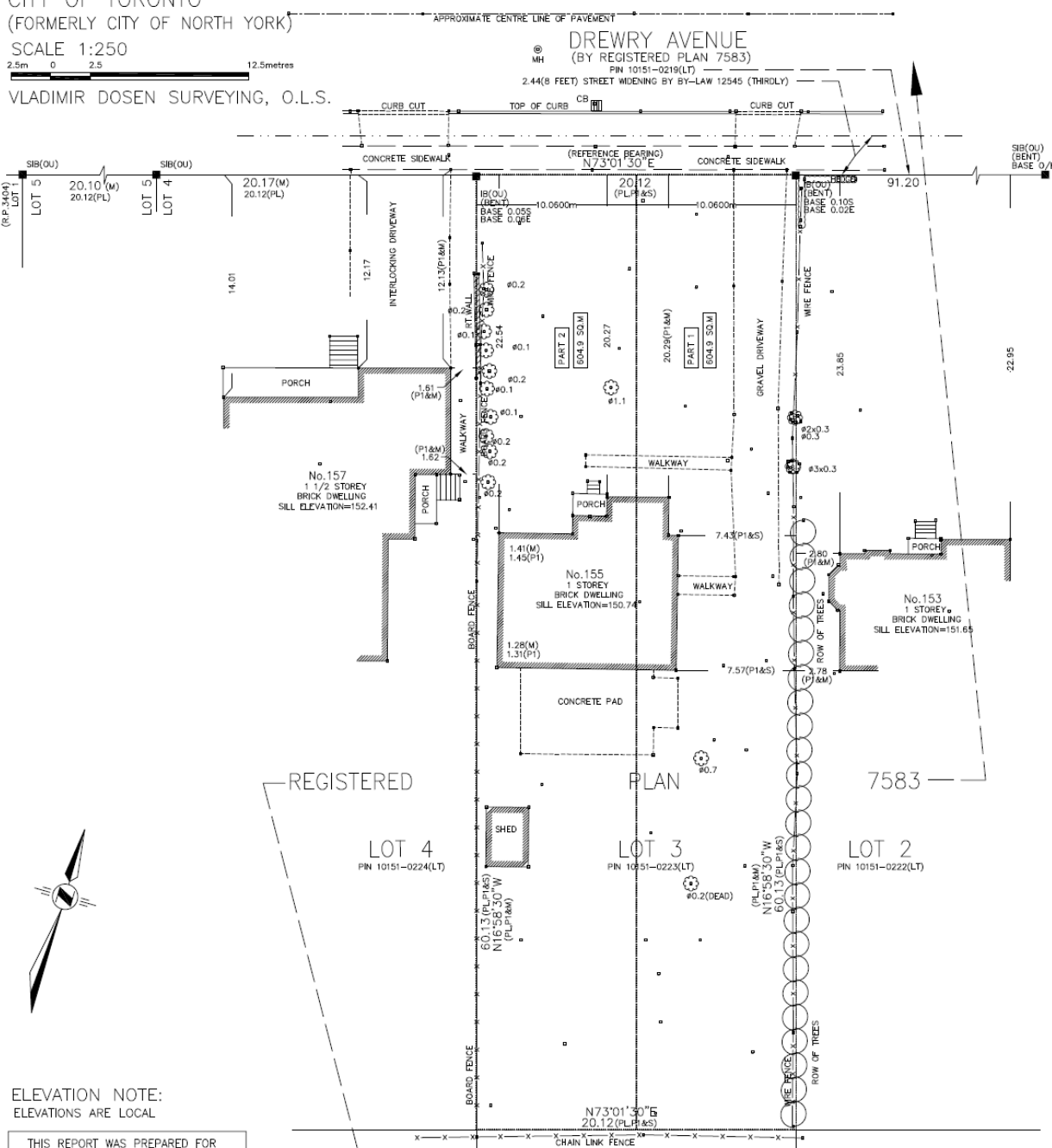
- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SKETCH SHOWING
 TOPOGRAPHIC DETAIL OF
 LOT 3
 REGISTERED PLAN 7583
 CITY OF TORONTO
 (FORMERLY CITY OF NORTH YORK)

METRIC
 DISTANCES SHOWN ON THIS
 PLAN ARE IN METRES AND
 CAN BE CONVERTED TO
 FEET BY DIVIDING BY 0.3048

SCALE 1:250
 2.5m 0 2.5 12.5metres

VLADIMIR DOSEN SURVEYING, O.L.S.



ELEVATION NOTE:
 ELEVATIONS ARE LOCAL

THIS REPORT WAS PREPARED FOR
 DAVID JANG
 AND THE UNDERSIGNED ACCEPTS NO
 RESPONSIBILITY FOR USE BY
 OTHER PARTIES.

NOTE:
 THIS IS NOT A PLAN OF SURVEY.
 BOUNDARY DATA TAKEN FROM VARIOUS PLANS AND SHALL
 NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES.

- NOTES AND LEGEND
- DENOTES SURVEY MONUMENT PLANTED
 - DENOTES SURVEY MONUMENT FOUND
 - SIB DENOTES STANDARD IRON BAR
 - IB DENOTES IRON BAR
 - SSIB DENOTES SHORT STANDARD IRON BAR
 - WIT DENOTES WITNESS
 - OU DENOTES ORIGIN UNKNOWN
 - S DENOTES SET
 - M DENOTES MEASURED
 - C DENOTES CALCULATED
 - PL DENOTES REGISTERED PLAN 7583
 - PT DENOTES PLAN BY W.S.GIBSON & SONS, O.L.S. DATED APRIL 28, 1969
 - MH DENOTES MANHOLE
 - CB DENOTES CATCH BASIN
 - DENOTES TREE

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF VLADIMIR DOSEN, O.L.S.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 THE FIELD WORK WAS COMPLETED ON THE
 4th DAY OF JULY, 2015
 JULY 7, 2015
 DATE VLADIMIR DOSEN, B.Sc.
 ONTARIO LAND SURVEYOR

BEARING NOTE:
 BEARINGS ARE ASTRONOMIC AND ARE
 DERIVED FROM THE SOUTHERLY
 LIMIT OF DREWRY AVENUE
 AS SHOWN ON REGISTERED PLAN 7583
 HAVING A BEARING OF N73°01'30"E

VLADIMIR DOSEN SURVEYING
 ONTARIO LAND SURVEYORS
 555 DAVISVILLE AVENUE
 TORONTO, ONTARIO M4S 1J2
 PHONE:(416) 466-0440 EMAIL:vladdosen@rogers.com
 FIELD: EGON CAD FILE: 155 DREWRY AVENUE
 DRAWN BY: NATHAN FILE: 15-133
 CHECKED BY: VD JOB No: 15272

SIGNATURE PAGE

File Number:	B0037/16NY	Zoning	R4/RD (f15.0; a550) x5(ZR)
Owner(s):	JIN SOO KIM	Ward:	Willowdale (23)
Agent:	C/O AIRD AND BERLIS, BARRISTERS & SOLICITORS	Heritage:	Not Applicable
Property Address:	155 DREWRY AVE	Community:	North York
Legal Description:	PLAN 7583 LOT 3		

Bruce Mullock (signed)

Nazila Atarodi (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 22, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0504/16NY	Zoning	R4/RD (f15.0; a550) x5(ZR)
Owner(s):	JIN SOO KIM	Ward:	Willowdale (23)
Agent:	C/O AIRD AND BERLIS, BARRISTERS & SOLICITORS	Heritage:	Not Applicable
Property Address:	155 DREWRY AVE (PART 1)	Community:	North York
Legal Description:	PLAN 7583 LOT 3		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15.0m.
The proposed lot frontage is 10.0m.
- Chapter 10.20.40.20(1), Zoning By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 17.98m.
- Chapter 900.3.10(5) Exceptions to RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.8m.
The proposed east side yard setback is 0.9m.
- Chapter 900.3.10(5) Exceptions to RD Zone, Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.8m.
The proposed west side yard setback is 1.2m.
- Chapter 10.5.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 18.0m.
The proposed front yard setback is 12.2m.
- Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15.0m.
The proposed lot frontage is 10.0m.

7. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 0.9m.
8. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard is 1.2m.
9. **Section 13.2.5A, Zoning By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 22.68m.
10. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0504/16NY	Zoning	R4/RD (f15.0; a550) x5(ZR)
Owner:	JIN SOO KIM	Ward:	Willowdale (23)
Agent:	C/O AIRD AND BERLIS, BARRISTERS & SOLICITORS	Heritage:	Not Applicable
Property Address:	155 DREWRY AVE (PART 1)	Community:	North York
Legal Description:	PLAN 7583 LOT 3		

Bruce Mullock (signed)

Nazila Atarodi (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0507/16NY	Zoning	R4/RD (f15.0; a550) x5(ZR)
Owner(s):	JIN SOO KIM	Ward:	Willowdale (23)
Agent:	C/O AIRD AND BERLIS, BARRISTERS & SOLICITORS	Heritage:	Not Applicable
Property Address:	155 DREWRY AVE (PART 2)	Community:	North York
Legal Description:	PLAN 7583 LOT 3		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.20.(1), By-law No. 569-2013**
The required minimum lot frontage is 15.0m.
The proposed lot frontage is 10.0m.
- 2. Chapter 10.20.40.20(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 17.98m.
- 3. Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8m.
The proposed east side yard setback is 1.2m.
- 4. Chapter 900.3.10(5) Exceptions to RD Zone, By-law No. 569-2013**
The required minimum side yard setback is 1.8m.
The proposed west side yard setback is 0.9m.
- 5. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 18.0m.
The proposed front yard setback is 12.2m.
- 6. Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15.0m.
The proposed lot frontage is 10.0m.

7. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.2m.
8. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 0.9m.
9. **Section 13.2.5A, Zoning By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 22.98m.
10. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0507/16NY	Zoning	R4/RD (f15.0; a550) x5(ZR)
Owner:	JIN SOO KIM	Ward:	Willowdale (23)
Agent:	C/O AIRD AND BERLIS, BARRISTERS & SOLICITORS	Heritage:	Not Applicable
Property Address:	155 DREWRY AVE (PART 2)	Community:	North York
Legal Description:	PLAN 7583 LOT 3		

Bruce Mullock (signed)

Nazila Atarodi (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0077/16NY	Zoning:	R7/RD (f9.0; a275)(ZR)
Owner(s):	ELAZAR MOSHE JOSPEH	Ward:	Eglinton-Lawrence (15)
Agent:	MICHAEL COGAN ARCHITECT	Heritage:	Not Applicable
Property Address:	841 GLENCAIRN AVE	Community:	North York
Legal Description:	PLAN 1911 LOT 81		

Notice was given and the application considered on Thursday, February 23, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized (lot frontage) residential lots.

Conveyed - PART 1 (east)

Address to be assigned

The frontage is 7.62m and the lot area is 304.1m². The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s).

Retained - PART 2 (west)

Address to be assigned

The frontage is 7.62m and the lot area is 306.34m². The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf. Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.
- (6) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

PLAN OF SURVEY OF
LOT 81
 REGISTERED PLAN 1911
 CITY OF TORONTO
 FORMERLY CITY OF NORTH YORK

SCALE 1 : 150

AKSAN PILLER CORPORATION LTD.

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 66R-

RECEIVED AND DEPOSITED:

DATE: _____

DATE: _____

ANNA AKSAN
 Ontario Land Surveyor

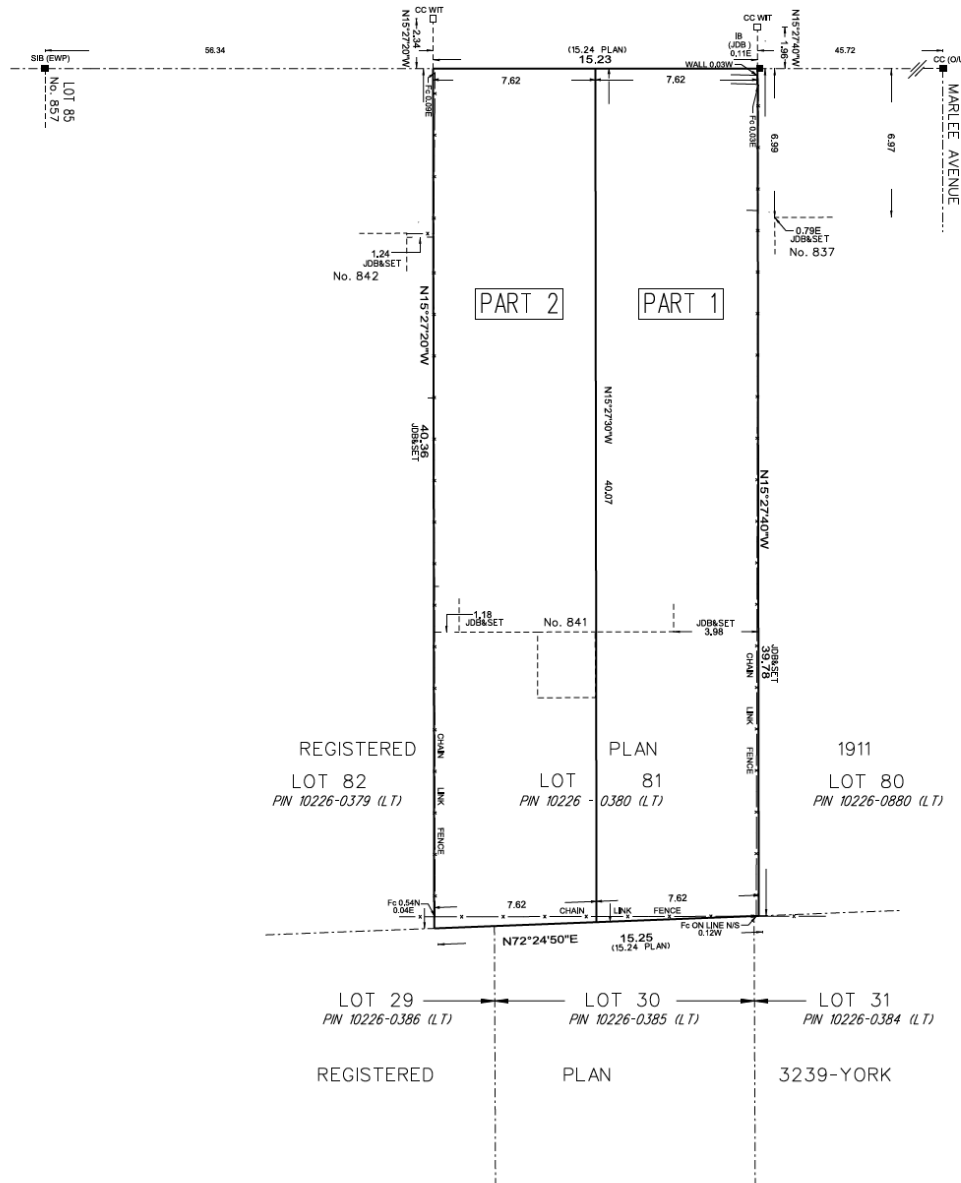
REPRESENTATIVE FOR LAND REGISTRAR
 FOR THE LAND TITLES DIVISION OF THE
 TORONTO REGISTRY OFFICE No. 66

SCHEDULE

PART	ALL OF LOT	PLAN	ALL OF PIN	AREA (m ² .)
1	81	1911	PIN 10226-0380 (LT)	304.1
2				306.3

GLENCAIRN AVENUE
 FORMERLY PARK ROAD
 BY REGISTERED PLAN 1911-YORK
 PIN 10226-0444 (LT)

(REFERENCE BEARING)
 N 74° 37' 00" E



LEGEND:

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT PLANTED
- IB DENOTES IRON BAR
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- CC DENOTES CUT CROSS
- CP DENOTES CONCRETE PIN
- WIT DENOTES WITNESS MONUMENT
- O/U DENOTES ORIGIN UNKNOWN
- N DENOTES NORTH
- S DENOTES SOUTH
- E DENOTES EAST
- W DENOTES WEST
- Fc DENOTES FENCE
- CLF DENOTES CHAIN LINK FENCE
- BF DENOTES BOARD FENCE
- P & W DENOTES POST AND WIRE FENCE
- PLAN DENOTES REGISTERED PLAN 1911-YORK
- JOB DENOTES J.D.BARRIS, O.L.S. (JUNE 17/93)
- EWP DENOTES E.W.PETZOLD, O.L.S. (PLAN LS-402-R)
- UP DENOTES UTILITY POLE

METRIC:
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE:
 BEARINGS ARE REFERRED TO THE SOUTHERLY LIMIT OF GLENCAIRN AVENUE AS SHOWN ON REGISTERED PLAN 1911-YORK HAVING AN ASTROMERIC BEARING OF N74° 37' 00" E.

SURVEYOR'S CERTIFICATE:

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM;
 - THE SURVEY WAS COMPLETED ON THE 13th DAY OF JULY, 2016.

JULY 18, 2016
 DATE

HELMUT PILLER
 Ontario Land Surveyor



AKSAN PILLER CORPORATION LTD

ONTARIO LAND SURVEYORS
 943 MT PLEASANT ROAD, TORONTO, ONTARIO, M4P 2L7
 (T) 416-482-1174 (F) 416-482-7843 (E) info@axpinc.com www.axpinc.com
 CALC: MU DRAWN: KZ CHECKED: HP
 reference number: 16-24-12006-00

SIGNATURE PAGE

File Number:	B0077/16NY	Zoning	R7/RD (f9.0; a275)(ZR)
Owner(s):	ELAZAR MOSHE JOSPEH	Ward:	Eglinton-Lawrence (15)
Agent:	MICHAEL COGAN ARCHITECT	Heritage:	Not Applicable
Property Address:	841 GLENCAIRN AVE	Community:	North York
Legal Description:	PLAN 1911 LOT 81		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 22, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0921/16NY	Zoning	R7/RD (f9.0; a275)(ZR)
Owner(s):	ELAZAR MOSHE JOSPEH	Ward:	Eglinton-Lawrence (15)
Agent:	MICHAEL COGAN ARCHITECT	Heritage:	Not Applicable
Property Address:	841 GLENCAIRN AVE (PART 1)	Community:	North York
Legal Description:	PLAN 1911 LOT 81		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**
A minimum of 10m² of the first floor area must be within 4m of the front wall.
There is 7.15m² proposed within 4m of the front wall.
- 2. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 9.0m.
The proposed lot frontage is 7.62m.
- 3. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m for 100% of the width of the wall.
The proposed height of the east side exterior main walls facing a side lot line is 7.85m for 30.0% of the width of the wall and 7.39m for 70.0% of the width of the wall.
- 4. Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 18.29m.
- 5. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setback is 0.9m.
The proposed west side yard setback is 0.6m.

6. **Section 14-B(4), Zoning By-law No. 7625**
The minimum required lot frontage is 9.0m.
The proposed lot frontage is 7.62m.
7. **Section 14-B(5)(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.2m.
The proposed west side yard setback is 0.6m.
8. **Section 14-B(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 18.65m.
(Note that 0.36m was added to the building length due to the front yard setback).
9. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed. The minimum required lot width is 9.0m .
The proposed lot width is 7.62m.
10. **Section 14-B(8), Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0921/16NY	Zoning	R7/RD (f9.0; a275)(ZR)
Owner:	ELAZAR MOSHE JOSPEH	Ward:	Eglinton-Lawrence (15)
Agent:	MICHAEL COGAN ARCHITECT	Heritage:	Not Applicable
Property Address:	841 GLENCAIRN AVE (PART 1)	Community:	North York
Legal Description:	PLAN 1911 LOT 81		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0922/16NY	Zoning	R7/RD (f9.0; a275)(waiver)
Owner(s):	ELAZAR MOSHE JOSPEH	Ward:	Eglinton-Lawrence (15)
Agent:	MICHAEL COGAN ARCHITECT	Heritage:	Not Applicable
Property Address:	841 GLENCAIRN AVE (PART 2)	Community:	North York
Legal Description:	PLAN 1911 LOT 81		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the first floor area must be within 4m of the front wall.
There is 7.15m² proposed within 4m of the front wall.
- 2. Chapter 10.20.30.20.(1), By-law No. 569-2013**
The required minimum lot frontage is 9.0m.
The proposed lot frontage is 7.62m.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m, for 100% of the width of the wall.
The proposed height of the west side exterior main walls facing a side lot line is 7.78m for 30.0% of the width of the wall and 7.33m for 70.0% of the width of the wall.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 18.29m.
- 5. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 0.9m.
The proposed east side yard setback is 0.6m.

6. **Section 14-B(4), Zoning By-law No. 7625**
The minimum required lot frontage is 9.0m.
The proposed lot frontage is 7.62m.
7. **Section 14-B(5)(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.2m.
The proposed east side yard setback is 0.6m.
8. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed. The minimum required lot width is 9.0m.
The proposed lot width is 7.62m.
9. **Section 14-B(8), Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.
10. **Section 14-B(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 18.65m.
(Note that 0.36m was added to the building length due to the front yard setback).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0922/16NY	Zoning	R7/RD (f9.0; a275)(waiver)
Owner:	ELAZAR MOSHE JOSPEH	Ward:	Eglinton-Lawrence (15)
Agent:	MICHAEL COGAN ARCHITECT	Heritage:	Not Applicable
Property Address:	841 GLENCAIRN AVE (PART 2)	Community:	North York
Legal Description:	PLAN 1911 LOT 81		

Bruce Mullock (signed)

Derek Lett (signed)

Nazila Atarodi (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1096/16NY	Zoning:	R4 (ZR)
Owner(s):	MICHAEL DI PIETRO CARLA DI PIETRO	Ward:	York Centre (10)
Agent:	ANTONELLA FERRONE	Heritage:	Not Applicable
Property Address:	17 SUNBEAM AVE	Community:	
Legal Description:	PLAN 3293 PT LT 69		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 13.2.5A, By-law 7625

The maximum permitted dwelling length is 16.8 m.

The proposed dwelling will have a length of 18.6 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A1096/16NY	Zoning	R4 (ZR)
Owner:	MICHAEL DI PIETRO CARLA DI PIETRO	Ward:	York Centre (10)
Agent:	ANTONELLA FERRONE	Heritage:	Not Applicable
Property Address:	17 SUNBEAM AVE	Community:	
Legal Description:	PLAN 3293 PT LT 69		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0879/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	MARYAM EHSAN RAHIMI	Ward:	Willowdale (23)
Agent:	DONYA SABERY GHOMY	Heritage:	Not Applicable
Property Address:	141 CHURCHILL AVE	Community:	North York
Legal Description:	PLAN 3163 PT LOT 59		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the first floor area must be within 4m of the front wall.
The proposed is 4.9m² within 4m of the front wall.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.5m.
- 3. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.5m.
- 4. Section 13.2.1 and 6(8), By-law No. 7625**
The minimum required lot frontage and width is 15m.
The existing lot frontage and width is 14.73m.
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.5m.
- 6. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.5m.

7. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **9.25m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the first floor area must be within 4m of the front wall.
The proposed is 4.9m² within 4m of the front wall.
4. **Section 13.2.1 and 6(8), By-law No. 7625**
The minimum required lot frontage and width is 15m.
The existing lot frontage and width is 14.73m.
7. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **9.25m**.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.5m.
3. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.5m.
5. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.5m.
6. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.5m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0879/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner:	MARYAM EHSAN RAHIMI	Ward:	Willowdale (23)
Agent:	DONYA SABERY GHOMY	Heritage:	Not Applicable
Property Address:	141 CHURCHILL AVE	Community:	North York
Legal Description:	PLAN 3163 PT LOT 59		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0875/16NY	Zoning	R1B/RD[ZONING]
Owner(s):	HENROF CONSTRUCTION INC.	Ward:	Don Valley West (26)
Agent:	ARC DESIGN GROUP DEVELOPMENT SERVICES INC	Heritage:	Not Applicable
Property Address:	291 BESSBOROUGH DR	Community:	East York
Legal Description:	PLAN 3110 LOT 168		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 8.5m.
The proposed building height is **9.09m**.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted main wall height is 7m.
The proposed main wall height is 7.32m.
- 3. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space Index is **0.78** times the area of the lot.
- 4. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.57m.
The proposed front yard setback is **7.10m**.
- 5. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed north side yard setback is 0.9m.

6. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed south side yard setback is 0.9m.
7. **Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6m.
The proposed exterior stairs are **0.30m** from the south lot line.
8. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is **36.7%** of the lot area.
9. **Section 6.3.3, By-law No. 1916**
The maximum permitted Floor Space Index is 0.6 times the lot area.
The proposed Floor Space Index is **0.78** times the lot area.
10. **Section 6.3.3, By-law No. 1916**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is **36.7%** of the lot area.
11. **Section 6.3.3, By-law No. 1916**
The maximum permitted building length is 16.75m.
The proposed building length is 17.3m.
12. **By-law 829-2000**
Garages located below finished grade are prohibited.
The proposed garage elevation is below finished grade.
13. **Section 6.3.3, By-law No. 1916**
The maximum permitted building height is 8.5m
The proposed building height is **8.86m**
14. **Section 5.7(j), By-law No. 1916**
Steps or stairs required for access to the first storey of a permitted building may encroach into any yard, provided such steps or stairs shall be setback a minimum of 1.5m from any lot line adjacent to a street.
The proposed stairs are **0.30m** from the lot line adjacent to a street.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The driveway maintain a positive slope from the centre line of the road to the entry of the integral garage;
and
2. The slab of the garage floor be constructed at a minimum elevation of 149.33 metres.

SIGNATURE PAGE

File Number:	A0875/16NY	Zoning	R1B/RD[ZONING]
Owner:	HENROF CONSTRUCTION INC.	Ward:	Don Valley West (26)
Agent:	ARC DESIGN GROUP DEVELOPMENT SERVICES INC	Heritage:	Not Applicable
Property Address:	291 BESSBOROUGH DR	Community:	East York
Legal Description:	PLAN 3110 LOT 168		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0914/16NY	Zoning	RD/R1 [ZZC]
Owner(s):	STEVEN SMITH JOAN SMITH	Ward:	Don Valley West (25)
Agent:	THOMAS MARZOTTO ARCHITECT	Heritage:	Not Applicable
Property Address:	103 OLD COLONY RD	Community:	North York
Legal Description:	PLAN 4226 E PT LOT 2		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.80.40.(1), By-law No. 569-2013**
The maximum permitted combined width of all vehicle entrances through the front main wall of the residential building is 6.00m.
The proposed combined width of all vehicle entrances through the front main wall is 7.00m.
- 2. Chapter 10.5.100.1.(1), By-law No. 569-2013**
The maximum permitted driveway width is 2.60m.
The proposed driveway width is 3.20m.
- 3. Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted number of platforms at or above the second storey located on the (front/rear) wall of a detached house is one (1).
The proposed number of platforms located on the front wall is three (3).
- 4. Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey of a detached house is 4.00m².
The proposed areas of each platform at or above the second storey is 12.80m², 6.70m² and **12.80m²**.
- 5. Chapter 900.3.10(x72), By-law No. 569-2013**
Any balcony, porch or sundeck located at or above the second storey or gaining access from the second storey of the building must be set back from any lot line 6.00m.
The proposed front balcony and side balcony have a side setback of 3.18m.

6. **Section 10.2.6A, By-law No. 7625**
Any balcony, porch or sundeck located at or above the second storey or gaining access from the second storey of the building must be set back from any lot line 6.00m.
The proposed front balcony and side balcony have a side setback of 3.18m.
7. **Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 2.60m.
8. **Section 6A(5)a, By-law No. 7625**
The maximum permitted access to parking is 6.00m in width.
The proposed access to parking is 7.00m.
9. **Section 6(9)(a), By-law 7625**
The maximum permitted eave projection into a required setback is 0.50m.
The proposed eaves project 0.91m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 10.5.100.1.(1), By-law No. 569-2013**
The maximum permitted driveway width is 2.60m.
The proposed driveway width is 3.20m.
3. **Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted number of platforms at or above the second storey located on the (front/rear) wall of a detached house is one (1).
The proposed number of platforms located on the front wall is three (3).
4. **Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey of a detached house is 4.00m².
The proposed areas of each platform at or above the second storey is 12.80m², 6.70m² and **12.80m²**.
5. **Chapter 900.3.10(x72), By-law No. 569-2013**
Any balcony, porch or sundeck located at or above the second storey or gaining access from the second storey of the building must be set back from any lot line 6.00m.
The proposed front balcony and side balcony have a side setback of 3.18m.
6. **Section 10.2.6A, By-law No. 7625**
Any balcony, porch or sundeck located at or above the second storey or gaining access from the second storey of the building must be set back from any lot line 6.00m.
The proposed front balcony and side balcony have a side setback of 3.18m.
7. **Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 2.60m.
8. **Section 6A(5)a, By-law No. 7625**
The maximum permitted access to parking is 6.00m in width.
The proposed access to parking is 7.00m.

9. Section 6(9)(a), By-law 7625

The maximum permitted eave projection into a required setback is 0.50m.
The proposed eaves project 0.91m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. Chapter 10.5.80.40.(1), By-law No. 569-2013

The maximum permitted combined width of all vehicle entrances through the front main wall of the residential building is 6.00m.

The proposed combined width of all vehicle entrances through the front main wall is 7.00m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s).
A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.
Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.
2. Submission of a complete application for permit to injure or remove privately owned trees.
3. That the east side second storey balcony, only be accessed from the Master Bedroom.

SIGNATURE PAGE

File Number:	A0914/16NY	Zoning	RD/R1 [ZZC]
Owner:	STEVEN SMITH JOAN SMITH	Ward:	Don Valley West (25)
Agent:	THOMAS MARZOTTO ARCHITECT	Heritage:	Not Applicable
Property Address:	103 OLD COLONY RD	Community:	North York
Legal Description:	PLAN 4226 E PT LOT 2		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1072/16NY	Zoning	RM/R2 [ZZC]
Owner(s):	TEODOLINDA VITORINO CARLOS VITORINO	Ward:	Eglinton-Lawrence (15)
Agent:	T H DESIGN INC	Heritage:	Not Applicable
Property Address:	443 WHITMORE AVE	Community:	York
Legal Description:	PLAN 1663 E PT LOT 79		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new ancillary structure. The existing detached garage would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.60.20.(3), By-law No. 569-2013**
The minimum side yard setback for an ancillary building or structure in a rear yard is 0.30m.
The proposed east side yard setback for the ancillary building is 0.05m.
- Chapter 10.5.50.10(3), By-law No. 569-2013**
The minimum required rear yard soft landscaping is 50.00%.
The proposed rear yard soft landscaping is 45.50%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The driveway is to be constructed of permeable materials.

SIGNATURE PAGE

File Number:	A1072/16NY	Zoning	RM/R2 [ZZC]
Owner:	TEODOLINDA VITORINO CARLOS VITORINO	Ward:	Eglinton-Lawrence (15)
Agent:	T H DESIGN INC	Heritage:	Not Applicable
Property Address:	443 WHITMORE AVE	Community:	York
Legal Description:	PLAN 1663 E PT LOT 79		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1073/16NY	Zoning	R2A/RM(d0.6)(x263)[ZONING]
Owner(s):	DIAMANTIS FOTIAS GEORGINA FERADOUROS- FOTIAS	Ward:	Don Valley West (26)
Agent:	KBK STUDIOS INC	Heritage:	Not Applicable
Property Address:	4 RANDOLPH RD	Community:	East York
Legal Description:	PLAN 2120 PT LOT 472 PT LOT 473		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey side addition to the existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.6.10(263)(E)(i), By-law No. 569-2013**
The minimum required side yard setback is 0.9m.
The proposed (north) side yard setback is 0.55m.
- 2. Chapter 10.80.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.60 times the area of the lot.
The proposed Floor Space Index is 0.6174 times the area of the lot.
- 3. Section 6.4.3, By-law No. 1916**
The minimum required side yard setback is 0.9m.
The proposed (north) side yard setback is 0.55m.
- 4. Section 6.4.3, By-law No. 1916**
The maximum permitted Floor Space Index is 0.60 times the area of the lot.
The proposed Floor Space Index is 0.6174 times the area of the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1073/16NY	Zoning	R2A/RM(d0.6)(x263)[ZONING]
Owner:	DIAMANTIS FOTIAS GEORGINA FERADOUROSO- FOTIAS	Ward:	Don Valley West (26)
Agent:	KBK STUDIOS INC	Heritage:	Not Applicable
Property Address:	4 RANDOLPH RD	Community:	East York
Legal Description:	PLAN 2120 PT LOT 472 PT LOT 473		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1074/16NY	Zoning	RD/R5 [WAV]
Owner(s):	ARON DEVELOPMENTS INC. KIERA KIRSHENBLATT	Ward:	Eglinton-Lawrence (15)
Agent:	KIRKOR ARCHITECTS & PLANNERS	Heritage:	Not Applicable
Property Address:	21 PRINCE CHARLES DR	Community:	North York
Legal Description:	PLAN 3826 LOT 205		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 40.55% of the lot area.
- 2. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.22m.
- 3. Section 14.2.3(b)(i), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.22m.
- 4. Section 14.2.4(e), By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 40.55% of the lot area.
- 5. Section 6(24)(a)(i), By-law No. 7625**
The maximum permitted area for a rear deck is 5.00% of the lot area or 28.27m².
The proposed rear deck is 6.42% of the lot area.
- 6. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.22m.

7. **Section 14.2.3(b)(i), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.22m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.22m.
3. **Section 14.2.3(b)(i), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.22m.
6. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.22m.
7. **Section 14.2.3(b)(i), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.22m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **36.40%** of the lot area.
4. **Section 14.2.4(e), By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **36.40%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

5. **Section 6(24)(a)(i), By-law No. 7625**
The maximum permitted area for a rear deck is 5.00% of the lot area or 28.27m².
The proposed rear deck is 6.42% of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1. That the decks remain open on three sides.

SIGNATURE PAGE

File Number:	A1074/16NY	Zoning	RD/R5 [WAV]
Owner:	ARON DEVELOPMENTS INC. KIERA KIRSHENBLATT	Ward:	Eglinton-Lawrence (15)
Agent:	KIRKOR ARCHITECTS & PLANNERS	Heritage:	Not Applicable
Property Address:	21 PRINCE CHARLES DR	Community:	North York
Legal Description:	PLAN 3826 LOT 205		

Bruce Mullock (signed)

Derek Lett (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1075/16NY	Zoning	RD/R5 [ZZC]
Owner(s):	GASPARE DI NOTO ANTONIA DI NOTO	Ward:	Eglinton-Lawrence (15)
Agent:	TRADEMARKED BY DESIGN INC	Heritage:	Not Applicable
Property Address:	757 GLENGROVE AVE	Community:	North York
Legal Description:	CON 2 WY PT LOT 4		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.100.1.(1), By-law No. 569-2013**
The maximum permitted driveway width is 5.50m.
The proposed driveway width is 5.66m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 18.44m.
- 3. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 8.59m.
The proposed front yard setback is 8.11m.
- 4. Chapter 200.5.1.10.(2), By-law No. 569-2013**
The minimum required parking spaces must have minimum width of 5.80m for two parking spaces.
The proposed parking spaces will have a width of 5.50m.
- 5. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.21m.
- 6. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.

7. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.21m.
8. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.
9. **Section 14.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 19.05m.
10. **Section 6A(3), By-law No. 7625**
The minimum required parking space size is 5.60m in length and 5.80m in width.
The proposed parking space size is 6.00m in length and 5.50m in width.
11. **Section 6(24), By-law No. 7625**
The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.
The proposed rear deck projects 2.74m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be constructed substantially in accordance with the site plan and side elevations submitted to the Community of Adjustment date stamped received by the City of Toronto Planning division, February 6, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

**SURVEYOR'S REAL PROPERTY REPORT
AND TOPOGRAPHY
PART 1
PLAN OF PART OF LOT 4, CONCESSION 2
WEST OF YONGE STREET
CITY OF TORONTO**

BENCHMARK NOTE
ELEVATION SHOWN HEREON ARE REFERRED TO THE CITY OF TORONTO
BENCHMARK No. 12318850406 HAVING AN ELEVATION OF 172.793 METRES
LOCATED IN EAST WALL OF HOUSE AT No. 856 GLENCAIRN AVENUE,
1.463 METRES SOUTH OF NORTHEAST CORNER, 0.398 METRES ABOVE GRADE

CAUTION
UNDERGROUND SERVICES HAVE NOT BEEN REFLECTED ON THIS PLAN
THE MARKOUT OF UNDERGROUND SERVICES IS ADVISED PRIOR TO
EXCAVATION AND CONSTRUCTION.

SCALE 1:200
10m 5m 0 5m 10metres
RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.
METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

RECEIVED

FEB 06 2017

**CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE**

FRONT YARD LANDSCAPE / SOFT AREA CALCULATION

TOTAL FRONT YARD AREA = 129.39M²
TOTAL ASPHALTED DRIVEWAY AREA = 48.54M²
TOTAL PORCH AND STEPS AREA = 6.29M²
TOTAL WALKWAY AREA = 4.04M²
TOTAL AVAILABLE SOFT /LANDSCAPE AREA = 70.521M²

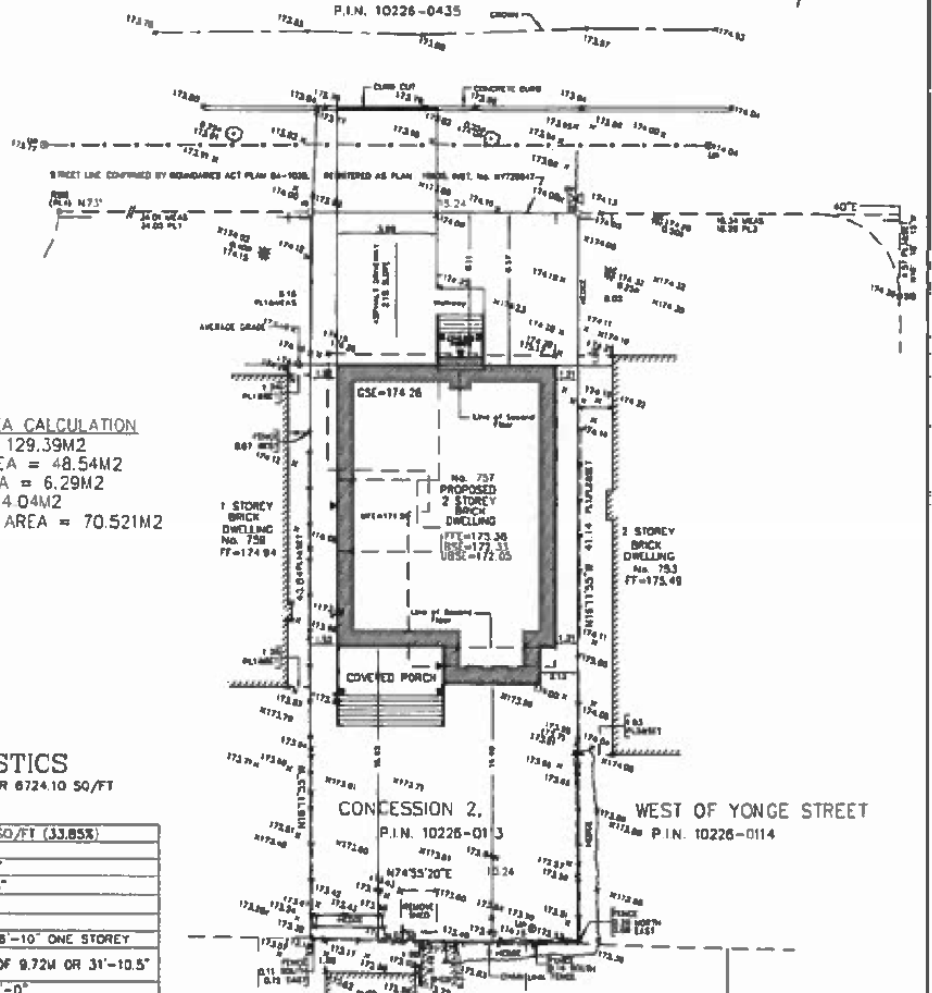
SITE STATISTICS

SITE AREA - 824.88 M² OR 6724.10 SQ/FT

PROVIDED

COVERAGE C.F.A.	211.46 M ² OR 2,276.18 SQ/FT (33.85%)
NORTH YARD SETBACK	8.81M OR 29'-11"
SOUTH YARD SETBACK	14.49M OR 47'-8"
EAST YARD SETBACK	1.21M OR 3'-11"
WEST YARD SETBACK	1.52M OR 5'-0"
BUILDING LENGTH	16.35M OR 53'-8" + 2.08M OR 6'-10" ONE STOREY
BUILDING HEIGHT	FROM AVG. GRADE TO TOP OF ROOF 9.72M OR 31'-10.5"
LOT FRONTAGE	15.24M OR 50'-0"

GLENGROVE AVENUE
(BY REGISTERED PLAN 3761)
P.I.N. 10226-0435



LOT 386 LOT 387 LOT 388
P.I.N. 10226-0178 P.I.N. 10226-0176
REGISTERED PLAN 1911

NO.	ISSUED FOR CC REVIEW	OCT 18-16	2
NO.	ISSUED FOR CLIENT REVIEW	OCT 18-16	1
	Revisions / Notes	Date	No.

TRADEMARKED BY DESIGN INC.
YOUR DESIGN IS MY BUSINESS.
103 OLD LONG AVE. TEL: (416) 809-2266
TORONTO, ONT. M6H 3G4 FAX: (416) 763-8942
trademark@bdesigninc.com

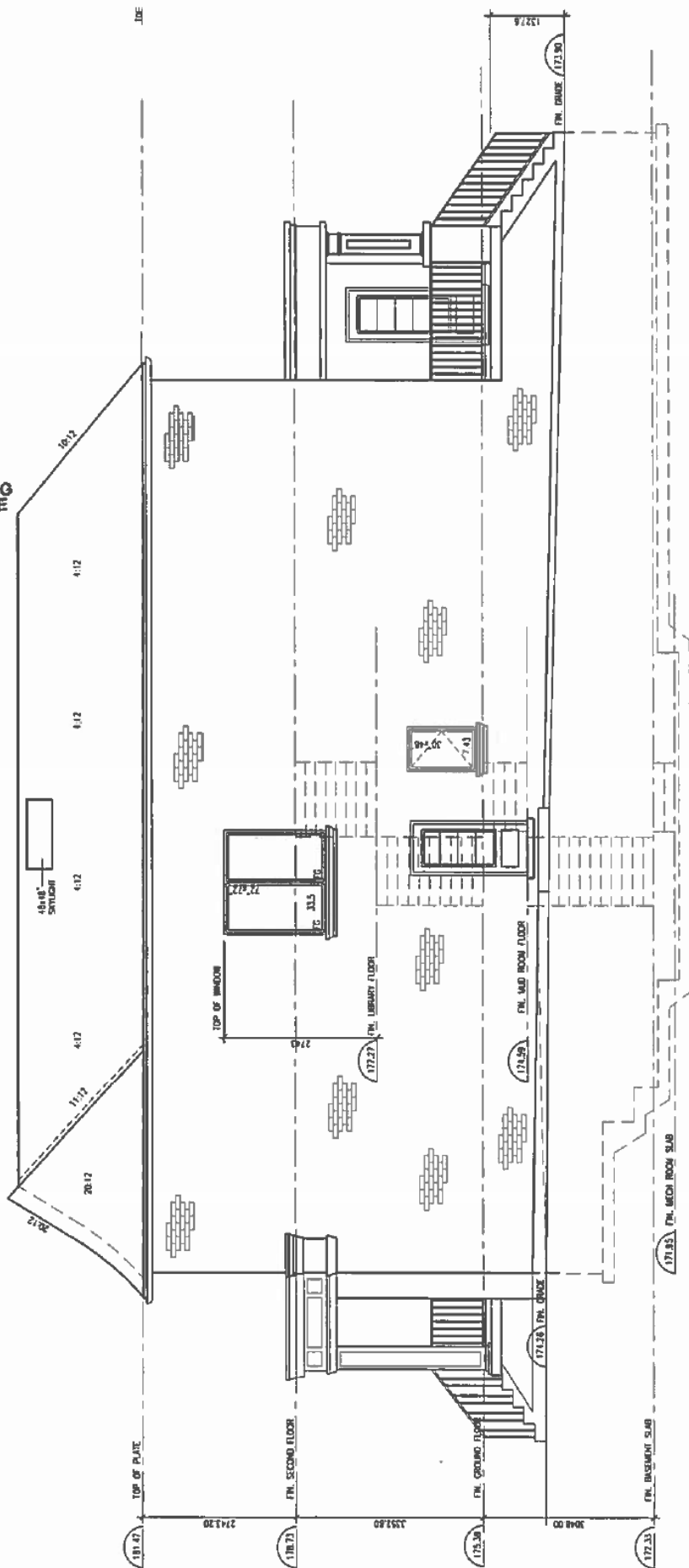
Project **757 GLENGROVE AVE
TORONTO, ONTARIO**

Title **SITE PLAN**

RECEIVED

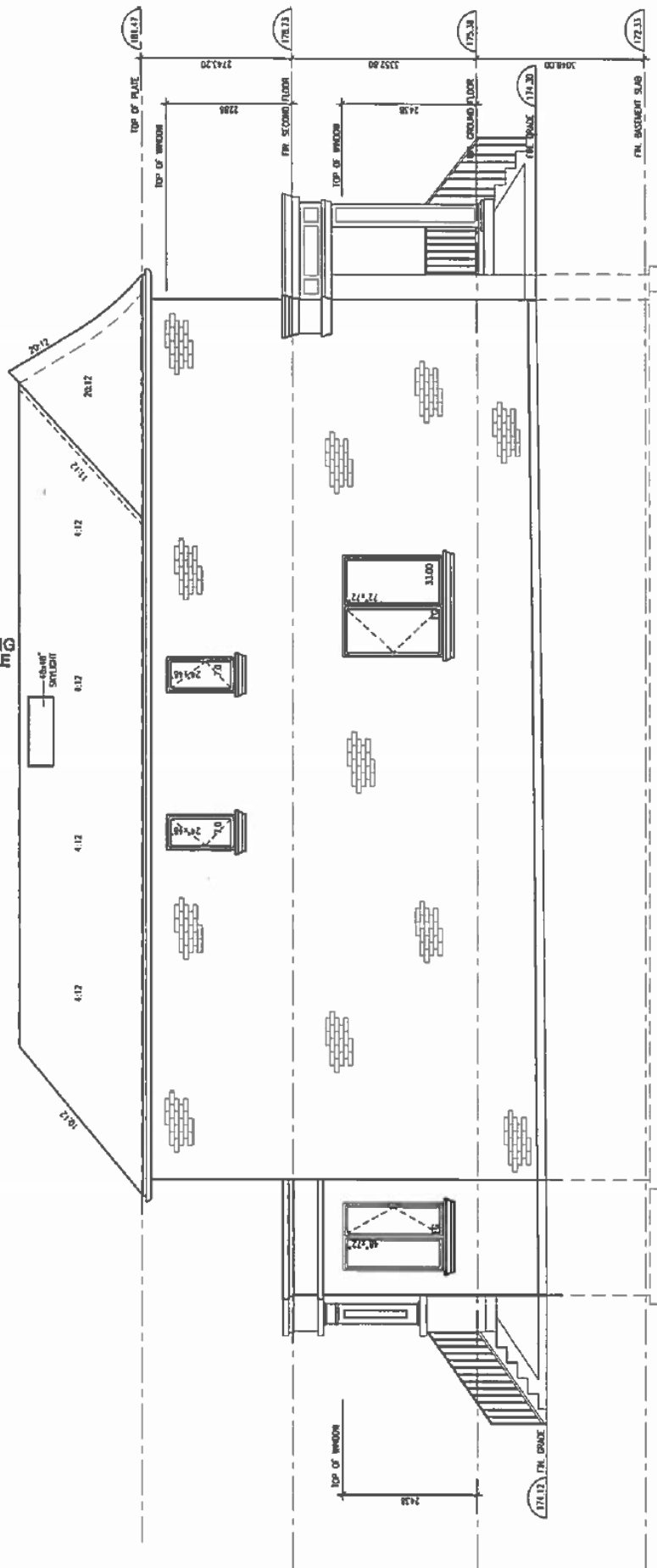
FEB 06 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE



SIDE (WEST) ELEVATION

RECEIVED
FEB 06 2017
CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE



SIDE (EAST) ELEVATION

SIGNATURE PAGE

File Number:	A1075/16NY	Zoning	RD/R5 [ZZC]
Owner:	GASPARE DI NOTO ANTONIA DI NOTO	Ward:	Eglinton-Lawrence (15)
Agent:	TRADEMARKED BY DESIGN INC	Heritage:	Not Applicable
Property Address:	757 GLENGROVE AVE	Community:	North York
Legal Description:	CON 2 WY PT LOT 4		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1078/16NY	Zoning	RD/R4 [ZZC]
Owner(s):	DOGAN CETIN	Ward:	York Centre (10)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	127 SEARLE AVE	Community:	North York
Legal Description:	PLAN 1899 E PT LOT 250		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain the dwelling as constructed. The dwelling was not constructed in accordance with the issued building permit.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law No. 569-2013 and Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The lot coverage is 32.8% of the lot area.
- Section 10.20.40.10.(3), By-law No. 569-2013**
The maximum permitted number of storeys is 2.
The dwelling has 3 storeys.
- Section 10.20.40.50.(1)(B), By-law No. 569-2013**
The maximum permitted area of a platform at or above the second storey is 4.0 m².
The platform (balcony) at or above the second storey has an area of 16.02 m².
- Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5 m.
The finished first floor height of the dwelling is 1.63 m.
- Section 6(24)(c), By-law No. 7625**
The maximum permitted rear deck projection is 2.1 m and the maximum width of the deck is 5.61 m.
The deck projects 3.05 m into the rear yard and has a width of 6.09 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

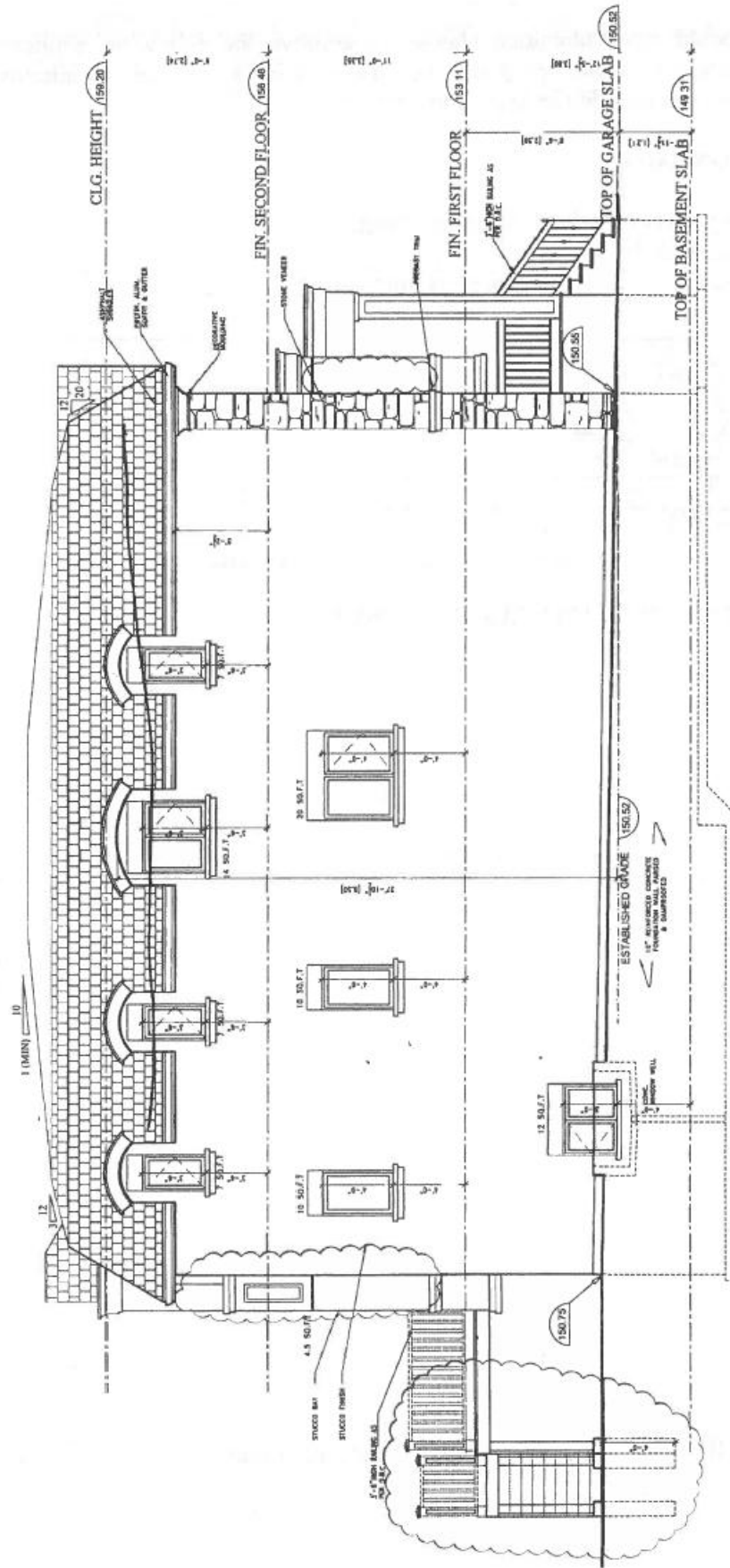
This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Front Elevation, Right Side Elevation and Left Side Elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, February 14, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED

FEB 14 2017

Toronto City Planning
North York District



LEFT SIDE ELEVATION
127 SEARLE AVE

Rubinoff Design Group
 887 Mount Pleasant Road
 Toronto, Ontario M5S 2H4
 Tel: (416) 461-4444 Fax: (416) 461-4445
 www.rubinoffdesign.com

127 SEARLE

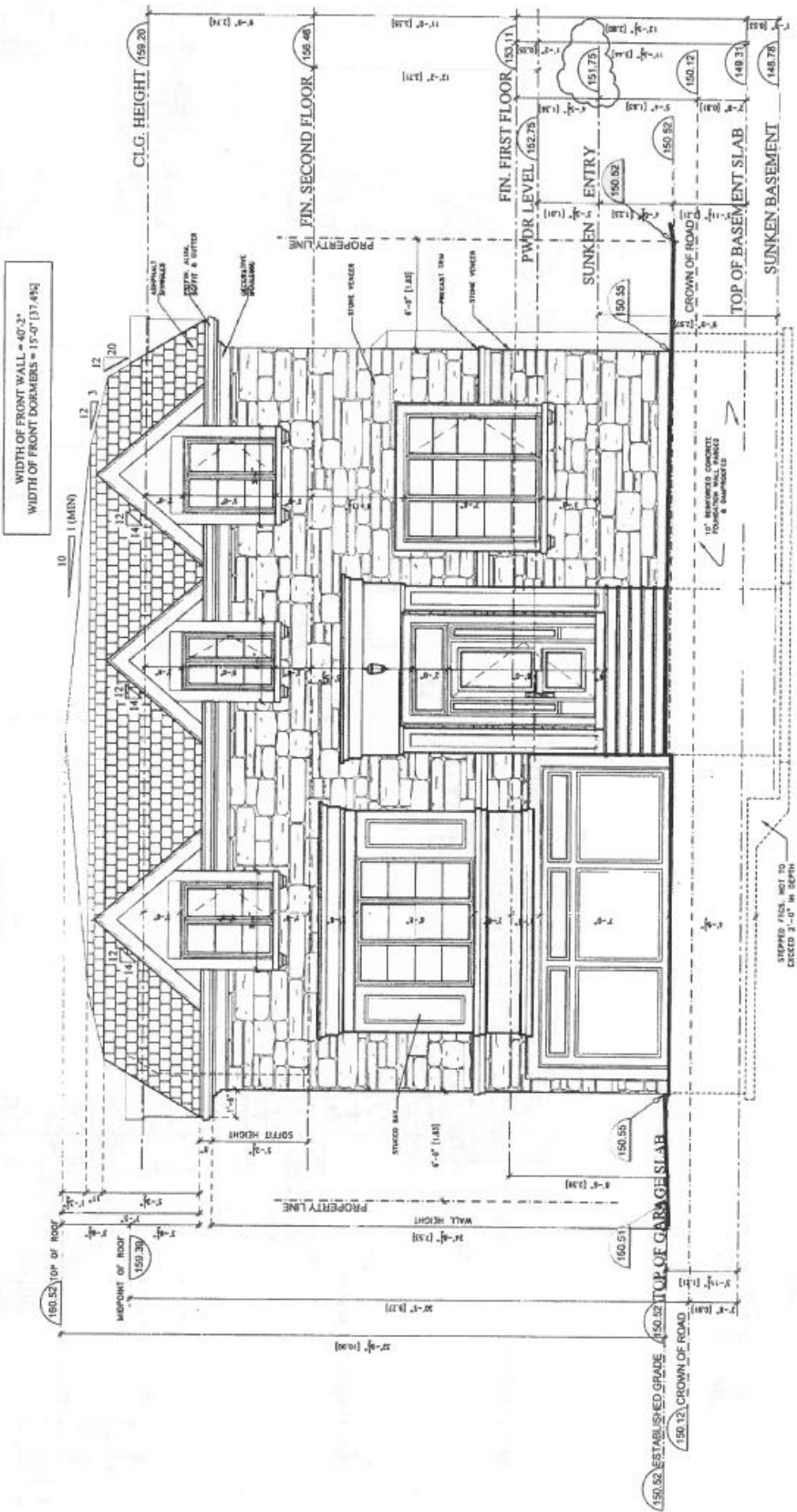
SCALE: 1/8" = 1'-0" Project: 14, 2016

WALL AREA = 4379 SQ.FT.
 7% ALLOWABLE WALL AREA = 306.53 SQ.FT.
 PROPOSED OPENING AREA = 21 SQ.FT.
 5.7% GLAZED AREA = 251.33 SQ.FT.

RECEIVED

FEB 14 2017

Toronto City Planning
North York District



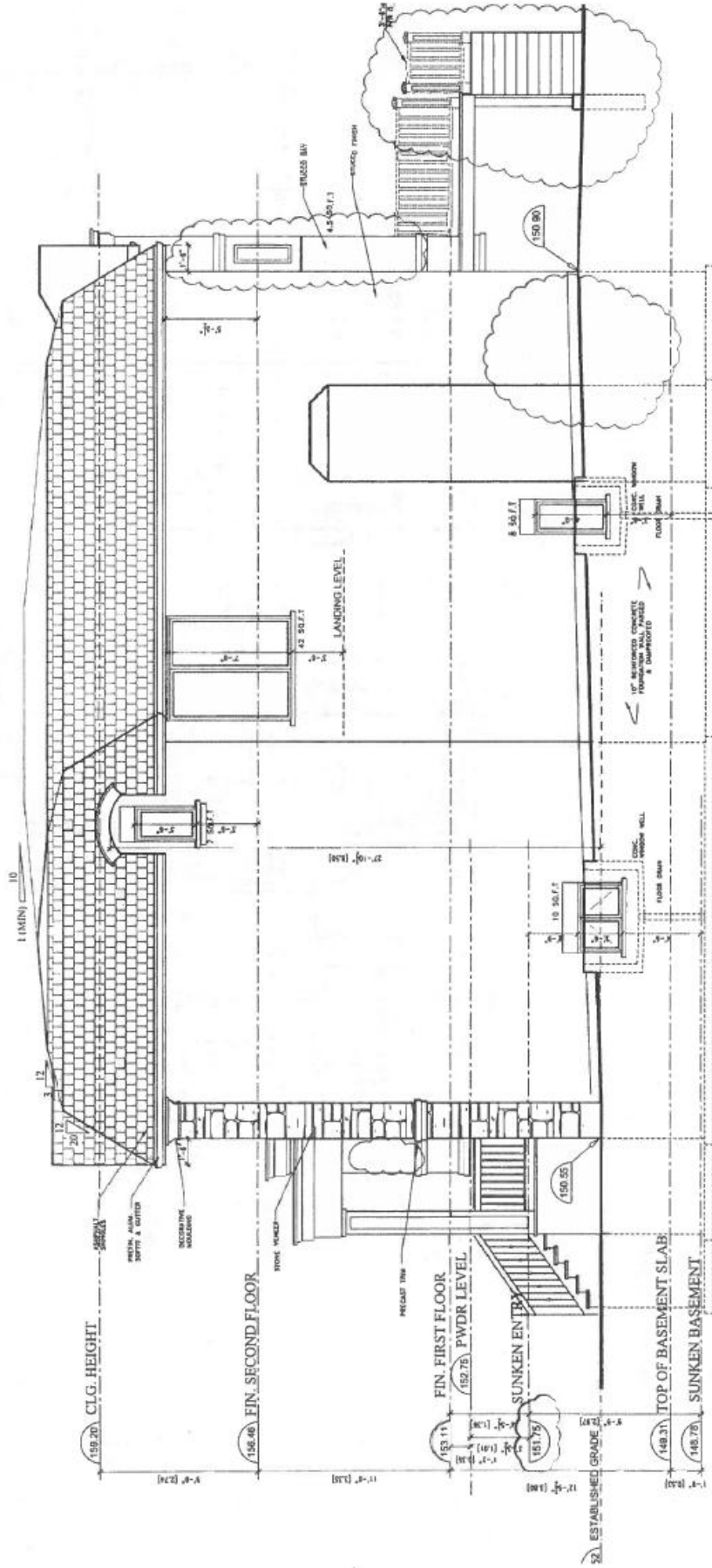
FRONT ELEVATION
127 SEARLE AVE

Rubinoff Design Group
897 Mount Pleasant Road
Toronto, Ontario M4S 2N4
TEL: 416-223-2333 FAX: 416-223-2334
127 SEARLE AVE.
SCALE: 1/8" = 1'-0" MARCH 14, 2016

RECEIVED

FEB 14 2017

Toronto City Planning
North York District



RIGHT SIDE ELEVATION

127 SEARLE AVE

Rubinoff Design Group
897 Mount Pleasant Road
Toronto, Ontario M6G 2M4
Tel: (416) 593-9300 Fax: (416) 593-9301
www.rubinoffdesign.com

127 SEARLE

SCALE: 3/8" = 1'-0" MARCH 14, 2016

SIGNATURE PAGE

File Number:	A1078/16NY	Zoning	RD/R4 [ZZC]
Owner:	DOGAN CETIN	Ward:	York Centre (10)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	127 SEARLE AVE	Community:	North York
Legal Description:	PLAN 1899 E PT LOT 250		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1081/16NY	Zoning	RD/R3 [WAV]
Owner(s):	ALAMDARI BAHERE IRANPARVAR MIRDAMAD SALEK	Ward:	Eglinton-Lawrence (16)
Agent:	MAHIR MANIOS	Heritage:	Not Applicable
Property Address:	25 DE VERE GDNS	Community:	North York
Legal Description:	PLAN 1965 L 297		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 36.60% of the lot area.
- 2. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.52m.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.52m.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 19.51m.
- 5. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 19.48m.
- 6. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10.00m.
The proposed building height is 10.32m.

7. **Chapter 10.5.80.40.(3), By-law No. 569-2013**
 Vehicle access to a parking space on a corner lot must be from a flanking street (Felbrigg Ave.) that is not a major street.
 The proposed vehicle access to a parking is not from the flanking street.
8. **Section 12.6, By-law No. 7625**
 The maximum permitted lot coverage is 35.00% of the lot area.
 The proposed lot coverage is 36.20% of the lot area.
9. **Section 12.4(b), By-law No. 7625**
 The minimum required side yard setback is 1.80m.
 The proposed north side yard setback is 1.52m.
10. **Section 12.4(b), By-law No. 7625**
 The minimum required side yard setback is 1.80m.
 The proposed south side yard setback is 1.52m.
11. **Section 12.5A, By-law No. 7625**
 The maximum permitted building length is 16.80m.
 The proposed building length is 19.48m.
12. **Section 12.7, By-law No. 7625**
 The maximum permitted building height is 8.80m.
 The proposed building height is 9.02m.
13. **Section 6(9)(c), By-law No. 7625**
 The maximum permitted area for a porch is 2.30m².
 The proposed porch and steps on the south side of the dwelling have an area of 3.72m².
14. **Section 12.2, By-law No. 7625**
 The minimum required lot frontage is 18.00m.
 The existing lot frontage is 15.31m.
15. **Section 6(8), By-law No. 7625**
 The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed; in this case 18.00m.
 The existing lot width is 15.24m.
16. **Section 12.3, By-law No. 7625**
 The minimum required lot area is 690.00m².
 The existing lot area is 588.28m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**
The Minor Variance Application is Approved on Condition

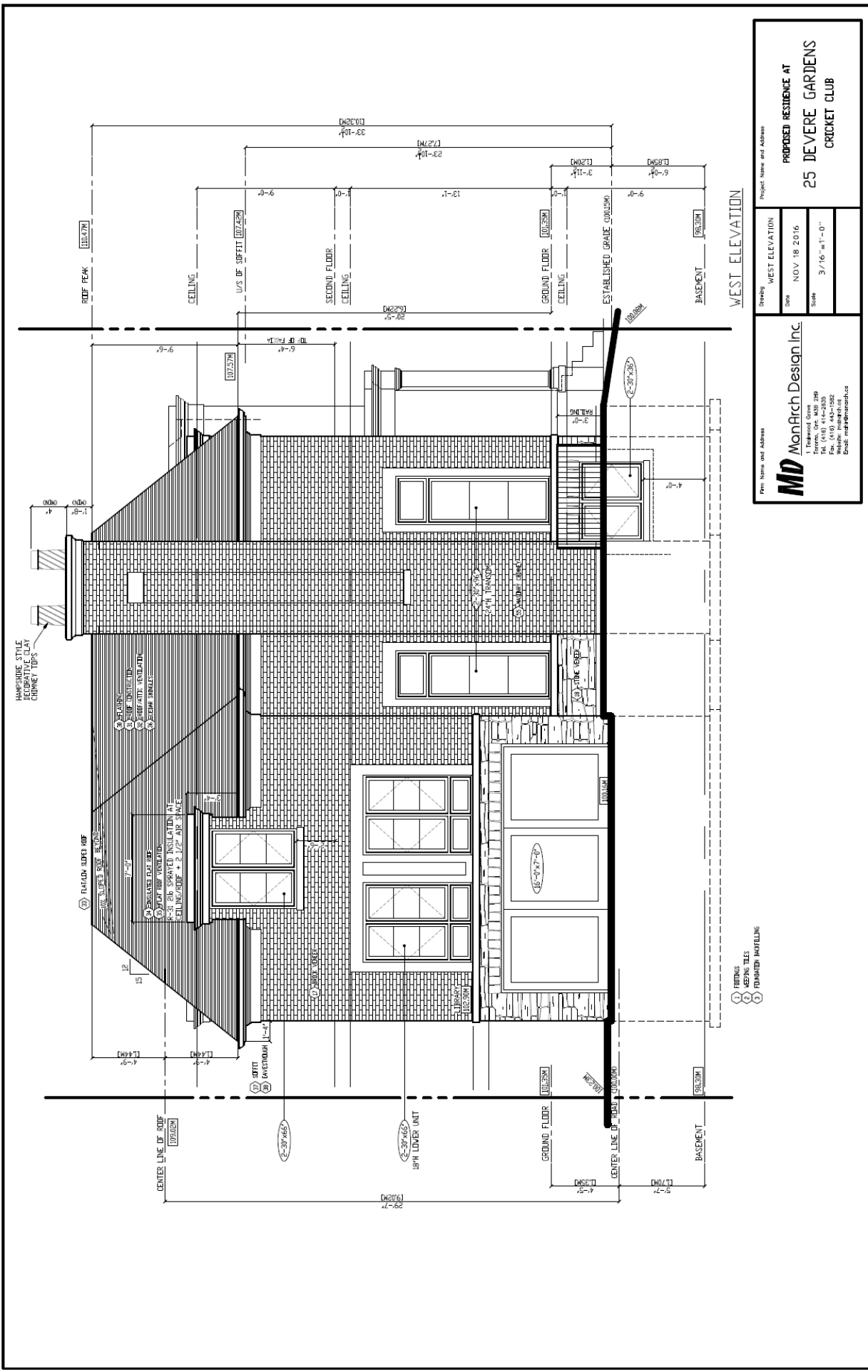
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

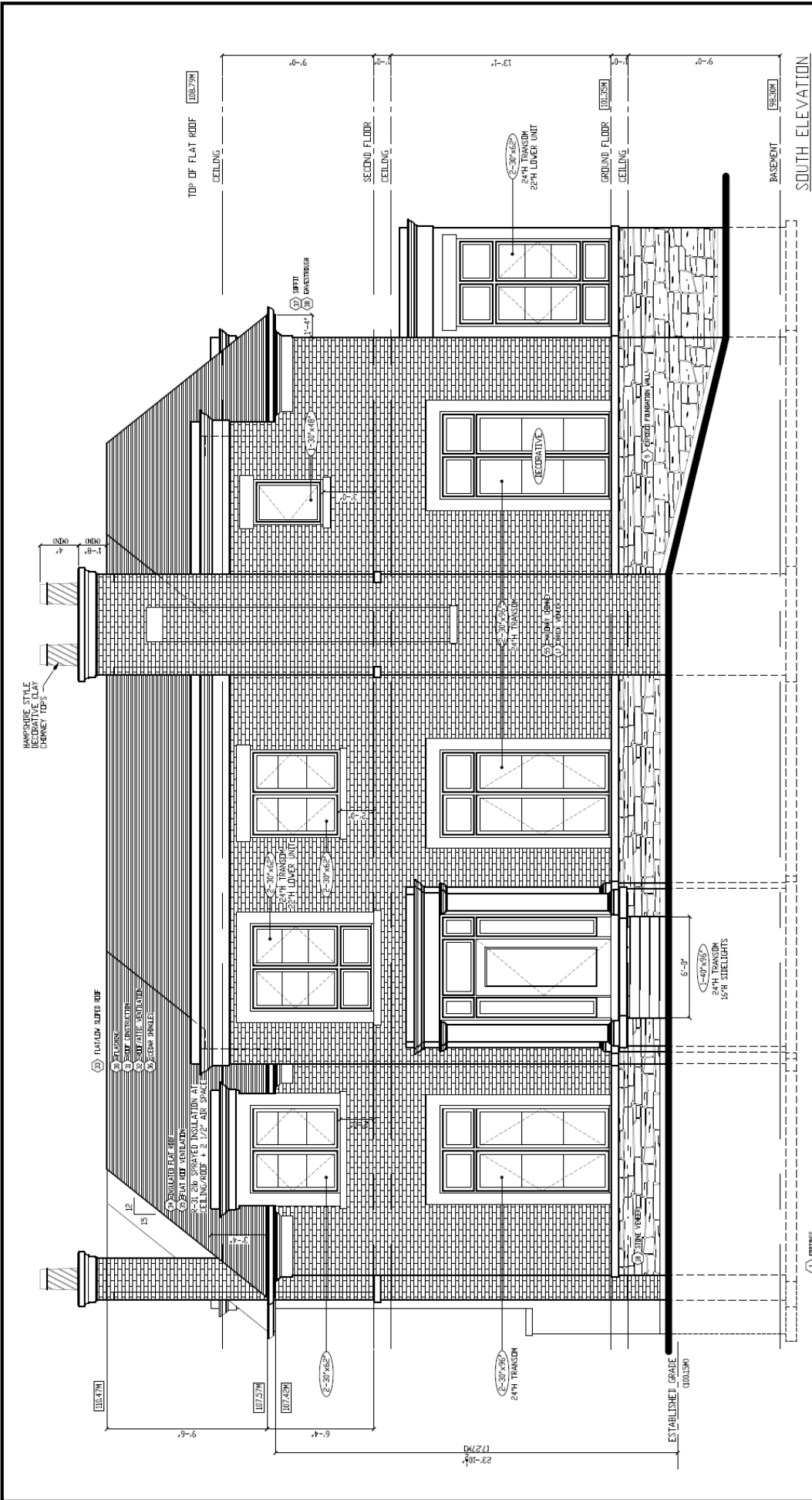
1. The property being developed essentially in accordance with the site plan, dated November 18, 2016 and elevations, attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



WEST ELEVATION

Project Name and Address	
PROPOSED RESIDENCE AT 25 DEVERE GARDENS CRICKET CLUB	
Sheet	WEST ELEVATION
Date	NOV 18 2016
Scale	3/16" = 1'-0"
MD MonArch Design Inc. 1 Technical Centre Toronto, Ont. M3B 2H9 Tel: (416) 414-2035 Fax: (416) 414-2036 Website: monarch.ca Email: md@monarch.ca	

- 1) FITTINGS
- 2) KEEPING TILES
- 3) FINISHED RAFTING



Project Name and Address	
PROPOSED RESIDENCE AT 25 DEVERE GARDENS CROCKET CLUB	
Sheeting	SOUTH ELEVATION
Date	NOV 18 2016
Scale	3/16" = 1'-0"
MD MonArch Design Inc. 1 Parkwood Circle Toronto, Ont. M3B 2H9 Tel: (416) 414-2535 Fax: (416) 414-2532 Website: www.monarch.ca Email: info@monarch.ca	

SIGNATURE PAGE

File Number:	A1081/16NY	Zoning	RD/R3 [WAV]
Owner:	ALAMDARI BAHERE IRANPARVAR MIRDAMAD SALEK	Ward:	Eglinton-Lawrence (16)
Agent:	MAHIR MANIOS	Heritage:	Not Applicable
Property Address:	25 DE VERE GDNS	Community:	North York
Legal Description:	PLAN 1965 L 297		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1082/16NY	Zoning	MC [WAIVER]
Owner(s):	1226692 ONTARIO LTD	Ward:	Eglinton-Lawrence (15)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	55 BRIDGELAND AVE	Community:	
Legal Description:	PLAN 867 PT LOTS 14 & 15		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a four-storey Public Self-Storage Warehouse building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Section 33(5)(a), By-law No. 7625**

The maximum permitted floor space index is 1 times the area of the lot.

The proposed "Public Self-Storage Warehouse" will have a floor space index of 1.55 times the area of the lot.

2. Section 6A(2), By-law No. 7625

The minimum required number of parking spaces for the proposed "Public Self-Storage Warehouse" building is 83 spaces.

The proposed "Public Self-Storage Warehouse" building will have a total of 14 parking spaces.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1082/16NY	Zoning	MC [WAIVER]
Owner:	1226692 ONTARIO LTD	Ward:	Eglinton-Lawrence (15)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	55 BRIDGELAND AVE	Community:	
Legal Description:	PLAN 867 PT LOTS 14 & 15		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1083/16NY	Zoning:	RD/R4 [ZZC]
Owner(s):	NINO ZAKARIADZE ALEKSANDR ZAKARIADZE	Ward:	Willowdale (24)
Agent:	OE DESIGN	Heritage:	Not Applicable
Property Address:	100 WEDGEWOOD DR	Community:	North York
Legal Description:	PLAN 3344 W PT LOT 79		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 7.80m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 21.69m.
- 3. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 21.69m.
- 4. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.20m.
- 5. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m.
- 6. Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15.00m.
The existing lot frontage is 12.52m.

7. **Section 6(8), By-law No. 7625**
The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed.
The existing lot width is 12.52m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.55m.
The proposed east side yard setback is 1.20m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.55m.
The proposed west side yard setback is 1.20m.
10. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 22.33m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.10m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 7.80m.
2. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 21.69m.
3. **Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 21.69m.
4. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.20m.
6. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15.00m.
The existing lot frontage is 12.52m.
7. **Section 6(8), By-law No. 7625**
The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed.
The existing lot width is 12.52m.

8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.55m.
The proposed east side yard setback is 1.20m.
10. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 22.33m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.10m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

5. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.55m.
The proposed west side yard setback is 1.20m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A1083/16NY	Zoning	RD/R4 [ZZC]
Owner:	NINO ZAKARIADZE ALEKSANDR ZAKARIADZE	Ward:	Willowdale (24)
Agent:	OE DESIGN	Heritage:	Not Applicable
Property Address:	100 WEDGEWOOD DR	Community:	North York
Legal Description:	PLAN 3344 W PT LOT 79		

Bruce Mullock (signed)

Nazila Atarodi (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1084/16NY	Zoning	R6(20)/RD (f12.0; a370) (x1463)(ZR)
Owner(s):	MOHAMMAD RAHIMI KASRA RAHIMI	Ward:	Eglinton-Lawrence (16)
Agent:	OE DESIGN	Heritage:	Not Applicable
Property Address:	538 BROOKDALE AVE	Community:	North York
Legal Description:	PLAN 1721 LOT 161 PT LOT 162		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30 percent of the lot area.
The proposed lot coverage is 35.16 percent of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls is 7.5m.
The proposed height of the side exterior main walls is 9.36m for 9% and 7.75m for the remainder.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
C) The required minimum side yard setback is 1.2m where the required minimum lot frontage is 12.0m to less than 15.0m.
The proposed west side yard setback is 0.91m for the first 6.17m.
- 4. Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required west side yard setback is 1.2m.
The proposed west side yard setback is 0.91m. for the first 6.17m.
- 5. Section 14-A(6), Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 35.64% of the lot area.

6. **Section 14-A(8), Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

7. **Section 14-A(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 16.97m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls is 7.5m.
The proposed height of the side exterior main walls is 9.36m for 9% and 7.75m for the remainder.
3. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
C) The required minimum side yard setback is 1.2m where the required minimum lot frontage is 12.0m to less than 15.0m.
The proposed west side yard setback is 0.91m for the first 6.17m.
4. **Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required west side yard setback is 1.2m.
The proposed west side yard setback is 0.91m. for the first 6.17m.
6. **Section 14-A(8), Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.
7. **Section 14-A(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 16.97m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30 percent of the lot area.
The proposed lot coverage is **32.50%** of the lot area.
5. **Section 14-A(6), Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **32.50%** of the lot area.

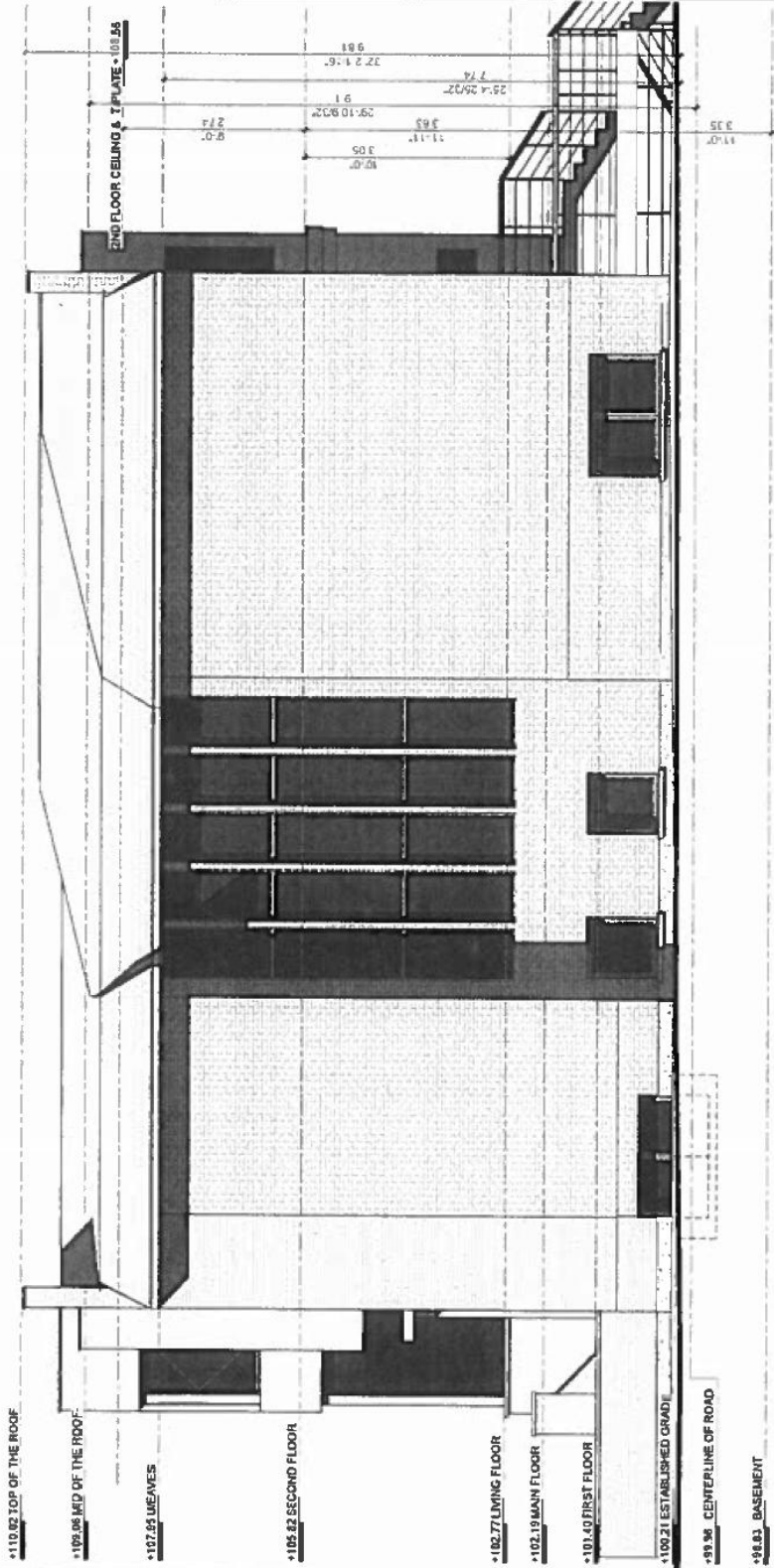
For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be constructed in accordance with the side elevations submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, February 3, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



RECEIVED
FEB 03 2017
 CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

1 EAST ELEVATION
 Scale: 3/16" = 1'-0"

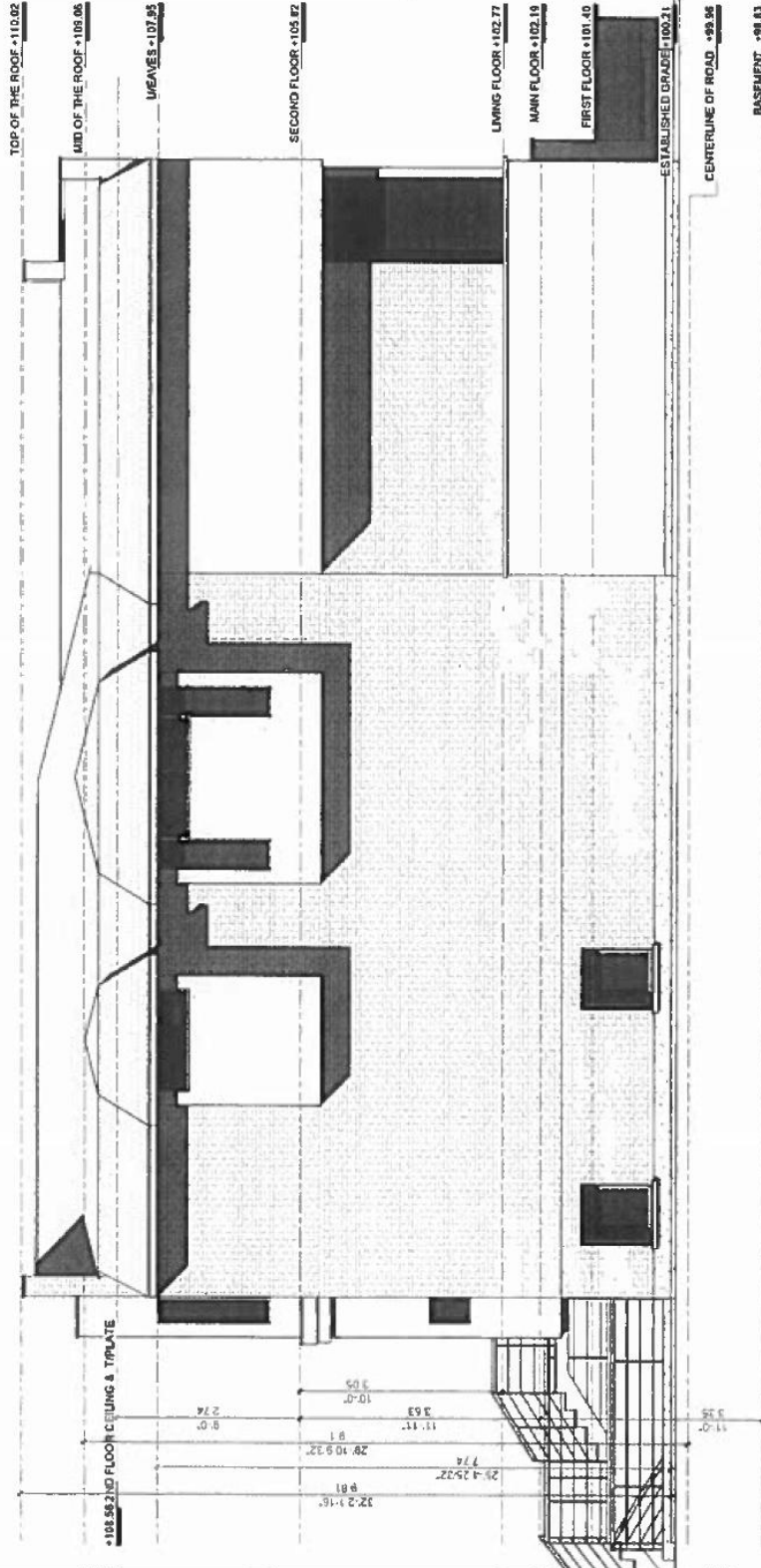
No.	Description	Date
1	ISSUED FOR PERMIT	1/10/17
2	ISSUED FOR PERMIT	1/10/17
3		
4		
5		
6		
7		
8		
9		
10		

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440 DUNDAS ST. W.
 TORONTO, ONT. M5G 1C7
 TEL: 416 593 4477
 FAX: 416 593 4475
 info@oedesign.com

SIDE ELEVATION
 Project No: **A2-03**
 Author: **CHASLEY**
 Checked: **CHASLEY**
 Date: **1/10/17**
 Scale: **3/16" = 1'-0"**



RECEIVED
FEB 03 2017
 CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

1 WEST ELEVATION

Scale: 3/16" = 1'-0"



OE Design

489 DIXIE ROAD #10
 TORONTO, ONTARIO M6H 1S9
 CANADA
 TEL: (416) 491-1212
 WWW.OEDSIGN.COM

SIDE ELEVATION

DATE: 11/08/06
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 3/16" = 1'-0"
A2-04

No.	Description	Date
1	Issue of side elevation	
2	Issue of side elevation	
3	Issue of side elevation	
4	Issue of side elevation	
5	Issue of side elevation	
6	Issue of side elevation	
7	Issue of side elevation	
8	Issue of side elevation	
9	Issue of side elevation	
10	Issue of side elevation	

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SIGNATURE PAGE

File Number:	A1084/16NY	Zoning	R6(20)/RD (f12.0; a370) (x1463)(ZR)
Owner:	MOHAMMAD RAHIMI KASRA RAHIMI	Ward:	Eglinton-Lawrence (16)
Agent:	OE DESIGN	Heritage:	Not Applicable
Property Address:	538 BROOKDALE AVE	Community:	North York
Legal Description:	PLAN 1721 LOT 161 PT LOT 162		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1087/16NY	Zoning	RD/R4 [WAV]
Owner(s):	S I KASHTON	Ward:	Eglinton-Lawrence (15)
Agent:	SAHAND HOMES INC	Heritage:	Not Applicable
Property Address:	21 GLEN PARK AVE	Community:	North York
Legal Description:	PLAN 1911 LOT 257		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.
- 2. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.22m.
- 3. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.
- 4. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.22m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.22m.

4. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.22m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.

3. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A1087/16NY	Zoning	RD/R4 [WAV]
Owner:	S I KASHTON	Ward:	Eglinton-Lawrence (15)
Agent:	SAHAND HOMES INC	Heritage:	Not Applicable
Property Address:	21 GLEN PARK AVE	Community:	North York
Legal Description:	PLAN 1911 LOT 257		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1088/16NY	Zoning	R4/RD (f15.0; a550) (x5)(BLD)
Owner(s):	IRINA MIRONOVA	Ward:	Willowdale (23)
Agent:	STOYANOVSKYY ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	47 ADDINGTON AVE	Community:	North York
Legal Description:	PLAN 4395 BLK F		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new rear deck to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 6(24)(c)(i), Zoning By-law No. 7625**
The maximum height for a deck is 1.0m, the first 2.1m of deck above 1.0m.
The proposed height is 2.06m and projects 4.27m.
- Section 6(24)(c)(ii)(B), Zoning By-law No. 7625**
The maximum height for deck is 1.0m, the first 2.1m of deck above 1.0m and projection from the rear wall must not exceed one-half the width of dwelling's widest point.
The proposed width is 7.85m (68% of the wall width).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1088/16NY	Zoning	R4/RD (f15.0; a550) (x5)(BLD)
Owner:	IRINA MIRONOVA	Ward:	Willowdale (23)
Agent:	STOYANOVSKYY ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	47 ADDINGTON AVE	Community:	North York
Legal Description:	PLAN 4395 BLK F		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1090/16NY	Zoning	RD/R3 [ZZC]
Owner(s):	GENNADI ANDREYEV	Ward:	Don Valley West (25)
Agent:	LORNE ROSE ARCHITECT	Heritage:	Not Applicable
Property Address:	27 ROTHMERE DR	Community:	North York
Legal Description:	PLAN 3257 LOT 12 E PT LOT 11 EDWARD O KING & CATHERINE I KING AS JOINT TENANTS		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **39.80%** of the lot area.
- 2. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is **1.54m**.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.
- 4. Section 12.3, By-law No. 7625**
The minimum required lot area is 690.00m².
The existing lot area is 623.56m².
- 5. Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is **1.54m**.
- 6. Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.

7. **Section 12.4(a), By-law No. 7625**
The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is **8.45m**.
8. **Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **39.80%** of the lot area.
9. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.39m**.
10. **Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.59m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1090/16NY	Zoning	RD/R3 [ZZC]
Owner:	GENNADI ANDREYEV	Ward:	Don Valley West (25)
Agent:	LORNE ROSE ARCHITECT	Heritage:	Not Applicable
Property Address:	27 ROTHMERE DR	Community:	North York
Legal Description:	PLAN 3257 LOT 12 E PT LOT 11 EDWARD O KING & CATHERINE I KING AS JOINT TENANTS		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1091/16NY	Zoning	RD & R3 (ZR)
Owner(s):	AMRIT KAUR PANDORI SANDEEP SINGH	Ward:	Don Valley West (25)
Agent:	FRASCA DESIGN AND PLANNING INC	Heritage:	Not Applicable
Property Address:	45 STRATHGOWAN CRES	Community:	
Legal Description:	PLAN 4458 PT LOTS 10 & 11 RP 66R-18231 PARTS 4 & 5		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey rear balcony.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Section 10.20.40.50.(1)(B), By-law 569-2013**

The maximum permitted area of each platform at or above the second storey is 4 m².
The proposed second storey rear balcony will have an area of 29.24 m².

2. Section 12.7A, By-law 7625

The maximum permitted area of each platform at or above the second storey is 3.8 m².
The proposed second storey rear balcony will have an area of 29.24 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A1091/16NY	Zoning	RD & R3 (ZR)
Owner:	AMRIT KAUR PANDORI SANDEEP SINGH	Ward:	Don Valley West (25)
Agent:	FRASCA DESIGN AND PLANNING INC	Heritage:	Not Applicable
Property Address:	45 STRATHGOWAN CRES	Community:	
Legal Description:	PLAN 4458 PT LOTS 10 & 11 RP 66R-18231 PARTS 4 & 5		

Bruce Mullock (signed)

Derek Lett (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1093/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	YUCHENG GUO	Ward:	Don Valley East (33)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	86 GLENTWORTH RD	Community:	North York
Legal Description:	PLAN M1007 LOT 141		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling with an integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.50, Zoning By-law No. 569-2013**
A platform without main walls, such as a deck, porch, balcony or similar structure, which is not encroaching as permitted, and attached to or within 0.3 metres of a building, must comply with the required minimum building setbacks for the zone.
The proposed rear yard platform is **1.70m** from the south side lot line where 1.8m is required.
- 2. Chapter 10.20.40.20(1), Zoning By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0m or less, the permitted maximum building length for a detached house is 17.0m.
The proposed building length is 18.71m.
- 3. Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 7.95m.
The proposed front yard setback is 7.5m.
- 4. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30 percent of the lot area: 194m².
The proposed lot coverage is **31.60%** of the lot area: 186.47m².

5. **Chapter 10.5.40.60.(2), Zoning By-law No. 569-2013**
(B)(i) A canopy, awning or similar structure not covering a platform may encroach in a front yard or rear yard: 2.5m, if it is no closer to a side lot line than 1.8m.
The proposed canopy is **1.66m** from the south side lot line.
6. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.46m.
7. **Chapter 900.3.10 Exceptions for RD Zone, (5) Exception RD 5, Zoning By-law No. 569-2013**
(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8m.
The proposed south side yard setback is **1.50m**.
8. **Chapter 900.3.10 Exceptions for RD Zone, (5) Exception RD 5, Zoning By-law No. 569-2013**
(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8m.
The proposed north side yard setback is **1.37m**.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required south side yard setback is 1.8 m.
The proposed south side yard setback is **1.50m**.
10. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **31.60%** of the lot area.
11. **Section 13.2.5A, Zoning By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 18.76 m.
12. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is **9.40m**.
13. **Section 6 (24)(d)(ii)(A), Zoning By-law No. 7625**
In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building; 1.80m.
The proposed unexcavated deck in the rear yard is **1.70m** from the south side lot line.
14. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is **1.80 m**.
15. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required north side yard setback is 1.8 m.
The proposed north side yard setback is **1.39 m**.

16. Section 6(9)(f), Zoning By-law No. 7625

Porches and canopies shall be permitted to project into the minimum front yard setback not more than 2.1m but no closer to a side lot line than the minimum side yard setback for the main building: 1.8m.

The proposed porch is **1.81m** from the south side lot line.

The proposed canopy is **1.66m** from the south side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

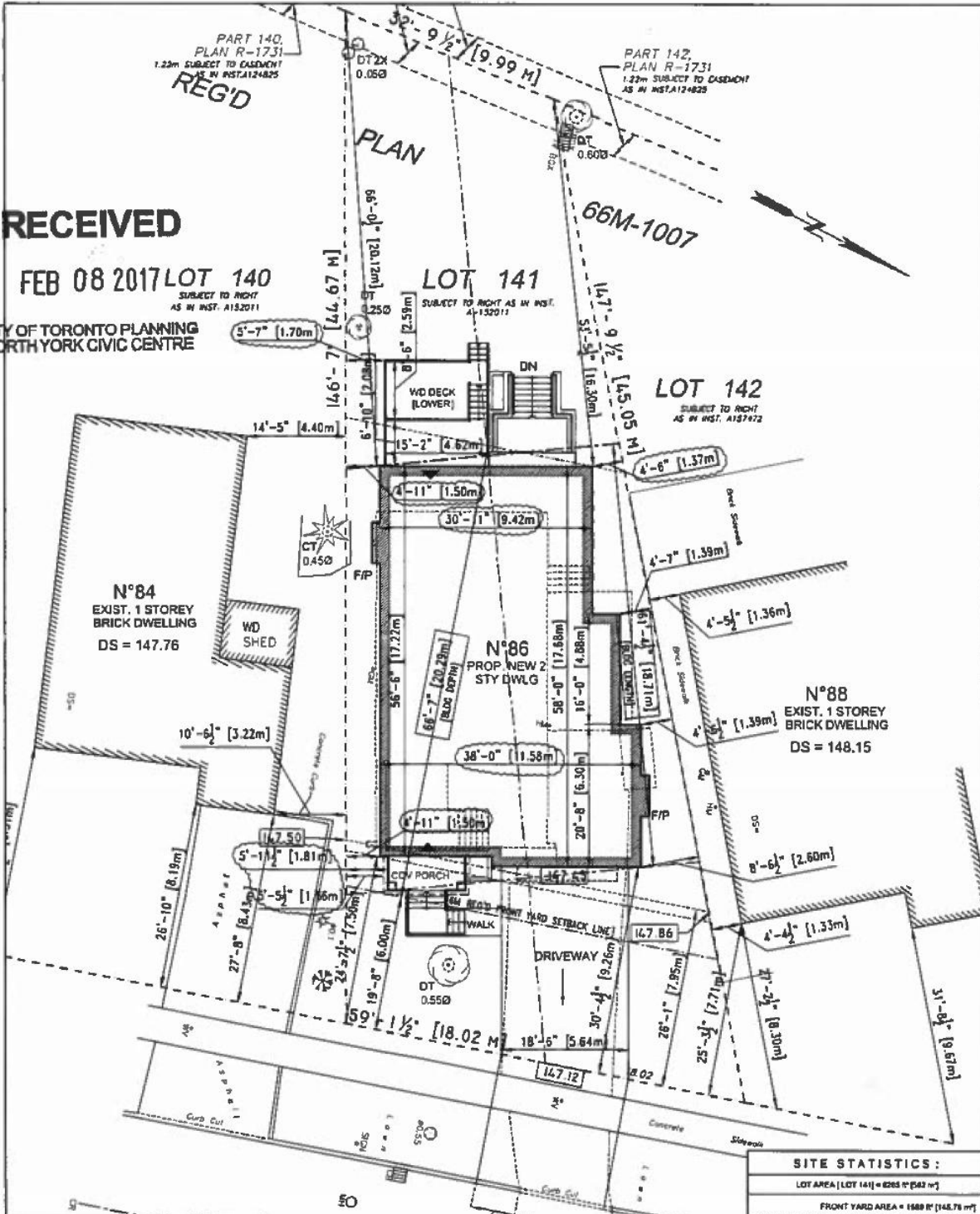
This decision is subject to the following condition(s):

1. The proposed dwelling be constructed substantially in accordance with the site plan and side elevations submitted to the Committee of Adjustment, date stamped received by the City Planning division on February 8,2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED

FEB 08 2017 LOT 140

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE



SITE STATISTICS:	
LOT AREA LOT 141	= 6265 sq ft (582 sq m)
FRONT YARD AREA	= 1589 sq ft (146.76 sq m)
PORCH - STEPS & WALKWAY AREA	= 132 sq ft (12.26 sq m)
DRIVEWAY AREA	= 324 sq ft (30.01 sq m)
FRONT YARD HARD SURFACE AREA	= 588 sq ft (54.27 sq m)
PORCH, STEPS, WALKWAY & DRIVEWAY	= 42.4% MAX. (PERMITTED)
FRONT YARD SOFT LANDSCAPED AREA	= 603 sq ft (55.88 sq m)
FRONT YARD AREA - (DRIVEWAY + PORCH)	= 1913 sq ft (176.19 sq m)
PORCH, STEPS, WALKWAY & DRIVEWAY	= 42.4% MAX. (PERMITTED)
SOFT LANDSCAPED AREA	= 603 sq ft (55.88 sq m)
COVERAGE = 1981 sq ft (184.24 sq m) (31.6%)	
TOTAL OF A = 2863 sq ft (265.08 sq m)	

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER

QUALIFICATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.5.1. OF THE BUILDING CODE

GLENN RUBINOFF 22370
NAME SIGNATURE BCN/BCDN

REGISTRATION INFORMATION
REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1. OF THE BUILDING CODE

RUBINOFF DESIGN GROUP 27293
FIRM NAME BCN/BCDN

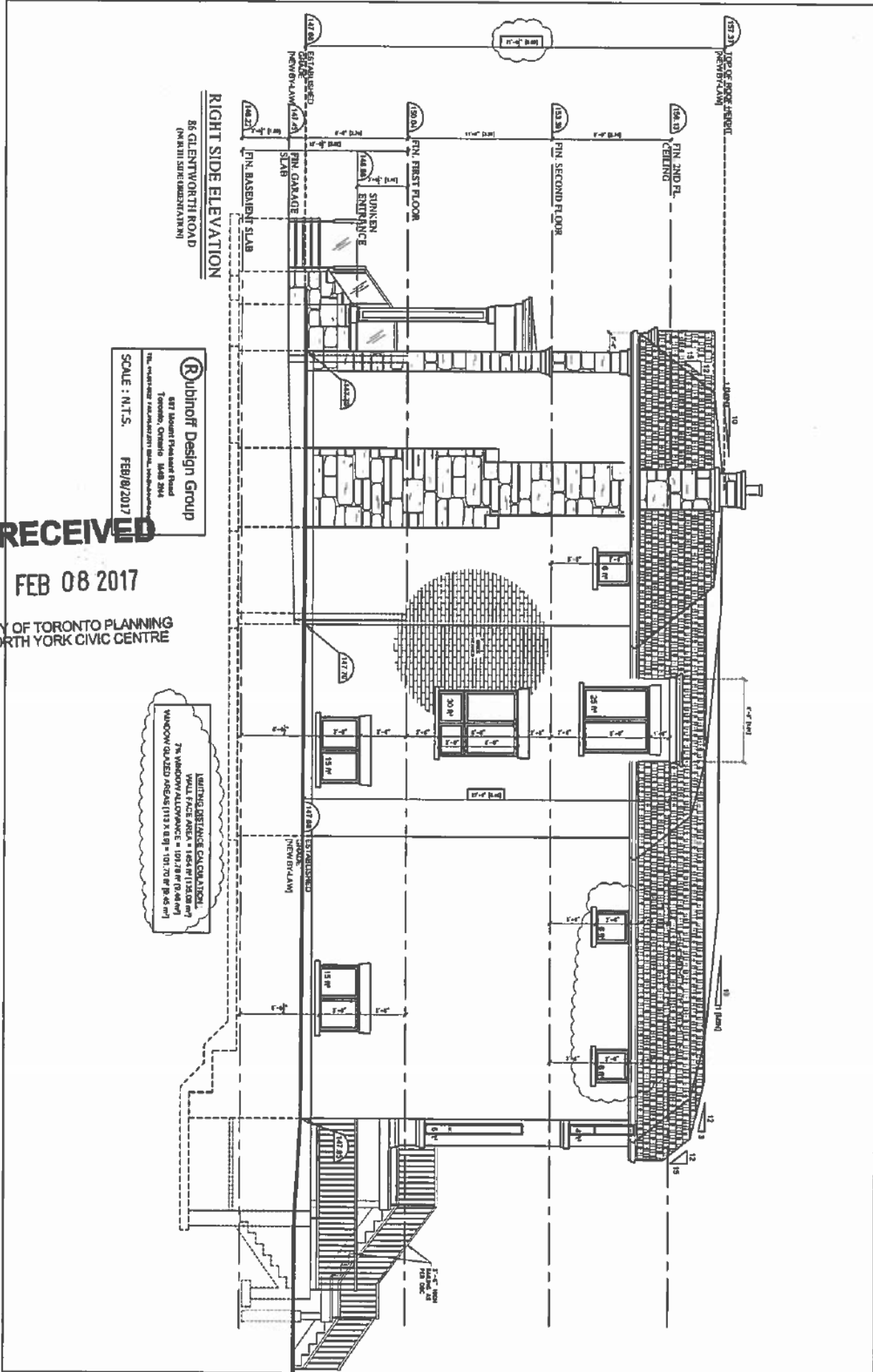
CLIENT: **PRIVATE RESIDENCE**

PROJECT: **SITE PLAN**

PROJECT: **86 GLENTWORTH ROAD
TORONTO, ONTARIO**

Rubinoff Design Group
697 Mount Pleasant Road
Toronto, Ontario M4S 2N4
TEL: 416-667-0322 FAX: 416-667-0751 EMAIL: info@rubinoffdesign.com

PROJECT DESIGNER: G. RUBINOFF	PROJECT NO.	DRAWING NO. A
DRAWN BY: P. NARANJO	DATE: FEB/08/2017	
CHECKED BY:	SCALE: 1 : 150	



RIGHT SIDE ELEVATION
 85 GLENTWORTH ROAD
 (NORTH SIDE/REAR/ANNEX)

Rubiohoff Design Group
 887 Mount Pleasant Road
 Toronto, Ontario M4B 2M1
 TEL: (416) 461-7777 FAX: (416) 461-7778
 SCALE: N.T.S. FEB/08/2017

RECEIVED

FEB 08 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

WAITING DISTANCE CALCULATION:
 WALL FACE AREA = 1624.00 m²
 7% WINDOW ALLOWANCE = 109.68 m²
 WINDOW GLAZED AREAS (113 X 0.9) = 101.70 m²
 101.70 m² / 10.00 m = 10.17 m

SIGNATURE PAGE

File Number:	A1093/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner:	YUCHENG GUO	Ward:	Don Valley East (33)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	86 GLENTWORTH RD	Community:	North York
Legal Description:	PLAN M1007 LOT 141		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1094/16NY	Zoning	RD & R4 (ZR)
Owner(s):	LAURA PALOD	Ward:	York Centre (10)
Agent:	JS BARMİ ARCHİTECT	Heritage:	Not Applicable
Property Address:	21 BEAVER VALLEY RD	Community:	
Legal Description:	PLAN 5011 LOT 64		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 13.2.4, By-law 7625**
The maximum permitted lot coverage is 30% of the lot area (181.65 m²).
The new dwelling will cover **31.96%** of the lot area.
- Section 900.3.10.(5), By-law 569-2013**
The minimum required side yard setback is 1.8 m.
Section 13.2.3.(b), By-law 7625
The minimum required east side yard setback is 1.8 m and the minimum required west side yard setback is 3 m.
Section 900.3.10.(5), By-law 569-2013 and Section 13.2.3.(b), By-law 7625
The new dwelling will be located 1.52 m from the east side lot line and 1.54 m from the west side lot line.
- Section 13.2.6, By-law 7625**
The maximum permitted building height is 8.8 m.
The new dwelling will have a height of 8.96 m.
- Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The new dwelling will have a first floor height of 1.39 m above established grade.
- Section 6(30)a, By-law 7625**
The maximum permitted finished first floor height is 1.5 m.
The new dwelling will have a finished first floor height of 1.65 m.
- Section 10.20.40.10.(2)(A)(i) & (ii), By-law 569-2013**
The maximum permitted height of all front and rear exterior main walls is 7.5 m.
The new dwelling will have a front exterior main wall height of 9.64 m and a rear exterior main wall height of 8.38 m.
- Section 10.20.40.10.(2)(B)(i), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The new dwelling will have a side exterior main wall height of 8.5 m facing a side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A1094/16NY	Zoning	RD & R4 (ZR)
Owner:	LAURA PALOD	Ward:	York Centre (10)
Agent:	JS BARMİ ARCHİTECT	Heritage:	Not Applicable
Property Address:	21 BEAVER VALLEY RD	Community:	
Legal Description:	PLAN 5011 LOT 64		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1095/16NY	Zoning	RD/R5 [ZZC]
Owner(s):	RIVKY BOCHNER SHIMON BOCHNER	Ward:	Eglinton-Lawrence (15)
Agent:	RUBEN & ASSOCIATES	Heritage:	Not Applicable
Property Address:	61 BAYCREST AVE	Community:	North York
Legal Description:	PLAN 1692 PT LOT 32		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing dwelling, in conjunction with a two-storey addition to the west portion of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 14.2.3(a), By-law No. 7625**
The minimum required front yard setback is 7.50m.
The existing and proposed front yard setback is 6.16m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A1095/16NY	Zoning	RD/R5 [ZZC]
Owner:	RIVKY BOCHNER SHIMON BOCHNER	Ward:	Eglinton-Lawrence (15)
Agent:	RUBEN & ASSOCIATES	Heritage:	Not Applicable
Property Address:	61 BAYCREST AVE	Community:	North York
Legal Description:	PLAN 1692 PT LOT 32		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1097/16NY	Zoning	RD/R4 [ZZC]
Owner(s):	SASAN SAADAT	Ward:	Don Valley West (25)
Agent:	SASAN SAADAT	Heritage:	Not Applicable
Property Address:	156 UPPER CANADA DR	Community:	North York
Legal Description:	PLAN 3563 LOT 39		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is **1.50m**.
- 2. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is **1.50m**.
- 3. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 18.90m.
The proposed building length is 18.99m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1097/16NY	Zoning	RD/R4 [ZZC]
Owner:	SASAN SAADAT	Ward:	Don Valley West (25)
Agent:	SASAN SAADAT	Heritage:	Not Applicable
Property Address:	156 UPPER CANADA DR	Community:	North York
Legal Description:	PLAN 3563 LOT 39		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1098/16NY	Zoning	RD & R3 (ZR)
Owner(s):	SAHAR RAHMANI ISSA SOBHANI	Ward:	Willowdale (24)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	10 CITATION DR	Community:	
Legal Description:	PLAN M676 LOT 5		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 12.6, By-law 7625**
The maximum permitted lot coverage is 30% of the lot area (209 m²).
The proposed dwelling will have a lot coverage of 32% of the lot area (222.9 m²).
- Section 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
A total of 6.25 m² of the first floor will be located within 4 m of the front main wall.
- Section 12.5A, By-law 7625**
The maximum permitted dwelling length is 16.8 m.
The proposed dwelling will have a length of 17.72 m.
- Section 6(3)a, By-law 7625**
The maximum permitted first floor height is 1.5 m.
The first floor height of the proposed dwelling will be **1.80m**.
- Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of the front and rear exterior main walls is 7.5 m.
The front exterior main wall of the proposed dwelling will have a height of 9.47 m and the rear exterior main wall of the proposed dwelling will have a height of 8.97 m.
- Section 10.20.40.10.(2)(B)(i), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The altered dwelling will have a side exterior main wall height of 8.88 m facing a side lot line.
- Section 12.7, By-law 7625**
The maximum permitted dwelling height is 8.8 m.
The proposed dwelling will have a height of **9.40m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

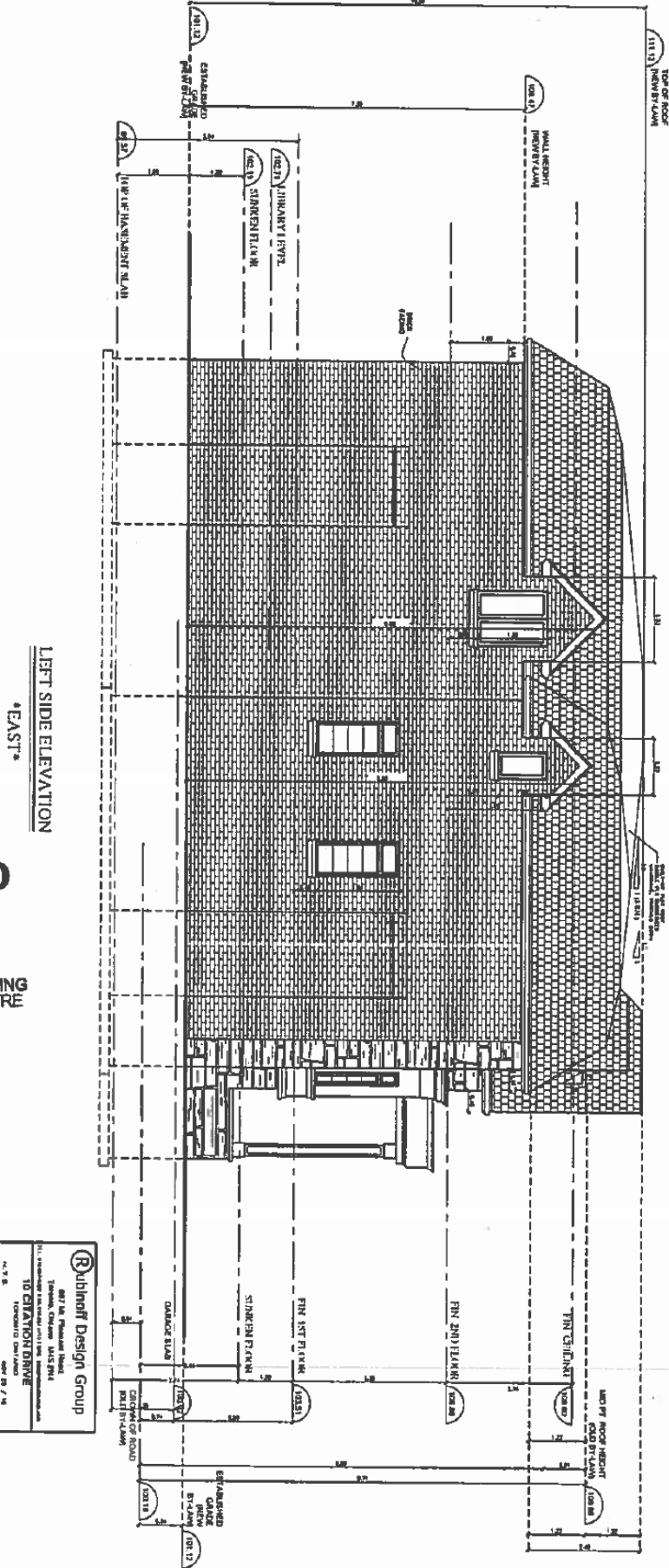
This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The proposed dwelling be constructed substantially in accordance with the side elevations submitted to the Committee of Adjustment, date stamped received by the City Planning division on February 8, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED

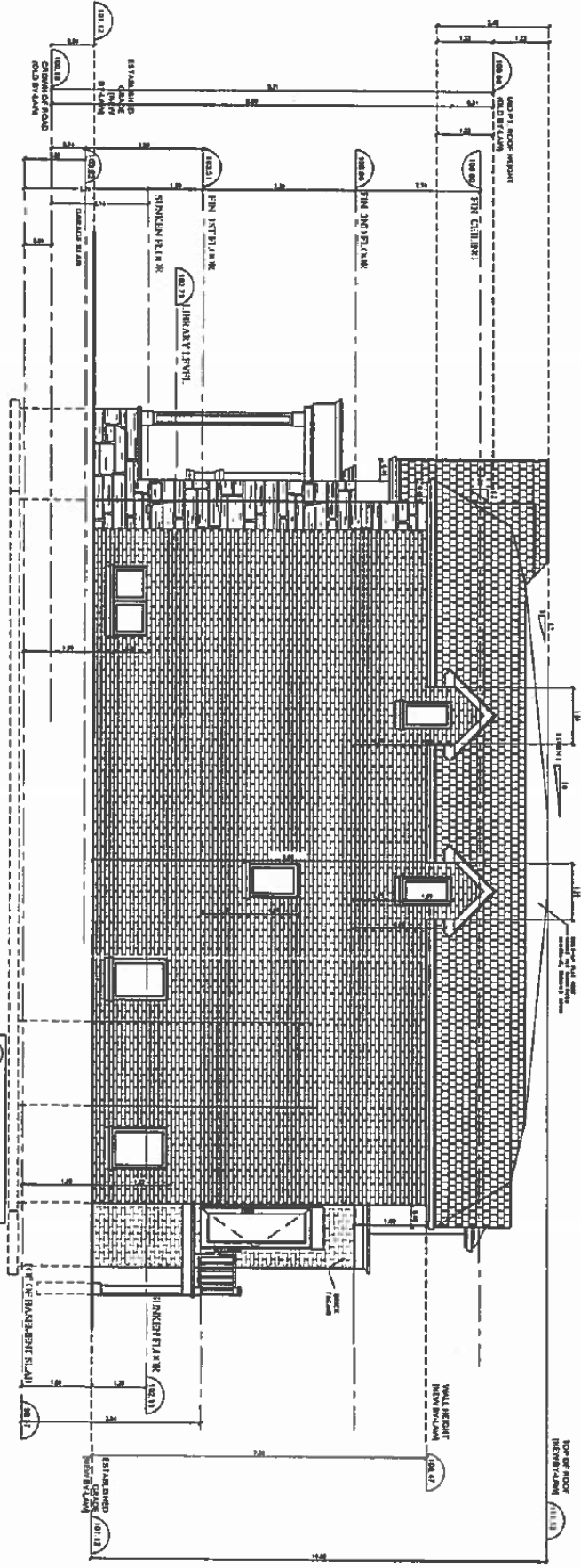
FEB 08 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE



LEFT SIDE ELEVATION
EAST

Rubloff Design Group
487 St. Georges Street
Toronto, Ontario M4E 1R4
Tel: (416) 461-1111
TO CITATION DRIVE
TORONTO ONTARIO M4E 1R4
ON, CAN. 416.461.1111



RIGHT SIDE ELEVATION
WEST

Rubioff Design Group
 407 St. George Street
 Toronto, Ontario M4E 2G4
 Tel: (416) 593-1111
 Fax: (416) 593-1112
 www.rubioff.com
 10 CITATION DRIVE
 TORONTO, ONTARIO M5S 1A7

RECEIVED
 FEB 08 2017
 CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

SIGNATURE PAGE

File Number:	A1098/16NY	Zoning	RD & R3 (ZR)
Owner:	SAHAR RAHMANI ISSA SOBHANI	Ward:	Willowdale (24)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	10 CITATION DR	Community:	
Legal Description:	PLAN M676 LOT 5		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1099/16NY	Zoning:	RD/R4 [ZZC]
Owner(s):	NICOLE KESTER-GREENE NIGEL GREENE	Ward:	Willowdale (23)
Agent:	ELEMENTAL ARCHITECTS	Heritage:	Not Applicable
Property Address:	241 PARK HOME AVE	Community:	North York
Legal Description:	PLAN 4589 LOT 143		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013
The minimum required front yard setback is 9.15m.
The proposed front yard setback is 7.97m.
2. Chapter 10.20.30.40.(1), By-law No. 569-2013
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 41.61% of the lot area.
3. Chapter 10.20.40.10.(1), By-law No. 569-2013
The maximum permitted building height is 7.20m.
The proposed building height is 7.96m.
4. Chapter 10.20.40.20.(1), By-law No. 569-2013
The maximum permitted building length is 17.00m.
The proposed building length is 22.34m.
5. Chapter 10.20.40.30.(1), By-law No. 569-2013
The maximum permitted building depth is 19.00m.
The proposed building depth is 22.34m.
6. Chapter 10.20.40.50.(1), By-law No. 569-2013
The maximum permitted area of each platform at or above the second storey is 4.00m².
The proposed platform at or above the second storey is 9.40m².

7. Section 13.2.4, By-law No. 7625
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 41.61% of the lot area.
8. Section 13.2.5A, By-law No. 7625
The maximum permitted building length is 16.80m.
The proposed building length is 22.34m.
9. Section 13.2.6, By-law No. 7625
The maximum permitted building height is 8.00m.
The proposed building height is 8.49m.
10. Section 13.2.6A, By-law No. 7625
The maximum permitted balcony area is 3.80m².
The proposed balcony area is 9.40m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A1099/16NY	Zoning	RD/R4 [ZZC]
Owner:	NICOLE KESTER-GREENE NIGEL GREENE	Ward:	Willowdale (23)
Agent:	ELEMENTAL ARCHITECTS	Heritage:	Not Applicable
Property Address:	241 PARK HOME AVE	Community:	North York
Legal Description:	PLAN 4589 LOT 143		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1100/16NY	Zoning	RD & R4 (Waiver)
Owner(s):	ERAN SHRAM SHARON SHRAM	Ward:	Eglinton-Lawrence (15)
Agent:	ANDREW DEANE AT RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	351 HILLHURST BLVD	Community:	
Legal Description:	PLAN 4832 LOT 22		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 13.2.4, By-law 7625**
The maximum permitted lot coverage is 35% of the lot area.
The new dwelling will cover **36.65%** of the lot area.
- Section 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 8.92 m.
The new dwelling will be located 8.56 m from the front lot line.
- Section 10.20.40.70.(2)(B), By-law 569-2013**
The minimum required rear yard setback is 9.21 m.
Section 13.2.3c, By-law 7625
The minimum required rear yard setback is 9.5 m.
Section 10.20.40.70.(2)(B), By-law 569-2013 and Section 13.2.3c, By-law 7625
The new dwelling will be located **6.24m** from the rear lot line.
- Section 900.3.10.(5)(A), By-law 569-2013 and Section 13.2.3(b), By-law 7625**
The minimum required side yard setback is 1.8 m.
The new dwelling will be located 1.25 m from the west side lot line and 1.2 m from the east side lot line.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new dwelling will have a length of **17.61 m**.
Section 13.2.5A, By-law 7625
The maximum permitted building length is 16.8 m.
The new dwelling will have a length of **18.50 m**.
- Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19 m.
The new dwelling will have a depth of **18.84 m**.

7. **Section 13.2.6, By-law 7625**
The maximum permitted building height is 8.8 m.
The new dwelling will have a height of 10.33 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

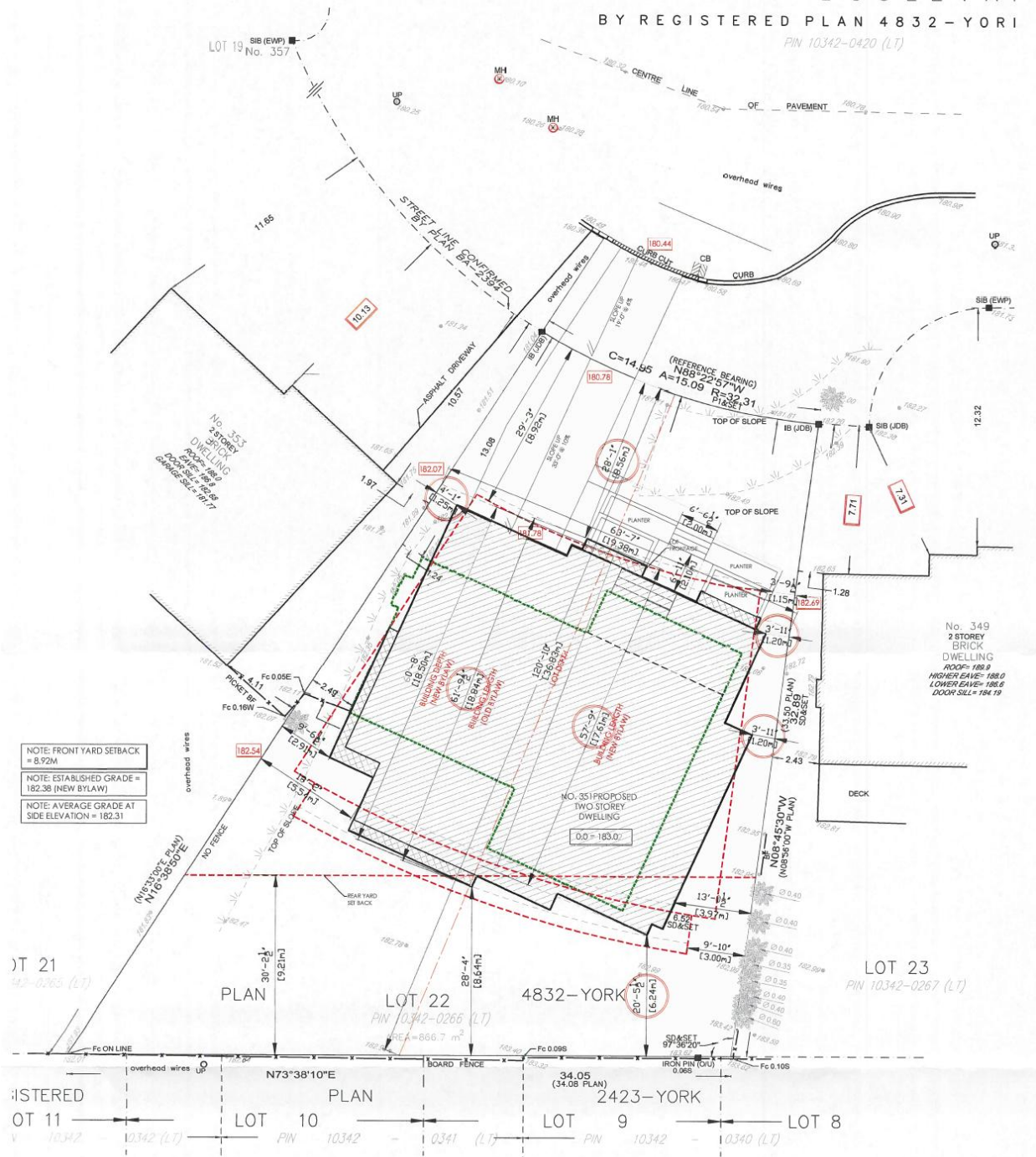
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The property being developed essentially in accordance with the site plan and front elevation, dated February 23, 2017, attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

HILLHURST BOULEVARD BY REGISTERED PLAN 4832-YORK

PIN 10342-0420 (LT)



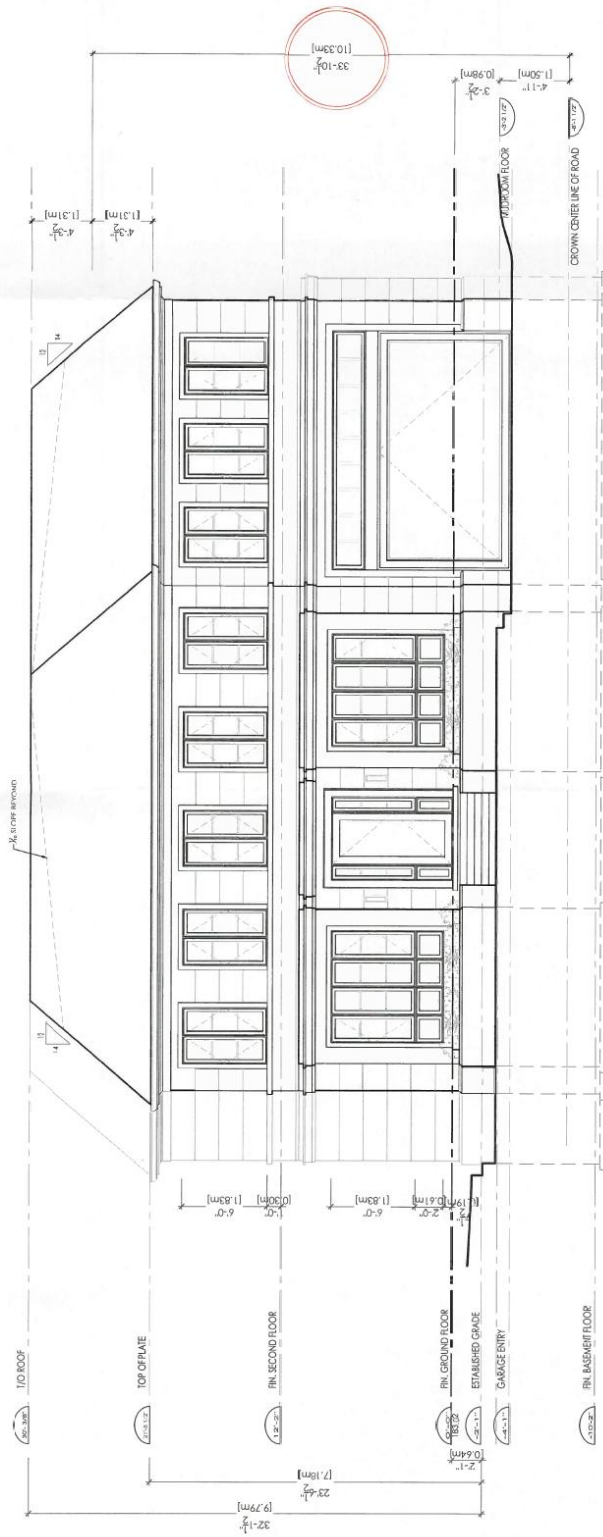
SITE PLAN
SCALE: 1/16" = 1'-0"



SHRAM RESIDENCE

351 HILLHURST BOULEVARD
TORONTO, ONTARIO
FEBRUARY 23, 2017
1657





NOTE:
 ALL GROUND FLOOR & CONSIDERED
 THE GROUND FLOOR UNDER THE OLD
 BYLAW

OLD BYLAW

NEW BYLAW

SHRAM RESIDENCE
 351 HILLHURST BOULEVARD
 TORONTO, ONTARIO
 FEBRUARY 23, 2017
 1657


RICHARD WENGLE
 ARCHITECT INC.

 **FRONT ELEVATION**
 SCALE: 1/8" = 1'-0"

SIGNATURE PAGE

File Number:	A1100/16NY	Zoning	RD & R4 (Waiver)
Owner:	ERAN SHRAM SHARON SHRAM	Ward:	Eglinton-Lawrence (15)
Agent:	ANDREW DEANE AT RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	351 HILLHURST BLVD	Community:	
Legal Description:	PLAN 4832 LOT 22		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1101/16NY	Zoning	RD/R4 [WAV]
Owner(s):	HAMID REZA YAHYAEE	Ward:	Willowdale (23)
Agent:	MAHIR MANIOS	Heritage:	Not Applicable
Property Address:	74 CAINES AVE	Community:	North York
Legal Description:	PLAN 3323 W PT LOT 35		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.52m.
- 2. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is **1.37 for the front 6.71m portion of the dwelling only.**
- 3. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 18.90m.
- 4. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.52m.
- 5. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is **1.37 for the front 6.71m portion of the dwelling only.**
- 6. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 18.90m.

7. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.

The proposed first floor area is greater than 4.00m of being within the main front wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

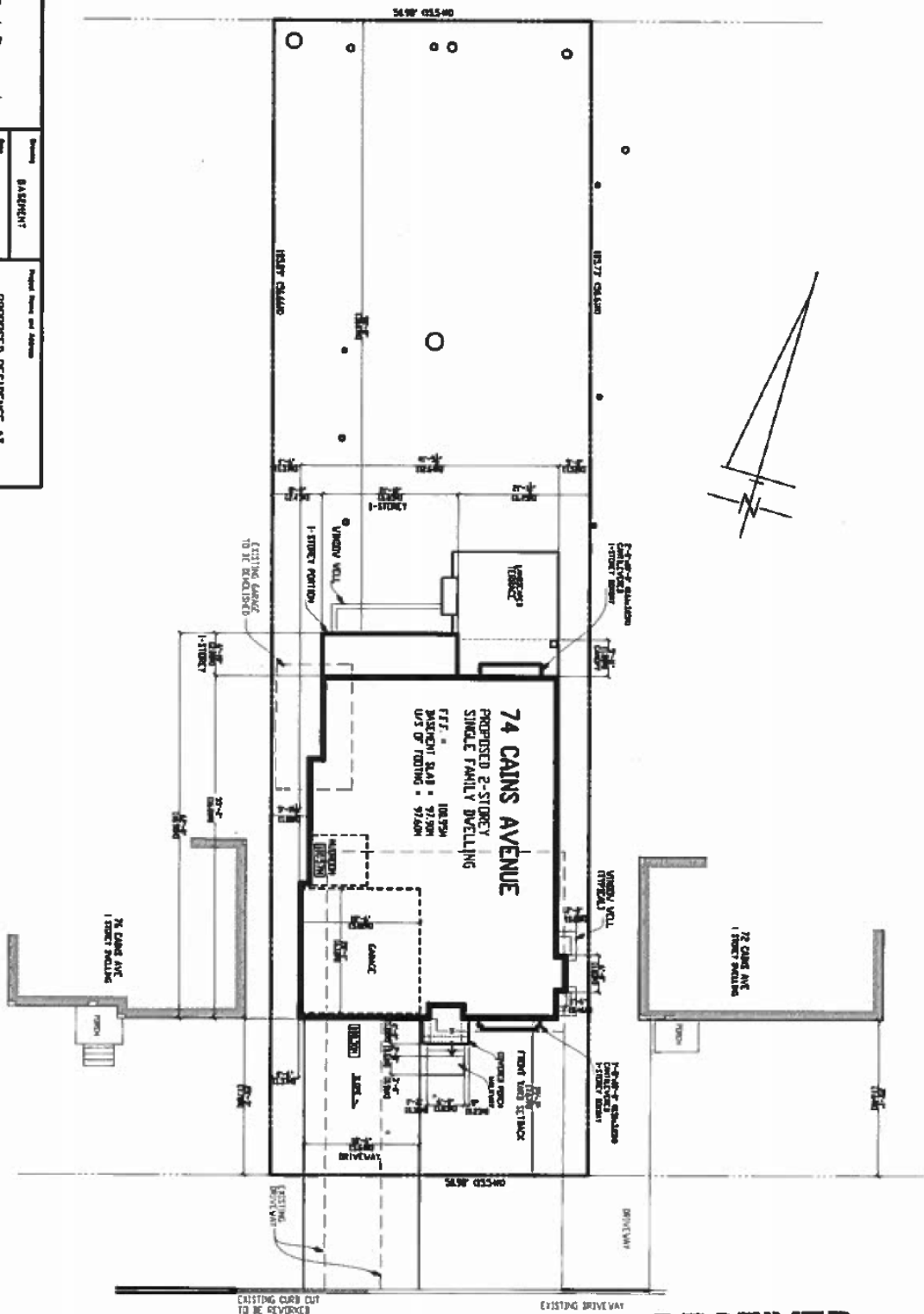
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The proposal be developed in accordance with the site plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, February 14, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

MD MonBrich Design Inc.
 1000 Sheppard Ave. E. Suite 200
 Scarborough, ON M1S 1T5
 Tel: (416) 441-2288
 Fax: (416) 441-2289
 Email: info@monbrich.com
 Web: www.monbrich.com

Project Name and Address	74 CAINS AVENUE NORTH YORK
Project No.	028-16
Scale	1/8" = 1'-0"
Rev.	REV #02 2007
Sheet	BASIMENT



CAINS AVENUE
 CENTER LINE OF PAVEMENT

RECEIVED
 FEB 14 2017
 Toronto City Planning
 North York District

SIGNATURE PAGE

File Number:	A1101/16NY	Zoning	RD/R4 [WAV]
Owner:	HAMID REZA YAHYAE	Ward:	Willowdale (23)
Agent:	MAHIR MANIOS	Heritage:	Not Applicable
Property Address:	74 CAINES AVE	Community:	North York
Legal Description:	PLAN 3323 W PT LOT 35		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1102/16NY	Zoning	R3/RD (f18.0; a690)(BLD)
Owner(s):	GAREPHO BENECHOUTSOS ANDREAS BENECHOUTSOS	Ward:	Don Valley East (34)
Agent:	TDMT AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	19 PITCAIRN CRES	Community:	North York
Legal Description:	PLAN M683 LOT 13		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new rear deck to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 6(24)(c), Zoning By-law No. 7625**
The maximum height permitted is 1.0m.
The proposed deck height is 2.53m.
- Section 6(24)(c), Zoning By-law No. 7625**
The first 2.1m of deck above 1.0m must not be wider than 50% of the rear main wall width of dwelling unit.
The proposed deck is 54% of the rear main wall width.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1102/16NY	Zoning	R3/RD (f18.0; a690)(BLD)
Owner:	GAREPHO BENECHOUTSOS ANDREAS BENECHOUTSOS	Ward:	Don Valley East (34)
Agent:	TDMT AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	19 PITCAIRN CRES	Community:	North York
Legal Description:	PLAN M683 LOT 13		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1104/16NY	Zoning	RD/R6 [ZZC]
Owner(s):	MIRIAM POLATSEK AVNER POLATSEK	Ward:	Eglinton-Lawrence (15)
Agent:	IDELS ARCHITECT INC.	Heritage:	Not Applicable
Property Address:	53 BROOKVIEW DR	Community:	North York
Legal Description:	PLAN 3825 LOT 114		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
A detached house may extend beyond the permitted maximum building length by a maximum of 2.00m, provided the rear one-storey extension is at least 3.00m from each lot line.
The proposed west side yard setback is 1.22m to the rear one-storey extension.
- 2. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 5.34m² within 8.15m of the main front wall.
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 39.60% of the lot area.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is **17.78m**.
- 5. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 7.94m.
The proposed front yard setback is **7.00m**.
- 6. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is 0.91m.

7. **Chapter 10.5.100.1.(1), By-law No. 569-2013**
The maximum permitted driveway width is 3.47m.
The proposed driveway width is **3.66m**.
8. **Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is 0.91m.
9. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.62m.
10. **Section 14-B(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is **17.78m**.
11. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 39.60% of the lot area.
12. **Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 2.02m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
A detached house may extend beyond the permitted maximum building length by a maximum of 2.00m, provided the rear one-storey extension is at least 3.00m from each lot line.
The proposed west side yard setback is 1.22m to the rear one-storey extension.
2. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 5.34m² within 8.15m of the main front wall.
4. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is **17.78m**.
5. **Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 7.94m.
The proposed front yard setback is **7.00m**.
6. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is 0.91m.

7. **Chapter 10.5.100.1.(1), By-law No. 569-2013**
The maximum permitted driveway width is 3.47m.
The proposed driveway width is **3.66m**.
8. **Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is 0.91m.
9. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.62m.
10. **Section 14-B(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is **17.78m**.
12. **Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 2.02m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

3. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **37.00%** of the lot area.
11. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **37.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A1104/16NY	Zoning	RD/R6 [ZZC]
Owner:	MIRIAM POLATSEK AVNER POLATSEK	Ward:	Eglinton-Lawrence (15)
Agent:	IDELS ARCHITECT INC.	Heritage:	Not Applicable
Property Address:	53 BROOKVIEW DR	Community:	North York
Legal Description:	PLAN 3825 LOT 114		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1103/16NY	Zoning	R1B/RD[ZONING]
Owner(s):	SONYA DIESBERGER SVEN WALKER	Ward:	Don Valley West (26)
Agent:	DREW LASLO ARCHITECT	Heritage:	Not Applicable
Property Address:	10 RICHLEA CRCL	Community:	East York
Legal Description:	PLAN M597 PT LOT 113		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 8.5m.
The proposed building height is 8.79m.
- 2. Section 6.3.3, By-law No. 1916**
The maximum permitted building height is 8.5m.
The proposed building height is 8.79m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1103/16NY	Zoning	R1B/RD[ZONING]
Owner:	SONYA DIESBERGER SVEN WALKER	Ward:	Don Valley West (26)
Agent:	DREW LASLO ARCHITECT	Heritage:	Not Applicable
Property Address:	10 RICHLEA CRCL	Community:	East York
Legal Description:	PLAN M597 PT LOT 113		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1107/16NY	Zoning	RD/R6 [ZZC]
Owner(s):	JULIO ALONSO	Ward:	York Centre (10)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	127 REINER RD	Community:	North York
Legal Description:	PLAN 1938 W PT LOT 142		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.68m.
- 2. Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street (Gormon Park Rd.) that is not a major street.
The proposed vehicle access to a parking is not from the flanking street (Reiner Rd.).
- 3. Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.19m**.
- 4. Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is 16.99m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

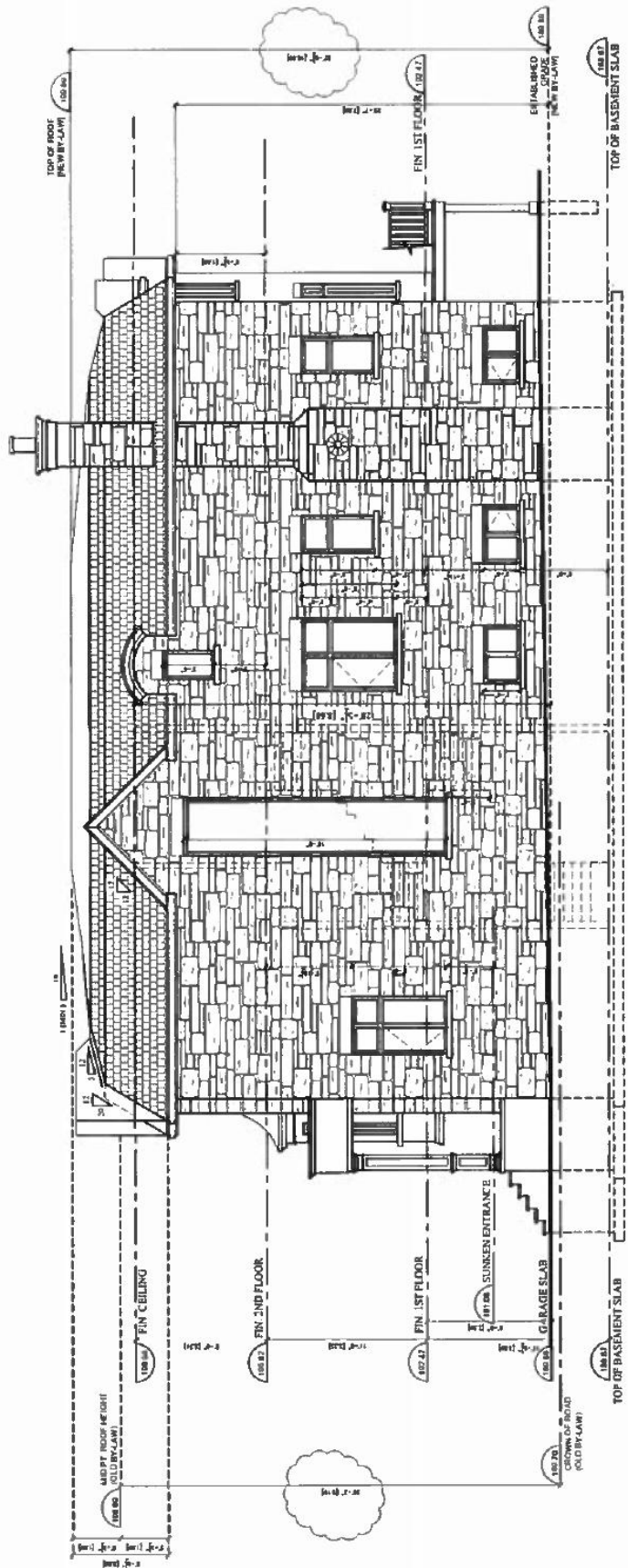
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the west and east side elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, February 14, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



Rubinoff Design Group
 897 Mt. Pleasant Rd.
 Toronto, Ontario M4B 2M4
 Tel: (416) 461-1111
 127 BURNHAMTHORPE RD.
 MISSISSAUGA, ONTARIO
 M2H 1P6
 TEL: (905) 277-8888

RIGHT SIDE ELEVATION
 WEST

RECEIVED
 FEB 14 2017

Toronto City Planning
 North York District

SIGNATURE PAGE

File Number:	A1107/16NY	Zoning	RD/R6 [ZZC]
Owner:	JULIO ALONSO	Ward:	York Centre (10)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	127 REINER RD	Community:	North York
Legal Description:	PLAN 1938 W PT LOT 142		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1109/16NY	Zoning	R/R2 Z0.6 [ZZC]
Owner(s):	PHUNG NGHIA LUONG	Ward:	Eglinton-Lawrence (16)
Agent:	JUST DRAFTING LTD	Heritage:	Not Applicable
Property Address:	20 DELORAINE AVE	Community:	Toronto
Legal Description:	PLAN E568 PT LOT 56		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey addition, to the rear of the existing two-storey dwelling, in conjunction with other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10(1), By-law No. 569-2013**
The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is 40.90%.
- 2. Chapter 10.10.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 9.14m.
- 3. Chapter 10.10.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is 0.62 times the lot area.
- 4. Chapter 10.10.40.40.(2), By-law No. 569-2013**
The maximum permitted floor space index for additions to the rear of a erected before October 15, 1953 is 0.69 times the area of the lot.
The proposed floor space index is 1.00 times the area of the lot.
- 5. Section 6(3) Part III 3(d)i(D), By-law No. 438-86**
The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is 40.90%.

6. Section 6(3) Part IV 3(II), By-law No. 438-86

The by-law does not permit an integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line. The proposed integral garage is below grade.

7. Section 6(3) Part VI(I), By-law No. 438-86

The maximum permitted floor space index for additions to the rear of a erected before October 15, 1953 is 0.69 times the area of the lot. The proposed floor space index is 0.74 times the area of the lot.

8. Section 6(3) Part VI(V), By-law No. 438-86

The by-law allows additions to the rear of a detached house erected before October 15, 1953, or to a converted house, provided the depth of the residential building including the addition or additions does not exceed 17.00m. The proposed building depth is 18.29m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The driveway maintain a positive slope from the street to the integral garage.
2. Permeable materials are to be used for the proposed driveway.

SIGNATURE PAGE

File Number:	A1109/16NY	Zoning	R/R2 Z0.6 [ZZC]
Owner:	PHUNG NGHIA LUONG	Ward:	Eglinton-Lawrence (16)
Agent:	JUST DRAFTING LTD	Heritage:	Not Applicable
Property Address:	20 DELORAINE AVE	Community:	Toronto
Legal Description:	PLAN E568 PT LOT 56		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, February 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1110/16NY	Zoning	RD & R4 (Waiver)
Owner(s):	ANDES SIU CHEONG TANG	Ward:	Willowdale (23)
Agent:	ALERA ENGINEERING AND CONSTRUCTION INC	Heritage:	Not Applicable
Property Address:	115 BURNETT AVE	Community:	
Legal Description:	PLAN M407 LOT 448		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **32.98%** of the lot area.
- 2. Chapter 10.20.40.70.(4), By-law 569-2013**
The required minimum side yard setback is 1.8m.
The proposed east side yard setback is 1.5m.
- 3. Chapter 10.20.40.70.(4), By-law 569-2013**
The required minimum side yard setback is 1.8m.
The proposed west side yard setback is 1.5m.
- 4. Chapter 10.5.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 8.84 m.
The proposed front yard setback is **8.53m**.
- 5. Chapter 10.5.80.40.(3), By-law 569-2013**
(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from front of the lot.
- 6. Chapter 10.20.40.10(2) B(ii), By-law 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.57m.

7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.5m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.5m.
9. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **32.98%** of the lot area.
10. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 17.69m
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **8.97m**.
12. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.62m.
13. **Section 6 (24), By-law No. 7625**
The maximum rear deck projection is 2.1m.
The proposed rear deck projects **2.90m**.
14. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550m².
The (existing) proposed lot area is 546.51m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A1110/16NY	Zoning	RD & R4 (Waiver)
Owner:	ANDES SIU CHEONG TANG	Ward:	Willowdale (23)
Agent:	ALERA ENGINEERING AND CONSTRUCTION INC	Heritage:	Not Applicable
Property Address:	115 BURNETT AVE	Community:	
Legal Description:	PLAN M407 LOT 448		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, February 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0895/16NY	Zoning	R2/RM (f12.0; u2; d0.8) (x252)(ZR)
Owner(s):	KINCH MCCONNELL	Ward:	Eglinton-Lawrence (15)
Agent:	CADAXX DESIGN	Heritage:	Not Applicable
Property Address:	340 GLENHOLME AVE	Community:	York
Legal Description:	PLAN 2613 LOT 11 PT LOTS 6 TO 10		

Notice was given and a Public Hearing was held on Thursday, February 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third storey above the existing two-storey dwelling and a new three-storey addition at the rear to create a duplex building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.30.20.(1), B(iii), Zoning By-law No. 569-2013**
The required minimum lot frontage for a duplex is 18.0m.
The existing lot frontage is 9.14m.
- 2. Chapter 200.5.10.1.(1), Zoning By-law No. 569-2013**
The required minimum number of parking spaces for the duplex is 2 spaces.
The proposal will have 1 space.
- 3. Section 3.2.1, York Zoning By-law 1-83**
A duplex requires 2 parking spaces.
The proposed has 1 parking space.
- 4. Section 8.3. (a), York Zoning By-law 1-83**
The minimum lot frontage is 12m.
The existing lot frontage is 9.14m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.80.30.20.(1), B(iii), Zoning By-law No. 569-2013

The required minimum lot frontage for a duplex is 18.0m.

The existing lot frontage is 9.14m.

4. Section 8.3. (a), York Zoning By-law 1-83

The minimum lot frontage is 12m.

The existing lot frontage is 9.14m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. Chapter 200.5.10.1.(1), Zoning By-law No. 569-2013

The required minimum number of parking spaces for the duplex is 2 spaces.

The proposal will have 1 space.

3. Section 3.2.1, York Zoning By-law 1-83

A duplex requires 2 parking spaces.

The proposed has 1 parking space.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0895/16NY	Zoning	R2/RM (f12.0; u2; d0.8) (x252)(ZR)
Owner:	KINCH MCCONNELL	Ward:	Eglinton-Lawrence (15)
Agent:	CADAXX DESIGN	Heritage:	Not Applicable
Property Address:	340 GLENHOLME AVE	Community:	York
Legal Description:	PLAN 2613 LOT 11 PT LOTS 6 TO 10		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, March 2, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.