

February 16, 2017

NOTICE OF DECISIONS
(Section 53 and 54 of the Planning Act)

PLEASE NOTE:

Applications Deferred *sine die*:

- Item #3. B027/16SC - 5789, 5827, 5933, 5945 & 5951 Steeles Ave., E.
- Item #16. A0375/16SC – 38 Minnacote Ave
- Item #20. A124/13SC – 1830 Ellesmere Rd
- Item #21. A0286/16SC – 1 Norcap Ave
- Item #22. A0325/16SC – 43 Buena Vista Ave
- Item #25. A0369/16SC – 43 Guildcrest Dr
- Item #28. A0378/16SC – 23 Elmview Dr
- Item #34. A0389/16SC – 17 Sonneck Sq
- Item #43. A0008/17SC – 63 Scarboro Ave

Thursday, February 16, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0047/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) [ZR]
Owner(s):	ANDREW SPENCER	Ward:	Scarborough Southwest (36)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	129 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 287 288 PT LOT 289		

Notice was given and the application considered on Thursday, February 16, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever rear portion of 129 Harewood Avenue to form part of a new residential lot with frontage on Randall Crescent, as indicated on the attached plan. The existing dwelling will be maintained.

Conveyed - Part 2

The lot will have dimensions of 15.01 m by 16.72 m. The parcel will be merged with the rear portion of the adjacent property (127 Harewood Avenue) to form part of a new residential lot. The new lot will front onto Randall Crescent and will have a frontage of 15.01 m and a combined lot area of 503 m². The property will be redeveloped as the site of a new detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0239/16SC.

Retained - Part 1

Part 1 (129 Harewood) will have a lot area of 464 m² and the frontage will remain as 16.71 m. A 5 m corner rounding will be conveyed to the city. The existing dwelling and detached garage will be maintained.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

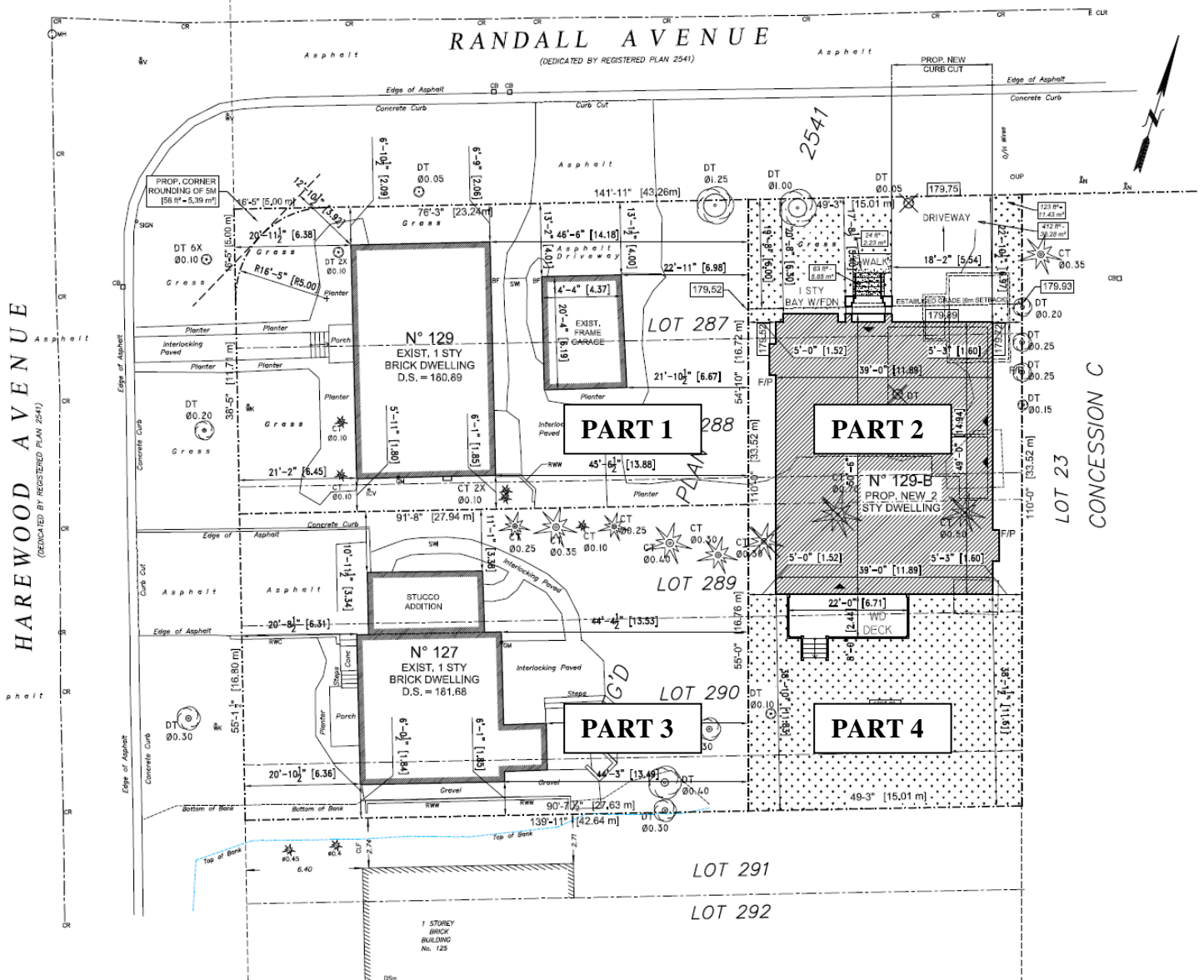
The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to create new lots as shown on the attached lot division plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.

2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca.
4. **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
5. The following conditions shall be fulfilled to the satisfaction of the Acting Manager, Development Engineering, Engineering & Construction Services, Scarborough District:
 - a. Prepare all documents and convey to the City, at nominal cost, (a 5 metre corner rounding on the Southeast corner of Harewood Avenue & Randall Crescent) in fee simple, such lands to be free and clear of all physical and title encumbrances, and subject to a right-of-way for access in favour of the Grantor until such time as said lands have dedicated as a public highway, all to the satisfaction to the Executive Director of Engineering and Construction Services and the City Solicitor;
 - b. Submit a draft Reference Plan of Survey to the Executive Director of Engineering and Construction Services, for review and approval, prior to depositing it in the Land Registry Office. The plan should:
 - i. be in metric units and integrated with the Ontario Co-ordinate System (3° MTM, Zone 10, NAD 83 CSRS);
 - ii. delineate by separate PARTS the lands to be conveyed to the City, the remainder of the site and any appurtenant rights-of-way and easements; and
 - iii. show the co-ordinate values of the main corners of the subject lands in a schedule on the face of the plan.
 - c. Pay all costs for registration and preparation of reference plan(s).
6. The Owner shall obtain Final and Binding Decisions on minor variance applications A0239/16SC and A0240/16SC, to the satisfaction of the Deputy Secretary-Treasurer, Committee of Adjustment, Scarborough Panel.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

Attachment 1



SIGNATURE PAGE

File Number:	B0047/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) [ZR]
Owner(s):	ANDREW SPENCER	Ward:	Scarborough Southwest (36)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	129 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 287 288 PT LOT 289		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, March 13, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, February 16, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0048/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) [ZR]
Owner(s):	MELISSA SPENCER	Ward:	Scarborough Southwest (36)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	127 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 290 PT LOT 289 PT LOT 291		

Notice was given and the application considered on Thursday, February 16, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever rear portion of 127 Harewood Avenue to form part of a new residential lot with frontage on Randall Crescent, as indicated on the attached plan. The existing dwelling will be maintained.

Conveyed - Part 3

The lot will have dimensions of 15.01 m by 16.76 m. The parcel will be merged with the rear portion of the adjacent property (129 Harewood Avenue) to form part of a new residential lot. The new lot will front onto Randall Crescent and will have a frontage of 15.01 m and a combined lot area of 503 m². The property will be redeveloped as the site of a new detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0239/16SC.

Retained - Part 4

Part 4 (127 Harewood) will have a lot area of 467 m² and the frontage will remain as 16.8 m. The existing dwelling will be maintained. This severance will comply with the provisions of the Zoning By-law.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

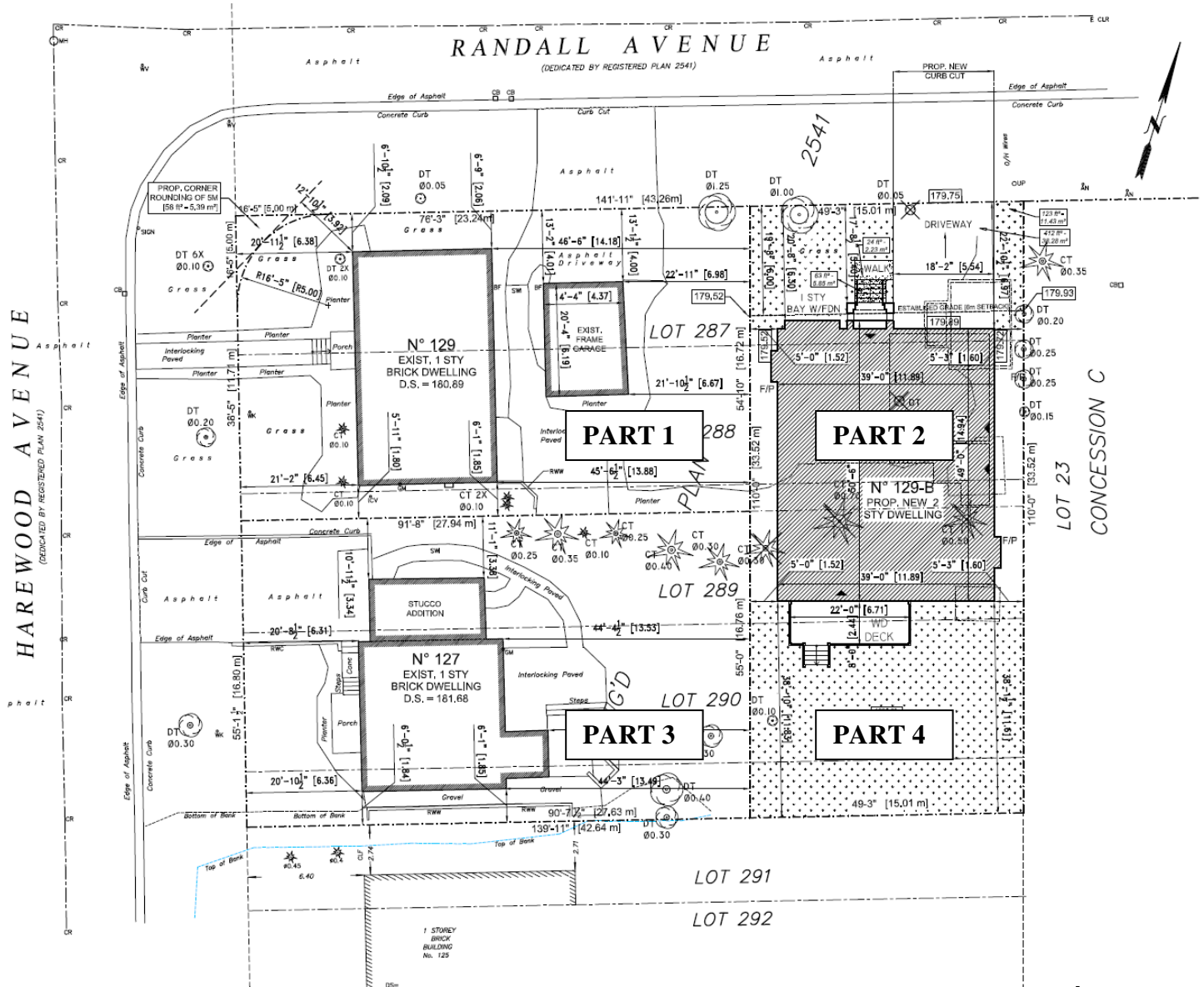
The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to create new lots as shown on the attached lot division plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.

2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca.
4. **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
5. The following conditions shall be fulfilled to the satisfaction of the Acting Manager, Development Engineering, Engineering & Construction Services, Scarborough District:
 - a. Prepare all documents and convey to the City, at nominal cost, (a 5 metre corner rounding on the Southeast corner of Harewood Avenue & Randall Crescent) in fee simple, such lands to be free and clear of all physical and title encumbrances, and subject to a right-of-way for access in favour of the Grantor until such time as said lands have dedicated as a public highway, all to the satisfaction to the Executive Director of Engineering and Construction Services and the City Solicitor;
 - b. Submit a draft Reference Plan of Survey to the Executive Director of Engineering and Construction Services, for review and approval, prior to depositing it in the Land Registry Office. The plan should:
 - i. be in metric units and integrated with the Ontario Co-ordinate System (3° MTM, Zone 10, NAD 83 CSRS);
 - ii. delineate by separate PARTS the lands to be conveyed to the City, the remainder of the site and any appurtenant rights-of-way and easements; and
 - iii. show the co-ordinate values of the main corners of the subject lands in a schedule on the face of the plan.
 - c. Pay all costs for registration and preparation of reference plan(s).
6. The Owner shall obtain Final and Binding Decisions on minor variance applications A0239/16SC and A0240/16SC, to the satisfaction of the Deputy Secretary-Treasurer, Committee of Adjustment, Scarborough Panel.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

Attachment 1



SIGNATURE PAGE

File Number:	B0048/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) [ZR]
Owner(s):	MELISSA SPENCER	Ward:	Scarborough Southwest (36)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	127 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 290 PT LOT 289 PT LOT 291		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, March 13, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0239/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) [ZR]
Owner(s):	ANDREW SPENCER MELISSA SPENCER	Ward:	Scarborough Southwest (36)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	127/129 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 287 288 PT LOT 289		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling on a new lot with frontage on Randall Avenue (Parts 2 and 3).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed dwelling will cover 35.78% of the lot area (180.07 m²);
Whereas the maximum permitted coverage is 33% of the lot area (166.07 m²).
2. The proposed dwelling will have a gross floor area equal to 0.68 times the area of the lot (339.69 m²);
Whereas the maximum permitted floor area is 0.5 times the area of the lot (251.63 m²).

By-law No. 9396:

3. The proposed dwelling will cover 36.5% of the lot area (183.67 m²);
Whereas the maximum permitted coverage is 33% of the lot area (166.07 m²).
4. The proposed dwelling will have a gross floor area equal to 0.641 times the area of the lot (322.34 m²);
Whereas the maximum permitted floor area is 0.5 times the area of the lot (251.63 m²).

By-law No. 569-2013:

5. The proposed dwelling will have a second suite in the basement;
Whereas a secondary suite is only permitted if the entire building was constructed more than 5 years prior to the introduction of a secondary suite.

By-law No. 569-2013 & No. 9396:

6. No parking spaces are proposed for the second suite;
Whereas one parking space is required for the proposed second suite.
7. The proposed driveway will be 5.54 m wide;
Whereas the maximum permitted width of the driveway is the width of the parking space behind the front wall (5.49 m).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall submit a complete application for permit to injure or remove privately owned tree(s).
2. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. The payment required for each new tree to be planted is \$583. Urban Forestry staff have determined that **one (1) tree** is required under this application, therefore the total payment required is **\$583**.

Payments shall be made payable to the **Treasurer, City of Toronto** and sent to the attention of Supervisor Urban Forestry, Tree Protection & Plan Review, at 150 Borough Drive, 5th Floor, Toronto, Ontario, M1P 4N7. Accepted methods of payment may be in the form of a Letter of Credit, certified cheque, bank draft, money order, or pay in person by credit card or debit card.

A Letter of Clearance will be issued once the required conditions are fulfilled. Applicants may contact our office at 416-338-5566 or by email at tppreast@toronto.ca for additional information.

SIGNATURE PAGE

File Number:	A0239/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) [ZR]
Owner:	ANDREW SPENCER MELISSA SPENCER	Ward:	Scarborough Southwest (36)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	127/129 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 287 288 PT LOT 289		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0240/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) [ZR]
Owner(s):	ANDREW SPENCER	Ward:	Scarborough Southwest (36)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	129 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 287 288 PT LOT 289		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the existing dwelling at 129 Harewood Avenue (Part 1). The existing property at 127 Harewood Avenue (Part 4) does not require variances to the Zoning By-law.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The existing home is located 3.92 m from the front lot line, as measured from the corner rounding; Whereas the minimum required front yard setback is 6.31 m.
Note: The existing front yard setback of 6.45 m will not change.

By-law No. 9396:

2. The existing home is located 3.92 m from the front lot line, as measured from the corner rounding; Whereas the minimum required front yard setback is 6 m;
Note: The existing front yard setback of 6.45 m will not change.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0240/16SC	Zoning	Residential Detached (RD) & Single Family Residential (S) [ZR]
Owner:	ANDREW SPENCER	Ward:	Scarborough Southwest (36)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	129 HAREWOOD AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 287 288 PT LOT 289		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

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Thursday, February 16, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0060/16SC	Zoning	Single Family (S) and Residential Detached (RD) Zone [ZR]
Owner:	AJIT PAUL	Ward:	Scarborough Southwest (36)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	198 RANDALL CRES	Community:	Cliffcrest Community
Legal Description:	PLAN M420 PT LOT 20		

Notice was given and the application considered on Thursday, February 16, 2017, as required by the Planning Act.

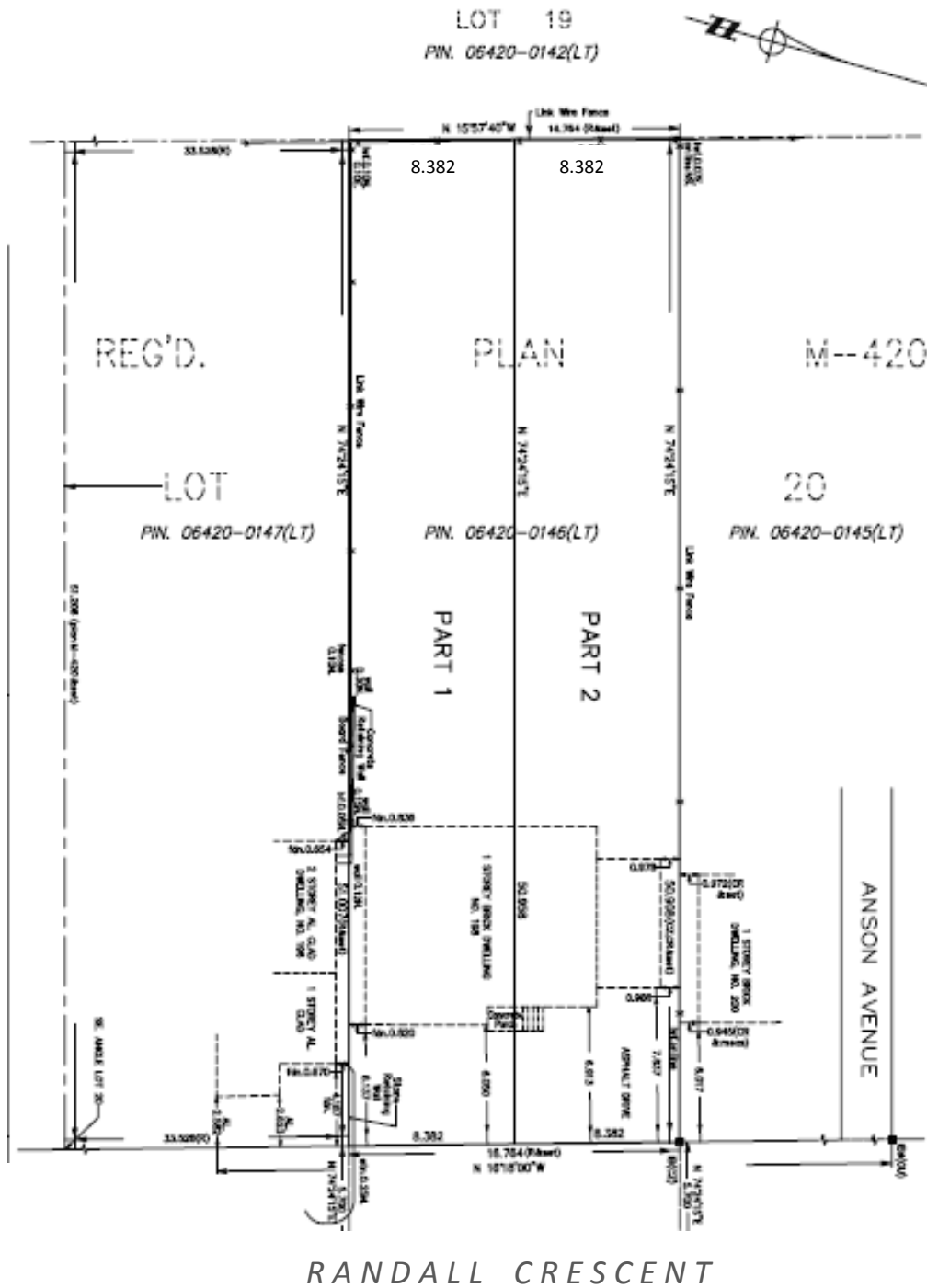
THE CONSENT REQUESTED:

Proposal to sever the land into two lots for detached dwellings. The proposed lots would each have a frontage of approximately 8.38 m on Randall Crescent and a lot area of approximately 427 m², and are shown as PARTS 1 and 2 on the attached Site Plan.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

The Committee has considered the application for consent to the creation of new lots as shown on the attached drawing. The Committee is not satisfied that the application meets the criteria set out in the provisions of Section 51(24) of the *Planning Act*. The application is therefore refused.



Lot Division Plan 198 Randall Crescent

Applicant's Submitted Drawing

File # B0060/16SC

Not to Scale

16/02/2017

Attachment 1

SIGNATURE PAGE

File Number:	B0060/16SC	Zoning	Single Family (S) and Residential Detached (RD) Zone [ZR]
Owner:	AJIT PAUL	Ward:	Scarborough Southwest (36)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	198 RANDALL CRES	Community:	Cliffcrest Community
Legal Description:	PLAN M420 PT LOT 20		

David Peacock

Eden Gajraj

Hena Kabir

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, March 13, 2017

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0330/16SC	Zoning	Single Family (S) and Residential Detached (RD) Zone [ZR]
Owner:	AJIT PAUL	Ward:	Scarborough Southwest (36)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	198 RANDALL CRES PART 1	Community:	Cliffcrest Community
Legal Description:	PLAN M420 PT LOT 20		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The owner is requesting consent to sever the land at 198 Randall Crescent into two lots, and has applied for variances for the proposed south lot, shown as Part 1 on the attached Lot Division Plan. The owner is proposing to demolish the existing dwelling and build a new single family dwelling.

REQUESTED VARIANCES TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed lot frontage is 8.3 m
Whereas the minimum required lot frontage is 12 m
2. The proposed lot area is 427 m²
Whereas the minimum required lot area is 464 m²
3. The proposed floor area is 0.58 x lot area (248.1 m² gross floor area)
Whereas the maximum permitted floor area is 0.5 x lot area (213 m²)
4. The proposed building length is 20.2 m
Whereas the maximum permitted building length is 17 m measured between the portion of the front main wall closest to the front lot line and the portion of the rear main wall closest to the rear lot line.
5. The proposed building depth is 21.1 m
Whereas the maximum permitted building depth is 19 m measured between the front yard setback required on the lot and the portion of the rear main wall furthest from the required front yard setback

6. The proposed roof eave would be 0.11 m from the north side lot line (PART 1)
Whereas the eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 m, if they are no closer to a lot line than 0.3 m

By-law No. 9396:

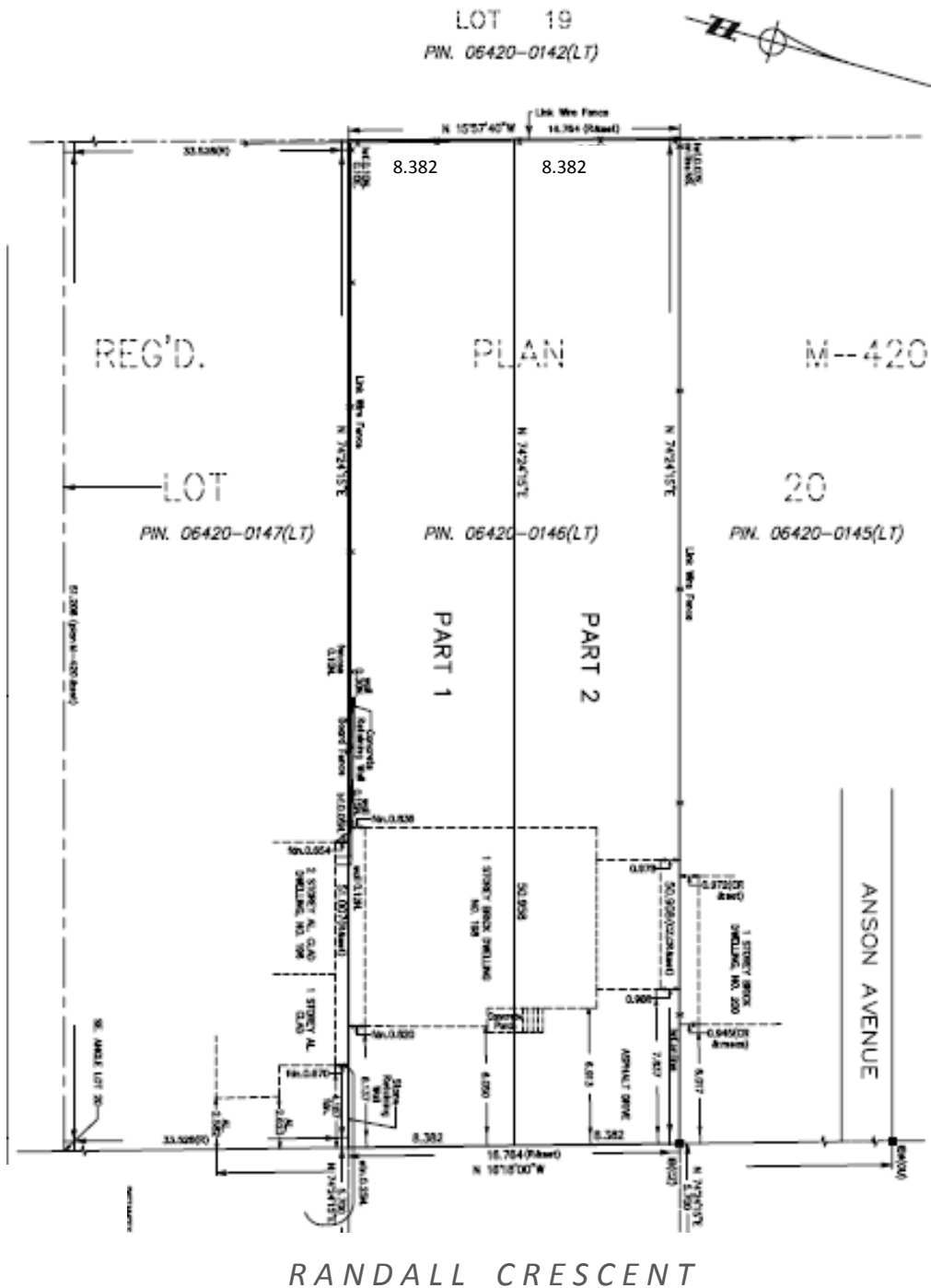
7. The proposed lot frontage is 8.3 m
Whereas the minimum required lot frontage is 12 m
8. The proposed lot area is 427 m²
Whereas the minimum required lot area is 464 m²
9. The proposed side yard setbacks are 0.45 m on the north side and 0.91 m on the south side
Whereas the minimum required side yard setback is 1.8 m
10. The proposed floor area is 0.58 x lot area (248.1 m² gross floor area)
Whereas the maximum permitted floor area is 0.5 x lot area (213 m²)
11. The proposed parking space dimensions are 3.2 m x 5.69 m
Whereas the minimum required parking spaces dimensions are 3.3 m x 5.6 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variances are not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are not minor.



Lot Division Plan 198 Randall Crescent (PART 1)

Applicant's Submitted Drawing

File # A0330/16SC

Not to Scale

16/02/2017

Attachment 1

SIGNATURE PAGE

File Number:	A0330/16SC	Zoning	Single Family (S) and Residential Detached (RD) Zone [ZR]
Owner:	AJIT PAUL	Ward:	Scarborough Southwest (36)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	198 RANDALL CRES PART 1	Community:	Cliffcrest Community
Legal Description:	PLAN M420 PT LOT 20		

David Peacock

Eden Gajraj

Hena Kabir

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0331/16SC	Zoning	Single Family (S) and Residential Detached (RD) Zone [ZR]
Owner:	AJIT PAUL	Ward:	Scarborough Southwest (36)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	198 RANDALL CRES PART 2	Community:	Cliffcrest Community
Legal Description:	PLAN M420 PT LOT 20		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The owner is requesting consent to sever the land at 198 Randall Crescent into two lots, and has applied for variances for the proposed north lot, shown as Part 2 on the attached Lot Division Plan. The owner is proposing to demolish the existing dwelling and build a new single family dwelling.

REQUESTED VARIANCES TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed lot frontage is 8.3 m
Whereas the minimum required lot frontage is 12 m
2. The proposed lot area is 427 m²
Whereas the minimum required lot area is 464 m²
3. The proposed floor area is 0.58 x lot area (248.1 m² gross floor area)
Whereas the maximum permitted floor area is 0.5 x lot area (213 m²)
4. The proposed building length is 20.2 m
Whereas the maximum permitted building length is 17 m measured between the portion of the front main wall closest to the front lot line and the portion of the rear main wall closest to the rear lot line.
5. The proposed building depth is 21.1 m
Whereas the maximum permitted building depth is 19 m measured between the front yard setback required on the lot and the portion of the rear main wall furthest from the required front yard setback

6. The proposed roof eave would be 0.11 m from the south side lot line
Whereas the eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 m, if they are no closer to a lot line than 0.3 m

By-law No. 9396:

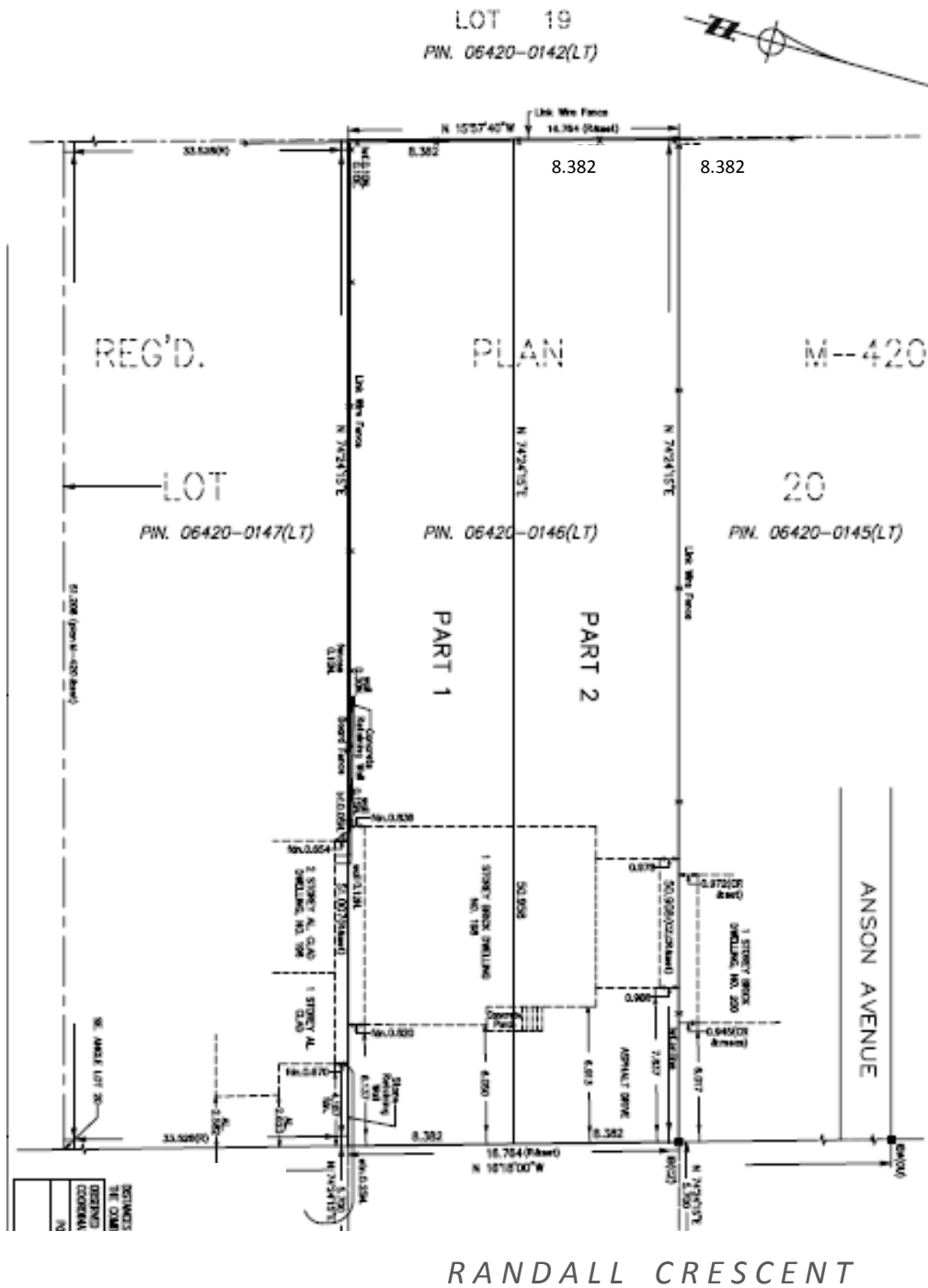
7. The proposed lot frontage is 8.3 m
Whereas the minimum required lot frontage is 12 m
8. The proposed lot area is 427 m²
Whereas the minimum required lot area is 464 m²
9. The proposed side yard setbacks are 0.45 m on the south side and 0.91 m on the north side
Whereas the minimum required side yard setback is 1.8 m
10. The proposed floor area is 0.58 x lot area (248.1 m² gross floor area)
Whereas the maximum permitted floor area is 0.5 x lot area (213 m²)
11. The proposed parking space dimensions are 3.2 m x 5.69 m
Whereas the minimum required parking spaces dimensions are 3.3 m x 5.6 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variances are not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are not minor.



Lot Division Plan 198 Randall Crescent (PART 2)

Applicant's Submitted Drawing File # A0331/16SC

Not to Scale

16/02/2017

Attachment 1

SIGNATURE PAGE

File Number:	A0331/16SC	Zoning	Single Family (S) and Residential Detached (RD) Zone [ZR]
Owner:	AJIT PAUL	Ward:	Scarborough Southwest (36)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	198 RANDALL CRES PART 2	Community:	Cliffcrest Community
Legal Description:	PLAN M420 PT LOT 20		

David Peacock

Eden Gajraj

Hena Kabir

DATE DECISION MAILED ON: Tuesday, February 21, 2017

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THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

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Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A105/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	DYNASTY DEVELOPERS GROUP INC.	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	94 PINEGROVE AVE – PT A	Community:	Cliffside Community
Legal Description:	PLAN 1964 LOT 288 LOT 289		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with integral garage on Lot 288 (Part A).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law 569-2013:

1. The proposed dwelling will cover 38.2% of the lot area (106.69 m²);
Whereas the maximum permitted coverage is 33% of the lot area (92.3 m²).
2. The proposed dwelling will have a gross floor area equal to 0.76 times the lot area (213.3 m²);
Whereas the maximum permitted gross floor area is 0.6 times the lot area (167.8 m²).
3. The proposed dwelling will have a side main wall height of 7.41 m;
Whereas the maximum permitted height of all exterior main walls facing a side lot line is 7 m.
4. The proposed dwelling will have a first floor height of 1.25 m above established grade;
Whereas the maximum permitted first floor height is 1.2 m above established grade.
5. A total of 6.57 m² of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be within 4 m of the front main wall.
6. The eaves of the proposed dwelling will be located 0.18 m from the west side lot line;
Whereas the minimum required side yard setback for an eaves overhang is 0.3 m.

By-law 9364:

7. The proposed dwelling will cover 39.4% of the lot area (110.04 m²);
Whereas the maximum permitted coverage is 33% of the lot area (92.3 m²).
8. The proposed dwelling will have a gross floor area equal to 0.76 times the lot area (213.3 m²);
Whereas the maximum permitted gross floor area is 0.6 times the lot area (167.8 m²).
9. The proposed dwelling will have a basement height of 2.43 m, as measured from the average grade at the front main wall to the ceiling of the basement;
Whereas the maximum permitted basement height is 1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A105/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	DYNASTY DEVELOPERS GROUP INC.	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	94 PINEGROVE AVE – PT A	Community:	Cliffside Community
Legal Description:	PLAN 1964 LOT 288 LOT 289		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A106/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	DYNASTY DEVELOPERS GROUP INC.	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	94 PINEGROVE AVE – PT B	Community:	Cliffside Community
Legal Description:	PLAN 1964 LOT 288 LOT 289		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with integral garage on Lot 289 (Part B).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law 569-2013:

1. The proposed dwelling will cover 38.2% of the lot area (106.69 m²);
Whereas the maximum permitted coverage is 33% of the lot area (92.3 m²).
2. The proposed dwelling will have a gross floor area equal to 0.76 times the lot area (213.3 m²);
Whereas the maximum permitted gross floor area is 0.6 times the lot area (167.8 m²).
3. The proposed dwelling will have a side main wall height of 7.39 m;
Whereas the maximum permitted height of all exterior main walls facing a side lot line is 7 m.
4. The proposed dwelling will have a first floor height of 1.23 m above established grade;
Whereas the maximum permitted first floor height is 1.2 m above established grade.
5. A total of 6.57 m² of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be within 4 m of the front main wall.
6. The eaves of the proposed dwelling will be located 0.19 m from the east side lot line;
Whereas the minimum required side yard setback for an eaves overhang is 0.3 m.

By-law 9364:

7. The proposed dwelling will cover 39.4% of the lot area (110.04 m²);
Whereas the maximum permitted coverage is 33% of the lot area (92.3 m²).
8. The proposed dwelling will have a gross floor area equal to 0.76 times the lot area (213.3 m²);
Whereas the maximum permitted gross floor area is 0.6 times the lot area (167.8 m²).
9. The proposed dwelling will have a basement height of 2.43 m, as measured from the average grade at the front main wall to the ceiling of the basement;
Whereas the maximum permitted basement height is 1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. The payment required for each new tree to be planted is \$583. Urban Forestry staff have determined that **one (1) tree** is required under this application, therefore the total payment required is **\$583**.

Payments shall be made payable to the **Treasurer, City of Toronto** and sent to the attention of Supervisor Urban Forestry, Tree Protection & Plan Review, at 150 Borough Drive, 5th Floor, Toronto, Ontario, M1P 4N7. Accepted methods of payment may be in the form of a Letter of Credit, certified cheque, bank draft, money order, or pay in person by credit card or debit card.

A Letter of Clearance will be issued once the required conditions are fulfilled. Applicants may contact our office at 416-338-5566 or by email at tppreast@toronto.ca for additional information.

SIGNATURE PAGE

File Number:	A106/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	DYNASTY DEVELOPERS GROUP INC.	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	94 PINEGROVE AVE – PT B	Community:	Cliffside Community
Legal Description:	PLAN 1964 LOT 288 LOT 289		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

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Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0223/16SC	Zoning	Industrial (M), General Industrial (MG), Special Industrial (MS) Zone [Waiver]
Owners:	2069308 ONTARIO INC	Ward:	Scarborough-Rouge River (41)
Agent:	HENRY W. CHIU ARCHITECT INC	Heritage:	Not Applicable
Property Address:	188 SILVER STAR BLVD	Employment District:	Milliken Employment District
Legal Description:	PLAN M1852 PT LOT 7 RP 66R16271 PARTS 3 TO 7		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

This application is for variances for a proposal to construct a three storey office building, including medical and dental offices and a place of worship. The proposed building is part of a two phase development project that includes the existing one storey mixed use building at 190 Silver Star Boulevard.

REQUESTED VARIANCES TO THE ZONING BY-LAW:By-law No. 24982:

1. The proposed office building would be used for offices including medical & dental offices
Whereas medical & dental offices are not permitted uses
2. A Place of Worship is proposed in the building
Whereas a Place of Worship is not a permitted use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variances are not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are not minor.

SIGNATURE PAGE

File Number:	A0223/16SC	Zoning	Industrial (M), General Industrial (MG), Special Industrial (MS) Zone [Waiver]
Owners:	2069308 ONTARIO INC	Ward:	Scarborough-Rouge River (41)
Agent:	HENRY W. CHIU ARCHITECT INC	Heritage:	Not Applicable
Property Address:	188 SILVER STAR BLVD	Employment District:	Milliken Employment District
Legal Description:	PLAN M1852 PT LOT 7 RP 66R16271 PARTS 3 TO 7		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir

DATE DECISION MAILED ON: Tuesday, February 21, 2017

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0323/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	AYTEN OZKAN AHMET DORTBUDAK	Ward:	Scarborough Centre (37)
Agent:	AHMET DORTBUDAK	Heritage:	Not Applicable
Property Address:	49 FLINTRIDGE RD	Community:	Dorset Park Community
Legal Description:	PLAN 4663 LOT 37		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013

1. To permit the proposed 36.2% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
2. To permit the proposed 9.3 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.

By-law No. 9508

3. To permit the proposed 36.9% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
4. To permit the proposed 9.3 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
5. To permit the proposed 1.27 metres east and west side yard setback, whereas the Zoning By-law requires a minimum 1.5 metres side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0323/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	AYTEN OZKAN AHMET DORTBUDAK	Ward:	Scarborough Centre (37)
Agent:	AHMET DORTBUDAK	Heritage:	Not Applicable
Property Address:	49 FLINTRIDGE RD	Community:	Dorset Park Community
Legal Description:	PLAN 4663 LOT 37		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

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LAST DATE OF APPEAL TO
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Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0324/16SC	Zoning	Neighbourhood Commercial (NC) & Commercial Residential (CR) Zone [Waiver]
Owners:	BIRCHWOOD PROPERTY INC	Ward:	Scarborough-Agincourt (39)
Agent:	WALKER NOTT DRAGICEVIC ASSOC LTD	Heritage:	Not Applicable
Property Address:	2950 BIRCHMOUNT RD	Community:	L'Amoreaux Community
Legal Description:	CON 4 PT LOT 30 PLAN 2020 PT LOT 1 RP 64R2763 PART 3 TO 7		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal to use Units 1 and 2 of the existing building, which were formerly used for a bakery, for the purposes of a restaurant with seating for twenty people.

We previously sent you a Public Hearing Notice with an incorrect hearing date. Please see the revised hearing date above.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. An eating establishment is proposed in Units 1 and 2
Whereas an eating establishment is not a permitted use.

By-law No. 12466:

2. A total of 98 existing parking spaces are provided on the site
Whereas a minimum of 123 parking spaces are required
3. The proposed change of use would increase the parking space deficiency
Whereas a parking space deficiency may not be increased as a result of the change to a new use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0324/16SC	Zoning	Neighbourhood Commercial (NC) & Commercial Residential (CR) Zone [Waiver]
Owner:	BIRCHWOOD PROPERTY INC	Ward:	Scarborough-Agincourt (39)
Agent:	WALKER NOTT DRAGICEVIC ASSOC LTD	Heritage:	Not Applicable
Property Address:	2950 BIRCHMOUNT RD	Community:	L'Amoreaux Community
Legal Description:	CON 4 PT LOT 30 PLAN 2020 PT LOT 1 RP 64R2763 PART 3 TO 7		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON:

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD:

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0329/16SC	Zoning	Single Family residential (S) & Residential Detached (RD) Zone [Waiver]
Owners:	SAARA L CHETNER GREGORY M BROWN	Ward:	Scarborough Southwest (36)
Agent:	CONSTANTINE RADEFF	Heritage:	Not Applicable
Property Address:	3 FENWOOD HTS	Community:	Cliffcrest Community
Legal Description:	PLAN 3757 LOT 60		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal to construct a new accessory pool house at the rear of the detached single family dwelling.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 9396:

1. The proposed lot coverage is 42%
Whereas the maximum permitted lot coverage is 33%

By-law No. 9396:

2. The combined floor area of the existing indoor garage, the existing carport, and the proposed pool house is 93 m²
Whereas the maximum combined floor area may not exceed 75 m²

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

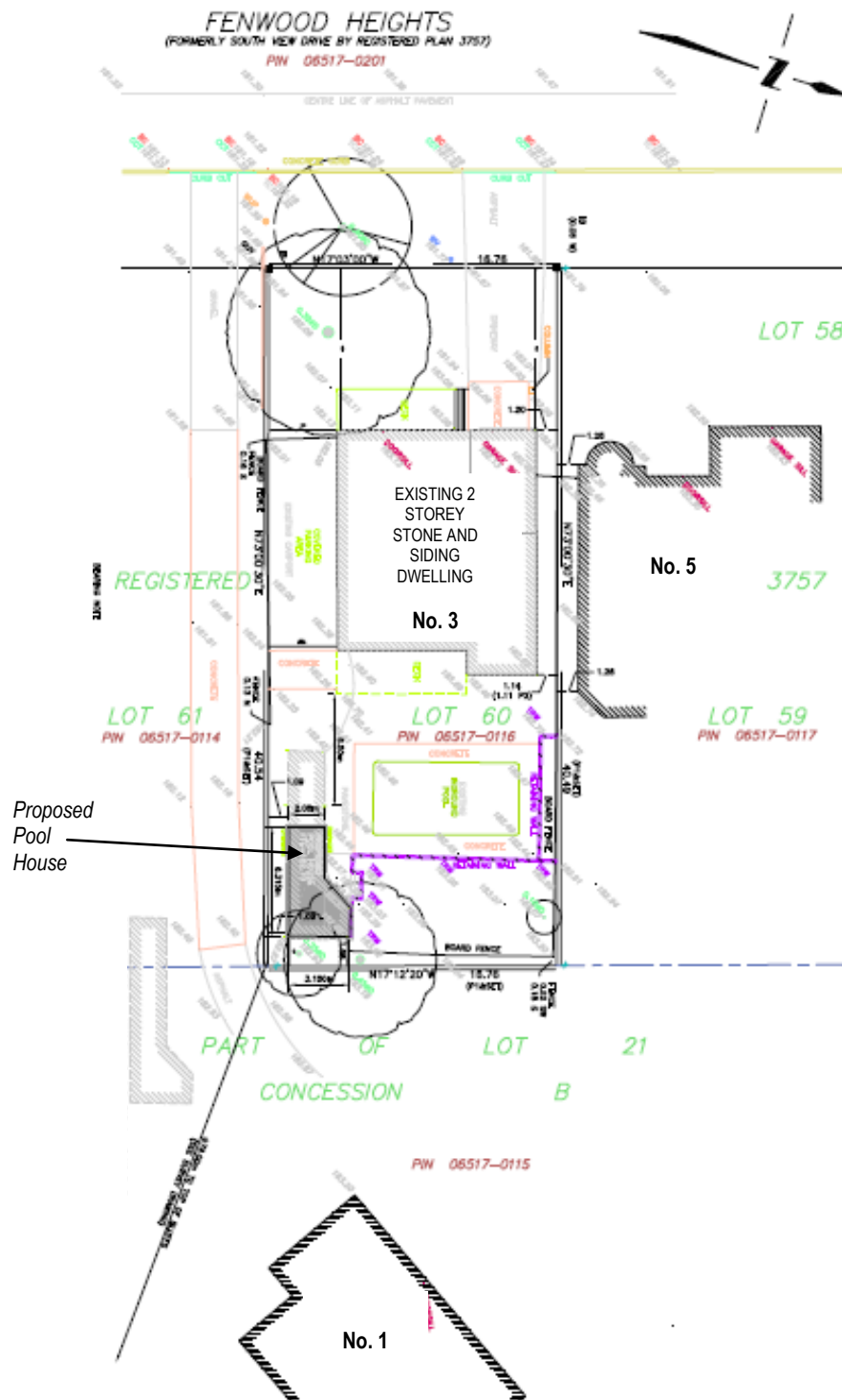
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variances are minor.

This Variance is Conditional on the Following:

1. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s), to the satisfaction of Urban Forestry, Tree Protection & Plan Review.
2. The Owner shall build the proposed pool house in accordance with the attached Site Plan.



Site Plan

Applicant's Submitted Drawing

Not to Scale

16/02/2017

3 Fenwood Heights

File # A0329/16SC

Attachment 1

SIGNATURE PAGE

File Number:	A0329/16SC	Zoning	Single Family residential (S) & Residential Detached (RD) Zone [Waiver]
Owner:	SAARA L CHETNER GREGORY M BROWN	Ward:	Scarborough Southwest (36)
Agent:	CONSTANTINE RADEFF	Heritage:	Not Applicable
Property Address:	3 FENWOOD HTS	Community:	Cliffcrest Community
Legal Description:	PLAN 3757 LOT 60		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0334/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	HUIYAN WANG	Ward:	Scarborough Southwest (36)
Agent:	NEXT PROJECT	Heritage:	Not Applicable
Property Address:	7 REDLAND CRES E	Community:	Cliffcrest Community
Legal Description:	PLAN M350 PT BLK H		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed building length is 27.2 m
Whereas the maximum permitted building length is 17 m measured between the portion of the front main wall closest to the front lot line and the portion of the rear main wall closest to the rear lot line.
2. The proposed building depth is 27.2 m
Whereas the maximum permitted building length is 19 m measured between the front yard setback required on the lot and the portion of the rear main wall furthest from the required front yard setback

By-law No. 9396:

3. The proposed dwelling would be located 28 m from the top of the bluff
Whereas the extent of Major Open Space (O) is within 76 m of the top of bluff.
(In the Major Open Spaces zone, the erection, structural alteration and/or maintenance of buildings, other than public recreational buildings, is prohibited.)

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This approval is conditional on the following conditions:

1. Where there are no existing street trees, the applicant shall provide to Urban Forestry a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The number of trees required to be planted is **one (1)** and the current cost of planting each tree is \$583.00. Payments shall be made payable to the Treasurer, City of Toronto and sent to Urban Forestry, Scarborough Civic Centre, 150 Borough Drive, 5th floor, Toronto, Ontario, M1P 4N7.
2. The following conditions shall be fulfilled to the satisfaction of Urban Forestry Ravine and Natural Feature Protection:
 - a. Prior to the issuance of a demolition and/or building permit, the applicant shall obtain a ravine permit or clearance from RNFP. The permit or clearance may be subject to conditions.
 - b. Prior to the issuance of a demolition and/or building permit, the applicant shall protect all ravine protected trees on the property and adjacent properties, not approved for removal or injury, to the satisfaction of RNFP.
 - c. The applicant shall plant native trees to the satisfaction of RNFP as compensation for any ravine protected trees removed or injured and for loss of protected area to permanent hard surface features.

SIGNATURE PAGE

File Number:	A0334/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	HUIYAN WANG	Ward:	Scarborough Southwest (36)
Agent:	NEXT PROJECT	Heritage:	Not Applicable
Property Address:	7 REDLAND CRES E	Community:	Cliffcrest Community
Legal Description:	PLAN M350 PT BLK H		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0348/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	SANJAY RANCHHODLAL PATEL NEHALKUMARI AMRUTLAL PATEL	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP DEVELOPMENT SERVICES INC	Heritage:	Not Applicable
Property Address:	18 FREEMAN ST – PART 1	Community:	Birchcliff Community
Legal Description:	PLAN 1812 LOT 116 PT LOT 117		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit additional variances to construct two new three-storey detached dwellings on Parts 1 and 2, each with an integral garage and rear deck. Previous Committee of Adjustment applications A053/16SC & A054/16SC approved variances for lot coverage, gross floor area, building length, height of first floor above grade and basement height.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will have a first floor height of 1.32 m above established grade
Whereas the maximum permitted height above established grade is 1.2 m.
Note: Previous Committee of Adjustment Application (A053/16SC) approved a first floor height variance of 1.3 m.

By-law No. 8786:

2. The proposed dwelling will be three (3) storeys in height;
Whereas the maximum permitted number of storeys is two (2).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0348/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	SANJAY RANCHHODLAL PATEL NEHALKUMARI AMRUTLAL PATEL	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP DEVELOPMENT SERVICES INC	Heritage:	Not Applicable
Property Address:	18 FREEMAN ST – PART 1	Community:	Birchcliff Community
Legal Description:	PLAN 1812 LOT 116 PT LOT 117		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0349/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	SANJAY RANCHHODLAL PATEL NEHALKUMARI AMRUTLAL PATEL	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP DEVELOPMENT SERVICES INC	Heritage:	Not Applicable
Property Address:	18 FREEMAN ST – PART 2	Community:	Birchcliff Community
Legal Description:	PLAN 1812 LOT 116 PT LOT 117		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit additional variances to construct two new three-storey detached dwellings on Parts 1 and 2, each with an integral garage and rear deck. Previous Committee of Adjustment applications A053/16SC & A054/16SC approved variances for lot coverage, gross floor area, building length, height of first floor above grade and basement height.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will have a first floor height of 1.37 m above established grade
Whereas the maximum permitted height above established grade is 1.2 m.
Note: Previous Committee of Adjustment Application (A054/16SC) approved a first floor height variance of 1.3 m.

By-law No. 8786:

2. The proposed dwelling will be three (3) storeys in height;
Whereas the maximum permitted number of storeys is two (2).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0349/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	SANJAY RANCHHODLAL PATEL NEHALKUMARI AMRUTLAL PATEL	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP DEVELOPMENT SERVICES INC	Heritage:	Not Applicable
Property Address:	18 FREEMAN ST – PART 2	Community:	Birchcliff Community
Legal Description:	PLAN 1812 LOT 116 PT LOT 117		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0360/16SC	Zoning	Single Family Residential (S) & Residential Detached (RD) Zone [ZR]
Owner:	IOANNIS KATSIS	Ward:	Scarborough Southwest (35)
Agent:	ELIAS KATSIS DRAWINGS	Heritage:	Not Applicable
Property Address:	28B MAYBOURNE AVE	Community:	Clairlea Community
Legal Description:	PLAN 1859 LOT 234		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct two platforms at the front of the existing single family dwelling.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

1. Proposal to construct two platforms at the front of the house
Whereas there may be no more than one platform on each of the front, rear and each side of the house.
2. The proposed coverage is 41.1%
Whereas the maximum permitted coverage is 33%
In April, 2015, the Ontario Municipal Board approved a variance to permit a maximum lot coverage of 39.6% (File A167/14SC).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0360/16SC	Zoning	Single Family Residential (S) & Residential Detached (RD) Zone [ZR]
Owner:	IOANNIS KATSIS	Ward:	Scarborough Southwest (35)
Agent:	ELIAS KATSIS DRAWINGS	Heritage:	Not Applicable
Property Address:	28B MAYBOURNE AVE	Community:	Clairlea Community
Legal Description:	PLAN 1859 LOT 234		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0361/16SC	Zoning	Institutional (I) & Open Space - Cemetery (OC) Zone [Waiver]
Owners:	MOUNT PLEASANT GROUP OF CEMETERIES	Ward:	Scarborough Southwest (35)
Agent:	WALKER NOTT DRAGICEVIC ASSOC LTD	Heritage:	Not Applicable
Property Address:	625 BIRCHMOUNT RD	Community:	Kennedy Park Community
Legal Description:	CON C PT LOT 29,30		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Mount Pleasant Group of Cemeteries is proposing to construct a new maintenance building to replace the existing one-storey maintenance building on the east side of Pine Hills Cemetery, adjacent to Kennedy Road. The existing building foundation would be partially retained so that the proposed maintenance building maintains the existing side yard setbacks to Kennedy Road.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed building setback is 3.85 m from the side lot line at Kennedy Road (the proposed building setback is the same as the existing building setback)
Whereas the minimum required building setback is a distance equal to the height of the building, which is 7.77m

By-law No. 9276:

2. The proposed building setback from the centre line of the original road allowance of Kennedy Road is 16.9 m (the proposed building setback is the same as the existing building setback)
Whereas the minimum required building setback is 25 m from the centre line of the original road allowance of Kennedy Road

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This approval is conditional on the following conditions:

1. Prior to the issuance of a demolition and/or building permit, the applicant shall obtain a ravine permit or clearance from RNFP. The permit or clearance may be subject to conditions.
2. Prior to the issuance of a demolition and/or building permit, the applicant shall protect all ravine protected trees on the property and adjacent properties, not approved for removal or injury, to the satisfaction of RNFP.
3. The applicant shall plant native trees to the satisfaction of RNFP as compensation for any ravine protected trees removed or injured and for loss of protected area to permanent hard surface features.

SIGNATURE PAGE

File Number:	A0361/16SC	Zoning	Institutional (I) & Open Space - Cemetery (OC) Zone [Waiver]
Owners:	MOUNT PLEASANT GROUP OF CEMETERIES	Ward:	Scarborough Southwest (35)
Agent:	WALKER NOTT DRAGICEVIC ASSOC LTD	Heritage:	Not Applicable
Property Address:	625 BIRCHMOUNT RD	Community:	Kennedy Park Community
Legal Description:	CON C PT LOT 29,30		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0364/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	LINA TELESCA MATTHEW APOSTOLI	Ward:	Scarborough East (43)
Agent:	MATTHEW APOSTOLI	Heritage:	Not Applicable
Property Address:	189 GREYABBEY TRL	Community:	Guildwood Community
Legal Description:	PLAN M977 LOT 2		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing dwelling and a two storey front addition to replace the existing covered porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The altered dwelling will have a floor space index equal to 0.57 times the lot area (269.83 m²);
Whereas the maximum permitted floor space index is 0.5 times the lot area (238.69 m²).
2. The altered dwelling will have a length of 17.12 m;
Whereas the maximum permitted building length is 17 m.
3. The proposed dwelling will have a total depth of 19.53 m;
Whereas the maximum permitted building depth, as measured from the minimum front yard setback line, is 19 m.

By-law No. 9676:

4. The altered dwelling will cover 33.2% of the lot area (158.55 m²);
Whereas the maximum permitted coverage is 33% of the lot area (157.53 m²).
5. The altered dwelling will have a total floor area equal to 0.56 times the lot area (265.39 m²);
Whereas the maximum permitted floor area is 0.5 times the lot area (238.69 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0364/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	LINA TELESCA MATTHEW APOSTOLI	Ward:	Scarborough East (43)
Agent:	MATTHEW APOSTOLI	Heritage:	Not Applicable
Property Address:	189 GREYABBEY TRL	Community:	Guildwood Community
Legal Description:	PLAN M977 LOT 2		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0367/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	MD MAHBUB A. KHAN NASREEN JAHAN	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	36 ALLISTER AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 231 LOT 232		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking additional variances to the Zoning By-law to construct a new two storey single family dwelling. A previous Committee of Adjustment application (A078/16SC) that was heard on May 12, 2016 approved variances for coverage, floor area and balcony area.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling, including the existing detached shed, will cover 34.7% of the lot area;
Whereas the maximum permitted coverage is 33% of the lot area.
Note: Committee of Adjustment Application (A078/16SC) approved a lot coverage of 33.7%.
2. None of the area of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be located within 4 m of the front main wall.

By-law No. 9396:

3. The proposed dwelling, including the existing detached shed, will cover 34.7% of the lot area;
Whereas the maximum permitted coverage is 33% of the lot area.
Note: Committee of Adjustment Application (A078/16SC) approved a lot coverage of 33.7%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0367/16SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner:	MD MAHBUB A. KHAN NASREEN JAHAN	Ward:	Scarborough Southwest (36)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	36 ALLISTER AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2541 LOT 231 LOT 232		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0376/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	GEOFFREY CHUNG KELLY-LEIGH REARDON	Ward:	Scarborough Southwest (36)
Agent:	MARIO SILVA	Heritage:	Not Applicable
Property Address:	73 CLONMORE DR	Community:	Birchcliff Community
Legal Description:	PLAN 4302 LOT 21		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to legalize the already built driveway.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013 & By-law No. 8786

1. To permit the 5.5 metres wide driveway, whereas the Zoning By-law permits maximum 3.2 metres wide driveway.
2. To permit 2 parking spaces, whereas the Zoning By-law permits maximum 1 parking space leading directly to a parking space.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0376/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	GEOFFREY CHUNG KELLY-LEIGH REARDON	Ward:	Scarborough Southwest (36)
Agent:	MARIO SILVA	Heritage:	Not Applicable
Property Address:	73 CLONMORE DR	Community:	Birchcliff Community
Legal Description:	PLAN 4302 LOT 21		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0386/16SC	Zoning	Single Family (S) & Residential Detached(RD) Zone [ZR]
Owners:	SUMATHY KRISHNAGOPAL THARMALINGAM KRISHNAGOPAL	Ward:	Scarborough Centre (38)
Agent:	SUBRAMANIAM KATHIRGAMANATHAN	Heritage:	Not Applicable
Property Address:	12 FELICITY DR	Community:	Woburn Community
Legal Description:	PLAN M802 LOT 294		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposed second storey addition to the existing house.

REQUESTED VARIANCES TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The existing/proposed building length is 18.7 m
Whereas the maximum permitted building length is 17 m measured between the portion of the front main wall closest to the front lot line and the portion of the rear main wall closest to the rear lot line.
2. The area of the proposed front balcony is 6.0 m²
Whereas the maximum permitted area of a platform with access from the second storey or above is 4.0 m²
3. The proposed front yard setback is 6.1 m
Whereas the minimum required front yard setback is the average of the front yard setbacks of those buildings on the abutting lots (6.4 m)

By-law No. 9510:

4. The proposed north side yard setback is 1.24 m
Whereas the minimum required side yard setback is 1.8 m
5. The proposed lot coverage is 35.6%
Whereas the maximum permitted lot coverage is 33%

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

The following conditions shall be fulfilled to the satisfaction of Urban Forestry Ravine and Natural Feature Protection:

- a. Prior to the issuance of a demolition and/or building permit, the applicant shall obtain a ravine permit or clearance from RNFP. The permit or clearance may be subject to conditions.
- b. Prior to the issuance of a demolition and/or building permit, the applicant shall protect all ravine protected trees on the property and adjacent properties, not approved for removal or injury, to the satisfaction of RNFP.
- c. The applicant shall plant native trees to the satisfaction of RNFP as compensation for any ravine protected trees removed or injured and for loss of protected area to permanent hard surface features.

SIGNATURE PAGE

File Number:	A0386/16SC	Zoning	Single Family (S) & Residential Detached(RD) Zone [ZR]
Owners:	SUMATHY KRISHNAGOPAL THARMALINGAM KRISHNAGOPAL	Ward:	Scarborough Centre (38)
Agent:	SUBRAMANIAM KATHIRGAMANATHAN	Heritage:	Not Applicable
Property Address:	12 FELICITY DR	Community:	Woburn Community
Legal Description:	PLAN M802 LOT 294		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, February 16, 2017

NOTICE OF DECISION**CONSENT****(Section 53 of the Planning Act)**

File Number:	B0051/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [WAIVER]
Owner(s):	DONG MING LI LI MIN SHANG	Ward:	Scarborough-Rouge River (41)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	8 LAMONT AVE	Community:	Agincourt Community
Legal Description:	PLAN 3395 LOT 26		

Notice was given and the application considered on Thursday, February 16, 2017, as required by the Planning Act.

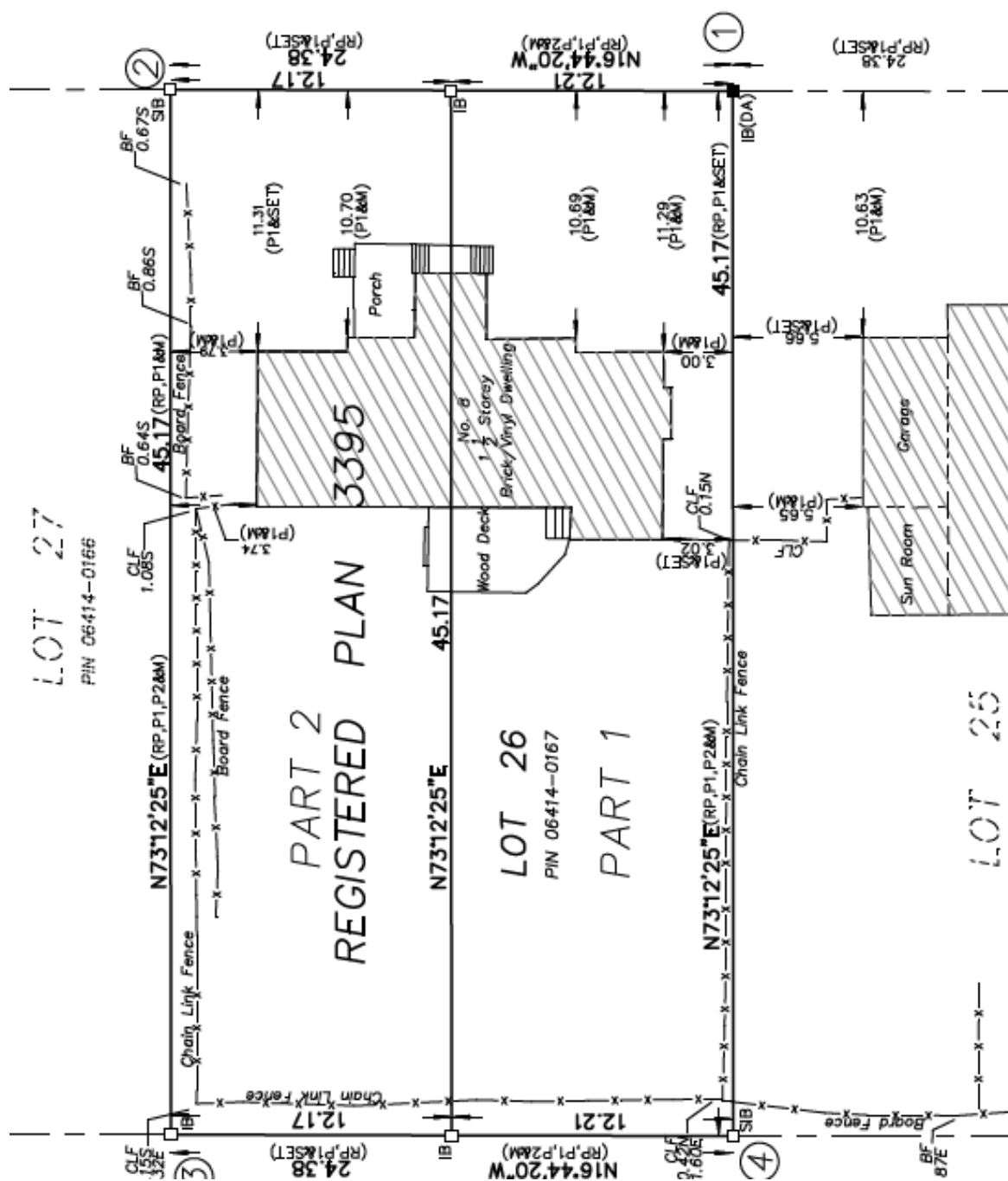
THE CONSENT REQUESTED:

This application is for consent to sever the land into two lots. Part 2 would have a frontage of 12.17 metres and a lot area of 549.7 square metres. Part 1 would have a frontage of 12.21 metres and a lot area of 551.5 square metres. The proposed lots are shown on the attached Site Plan. The owner is proposing to demolish the existing house and build two new detached houses. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0254/16SC and A0255/16SC.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

The Committee has considered the application for consent to the creation of new lots as shown on the attached drawing. The Committee is not satisfied that the application meets the criteria set out in the provisions of Section 51(24) of the *Planning Act*. The application is therefore refused.



SIGNATURE PAGE

File Number:	B0051/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [WAIVER]
Owner(s):	DONG MING LI LI MIN SHANG	Ward:	Scarborough-Rouge River (41)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	8 LAMONT AVE	Community:	Agincourt Community
Legal Description:	PLAN 3395 LOT 26		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Monday, March 13, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0254/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [WAIVER]
Owner(s):	DONG MING LI LI MIN SHANG	Ward:	Scarborough-Rouge River (41)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	8 LAMONT AVE	Community:	Agincourt Community
Legal Description:	PLAN 3395 LOT 26		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013

1. To permit the proposed 12.21 metres lot frontage, whereas the Zoning By-law requires a minimum 24.38 metres lot frontage.
2. To permit the proposed 551.5 square metres lot area, whereas the Zoning By-law requires a minimum 1,101.2 square metres lot area.
3. To permit the proposed building length of 19 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
4. To permit the proposed 1 metres north side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.
5. To permit the proposed 321 square metres floor area or 0.582 times the lot area, whereas the Zoning By-law permits maximum 275.7 square metres floor area or 0.5 times the lot area.

By-law No. 10076

6. To permit the proposed 321 square metres floor area or 0.582 times the lot area, whereas the Zoning By-law permits maximum 275.7 square metres floor area or 0.5 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variances are not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are not minor.

SIGNATURE PAGE

File Number:	A0254/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [WAIVER]
Owner:	DONG MING LI LI MIN SHANG	Ward:	Scarborough-Rouge River (41)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	8 LAMONT AVE	Community:	Agincourt Community
Legal Description:	PLAN 3395 LOT 26		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0255/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [WAIVER]
Owner(s):	DONG MING LI LI MIN SHANG	Ward:	Scarborough-Rouge River (41)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	8 LAMONT AVE	Community:	Agincourt Community
Legal Description:	PLAN 3395 LOT 26		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013

1. To permit the proposed 12.17 metres lot frontage, whereas the Zoning By-law requires a minimum 24.38 metres lot frontage.
2. To permit the proposed 549.7 square metres lot area, whereas the Zoning By-law requires a minimum 1,101.2 square metres lot area.
3. To permit the proposed building length of 19 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
4. To permit the proposed 0.94 metres north side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.
5. To permit the proposed 321 square metres floor area or 0.584 times the lot area, whereas the Zoning By-law permits maximum 275.7 square metres floor area or 0.5 times the lot area.

By-law No. 10076

6. To permit the proposed 321 square metres floor area or 0.584 times the lot area, whereas the Zoning By-law permits maximum 275.7 square metres floor area or 0.5 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variances are not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are not minor.

SIGNATURE PAGE

File Number:	A0255/16SC	Zoning	RD - Residential Detached/ S- Single Family Residential [WAIVER]
Owner:	DONG MING LI LI MIN SHANG	Ward:	Scarborough-Rouge River (41)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	8 LAMONT AVE	Community:	Agincourt Community
Legal Description:	PLAN 3395 LOT 26		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0352/16SC	Zoning	Mixed Employment (ME) & Industrial District Commercial (MDC) Zone [ZR]
Owners:	983767 ONTARIO LIMITED	Ward:	Scarborough-Agincourt (40)
Agent:	983767 ONTARIO LIMITED	Heritage:	Not Applicable
Property Address:	1911 KENNEDY RD	Employment District:	Progress Employment District
Legal Description:	CON. 2 PT LOT 28 NOW PLAN 9953 RCP LOT 22		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal to install an elevator in a proposed two-storey, 26 square metre addition at the northwest corner of the existing building.

REQUESTED VARIANCES TO THE ZONING BY-LAW:Zoning Bylaw #24982:

1. The proposed gross floor area including the area of all basement storage rooms of any Retail Stores, Personal Service Shops, Restaurants, Health Clubs and Financial Institutions is 4,444 m²
Whereas the maximum permitted gross floor area plus the area of all basement storage rooms of all Retail Stores, Personal Service Shops, Restaurants, Health Clubs and Financial Institutions may not exceed 0.5 times the total built gross floor area plus the area of all basement storage rooms (maximum 3,811 m²)
2. There are 147 existing parking spaces on the site
Whereas the minimum required number of parking spaces is 317

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0352/16SC	Zoning	Mixed Employment (ME) & Industrial District Commercial (MDC) Zone [ZR]
Owner:	983767 ONTARIO LIMITED	Ward:	Scarborough-Agincourt (40)
Agent:	983767 ONTARIO LIMITED	Heritage:	Not Applicable
Property Address:	1911 KENNEDY RD	Employment District:	Progress Employment District
Legal Description:	CON. 2 PT LOT 28 NOW PLAN 9953 RCP LOT 22		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0368/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	ANDREA PARISE	Ward:	Scarborough Southwest (36)
Agent:	FINE LINE DESIGN	Heritage:	Not Applicable
Property Address:	176 AUDREY AVE	Community:	Birchcliff Community
Legal Description:	PLAN 1477 PT LOT 17		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey addition with a new covered front porch and an uncovered landing at the rear of the existing one storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 160 square metres floor area or 0.74 times the lot area, whereas the Zoning By-law permits maximum 130 square metres or 0.6 time the lot area.
2. To permit the 0.33 metres roof eaves projections from building face, whereas the Zoning By-law permits maximum 0.157 metres roof eaves projection from building face.

By-law No. 8786

3. To permit the proposed 160 square metres floor area or 0.74 times the lot area, whereas the Zoning By-law permits maximum 130 square metres or 0.6 time the lot area.
4. To permit the proposed 4 metres building setback from the street line, whereas the Zoning By-law requires a minimum 6 metres building setback from the street line.
5. To permit the proposed 0.4 metres south side yard setback, whereas the Zoning By-law requires a minimum 0.9 metres side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0368/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	ANDREA PARISE	Ward:	Scarborough Southwest (36)
Agent:	FINE LINE DESIGN	Heritage:	Not Applicable
Property Address:	176 AUDREY AVE	Community:	Birchcliff Community
Legal Description:	PLAN 1477 PT LOT 17		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0370/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	JESLEEN KAUR RANA JIHAD KARIM ABOUALI	Ward:	Scarborough Southwest (36)
Agent:	TAYLOR SMYTH ARCHITECTS	Heritage:	Not Applicable
Property Address:	39 FISHLEIGH DR	Community:	Cliffside Community
Legal Description:	PLAN 4072 LOT 24		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral garage and roof top patio.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.451 times the lot area (400 m²);
Whereas the maximum permitted floor space index is 0.4 times the lot area (354 m²).
2. The proposed dwelling will have a height of 9.61 m, as measured from established grade to top of roof access stair;
Whereas the maximum permitted height of a dwelling with a flat roof is 7.2 m.
3. The proposed dwelling will be three (3) storeys;
Whereas the maximum permitted number of storeys is two (2).
4. The proposed dwelling will have a length of 17.92 m;
Whereas the maximum permitted dwelling length is 17 m.
5. The total length of the proposed dwelling, including a single storey rear extension, is 20.82 m;
Whereas the maximum permitted dwelling length, including a one storey extension, is 19 m.

6. The proposed dwelling will have a total depth of 20.82 m;
Whereas the maximum permitted building depth, as measured from the minimum front yard setback line, is 19 m.
7. The proposed roof top patio will have an area of 52.56 m²;
Whereas the maximum permitted area of a platform (patio) at or above the second storey is 4 m².
8. The proposed dwelling has an architectural feature that projects 0.75 m into the front yard;
Whereas the maximum permitted projection for an architectural feature is 0.6 m.

By-law No. 9364:

9. The proposed dwelling will be located 1.2 m from the east and west side lot lines;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.
10. The proposed dwelling will have a height of 9.6 m, as measured from mean grade;
Whereas the maximum permitted height of a dwelling is 9 m.
11. The proposed dwelling will be three (3) storeys;
Whereas the maximum permitted number of storeys is two (2).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

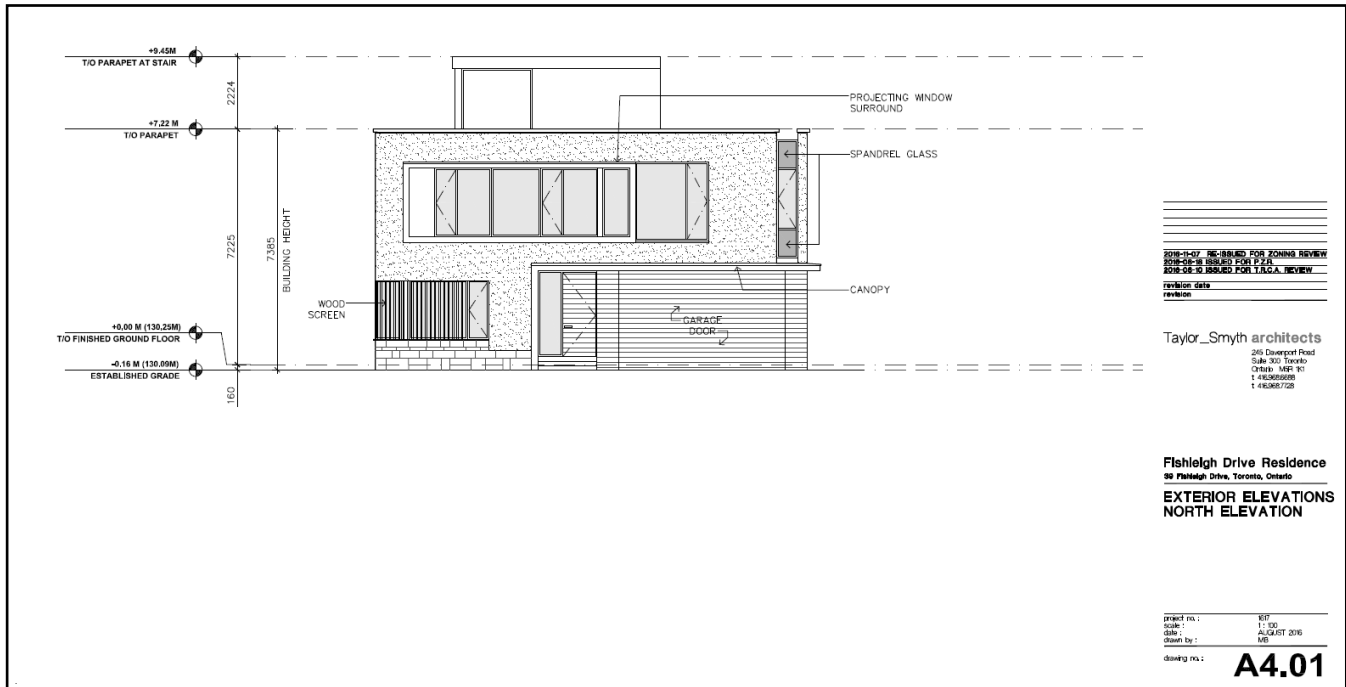
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

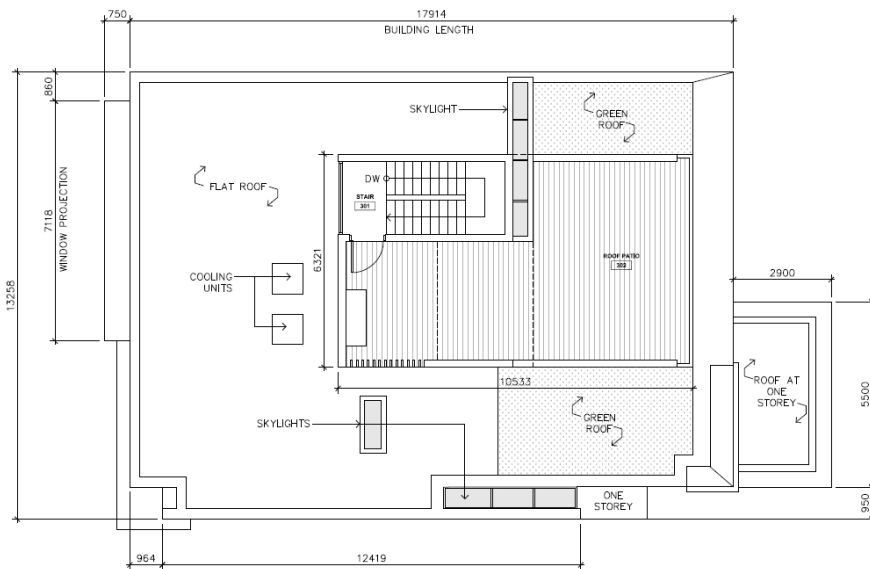
1. The Owner shall build substantially in accordance with the Elevations, Drawing No. A4.01, prepared by Taylor Smyth Architects, dated August 2016, last revised November 7, 2016, to ensure that the height variances do not apply to the entire building (see Attachment 1: Elevation).
2. The Owner shall build substantially in accordance with the Roof Plan, Drawing No. A2.04, prepared by Taylor Smyth Architects, dated August 2016, last revised November 7, 2016, to ensure that the side privacy screens are located as shown and with a minimum height of 1.5 m measured from the floor of the roof patio (see Attachment 2: Roof Plan).
3. The following conditions shall be fulfilled to the satisfaction of Urban Forestry Ravine and Natural Feature Protection:
 - a. Prior to the issuance of a demolition and/or building permit, the applicant shall obtain a ravine permit or clearance from RNFP. The permit or clearance may be subject to conditions.

- b. Prior to the issuance of a demolition and/or building permit, the applicant shall protect all ravine protected trees on the property and adjacent properties, not approved for removal or injury, to the satisfaction of RNFP.
- c. The applicant shall plant native trees to the satisfaction of RNFP as compensation for any ravine protected trees removed or injured and for loss of protected area to permanent hard surface features.

Attachment 1: Elevation



Attachment 2: Roof Plan



SIGNATURE PAGE

File Number:	A0370/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	JESLEEN KAUR RANA JIHAD KARIM ABOUALI	Ward:	Scarborough Southwest (36)
Agent:	TAYLOR SMYTH ARCHITECTS	Heritage:	Not Applicable
Property Address:	39 FISHLEIGH DR	Community:	Cliffside Community
Legal Description:	PLAN 4072 LOT 24		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0374/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	NAJNEEN AKHTER MOHAMMAD JASIMUDDIN	Ward:	Scarborough Southwest (36)
Agent:	6IX DESIGN	Heritage:	Not Applicable
Property Address:	25 THATCHER AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 PT LOT 39 PT LOT 38		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed dwelling will cover 37.93% of the lot area (190.24 m²);
Whereas the maximum permitted coverage is 33% of the lot area (165.53 m²).
2. The proposed dwelling will have a floor space index equal to 0.53 times the lot area (263.4 m²);
Whereas the maximum permitted floor space index is 0.5 times the lot area (250.81 m²).
3. The proposed dwelling will have a height of 8.8 m, as measured from established grade to top of glass feature wall;
Whereas the maximum permitted height of a dwelling with a flat roof is 7.2 m.
4. The proposed south side platform (balcony) will have an area of 25.16 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².

By-law No. 9396:

5. The proposed dwelling will cover 33.72% of the lot area (169.17 m²);
Whereas the maximum permitted coverage is 33% of the lot area (165.53 m²).
6. The proposed dwelling will have a total floor area equal to 0.53 times the lot area (263.4 m²);
Whereas the maximum permitted floor area is 0.4 times the lot area (200.65 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

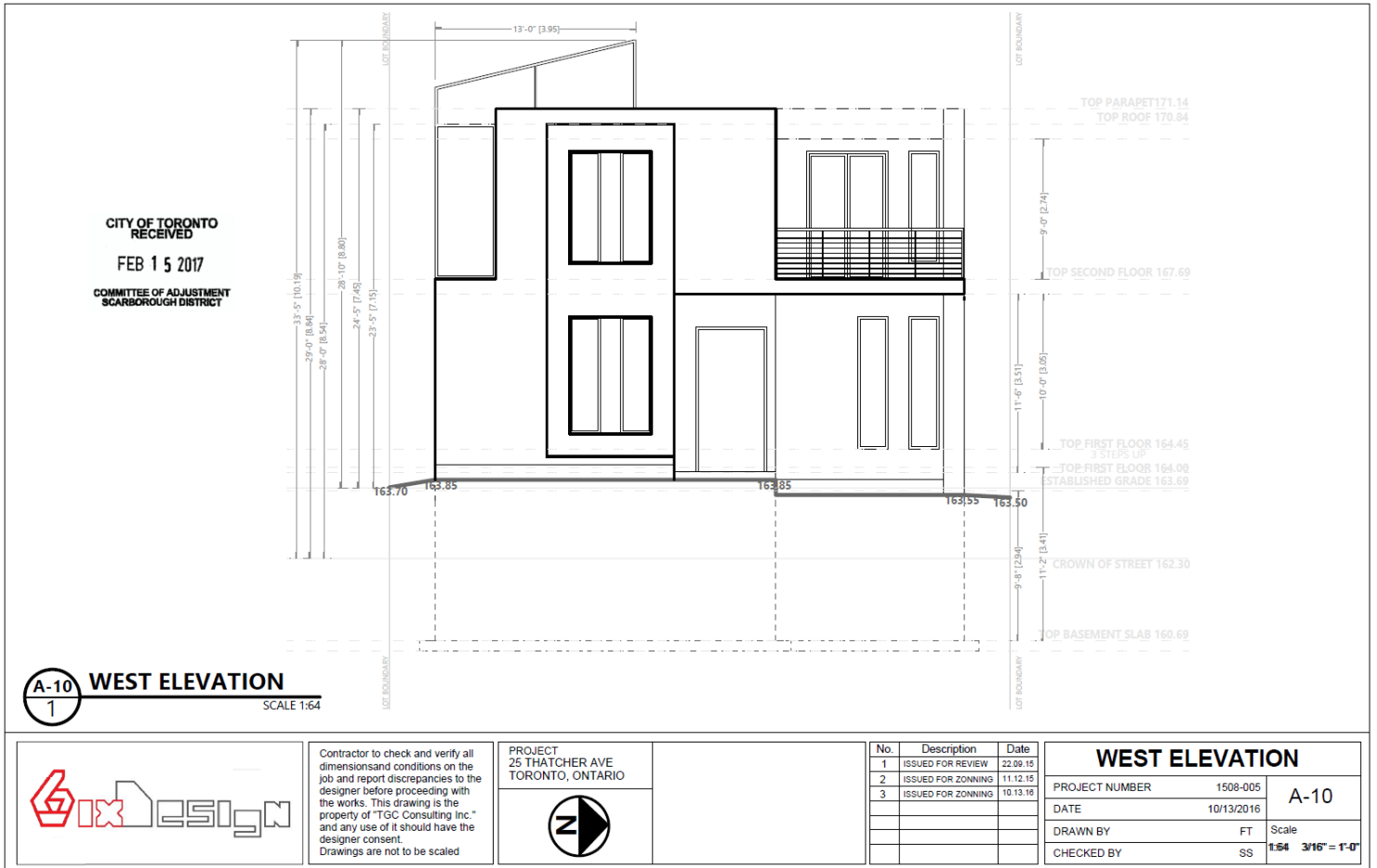
This decision is subject to the following condition(s):

1. The Owner shall build substantially in accordance with the West Elevation, Drawing No. A10, prepared by 6ix Design, dated October 13 2016, later revised and received by the Committee of Adjustment February 15, 2017 to ensure that the height variance does not apply to the entire building (see Attachment 1: Elevation).
2. The Owner shall submit a complete application for permit to injure or remove privately owned tree(s).
3. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. The payment required for each new tree to be planted is \$583. Urban Forestry staff have determined that **one (1) tree** is required under this application, therefore the total payment required is **\$583**.

Payments shall be made payable to the **Treasurer, City of Toronto** and sent to the attention of Supervisor Urban Forestry, Tree Protection & Plan Review, at 150 Borough Drive, 5th Floor, Toronto, Ontario, M1P 4N7. Accepted methods of payment may be in the form of a Letter of Credit, certified cheque, bank draft, money order, or pay in person by credit card or debit card.

A Letter of Clearance will be issued once the required conditions are fulfilled. Applicants may contact our office at 416-338-5566 or by email at tppreast@toronto.ca for additional information.

Attachment 1: Elevation



SIGNATURE PAGE

File Number:	A0374/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	NAJNEEN AKHTER MOHAMMAD JASIMUDDIN	Ward:	Scarborough Southwest (36)
Agent:	6IX DESIGN	Heritage:	Not Applicable
Property Address:	25 THATCHER AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 PT LOT 39 PT LOT 38		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0379/16SC	Zoning	RS - Residential Semi Detached/T - Two Family Residential [ZZC]
Owner(s):	NIKITA PURI NEIL PURI	Ward:	Scarborough Southwest (35)
Agent:	EDEN ENGINEERING & DESIGN INC	Heritage:	Not Applicable
Property Address:	14 KENWORTHY AVE	Community:	Oakridge Community
Legal Description:	PLAN 1929 LOT 20		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct an addition to the existing one and a half storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013

1. To permit the proposed eavestrough to be 0 metres close to the north line, whereas the Zoning By-law permits the eaves of a roof to encroach into a required minimum building setback a maximum 0.9 metres, if they are no closer to a lot line than 0.3 metres.

By-law No. 9812

2. To permit the proposed 0.19 metres north side yard setback, whereas the Zoning By-law requires a minimum 0.3 metres side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0379/16SC	Zoning	RS - Residential Semi Detached/T - Two Family Residential [ZZC]
Owner:	NIKITA PURI NEIL PURI	Ward:	Scarborough Southwest (35)
Agent:	EDEN ENGINEERING & DESIGN INC	Heritage:	Not Applicable
Property Address:	14 KENWORTHY AVE	Community:	Oakridge Community
Legal Description:	PLAN 1929 LOT 20		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

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Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0380/16SC	Zoning	Mixed Employment (ME) Zone [Waiver]
Owners:	PLUMBERS & STEAMFITTERS LAND CORP	Ward:	Scarborough Centre (37)
Agent:	CHRIS BARRETT	Heritage:	Not Applicable
Property Address:	929 WARDEN AVE	Employment District:	Golden Mile Employment District
Legal Description:	CON D PT LOT 32 PLAN 4087 LOT 11 NOW RP 64R12171 PART 1		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

This application is for a proposed 1,567 m² storage and pipeline welding building at the rear of the Plumbers and Steamfitters building, as shown on the attached Site Plan.

The total proposed parking supply on the site is 84 parking spaces. The applicants are proposing to use 63 of these parking spaces for the Industrial Skills and Training use in the existing building. The remaining 21 parking spaces would satisfy the parking requirement for the existing and proposed storage space on the site.

REQUESTED VARIANCE TO THE ZONING BY-LAW:

By-law No. 24982:

1. The proposed parking rate for the floor area used for Industrial Skills Training is 3.05 parking spaces per 100 m² (63 parking spaces)
Whereas the minimum required parking rate is 5.0 parking spaces per 100m² of gross floor area (104 parking spaces)

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance is minor.

SIGNATURE PAGE

File Number:	A0380/16SC	Zoning	Mixed Employment (ME) Zone [Waiver]
Owner:	PLUMBERS & STEAMFITTERS LAND CORP	Ward:	Scarborough Centre (37)
Agent:	CHRIS BARRETT	Heritage:	Not Applicable
Property Address:	929 WARDEN AVE	Employment District:	Golden Mile Employment District
Legal Description:	CON D PT LOT 32 PLAN 4087 LOT 11 NOW RP 64R12171 PART 1		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

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Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0381/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	JENNIFER DUFFY JONATHAN MARQUETTE	Ward:	Scarborough Southwest (36)
Agent:	G AND S DESIGNS AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	42 ST QUENTIN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 LOT 54		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a one-storey rear addition with a full basement to the existing one storey dwelling and partially attached to existing detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013

1. To permit the proposed building length of 22.8 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
2. To permit the proposed building depth of 21.6 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.
3. To permit the existing 0.83 metres south side yard setback, whereas the Zoning By-law requires a minimum 0.9 metres side yard setback.

By-law No. 9396

4. To permit the existing rear yard setback of 10.78 metres, whereas the Zoning By-law requires a minimum rear yard setback of 11.32 metres.
5. To permit the existing 0.83 metres south side yard setback, whereas the Zoning By-law requires a minimum 0.9 metres side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s).
2. The owner shall build substantially in accordance with the site plan, drawing no. sp-1.0, prepared by g & s designs & associates, dated January 2016 (revision no. 7 dated December 15, 2016), in order to ensure the proposed building length and building depth only apply to a one-storey dwelling (see attachment 1: site plan).

Decision Notice - MV.doc

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DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



DATE	DESCRIPTION
	G & S Designs & Associates has not been retained to carry out general review of the work and assumes no responsibility for the failure of the contractor or sub-contractors to carry out the work in accordance with the contract documents.
	The contractor(s) shall verify ALL dimensions, elevations and report any discrepancies prior to the commencement of the work. Under NO circumstances shall the contractor or sub-contractor proceed in uncertainty.
	All drawings and specifications are the property of G & S Designs & Associates and shall not be used or duplicate, without their written consent.
	THIS DRAWING (SHEET) IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL COUNTERSIGNED BY THE DESIGNER.
	DO NOT SCALE DRAWING
	The Undersigned has Reviewed and taken responsibility for this Design, and the Qualifications and meets the requirements set forth in the Building Code for a Designer.
	QUALIFICATION INFORMATION Required unless design is exempt under 2.17.5.1 of the Building Code
George Athanasios	 26147
	REGISTRATION INFORMATION Required unless design is exempt under 2.17.4.1 of the Building Code
G & S DESIGN & ASSOCIATES	34523
G & S DESIGNS & ASSOCIATES	
65 HALSBY AVENUE, SUITE 207 TORONTO, ONTARIO, M4B 1A1 TEL: 416.759.6420 EMAIL: SPRJCTMGMTMANAGEMENT@BELL.NET	
PROJECT: PROPOSED 1 STOREY REAR ADDITION W/ INTERIOR ALTERATIONS TO 42, QUENTIN AVENUE TORONTO (SCARBOROUGH), ONTARIO	
DATE:	JANUARY 2016
DATE:	1 : 125
PROJECT:	2016 -
SHEET	No. : 9F-10

SIGNATURE PAGE

File Number:	A0381/16SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	JENNIFER DUFFY JONATHAN MARQUETTE	Ward:	Scarborough Southwest (36)
Agent:	G AND S DESIGNS AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	42 ST QUENTIN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 LOT 54		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0387/16SC	Zoning	Single Family (S) & Residential Detached(RD) Zone [ZR]
Owners:	ALOK JAIN RUCHI JAIN	Ward:	Scarborough East (44)
Agent:	IBRAHIM NARIMAN	Heritage:	Not Applicable
Property Address:	224 ISLAND RD	Community:	Rouge Community
Legal Description:	PLAN 320 PT LOTS 35 AND 36		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposed second storey addition over the existing house, and two-storey addition to the east side of the house addition.

REQUESTED VARIANCES TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed floor area is 0.56 x the lot area (335 m²)
Whereas the maximum permitted floor area is 0.5 x the lot area to a maximum of 279 m²
2. The proposed front yard setback is 8.2 m
Whereas the minimum required front yard setback is the average of the front yard setbacks of those buildings on the abutting lots (10.33 m)

By-law No. 12077:

3. The proposed floor area is 0.56 x the lot area (337 m²)
Whereas the maximum permitted floor area is 0.5 x the lot area to a maximum of 279 m²

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0387/16SC	Zoning	Single Family (S) & Residential Detached(RD) Zone [ZR]
Owners:	ALOK JAIN RUCHI JAIN	Ward:	Scarborough East (44)
Agent:	IBRAHIM NARIMAN	Heritage:	Not Applicable
Property Address:	224 ISLAND RD	Community:	Rouge Community
Legal Description:	PLAN 320 PT LOTS 35 AND 36		

David Peacock

Eden Gajraj

Hena Kabir

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0388/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	PINO IOZZO	Ward:	Scarborough East (44)
Agent:	APHRODITE LIAGHAT	Heritage:	Not Applicable
Property Address:	135 SCARBORO AVE	Community:	Highland Creek Community
Legal Description:	PLAN 2098 PT LOT 37		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013 & No. 10827:

1. The proposed dwelling will have a floor space index equal to 0.45 times the lot area (346.92 m²);
Whereas the maximum permitted floor space index/area is 0.4 times the lot area (310.14 m²).

By-law No. 569-2013:

2. The proposed dwelling will be located 6 m from the front lot line;
Whereas the minimum required front yard setback is 7.98 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall submit a complete application for permit to injure or remove privately owned tree(s).
2. The Owner shall submit a complete application for a permit to injure or destroy City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.
3. The following conditions shall be fulfilled to the satisfaction of Urban Forestry Ravine and Natural Feature Protection:
 - a. Prior to the issuance of a demolition and/or building permit, the applicant shall obtain a ravine permit or clearance from RNFP. The permit or clearance may be subject to conditions.
 - b. Prior to the issuance of a demolition and/or building permit, the applicant shall protect all ravine protected trees on the property and adjacent properties, not approved for removal or injury, to the satisfaction of RNFP.
 - c. The applicant shall plant native trees to the satisfaction of RNFP as compensation for any ravine protected trees removed or injured and for loss of protected area to permanent hard surface features.

SIGNATURE PAGE

File Number:	A0388/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	PINO IOZZO	Ward:	Scarborough East (44)
Agent:	APHRODITE LIAGHAT	Heritage:	Not Applicable
Property Address:	135 SCARBORO AVE	Community:	Highland Creek Community
Legal Description:	PLAN 2098 PT LOT 37		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0390/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	DANIELA NOLANO	Ward:	Scarborough Southwest (36)
Agent:	SETLESS ARCHITECTURE	Heritage:	Not Applicable
Property Address:	16 WOODLAND PARK RD	Community:	Birchcliff Community
Legal Description:	PLAN 3223 LOT 74		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit additional floor area above the garage in the house under construction. By creating additional floor area above the garage, the house would be considered a three-storey dwelling.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013 and By-law No. 8786:

1. The existing/proposed building coverage is 42%
Whereas the maximum permitted building coverage is 33%
2. The house would be a 3 storey dwelling
Whereas the maximum permitted number of storeys excluding basement is 2

By-law No. 569-2013

3. The existing/proposed first floor height above the established grade is 1.51 m
Whereas the maximum permitted first floor height above the established grade is 1.2 m.
4. The proposed rear balcony area is 4.73 m² and the proposed front porch area is 13.55 m².
Whereas the maximum permitted area of each platform is 4.0 m²

By-law No. 8786:

5. The proposed basement height is 1.19 m.
Whereas the maximum permitted basement height is 1.0 m above grade

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0390/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	DANIELA NOLANO	Ward:	Scarborough Southwest (36)
Agent:	SETLESS ARCHITECTURE	Heritage:	Not Applicable
Property Address:	16 WOODLAND PARK RD	Community:	Birchcliff Community
Legal Description:	PLAN 3223 LOT 74		

David Peacock

Eden Gajraj

Hena Kabir

DATE DECISION MAILED ON: Tuesday, February 21, 2017

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Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0393/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	COLEMAN BENT MATTHEW BENT	Ward:	Scarborough Southwest (36)
Agent:	COLEMAN BENT	Heritage:	Not Applicable
Property Address:	42 HEATHFIELD DR	Community:	Scarborough Village Community
Legal Description:	PLAN 4185 LOT 6		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to permit variances for the three-storey detached house under construction on the property.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The altered dwelling will have a height of 7.69 m;
Whereas the maximum permitted height of a dwelling with a flat roof is 7.2 m.
2. The altered dwelling will be three (3) storeys;
Whereas the maximum permitted number of storeys is two (2).
Note: the Zoning By-law classifies the ground floor as the second storey and the top floor as the third storey.
3. The altered dwelling will have a parapet height of 0.54 m;
Whereas the maximum permitted height of a parapet on a dwelling with a flat roof is 0.3 m
4. The proposed south side platform (rear deck) will have an area of 17.5 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².
5. The proposed north side platform (front porch) will have an area of 5.37 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

Minor Variances 1, 3, and 5 are Approved

It is the decision of the Committee of Adjustment to authorize variances 1, 3 and 5 for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

Minor Variances 2, and 4 are Refused

It is the decision of the Committee of Adjustment to refuse variances 2 and 4 for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) are not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) are not minor.

SIGNATURE PAGE

File Number:	A0393/16SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	COLEMAN BENT MATTHEW BENT	Ward:	Scarborough Southwest (36)
Agent:	COLEMAN BENT	Heritage:	Not Applicable
Property Address:	42 HEATHFIELD DR	Community:	Scarborough Village Community
Legal Description:	PLAN 4185 LOT 6		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0396/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	NADEEM IRFAN IFTIKHAR HUSSAIN	Ward:	Scarborough Southwest (36)
Agent:	NADEEM IRFAN	Heritage:	Not Applicable
Property Address:	47 LILLINGTON AVE	Community:	Cliffside Community
Legal Description:	PLAN 1964 LOT 426 PT LOT 379 TO PT LOT 381		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposed two-storey detached single family house.

REQUESTED VARIANCES TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed floor area is 0.75 x the area of the lot (230 m²)
Whereas the maximum permitted floor area is 0.6 x the area of the lot (184 m²)
2. The proposed lot coverage is 41%
Whereas the maximum permitted lot coverage is 33%
3. The proposed eaves encroachment into the required north side yard setback is 0.43 m, including the eaves trough
Whereas the maximum permitted encroachment is 0.33 m, including the eaves trough

By-law No. 9364:

4. The proposed floor area is 0.74 x the area of the lot (226 m²)
Whereas the maximum permitted floor area is 0.6 x the area of the lot (184 m²)
5. The proposed lot coverage is 41%
Whereas the maximum permitted lot coverage is 33%

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The owner shall submit a complete application for permit to injure or destroy privately owned tree(s).
2. The owner shall provide payment of \$583 per tree for 1 tree to be planted on City road allowance, (one for each of the sites involved in the application) as per City Council direction.

SIGNATURE PAGE

File Number:	A0396/16SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	NADEEM IRFAN IFTIKHAR HUSSAIN	Ward:	Scarborough Southwest (36)
Agent:	NADEEM IRFAN	Heritage:	Not Applicable
Property Address:	47 LILLINGTON AVE	Community:	Cliffside Community
Legal Description:	PLAN 1964 LOT 426 PT LOT 379 TO PT LOT 381		

David Peacock

Eden Gajraj

Hena Kabir

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0404/16SC	Zoning	Residential Semi-Detached (RS) & Two Family (T) [ZR]
Owner(s):	GAUTAM PAUL	Ward:	Scarborough Southwest (35)
Agent:	RESIDENTIAL DRAFTING SERVICES LTD	Heritage:	Not Applicable
Property Address:	66 NORTH WOODROW BLVD	Community:	Birchmount Park Community
Legal Description:	PLAN 2050 LOT 40		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage and rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013:

1. The proposed dwelling will cover 39.7% of the lot area (171.5 m²);
Whereas the maximum permitted coverage is 33% of the lot area (142.41 m²).
2. The proposed dwelling will have a length of 18.62 m;
Whereas the maximum permitted dwelling length is 17 m.
3. The proposed eaves overhang, including the eavestrough, will be located 0.2 m from the south side lot line;
Whereas the minimum required side yard setback for an eaves overhang is 0.3 m.

By-law No. 9174:

4. The proposed dwelling will cover 41.6% of the lot area (179.64 m²);
Whereas the maximum permitted coverage is 33% of the lot area (142.41 m²).
5. The proposed dwelling will be located 14.66 m from the centreline of the original road allowance;
Whereas the minimum required building setback is 16 m from centreline of the original road allowance.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. As directed by City Council, upon completion of construction, a new city owned and maintained street tree shall be planted on the City road allowance abutting each property involved in the application, except where a satisfactory street tree already exists. The payment required for each new tree to be planted is \$583. Urban Forestry staff have determined that **one (1) tree** is required under this application, therefore the total payment required is **\$583**.

Payments shall be made payable to the **Treasurer, City of Toronto** and sent to the attention of Supervisor Urban Forestry, Tree Protection & Plan Review, at 150 Borough Drive, 5th Floor, Toronto, Ontario, M1P 4N7. Accepted methods of payment may be in the form of a Letter of Credit, certified cheque, bank draft, money order, or pay in person by credit card or debit card.

A Letter of Clearance will be issued once the required conditions are fulfilled. Applicants may contact our office at 416-338-5566 or by email at tppreast@toronto.ca for additional information.

SIGNATURE PAGE

File Number:	A0404/16SC	Zoning	Residential Semi-Detached (RS) & Two Family (T) [ZR]
Owner:	GAUTAM PAUL	Ward:	Scarborough Southwest (35)
Agent:	RESIDENTIAL DRAFTING SERVICES LTD	Heritage:	Not Applicable
Property Address:	66 NORTH WOODROW BLVD	Community:	Birchmount Park Community
Legal Description:	PLAN 2050 LOT 40		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0001/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	RANA SIDDIQUI ASHFAQUE AHMED SIDDIQUI	Ward:	Scarborough Centre (38)
Agent:	KSON DESIGN AND MANAGEMENT	Heritage:	Not Applicable
Property Address:	39 SIX NATIONS AVE	Community:	Woburn Community
Legal Description:	PLAN 5499 LOT 79		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey addition to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 9510

1. To permit the existing/proposed 1.7 metres west side yard setback and 1.4 metres east side yard setback, whereas the Zoning By-law requires a minimum 1.8 metres side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

SIGNATURE PAGE

File Number:	A0001/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner:	RANA SIDDIQUI ASHFAQUE AHMED SIDDIQUI	Ward:	Scarborough Centre (38)
Agent:	KSON DESIGN AND MANAGEMENT	Heritage:	Not Applicable
Property Address:	39 SIX NATIONS AVE	Community:	Woburn Community
Legal Description:	PLAN 5499 LOT 79		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

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Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0002/17SC	Zoning	Apartment Residential (A) Zone [ZR]
Owner:	VERA BANCZA	Ward:	Scarborough Southwest (36)
Agent:	GEORGE TOT GEOTASCO INC.	Heritage:	Not Applicable
Property Address:	2412 QUEEN ST E	Community:	Birchcliff Community
Legal Description:	PLAN 619 PT LOT 10,11,27		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal to build a canopy structure over seven existing parking spaces at the rear of the apartment building.

REQUESTED VARIANCE TO THE ZONING BY-LAW:

By-law No. 8786:

1. To permit a lot coverage of 56% of the area of the lot (the existing coverage is 43.4%)
Whereas the maximum permitted coverage for all buildings and structures is 33% of the area of the lot

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance is minor.

SIGNATURE PAGE

File Number:	A0002/17SC	Zoning	Apartment Residential (A) Zone [ZR]
Owner:	VERA BANCZA	Ward:	Scarborough Southwest (36)
Agent:	GEORGE TOT GEOTASCO INC.	Heritage:	Not Applicable
Property Address:	2412 QUEEN ST E	Community:	Birchcliff Community
Legal Description:	PLAN 619 PT LOT 10,11,27		

David Peacock

Eden Gajraj

Hena Kabir

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

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Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0003/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ROSLYN BAICHOO	Ward:	Scarborough East (43)
Agent:	MODULAR HOME ADDITIONS	Heritage:	Not Applicable
Property Address:	213 SYLVAN AVE	Community:	Guildwood Community
Legal Description:	PLAN M1012 LOT 25		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition to the existing 1-1/2 storey split level detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 569-2013 & No. 9676:

1. The altered dwelling will be located 7.13 m from the front lot line;
Whereas the minimum required front yard setback is 7.5 m.

By-law No. 9676:

2. The proposed front porch canopy will project 1.76 m into the required front yard setback;
Whereas the maximum permitted projection of a canopy into the front yard setback is 1.55 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0003/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	ROSLYN BAICHOO	Ward:	Scarborough East (43)
Agent:	MODULAR HOME ADDITIONS	Heritage:	Not Applicable
Property Address:	213 SYLVAN AVE	Community:	Guildwood Community
Legal Description:	PLAN M1012 LOT 25		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

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Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0004/17SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner(s):	SANDEEP SINGH GARCHA	Ward:	Scarborough Southwest (36)
Agent:	DESMOND ROYCHAUDHURI ARCHITECT	Heritage:	Not Applicable
Property Address:	50 ST QUENTIN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 LOT 50		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 9396:

1. The proposed dwelling will have a total floor area of 267.07 m²;
Whereas the maximum permitted floor area is 232 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0004/17SC	Zoning	Residential Detached (RD) & Single Family (S) [Waiver]
Owner:	SANDEEP SINGH GARCHA	Ward:	Scarborough Southwest (36)
Agent:	DESMOND ROYCHAUDHURI ARCHITECT	Heritage:	Not Applicable
Property Address:	50 ST QUENTIN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M350 LOT 50		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

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Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A354/15SC	Zoning	Special Industrial (MS) & Heavy Industrial (EH) Zone [Waiver]
Owners:	MELFORD INDUSTRIAL INC	Ward:	Scarborough-Rouge River (42)
Agent:	CHU AUTO MECHANIC SERVICE	Heritage:	Not Applicable
Property Address:	90-100 MELFORD DR	Employment District:	Marshalling Yard Employment District
Legal Description:	PLAN M1546 PT BLK Q NOW RP 66R9602 PART 1,2		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

This application is for a variance to permit the existing auto vehicle repair shop at 90 Melford Drive, Unit 19.

REQUESTED VARIANCE TO THE ZONING BY-LAW:

By-law No. 24982:

1. To permit the existing vehicle repair shop in Unit 19
Whereas a vehicle repair shop is not a permitted use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A354/15SC	Zoning	Special Industrial (MS) & Heavy Industrial (EH) Zone [Waiver]
Owners:	MELFORD INDUSTRIAL INC CHU AUTO MECHANIC SERVICE	Ward:	Scarborough-Rouge River (42)
Agent:	CHU AUTO MECHANIC SERVICE	Heritage:	Not Applicable
Property Address:	90 MELFORD DRIVE UNIT 19	Employment District:	Marshalling Yard Employment District
Legal Description:	PLAN M1546 PT BLK Q NOW RP 66R9602 PART 1,2		

David Peacock

Eden Gajraj

Hena Kabir

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

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Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A176/16SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [ZR]
Owner(s):	1428914 ONTARIO INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	86 MELFORD DR – UNIT 8	Employment:	Marshalling Yard District
Legal Description:	PLAN M1546 PT BLK P RP 66R9643 PART 1		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a vehicle repair garage to occupy Unit 8 in the existing multi-tenant industrial building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 24982:

1. To permit a vehicle repair garage in Unit 8;
Whereas a vehicle repair garage is not a permitted use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A176/16SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [ZR]
Owner:	1428914 ONTARIO INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	86 MELFORD DR – UNIT 8	Employment:	Marshalling Yard District
Legal Description:	PLAN M1546 PT BLK P RP 66R9643 PART 1		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0284/16SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [ZR]
Owner(s):	MELFORD INDUSTRIAL INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	90 MELFORD DR – UNIT 22	Employment:	Marshalling Yard District
Legal Description:	PL M1546 PT BLK Q NOW RP 66R9602 PT 1,2 << STRUCTURE ADDRESS FOR 90-100 MELFORD DR		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a vehicle repair garage to occupy Unit 22 in the existing multi-tenant industrial building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 24982:

1. To permit a vehicle repair garage in Unit 22;
Whereas a vehicle repair garage is not a permitted use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0284/16SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [ZR]
Owner:	MELFORD INDUSTRIAL INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	90 MELFORD DR – UNIT 22	Employment:	Marshalling Yard District
Legal Description:	PL M1546 PT BLK Q NOW RP 66R9602 PT 1,2 << STRUCTURE ADDRESS FOR 90-100 MELFORD DR		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0392/16SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [ZR]
Owner(s):	MELFORD INDUSTRIAL INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	100 MELFORD DR – UNIT 17	Employment:	Marshalling Yard District
Legal Description:	PL M1546 PT BLK Q NOW RP 66R9602 PT 1,2 << STRUCTURE ADDRESS FOR 90-100 MELFORD DR		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a vehicle detailing shop to occupy Unit 17 in the existing multi-tenant industrial building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 24982:

1. To permit a vehicle wash and detailing shop in Unit 17;
Whereas a vehicle detailing shop is not a permitted use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0392/16SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [ZR]
Owner:	MELFORD INDUSTRIAL INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	100 MELFORD DR – UNIT 17	Employment:	Marshalling Yard District
Legal Description:	PL M1546 PT BLK Q NOW RP 66R9602 PT 1,2 << STRUCTURE ADDRESS FOR 90-100 MELFORD DR		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0394/16SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [Waiver]
Owner(s):	MELFORD INDUSTRIAL INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	100 MELFORD DR – UNIT 20	Employment:	Marshalling Yard District
Legal Description:	PL M1546 PT BLK Q NOW RP 66R9602 PT 1,2 << STRUCTURE ADDRESS FOR 90-100 MELFORD DR		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a vehicle repair garage to occupy Unit 20 in the existing multi-tenant industrial building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 24982:

1. To permit a vehicle repair garage in Unit 20;
Whereas a vehicle repair garage is not a permitted use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0394/16SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [Waiver]
Owner:	MELFORD INDUSTRIAL INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	100 MELFORD DR – UNIT 20	Employment:	Marshalling Yard District
Legal Description:	PL M1546 PT BLK Q NOW RP 66R9602 PT 1,2 << STRUCTURE ADDRESS FOR 90-100 MELFORD DR		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

LAST DATE OF APPEAL TO
THE ONTARIO MUNICIPAL BOARD: Wednesday, March 8, 2017

CERTIFIED TRUE COPY

Denise Rundle
Manager & Deputy Secretary Treasurer
Scarborough Panel

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Thursday, February 16, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0395/16SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [ZR]
Owner(s):	MELFORD INDUSTRIAL INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	90 MELFORD DR – UNIT 17	Employment:	Marshalling Yard District
Legal Description:	PL M1546 PT BLK Q NOW RP 66R9602 PT 1,2 << STRUCTURE ADDRESS FOR 90-100 MELFORD DR		

Notice was given and a Public Hearing was held on Thursday, February 16, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a vehicle repair garage to occupy Unit 17 in the existing multi-tenant industrial building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:By-law No. 24982:

1. To permit a vehicle repair garage in Unit 17;
Whereas a vehicle repair garage is not a permitted use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0395/16SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [ZR]
Owner:	MELFORD INDUSTRIAL INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	90 MELFORD DR – UNIT 17	Employment:	Marshalling Yard District
Legal Description:	PL M1546 PT BLK Q NOW RP 66R9602 PT 1,2 << STRUCTURE ADDRESS FOR 90-100 MELFORD DR		

David Peacock (signed)

Eden Gajraj (signed)

Hena Kabir (signed)

DATE DECISION MAILED ON: Tuesday, February 21, 2017

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