

Thursday, March 9, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

| | | | |
|--------------------|---------------------------|------------|-------------------------|
| File Number: | B0072/16NY | Zoning | R4/RD (f12.0; a370)(ZR) |
| Owner(s): | JULIO ALONSO | Ward: | Eglinton-Lawrence (15) |
| Agent: | RUBINOFF DESIGN GROUP | Heritage: | Not Applicable |
| Property Address: | 1153 GLENCAIRN AVE | Community: | North York |
| Legal Description: | PLAN 2502 LOT 52 | | |

Notice was given and the application considered on Thursday, March 9, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Conveyed - Part 1

Address to be assigned

PART 1 - the frontage is 7.62m and the lot area is 301.09m². The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s).

Retained - Part 2

Address to be assigned

PART 2 - the frontage is 7.62m and the lot area is 300.77m². The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

PLAN OF SURVEY OF
LOT 52
REGISTERED PLAN 2502
CITY of TORONTO
 Formerly In The City of North York
 SCALE 1 : 150

GTA SURVEYING INC.

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



PE

I REQUIRE THIS PLAN TO BE DEPOSITED
 UNDER THE LAND TITLES ACT

PLAN 66R-

RECEIVED AND DEPOSITED

DATE: _____

DATE: _____

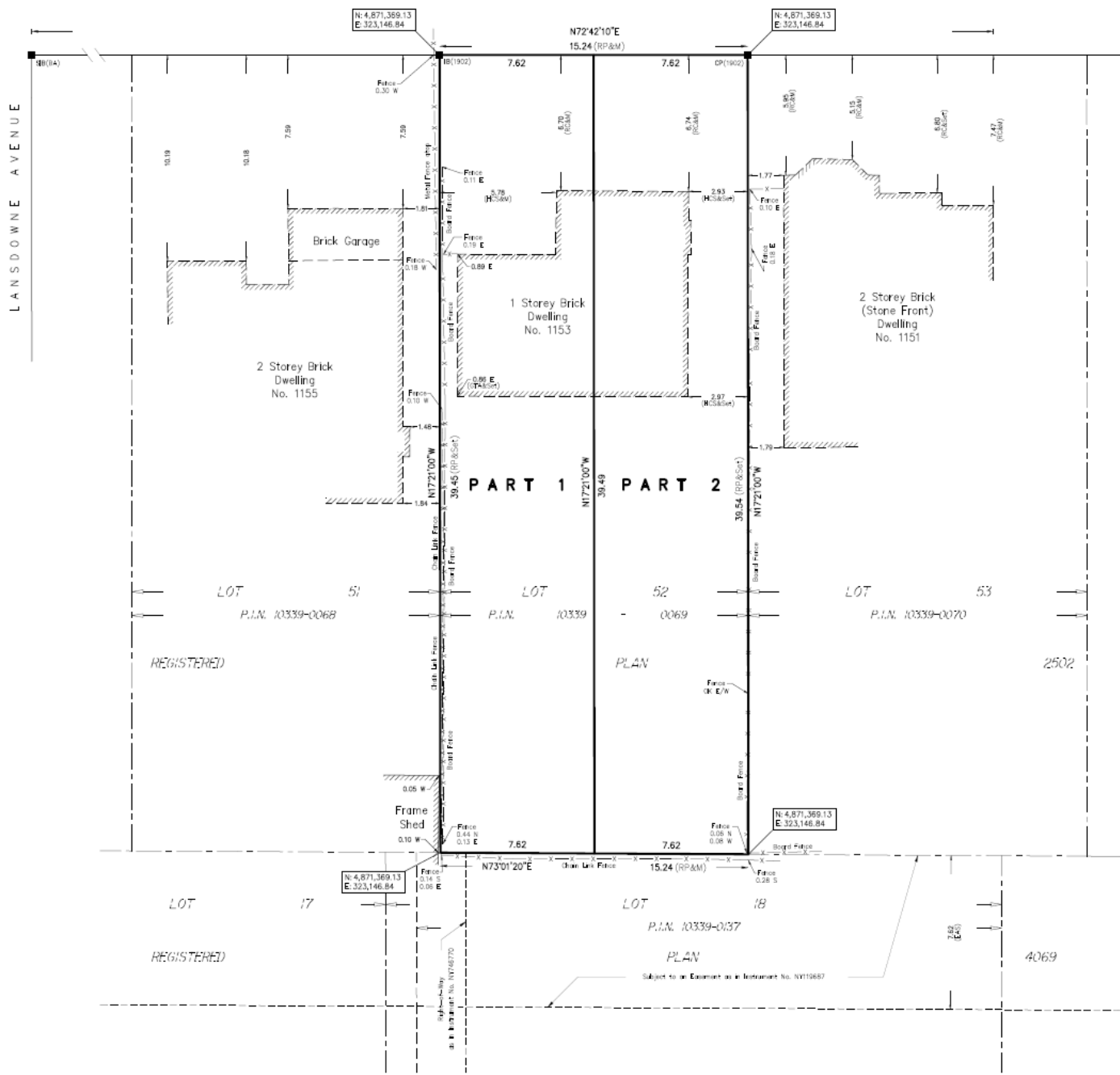
JACEK WALCZAK
 ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR LAND REGISTRAR
 FOR THE LAND TITLES DIVISION OF THE
 TORONTO REGISTRY OFFICE (No.66)

SCHEDULE

| PART | ALL OF LOT | PLAN | ALL OF P.I.N. | AREA |
|------|------------|------|---------------|-------------|
| 1 | 52 | 2502 | 10339-0069 | 300.77sq.m. |
| 2 | | | | 301.09sq.m. |

GLENCAIRN AVENUE
 (BY REGISTERED PLAN 2502)
 (FORMERLY 10TH AVENUE WEST, NAME CHANGED BY BY-LAW 1410)
 (STREET LINE AS CONFIRMED BY PLAN BA-1630)
 P.I.N. 10240-0321



SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
 WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND
 TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON THE _____ DAY OF
 _____, 2016.

_____, 2016
 DATE
 JACEK WALCZAK
 ONTARIO LAND SURVEYOR

LEGEND

- DENOTES SURVEY MONUMENT SET
- SURVEY MONUMENT FOUND
- RP REGISTERED PLAN 2502
- N,S,E,W NORTH,SOUTHEAST, WEST MEASURED
- M CONCRETE PIN
- CP STANDARD IRON BAR
- SB IRON BAR
- BA PLAN BA-1630
- HCS PLAN BY H.C. SEWELL, O.L.S., DATED SEPTEMBER 27, 1946
- RC PLAN BY RABIEAU & CZERNINSKI, O.L.S., DATED NOVEMBER 13, 2007
- P.I.N. PROPERTY IDENTIFY NUMBER
- (1902)GTA PLAN BY GREATER TORONTO ACRES SURVEYING INC., O.L.S., DATED JULY 15, 2016
- DT

DISTANCE NOTE

DISTANCES SHOWN HEREIN ARE GROUND DISTANCES
 AND CAN BE CONVERTED TO GRID DISTANCES BY
 MULTIPLYING BY A CORRECTED SCALE FACTOR OF 0.999875.

COORDINATE SYSTEM and BEARING NOTE

COORDINATE SYSTEM IS NORTH AMERICAN DATUM 1983
 (CANADIAN SPATIAL REFERENCE SYSTEM)(2010.0). COORDINATES
 AND BEARINGS SHOWN HEREIN ARE GRID, EXPRESSED IN
 MODIFIED TRANSVERSE MERCATOR MAP PROJECTION ZONE
 10 (CENTRAL MERIDIAN 79°30' WEST LONGITUDE AND ARE
 DERIVED FROM GLOBAL POSITIONING SYSTEM
 (LBCA REFERENCE STATIONS NETWORK)

NOTE:

COORDINATES COMPLY WITH SUBSECTION 14(2)
 O. REG. 216/10
 COORDINATES CANNOT IN THEMSELVES BE USED TO
 RE-ESTABLISH THE CORNERS OR BOUNDARIES
 SHOWN ON THIS PLAN

GTA
 Greater Toronto Acres
 SURVEYING Inc.
 7003 Steeles Ave. West, Unit 12, Toronto ON M9W 0A2
 Tel: (416) 679-0572
 E-MAIL: jw@gtaurveying.ca

SIGNATURE PAGE

| | | | |
|--------------------|---------------------------|------------|-------------------------|
| File Number: | B0072/16NY | Zoning | R4/RD (f12.0; a370)(ZR) |
| Owner(s): | JULIO ALONSO | Ward: | Eglinton-Lawrence (15) |
| Agent: | RUBINOFF DESIGN GROUP | Heritage: | Not Applicable |
| Property Address: | 1153 GLENCAIRN AVE | Community: | North York |
| Legal Description: | PLAN 2502 LOT 52 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|--|------------|-------------------------|
| File Number: | A0911/16NY | Zoning | R4/RD (f12.0; a370)(ZR) |
| Owner(s): | JULIO ALONSO | Ward: | Eglinton-Lawrence (15) |
| Agent: | RUBINOFF DESIGN GROUP | Heritage: | Not Applicable |
| Property Address: | 1153 GLENCAIRN AVE (PART 2) | Community: | North York |
| Legal Description: | PLAN 2502 LOT 52 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling. File Numbers B0072/16NY, A0911/16NY and A0912/16NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10 (5), Zoning By-law No. 569-2013**
A minimum of 10m² of the first floor must be within 4m of the front main wall.
The proposed is 3.53m².
- 2. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
A) The required minimum lot frontage is 12m.
The proposed lot frontage is 7.62m.
- 3. Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0m or less, the permitted maximum building length for a detached house is 17.0m.
The proposed building length is 17.98m.
- 4. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.53m
- 5. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
C) The required minimum side yard setback is 1.2m where the required minimum lot frontage is 12.0m to less than 15.0m.
The proposed west side yard setback is 0.61m.

6. **Chapter 10.10.30.10.(1), Zoning By-law No. 569-2013**
A) The required minimum lot area is 370m².
The proposed lot area is 301.09m².
7. **Section 14-A(4), Zoning By-law No. 7625**
The minimum required lot frontage is 12m.
The proposed lot frontage is 7.62m.
8. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
9. **Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required west side yard setback is 1.2m.
The proposed west side yard setback is 0.61m.
10. **Section 14-A(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 17.98m.
11. **Section 6 (24), Zoning By-law No. 7625**
The maximum width of the rear deck is 2.89m.
The proposed is 2.9m.
12. **Section 6(9)(b), Zoning By-law No. 7625**
The maximum stair projection is 2.1m.
The proposed rear stair projection is 4.94m.
13. **Section 14-A(3), Zoning By-law No. 7625**
The minimum required lot area is 371m².
The proposed lot area is 301.09m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

| | | | |
|--------------------|--|------------|-------------------------|
| File Number: | A0911/16NY | Zoning | R4/RD (f12.0; a370)(ZR) |
| Owner: | JULIO ALONSO | Ward: | Eglinton-Lawrence (15) |
| Agent: | RUBINOFF DESIGN GROUP | Heritage: | Not Applicable |
| Property Address: | 1153 GLENCAIRN AVE (PART 2) | Community: | North York |
| Legal Description: | PLAN 2502 LOT 52 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|--|------------|-------------------------|
| File Number: | A0912/16NY | Zoning | R4/RD (f12.0; a370)(ZR) |
| Owner(s): | JULIO ALONSO | Ward: | Eglinton-Lawrence (15) |
| Agent: | RUBINOFF DESIGN GROUP | Heritage: | Not Applicable |
| Property Address: | 1153 GLENCAIRN AVE (PART 1) | Community: | North York |
| Legal Description: | PLAN 2502 LOT 52 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling. File Numbers B0072/16NY, A0911/16NY and A0912/16NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10(5), Zoning By-law No. 569-2013**
The minimum size of the front vestibule within 4m of the front wall is 10m².
The proposed is 3.53m².
- Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
A) The required minimum lot frontage is 12m.
The proposed lot frontage is 7.62m.
- Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.53m.
- Chapter 10.20.40.20(1), Zoning By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0m or less, the permitted maximum building length for a detached house is 17.0m.
The proposed building length is 17.98m.
- Chapter 10.20.40.70.(4), Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.2m where the required minimum frontage is 12.0m to less than 18.0m.
The proposed (east) side yard setback is 0.61m.

6. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
A) The required minimum lot area is 370m².
The proposed lot area is 300.77m².
7. **Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required east side yard setback is 1.2m.
The proposed east side yard setback is 0.61m.
8. **Section 14-A(9) , Zoning By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 17.98m.
9. **Section 6 (24), Zoning By-law No. 7625**
The maximum width of a rear deck is 2.89m,
the proposed is 2.9m.
10. **Section 14-A(4), Zoning By-law No. 7625**
The minimum required lot frontage is 12m.
The proposed lot frontage is 7.62m.
11. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
12. **Section 6(9), Zoning By-law No. 7625**
The maximum permitted stair projection is 2.1m
The proposed is 4.94m.
13. **Section 14-A(3), Zoning By-law No. 7625**
The minimum required lot area is 371m².
The proposed lot area is 300.77m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

| | | | |
|--------------------|--|------------|-------------------------|
| File Number: | A0912/16NY | Zoning | R4/RD (f12.0; a370)(ZR) |
| Owner: | JULIO ALONSO | Ward: | Eglinton-Lawrence (15) |
| Agent: | RUBINOFF DESIGN GROUP | Heritage: | Not Applicable |
| Property Address: | 1153 GLENCAIRN AVE (PART 1) | Community: | North York |
| Legal Description: | PLAN 2502 LOT 52 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

| | | | |
|--------------------|----------------------|------------|---------------------------------|
| File Number: | B0091/16NY | Zoning | R4 and RD (f15.0; a550) (x5) |
| Owner(s): | XU HAN | Ward: | Willowdale (23) |
| Agent: | BAOLIN ZHU | Heritage: | Not Applicable |
| Property Address: | 1 STUART AVE | Community: | North York |
| Legal Description: | PLAN M468 E PT BLK X | | |

Notice was given and the application considered on Thursday, March 9, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever a portion of land for the purpose of a lot addition. The severed portion would be added to the severed portion from a related lot addition application at 3 Stuart Avenue (application B0092/16NY). The proposal to create three building lots from two existing lots was previously approved by the Committee of Adjustment in October 2015 (application B0035/15NY) however the approval has lapsed. There are no changes proposed to the previously approved related minor variance applications to construct three new houses (applications A0771/15NY, A0772/15NY and A0773/15NY).

Retained - Part 4 on deposited plan 66R-29018

Address to be assigned

The frontage is 10.74m and the lot area is 383.2m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the applicable zoning By-law(s).

Conveyed - Part 3 on deposited plan 66R-29018

The frontage is 4.76m and the lot area is 174.1m². Part 3 will be added to Part 2 to create a new building lot with a frontage of 10.00m and a lot area of 365.8m². The property will be redeveloped as the site of a new two-storey dwelling requiring variances to the applicable zoning By-law(s).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section

53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

| | | | |
|--------------------|----------------------|------------|---------------------------------|
| File Number: | B0091/16NY | Zoning | R4 and RD (f15.0; a550) (x5) |
| Owner(s): | XU HAN | Ward: | Willowdale (23) |
| Agent: | BAOLIN ZHU | Heritage: | Not Applicable |
| Property Address: | 1 STUART AVE | Community: | North York |
| Legal Description: | PLAN M468 E PT BLK X | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

| | | | |
|--------------------|---------------------|------------|---------------------------------|
| File Number: | B0092/16NY | Zoning | R4 and RD (f15.0; a550) (x5) |
| Owner(s): | YUEHUA TONG | Ward: | Willowdale (23) |
| Agent: | BAOLIN ZHU | Heritage: | Not Applicable |
| Property Address: | 3 STUART AVE | Community: | North York |
| Legal Description: | PLAN M489 PT BLK X | | |

Notice was given and the application considered on Thursday, March 9, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever a portion of land for the purpose of a lot addition. The severed portion would be added to the severed portion from a related lot addition application at 3 Stuart Avenue (application B0091/16NY) at 1 Stuart Avenue. The proposal to create three building lots from two existing lots was previously approved by the Committee of Adjustment in October 2015 (application B0035/15NY) however the approval has lapsed. There are no changes proposed to the previously approved related minor variance applications to construct three new houses (applications A0771/15NY, A0772/15NY and A0773/15NY).

Retained - Part 1 on deposited plan 66R-29018

The frontage is 10.00m and the lot area is 365.8m². The property will be redeveloped as the site of a new two-storey dwelling.

Conveyed - Part 2 on deposited plan 66R-29018

The frontage is 5.24m and the lot area is 191.7m². Part 2 will be added to Part 3 to create a new building lot with a frontage of 10.00m and a lot area of 365.8m². The property will be redeveloped as the site of a new two-storey dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

Nov 3 2016

DATE Nov 15, 2016

Lawrence O. Ertl
LAWRENCE O. ERTL
ONTARIO LAND SURVEYOR

"John LaPorte"
REPRESENTATIVE OF THE LAND
REGISTRAR FOR THE LAND TITLES
DIVISION OF TORONTO REGISTRY
OFFICE (No. 66)

Metric DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

Schedule

| PART | PART OF BLOCK | REG'D PLAN | ALL OF P.I.N. | AREA (m ²) |
|------|---------------|------------|---------------|------------------------|
| 1 | | | 10185-0264 | 365.8 |
| 2 | X | M-489 | | 191.7 |
| 3 | | | 10185-0249 | 174.1 |
| 4 | | | | 383.2 |

PLAN OF SURVEY OF
PART OF BLOCK X
REGISTERED PLAN M-489
CITY OF TORONTO
(FORMERLY CITY OF NORTH YORK)



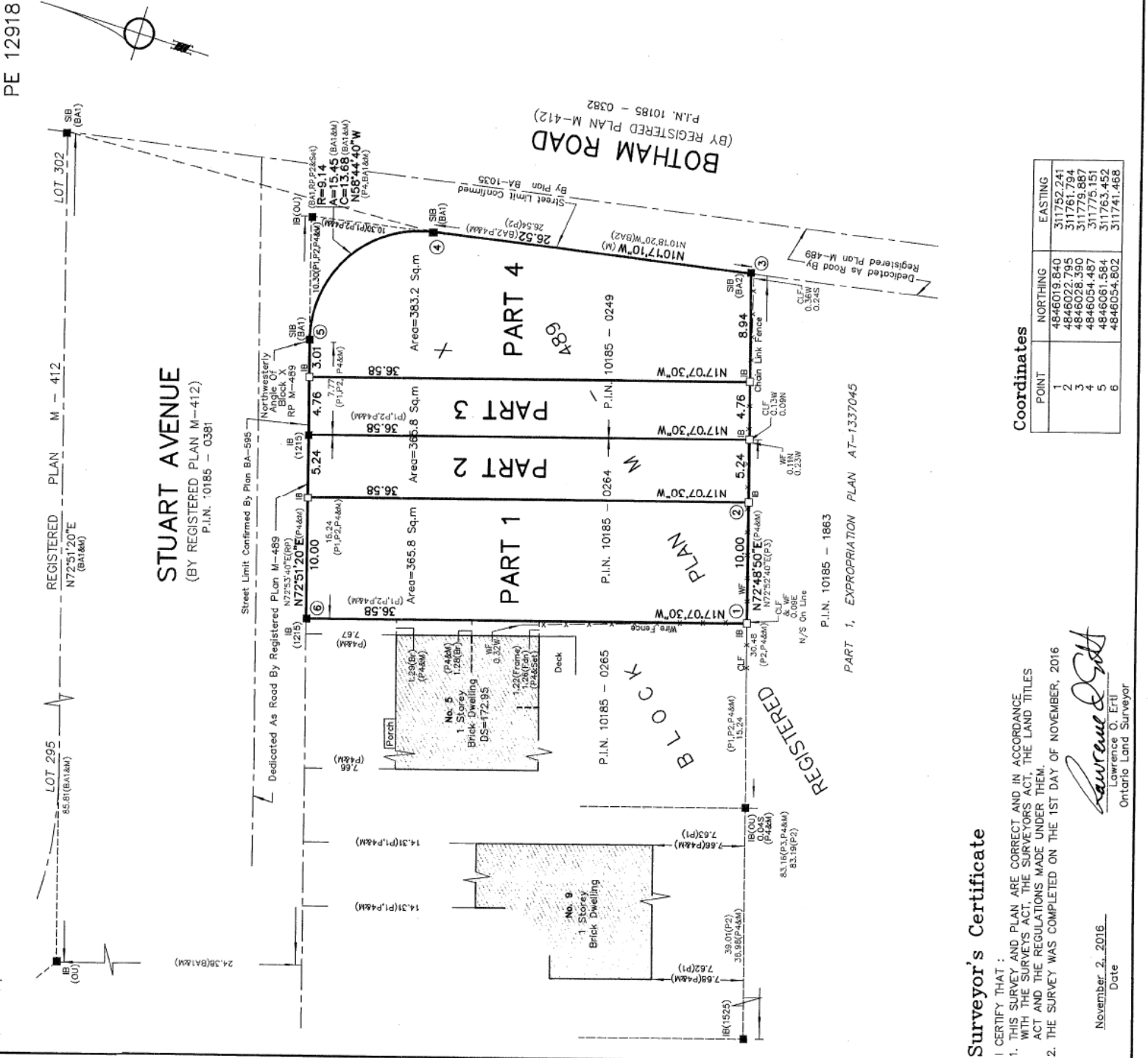
Integration
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE GROUND
(UNLESS OTHERWISE NOTED) AND CAN BE CONVERTED TO GRID
BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9998733
BEARINGS ARE MTM GRID, DERIVED FROM OBSERVED REFERENCE
POINTS 3 AND 4, IN NAD83 (CSRS)(1997.0) AND ARE
REFERRED TO THE CENTRAL MERIDIAN OF MTM ZONE 10
(79°30' WEST LONGITUDE)
FOR BEARING COMPARISONS, A ROTATION OF 0°01'40"
CLOCKWISE WAS APPLIED TO BEARINGS THAT APPEAR ON
PLANS RP, BA1, BAZ & P3
COORDINATES ARE MTM ZONE 10, NAD83 (CSRS) TO URBAN
ACCURACY PER SEC. 14 (2) OF O. REG. 216/10 AND CANNOT IN
THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES
SHOWN ON THIS PLAN.

Legend

- DENOTES SURVEY MONUMENT FOUND
- DENOTES SURVEY MONUMENT SET
- ▬ DENOTES IRON BAR
- ▬ DENOTES REGISTERED PLAN M-489
- ▬ DENOTES PLAN BA-595
- ▬ DENOTES PLAN BA-1035
- ▬ DENOTES SURVEY BY BAIRD & MUCKLESTONE, O.L.S.
- ▬ DENOTES SURVEY BY SPEIGHT, VAN NOSTRAND, WARD & ANDERSON, O.L.S.
- ▬ DENOTES DATED MAY 8, 1963
- ▬ DENOTES EXPROPRIATION PLAN AT1337045
- ▬ DENOTES SURVEY BY ERTL SURVEYORS, O.L.S., DATED DECEMBER 19, 2014 AND
- ▬ DENOTES UPDATED JANUARY 27, 2015
- ▬ DENOTES ERTL SURVEYORS, O.L.S.
- ▬ DENOTES CHAIN LINK FENCE
- ▬ DENOTES WIRE FENCE
- ▬ DENOTES FOUNDATION
- ▬ DENOTES ORIGIN UNKNOWN
- ▬ DENOTES MEASURED
- ▬ DENOTES BRICK
- ▬ DENOTES NORTH/SOUTH/EAST/WEST



ertl surveyors
Ontario Land Surveyors
1234 REID STREET, UNIT 10, RICHMOND HILLS L4B 1C1
TELEPHONE (905) 731-7854 FAX (905) 731-7852 EMAIL info@ertl-sds.com
DRAWING : 15039-R-PLAN.DWG PROJECT : 15039
CALC. BY DV, DRAWN BY TH, CHECKED BY GT/LE



Coordinates

| POINT | NORTHING | EASTING |
|-------|-------------|------------|
| 1 | 4846019.840 | 311752.241 |
| 2 | 4846022.795 | 311761.794 |
| 3 | 4846028.390 | 311779.887 |
| 4 | 4846034.487 | 311775.151 |
| 5 | 4846061.584 | 311763.452 |
| 6 | 4846054.802 | 311741.488 |

Surveyor's Certificate

I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 15TH DAY OF NOVEMBER, 2016

Lawrence O. Ertl
Ontario Land Surveyor

November 2, 2016
Date

SIGNATURE PAGE

| | | | |
|--------------------|---------------------|------------|---------------------------------|
| File Number: | B0092/16NY | Zoning | R4 and RD (f15.0; a550) (x5) |
| Owner(s): | YUEHUA TONG | Ward: | Willowdale (23) |
| Agent: | BAOLIN ZHU | Heritage: | Not Applicable |
| Property Address: | 3 STUART AVE | Community: | North York |
| Legal Description: | PLAN M489 PT BLK X | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 5, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|------------------------|------------|----------------------|
| File Number: | A1008/16NY | Zoning | RD/R5 [WAV] |
| Owner(s): | KOUSHA OMIDISAHNEH | Ward: | Don Valley West (25) |
| Agent: | ADSTRUCT LTD | Heritage: | Not Applicable |
| Property Address: | 42 HEMFORD CRES | Community: | North York |
| Legal Description: | PLAN 4332 LOT 399 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 1.20.3(3)(x5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.50m.
- 2. Chapter 1.20.3(3)(x5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.50m.
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 27.60% of the lot area.
- 4. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 12.34m.
The proposed front yard setback is 11.00m.
- 5. Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.50m.
- 6. Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.50m.

7. **Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 27.60% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

3. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 27.60% of the lot area.
4. **Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 12.34m.
The proposed front yard setback is 11.00m.
7. **Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 27.60% of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 1.20.3(3)(x5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.50m.
2. **Chapter 1.20.3(3)(x5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.50m.
5. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.50m.
6. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.50m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

| | | | |
|--------------------|------------------------|------------|----------------------|
| File Number: | A1008/16NY | Zoning | RD/R5 [WAV] |
| Owner: | KOUSHA OMIDISAHNEH | Ward: | Don Valley West (25) |
| Agent: | ADSTRUCT LTD | Heritage: | Not Applicable |
| Property Address: | 42 HEMFORD CRES | Community: | North York |
| Legal Description: | PLAN 4332 LOT 399 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|---------------------------------|------------|--------------------------|
| File Number: | A1112/16NY | Zoning | R2A/RM (d0.6) (x263)(ZR) |
| Owner(s): | MITKO TASKOV | Ward: | Don Valley West (26) |
| Agent: | MITKO TASKOV | Heritage: | Not Applicable |
| Property Address: | 747 MILLWOOD RD | Community: | East York |
| Legal Description: | PLAN 2121 PT LOT 435 PT LOT 436 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.6.10(263)(D), Zoning By-law No. 569-2013**
The maximum height is 8.5m and two storeys for a detached house.
The proposed detached house is **8.8m** in height.
- 2. Chapter 900.6.10(263)(E)(i), Zoning By-law No. 569-2013**
The minimum side yard setback is 0.9m for a detached house.
The proposed west side yard setback is **0.70m**.
- 3. Chapter 10.80.40.40.(1), Zoning By-law No. 569-2013**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is **0.611** times the area of the lot.
- 4. Section 6.4.3, Zoning By-law No. 1916**
The maximum permitted building height is 8.5m.
The proposed building height is 8.82m.
- 5. Section 6.4.3, Zoning By-law No. 1916**
The maximum permitted building length is 16.75m.
The proposed building length is 17.4m.
(Note that the front window projection is not a permitted projection. Bay windows must be glazed on all sides.)

6. Section 6.4.3, Zoning By-law No. 1916

The maximum permitted floor space index is 0.6 x the lot area.

The proposed floor space index is **0.611** times the lot area.

(Note that most of the lowest floor does not meet the definition of "basement" or "cellar", and is therefore considered a storey, and included in FSI.)

7. Section 6.4.3, Zoning By-law No. 1916

The minimum required West side yard setback is 0.9m.

The proposed west side yard setback is **0.70m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

| | | | |
|--------------------|---------------------------------|------------|--------------------------|
| File Number: | A1112/16NY | Zoning | R2A/RM (d0.6) (x263)(ZR) |
| Owner: | MITKO TASKOV | Ward: | Don Valley West (26) |
| Agent: | MITKO TASKOV | Heritage: | Not Applicable |
| Property Address: | 747 MILLWOOD RD | Community: | East York |
| Legal Description: | PLAN 2121 PT LOT 435 PT LOT 436 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|---------------------------|------------|------------------------|
| File Number: | A1113/16NY | Zoning | RD/R6(20) [WAV] |
| Owner(s): | HOUMAN YOUSEFPOUR | Ward: | Eglinton-Lawrence (16) |
| Agent: | MAHIR MANIOS | Heritage: | Not Applicable |
| Property Address: | 91 BROOKE AVE | Community: | North York |
| Legal Description: | PLAN 1965 PT LOTS 88 & 89 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 14-A(6)(e), By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 38.00% of the lot area.

2. Section 14-A(5)c, By-law No. 7625

The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.91m.

3. Section 14-A(9)(a), By-law No. 7625

The maximum permitted building length is 15.30m.
The proposed building length is 16.99m.

4. Section 14-A(8)(b), By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is **9.43m**.

5. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 38.00% of the lot area.

6. Chapter 10.20.40.70.(3)(C), By-law No. 569-2013

The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.91m.

7. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 7.53m² within 4.00m of the main front wall.

8. Chapter 10.20.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 10.00m.
The proposed building height is **10.29m**.

9. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all exterior main walls is 7.50m.
The proposed height of the exterior main walls is **8.16m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

| | | | |
|--------------------|---------------------------|------------|------------------------|
| File Number: | A1113/16NY | Zoning | RD/R6(20) [WAV] |
| Owner: | HOUMAN YOUSEFPOUR | Ward: | Eglinton-Lawrence (16) |
| Agent: | MAHIR MANIOS | Heritage: | Not Applicable |
| Property Address: | 91 BROOKE AVE | Community: | North York |
| Legal Description: | PLAN 1965 PT LOTS 88 & 89 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|---|------------|---|
| File Number: | A1114/16NY | Zoning | R1 Z0.35/RD (f10.5; d0.35) (x1413)(waiver) |
| Owner(s): | JODIE HAMILTON | Ward: | Eglinton-Lawrence (16) |
| Agent: | IAN CUNHA CUNHA DESIGN CONSULTANTS LTD. | Heritage: | Not Applicable |
| Property Address: | 14 GLEN CASTLE ST | Community: | Toronto |
| Legal Description: | PLAN M481 PT LOT 6 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey south side addition and a two-storey rear addition at the south corner.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.60.20.(3), Zoning By-law No. 569-2013**
(C)(iii) The minimum side yard setback for an ancillary building or structure in a rear yard and 1.8m or more from the residential building on the lot is 0.3m.
The proposed (existing) (south) side yard setback for the ancillary building is 0.26m.
- Chapter 10.5.80.10.(3), Zoning By-law No. 569-2013**
A parking space may not be located in a front yard or a side yard abutting a street.
The proposed parking spot is located in the front yard.
- Chapter 10.5.100.1.(1), Zoning By-law No. 569-2013**
(A) For a detached house, semi-detached house, or duplex, and for an individual townhouse dwelling unit if an individual private driveway leads directly to the dwelling unit, a driveway that is located in or passes through the front yard must be a minimum of 2.0m wide.
The proposed driveway is 1.99m wide.
- Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
B) The required minimum side yard setback is 0.9m where the required minimum lot frontage is 6.0m to less than 12.0m.
The proposed south side yard setback is 0.75m.

5. **Chapter 10.20.40.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum floor space index is 0.35 times the area of the lot: 106.37m².
The proposed floor space index is 0.602 times the area of the lot: 182.95m².
6. **Chapter 200.5.1.10.(2), Zoning By-law No. 569-2013**
(A) The minimum required parking space must have minimum required dimensions of (i) 2.6m in width and (ii) 5.6m in length.
The proposed parking space has dimensions of 1.99m in width and 5.33m in length.
7. **Section 6(3) Part I, Zoning By-law No. 438-86**
The by-law limits the residential gross floor area in an area zoned R1 to Z0.35 times the area of the lot: 106.37m².
The proposed residential gross floor area of the building is 182.95m².
8. **Section 6(3) Part I 2, Zoning By-law No. 438-86**
The by-law limits an accessory (building, structure) to a floor area not greater than 5% of the area of the lot: 15.20m².
The proposed (existing) accessory structure is 18.25m².
9. **Section 6(3) Part II 3.B(II), Zoning By-law No. 438-86**
The by-law requires a detached house to have a minimum side lot line setback of 0.9m for that portion of the building not exceeding 17.0m in depth, where the side wall contains openings.
The proposed south side lot line setback is 0.75m.
10. **Section 6(3) Part II 7(I), Zoning By-law No. 438-86**
The by-law requires an accessory structure (excluding a garden or storage shed less than 9.0m² in floor area, or private garage) to have a minimum lot line setback of 3.0m from all lot lines.
The proposed (existing) lot line setback is 0.63m from the rear lot line, 0.63m from the west lot line and 0.26m from the south lot line.
11. **Section 6(3) Part IV 1(E), Zoning By-law No. 438-86**
The by-law prohibits the parking of motor vehicles on the portion of the lot between the front lot line and the front wall of the building.
The proposed parking does not comply.
(Note: this requirement is not applicable if approval is granted by Works and Emergency Services - Municipal Code Chapter 400)

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

| | | | |
|--------------------|---|------------|---|
| File Number: | A1114/16NY | Zoning | R1 Z0.35/RD (f10.5; d0.35) (x1413)(waiver) |
| Owner: | JODIE HAMILTON | Ward: | Eglinton-Lawrence (16) |
| Agent: | IAN CUNHA CUNHA DESIGN CONSULTANTS LTD. | Heritage: | Not Applicable |
| Property Address: | 14 GLEN CASTLE ST | Community: | Toronto |
| Legal Description: | PLAN M481 PT LOT 6 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|---|------------|------------------------|
| File Number: | A1115/16NY | Zoning | RD/R1 Z0.35 [WAV] |
| Owner(s): | LIANA KRISTIN GEORGE JOSEPH PATRICK RYAN | Ward: | Eglinton-Lawrence (16) |
| Agent: | QUMMUNICATE INC | Heritage: | Not Applicable |
| Property Address: | 10 GLENGROVE AVE W | Community: | Toronto |
| Legal Description: | PLAN M87 PT LOT 161 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the construction of exterior stairs on the west side of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.60.(3), By-law No. 569-2013

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to the lot line than 0.60m.

The proposed stairs are 0.10m from the west lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

| | | | |
|--------------------|---|------------|------------------------|
| File Number: | A1115/16NY | Zoning | RD/R1 Z0.35 [WAV] |
| Owner: | LIANA KRISTIN GEORGE JOSEPH PATRICK RYAN | Ward: | Eglinton-Lawrence (16) |
| Agent: | QUMMUNICATE INC | Heritage: | Not Applicable |
| Property Address: | 10 GLENGROVE AVE W | Community: | Toronto |
| Legal Description: | PLAN M87 PT LOT 161 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|------------------------|------------|-----------------|
| File Number: | A1116/16NY | Zoning | R6/RD(BLD) |
| Owner(s): | JULIE MAN MAY IP | Ward: | Willowdale (23) |
| Agent: | PERFECTLY SQUARE | Heritage: | Not Applicable |
| Property Address: | 94 FRANKLIN AVE | Community: | North York |
| Legal Description: | PLAN M412 LOT 198W 199 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 6A(3), Zoning By-law No. 569-2013

The minimum required parking space size is 2.6m x 5.6m.

The proposed parking space (second parking space on the driveway) is 2.6m x 5m.

(Note: 2 parking spaces are required.)

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

| | | | |
|--------------------|------------------------|------------|-----------------|
| File Number: | A1116/16NY | Zoning | R6/RD(BLD) |
| Owner: | JULIE MAN MAY IP | Ward: | Willowdale (23) |
| Agent: | PERFECTLY SQUARE | Heritage: | Not Applicable |
| Property Address: | 94 FRANKLIN AVE | Community: | North York |
| Legal Description: | PLAN M412 LOT 198W 199 | | |

Beth Levy (signed)

Denise Graham (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|-------------------------------------|------------|------------------|
| File Number: | A1117/16NY | Zoning | RD/R4 [ZZC] |
| Owner(s): | FRANCA OSTELLA ALFREDO VARONELLI | Ward: | York Centre (09) |
| Agent: | THE ADACAD GROUP | Heritage: | Not Applicable |
| Property Address: | 130 GILLEY RD | Community: | North York |
| Legal Description: | PLAN 1764 E PT LOT 91 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear one-storey addition, in conjunction with a new second storey addition over the existing one-storey dwelling. The applicant is also proposing a new attached garage along with other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 0.57m.
- 2. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 0.57m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

| | | | |
|--------------------|-------------------------------------|------------|------------------|
| File Number: | A1117/16NY | Zoning | RD/R4 [ZZC] |
| Owner: | FRANCA OSTELLA ALFREDO VARONELLI | Ward: | York Centre (09) |
| Agent: | THE ADACAD GROUP | Heritage: | Not Applicable |
| Property Address: | 130 GILLEY RD | Community: | North York |
| Legal Description: | PLAN 1764 E PT LOT 91 | | |

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|---|------------|---------------------------------|
| File Number: | A1118/16NY | Zoning | R4/RD (f15.0; a550) (x5)(ZR) |
| Owner(s): | NATALIANA K Y L HO MEHRDAD GOHAR CHI | Ward: | Willowdale (23) |
| Agent: | NAFISS DESIGN INC | Heritage: | Not Applicable |
| Property Address: | 182 PRINCESS AVE | Community: | North York |
| Legal Description: | PLAN 1609 LOT 48 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30 percent of the lot area: 180.9m².
The proposed lot coverage is 32 percent of the lot area: 193m².
- 2. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
B)(i) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is **7.70m**.
- 3. Chapter 900.3.10(5), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed east side yard setback is 1.2m.
- 4. Chapter 900.3.10(5), Zoning By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed west side yard setback is 1.57m.
- 5. Section 13.2.3(a), Zoning By-law No. 7625**
The minimum required front yard setback is 7.5m.
The proposed front yard setback is 6m.

6. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required east and west side yard setback is 1.8m.
The proposed east side yard setback is 1.2m.
7. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required east and west side yard setback is 1.8m.
The proposed west side yard setback is 1.57m.
8. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
10. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 8.92m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

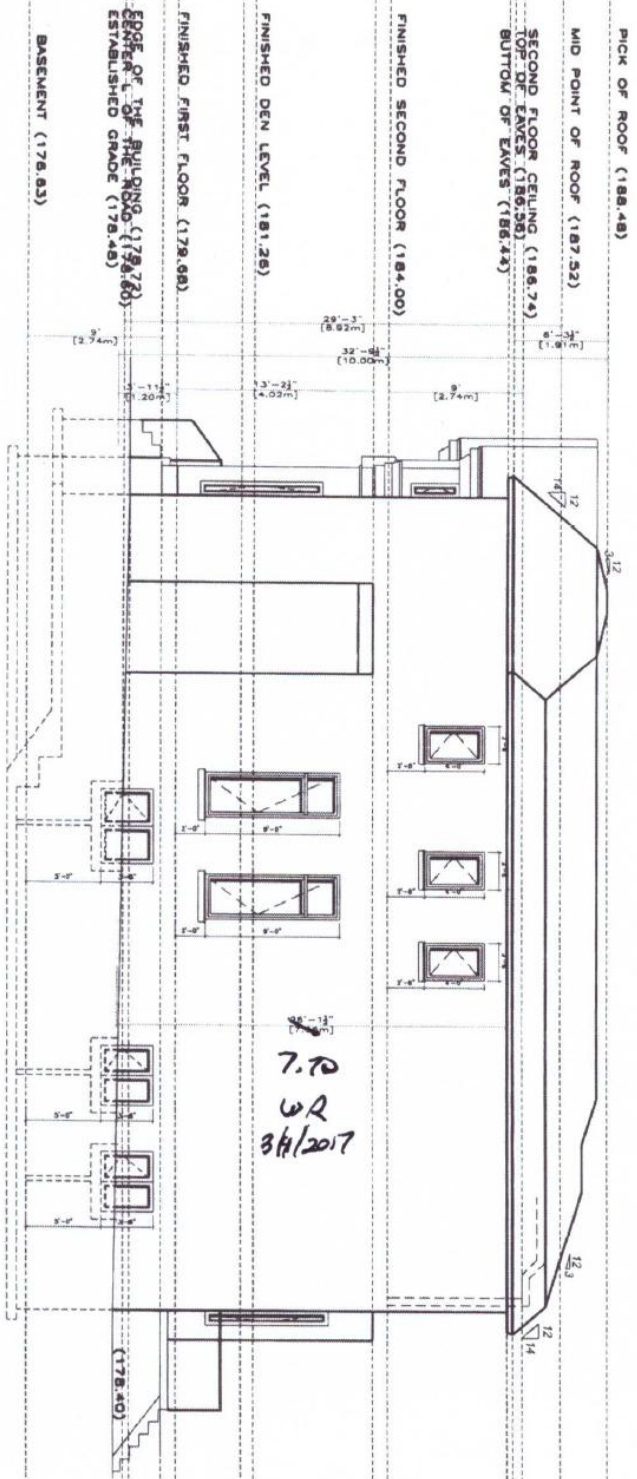
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
- 2) The property being developed essentially in accordance with the east and west elevation ns, signed and dated March 9, 2017, attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

Item # 12



RECEIVED

FEB 28 2017

CITY OF TORONTO DEPARTMENT OF CITY PLANNING

| | | | | | | |
|------------------------|---|----------------------------------|----------------------|---------------------------------|--|------|
| DATE: DEC 20TH 2016 | ISSUED FOR: ZONING CERTIFICATE AND CDA | DRAWING TITLE: SIDE ELEVATION | SCALE: 1/8"=1'-0" | LAST MODIFIED: DEC 20TH 2016 | PROJECT ADDRESS: 182 PRINCESS AVE, NORTH YORK, ON | A.08 |
|------------------------|---|----------------------------------|----------------------|---------------------------------|--|------|

SIGNATURE PAGE

| | | | |
|--------------------|---|------------|---------------------------------|
| File Number: | A1118/16NY | Zoning | R4/RD (f15.0; a550) (x5)(ZR) |
| Owner: | NATALIANA K Y L HO MEHRDAD GOHAR CHI | Ward: | Willowdale (23) |
| Agent: | NAFISS DESIGN INC | Heritage: | Not Applicable |
| Property Address: | 182 PRINCESS AVE | Community: | North York |
| Legal Description: | PLAN 1609 LOT 48 | | |

Beth Levy (signed)

Denise Graham (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|---|------------|----------------------|
| File Number: | A1119/16NY | Zoning | RD/R1B [ZZC] |
| Owner(s): | KEVIN ALLAN TALMAGE LAURA JEAN DUNNE | Ward: | Don Valley West (26) |
| Agent: | JAY SMITH | Heritage: | Not Applicable |
| Property Address: | 2 WINDMILL RD | Community: | East York |
| Legal Description: | PLAN 3331 LOT 36 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the installation of a new inground swimming pool.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.60.20.(8)(A)(ii), By-law No. 569-2013**
The minimum required rear yard setback for an inground swimming pool is 3.00m.
The proposed rear yard setback is 1.55m.
- 2. Chapter 10.5.60.20.(9)(A)(ii), By-law No. 569-2013**
The minimum required side yard setback for an inground swimming pool. on a corner lot is 2.70m.
The proposed south side yard setback is **2.50m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

| | | | |
|--------------------|---|------------|----------------------|
| File Number: | A1119/16NY | Zoning | RD/R1B [ZZC] |
| Owner: | KEVIN ALLAN TALMAGE LAURA JEAN DUNNE | Ward: | Don Valley West (26) |
| Agent: | JAY SMITH | Heritage: | Not Applicable |
| Property Address: | 2 WINDMILL RD | Community: | East York |
| Legal Description: | PLAN 3331 LOT 36 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|------------------------------------|------------|--|
| File Number: | A1120/16NY | Zoning | R2Z 0.6/R (f7.5; d0.6) (x933)(waiver) |
| Owner(s): | SHIRIN RAVADGAR SHAYAN RAVADGAR | Ward: | Don Valley West (25) |
| Agent: | ARCICA INC | Heritage: | Not Applicable |
| Property Address: | 147 ROSLIN AVE | Community: | Toronto |
| Legal Description: | PLAN M260 PT LOT 195 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section Part II, Zoning By-law 438-86**
Maximum permitted GFA is 0.6 times the lot area.
Whereas the proposed GFA is 0.73 times the lot area.
- 2. Section 6(3) Part II 3, Zoning By-law 438-86**
The by-law requires a detached house to have a minimum side lot line setback of 7.5m from the side lot line for that portion of the building exceeding 17.0m in depth.
The proposed side lot line setback is **4.07m** on the east for the portion of the building beyond the 17m depth.
- 3. Section 6(3) Part II 3, Zoning By-law 438-86**
The by-law requires a detached house to have a minimum side lot line setback of 7.5m from the side lot line for that portion of the building exceeding 17.0m in depth.
The proposed side lot line setback is 1.07m on the west side for the portion of the building beyond the 17m depth.
- 4. Section 6(3) Part II 8, Zoning By-law 438-86**
Maximum permitted height of rear platform is 1.2m above adjacent grade.
Whereas the proposed rear platform is 2m above grade.

5. **Section 6(3) Part II3, Zoning By-law 438-86**
Minimum required distance to the west wall of the east neighbour (#149 Roslin) is 0.9m if it does not contain openings and 1.2m if it contains openings.
Whereas the proposed distance to west wall of east neighbour is 0.68m.
6. **Chapter 10.10.40.40, Zoning By-law 569-2013**
Maximum permitted FSI is 0.6 times the lot area.
Whereas the proposed FSI is 0.73 times the lot area.
7. **Chapter 10.5.40.10 (5), Zoning By-law 569-2013**
A minimum of 10.0m² of the first floor must be within 4.0m of the front main wall.
Proposed first floor within 4m of the front main wall is 2.1m².
8. **Chapter 10.10.40.10, Zoning By-law 569-2013**
Proposed wall height of 7.8m for pair of side walls.
Whereas the maximum permitted is 7.5m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
- 2) The property being developed essentially in accordance with the site plan attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

| | | | |
|--------------------|------------------------------------|------------|--|
| File Number: | A1120/16NY | Zoning | R2Z 0.6/R (f7.5; d0.6) (x933)(waiver) |
| Owner: | SHIRIN RAVADGAR SHAYAN RAVADGAR | Ward: | Don Valley West (25) |
| Agent: | ARCICA INC | Heritage: | Not Applicable |
| Property Address: | 147 ROSLIN AVE | Community: | Toronto |
| Legal Description: | PLAN M260 PT LOT 195 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|-----------------------|------------|-----------------|
| File Number: | A1121/16NY | Zoning | RD/R6 [WAV] |
| Owner(s): | SASAN RAGHIBIZADEH | Ward: | Willowdale (23) |
| Agent: | ALI GOUDARZI | Heritage: | Not Applicable |
| Property Address: | 111 NORTON AVE | Community: | North York |
| Legal Description: | PLAN 2400 LOT 327 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the pair of exterior main walls facing a side lot line is 7.80m.
- 3. Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the street on which the lot fronts.
- 4. Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 5. Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.10m.
- 6. Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is 17.46m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Side Elevation (East) and Side Elevation (West) drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, February 28, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

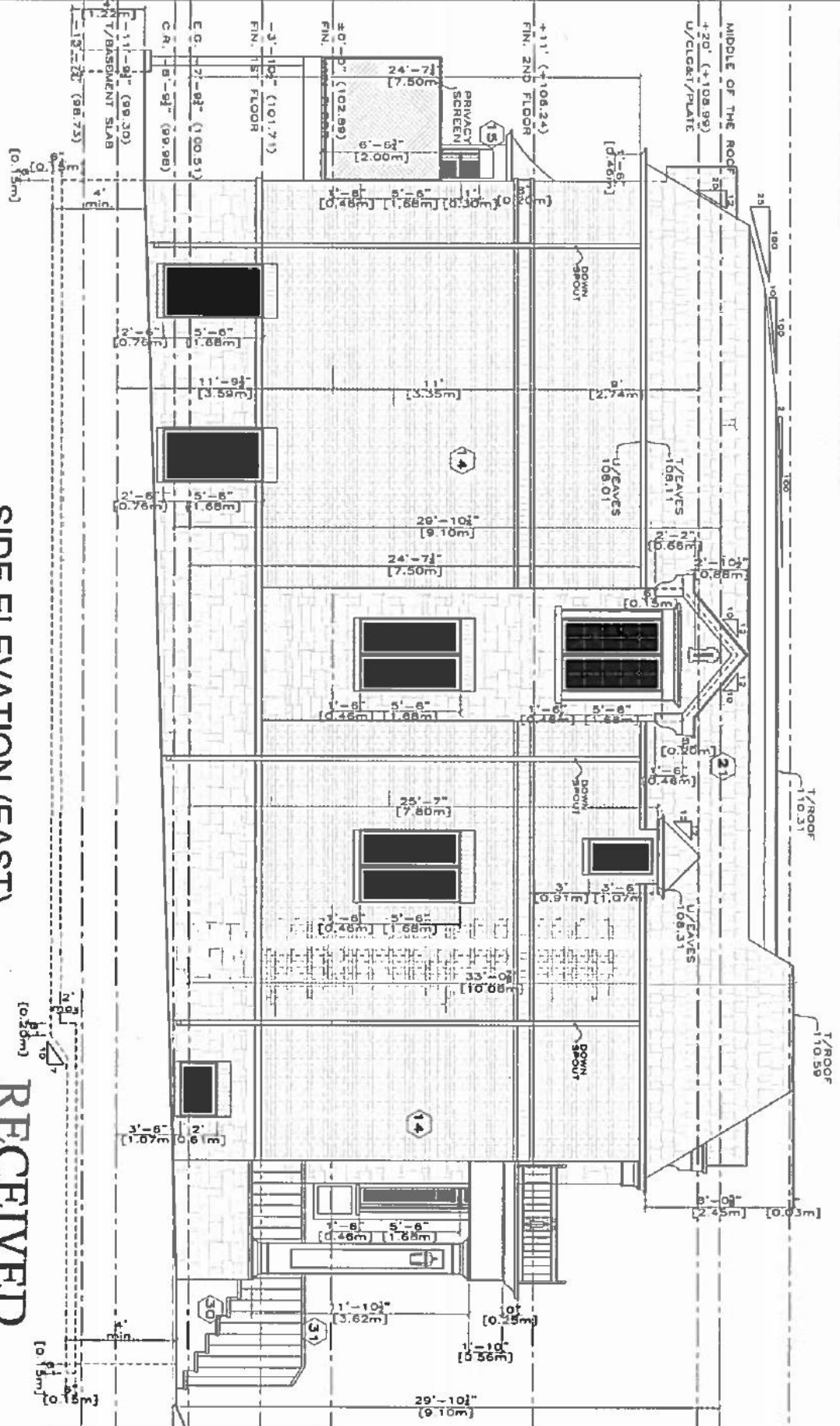
GLAZED AREAS:
 1. AREA OF EXPOSED BUILDING FACE: 1440.23 SQ.FT.
 2. PROPOSED GLAZED AREA: 100.80 SQ.FT. (56.89)

SIDE ELEVATION (EAST)



RECEIVED

FEB 28 2017



designed by:
ALI SHAKERI
 1410 B168851 F.A18 2508900
ARCICA INC.
 328 SHEPPARD AVENUE EAST, M2N 3P4
 TORONTO, ONTARIO, CANADA

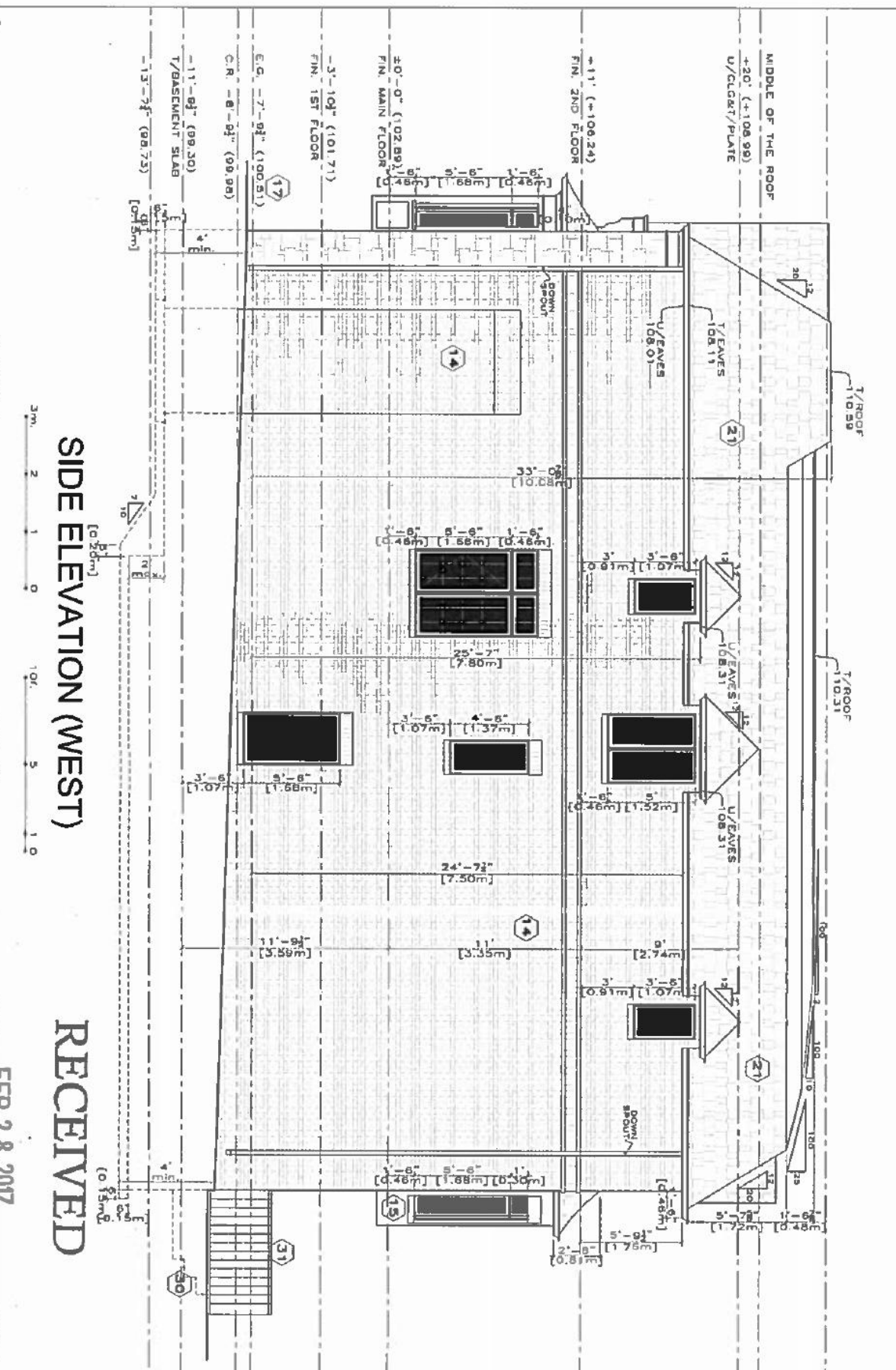
project:
111 NORTON AVENUE
 drawing:
SIDE ELEVATION
 scale:
3/16"=1'
 page:
A8

revisions:
 NOV. 30, 2016 - ISSUED FOR CMA
 NOV. 04, 2016 - ISSUED FOR PERMITS
 THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER
Ali Shakeri
 RCIN#24574
 S&A Associates Ltd.
 RCIN#30998

1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE
 2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
 3. DO NOT SCALE DRAWINGS
 4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO P&A ASSOCIATES BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.
 5. USE ONLY LATEST REVISED DRAWINGS OF THOSE THAT ARE MARKED ISSUED FOR CONSTRUCTION
 6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

Ali Shakeri

GLAZED AREAS:
 1. AREA OF EXPOSED BUILDING FACE: 1470.49 SQ. FT.
 2. PROPOSED GLAZED AREA: 1007.1 SQ. FT. (X6.84)



SIDE ELEVATION (WEST)

RECEIVED

FEB 28 2017

CITY OF TORONTO PLANNING

| | | | |
|--|--------------------------------------|---|---|
| designed by: ALI SHAKERI T.416.5168631 F.416.2508800 ARCICA INC. 328 SHEPPARD AVENUE EAST, M2N 3B4 TORONTO, ONTARIO, CANADA | Project: 111 NORTON AVENUE | Revisions: NOV. 30 2016 - ISSUED FOR COA | 1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE. 2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. 3. DO NOT SCALE DRAWINGS. 4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO P&A ASSOCIATES BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK. 5. USE ONLY LATEST REVISED DRAWINGS OF THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION". 6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION. |
| | drawing: SIDE ELEVATION | scale: 3/16"=1' | |

THIS UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER
 Ali Shakeri
 BCIN#24574
 P&A Associates Ltd.
 BCIN#30888

SIGNATURE PAGE

| | | | |
|--------------------|-----------------------|------------|-----------------|
| File Number: | A1121/16NY | Zoning | RD/R6 [WAV] |
| Owner: | SASAN RAGHIBIZADEH | Ward: | Willowdale (23) |
| Agent: | ALI GOUDARZI | Heritage: | Not Applicable |
| Property Address: | 111 NORTON AVE | Community: | North York |
| Legal Description: | PLAN 2400 LOT 327 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|---|------------|-----------------|
| File Number: | A1122/16NY | Zoning | R6/RD(waiver) |
| Owner(s): | MEHRAB POURAN | Ward: | Willowdale (23) |
| Agent: | ARCICA INC | Heritage: | Not Applicable |
| Property Address: | 160 PARKVIEW AVE | Community: | North York |
| Legal Description: | PLAN 1790 PT LOT 765 LOT 764 PLAN 3194 PT LOT 34 LOT 33 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10, By-law No. 569-2013**
The maximum permitted wall height is 7.5m.
The proposed wall height is 7.8m for pair of side walls.
- 2. Chapter 10.20.40.20, By-law No. 569-2013**
The maximum permitted building length is 17m.
The proposed building length of 17.83m,
- 3. Chapter 10.5.40.10, By-law No. 569-2013**
A minimum of 10m² of the 1st floor must be within 4m of the main front wall.
The proposed first floor within 4m of the main front wall is 7.5m².
- 4. Chapter 10.20.40.70, By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard is 1.2m.
- 5. Chapter 10.20.40.70, By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard is 1.2m.
- 6. Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

7. Section 14-(9), By-law No. 7625

The maximum permitted length of dwelling is 15.3m.

Proposed length of dwelling is 17.83m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

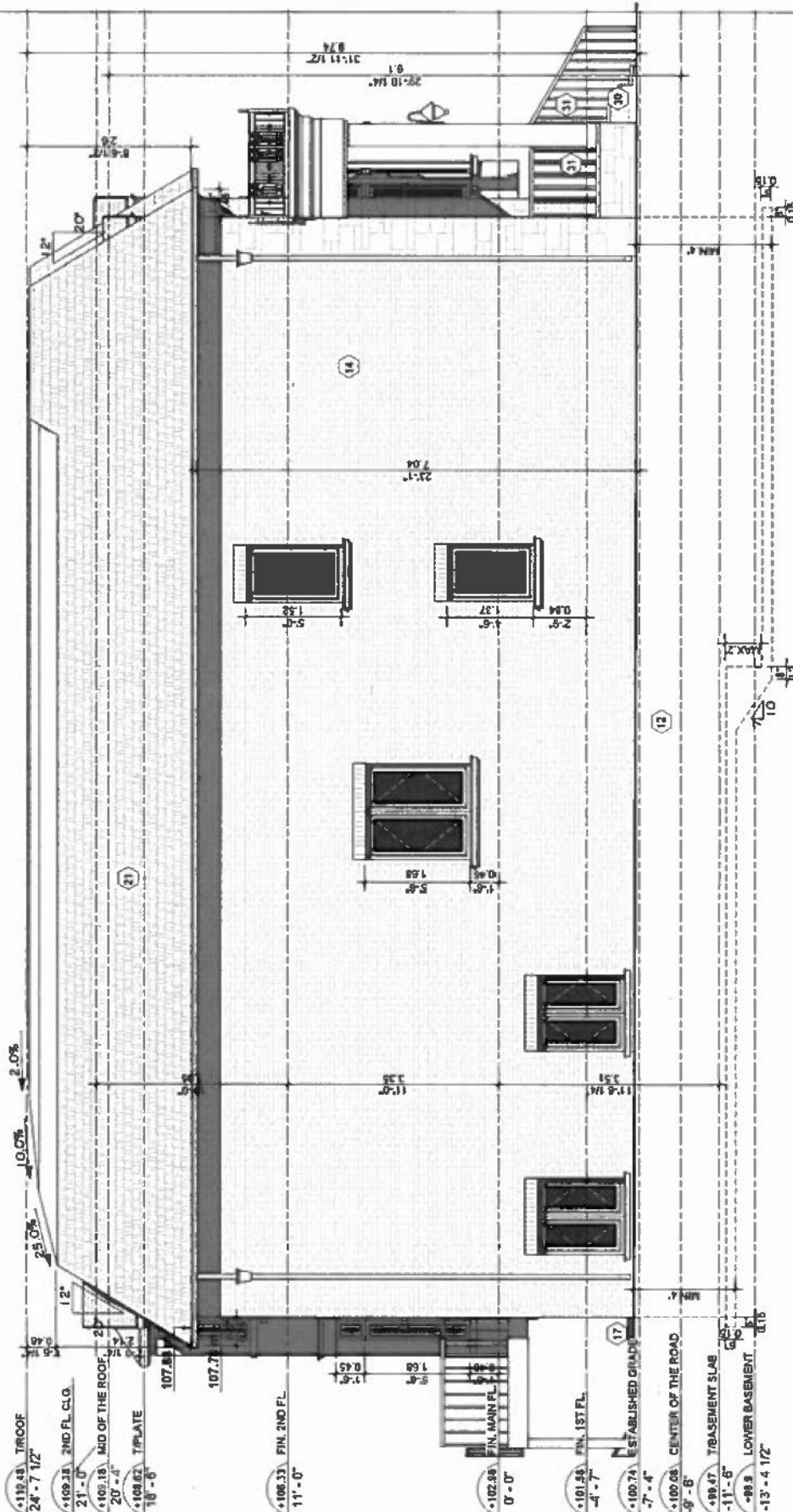
- 1) The proposal be developed in accordance with the Side Elevation (East) and Side Elevation (West) drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, February 28, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

FEB 28 2017

RECEIVED

GLAZED AREAS:

- 1. AREA OF EXPOSED BUILDING FACE: 1363.48 SQ. FT.
- 2. PROPOSED GLAZED AREA: 95.7 SQ. FT. (6.91%)



Designed by
ALI SHAKERI
1-416-812-6651 F-416-210-0900
ARCICA INC.
330 SHEPPARD AVENUE EAST
SUITE 202
TORONTO, ONTARIO, CANADA

| | |
|----------|----------------------|
| project: | 160 PARKVIEW AVENUE |
| drawing: | SIDE ELEVATION(WEST) |
| scale: | 3/16" = 1'-0" |
| page: | A 08 |

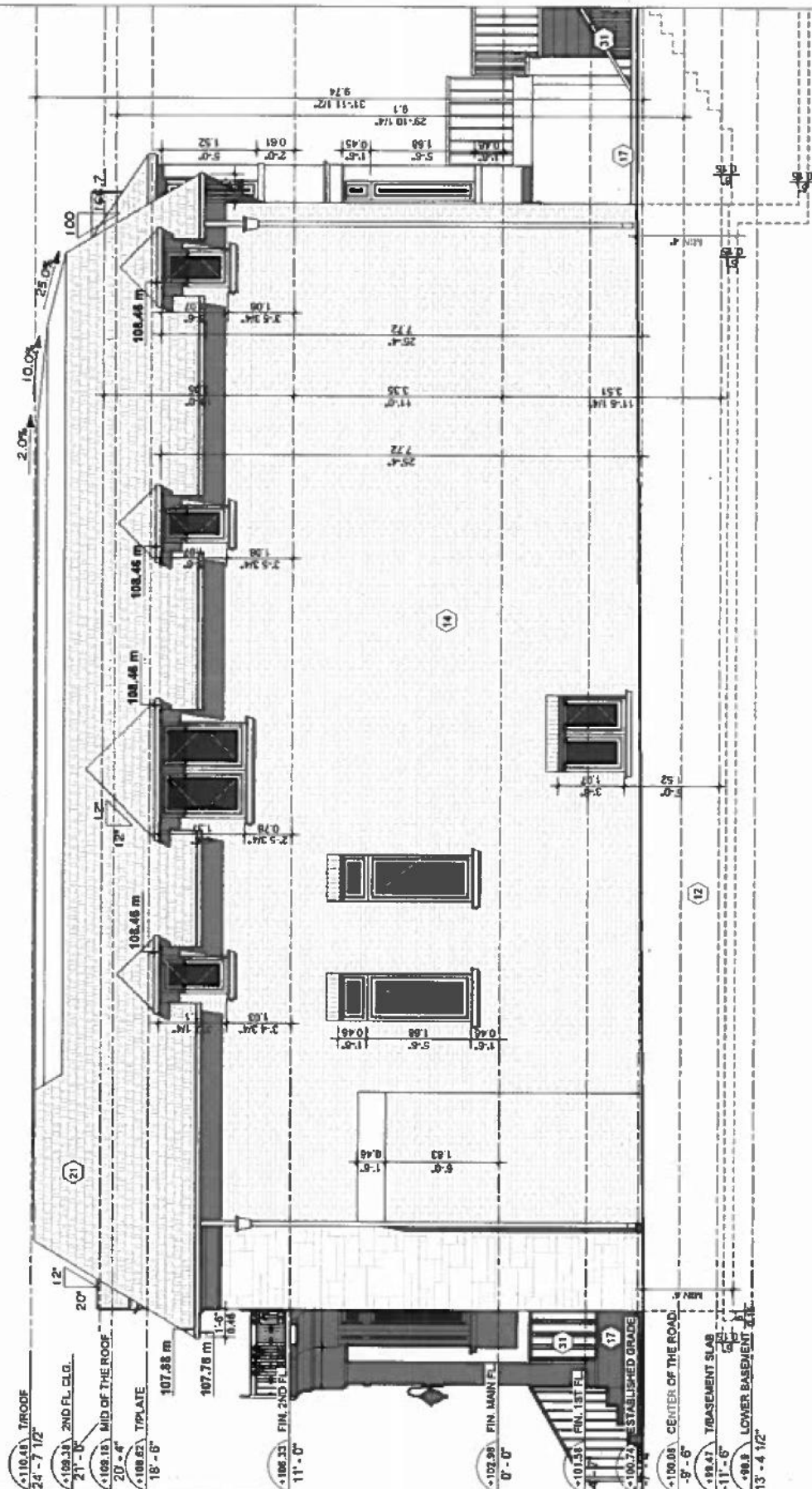
revisions:
DECEMBER 19, 2016- Issued for COA

THIS UNDERWRITER HAS REVIEWED A TENDER RESPONSIBILITY FOR THIS DESIGN. A HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.S.C. TO BE A DESIGNER

Ali Shakeri
BCL1924573
P.L.A. ASSOCIATES LTD.
BC1924573

- 1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
- 2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- 3. DO NOT SCALE DRAWINGS.
- 4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO PAA ASSOCIATES BY PHONE AND IMMEDIATELY WRITE IN COOPERATION PRIOR TO COMMENCEMENT OF THE WORK.
- 5. USE ONLY LATEST REVISION DRAWINGS OF THOSE THAT ARE MARKED "SEALED FOR CONSTRUCTION".
- 6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

GLAZED AREAS:
 1. AREA OF EXPOSED BUILDING FACE: 1439.45 SQ.FT.
 2. PROPOSED GLAZED AREA: 93.96 SQ.FT. (6.52%)



RECEIVED

FEB 28 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

Designed by
ALI SHAKERI
 T: 416-816-6665 F: 416-298-0000
ARCICA INC.
 528 SHEPPARD AVENUE EAST, SUITE 303
 TORONTO, ON M4X 1L7, CANADA

| | |
|----------|----------------------|
| project: | 160 PARKVIEW AVENUE |
| drawing: | SIDE ELEVATION(EAST) |
| scale: | 3/16" = 1'-0" |
| page: | A 9 |

revisions:
 DECEMBER 19, 2016- Issued for COA

THIS UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER

Ali Shakeri
 RCIN21474
 P&A Associates Ltd.
 RCIN214099

Ali Shakeri

- 1 ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
- 2 VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
- 3 DO NOT SCALE DRAWINGS.
- 4 ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCE OR DISCREPANCIES MUST BE REPORTED TO P&A ASSOCIATES BY PHONE AND SUBMITTED IN WRITING IN CONNECTION PRIOR TO COMMENCEMENT OF THE WORK.
- 5 USE ONLY LATEST REVISION DRAWINGS OF THOSE THAT ARE MARKED ISSUED FOR CONSTRUCTION.
- 6 ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

SIGNATURE PAGE

| | | | |
|--------------------|---|------------|-----------------|
| File Number: | A1122/16NY | Zoning | R6/RD(waiver) |
| Owner: | MEHRAB POURAN | Ward: | Willowdale (23) |
| Agent: | ARCICA INC | Heritage: | Not Applicable |
| Property Address: | 160 PARKVIEW AVE | Community: | North York |
| Legal Description: | PLAN 1790 PT LOT 765 LOT 764 PLAN 3194 PT LOT 34 LOT 33 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|---------------------------|------------|-----------------|
| File Number: | A1123/16NY | Zoning | RD/R4 [WAV] |
| Owner(s): | XURONG ZHUGE MENG XIN | Ward: | Willowdale (23) |
| Agent: | ARCICA INC | Heritage: | Not Applicable |
| Property Address: | 339 MAPLEHURST AVE | Community: | North York |
| Legal Description: | PLAN M372 LOT 47 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the pair of exterior main walls facing a side lot line is 7.80m.
- Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.10m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

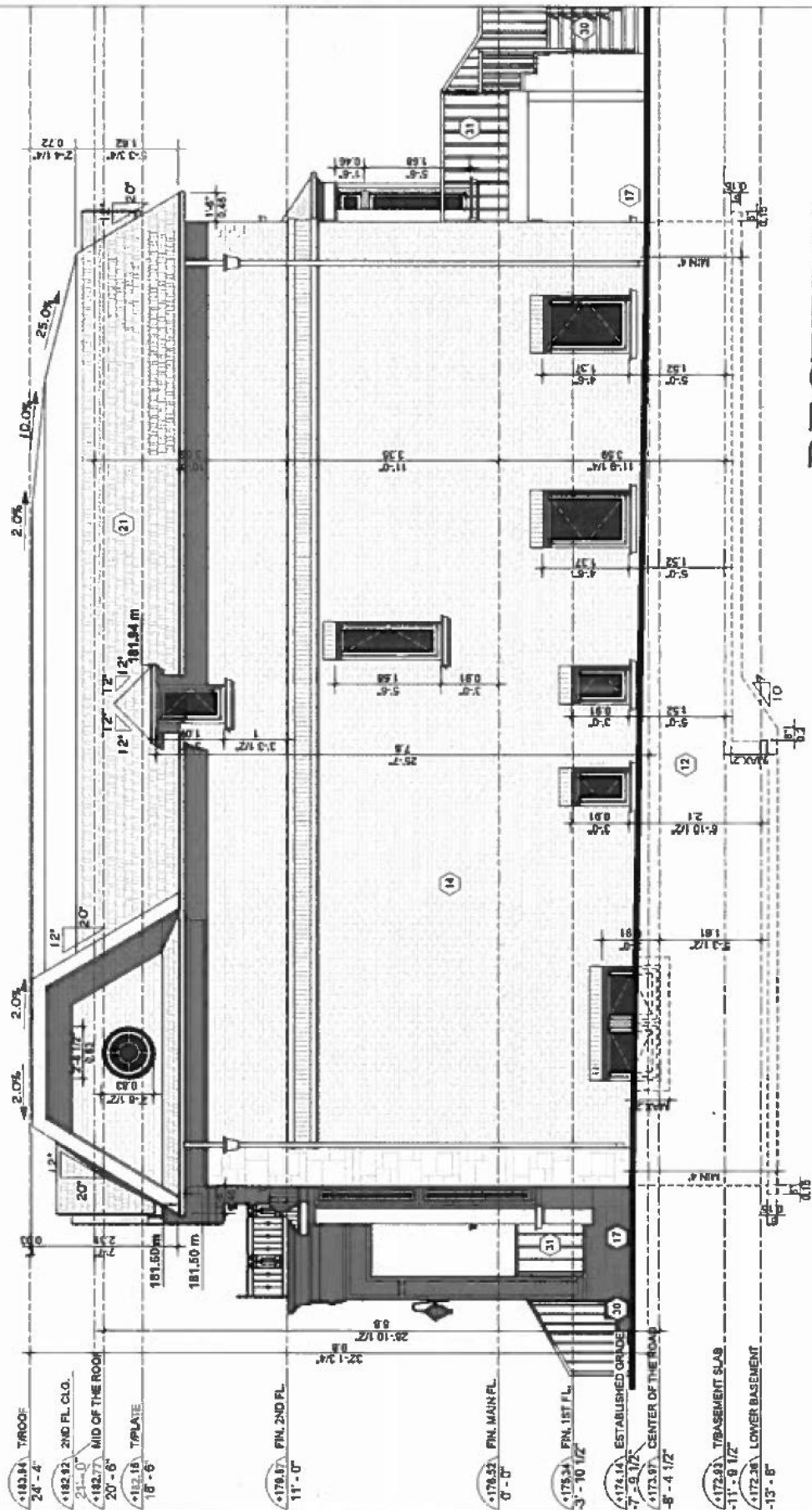
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
- 2) The proposal be developed in accordance with the Side Elevation (East) and Side Elevation (West) drawings submitted to the Committee of Adjustment, date stamped received by the City' of Toronto Planning Division, February 28, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

GLAZED AREAS

- 1. AREA OF EXPOSED BUILDING FACE: 1309.42 SQ. FT.
- 2. PROPOSED GLAZED AREA: 69.02 SQ. FT. (6.79%)



RECEIVED

FEB 28 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

Designed by:

ALI SHAKERI
1-416-818-8881 1-416-299-9900

ARCICA INC.
330 SHEPPARD AVENUE EAST
SUITE 503
TORONTO, ONTARIO, CANADA

project: **339 MAPLEHURST AVENUE**

drawing: **SIDE ELEVATION (WEST)**

scale: **3/16" = 1'-0"**

page: **A 08**

revisions:

DECEMBER 08, 2016 - issued for COA

This under signed has REVIEWED & TAKES RESPONSIBILITY FOR THIS DRAWING & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER

Ali Shakeri
BCIN224574
F&A Associate Ltd.
BCIN230298

Ali Shakeri

1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE

2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

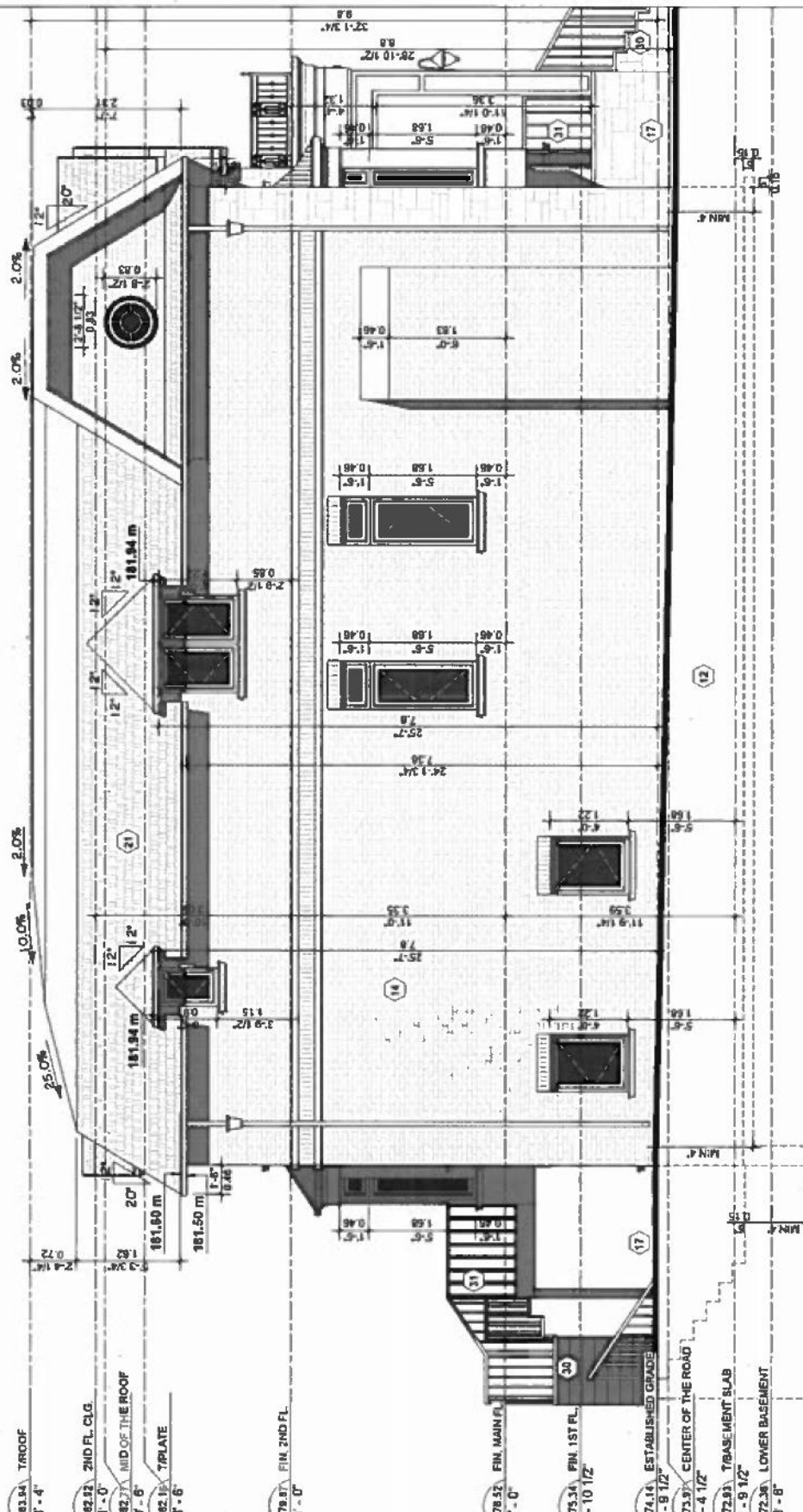
3. DO NOT SCALE DRAWINGS

4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK

5. USE ONLY LATEST REVISED DRAWINGS OF THIS PROJECT THAT HAVE BEEN ISSUED FOR CONSTRUCTION

6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

GLAZED AREAS:
 1. AREA OF EXPOSED BUILDING FACE
 2. PROPOSED GLAZED AREA



RECEIVED

FEB 28 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

Designed by:
ALI SHAKERI
 T. 416. 816. 6151 F. 416. 270. 9000
ARCICA INC.
 330 BAYVIEW AVE. SUITE 1000
 SCARBOROUGH, ONTARIO, CANADA M1H 2B4

Project: **339 MAPLEHURST AVENUE**
 drawing: **SIDE ELEVATION(EAST)**
 scale: **3/16" = 1'-0"**
 page: **A 9**

revisions:
DECEMBER 08, 2016- Issued for COA

THIS UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.C.C. TO BE A DESIGNER

Ali Shakeri
 RCIN#24574
 P.E.A. Associates Ltd. *Ali Shakeri*
 RCIN#20088

1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
3. DO NOT SCALE DRAWINGS.
4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCE OR DISCREPANCIES MUST BE REPORTED TO P.E.A. ASSOCIATES BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.
5. USE ONLY LATEST REVISIONS OF DRAWINGS OF WHICH THEY ARE MARKED TO RELY FOR CONSTRUCTION.
6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

SIGNATURE PAGE

| | | | |
|--------------------|---------------------------|------------|-----------------|
| File Number: | A1123/16NY | Zoning | RD/R4 [WAV] |
| Owner: | XURONG ZHUGE MENG XIN | Ward: | Willowdale (23) |
| Agent: | ARCICA INC | Heritage: | Not Applicable |
| Property Address: | 339 MAPLEHURST AVE | Community: | North York |
| Legal Description: | PLAN M372 LOT 47 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|---------------------------|------------|-----------------|
| File Number: | A1124/16NY | Zoning | R4 / RD(waiver) |
| Owner(s): | MENG XIN | Ward: | Willowdale (23) |
| Agent: | ARCICA INC | Heritage: | Not Applicable |
| Property Address: | 341 MAPLEHURST AVE | Community: | North York |
| Legal Description: | PLAN M372 LOT 46 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30%.
The proposed lot coverage is 32% of the lot area.
- 2. Chapter 10.20.40.10, By-law No. 569-2013**
The maximum permitted wall height is 7.5m.
The proposed wall height is 7.8 for pair of side walls.
- 3. Chapter 10.5.80.40, By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the street on which the lot fronts.
- 4. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30%.
The proposed lot coverage is 32% of the lot area.
- 5. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

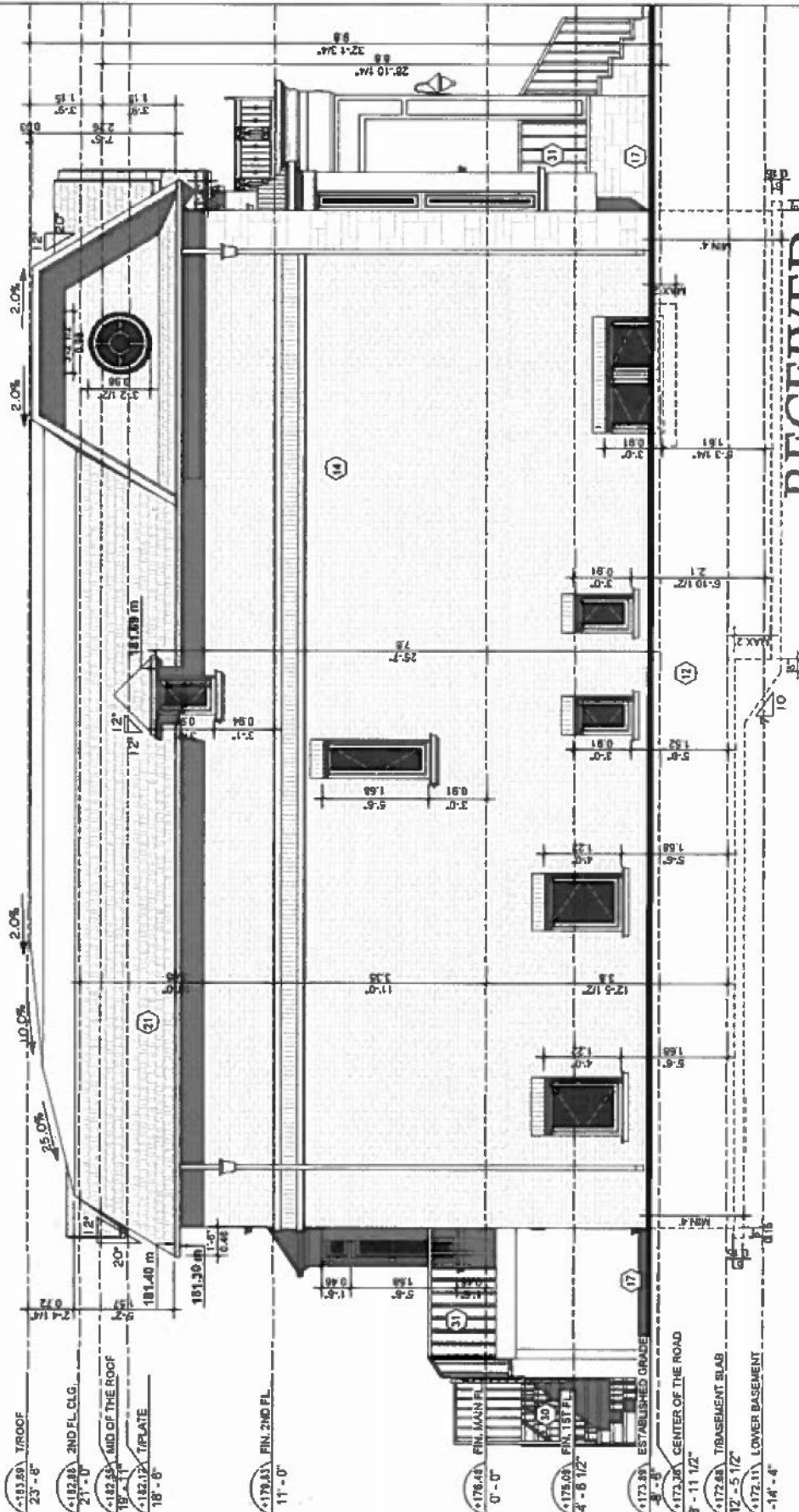
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Side Elevation (East) and Side Elevation (West) drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, February 28, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

GLAZED AREAS

1. AREA OF EXPOSED BUILDING FACE: 1304.13 SQ. FT.
2. PROPOSED GLAZED AREA: 50.20 SQ. FT. (6.51%)



RECEIVED

FEB 28 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

Designed by
ALI SHAKERI
7-136 BAYVIEW | TEL: 416 290-0000

ARCICA INC.
826 SHEPPARD AVENUE EAST,
SUITE 2000
TORONTO, ONTARIO, CANADA

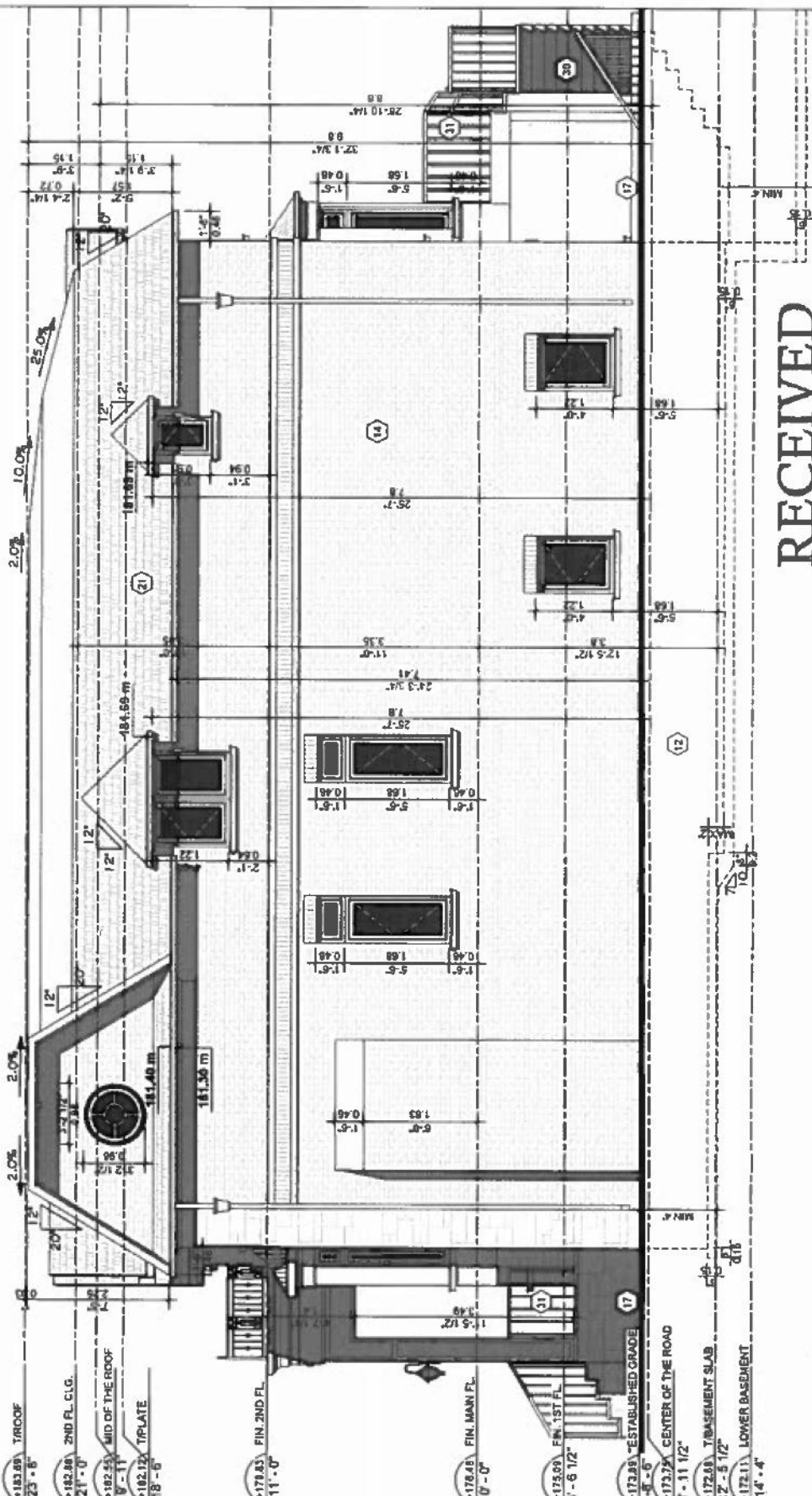
project: 341 MAPLEHURST AVENUE
drawing: SIDE ELEVATION(EAST)
scale: 3/16" = 1'-0"
page: A 08

revisions: DECEMBER 08, 2016- Issued for COA

This undersigned has reviewed a Tender Responsibility Form for this design. I have the qualifications and meets the requirements set out in the D.S.C. to be a Designer.
Ali Shakeri
BCIN#24574
P.E.A. AS9008899 L.M.
BCIN#30308

Ali Shakeri

1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
3. DO NOT SCALE DRAWINGS.
4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BY PHONE AND BEFORE ANY WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.
5. USE ONLY LATEST REVERSED DRAWINGS OF THIS THAT ARE MARKED ISSUED FOR CONSTRUCTION.
6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.



GLAZED AREAS:
 1. AREA OF EXPOSED BUILDING FACE: 1390.15 SQ.FT.
 2. PROPOSED GLAZED AREA: 96.96 SQ.FT. (6.97%)

RECEIVED

FEB 28 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

Designed by
ALI SHAKERI
 7-118-8166-691 416-218-2800-800
ARCICA INC.
 624 SHEPPARD AVE. EAST, SUITE 200
 MARKHAM, ONTARIO, CANADA
 L3R 9V7

| | |
|----------|-----------------------|
| Project: | 341 MAPLEHURST AVENUE |
| Drawing: | SIDE ELEVATION(WEST) |
| Scale: | 3/16" = 1'-0" |
| Page: | A 9 |

Revisions:
 DECEMBER 08, 2016- Issued for COA

THIS UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER
 Ali Shakeri
 BCIN#24574
 P&A Associates Ltd.
 BCIN#30088

Ali Shakeri

1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
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3. DO NOT SCALE DRAWINGS.
4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO P&A ASSOCIATES BY PHONE AND SUBSEQUENT WRITTEN CORRECTIONS PRIOR TO COMMENCEMENT OF THE WORK.
5. USE ONLY LATEST REVISED DRAWINGS OF THIS SET AND MARKED ISSUED FOR CONSTRUCTION.
6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

SIGNATURE PAGE

| | | | |
|--------------------|---------------------------|------------|-----------------|
| File Number: | A1124/16NY | Zoning | R4 / RD(waiver) |
| Owner: | MENG XIN | Ward: | Willowdale (23) |
| Agent: | ARCICA INC | Heritage: | Not Applicable |
| Property Address: | 341 MAPLEHURST AVE | Community: | North York |
| Legal Description: | PLAN M372 LOT 46 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|--|------------|------------------------|
| File Number: | A1128/16NY | Zoning | R2/RM(ZR) |
| Owner(s): | DAVID PHILIP STULBERG DAVID PHILIP STULBERG | Ward: | Eglinton-Lawrence (15) |
| Agent: | DREW LASZLO ARCHITECT INC | Heritage: | Not Applicable |
| Property Address: | 117 GLOUCESTER GRV | Community: | York |
| Legal Description: | PLAN 1672 E PT LOT 31 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.40.20.(1), Zoning By-law No. 569-2013**
In the RM zone, the permitted maximum building length is 17.0m.
The proposed building length is 17.45m.
- 2. Chapter 10.80.40.70.(3), Zoning By-law No. 569-2013**
A) The required minimum side yard setback for a detached house is 1.2m.
The proposed east side yard setback is 0.6m.
- 3. Chapter 10.80.40.70.(3), Zoning By-law No. 569-2013**
A) The required minimum side yard setback for a detached house is 1.2m.
The proposed west side yard setback is 1.04m.
- 4. Section 3.(a), York Zoning By-law 1-83**
The minimum side yard setback is 1.2m.
The proposed west side yard setback is 1.04m.
- 5. Section 3.4.7, York Zoning By-law 1-83**
The maximum rear deck projection is 2.4m.
The proposed is 2.44m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
- 2) The applicant is to provide permanent opaque screening or fencing along the eastern edge of the proposed rear deck; with a minimum height of 1.5 metres from the floor of the deck.

SIGNATURE PAGE

| | | | |
|--------------------|--|------------|------------------------|
| File Number: | A1128/16NY | Zoning | R2/RM(ZR) |
| Owner: | DAVID PHILIP STULBERG DAVID PHILIP STULBERG | Ward: | Eglinton-Lawrence (15) |
| Agent: | DREW LASZLO ARCHITECT INC | Heritage: | Not Applicable |
| Property Address: | 117 GLOUCESTER GRV | Community: | York |
| Legal Description: | PLAN 1672 E PT LOT 31 | | |

Beth Levy (signed) Denise Graham (signed) Giacomo Tonon (signed)

Rick Ross (signed) Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017
CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|--------------------------|------------|-----------------|
| File Number: | A1129/16NY | Zoning | RD/R4 [WAV] |
| Owner(s): | GLADYS NAYLOR | Ward: | Willowdale (23) |
| Agent: | MANOUSH HAKIMI | Heritage: | Not Applicable |
| Property Address: | 357 HILLCREST AVE | Community: | North York |
| Legal Description: | PLAN 1609 LOT 369 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.

2. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.06m.

3. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.

4. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.52m.

5. Section 13.2.5(a), By-law No. 7625

The maximum permitted height of a one-storey rear extension is 5.00m.
The proposed height of the rear one-storey extension is 6.16m.

6. Section 6(9)(n), By-law No. 7625

Bay windows may project up to 3.00m from the front or rear wall if glazed.
The proposed bay windows in the front wall project 0.61m and are not glazed.

7. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

8. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.52m.

9. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.52m.

10. Chapter 10.20.40.20.(3), By-law No. 569-2013

The maximum permitted height of a one-storey rear extension is 5.00m.

The proposed height of the rear one-storey extension is 6.16m.

11. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.50m for both sides.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

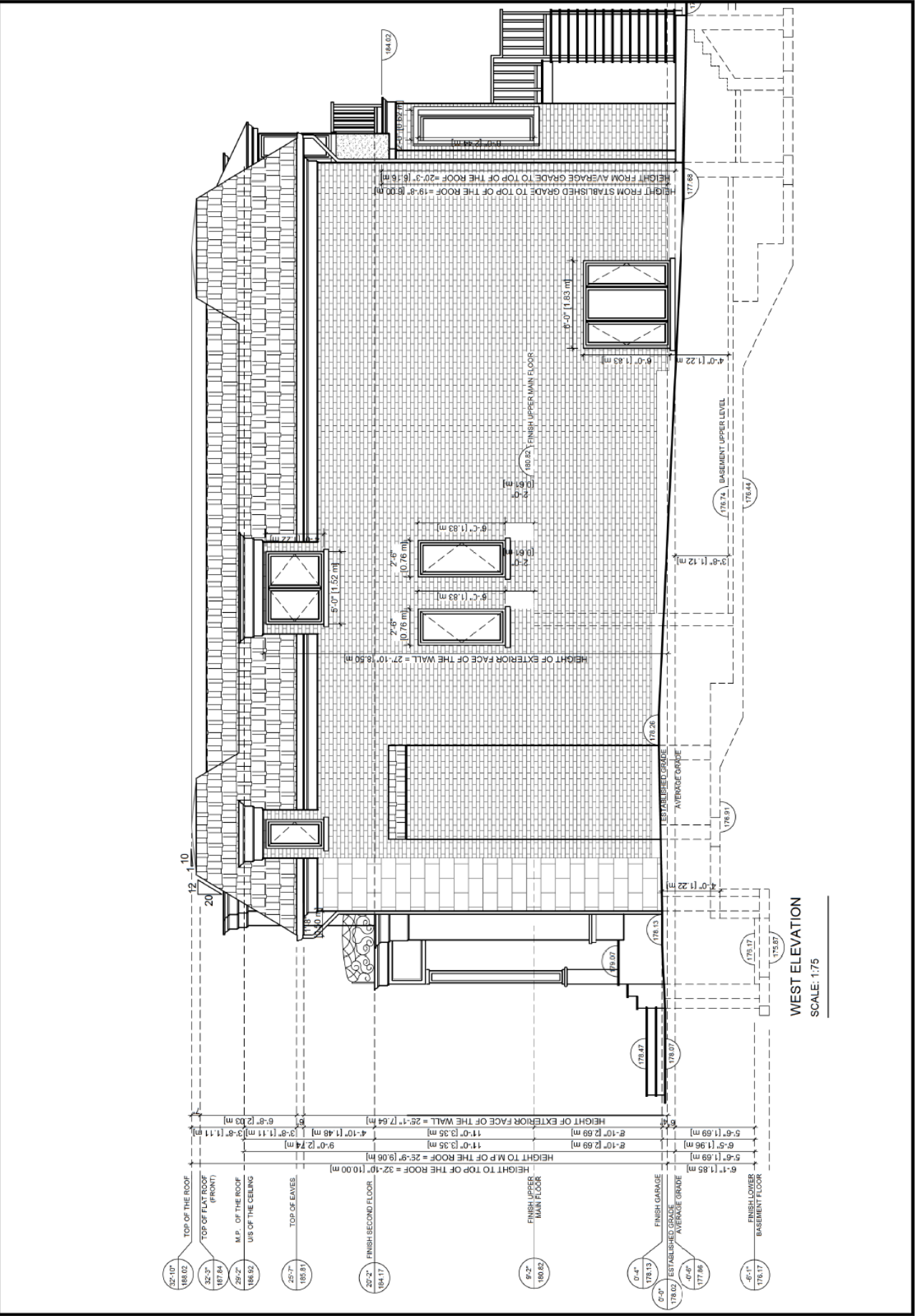
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The property being developed essentially in accordance with the east and west elevations, attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



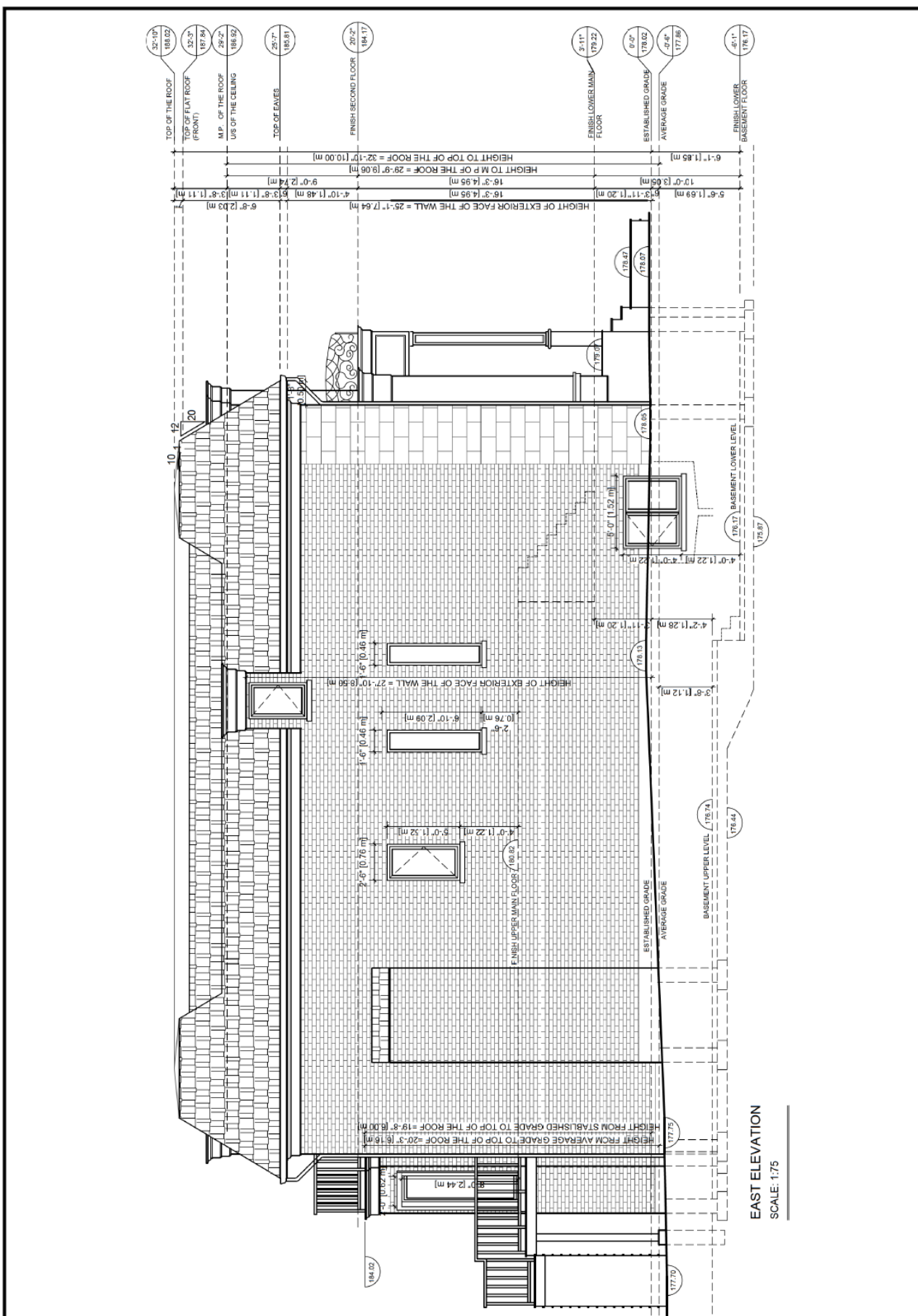
WEST ELEVATION
SCALE: 1:75

| DATE | NO. | DESCRIPTION | BY |
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ADDRESS: 357 HILLCREST AVENUE,
 TORONTO, ONTARIO.
 DRAWING TITLE: ELEVATION
 SCALE: AS NOTED DRAWN:
 DESIGN: CHECKED:
 DATE: DEC. 15, 2016
 PROJECT NO.:
 FILE NO.:

A8

THESE DRAWINGS ARE THE COPYRIGHT PROPERTY OF THE ENGINEER
 AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY
 IDENTIFIED THEREIN.



EAST ELEVATION
SCALE: 1:75

ADDRESS:
357 HILLCREST AVENUE,
TORONTO, ONTARIO.

DRAWING TITLE:
ELEVATION

SCALE:
AS NOTED

DESIGN:
CHECKED:

DATE:
DEC. 15, 2016

PROJECT NO:
DRAWING NO:
A9

FILE NO:

| DATE | NO. | DESCRIPTION | BY |
|------|-----|-------------|----|
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SIGNATURE PAGE

| | | | |
|--------------------|--------------------------|------------|-----------------|
| File Number: | A1129/16NY | Zoning | RD/R4 [WAV] |
| Owner: | GLADYS NAYLOR | Ward: | Willowdale (23) |
| Agent: | MANOUSH HAKIMI | Heritage: | Not Applicable |
| Property Address: | 357 HILLCREST AVE | Community: | North York |
| Legal Description: | PLAN 1609 LOT 369 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|------------------------|------------|----------------------|
| File Number: | A1130/16NY | Zoning | R5/RD(ZR) |
| Owner(s): | ANITA SOLTANIAN | Ward: | Don Valley West (25) |
| Agent: | MANOUSH HAKIMI | Heritage: | Not Applicable |
| Property Address: | 44 TREMONT CRES | Community: | North York |
| Legal Description: | PLAN 4332 LOT 21 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), Zoning By-law 569-2013**
A) The permitted maximum lot coverage is 25 percent of the lot area: 154m².
The proposed lot coverage is **29.00%** percent of the lot area: 184.88m².
- 2. Chapter 10.20.40.10.(2), Zoning By-law 569-2013**
The permitted maximum height of the exterior portion of main walls for a detached house is 7.5m.
The proposed height of the front exterior main walls is 8.76m.
The proposed height of the side exterior main walls facing the west side lot line is **8.3m**.
- 4. Section 14.2.3(b), Zoning By-law No. 7625**
The minimum required west side yard setback is 1.8m.
The proposed west side yard setback is 1.5m.
- 5. Section 14.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 25% of the lot area.
The proposed lot coverage is **29.00%** of the lot area.
- 6. Section 14.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

| | | | |
|--------------------|------------------------|------------|----------------------|
| File Number: | A1130/16NY | Zoning | R5/RD(ZR) |
| Owner: | ANITA SOLTANIAN | Ward: | Don Valley West (25) |
| Agent: | MANOUSH HAKIMI | Heritage: | Not Applicable |
| Property Address: | 44 TREMONT CRES | Community: | North York |
| Legal Description: | PLAN 4332 LOT 21 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|--------------------------|------------|------------------------|
| File Number: | A1131/16NY | Zoning | R/R2 Z0.6 [ZZC] |
| Owner(s): | ROOZBEH SEPEHRI-RAAD | Ward: | Eglinton-Lawrence (16) |
| Agent: | PAMAK AZIZI MAGHADDAM | Heritage: | Not Applicable |
| Property Address: | 235 DELORAINE AVE | Community: | Toronto |
| Legal Description: | PLAN 1627 PT LOT 23 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 4.45m² within 4.00m of the main front wall.

2. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is 0.653 times the lot area.

3. Chapter 10.5.40.60.(1), By-law No. 569-2013

A platform without main walls, attached to or less than 0.30m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.50m if it is no closer to a side lot line than the required side yard setback.
The proposed platform encroaches 3.34m into the required front yard setback.

4. Chapter 10.20.40.30.(1), By-law No. 569-2013

The maximum permitted building depth is 17.00m.
The proposed building depth is **18.22m**.

5. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.63m.

6. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.60 times the lot area.
The proposed gross floor area is 0.65 times the lot area.

7. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth. The proposed west side yard setback is 0.45m for the **1.21m** portion of the dwelling exceeding 17.00m in depth.

8. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum required side yard setback is 7.50m for portion of the dwelling exceeding 17.00m in depth. The proposed east side yard setback is 1.06m for the **1.21m** for the portion of the dwelling exceeding 17.00m in depth.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

| | | | |
|--------------------|--------------------------|------------|------------------------|
| File Number: | A1131/16NY | Zoning | R/R2 Z0.6 [ZZC] |
| Owner: | ROOZBEH SEPEHRI-RAAD | Ward: | Eglinton-Lawrence (16) |
| Agent: | PAMAK AZIZI MAGHADDAM | Heritage: | Not Applicable |
| Property Address: | 235 DELORAINE AVE | Community: | Toronto |
| Legal Description: | PLAN 1627 PT LOT 23 | | |

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|--------------------------------------|------------|-----------------------------------|
| File Number: | A1132/16NY | Zoning | R7/RD (f9.0; a275) (x1463)(ZR) |
| Owner(s): | KATHERINE HANRATTY GORDON RASBACH | Ward: | Eglinton-Lawrence (16) |
| Agent: | GORDON RASBACH | Heritage: | Not Applicable |
| Property Address: | 16 OTTER CRES | Community: | North York |
| Legal Description: | PLAN 1505 PT LOT 47 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, with a basement entrance, and a new detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.60.20.(2), Zoning By-law No. 569-2013**
(B) If an ancillary building or structure is located on a lot with a lot depth greater than 45m, and its height is greater than 2.5m or its floor area, including areas for the purpose of parking, is greater than 10m², the minimum rear yard setback for the ancillary building or structure is equal to half the height of the ancillary building or structure: 2.59m
The proposed rear yard setback for the ancillary building is 0.3m.
- 2. Chapter 10.5.60.40.(2), Zoning By-law No. 569-2013**
(B) The maximum height of an ancillary building or structure is 4.0m.
The proposed height of the ancillary structure is 4.9m.
- 3. Chapter 10.5.60.50.(2), Zoning By-law No. 569-2013**
(B) The maximum total floor area of all ancillary buildings or structures on a lot is 40.0m².
The proposed total floor area of all ancillary buildings is 52.26m².
- 4. Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0m or less, the permitted maximum building length for a detached house is 17.0m.
The proposed building length is 20.54m.

5. **Chapter 10.20.40.30.(1), Zoning By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0m.
The proposed building depth is 20.54m.
6. **Section 14-B(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 20.54m.
7. **Section 6(23)E(iv) , Zoning By-law No. 7625**
The maximum height of an accessory building is 3.7m.
The proposed height is 3.94m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

| | | | |
|--------------------|--------------------------------------|------------|-----------------------------------|
| File Number: | A1132/16NY | Zoning | R7/RD (f9.0; a275) (x1463)(ZR) |
| Owner: | KATHERINE HANRATTY GORDON RASBACH | Ward: | Eglinton-Lawrence (16) |
| Agent: | GORDON RASBACH | Heritage: | Not Applicable |
| Property Address: | 16 OTTER CRES | Community: | North York |
| Legal Description: | PLAN 1505 PT LOT 47 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|-----------------------------------|------------|----------------------|
| File Number: | A1133/16NY | Zoning | RD/R4 [ZZC] |
| Owner(s): | BONITA BONIA ANTANSEOS VRONTOS | Ward: | Don Valley West (25) |
| Agent: | ST ENGINEERING | Heritage: | Not Applicable |
| Property Address: | 54 GRANGEMILL CRES | Community: | North York |
| Legal Description: | PLAN 4758 LOT 299 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey addition to the south portion of the existing dwelling, in conjunction with a new second storey addition over the existing one-storey dwelling, along with other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**

The minimum required front yard setback is 7.70m.

The proposed front yard setback is **5.766m**.

2. Section 13.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.50m.

The proposed front yard setback is **5.766m**.

3. Section 13.2.3(c), By-law No. 7625

The minimum required rear yard setback is 9.50m.

The proposed rear yard setback is 9.20m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed dwelling be constructed substantially in accordance with the site plan submitted to the City Planning division, date stamped received on February 23, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED
FEB 23 2017
 CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

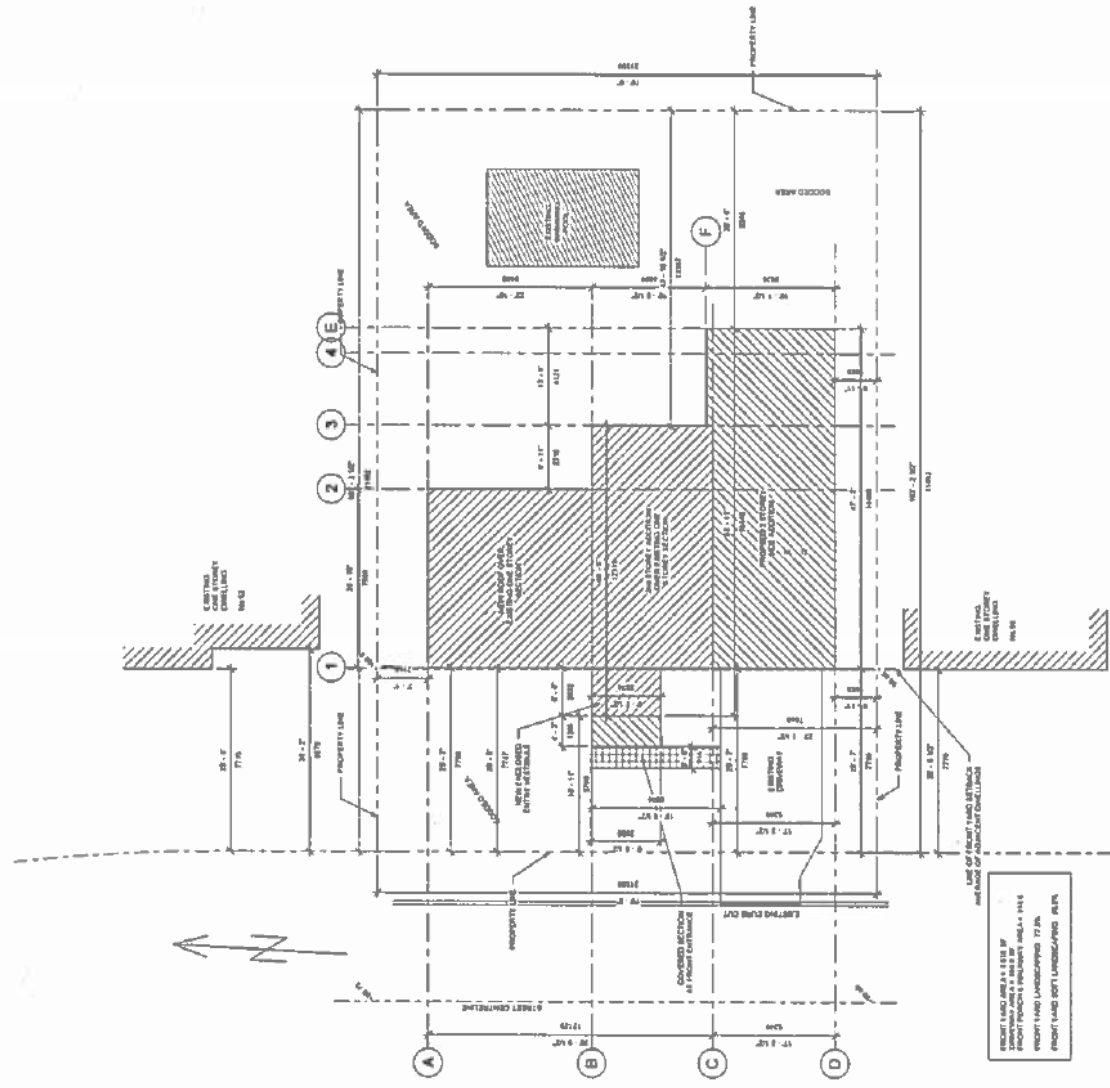
ST ENGINEERING
 175 Spadina Avenue
 6th Floor, Toronto, ON M5S 2S3
 416-593-7865
 stes@st-engineering.com



PROPOSED ADDITION
 54 GRANGEMILL CRESCENT
 TORONTO, ON
SITE PLAN

| | |
|----------------|--------------|
| Project Number | 15-422 |
| Date | JUNE 2015 |
| Drawn By | ST |
| Checked By | ST |
| Scale | 1/8" = 1'-0" |

| Category | Existing | Proposed |
|--------------------------|--------------------------|--------------------------|
| LOT AREA | 7,237 SQ. FT. (0.165 AC) | 9,215 SQ. FT. (0.211 AC) |
| CONCRETE FLOOR AREA | 1,200 SQ. FT. (0.027 AC) | 1,500 SQ. FT. (0.034 AC) |
| WOODEN FLOOR AREA | --- | 1,300 SQ. FT. (0.030 AC) |
| SP. AREA | 6.17 | 6.47 |
| LOT COVERAGE | 16.3% | 16.3% |
| MAXIMUM HEIGHT OF TRUCKS | 8.5m | 8.5m |
| MAXIMUM HEIGHT OF TRUCKS | 7.8m | 7.8m |
| MAXIMUM HEIGHT OF TRUCKS | 8.52m | 8.52m |
| MAXIMUM HEIGHT OF TRUCKS | 13.35m | 13.35m |
| MAXIMUM HEIGHT OF TRUCKS | 13.35m | 13.35m |
| MAXIMUM HEIGHT OF TRUCKS | 8.5m | 8.5m |
| MAXIMUM HEIGHT OF TRUCKS | 8.5m | 8.5m |



REAR LAND AREA AS SHOWN BY FRONT PROPERTY LINE IS 114.6 SQ. FT. (2.64 AC)
 FRONT LAND AREA AS SHOWN BY FRONT PROPERTY LINE IS 17.2% OF TOTAL LOT AREA
 FRONT LAND NOT LANDSCAPED AREA

1 SITE PLAN
 1/8" = 1'-0"

SIGNATURE PAGE

| | | | |
|--------------------|-----------------------------------|------------|----------------------|
| File Number: | A1133/16NY | Zoning | RD/R4 [ZZC] |
| Owner: | BONITA BONIA ANTANSEOS VRONTOS | Ward: | Don Valley West (25) |
| Agent: | ST ENGINEERING | Heritage: | Not Applicable |
| Property Address: | 54 GRANGEMILL CRES | Community: | North York |
| Legal Description: | PLAN 4758 LOT 299 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

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North York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|-----------------------------------|------------|--|
| File Number: | A1134/16NY | Zoning | R6(20)/RD (f12.0; a370) (x1463)(ZR) |
| Owner(s): | DAVID H LANDO NICK ZARAFONITIS | Ward: | Eglinton-Lawrence (16) |
| Agent: | ST ENGINEERING | Heritage: | Not Applicable |
| Property Address: | 115 MCGILLIVRAY AVE | Community: | North York |
| Legal Description: | PLAN 1831 W PT LOT 90 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30 percent of the lot area: 128.19m².
The proposed lot coverage is 47.7 percent of the lot area: 203.77m².
(NOTE: Coverage includes excavated deck, which covers 8% of the lot area.)
- Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
C) The required minimum side yard setback is 1.2m where the required minimum lot frontage is 12.0m to less than 15.0m.
The proposed east side yard setback is 0.88m.
- Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
C) The required minimum side yard setback is 1.2m where the required minimum lot frontage is 12.0m to less than 15.0m.
The proposed west side yard setback is 0.98m
- Section 14-A(5)c, Zoning By-law No.7625**
The minimum required side yard setback is 1.2m.
The proposed east side yard setback is 0.88m.
- Section 14-A(5)c, Zoning By-law No.7625**
The minimum required side yard setback is 1.2 m.
The proposed west side yard setback is 0.98m.

6. **Section 14-A(6) , Zoning By-law No.7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 47.7% of the lot area.
7. **Section 14-A(8), Zoning By-law No.7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.34m.
8. **Section 14-A(9) , Zoning By-law No.7625**
The maximum permitted building length is 15.3m.
The proposed building length is 16.77m.
9. **Section 6(30)a, Zoning By-law No.7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.8m.
10. **Section 6(24), Zoning By-law No.7625**
The maximum width of an unexcavated deck in the rear that projects less than 2.1m from the wall and is greater than 1m above all points of the adjacent ground is 50% of the width of the dwelling.
The proposed deck is 100% of the width of the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Submission of a complete application for a permit to injure or destroy a City-owned tree(s).
A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.
Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

| | | | |
|--------------------|-----------------------------------|------------|--|
| File Number: | A1134/16NY | Zoning | R6(20)/RD (f12.0; a370) (x1463)(ZR) |
| Owner: | DAVID H LANDO NICK ZARAFONITIS | Ward: | Eglinton-Lawrence (16) |
| Agent: | ST ENGINEERING | Heritage: | Not Applicable |
| Property Address: | 115 MCGILLIVRAY AVE | Community: | North York |
| Legal Description: | PLAN 1831 W PT LOT 90 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|---|------------|----------------------|
| File Number: | A1135/16NY | Zoning | RD/R4 [ZZC] |
| Owner(s): | CALLI LAZARIDIS CHARALAMBOS M LAZARIDIS | Ward: | Don Valley East (33) |
| Agent: | URBAN GROWTH INC | Heritage: | Not Applicable |
| Property Address: | 5 SALINGER CRT | Community: | North York |
| Legal Description: | PLAN 8283 L 11 WDNS RR | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition, front one-storey addition and rear one-storey addition to the existing dwelling, in conjunction with other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**

The minimum required front yard setback is 9.15m.
The proposed front yard setback is 7.50m.

2. Chapter 10.20.40.70.(2), By-law No. 569-2013

The minimum required rear yard setback is 7.50m.
The proposed rear yard setback is 7.30m.

3. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.

4. Section 13.2.3(c), By-law No. 7625

The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is 7.30m.

5. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

| | | | |
|--------------------|---|------------|----------------------|
| File Number: | A1135/16NY | Zoning | RD/R4 [ZZC] |
| Owner: | CALLI LAZARIDIS CHARALAMBOS M LAZARIDIS | Ward: | Don Valley East (33) |
| Agent: | URBAN GROWTH INC | Heritage: | Not Applicable |
| Property Address: | 5 SALINGER CRT | Community: | North York |
| Legal Description: | PLAN 8283 L 11 WDNS RR | | |

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|--|------------|------------------|
| File Number: | A1138/16NY | Zoning | RD & R4 (ZR) |
| Owner(s): | ZAHARA ZLOTNICK AVROHOM ZEV ZLOMICK | Ward: | York Centre (10) |
| Agent: | RICHARD IDELS | Heritage: | Not Applicable |
| Property Address: | 7 KAINONA AVE | Community: | |
| Legal Description: | PLAN 4551 LOT 9 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 13.2.4, By-law 7625**
The maximum permitted lot coverage is 30% of the lot area (225.35 m²).
The new dwelling will cover **30.97%** of the lot area (241.44 m²).
- Section 10.20.40.70.(3), By-law No. 569-2013 and Section 13.2.3(b), By-law 7625**
The minimum required side yard setback is 1.8 m.
The proposed south side yard setback is 1.47 m.
- Section 10.20.40.10.(1)(A), By-law No. 569-2013**
The maximum permitted building height is 10 m.
The new dwelling height is **10.25m**.
Section 13.2.6, By-law 7625
The maximum permitted building height is 8.8 m.
The new dwelling height is **8.97m**.
- Section 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor area must be within 4 m of the main front wall.
The new dwelling will have 0 m² of the first floor within the required 4 m of the main front wall.
- Section 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length for a detached house is 17 m.
The new dwelling length is 17.95 m.
Section 13.2.5.A, By-law 7625
The maximum permitted building length for a detached house is 16.8 m.

The new dwelling length is 20.43 m.

6. Section 13.2.5A(3), By-law No. 7625

The length of a dwelling may be increased from 16.8 m to 18.9 m by a one-storey extension to the rear of the dwelling if the extension is no wider than half the width of the dwelling (at its widest point), has a minimum 3 m side yard setback on each side and does not exceed 5 m in height.

The new dwelling length, including the rear one-storey extension, is 21.04 m.

7. Section 10.5.40.60.(3)(A)(ii), By-law No. 569-2013

The maximum permitted width of exterior stairs is 2 m.

The proposed width of the exterior stairs is 3.04 m.

8. Section 10.5.100.1.(1)(C), By-law 569-2013

The maximum permitted driveway width is 4.1 m.

The proposed driveway will have a width of 5.79 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

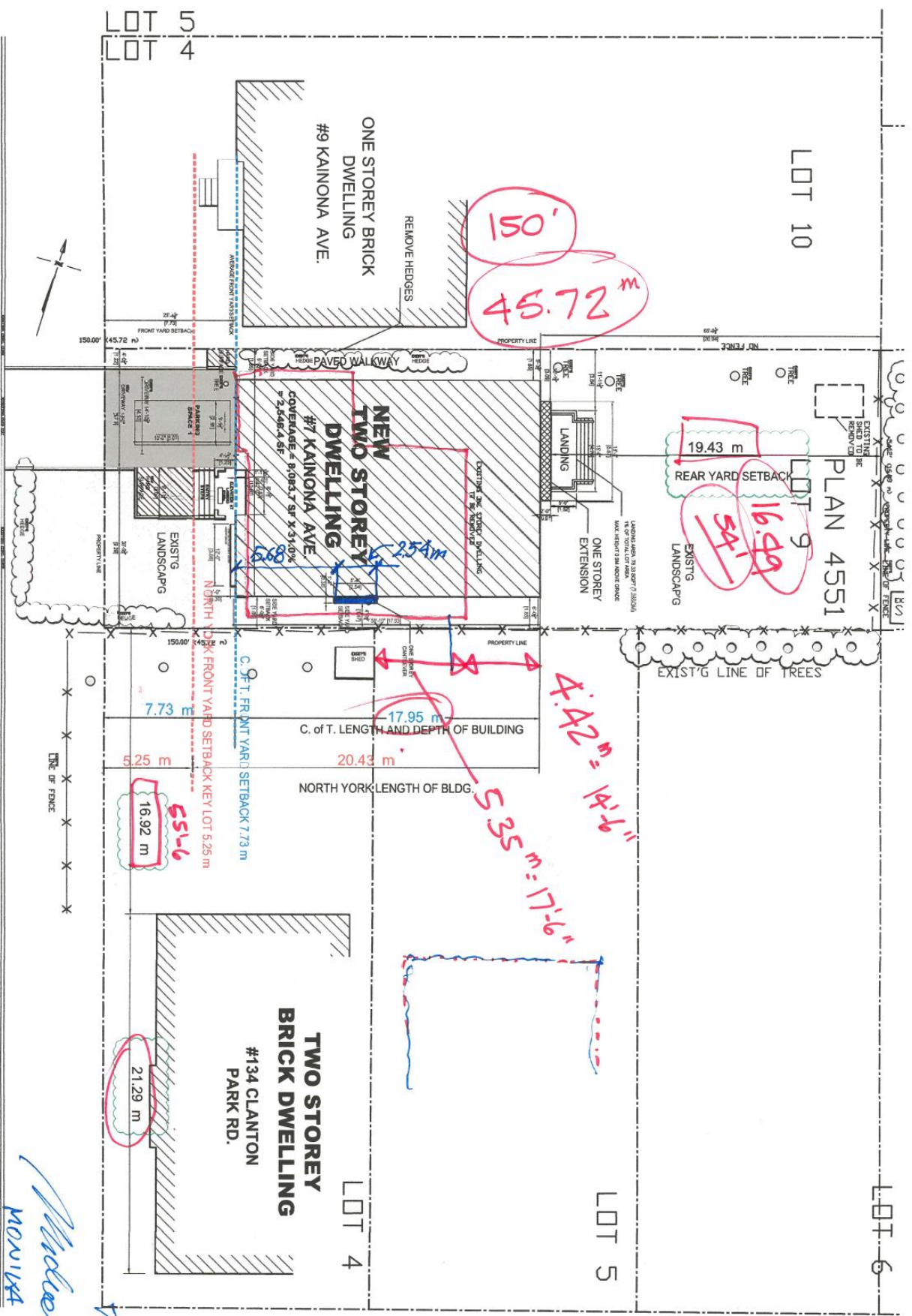
- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
- 2) The property being developed essentially in accordance with the site plan, signed and dated March 9, 2017, attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

CENTRE OF STREET = 104.12

KAINONA AVENUE

Mackay
MONIKA KUCHARSKA
(1141)

Forwrdg 09.03.17



CLANTON PARK ROAD

PLAN 4551

LOT 10

LOT 9

LOT 5

LOT 4

LOT 5
LOT 4

LOT 6

SIGNATURE PAGE

| | | | |
|--------------------|--|------------|------------------|
| File Number: | A1138/16NY | Zoning | RD & R4 (ZR) |
| Owner: | ZAHARA ZLOTNICK AVROHOM ZEV ZLOMICK | Ward: | York Centre (10) |
| Agent: | RICHARD IDELS | Heritage: | Not Applicable |
| Property Address: | 7 KAINONA AVE | Community: | |
| Legal Description: | PLAN 4551 LOT 9 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|--------------------------|------------|------------------|
| File Number: | A1139/16NY | Zoning | RD & R3 (Waiver) |
| Owner(s): | LING LING CHEN | Ward: | Willowdale (24) |
| Agent: | BIJAN HOMES LTD | Heritage: | Not Applicable |
| Property Address: | 15 FLAREMORE CRES | Community: | North York |
| Legal Description: | PLAN M676 LOT 76 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.40.(1), By-law 569-2013 and Section 13.2.4, By-law 7625**
The maximum permitted lot coverage is 30% of the lot area.
The new dwelling will cover 32% of the lot area.
- 2. Section 10.20.40.70.(3)E, By-law 7625 and Section 13.2.3.(b), By-law 7625**
The minimum required side yard setback is 1.8 m.
The new dwelling will be located 1.22 m from the east side lot line.
- 3. Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m (19.1 m in total for a main floor extension).
Section 13.2.5.A, By-law 7625
The maximum permitted building length is 16.8 m (18.9 m in total for a main floor extension).
Section 10.20.40.20.(1), By-law 569-2013 and Section 13.2.5.A, By-law 7625
The new dwelling will have a length of 16.8 m (18.35 m in total for the ground and second floor).
- 4. Section 13.2.3.(b), By-law 7625**
The maximum permitted building height is 8.8 m.
The new dwelling will have a height of 9.1 m.
- 5. Section 10.20.40.10.(2), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side exterior main wall is 7.5 m.
The new dwelling will have a side exterior main wall height of 7.8 m facing a side exterior main wall.
- 6. Section 10.5.80.40.(3), By-law 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed access is from the front lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

| | | | |
|--------------------|--------------------------|------------|------------------|
| File Number: | A1139/16NY | Zoning | RD & R3 (Waiver) |
| Owner: | LING LING CHEN | Ward: | Willowdale (24) |
| Agent: | BIJAN HOMES LTD | Heritage: | Not Applicable |
| Property Address: | 15 FLAREMORE CRES | Community: | North York |
| Legal Description: | PLAN M676 LOT 76 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|------------------------------|------------|------------------|
| File Number: | A1140/16NY | Zoning | RD & R4 (ZR) |
| Owner(s): | STURM HANAN | Ward: | York Centre (10) |
| Agent: | SARAH IFRAH ARCHITECT INC | Heritage: | Not Applicable |
| Property Address: | 16 ERICA AVE | Community: | North York |
| Legal Description: | PLAN 4883 LOT 115 PT LOT 114 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1), By-law 569-2013 and 13.2.4 By-law 7625.**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is **39.69%** of the lot area.
- Section 10.20.40.70. (1), By-law No. 569-2013.**
The required minimum required front yard setback is 7.77m.
The proposed dwelling will be located **7.02m** from the front lot line.
- Section 13.2.3c, By-law No. 7625.**
The minimum required rear yard setback is 9.5 m.
The proposed dwelling will be located **8.53m** from the rear lot line.
- Section 10.20.40.20.(1), By-law No. 569-2013.**
The maximum permitted building length is 17 m.
Section 13.2.5.A, By-law 7625
The maximum permitted building length is 16.8 m.
Section 10.20.40.20.(1), By-law No. 569-2013. and Section 13.2.5.A, By-law 7625
The proposed dwelling will have a length of **17.91m**.
- Section 13.2.6, By-law No. 7625.**
The maximum permitted building height is 8.8 m.
The proposed dwelling will have a height of 9.15m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

| | | | |
|--------------------|------------------------------|------------|------------------|
| File Number: | A1140/16NY | Zoning | RD & R4 (ZR) |
| Owner: | STURM HANAN | Ward: | York Centre (10) |
| Agent: | SARAH IFRAH ARCHITECT INC | Heritage: | Not Applicable |
| Property Address: | 16 ERICA AVE | Community: | North York |
| Legal Description: | PLAN 4883 LOT 115 PT LOT 114 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|-------------------------|------------|----------------------|
| File Number: | A1141/16NY | Zoning | RD (ZR) |
| Owner(s): | LYNNE S LUBELSKY | Ward: | Don Valley West (25) |
| Agent: | MARK BURGER | Heritage: | Not Applicable |
| Property Address: | 19 ROLLSCOURT DR | Community: | |
| Legal Description: | PLAN M707 LOT 35 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the installation of a new swimming pool.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.5.60.20.(9)(ii), By-law No. 569-2013

The minimum required side yard setback for a swimming pool on a corner lot is 4.5 m.
The proposed pool will be located 1.2 m from the side lot line abutting Rollscourt Drive.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

| | | | |
|--------------------|-------------------------|------------|----------------------|
| File Number: | A1141/16NY | Zoning | RD (ZR) |
| Owner: | LYNNE S LUBELSKY | Ward: | Don Valley West (25) |
| Agent: | MARK BURGER | Heritage: | Not Applicable |
| Property Address: | 19 ROLLSCOURT DR | Community: | |
| Legal Description: | PLAN M707 LOT 35 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|----------------------------|------------|------------------------|
| File Number: | A1069/16NY | Zoning | RD/R6 [WAV] |
| Owner(s): | NEDA BACIDFAR TIAM KIAN | Ward: | Eglinton-Lawrence (16) |
| Agent: | ALEX BOROS | Heritage: | Not Applicable |
| Property Address: | 104 MCGILLIVRAY AVE | Community: | North York |
| Legal Description: | PLAN 1831 PT LOT 111 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40 (1)(A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **33.50%** of the lot area.
- Chapter 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 33.50% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

| | | | |
|--------------------|----------------------------|------------|------------------------|
| File Number: | A1069/16NY | Zoning | RD/R6 [WAV] |
| Owner: | NEDA BACIDFAR TIAM KIAN | Ward: | Eglinton-Lawrence (16) |
| Agent: | ALEX BOROS | Heritage: | Not Applicable |
| Property Address: | 104 MCGILLIVRAY AVE | Community: | North York |
| Legal Description: | PLAN 1831 PT LOT 111 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|--------------------------------|------------|-----------------|
| File Number: | A1144/16NY | Zoning | RD/R4 [WAV] |
| Owner(s): | MAHSA MOMENA MOJTABA MOMENA | Ward: | Willowdale (23) |
| Agent: | MEHRDAD MOMENA | Heritage: | Not Applicable |
| Property Address: | 249 PATRICIA AVE | Community: | North York |
| Legal Description: | PLAN 1880 LOT 211 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain the existing dwelling, as constructed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Chapter 10.10.40.10.(2), By-law No. 569-2013**

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The height of the west side exterior main wall facing a side lot line is 7.80m.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The height of the east side exterior main wall is 8.67m for 12.00% and the remainder is 7.80m.

3. Chapter 10.10.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 10.00m.
The building height is 10.42m.

4. Chapter 10.5.40.60.(5), By-law No. 569-2013

A chimney breast, on a building, may encroach into a required building setback a maximum of 0.60m, if it is no wider than 2.00m.
The chimney is 2.22m wide.

5. Section 13.2.6.(ii), By-law No. 7625

The maximum permitted building height is 8.80m.
The building height is 9.56m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

| | | | |
|--------------------|--------------------------------|------------|-----------------|
| File Number: | A1144/16NY | Zoning | RD/R4 [WAV] |
| Owner: | MAHSA MOMENA MOJTABA MOMENA | Ward: | Willowdale (23) |
| Agent: | MEHRDAD MOMENA | Heritage: | Not Applicable |
| Property Address: | 249 PATRICIA AVE | Community: | North York |
| Legal Description: | PLAN 1880 LOT 211 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|----------------------------------|------------|-----------------|
| File Number: | A1145/16NY | Zoning | RD & R3 (ZR) |
| Owner(s): | KAMYAR KAMAL KELIMU AIHEMAITI | Ward: | Willowdale (24) |
| Agent: | ELMIRA ZARRABI | Heritage: | Not Applicable |
| Property Address: | 28 CASWELL DR | Community: | |
| Legal Description: | PLAN 4855 LOT 69 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 12.6, By-law 7625**
The maximum permitted lot coverage is 30% of the lot area (217.2 m²).
The new dwelling will cover 32% of the lot area (231.4 m²).
- Section 10.20.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 10 m.
The new dwelling will have a height of 10.3 m.

Section 12.7, By-law 7625
The maximum permitted building height is 8.8 m.
The new dwelling will have a height of 9.95 m.
- Section 6(30)a, By-law 7625**
The maximum permitted finished first floor height is 1.5 m.
The new dwelling will have a finished first floor height of **1.91m**.
- Section 10.5.100.1.(1)(C), By-law 569-2013 and Section 6A(5)a, By-law 7625**
The maximum permitted driveway width is 6 m.
The proposed driveway will have a width of 8.8 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
- 2) The proposal be developed in accordance with the main front wall and east side elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, February 28, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 3) The proposed driveway must not exceed 6.0m in width for the portion within the public right-of-way.

GENERAL NOTES

1. THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER AND MAY BE REPRODUCED WITHOUT WRITTEN PERMISSION.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND CHECK ALL APPLICABLE BY-LAWS AND REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE AND SHALL REPORT TO THE DESIGNER AND OWNER ANY DISCREPANCIES OR OMISSIONS DETECTED IN THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE AND SHALL REPORT TO THE DESIGNER AND OWNER ANY DISCREPANCIES OR OMISSIONS DETECTED IN THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE AND SHALL REPORT TO THE DESIGNER AND OWNER ANY DISCREPANCIES OR OMISSIONS DETECTED IN THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE AND SHALL REPORT TO THE DESIGNER AND OWNER ANY DISCREPANCIES OR OMISSIONS DETECTED IN THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE AND SHALL REPORT TO THE DESIGNER AND OWNER ANY DISCREPANCIES OR OMISSIONS DETECTED IN THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE AND SHALL REPORT TO THE DESIGNER AND OWNER ANY DISCREPANCIES OR OMISSIONS DETECTED IN THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE AND SHALL REPORT TO THE DESIGNER AND OWNER ANY DISCREPANCIES OR OMISSIONS DETECTED IN THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE AND SHALL REPORT TO THE DESIGNER AND OWNER ANY DISCREPANCIES OR OMISSIONS DETECTED IN THESE DRAWINGS PRIOR TO COMMENCEMENT OF WORK.

| NO. | DESCRIPTION | DATE |
|-----|-------------|-------------|
| 1 | ISSUED | DEC 17 2016 |
| 2 | COA | DEC 19 2016 |

PROJECT ADDRESS:
78 CASWELL DR.
TORONTO, ONTARIO

PROJECT NO.: 15-11-02

DRAWING TITLE:
MAIN ELEVATION

| NO. | REVISION | DATE |
|-----|----------|-------------|
| 1 | COA | DEC 17 2017 |

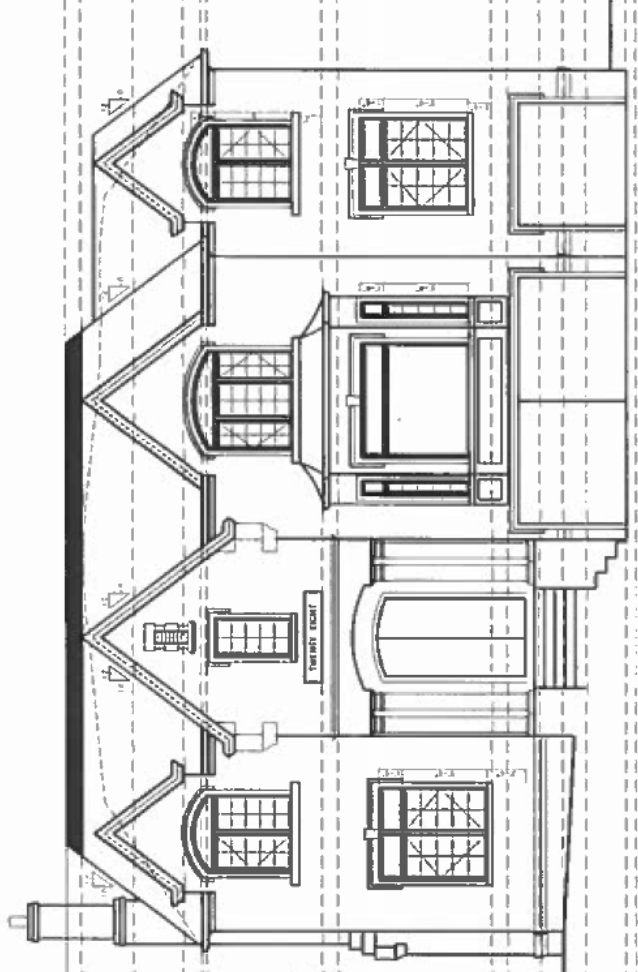
ELMIRA ZARRABI

PROF.
+1 (416) 792-1084
elmzarrabi@gmail.com
4333 YONGE ST. UNIT 304,
TORONTO, ON, CANADA
M3J 1K7

STRUCTURAL ENGINEER

| | |
|---------------------|--------------|
| SCALE: | 1/8" = 1'-0" |
| DESIGNED BY: | EZ |
| DATE: | DEC 19 2016 |

A6



Top of First Floor
Top of Second Floor
Top of Third Floor
Mid of Roof
Top of Gable
Bottom of Gable
Second Floor
Max Floor
Level
Equipment Grade
Ground Floor
Center of the Panel

RECEIVED

FEB 28 2017

**CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE**

GENERAL NOTES:

1. See of drawings and the comments hereon for the location and use of the building.
2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
3. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
4. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
5. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
6. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
7. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
8. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
9. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.
10. The contractor shall be responsible for obtaining all necessary approvals from the appropriate authorities.

| NO. | REVISION | DATE |
|-----|----------|-------------|
| 1 | ISSUE | DEC 02 2016 |
| 2 | REVISED | DEC 02 2016 |

PROJECT ADDRESS:
28 CASWELL DR.
TORONTO, ONTARIO

PROJECT NO.: 1611-02
DRAWING TITLE:
SIDE ELEVATION
EAST

| NO. | REVISION | DATE |
|-----|----------|-------------|
| 1 | ISSUE | DEC 02 2016 |

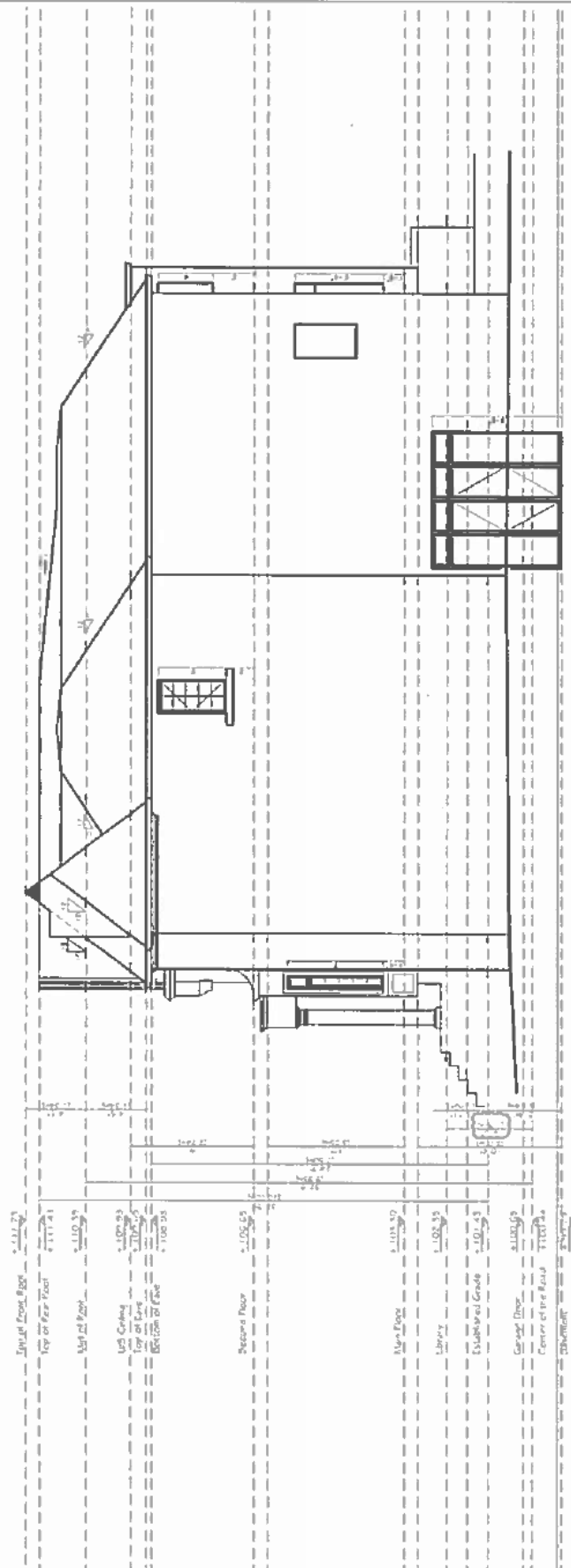
ELMIRA ZARRABI

Professional Engineer
4186-71921-0161
4186-71921-0161
4186-71921-0161
TORONTO, ON CANADA
P.O. BOX 100

STRUCTURAL ENGINEER

| SCALE: | 1/8" = 1'-0" |
|--------|--------------|
| DATE: | DEC 02 2016 |

A8



RECEIVED

FEB 28 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

SIGNATURE PAGE

| | | | |
|--------------------|----------------------------------|------------|-----------------|
| File Number: | A1145/16NY | Zoning | RD & R3 (ZR) |
| Owner: | KAMYAR KAMAL KELIMU AIHEMAITI | Ward: | Willowdale (24) |
| Agent: | ELMIRA ZARRABI | Heritage: | Not Applicable |
| Property Address: | 28 CASWELL DR | Community: | |
| Legal Description: | PLAN 4855 LOT 69 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|---------------------------------------|------------|-----------------|
| File Number: | A1148/16NY | Zoning | RD/R3 [WAV] |
| Owner(s): | EWA GARDZIEJCZYK JAN GARDZIEJCZYK | Ward: | Willowdale (23) |
| Agent: | GREGORY FIET | Heritage: | Not Applicable |
| Property Address: | 365 SPRING GARDEN AVE | Community: | North York |
| Legal Description: | PLAN 3237 PT LOT 5 RP 64R10346 PART 3 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Chapter 10.20.40.20.(1), By-law No. 569-2013**

The maximum permitted building length is 17.00m.
The proposed building length is 19.00m.

2. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m.

3. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.20m.

4. Chapter 10.20.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 10.00m.
The proposed building height is 10.50m.

5. Section 12.2 & 6(8), By-law No. 7625

The minimum required lot frontage and width is 22.00m.
The existing lot frontage and width is 20.32m.

6. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m.

7. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.20m.

8. Section 12.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 19.00m

9. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck projects 2.80m from the rear wall, and exceeds 1.00m in height.

10. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.00m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 19.00m.

5. Section 12.2 & 6(8), By-law No. 7625

The minimum required lot frontage and width is 22.00m.

The existing lot frontage and width is 20.32m.

8. Section 12.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 19.00m

9. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck projects 2.80m from the rear wall, and exceeds 1.00m in height.

10. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.00m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.20m.

3. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.20m.

4. Chapter 10.20.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 10.00m.

The proposed building height is 10.50m.

6. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.20m.

7. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.20m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

| | | | |
|--------------------|---------------------------------------|------------|-----------------|
| File Number: | A1148/16NY | Zoning | RD/R3 [WAV] |
| Owner: | EWA GARDZIEJCZYK JAN GARDZIEJCZYK | Ward: | Willowdale (23) |
| Agent: | GREGORY FIET | Heritage: | Not Applicable |
| Property Address: | 365 SPRING GARDEN AVE | Community: | North York |
| Legal Description: | PLAN 3237 PT LOT 5 RP 64R10346 PART 3 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|------------------------|------------|-----------------|
| File Number: | A1149/16NY | Zoning | RD & R4 (ZR) |
| Owner(s): | LU FANG | Ward: | Willowdale (23) |
| Agent: | SAMIE HAJI | Heritage: | Not Applicable |
| Property Address: | 84 PRINCESS AVE | Community: | |
| Legal Description: | PLAN 1609 LOT 22 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 13.2.4, By-law 7625**
The maximum permitted lot coverage is 30% of the lot area (182.03 m²).
The new dwelling will cover 31.8% of the lot area (192.9 m²).
- Section 900.3.10.(5)(A), By-law 569-2013 and Section 13.2.3.(b), By-law 7625**
The minimum required side yard setback is 1.8 m.
The new dwelling will be located 1.22 m from the east side lot line.
- Section 13.2.6, By-law 7625**
The maximum permitted building height is 8.8 m.
The new dwelling will have a height of 9.1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

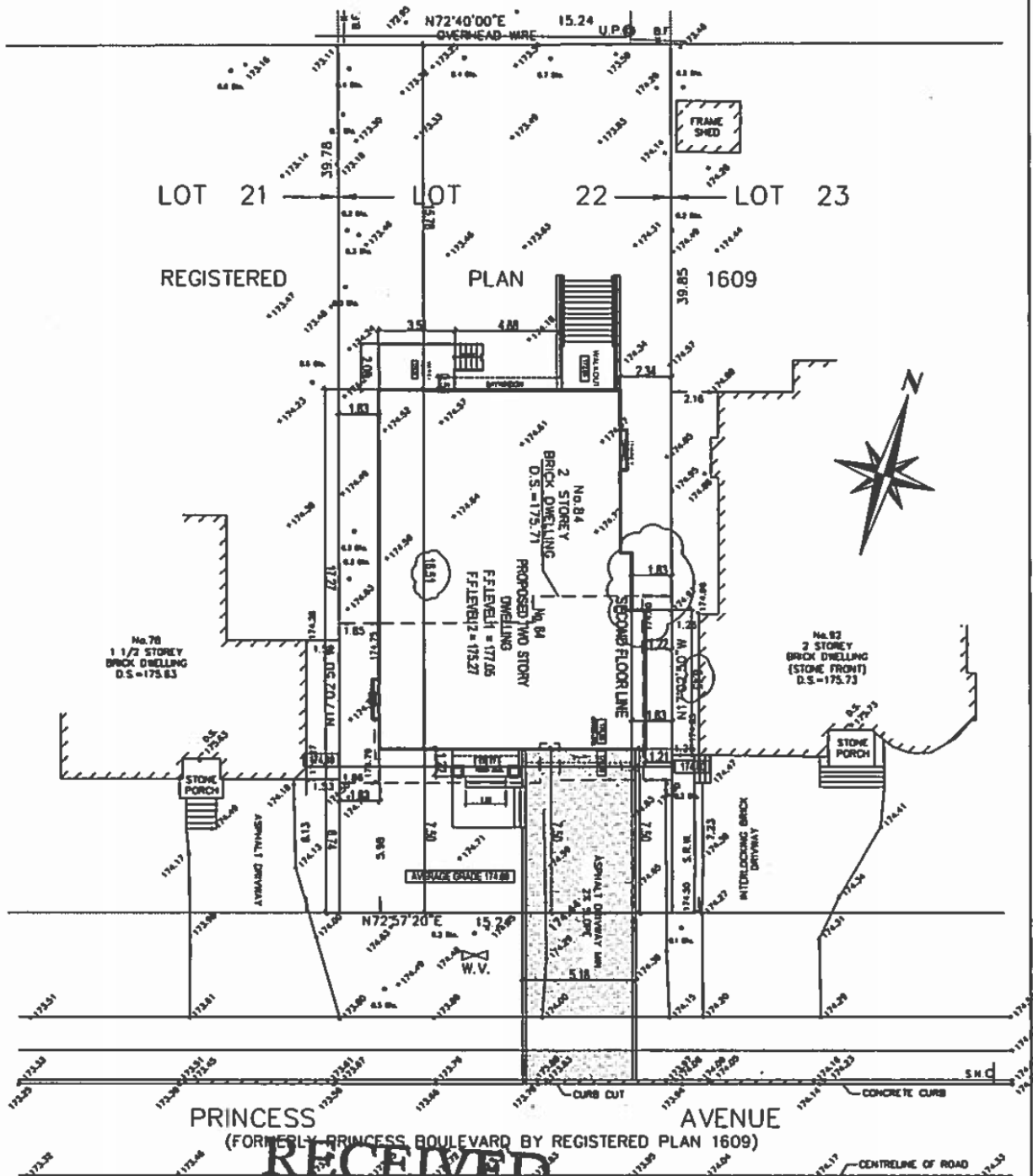
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the site plan drawing submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, February 28, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



PRINCESS AVENUE
 (FORMERLY PRINCESS BOULEVARD BY REGISTERED PLAN 1609)

RECEIVED

FEB 28 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

| | | | | |
|--|---|--|-------------------------------|------------------------------------|
| <p>PAAR DESIGN 7 PAAR DESIGN INC. 200 BAYVIEW AVE. SUITE 100 SCARBOROUGH, ONT. M1B 4Y7 TEL: (416) 291-1000 FAX: (416) 291-1001 WWW.PAARDDESIGN.COM</p> | <p>No. 84 PRINCESS AVENUE 2 STOREY DWELLING SITE PLAN scale 1:200</p> | <p>DATE: 01/25/17 DRAWN BY: J. [unclear] CHECKED BY: [unclear] APPROVED BY: [unclear]</p> | <p>1. 01 SITE PLAN</p> | <p>1. 02 SITE PLAN INFORMATION</p> |
| | | | <p>1. 03 FIRST FLOOR PLAN</p> | <p>1. 04 SECOND FLOOR PLAN</p> |

DRAWINGS:

- A01. SITE PLAN
- A02. SITE PLAN INFORMATION
- A03. BASEMENT PLAN
- A04. FIRST FLOOR PLAN
- A05. SECOND FLOOR PLAN
- A06. ROOF PLAN
- A07. FRONT/SOUTH ELEVATION
- A08. REAR/NORTH ELEVATION
- A09. SOUTHWEST ELEVATION
- A10. SIDE/EAST ELEVATION

A 01

SIGNATURE PAGE

| | | | |
|--------------------|------------------------|------------|-----------------|
| File Number: | A1149/16NY | Zoning | RD & R4 (ZR) |
| Owner: | LU FANG | Ward: | Willowdale (23) |
| Agent: | SAMIE HAJI | Heritage: | Not Applicable |
| Property Address: | 84 PRINCESS AVE | Community: | |
| Legal Description: | PLAN 1609 LOT 22 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|---------------------------|------------|------------------------|
| File Number: | A1152/16NY | Zoning | R/R2 Z0.6 [WAV] |
| Owner(s): | WENHAO CHEN | Ward: | Eglinton-Lawrence (16) |
| Agent: | TAES ARCHITECTS INC | Heritage: | Not Applicable |
| Property Address: | 200 LAWRENCE AVE W | Community: | Toronto |
| Legal Description: | PLAN 1645 E PT LOT 624 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear two-storey addition, in conjunction with a new second storey addition over the existing one-storey dwelling. The applicant is also proposing a new detached garage along with other interior and exterior alterations. The existing detached garage would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.60 times the lot area.

The proposed gross floor area is 0.787 times the lot area.

2. Section 6(3) Part I 2, By-law No. 438-86

The maximum permitted accessory structure lot coverage is 5.00% of the lot area.

The proposed accessory structure is 8.70% of the lot area.

3. Section 6(3) Part II 3.B(I), By-law No. 438-86

The minimum required side yard setback is 0.90m.

The existing and proposed east side yard setback is 0.29m.

4. Section 6, By-law No. 438-86

The minimum required rear yard setback for accessory structure is 0.30m.

The proposed rear yard setback for the accessory structure is 0.20m.

5. Section 6, By-law No. 438-86

The minimum required side yard setback for accessory structure is 0.30m.

The proposed west side yard setback for the accessory structure is 0.20m.

6. Chapter 10.5.40.60.(7), By-law No. 569-2013

Roof eaves may project a maximum of 0.90m provided that they are no closer than 0.30m to a lot line.

The proposed east eaves are 0.09m. from the lot line.

7. Chapter 10.5.60.20.(2)(C), By-law No. 569-2013

The minimum required rear yard setback for accessory structure is 0.30m.
The proposed rear yard setback for the accessory structure is 0.20m.

8. Chapter 10.5.60.20.(2)(C)(iii), By-law No. 569-2013

The minimum required side yard setback for accessory structure is 0.30m.
The proposed west side yard setback for the accessory structure is 0.20m.

9. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is 0.787 times the lot area.

10. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 0.90m.
The existing and proposed east side yard setback is 0.29m.

11. Chapter 10.10.60.70.(1)(A), By-law No. 569-2013

The maximum permitted accessory structure lot coverage is 5.00% of the lot area.
The proposed accessory structure is 8.70% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

| | | | |
|--------------------|---------------------------|------------|------------------------|
| File Number: | A1152/16NY | Zoning | R/R2 Z0.6 [WAV] |
| Owner: | WENHAO CHEN | Ward: | Eglinton-Lawrence (16) |
| Agent: | TAES ARCHITECTS INC | Heritage: | Not Applicable |
| Property Address: | 200 LAWRENCE AVE W | Community: | Toronto |
| Legal Description: | PLAN 1645 E PT LOT 624 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|--------------------------------|------------|-------------------------------|
| File Number: | A1055/16NY | Zoning | R5/RD(f15.0;a550)(x5)[ZONING] |
| Owner(s): | DR NORMA D'AGOSTINO | Ward: | Eglinton-Lawrence (15) |
| Agent: | MRC DESIGN INC | Heritage: | Not Applicable |
| Property Address: | 181 DELL PARK AVE | Community: | North York |
| Legal Description: | PLAN 2049 LOT 406 E PT LOT 407 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 41.53% of the lot area.

2. Chapter 900.3.10(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.20m.

3. Section 14.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.50m.

The proposed front yard setback is 6.00m.

4. Section 14-A(3), By-law No. 7625

The minimum required lot area is 550.00m².

The existing lot area is 513.20m².

5. Section 14.2.4, By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 38.60% of the lot area.

6. Section 6(24)(c), By-law No. 7625

A deck in the rear yard shall not exceed 1.00m in height, project more than 2.10m from the rear wall, and shall not be more than 0.50 times the width of the dwelling.

The proposed deck in the rear is 1.35m in height, projects 3.66m from the rear main wall, and is 0.56 times the width of the dwelling.

7. Section 6(24), By-law No. 7625

All unexcavated porches and decks, attached to or detached from the main building, and located in the side and rear yard, shall not occupy more than 5.00% of the lot area.

The unexcavated deck in the rear yard occupies 5.43% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

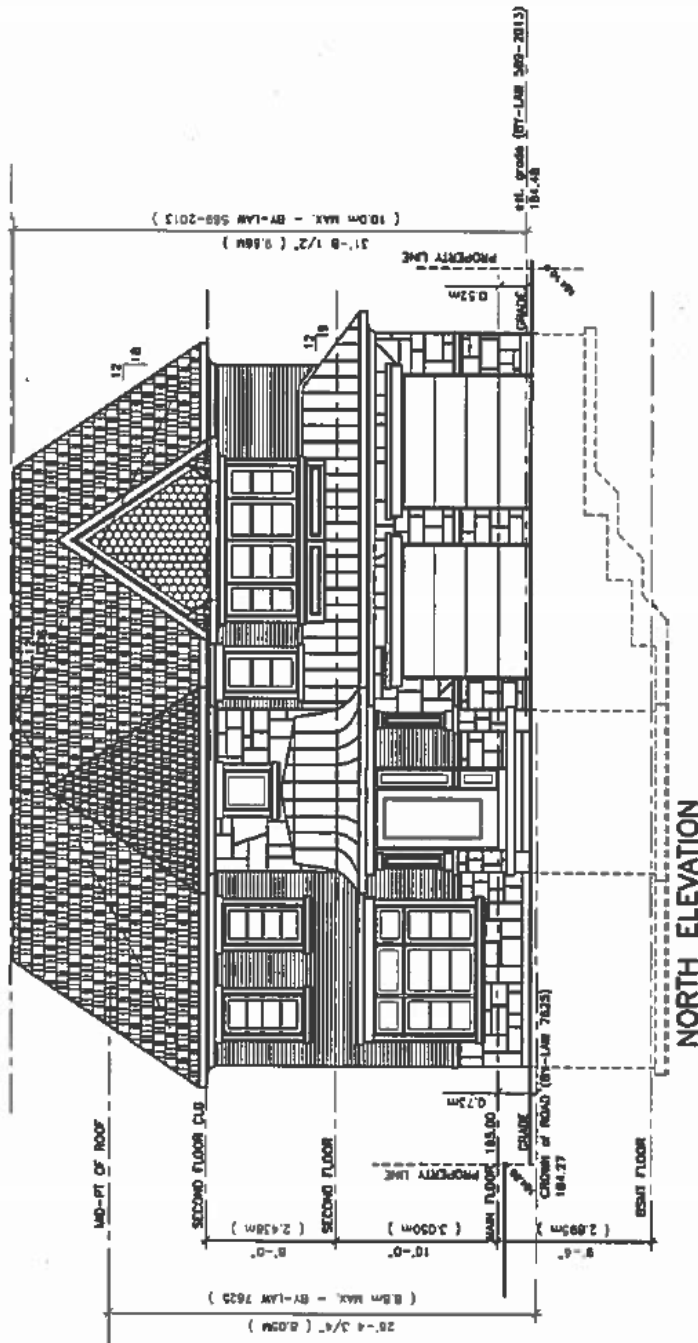
- 1) Submission of a complete application for permit to injure or remove privately owned trees.
- 2) The proposal be constructed in accordance with the site plan and front (north) elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, February 23, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED

FEB 23 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE



NORTH ELEVATION

| NO. | REVISION | DATE |
|-----|-----------------------|-----------|
| 2 | REVISED FOR 2D REVIEW | OCT 26/16 |
| 1 | REVISED FOR 3D REVIEW | OCT 18/16 |
| 0 | DESCRIPTION | DATE |

REVISIONS

MRC design inc.

201 Carleton Avenue, Apt 203
Toronto, ON M6A 2T5 Tel: (416) 334-0270

**PROPOSED TWO-STORY RESIDENCE FOR
181 DELL PARK AVENUE
LOT 408 - R.P. 2010, TORONTO**

NORTH ELEVATION

| | | |
|------------|--------------|---------------|
| DATE | SCALE | NO. OF SHEETS |
| OCT 4/2016 | 1/8" = 1'-0" | 10 |
| NO. 1 | DATE | NO. |
| | OCT 26/2016 | A-5 |

FILE: 1602010-20/0216/16

SURVEYORS REAL PROPERTY REPORT - PART 1
 PLAN OF SURVEY WITH TOPOGRAPHY OF
 LOT 406 & PART OF LOT 407
 REGISTERED PLAN 2049
 CITY OF TORONTO

SCALE 1 : 200

SPEIGHT, VAN NOSTRAND & GIBSON LIMITED
 CHARTERED LAND SURVEYORS
 2016



IN CONNECTION WITH THE SURVEY OF THE
 LOT 406 & PART OF LOT 407

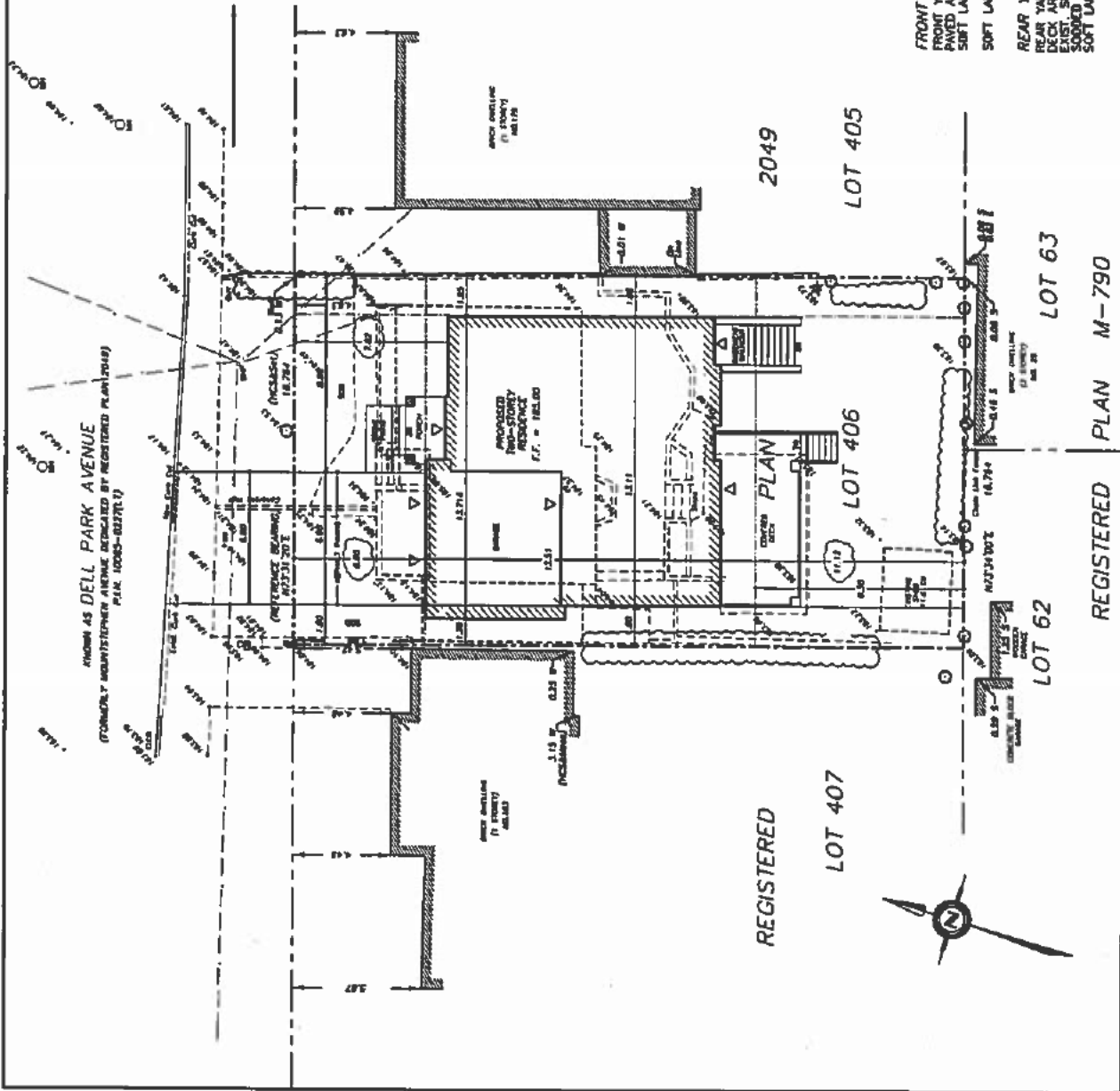
| | | |
|-------------------|-----------|----------|
| LOT AREA | 513.20 SM | 5 924 SF |
| GROUND FLOOR AREA | 173.44 SM | 1 867 SF |
| EXISTING SHED | 11.61 SM | 125 SF |
| FRONT PORCH | 5.39 SM | 58 SF |
| REAR COVERED ROOF | 23.23 SM | 250 SF |
| REAR DECK | 28.24 SM | 304 SF |

COVERAGE 213.29 / 513.20 = 41.53 %
 UNEXCAV. REAR DECK = 28.24 / 513.20 = 5.43 %

RECEIVED

FEB 23 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE



| | |
|--------------------------------|----------------|
| FRONT YARD CALCULATIONS | |
| FRONT YARD AREA | 100.58 |
| PAVED AREA | 36.00 |
| SOFT LANDSCAPING | 64.58 |
| SOFT LANDSCAPING | 64.58 = 64.21% |
| REAR YARD CALCULATIONS | |
| REAR YARD AREA | 159.28 |
| DECK AREA | 26.96 |
| EXIST. SHED AREA | 11.60 |
| SOFTED AREA | 120.70 |
| SOFT LANDSCAPING | 20.70 = 75.78% |
| | 159.28 |

MRC design inc.

201 Colton Avenue, Apt 503
 Toronto, ON M4M 2S3
 Tel: (416) 358-0500

PROPOSED TWO-STORY RESIDENCE FOR
 181 DELL PARK AVENUE
 LOT 406 - R.P. 2049, TORONTO

SITE PLAN

| | | |
|--------------|--------|-------------|
| DATE | SCALE | DWG NO |
| SEPT 20/2016 | 1 = 20 | A-1 |
| OWN | REV'D | JAN 25/2017 |
| M.C. | | |

SIGNATURE PAGE

| | | | |
|--------------------|--------------------------------|------------|-------------------------------|
| File Number: | A1055/16NY | Zoning | R5/RD(f15.0;a550)(x5)[ZONING] |
| Owner: | DR NORMA D'AGOSTINO | Ward: | Eglinton-Lawrence (15) |
| Agent: | MRC DESIGN INC | Heritage: | Not Applicable |
| Property Address: | 181 DELL PARK AVE | Community: | North York |
| Legal Description: | PLAN 2049 LOT 406 E PT LOT 407 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

| | | | |
|--------------------|--------------------------------|------------|-----------------------------------|
| File Number: | A0513/15NY | Zoning | RD (f18.0; a690) / R3 (waiver) |
| Owner(s): | MIRHAMID SADREMAJLES | Ward: | Don Valley West (25) |
| Agent: | PETER HIGGINS ARCHITECT INC | Heritage: | Not Applicable |
| Property Address: | 18 IVOR RD | Community: | North York |
| Legal Description: | PLAN 2343 LOT 10 PT LOT 5 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral garage on the vacant lot.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10.0m.
The proposed building height is 11.24m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted main wall height is 7.5m.
The proposed main wall height is 8.76m.
- Chapter 10.20.40.10.(3), By-law No. 569-2013**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.
- Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted height of the first floor above established grade is 1.2m.
The proposed height of the first floor above established grade is 2.74m.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 22.23m.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 22.97m.

7. **Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 8.05m.
The proposed front yard setback is 6.5m.
8. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.2m.
9. **Chapter 10.20.30.20.(1), By-law No. 569-2013**
The minimum required lot frontage is 18.0m.
The existing lot frontage is 15.24m.
10. **Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey of a detached dwelling is 4.0m².
The proposed area of the front platform (porch) is 9.35m².
11. **Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey of a detached dwelling is 4.0m².
The proposed area of the rear platform (deck) is 10.15m².
12. **Section 12.2, By-law No. 7625**
The minimum required lot frontage and lot width is 18.0m.
The existing lot frontage and lot width is 15.24m.
13. **Section 12.4(b), By-law No. 7625**
The minimum required east side yard setback is 1.8m.
The proposed east side yard setback is 1.2m.
14. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 22.97m.
15. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 10.28m.
16. **Section 12.7, By-law No. 7625**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.
17. **Section 12.7A, By-law No. 7625**
The maximum permitted balcony area is 3.8m².
The proposed area of the front porch at or above the second storey is 9.35m².
18. **Section 12.7A, By-law No. 7625**
The maximum permitted balcony area is 3.8m².
The proposed area of the rear deck is 10.15m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
- 2) The requirements of the Urban Forestry, Ravine Protection Division.
- 3) The requirements of the Toronto and Region Conservation Authority.

SIGNATURE PAGE

| | | | |
|--------------------|--------------------------------|------------|-----------------------------------|
| File Number: | A0513/15NY | Zoning | RD (f18.0; a690) / R3 (waiver) |
| Owner: | MIRHAMID SADREMAJLES | Ward: | Don Valley West (25) |
| Agent: | PETER HIGGINS ARCHITECT INC | Heritage: | Not Applicable |
| Property Address: | 18 IVOR RD | Community: | North York |
| Legal Description: | PLAN 2343 LOT 10 PT LOT 5 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|---------------------|------------|-----------------|
| File Number: | A0769/16NY | Zoning | RD/R4 [WAV] |
| Owner(s): | YIHUI FENG | Ward: | Willowdale (23) |
| Agent: | TAES ARCHITECTS INC | Heritage: | Not Applicable |
| Property Address: | 1 LEONA DR | Community: | North York |
| Legal Description: | PLAN 3421 LOT 129 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.22m.

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.22m.

3. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.
The proposed building length is **17.99m**.

4. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.70% of the lot area.

5. Chapter 10.5.60.20.(6)(B), By-law No. 569-2013

The minimum required side yard setback for a detached garage from an abutting street is 6.00m.
The proposed detached garage is setback 5.49m.

6. Section 13.2.1, By-law No. 7625

The minimum required lot frontage is 15.00m.
The existing lot frontage is 12.19m.

7. Section 6(8), By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
The existing lot width is 12.19m.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.52m.
The proposed north side yard setback is 1.22m.

9. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.52m.
The proposed south side yard setback is 1.22m.

10. Section 6(9), By-law No. 7625

Exterior stairways, wheelchair ramps, and porches and decks 2.30m² or less in area, shall be permitted to project into one minimum side yard setback only, not more than 1.60m, but no closer than 0.60m from any side lot line.
The proposed south exterior stairs and porch are 4.51m² and are **0.30m** from the south side lot line.

11. Section 13.2.3(A), By-law No. 7625

The maximum permitted building length is 16.80m.
The proposed building length is **17.99m**.

12. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.70% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

| | | | |
|--------------------|---------------------|------------|-----------------|
| File Number: | A0769/16NY | Zoning | RD/R4 [WAV] |
| Owner: | YIHUI FENG | Ward: | Willowdale (23) |
| Agent: | TAES ARCHITECTS INC | Heritage: | Not Applicable |
| Property Address: | 1 LEONA DR | Community: | North York |
| Legal Description: | PLAN 3421 LOT 129 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|-------------------------|------------|----------------------|
| File Number: | A0067/17NY | Zoning | RD/R2 [ZZC] |
| Owner(s): | YUFEN LI | Ward: | Don Valley West (25) |
| Agent: | SHAHRAM KHATIBZADEH | Heritage: | Not Applicable |
| Property Address: | 21 DENEWOOD CRES | Community: | North York |
| Legal Description: | PLAN 4758 LOT 431 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.3.10.(70), By-law No. 569-2013

The minimum required front yard setback is 9.00m.
The proposed front yard setback is **8.10m**.

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 33.80% of the lot area.

3. Chapter 10.5.80.40.(1), By-law No. 569-2013

The maximum permitted combined width of all vehicle entrances through the front main wall of the residential building is 6.00m.
The proposed combined width of all vehicle entrances through the front main wall is 7.76m.

4. Chapter 10.5.80.40.(3), By-law No. 569-2013

Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking is not from the flanking street.

5. Section 11.2.5, By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 33.80% of the lot area.

6. Section 11.2.4(c), By-law No. 7625

The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is 9.10m.

7. Section 11.2.4(a), By-law No. 7625

The minimum required front yard setback is 9.00m.

The proposed front yard setback is **8.10m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

| | | | |
|--------------------|-------------------------|------------|----------------------|
| File Number: | A0067/17NY | Zoning | RD/R2 [ZZC] |
| Owner: | YUFEN LI | Ward: | Don Valley West (25) |
| Agent: | SHAHRAM KHATIBZADEH | Heritage: | Not Applicable |
| Property Address: | 21 DENEWOOD CRES | Community: | North York |
| Legal Description: | PLAN 4758 LOT 431 | | |

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

| | | | |
|--------------------|-----------------------|------------|------------------------|
| File Number: | A0613/16NY | Zoning | C4(12)(ZR) |
| Owner(s): | 1560 AVENUE ROAD INC | Ward: | Eglinton-Lawrence (16) |
| Agent: | 1560 AVENUE ROAD INC | Heritage: | Not Applicable |
| Property Address: | 1560 AVENUE RD | Community: | North York |
| Legal Description: | PLAN 1537 PT LOT 988 | | |

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey mixed-use (retail, office and residential) building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 1543, Zoning By-law 569-2013**
The rear lot line requires a 1.5m landscaped strip.
The proposed has 0m.
- 2. Chapter 200.5.10.1.(1), Zoning By-law 569-2013**
The required minimum number of parking spaces is 4 spaces.
The proposal will have 3 spaces.
- 3. Chapter 220.5.10.1.(11), Zoning By-law 569-2013**
(B) The required minimum number of Type B Loading Spaces is 1.
There will be 0 Type B Loading Spaces.
- 4. Chapter 40.10.80.20.(1), Zoning By-law 569-2013**
A parking space that is not in a building or structure must be set back at least 0.5m from a lot line.
The proposed 2 parking spaces are set back 0m from the side lot line.
- 5. Chapter 40.10.80.20.(2), Zoning By-law 569-2013**
On a corner lot a parking space must be set back at least 7.5m from a lot in the Residential Zone category, Residential Apartment Zone category or Open Space zone category.
The proposed parking space is set back **6.0m** from a lot in the Residential Zone category, Residential Apartment Zone category or Open Space zone category.

6. **Section C4 (12), Zoning By-law No. 7625**
The rear of the lot requires a 1.5m landscaped strip.
The proposed has 0m landscaped strip.
7. **Section 26(7), Zoning By-law No. 7625**
The minimum required number of parking spaces is 16 spaces.
The proposed number of parking spaces is 3 spaces.
8. **Section 6A(16)(a), Zoning By-law No. 7625**
The minimum required number of loading spaces is 1 space.
The proposed number of loading spaces is 0 spaces.
9. **Section 6A(5), Zoning By-law No. 7625**
The minimum access required for parking areas is 6m.
The proposed access to parking is **5.5m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

| | | | |
|--------------------|-----------------------|------------|------------------------|
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Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, March 16, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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