

Thursday, July 6, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0089/16NY	Zoning	R4 / RD (f15.0; a550) (x5)
Owner(s):	JAVAD SHIRVANI-GHOMI	Ward:	Willowdale (23)
Agent:	SEYED AMIR NAGHAVI	Heritage:	Not Applicable
Property Address:	210 HORSHAM AVE	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 68		

Notice was given and the application considered on Thursday, July 6, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Conveyed - PART 2

Address to be assigned

The frontage is 9.10m and the lot area is 367.00m². The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s) - A1017/16NY

Retained - PART 1

Address to be assigned

The frontage is 9.10m and the lot area is 367.00m². The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s) - A1016/16NY

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

PLAN 66R-
RECEIVED AND DEPOSITED
DATE _____, 2016

Z. ZENG
ONTARIO LAND SURVEYOR

REPRESENTATIVE OF LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
THE TORONTO REGISTRY OFFICE (No. 66)

SCHEDULE

PART OF LOT	REGISTERED PLAN	ALL OF PIN	AREA(m ²)
1	68	10142-0553(LT)	367.0
2	2057		367.0

**PLAN OF SURVEY OF
PART OF LOT 68, REGISTERED PLAN 2057
CITY OF TORONTO
(FORMERLY CITY OF NORTH YORK)**

SCALE 1:200

MANDARIN SURVEYORS LIMITED, O.L.S.

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- DENOTES MONUMENT SET
- DENOTES IRON BAR
- IP DENOTES IRON PIPE
- SSIB DENOTES SHORT STANDARD IRON BAR
- SIB DENOTES STANDARD IRON BAR
- RP DENOTES REGISTERED IRON BAR
- BA1 DENOTES PLAN BA-355
- BA2 DENOTES PLAN BA-523
- BA3 DENOTES PLAN BA-1191
- BA4 DENOTES PLAN BA-1377
- P1 DENOTES PLAN OF SURVEY BY CHARLES R. LYON, O.L.S., DATED MAY 20, 1955
- P2 DENOTES PLAN OF SURVEY BY P. SALNA COMPANY LTD., O.L.S., DATED SEPTEMBER 26, 1989
- M N.S.E.W DENOTES NORTH, SOUTH, EAST, WEST
- G.L.F. DENOTES CHAIN LINK FENCE
- C.L.F. DENOTES POST AND WIRE FENCE
- SCP DENOTES SECURED CONTROL POINTS
- MIT DENOTES WITNESS

SPECIFIED CONTROL POINTS (SCP'S)
M.T.M. ZONE 10, NAD83 (CSRS) (1997.0)
COORDINATES TO URBAN ACCURACY PER SEC. 14 (2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
SCP 020691012	4848249.072	31129.374
SCP 020814014	4848042.534	310803.210
1	4848075.545	310773.872
2		

COORDINATES CANNOT, IN THEMSELVES, BE USED TO
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

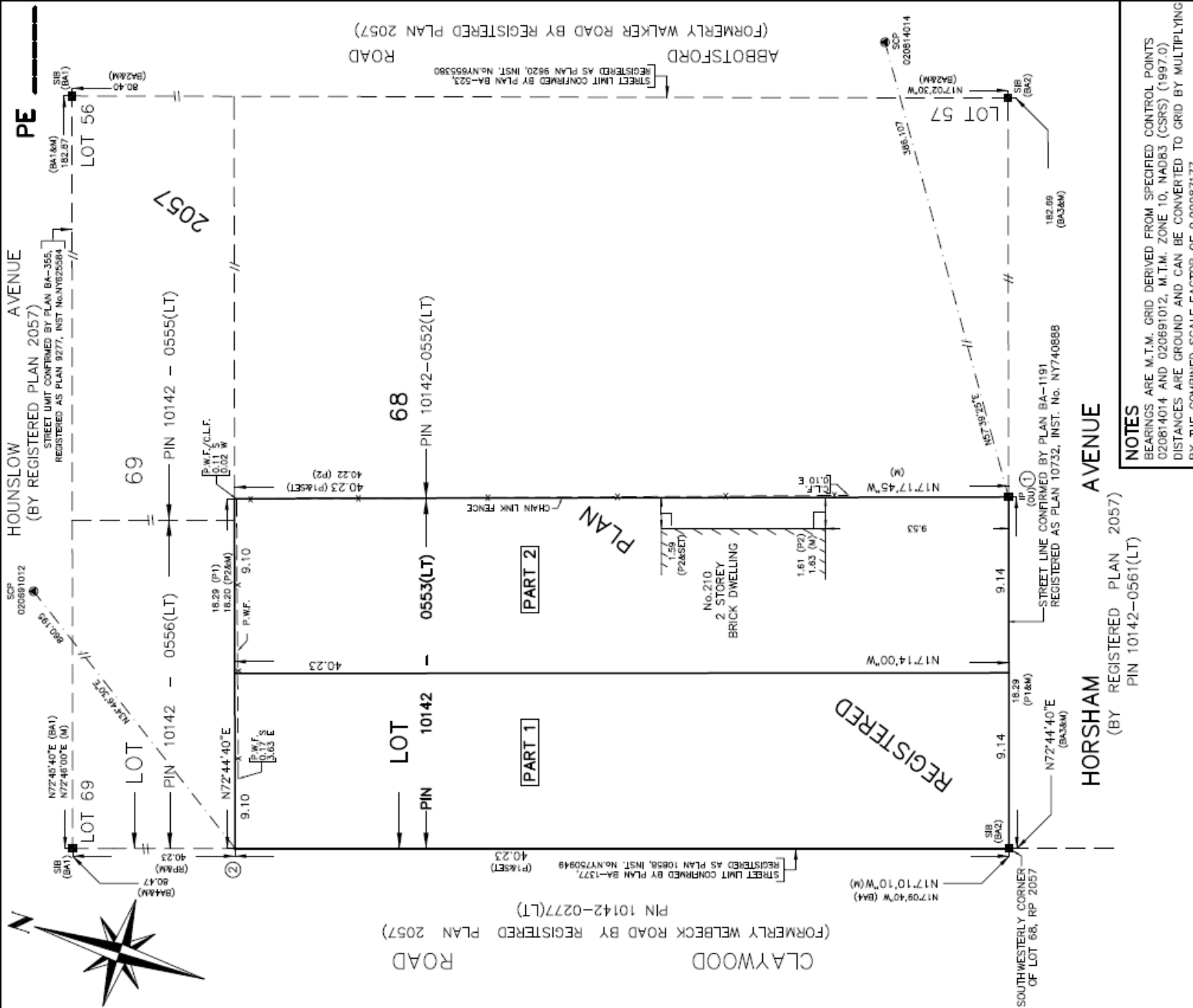
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 25th DAY OF APRIL, 2016

MAY 2, 2016
DATE

Z. ZENG
ONTARIO LAND SURVEYOR

MANDARIN SURVEYORS LIMITED
ONTARIO LAND SURVEYOR
CANADA LANDS SURVEYOR
WWW.MANDARINSURVEYOR.COM
42 RAVENCLIFF CRESCENT
TORONTO, ONTARIO, M1T 1R8
PHONE: (647) 430-1366
FAX: (647) 799-4068
E-MAIL: MANDARINSURVEYOR@GMAIL.COM

SURVEY BY: S.Z. CAD No: 16-098RPLAN JOB No: 2016-098



Decision Notice - CO.doc

SIGNATURE PAGE

File Number:	B0089/16NY	Zoning	R4 / RD (f15.0; a550) (x5)
Owner(s):	JAVAD SHIRVANI-GHOMI	Ward:	Willowdale (23)
Agent:	SEYED AMIR NAGHAVI	Heritage:	Not Applicable
Property Address:	210 HORSHAM AVE	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 68		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1016/16NY	Zoning	R4 / RD (f15.0; a550) (x5)
Owner(s):	JAVAD SHIRVANI-GHOMI	Ward:	Willowdale (23)
Agent:	SEYED AMIR NAGHAVI	Heritage:	Not Applicable
Property Address:	210 HORSHAM AVE – PART 1	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 68		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To create a new single-family dwelling. The existing dwelling spanning both newly created lots would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the front wall.
There is 4.67m² proposed within 4.00m of the front wall.
- Chapter 10.20.30.10.(1)A, By-law No. 569-2013**
The minimum required lot area is 550.00m².
The proposed lot area is 367.00m².
- Chapter 10.20.30.20.(1)A, By-law No. 569-2013**
The minimum required lot frontage is 15.00m
The proposed lot frontage is 9.14m.
- Chapter 10.20.30.40.(1)A, By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- Chapter 10.20.40.10.(2)A(i), By-law No. 569-2013**
The maximum permitted height of all front and rear exterior main walls is 7.50m.
The proposed height of the front exterior walls is 8.50m.

- 6. Chapter 10.20.40.10.(2)B(i), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior walls facing a side lot line is 8.50m.
- 7. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted length of the building is 17.00m.
The proposed building length is 17.48m.
- 8. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.20m.
- 9. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m.
- 10. Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550.00m².
The proposed lot area is 367.00m².
- 11. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.20m.
- 12. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m.
- 13. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 14. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.66m.
- 15. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.10m.
- 16. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.50m.
The proposed finished first floor height is 1.64m.
- 17. Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
- 18. Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15.00m.
The proposed lot frontage is 9.14m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A1016/16NY	Zoning	R4 / RD (f15.0; a550) (x5)
Owner:	JAVAD SHIRVANI-GHOMI	Ward:	Willowdale (23)
Agent:	SEYED AMIR NAGHAVI	Heritage:	Not Applicable
Property Address:	210 HORSHAM AVE – PART 1	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 68		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1017/16NY	Zoning	R4 / RD (f15.0; a550) (x5)
Owner(s):	JAVAD SHIRVANI-GHOMI	Ward:	Willowdale (23)
Agent:	SEYED AMIR NAGHAVI	Heritage:	Not Applicable
Property Address:	210 HORSHAM AVE – PART 2	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 68		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To create a new single-family dwelling. The existing dwelling spanning both newly created lots would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the front wall.
There is 4.67m² proposed within 4.00m of the front wall.
- 2. Chapter 10.20.30.10.(1A), By-law No. 569-2013**
The minimum required lot area is 550.00m².
The proposed lot area is 367.00m².
- 3. Chapter 10.20.30.20.(1A), By-law No. 569-2013**
The minimum required lot frontage is 15.00m
The proposed lot frontage is 9.14m.
- 4. Chapter 10.20.30.40.(1A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 5. Chapter 10.20.40.10.(2A)(i), By-law No. 569-2013**
The maximum permitted height of all front and rear exterior main walls is 7.50m.
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6. **Chapter 10.20.40.10.(2)B(i), By-law No. 569-2013**
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8. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
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9. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m.
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11. **Section 13.2.3(b), By-law No. 7625**
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14. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.66m.
15. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.10m.
16. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.50m.
The proposed finished first floor height is 1.63m.
17. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
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The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A1017/16NY	Zoning	R4 / RD (f15.0; a550) (x5)
Owner:	JAVAD SHIRVANI-GHOMI	Ward:	Willowdale (23)
Agent:	SEYED AMIR NAGHAVI	Heritage:	Not Applicable
Property Address:	210 HORSHAM AVE – PART 2	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 68		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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SIGNATURE PAGE

File Number:	B0066/16NY	Zoning	R6/RD(f12.0; a370)
Owner(s):	LIUDMILA SIDOROVA	Ward:	Willowdale (23)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	42 TERRACE AVE	Community:	North York
Legal Description:	PLAN 3178 LOTS 1 TO 3 PT LANE CLOSED RP 64R9454 PARTS 1&2		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, August 2, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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SIGNATURE PAGE

File Number:	B0067/16NY	Zoning	R6/RD(f12.0; a370)(waiiver)
Owner(s):	MARIA MADEIRA MANUEL MADEIRA	Ward:	Willowdale (23)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	40 TERRACE AVE	Community:	North York
Legal Description:	PLAN 3178 LOT 4 PT LOT 5 PLAN 3178 PT LANE CLOSED RP 64R9454 PART 3		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON:

LAST DATE OF APPEAL:

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0888/16NY	Zoning:	R6/RD(f12.0; a370)(waiver)
Owner(s):	MARIA MADEIRA MANUEL MADEIRA	Ward:	Willowdale (23)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	40 TERRACE AVE – PART 4	Community:	North York
Legal Description:	PLAN 3178 LOT 4 PT LOT 5 PLAN 3178 PT LANE CLOSED RP 64R9454 PART 3		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.20(1)(A), By-law No. 569-2013**
The minimum required lot frontage is 12.0m.
The proposed lot frontage is 10.97m.
- 2. Chapter 10.20.30.40(1)(A), By-Law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area (125.5 m²).
The proposed lot coverage is 32% of the lot area (133.8 m²).
- 3. Chapter 10.20.40.10(2)(B)(ii), By-Law No. 569-2013**
The maximum permitted height of all side exterior main wall is 7.5 m.
The proposed height of the exterior main wall is 7.92 m.
- 4. Chapter 10.20.40.70(3)(C), By-Law No. 569-2013**
The minimum required west side yard setback is 1.2m.
The proposed west side yard setback is 0.9m.
- 5. Section 14-A(4), By-law No. 7625**
The minimum required lot frontage and width is 12.0m.
The proposed lot frontage and width is 10.97m.

6. **Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area (125.5 m²).
The proposed lot coverage is 32% of the lot area (133.8 m²).
7. **Chapter 14-A(5)c, By-law No. 7625**
The minimum required west side yard setback is 1.2m.
The proposed west side yard setback is 0.9m.
8. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 2.0m.
9. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.8 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0888/16NY	Zoning	R6/RD(f12.0; a370)(waiver)
Owner:	MARIA MADEIRA MANUEL MADEIRA	Ward:	Willowdale (23)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	40 TERRACE AVE – PART 4	Community:	North York
Legal Description:	PLAN 3178 LOT 4 PT LOT 5 PLAN 3178 PT LANE CLOSED RP 64R9454 PART 3		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0889/16NY	Zoning	R6/RD(f12.0; a370)(waiver)
Owner(s):	MARIA MADEIRA MANUEL MADEIRA	Ward:	Willowdale (23)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	40 TERRACE AVE PART 2 AND PART 3	Community:	North York
Legal Description:	PLAN 3178 LOT 4 PT LOT 5 PLAN 3178 PT LANE CLOSED RP 64R9454 PART 3		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.20(1)(A), By-law No. 569-2013**
The minimum required lot frontage is 12.0m.
The proposed lot frontage is 10.97m.
- 2. Chapter 10.20.30.40(1)(A), By-Law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area (124.8 m²).
The proposed lot coverage is 32% of the lot area (133.2 m²).
- 3. Chapter 10.20.40.10(2)(B)(ii), By-Law No. 569-2013**
The maximum permitted height of all side exterior main wall is 7.5 m.
The proposed height of the exterior main wall is 7.92 m.
- 4. Chapter 10.20.40.70(3)(C), By-Law No. 569-2013**
The minimum required east side yard setback is 1.2m.
The proposed east side yard setback is 0.9m.
- 5. Section, 14-A(4), By-law No. 7625**
The minimum required lot frontage and width is 12.0m.
The proposed lot frontage and width is 10.97m.

6. **Section, 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area (124.9 m²).
The proposed lot coverage is 32% of the lot area (133.2 m²).
7. **Section, 14-A(5)c, By-law No. 7625**
The minimum required east side yard setback is 1.2m.
The proposed east side yard setback is 0.9m.
8. **Section, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 2.0m.
9. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.8 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0889/16NY	Zoning	R6/RD(f12.0; a370)(waiver)
Owner:	MARIA MADEIRA MANUEL MADEIRA	Ward:	Willowdale (23)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	40 TERRACE AVE PART 2 AND PART 3	Community:	North York
Legal Description:	PLAN 3178 LOT 4 PT LOT 5 PLAN 3178 PT LANE CLOSED RP 64R9454 PART 3		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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To appeal this decision to the OMB you need the following:

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Thursday, July 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0890/16NY	Zoning	R6/RD(f12.0; a370)
Owner(s):	LIUDMILA SIDOROVA MANUEL MADEIRA	Ward:	Willowdale (23)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	42 TERRACE AVE PART 1	Community:	North York
Legal Description:	PLAN 3178 LOTS 1 TO 3 PT LANE CLOSED RP 64R9454 PARTS 1&2		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.20(1)(A), By-law No. 569-2013**
The minimum required lot frontage is 12.0m.
The proposed lot frontage is 10.97m.
- 2. Chapter 10.20.30.40(1)(A), By-Law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area (125.4 m²).
The proposed lot coverage is 32% of the lot area (133.8 m²).
- 3. Chapter 10.20.40.10(2)(B)(ii), By-Law No. 569-2013**
The maximum permitted height of all side exterior main wall is 7.5 m.
The proposed height of the exterior main wall is 7.92 m.
- 4. Chapter 10.20.40.70(3)(C), By-Law No. 569-2013**
The minimum required east side yard setback is 1.2m.
The proposed east side yard setback is 0.9m.
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The minimum required lot frontage and width is 12.0m.
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The maximum permitted lot coverage is 30% of the lot area (125.4 m²).
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7. **Section 14-A(5)c, By-law No. 7625**
The minimum required east side yard setback is 1.2m.
The proposed east side yard setback is 0.9m.
8. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.85m.
9. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.6 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0890/16NY	Zoning	R6/RD(f12.0; a370)
Owner:	LIUDMILA SIDOROVA MANUEL MADEIRA	Ward:	Willowdale (23)
Agent:	ALEX BOROS DESIGN INC.	Heritage:	Not Applicable
Property Address:	42 TERRACE AVE PART 1	Community:	North York
Legal Description:	PLAN 3178 LOTS 1 TO 3 PT LANE CLOSED RP 64R9454 PARTS 1&2		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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ANN HARANY
401 SUTHERLAND DR
TORONTO ON M4G 1K2

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.94% of the lot area.
- 2. Section 6.3.3, By-law No. 1916**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.94% of the lot area.

THE COMMITTEE OF ADJUSTMENT & MINOR VARIANCES

The role of the Committee of Adjustment is to provide flexibility in dealing with minor adjustments to zoning by-law requirements. To approve such variances, the Committee must be satisfied that:

- the variance requested is minor;
- the proposal is desirable for the appropriate development or use of the land and/or building;
- the general intent and purpose of the City's Zoning Code and/or By-law are maintained; and

- the general intent and purpose of the Official Plan are maintained.

The Committee of Adjustment forms its opinion through its detailed review of all material filed with an application, letters received, deputations made at the public hearing and results of site inspections.

MAKING YOUR VIEWS KNOWN

The notice has been mailed to you, as required by the *Planning Act*, to ensure that, as an interested person, you may make your views known by:

- **Attending the Public Hearing.** Attendant Care Services can be made available with some advance notice.
- **Sending a letter by Mail, E-mail, or Fax.** Information you choose to disclose in your correspondence will be used to receive your views on the relevant issue(s) to enable the Committee to make its decision on this matter. This information will become part of the public record.

If you do not attend the public hearing, or express your views in writing, the Committee may make a decision in your absence, and may recommend changes to the proposal

TO VIEW THE MATERIALS IN THE APPLICATION FILE

Application plans and other related materials are available to be viewed **online** by visiting the Application Information Centre at www.toronto.ca/aic

If you are not able to view plans online, copies of application submissions can be obtained, **in person**, by attending the Committee of Adjustment office at the above address Monday to Friday, 8:30 a.m. to 4:30 p.m. Service fees may apply.

RECEIVING A COPY OF THE COMMITTEE'S DECISION

- The Committee will announce its decision on the application at the Public Hearing.
- To receive a copy of the Decision, fill out the Decision Request Form at our office or at the Public Hearing or write a letter requesting a copy of the Decision and send it to our office.
- If you wish to appeal a Decision of the Committee to the Ontario Municipal Board, you must file your written request for a decision with the Deputy Secretary-Treasurer.

CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

DELORES TUNG
405 SUTHERLAND DR
TORONTO ON M4G 1K2

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
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THE COMMITTEE OF ADJUSTMENT & MINOR VARIANCES

The role of the Committee of Adjustment is to provide flexibility in dealing with minor adjustments to zoning by-law requirements. To approve such variances, the Committee must be satisfied that:

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- the general intent and purpose of the City's Zoning Code and/or By-law are maintained; and

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- The Committee will announce its decision on the application at the Public Hearing.
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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

WAYNE ROBERT MURRAY
405 SUTHERLAND DR
TORONTO ON M4G 1K2

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
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Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

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CONTACT

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Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

TORONTO FINNISH-CANADIAN
C/O SENIORS CENTRE
795 EGLINTON AVE E
TORONTO ON M4G 4E4

Mailed on/before: Monday, June 26, 2017

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MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

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LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
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Property Address:	407 SUTHERLAND DR	Community:	East York
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- the general intent and purpose of the Official Plan are maintained.

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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

AVTAR DHANOTA
98 PARKLEA DR
TORONTO ON M4G 2J8

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
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Email: bclapp@toronto.ca

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98 PARKLEA DR
TORONTO ON M4G 2J8

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(Section 45 of the Planning Act)

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Email: bclapp@toronto.ca

JOHN BOASE
96 PARKLEA DR
TORONTO ON M4G 2J8

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Email: bclapp@toronto.ca

REEMA KARUMANCHERY
96 PARKLEA DR
TORONTO ON M4G 2J8

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MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
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PURPOSE OF THE APPLICATION:

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Email: bclapp@toronto.ca

ALBERTO YI
412 SUTHERLAND DR
TORONTO ON M4G 1K3

Mailed on/before: Monday, June 26, 2017

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MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
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CONTACT

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Email: bclapp@toronto.ca

MARILENA MANSERRA
410 SUTHERLAND DR
TORONTO ON M4G 1K3

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MINOR VARIANCE/PERMISSION
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MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

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TORONTO ON M4G 1K3

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LOUIS OPASHINOV ESTATE
34 ROBINTER DR
TORONTO ON M2M 3R2

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Email: bclapp@toronto.ca

APOSTOLOS MANIATIS
966 LOGAN AVE
TORONTO ON M4K 3E5

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.94% of the lot area.
- Section 6.3.3, By-law No. 1916**
The maximum permitted lot coverage is 35.00% of the lot area.
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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

BILL MANIATIS
966 LOGAN AVE
TORONTO ON M4K 3E5

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Email: bclapp@toronto.ca

WINNIE WONG
398 SUTHERLAND DR
TORONTO ON M4G 1K3

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Email: bclapp@toronto.ca

BRAD ERIC SHAPIRO
398 SUTHERLAND DR
TORONTO ON M4G 1K3

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VINCENT WAI SING CHAN
400 SUTHERLAND DR
TORONTO ON M4G 1K3

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JENNY CHI MEI NG
400 SUTHERLAND DR
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STUCAZZ INVESTMENTS INC
C/O
1659 BAYVIEW AVE SUITE SUITE 200
TORONTO ON M4G 3C1

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ROBERT FULLERTON
92 PARKLEA DR
TORONTO ON M4G 2J8

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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

LINDA LO
92 PARKLEA DR
TORONTO ON M4G 2J8

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

SEAN CLEARY
66 PARKLEA DR
TORONTO ON M4G 2J6

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
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Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
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Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

JANICE CLUGSTON
66 PARKLEA DR
TORONTO ON M4G 2J6

Mailed on/before: Monday, June 26, 2017

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MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
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Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
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To construct a new accessory building (detached garage).

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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

MICHAEL FRASER MCHUGH
411 SUTHERLAND DR
TORONTO ON M4G 1K2

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
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PURPOSE OF THE APPLICATION:

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Email: bclapp@toronto.ca

JENNIFER LOUISE ANDERSON
411 SUTHERLAND DR
TORONTO ON M4G 1K2

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(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

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Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
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Property Address:	407 SUTHERLAND DR	Community:	East York
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CLAPP SHOE HOUSE LTD
802 EGLINTON AVE E
TORONTO ON M4G 2L1

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SUSAN CAPUTO
397 SUTHERLAND DR
TORONTO ON M4G 1K2

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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

SARA PURVES
773 EGLINTON AVE E
TORONTO ON M4G 2K8

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

ANA TEREZA SILVA DIAS
88 PARKLEA DR
TORONTO ON M4G 2J8

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Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

JAMES MARCHESE
88 PARKLEA DR
TORONTO ON M4G 2J8

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MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

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Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

LOULOUA BARAKAT-DIAB
86 PARKLEA DR
TORONTO ON M4G 2J8

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

YOUSSEF SAKR
86 PARKLEA DR
TORONTO ON M4G 2J8**Mailed on/before:** Monday, June 26, 2017**PUBLIC HEARING NOTICE**
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**MEETING DATE AND TIME:** Thursday, July 6, 2017 at 9:30 a.m.**LOCATION:** Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

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GEORGE NIKOPOULOS
775 EGLINTON AVE E
TORONTO ON M4G 2K8

Mailed on/before: Monday, June 26, 2017

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ELIZABETH ANN DUNN-NIKOPOULOS
775 EGLINTON AVE E
TORONTO ON M4G 2K8

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GORKHA INTERNATIONAL INC
C/O
804 EGLINTON AVE E
TORONTO ON M4G 2L1

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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

NAFI HAKAN COPUROGLU
407 SUTHERLAND DR
TORONTO ON M4G 1K2

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.94% of the lot area.
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CONTACT

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Email: bclapp@toronto.ca

IRINA COPUROGLU
407 SUTHERLAND DR
TORONTO ON M4G 1K2

Mailed on/before: Monday, June 26, 2017

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File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
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Email: bclapp@toronto.ca

KATHERINE KOLNHOFER
94 PARKLEA DR
TORONTO ON M4G 2J8

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Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

MICHAEL CHUNG
PO BOX 42029 QQ CONVENIENCE
2851 JOHN ST
MARKHAM ON L3R 0P9

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
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PURPOSE OF THE APPLICATION:

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Email: bclapp@toronto.ca

FRANCESCO MURDOCCA
PO BOX 42029, QQ CONVENIENCE
2851 JOHN ST
MARKHAM ON L3R 0P9

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(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

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Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

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JOHN CHIARELLI
402 PARADELLE DR
RICHMOND HILL ON L4E 4R8

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MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

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JAMES JULIAN CHAMBERLAIN
406 SUTHERLAND DR
TORONTO ON M4G 1K3

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COURTNEY BAND
406 SUTHERLAND DR
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90 PARKLEA DR
TORONTO ON M4G 2J8

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Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.94% of the lot area.
- Section 6.3.3, By-law No. 1916**
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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

CLAUDIA BOLOGNESI
90 PARKLEA DR
TORONTO ON M4G 2J8

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

ELENA PATRICIA VINCENT
399 SUTHERLAND DR
TORONTO ON M4G 1K2

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(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

GRAHAM MARK MENERAY
399 SUTHERLAND DR
TORONTO ON M4G 1K2

Mailed on/before: Monday, June 26, 2017

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MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
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Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

GHARID NOURALLAH
409 SUTHERLAND DR
TORONTO ON M4G 1K2

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
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PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

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Email: bclapp@toronto.ca

OMAR BEKDACHE
409 SUTHERLAND DR
TORONTO ON M4G 1K2

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MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
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Property Address:	407 SUTHERLAND DR	Community:	East York
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PURPOSE OF THE APPLICATION:

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CONTACT

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Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

ANDREW YOUNG
414 SUTHERLAND DR
TORONTO ON M4G 1K3

Mailed on/before: Monday, June 26, 2017

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MINOR VARIANCE/PERMISSION
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MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

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Email: bclapp@toronto.ca

780 EGLINTON AVE EAST INC
C/O BRAIRLANE RENTAL PROPERTY MGMT INC
85 SPY CRT SUITE SUITE 100
MARKHAM ON L3R 4Z4

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Email: bclapp@toronto.ca

MARGARET PAMELA MASON
36 PUMPMEADOW CRES SW
CALGARY AB T2V 5C8

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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

MARY OPASHINOV
796 EGLINTON AVE E
TORONTO ON M4G 2L1

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

PURPOSE OF THE APPLICATION:

To construct a new accessory building (detached garage).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.94% of the lot area.
- Section 6.3.3, By-law No. 1916**
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Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

MARK OPASHINOV
796 EGLINTON AVE E
TORONTO ON M4G 2L1

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

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File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 380 PT LOT 381		

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To construct a new accessory building (detached garage).

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CONTACT

Brenden Clapp, Application Technician

Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

KATHERINE OPASHINOV
796 EGLINTON AVE E
TORONTO ON M4G 2L1

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
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Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	407 SUTHERLAND DR	Community:	East York
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Tel. No.: (416) 395-7134

Email: bclapp@toronto.ca

LUKASZ KOWALEWSKI
403 SUTHERLAND DR
TORONTO ON M4G 1K2

Mailed on/before: Monday, June 26, 2017

PUBLIC HEARING NOTICE
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

MEETING DATE AND TIME: Thursday, July 6, 2017 at 9:30 a.m.

LOCATION: Council Chamber, North York Civic Centre, 5100 Yonge St., M2N 5V7

File Number:	A0107/17NY	Zoning	RD/R1B [BLD]
Owner(s):	IRINA COPUROGLU NAFI HAKAN COPUROGLU	Ward:	Don Valley West (26)
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GRAHAM BARRETT
22 CLOSE AVE Suite Suite 2410
TORONTO ON M6K 2V4

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2297258 ONTARIO INC
56 HASLEMERE RD
TORONTO ON M4N 1X6

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Tel. No.: (416) 395-7134

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0141/17NY	Zoning	RD (f18, a690)(x862) / R3
Owner(s):	MOHSEN RAHIMI	Ward:	Don Valley West (25)
Agent:	OE DESIGN	Heritage:	Not Applicable
Property Address:	66 ARJAY CRES	Community:	North York
Legal Description:	PLAN 3720 N PT LOT 12 N PT LOT 13		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey single family detached dwelling with integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 1676-2013**
A minimum of 10.00m² of the first floor must be within the first 4.00m of the front main wall.
There are zero square metres of the first floor within the front main wall.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 23.29m.
- 3. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 23.01m.
- 4. Section 14.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 23.01m.
- 5. Section 14.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.27m.
- 6. Section 6(9)(i), By-law No. 7625**
Canopies shall be permitted to project into the minimum rear yard setback not more than 1.80m.
The proposed rear canopy projects 5.40m.

7. Section 12.5A, By-law No. 7625

Canopies projecting 1.80m or less beyond the rear wall of a building shall be excluded in determining the length of the dwelling.

The proposed canopy projects 5.40m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto on, June 27, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) **The requirements of the Parks and Recreation, Urban Forestry Division;**
 - i) The applicant shall submit the necessary application for permits to injure or remove privately owned trees to Urban Forestry, City of Toronto Municipal Code Chapter 813, Article III

SIGNATURE PAGE

File Number:	A0141/17NY	Zoning	RD (f18, a690)(x862) / R3
Owner:	MOHSEN RAHIMI	Ward:	Don Valley West (25)
Agent:	OE DESIGN	Heritage:	Not Applicable
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Legal Description:	PLAN 3720 N PT LOT 12 N PT LOT 13		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, July 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0383/17NY	Zoning:	RD/ R1 Z0.35 [ZN]
Owner(s):	ELSA LI STEPHEN MING NG	Ward:	Eglinton-Lawrence (16)
Agent:	STEPHEN MING NG	Heritage:	Not Applicable
Property Address:	41 COLDSTREAM AVE	Community:	Toronto
Legal Description:	PLAN M87 PT BLK D		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain a two-level deck at the rear of the building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.30.40(2), By-law No. 569-2013

The maximum permitted lot coverage for a platform/deck is 5.00% of the lot area.

The total proposed lot coverage for both platforms is 12.27% of the lot area.

2. Section Chart Section (6), By-law No. 438-86

The maximum permitted uncovered platform encroachment into a rear yard setback is 2.50m from the rear wall.

The proposed uncovered platform encroachment into a rear yard setback is 3.7m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0383/17NY	Zoning	RD/ R1 Z0.35 [ZN]
Owner:	ELSA LI STEPHEN MING NG	Ward:	Eglinton-Lawrence (16)
Agent:	STEPHEN MING NG	Heritage:	Not Applicable
Property Address:	41 COLDSTREAM AVE	Community:	Toronto
Legal Description:	PLAN M87 PT BLK D		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, July 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0384/17NY	Zoning:	R4 [ZZC]
Owner(s):	VINCENZA GIORDANO ADRIANO GIORDANO	Ward:	Eglinton-Lawrence (16)
Agent:	STAMBUK HOMES	Heritage:	Not Applicable
Property Address:	360 B JOICEY BLVD	Community:	North York
Legal Description:	PLAN 1831 PT LOT 49 RP 66R21227 PART 1		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the enclosure of the front porch, of the existing dwelling. The applicant is also proposing other exterior alterations, including changes to the existing roof.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.51m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0384/17NY	Zoning	R4 [ZZC]
Owner:	VINCENZA GIORDANO ADRIANO GIORDANO	Ward:	Eglinton-Lawrence (16)
Agent:	STAMBUK HOMES	Heritage:	Not Applicable
Property Address:	360 B JOICEY BLVD	Community:	North York
Legal Description:	PLAN 1831 PT LOT 49 RP 66R21227 PART 1		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0385/17NY	Zoning	RD / R4 (ZR)
Owner(s):	VALERY GRIGORIEV	Ward:	Willowdale (23)
Agent:	VICTOR GUITBERG	Heritage:	Not Applicable
Property Address:	196 ELMWOOD AVE	Community:	North York
Legal Description:	PLAN 1801 LOT 547 PT LOT 548		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2103**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.0% of the lot coverage.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2103**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 8.3 m.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2103**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is 1.2 m.
- 4. Chapter 10.20.40.70.(3), By-law No. 569-2103**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.
- 5. Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15 m.
The existing lot frontage is 13.72 m.
- 6. Section 13.2.3.A, By-law No. 7625**
The minimum required side yard setback is 1.67 m.
The proposed east side yard setback is 1.2 m.

7. **Section 13.2.3.A, By-law No. 7625**
The minimum required side yard setback is 1.67 m.
The proposed west side yard setback is 1.2 m.
8. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.0% of the lot area.
9. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage: 15 m.
The existing lot frontage is 13.72 m.
10. **Section 6(9)(a), By-law No. 7625**
Belt courses, chimney breasts, cornices, eaves or gutters, pilasters and sills shall be permitted to project a maximum of 0.50.m.
The proposed eaves project 0.61 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2103**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.0% of the lot coverage.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2103**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 8.3 m.
5. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15 m.
The existing lot frontage is 13.72 m.
8. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.0% of the lot area.
9. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage: 15 m.
The existing lot frontage is 13.72 m.
10. **Section 6(9)(a), By-law No. 7625**
Belt courses, chimney breasts, cornices, eaves or gutters, pilasters and sills shall be permitted to project a maximum of 0.50.m.
The proposed eaves project 0.61 m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

3. **Chapter 10.20.40.70.(3), By-law No. 569-2103**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is **1.50m**.
4. **Chapter 10.20.40.70.(3), By-law No. 569-2103**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is **1.50m**.
6. **Section 13.2.3.A, By-law No. 7625**
The minimum required side yard setback is 1.67 m.
The proposed east side yard setback is **1.50m**.
7. **Section 13.2.3.A, By-law No. 7625**
The minimum required side yard setback is 1.67 m.
The proposed west side yard setback is **1.50m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

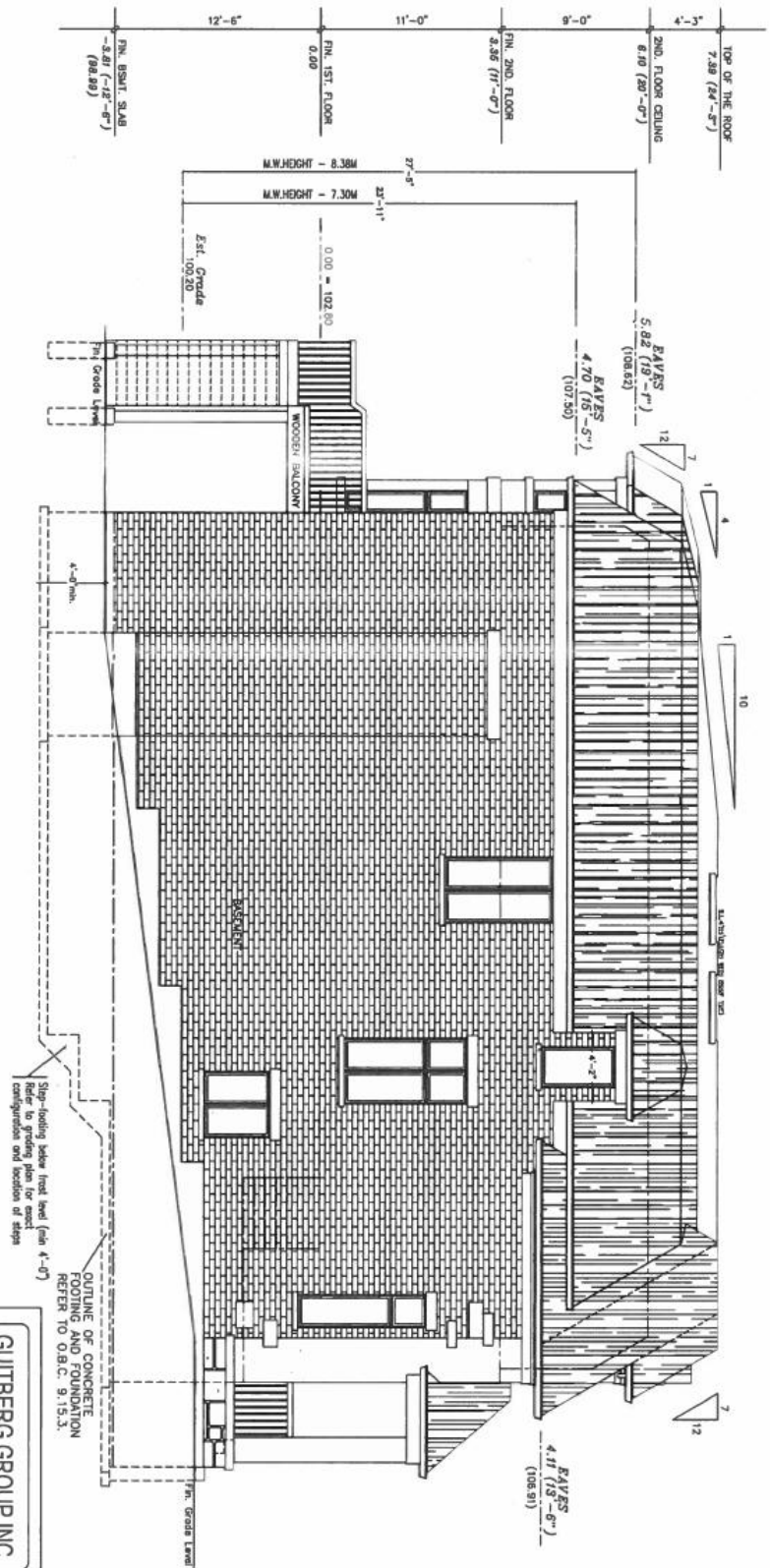
This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application.
The current cost of planting a tree is \$583.

2) The proposal be developed in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, June 26, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



EAST ELEVATION
SCALE 1/8" = 1'-0"

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

RECEIVED
JUN 26 2017

GUTBERG GROUP INC. 33 BELVEDERE CRES. RICHMOND HILL, ONTARIO, L4C 8W1 TEL. (905) 508-7438 FAX. (905) 508-7433			
PRIVATE RESIDENCE AT 196 ELMWOOD AVE. CITY OF TORONTO, ONTARIO			
EAST ELEVATION			
DRAWN BY	J.M.	CHECKED	V.G.
SCALE	1/8" = 1'-0"	DATE	NOVEMBER '16
PROJECT NUMBER	R-10/11/16		A-9

SIGNATURE PAGE

File Number:	A0385/17NY	Zoning	RD / R4 (ZR)
Owner:	VALERY GRIGORIEV	Ward:	Willowdale (23)
Agent:	VICTOR GUTBERG	Heritage:	Not Applicable
Property Address:	196 ELMWOOD AVE	Community:	North York
Legal Description:	PLAN 1801 LOT 547 PT LOT 548		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0386/17NY	Zoning	RD (f12.0; a370; d0.6)/R1B[ZONING]
Owner(s):	MELODY MACPHERSON GREG MACPHERSON	Ward:	Don Valley West (26)
Agent:	LEM DESIGN INC	Heritage:	Not Applicable
Property Address:	78 AIRDRIE RD	Community:	East York
Legal Description:	PLAN 2122 PT LOT 215		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey dwelling and a two-storey rear addition. The existing attached garage to the dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6m.
The proposed east side stairs are 0m from the lot line.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 39% of the lot area.
- 3. Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.
The proposed eaves are 0m from the east lot line.
- 4. Chapter 10.5.60.20.(6), By-law No. 569-2013**
The minimum side yard setback for an ancillary building or structure containing a parking space where it is on a corner lot, and vehicle access is from the street abutting the side lot line, is 6.0m.
The proposed side yard setback for the ancillary building is 0.61m.

5. **Chapter 10.5.40.71.(4), By-law No. 569-2013**
The minimum building setback from a side lot line for any addition or extension to the rear or the side of a lawfully existing building or structure is 0.6m.
The proposed minimum building side yard setback is 0.46m from the west lot line.
6. **Section 6.3.3, By-law No. 1916**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 39% of the lot area.
7. **Section 5.7(j), By-law No. 1916**
Stairs are permitted to project into any yard provided they are 1.5m from a lot line adjacent to a street.
The proposed stairs are 0m from the east lot line.
8. **Section 6.1.1(1), By-law No. 1916**
The minimum required side yard setback is 0.45m.
The proposed east side yard setback is 0m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment. date stamped received by the City of Toronto Planning Division. June 27, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0386/17NY	Zoning	RD (f12.0; a370; d0.6)/R1B[ZONING]
Owner:	MELODY MACPHERSON GREG MACPHERSON	Ward:	Don Valley West (26)
Agent:	LEM DESIGN INC	Heritage:	Not Applicable
Property Address:	78 AIRDRIE RD	Community:	East York
Legal Description:	PLAN 2122 PT LOT 215		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0387/17NY	Zoning	RD/ R3 [ZZC]
Owner(s):	EHSAN MANSOURIFAR ASHRAF AMELHELALI	Ward:	Don Valley West (25)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	81 MUNRO BLVD	Community:	North York
Legal Description:	PLAN M459 LOT 102		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 36.34% of the lot area.
- Chapter 10.20.40.20(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 17.65m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.10m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.
- Section 12.2, By-law No. 7625**
The minimum required lot frontage is 18.00m.
The proposed lot frontage is 15.24m.

7. **Section 6(8), By-law No. 7625**
The minimum required lot width is 18.00m.
The proposed lot width is 15.24m.
8. **Section 12.3, By-law No. 7625**
The minimum required lot area is 690.00m².
The proposed lot area is 580.60m².
9. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
10. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.
11. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.65m.
12. **Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 36.34% of the lot area.
13. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.38m.
14. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.77m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 36.34% of the lot area.
2. **Chapter 10.20.40.20(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 17.65m.
3. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.10m.

6. **Section 12.2, By-law No. 7625**
The minimum required lot frontage is 18.00m.
The proposed lot frontage is 15.24m.
7. **Section 6(8), By-law No. 7625**
The minimum required lot width is 18.00m.
The proposed lot width is 15.24m.
8. **Section 12.3, By-law No. 7625**
The minimum required lot area is 690.00m².
The proposed lot area is 580.60m².
11. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.65m.
12. **Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 36.34% of the lot area.
13. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.38m.
14. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.77m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

4. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
5. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.
9. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
10. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

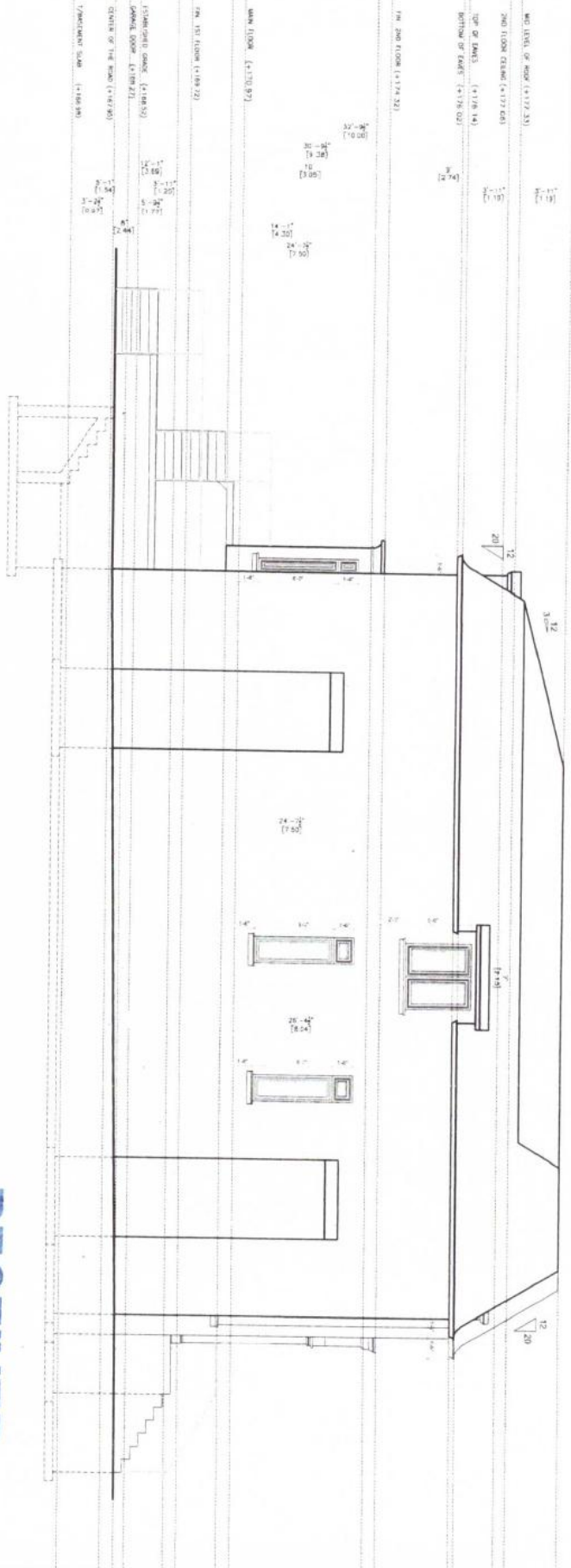
This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 27, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized

- 2) **The requirements of the Parks and Recreation, Urban Forestry Division;**

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.



RECEIVED

JUN 27 2017

Toronto City Planning
North York District

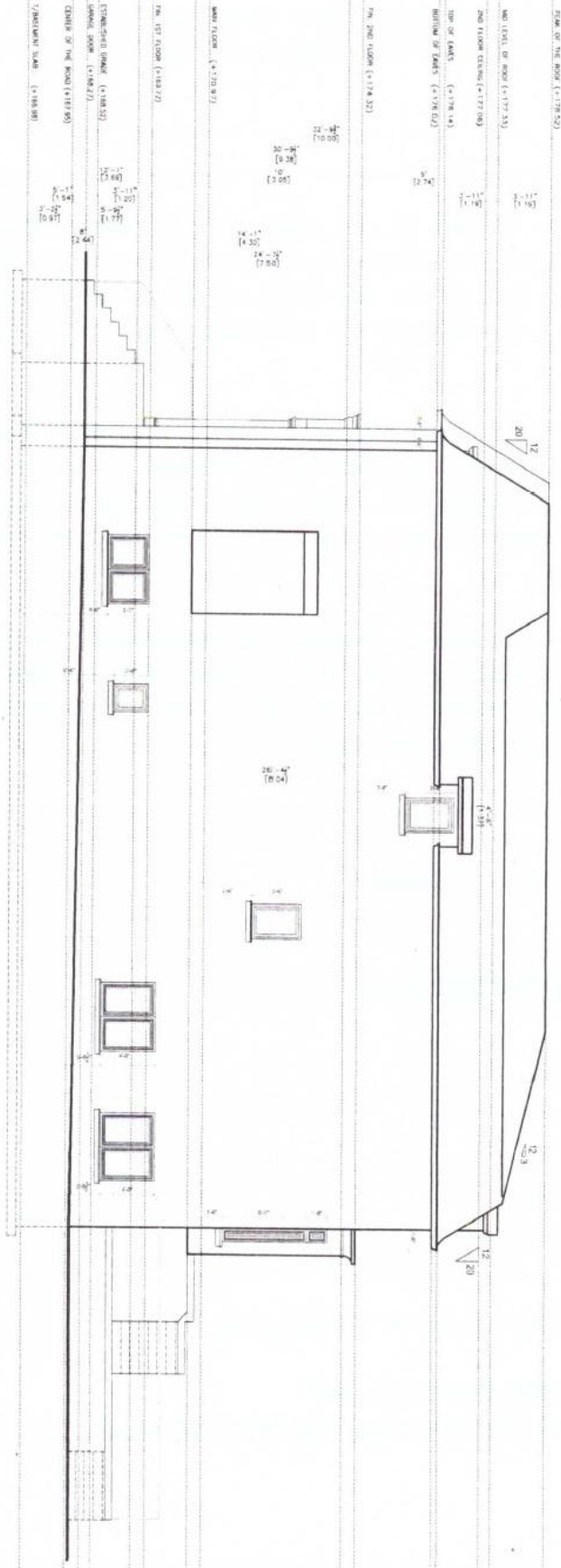
PROJECT TITLE:
81 MUNRO BOULEVARD
TORONTO, ONTARIO

SHEET NUMBER: **A9**

DRAWING TITLE: **WEST SIDE ELEVATION**

SCALE: 1/8"=1'-0"

NO.	REVISION FOR	DATE
1	ISSUED FOR PERMIT	05.02.2017
2	ISSUED FOR PERMIT	05.03.2017
3	ISSUED FOR PERMIT	05.03.2017
4	ISSUED FOR PERMIT	05.04.2017



RECEIVED

JUN 27 2017

Toronto City Planning
North York District

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	08.02.2017
2	ISSUED FOR PERMITTING	08.03.2017
3	ISSUED FOR PERMITTING	21.03.2017
4	ISSUED FOR PERMITTING	10.04.2017

SIGNATURE PAGE

File Number:	A0387/17NY	Zoning	RD/ R3 [ZZC]
Owner:	EHSAN MANSOURIFAR ASHRAF AMELHELALI	Ward:	Don Valley West (25)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	81 MUNRO BLVD	Community:	North York
Legal Description:	PLAN M459 LOT 102		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0388/17NY	Zoning	RM/R2A [BLD]
Owner(s):	SHAZREH SHEIKH	Ward:	Don Valley West (26)
Agent:	MASOOD SALIMI	Heritage:	Not Applicable
Property Address:	4 RUTHERGLEN RD	Community:	East York
Legal Description:	PLAN 2120 PT LOT 798 PT LOT 799		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.6.10.(263), By-law No. 569-2013**
The maximum permitted building height is 8.50m.
The proposed building height is **9.00m**.
- 2. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is **0.6579** times the lot area.
- 3. Section 6.4.3, By-law No. 1916**
The maximum permitted building height is 8.50m.
The proposed building height is **9.00m**.
- 4. Section 6.4.3, By-law No. 1916**
The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is **0.6579** times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0388/17NY	Zoning	RM/R2A [BLD]
Owner:	SHAZREH SHEIKH	Ward:	Don Valley West (26)
Agent:	MASOOD SALIMI	Heritage:	Not Applicable
Property Address:	4 RUTHERGLEN RD	Community:	East York
Legal Description:	PLAN 2120 PT LOT 798 PT LOT 799		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0390/17NY	Zoning	R4/RD[ZONING]
Owner(s):	WEI LIU	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	146 EMPRESS AVE	Community:	North York
Legal Description:	PLAN 1751 LOT 196		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.5m.
- 3. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 6.04m.
The proposed front yard setback is 5.44m to the second floor projection.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of side exterior main walls facing a side lot line is **8.3m**.
- 5. Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5m.
The proposed front yard setback is 5.44m to the second floor projection.
- 6. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.5m.

7. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **9.3m**.

8. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.79m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

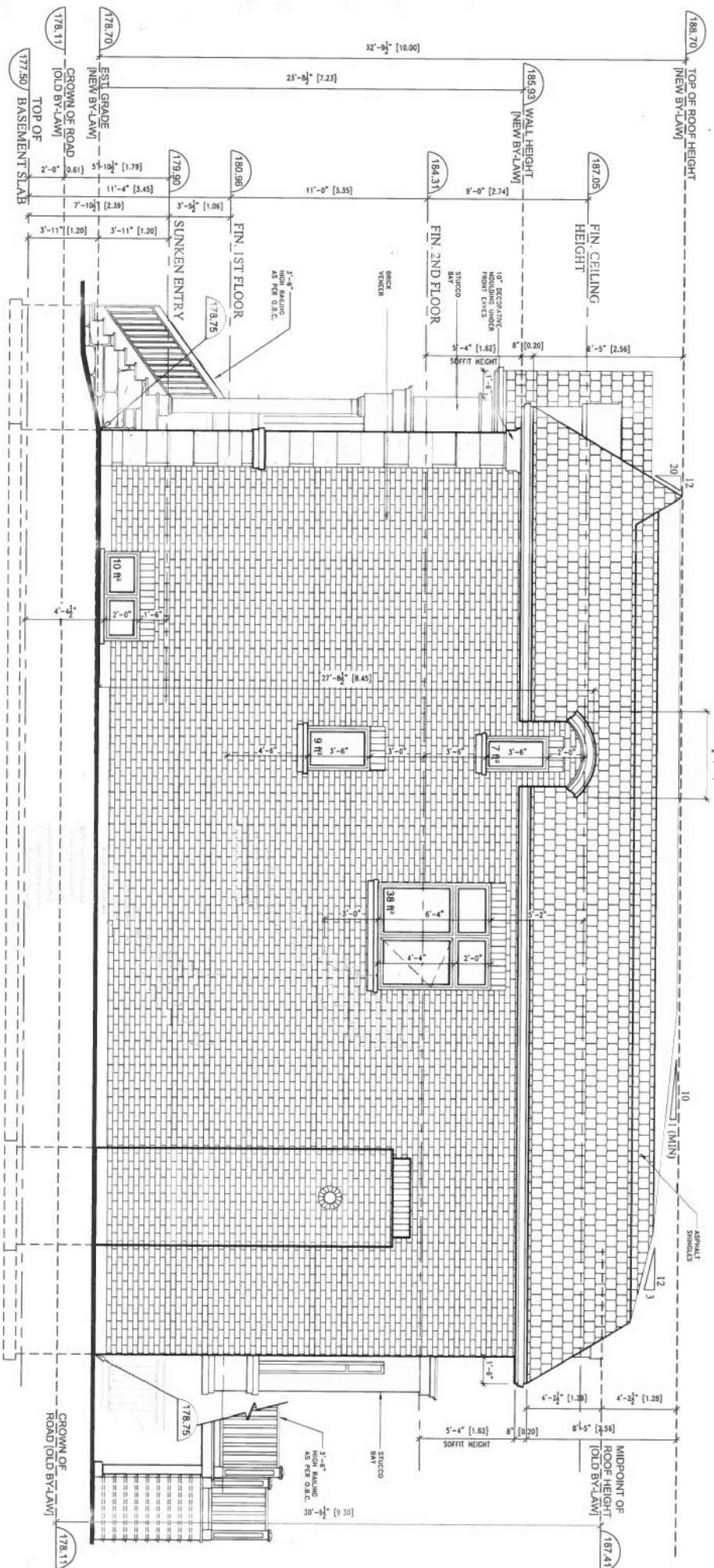
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the site plan, east, and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, June 26, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) **The requirements of the Parks and Recreation, Urban Forestry Division;**
 - i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.



EAST ELEVATION

146 EMPRESS AVE.

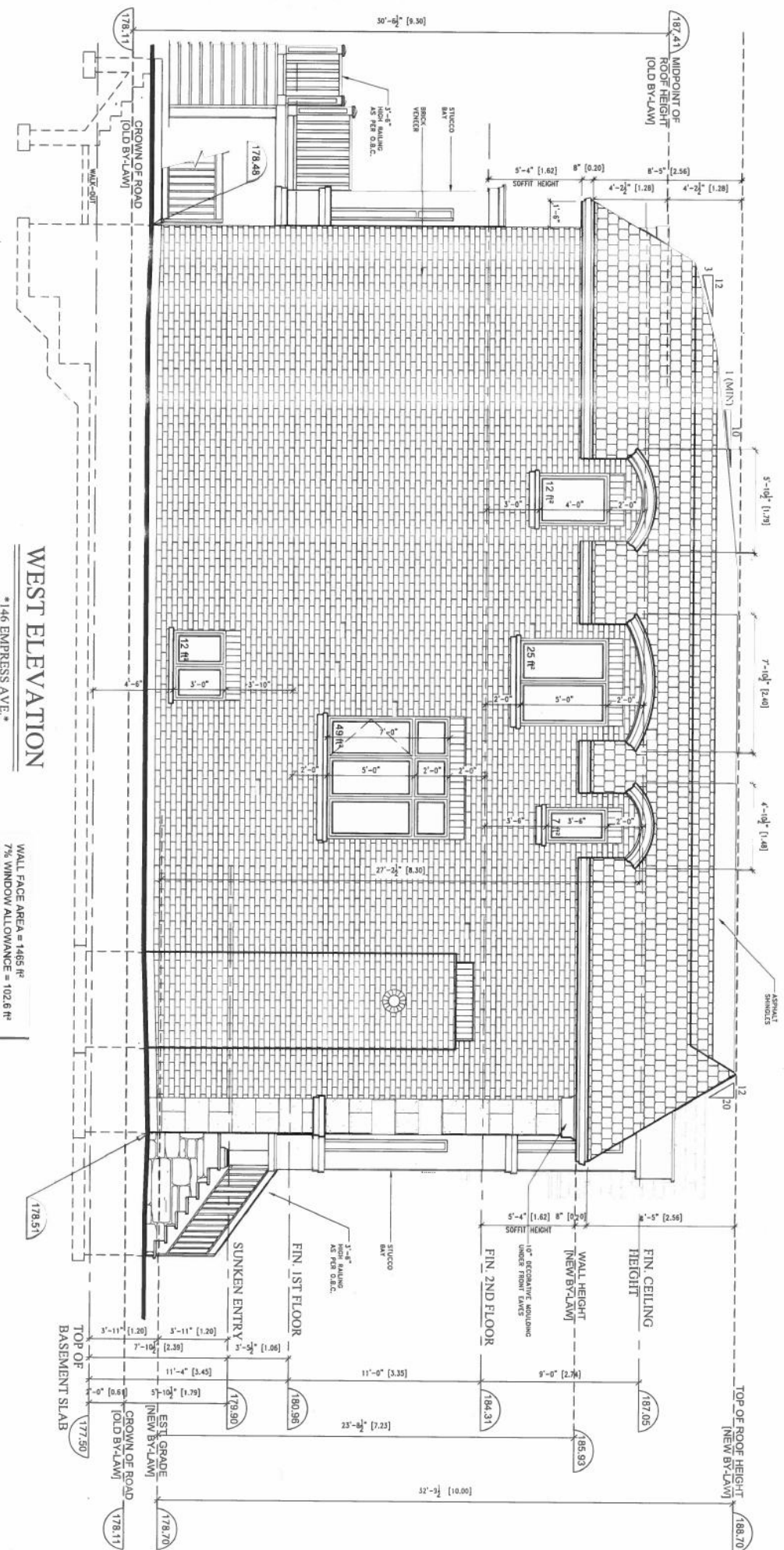
WALL FACE AREA = 1411 R²
 7% WINDOW ALLOWANCE = 98.8 R²
 90% GLAZED AREAS = 57.6 R²

RECEIVED

JUN 26 2017

CITY OF TORONTO PLANNING
 DEPARTMENT FOR CIVIC CENTRE

Rubinfrot Design Group
 480 Mount Pleasant Road
 Toronto, Ontario M5S 1W8
 146 EMPRESS AVE.
 SCALE: 3/16" = 1'-0"
 JUNE 22, 2017



WEST ELEVATION

146 EMPRESS AVE.

WALL FACE AREA = 1465 sq ft
 7% WINDOW/DOOR OPENING = 102.6 sq ft
 WINDOW AREAS = 105 sq ft
 90% GLAZED AREAS = 94.5 sq ft

RECEIVED

JUN 26 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

Rubloff Design Group
 146 EMPRESS AVE.
 TORONTO, ONTARIO M5S 1B8
 TEL: (416) 593-8888
 FAX: (416) 593-8889
 SCALE: 3/16" = 1'-0"
 DATE: JUNE 22, 2017

SIGNATURE PAGE

File Number:	A0390/17NY	Zoning	R4/RD[ZONING]
Owner:	WEI LIU	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	146 EMPRESS AVE	Community:	North York
Legal Description:	PLAN 1751 LOT 196		

Beth Levy (signed)

Nazila Atarodi (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0391/17NY	Zoning	RD/ R3 [ZZC]
Owner(s):	JUNCHENG WANG	Ward:	Willowdale (24)
Agent:	JUNCHENG WANG	Heritage:	Not Applicable
Property Address:	130 CITATION DR	Community:	North York
Legal Description:	PLAN M676 L 108		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.30% of the lot area.
- 2. Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front main street.
- 3. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted height of a building is 10.00m.
The proposed height of the building is **10.20m**.
- 4. Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.30% of the lot area.
- 5. Section 12.5 A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.00m.
- 6. Section 6(24)(ii), By-law No. 7625**
The maximum permitted deck encroachment is 2.10m and a height of 1.00m.
The proposed deck encroachment is 3.66m and a height of 2.80m.

7. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is **9.18m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number: A0391/17NY
Owner: JUNCHENG WANG
Agent: JUNCHENG WANG
Property Address: **130 CITATION DR**
Legal Description: PLAN M676 L 108

Zoning: RD/ R3 [ZZC]
Ward: Willowdale (24)
Heritage: Not Applicable
Community: North York

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0392/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	XIAOSHA BAI CHUAN MING TIAN	Ward:	Willowdale (24)
Agent:	OU DESIGN INC	Heritage:	Not Applicable
Property Address:	63 WHITTAKER CRES	Community:	North York
Legal Description:	PLAN 4794 LOT 29		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.70% of the lot area.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 9.17m.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 17.22m.
- Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey is 4.00m².
The proposed platform at or above the second storey is 5.10m².
- Chapter 10.20.40.70.(4), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.52m.
- Chapter 10.20.40.70.(4), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.52m.

7. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.70% of the lot area.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.52m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.52m.
10. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m and 18.90m with a one-storey rear extension.
The proposed building length is 17.32m and 19.24m including the rear one-storey extension.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.23m.
12. **Section 13.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.80m².
The proposed balcony area is 5.10m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.70% of the lot area.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 9.17m.
3. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 17.22m.
4. **Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey is 4.00m².
The proposed platform at or above the second storey is 5.10m².
7. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.70% of the lot area.

10. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m and 18.90m with a one-storey rear extension.
The proposed building length is 17.32m and 19.24m including the rear one-storey extension.

11. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.23m.

12. Section 13.2.6A, By-law No. 7625

The maximum permitted balcony area is 3.80m².
The proposed balcony area is 5.10m².

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

5. Chapter 10.20.40.70.(4), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.52m.

6. Chapter 10.20.40.70.(4), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.52m.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.52m.

9. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.52m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

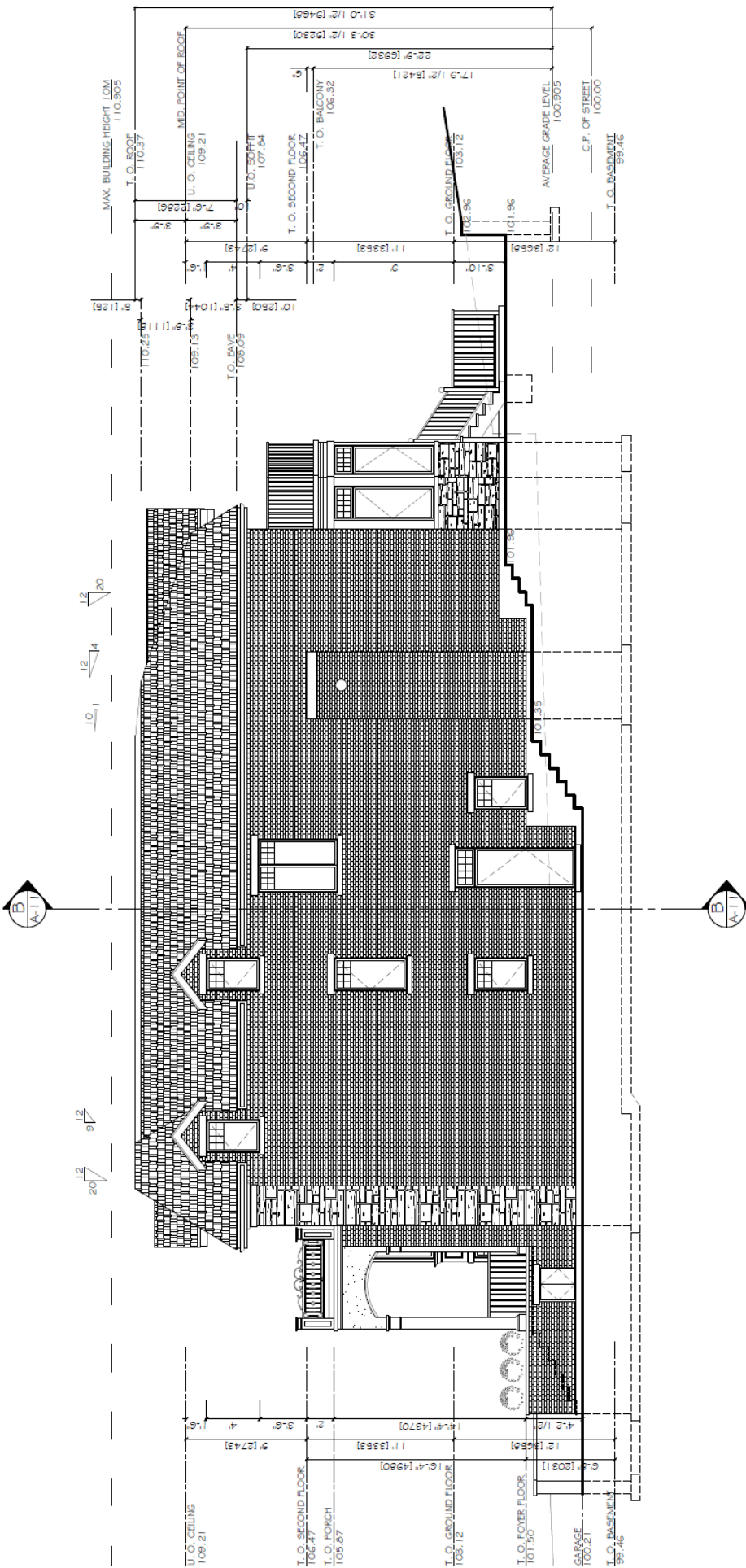
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

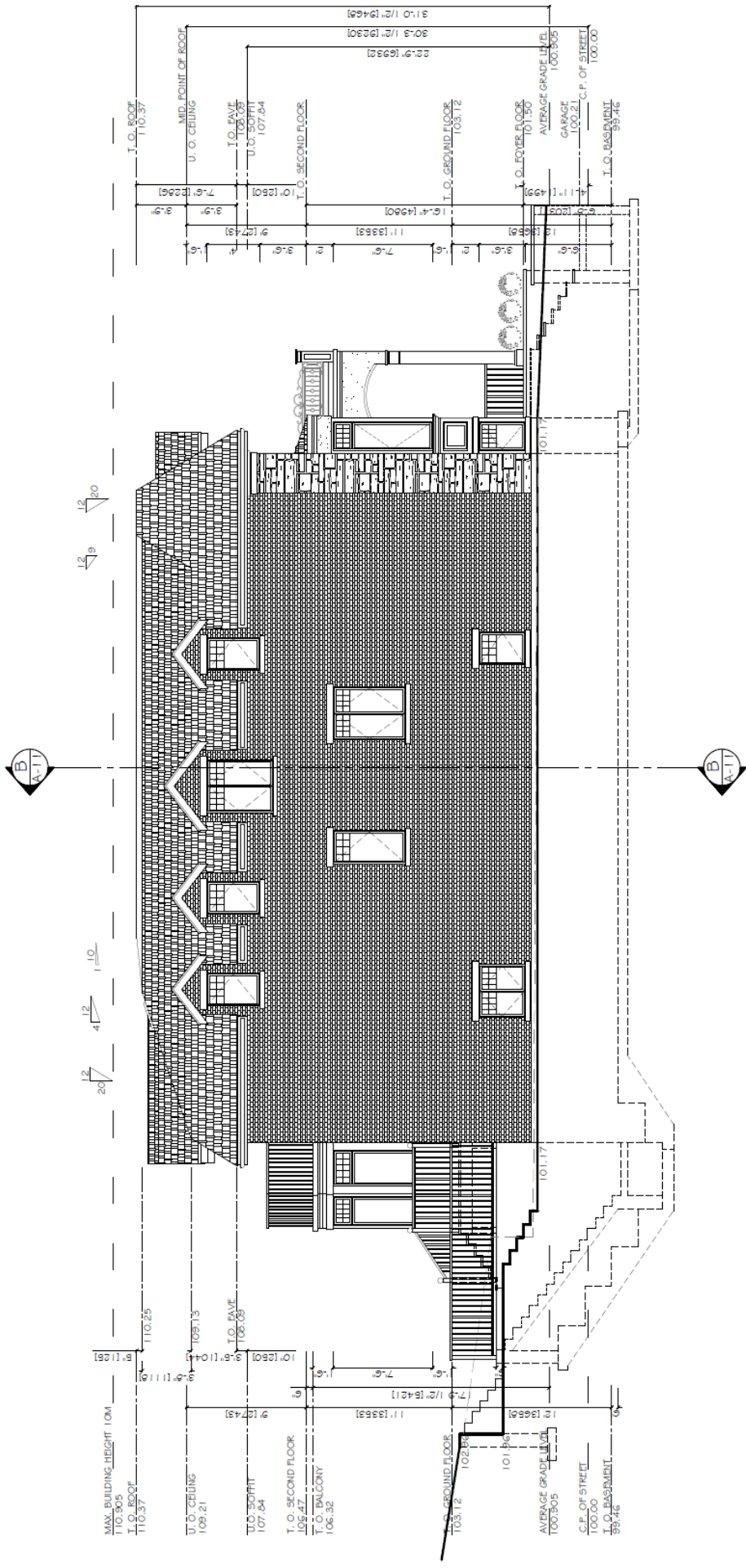
- 1)** The proposal be developed in accordance with the east and west elevation drawings.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



EAST ELEVATION

A-9

G3 WHITTAKER CRESCENT, TORONTO, ONTARIO
 OU DESIGN INC. SCALE: 1/8" = 1'-0"



WEST ELEVATION

A-7

G3 WHITTAKER CRESCENT, TORONTO, ONTARIO
 OU DESIGN INC. SCALE: 1/8" = 1'-0"

SIGNATURE PAGE

File Number:	A0392/17NY	Zoning	RD/R4 [ZZC]
Owner:	XIAOSHA BAI CHUAN MING TIAN	Ward:	Willowdale (24)
Agent:	OU DESIGN INC	Heritage:	Not Applicable
Property Address:	63 WHITTAKER CRES	Community:	North York
Legal Description:	PLAN 4794 LOT 29		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0393/17NY	Zoning	RD / R3 (ZR)
Owner(s):	WEI YANG	Ward:	Don Valley East (33)
Agent:	EZDA	Heritage:	Not Applicable
Property Address:	5 ALAMOSA DR	Community:	North York
Legal Description:	PLAN 66M786 LOT 46 PT LOT 45 RP 66R1836 PARTS 3 AND 4		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with integral garage. The existing dwelling is to be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 17.83 m.
- 2. Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second story of a detached house is 4.0 m².
The proposed area of each platform at or above the second storey is 5.8 m².
- 3. Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 17.66 m.
- 4. Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.39 m.
- 5. Section 12.7A, By-law No. 7625**
The maximum permitted balcony area is 3.8 m²
The proposed balcony area is 5.8 m².
- 6. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.78 m.

7. Section 6(24), By-law No. 7625

The maximum projection of an unexcavated deck in the rear is 2.1 m from the wall if it is greater than 1 m above all points of the adjacent ground.

The proposed deck projects **2.50m**.

8. Section 6(9)(c), By-law No. 7625

Porches 2.3 m² or less in area, shall be permitted to project into one minimum side yard setback only, no more than 1.6 m, but no closer than 0.6 m from any side lot line.

The proposed side porch is 2.5 m² in area and projects 1.65 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

2) The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 27, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

GENERAL NOTES:

1. THESE PLANS AND THE CONSTRUCTION OF THE PROJECT ARE THE PROPERTY OF THE DESIGNER AND WILL BE PROVIDED TO YOU WITHOUT CHARGE. ANY REVISIONS WILL BE MADE WITHOUT CHARGE.
2. THESE PLANS ARE FOR INFORMATION ONLY. THE DESIGNER IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT OR FOR THE RESULTS THEREOF.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

NO.	REVISION	DATE
1	ISSUE	14.07.17
2	ISSUE	14.07.17

PROJECT ADDRESS:
5 ALAMOSA DRIVE
TORONTO ONTARIO

PROJECT NO: 1702-03
DRAWING TITLE: SITE PLAN

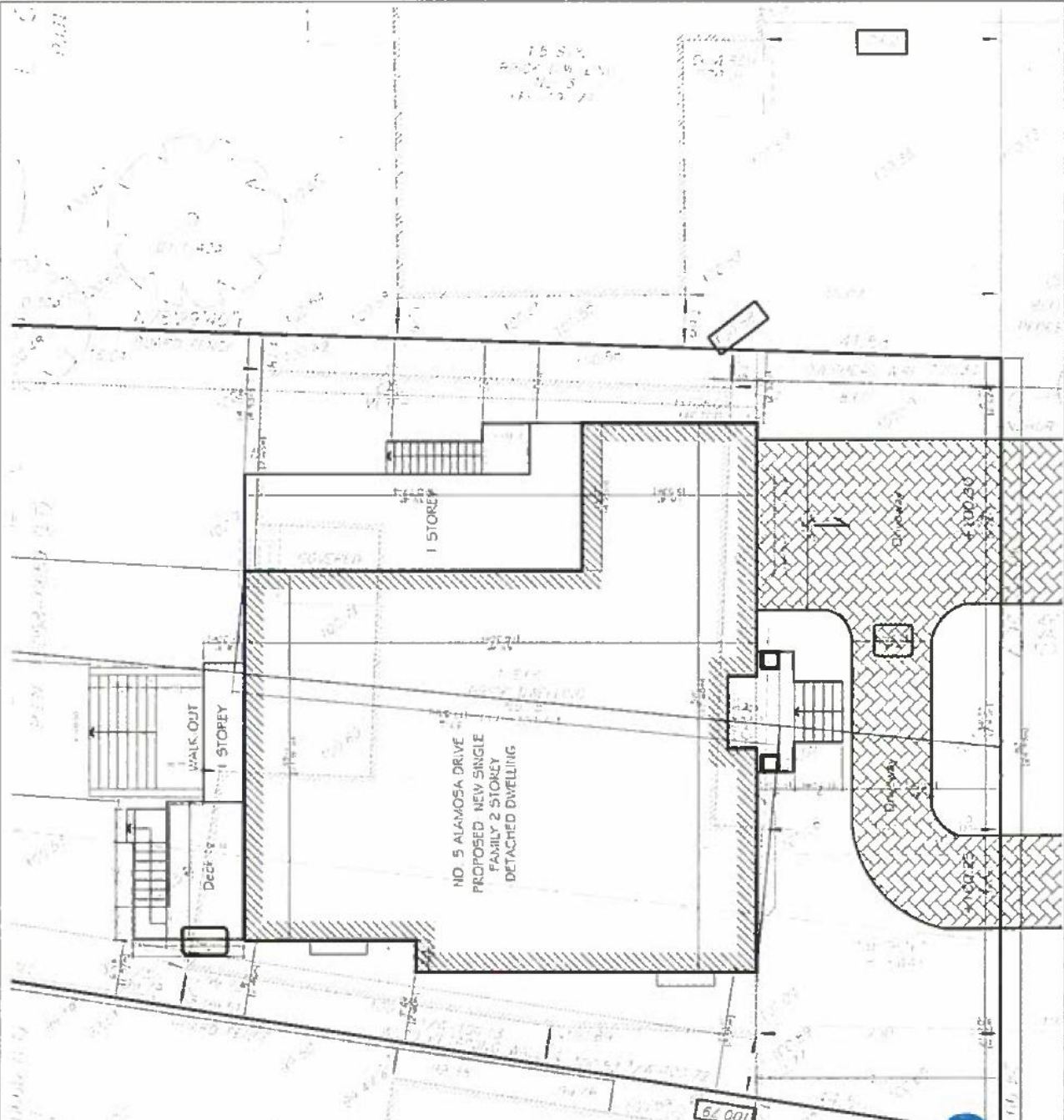
NO.	REVISION	DATE
1	ISSUE	14.07.17

ELMIRA ZARRABI
DESIGN ASSOCIATES
100 BAYVIEW AVE. #100
SCARBOROUGH, ONTARIO M1S 5B7
TEL: (416) 291-8851
WWW.EZARRABI.COM

STRUCTURAL ENGINEER

SCALE	DATE
3/32" = 1'-0"	17
CHECKED BY	DATE

A1



RECEIVED

JUN 27 2017

Toronto City Planning
North York District

SIGNATURE PAGE

File Number:	A0393/17NY	Zoning	RD / R3 (ZR)
Owner:	WEI YANG	Ward:	Don Valley East (33)
Agent:	EZDA	Heritage:	Not Applicable
Property Address:	5 ALAMOSA DR	Community:	North York
Legal Description:	PLAN 66M786 LOT 46 PT LOT 45 RP 66R1836 PARTS 3 AND 4		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0394/17NY	Zoning	RD (f30.0; a2700) (x69)/R1(4)[ZONING]
Owner(s):	FATEMEH ZOLFAGHARI AMIR H KARBALAEI HEIDAR	Ward:	Don Valley West (25)
Agent:	AMIR HAJIMOHAMMAD	Heritage:	Not Applicable
Property Address:	25 COUNTRY LANE	Community:	North York
Legal Description:	PLAN 5005 LOT 4 PT LOT 3		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25% of the lot area.
The proposed lot coverage is 26.9% of the lot area.
- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 11.5m.
The proposed building height is 11.95m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of the exterior portion of main walls for a detached house is 7.5m.
The proposed height all exterior main walls is 9.37m.
- Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0m².
The proposed area of each platform at or above the second storey is 20m².
- Section 10.2.4, By-law No. 7625**
The maximum permitted lot coverage is 25% of the lot area.
The proposed lot coverage is 26.9% of the lot area.

6. Section 10.2.6, By-law No. 7625

The maximum permitted building height is 9.5m.

The proposed building height is 10.82m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The requirements of the Parks and Recreation, Urban Forestry Division.**

SIGNATURE PAGE

File Number:	A0394/17NY	Zoning	RD (f30.0; a2700) (x69)/R1(4)[ZONING]
Owner:	FATEMEH ZOLFAGHARI AMIR H KARBALAEI HEIDAR	Ward:	Don Valley West (25)
Agent:	AMIR HAJIMOHAMMAD	Heritage:	Not Applicable
Property Address:	25 COUNTRY LANE	Community:	North York
Legal Description:	PLAN 5005 LOT 4 PT LOT 3		

Beth Levy (signed) Bruce Mullock (signed) Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0395/17NY	Zoning	RD/ R4 [ZZC]
Owner(s):	MOHAMMAD SHOAB ANAS SHOAB	Ward:	Willowdale (23)
Agent:	DONYA DESIGN	Heritage:	Not Applicable
Property Address:	501 HOUNSLOW AVE	Community:	Morningside Heights Community
Legal Description:	PLAN 2057 WPT EPT 158		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling. The existing welling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.100.1, By-law No. 569-2013**
The maximum permitted driveway width is 5.58m.
The proposed driveway width is 5.77m.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 7.62m.
- 3. Chapter 10.20.40.20(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is **17.19m**.
- 4. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.
- 5. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.

6. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.
9. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.06m** to a portion of the roof at the front of the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.100.1, By-law No. 569-2013**
The maximum permitted driveway width is 5.58m.
The proposed driveway width is 5.77m.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 7.62m.
3. **Chapter 10.20.40.20(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is **17.19m**.
4. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.
9. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.06m** to a portion of the roof at the front of the dwelling.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

5. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
6. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0395/17NY	Zoning	RD/ R4 [ZZC]
Owner:	MOHAMMAD SHOAIB ANAS SHOAIB	Ward:	Willowdale (23)
Agent:	DONYA DESIGN	Heritage:	Not Applicable
Property Address:	501 HOUNSLOW AVE	Community:	Morningside Heights Community
Legal Description:	PLAN 2057 WPT EPT 158		

Nazila Atarodi (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, July 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0396/17NY	Zoning	RD/R5 [ZZC]
Owner(s):	KAREN HAYEEMS MARK HAYEEMS	Ward:	Don Valley West (25)
Agent:	MARK HAYEEMS	Heritage:	Not Applicable
Property Address:	10 BERKINSHAW CRES	Community:	North York
Legal Description:	PLAN 4332 PT LOTS 318 & 319		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 31.10% of the lot area.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 17.61m.
- Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 31.40% of the lot area.
- Section 14.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.91m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0396/17NY	Zoning	RD/R5 [ZZC]
Owner:	KAREN HAYEEMS MARK HAYEEMS	Ward:	Don Valley West (25)
Agent:	MARK HAYEEMS	Heritage:	Not Applicable
Property Address:	10 BERKINSHAW CRES	Community:	North York
Legal Description:	PLAN 4332 PT LOTS 318 & 319		

Beth Levy (signed)

Nazila Atarodi (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, July 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0398/17NY	Zoning	RD (f12.0; a370) (x1463)/R6[ZONING]
Owner(s):	JULIA BORINS LARRY BORINS	Ward:	York Centre (10)
Agent:	SIMON WEST	Heritage:	Not Applicable
Property Address:	236 DELHI AVE	Community:	North York
Legal Description:	PLAN 2044 PT LOTS 1051 & 1052		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.30.40, By-law No. 569-2013**
The minimum required deck lot coverage is no more than 5% of the lot area.
The proposed deck lot coverage is 5.45% of the lot area.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.1% of the lot area.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed west side yard setback is 0.910m.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of the front exterior main wall is 7.5m.
The proposed height of the front exterior main wall is 9.10m.
- 5. Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is 0.91m.

6. Section 14-A(6), By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.1% of the lot area.

7. Section 6(24)b, By-law No. 7625

The minimum required deck lot coverage is no more than 5% of the lot area.
The proposed deck lot coverage is 5.45% of the lot area.

8. Section 6(24)c, By-law No. 7625

The maximum permitted deck encroachment is 2.10m and 1.0m in height.
The proposed deck encroachment is 5.305m and 1.15m in height.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

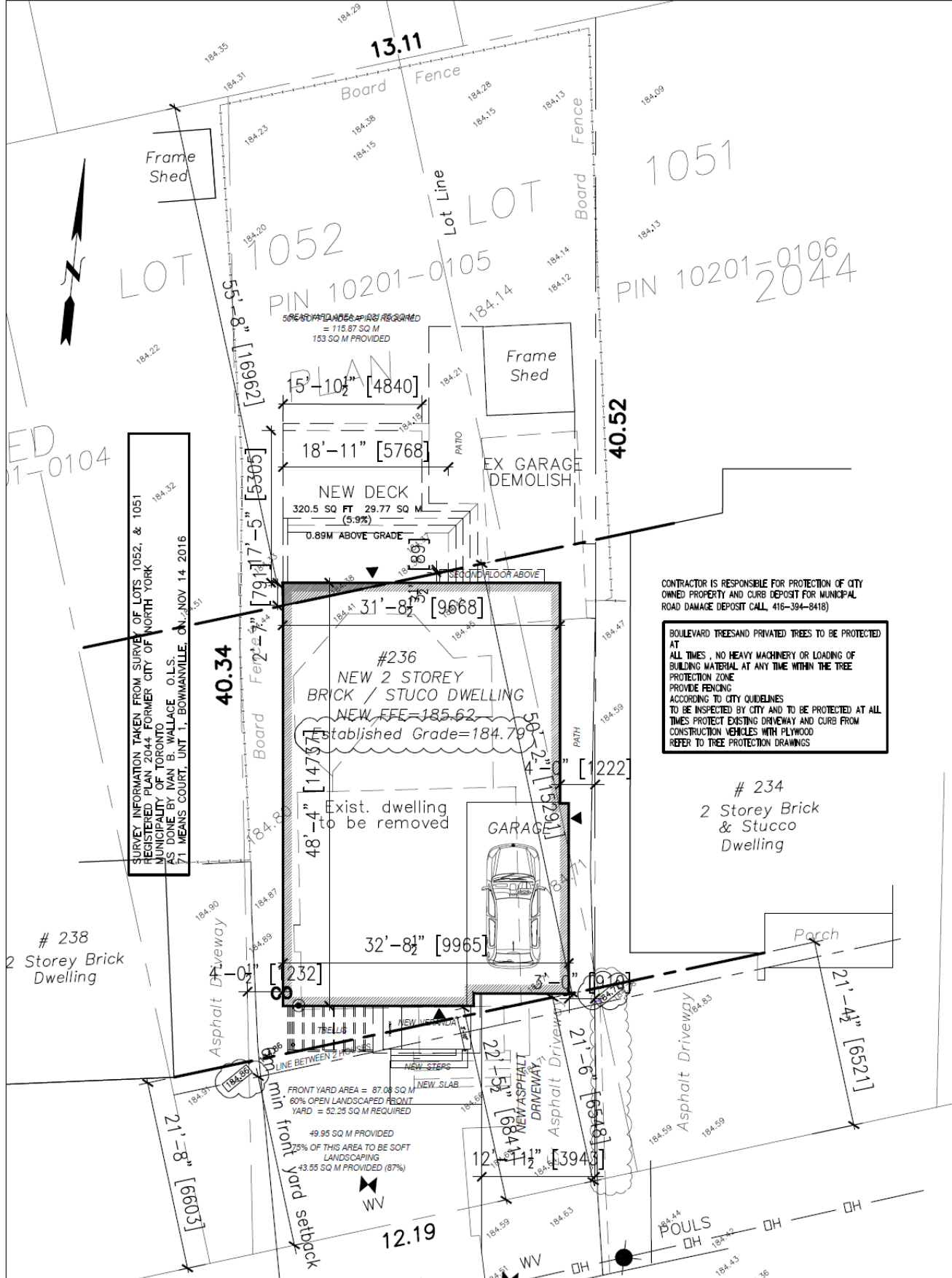
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The property being developed essentially in accordance with the site plan attached to this decision, dated June 3, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) **The requirements of the Parks and Recreation, Urban Forestry Division;**
 - i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.



SURVEY INFORMATION TAKEN FROM SURVEY OF LOTS 1052, & 1051 REGISTERED PLAN 2044 FORMER CITY OF NORTH YORK MUNICIPALITY OF TORONTO AS DONE BY DAN B. WALLACE O.L.S. 71 MEANS COURT, UNIT 1, BOWMANVILLE, ON, NOV 14, 2016

CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF CITY OWNED PROPERTY AND CURB DEPOSIT FOR MUNICIPAL ROAD DAMAGE DEPOSIT CALL 416-394-8418)

BOULEVARD TREES AND PRIVATE TREES TO BE PROTECTED AT ALL TIMES, NO HEAVY MACHINERY OR LOADING OF BUILDING MATERIAL AT ANY TIME WITHIN THE TREE PROTECTION ZONE PROVIDE FENCING ACCORDING TO CITY GUIDELINES TO BE INSPECTED BY CITY AND TO BE PROTECTED AT ALL TIMES PROTECT EXISTING DRIVEWAY AND CURB FROM CONSTRUCTION VEHICLES WITH PLYWOOD REFER TO TREE PROTECTION DRAWINGS

PROJECT: 2 STOREY RESIDENCE		DWG NO.: A0
TITLE: SITE PLAN		
LOCATION: 236 DELHI AVENUE TORONTO, ONT.		
DESIGNED: S.W.	DRAWN: S.W.	JOB:
CHECKED: S.W.	DATE: 3/08/17	
SCALE: 1:125		

SIGNATURE PAGE

File Number:	A0398/17NY	Zoning	RD (f12.0; a370) (x1463)/R6[ZONING]
Owner:	JULIA BORINS LARRY BORINS	Ward:	York Centre (10)
Agent:	SIMON WEST	Heritage:	Not Applicable
Property Address:	236 DELHI AVE	Community:	North York
Legal Description:	PLAN 2044 PT LOTS 1051 & 1052		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0399/17NY	Zoning	RD (f10.5; d0.35)(x1413)/ R1 Z0.35 [ZZC]
Owner(s):	MELANIE ROWAND	Ward:	Eglinton-Lawrence (16)
Agent:	STRATA DESIGN & DEVELOP INC	Heritage:	Not Applicable
Property Address:	91 GLENGROVE AVE W	Community:	Toronto
Legal Description:	PLAN M87 PT LOT 133		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new rear-yard garage with attached cabana and an in-ground pool. The existing garage would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.100.1(2)(B)(II), By-Law No. 569-2013**
The maximum width of a driveway is the width of the parking space: the proposed parking space width is 3.06m.
The proposed width of the driveway is 3.16m.
- 2. Chapter 10.5.60.20.(2)(b), By-law No. 569-2013**
The minimum required rear yard setback for the ancillary building is 2.13m.
The proposed rear yard setback for the ancillary building is 0.39m.
- 3. Chapter 10.5.60.40.(2), By-law No. 569-2013**
The maximum height of an ancillary building is 4.000m.
The proposed height of the ancillary building is 4.269m.
- 4. Chapter 10.5.60.60.(1), By-law No. 569-2013**
The rear yard setback on the south side is 2.13m, so the eaves may encroach up to 1.83m.
The proposed eaves are 0.16m from the south lot line.
- 5. Chapter 10.5.50.10.(3), By-law No. 569-2013**
The minimum required rear yard soft landscaping is 50.00% of the lot area.
The propose rear yard soft landscaping is 43.40% of the lot area.

6. Chapter 200.5.1.10.(2), By-law No. 569-2013

The minimum required parking space must have a minimum width of 3.20m.
The proposed parking space(s) will have a width of 3.06m.

7. Section 6(3) Part II 7(I), By-law No. 438-86

Accessory structures must have a minimum lot line setback of 3.00m from all lot lines.
The proposed east lot line setback is 0.39m.

8. Section 4(2)(d)(1), By-law No. 438-86

The maximum permitted height of an accessory structure is 4.000m.
The proposed accessory structure is 4.269m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Permeable pavers are to be used in the construction of the proposed rear driveway.

SIGNATURE PAGE

File Number:	A0399/17NY	Zoning	RD (f10.5; d0.35)(x1413)/ R1 Z0.35 [ZZC]
Owner:	MELANIE ROWAND	Ward:	Eglinton-Lawrence (16)
Agent:	STRATA DESIGN & DEVELOP INC	Heritage:	Not Applicable
Property Address:	91 GLENGROVE AVE W	Community:	Toronto
Legal Description:	PLAN M87 PT LOT 133		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0400/17NY	Zoning	RD/R7 [ZZC]
Owner(s):	SHIMA SADAT SHIVAIE	Ward:	Eglinton-Lawrence (16)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	159 ROE AVE	Community:	North York
Legal Description:	PLAN 1892 PT LOT 85		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 4.30m² within 4.00m of the main front wall.
- Chapter 10.5.50.10.(1), By-law No. 569-2013**
The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is **72.00%**.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **38.00%** of the lot area.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is **1.22m**.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is **0.90m**.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is **7.92m**.

7. **Section 14-B(3), By-law No. 7625**
The minimum required lot area is 278.00m².
The existing lot area is 185.60m².
8. **Section 14-B(4), By-law No. 7625**
The minimum required lot frontage is 9.00m.
The existing lot frontage is 7.62m.
9. **Section 14-B(5)(b), By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is **0.90m**.
10. **Section 14-B(6), By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **38.00%** of the lot area.
11. **Section 14-B(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.15m.
12. **Section 14-B(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is **16.61m**.
13. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed, in this case 9.00m.
The existing lot width is 7.62m.
14. **Section 7.4B, By-law No. 7625**
The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is **72.00%**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.

ii) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0400/17NY	Zoning	RD/R7 [ZZC]
Owner:	SHIMA SADAT SHIVAIE	Ward:	Eglinton-Lawrence (16)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	159 ROE AVE	Community:	North York
Legal Description:	PLAN 1892 PT LOT 85		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0403/17NY	Zoning	RD (f5.0; a550)(x5)/R4[ZONING]
Owner(s):	CATHY TSIALTAS PETER TSIALTAS	Ward:	Don Valley East (34)
Agent:	GEORGE TSIALTAS	Heritage:	Not Applicable
Property Address:	25 TREADGOLD CRES	Community:	North York
Legal Description:	PLAN 5439 LOT 149		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition to the north east portion of the existing one-storey dwelling. The existing deck would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The required minimum rear yard setback is 8.65m.
The proposed rear yard setback is 7.69m.
- 2. Section 13.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5 m.
The proposed rear yard setback is 7.69m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division. June 27, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0403/17NY	Zoning	RD (f5.0; a550)(x5)/R4[ZONING]
Owner:	CATHY TSIALTAS PETER TSIALTAS	Ward:	Don Valley East (34)
Agent:	GEORGE TSIALTAS	Heritage:	Not Applicable
Property Address:	25 TREADGOLD CRES	Community:	North York
Legal Description:	PLAN 5439 LOT 149		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0404/17NY	Zoning	RD (f18;a690)/ R3 [ZZC]
Owner(s):	JENNY NG MIAN TAN	Ward:	Don Valley West (25)
Agent:	LORNE ROSE LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	137 STRATFORD CRES	Community:	North York
Legal Description:	PLAN 3678 LOT 49		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70(1), By-law No. 569-2013**
The minimum required front yard setback is 8.45m.
The proposed front yard setback is 7.50m.
- 2. Chapter 10.20.30.40.(1A), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **37.00%** of the lot area.
- 3. Chapter 10.20.40.10.(1A), By-law No. 569-2013**
The maximum permitted height of a building is 10.00m.
The proposed height of the building is **10.56m**.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 17.42m.
- 5. Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.42m.

6. Section 12.6, By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **37.00%** of the lot area.

7. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is **9.72m**.

8. Section 6(24), By-law No. 7625

Rear decks greater than 1.00m in height may not project more than 2.10m from the wall and must be less than 0.50 times the width of the dwelling.
The proposed rear deck is greater than 1.00m in height, projects 4.57m from the wall and is 0.65 times the width of the dwelling.

9. Section 6(24), By-law No. 7625

The maximum size of a deck is 5.00% of the lot area.
The proposed rear deck is **5.5%** of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application.
The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0404/17NY	Zoning	RD (f18;a690)/ R3 [ZZC]
Owner:	JENNY NG MIAN TAN	Ward:	Don Valley West (25)
Agent:	LORNE ROSE LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	137 STRATFORD CRES	Community:	North York
Legal Description:	PLAN 3678 LOT 49		

Beth Levy (signed) Bruce Mullock (signed) Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0405/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner(s):	LILLI CLAY	Ward:	Eglinton-Lawrence (16)
Agent:	SPRAGGE + COMPANY ARCHITECTS	Heritage:	Not Applicable
Property Address:	53 CHUDLEIGH AVE	Community:	Toronto
Legal Description:	PLAN 605E PT LOT 89		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey addition to the rear of the existing dwelling. The existing covered porch would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.35 times the lot area.
The proposed floor space index is 0.634 times the lot area.
- 2. Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.35 times the lot area.
The proposed gross floor area is 0.634 times the lot area.
- 3. Section 4(4)(c)(i), By-law No. 438-86**
The minimum required driveway width is 2.60m.
The proposed driveway width is 2.11m.
- 4. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 0.90m.
The proposed west side yard setback is 0.82m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0405/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner:	LILLI CLAY	Ward:	Eglinton-Lawrence (16)
Agent:	SPRAGGE + COMPANY ARCHITECTS	Heritage:	Not Applicable
Property Address:	53 CHUDLEIGH AVE	Community:	Toronto
Legal Description:	PLAN 605E PT LOT 89		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0406/17NY	Zoning	RD / R5 (ZR)
Owner(s):	LINA MICELI	Ward:	York Centre (09)
Agent:	HARRY MARDIROSSIAN ARCHITECT	Heritage:	Not Applicable
Property Address:	54 WHITBURN CRES	Community:	North York
Legal Description:	PLAN 4503 LOT 83		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To enclosed the existing covered porch on the front of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 7.66 m.
The proposed front yard setback is 5.68 m.
- 2. Section 14.2.3(a), By-law No. 7625**
The minimum required front yard setback is 7.5 m (plus or minus 1 m).
The proposed front yard setback is 5.68 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be constructed in accordance with the west elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 23, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0406/17NY	Zoning	RD / R5 (ZR)
Owner:	LINA MICELI	Ward:	York Centre (09)
Agent:	HARRY MARDIROSSIAN ARCHITECT	Heritage:	Not Applicable
Property Address:	54 WHITBURN CRES	Community:	North York
Legal Description:	PLAN 4503 LOT 83		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0407/17NY	Zoning	RD (f10.5; d0.35) (x1413)/R1 Z0.35[ZONING]
Owner(s):	RACHEL ANN BLANCHETTE JOHN STANLEY BLANCHETTE	Ward:	Eglinton-Lawrence (16)
Agent:	CULMONE AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	50 GLENCAIRN AVE	Community:	Toronto
Legal Description:	PLAN M87 PT LOT 143		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey rear addition including an attached garage at the rear of the existing two-storey dwelling. The existing one-storey rear addition would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.35 times the area of the lot.
The proposed Floor Space Index is 0.49 times the area of the lot.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 19.17m.
- 3. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 21.14m.
- 4. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 8.37m.
The proposed rear yard setback is 6.76m.
- 5. Chapter 10.5.100.1.(2), By-law No. 569-2013**
The maximum permitted driveway width is 3.50m.
The proposed driveway width is 6.00m.

6. **Section 6(3) Part II 3.A(I), By-law No. 438-86**
The minimum required flanking street setback is 4.57m.
The proposed flanking street setback is 2.43m.
7. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line for that portion of the building exceeding 17.0m. in depth is 7.5m.
The proposed east side lot line setback is 2.42m.
8. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.
The proposed Gross Floor Area is 0.49 times the area of the lot.
9. **Section 6(3) Part II, By-law No. 438-86**
The minimum required rear yard setback is 7.5m.
The proposed rear yard setback is 6.76m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

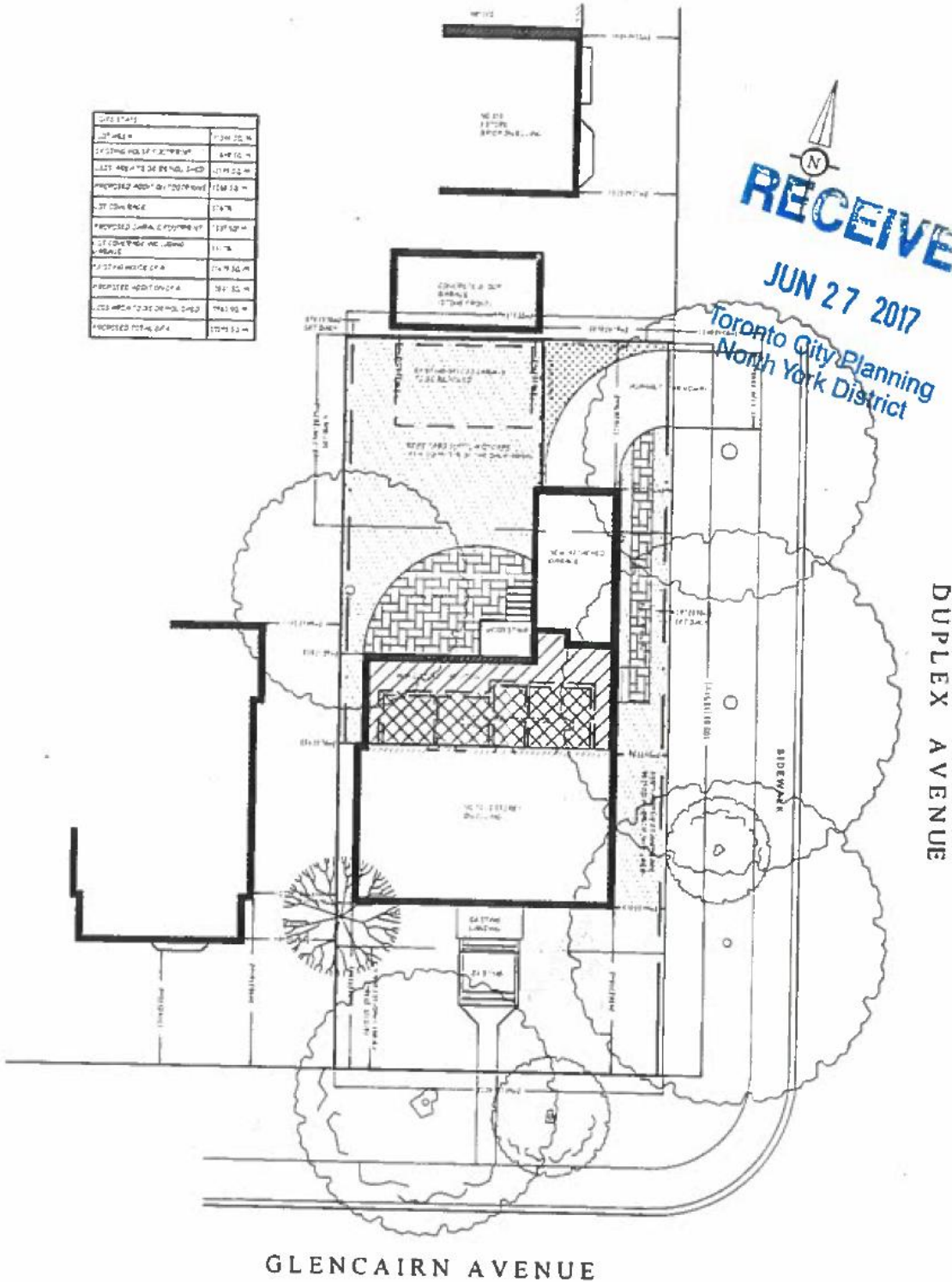
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be constructed in accordance with the site plan and east elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 27, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SITE DATA	
LOT AREA	17,341.20 sq. ft.
EXISTING HOUSE FOOTPRINT	4,847.00 sq. ft.
EXIST. AREA TO BE DEMOLISHED	12,494.20 sq. ft.
PROPOSED ADDITIONAL FOOTPRINT	12,494.20 sq. ft.
NET COVERED AREA	17,341.20 sq. ft.
PROPOSED GARAGE FOOTPRINT	1,237.50 sq. ft.
NET COVERED AREA (INCLUDING GARAGE)	18,578.70 sq. ft.
EXISTING HOUSE COV.	17,341.20 sq. ft.
PROPOSED ADDITIONAL COV.	12,494.20 sq. ft.
NET AREA TO BE DEMOLISHED	12,494.20 sq. ft.
PROPOSED TOTAL COV.	17,341.20 sq. ft.

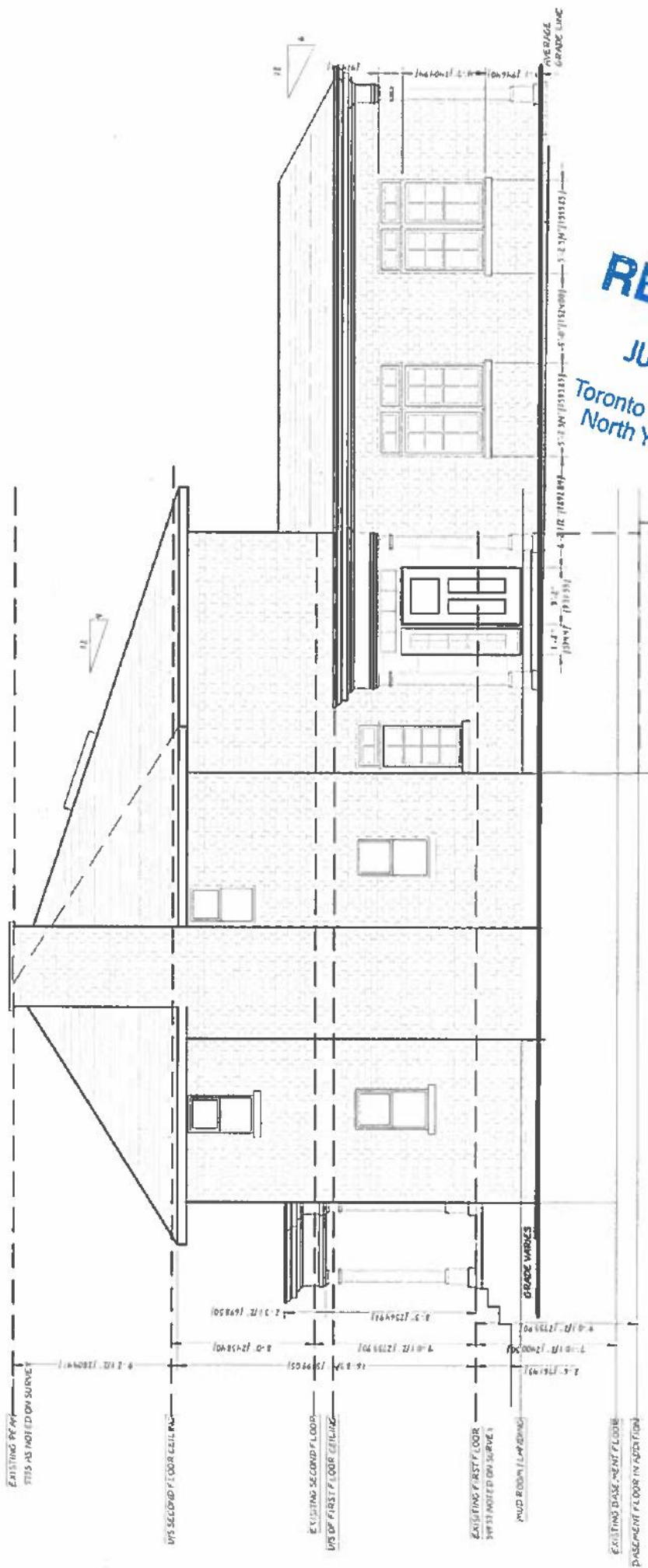


SITE PLAN

SCALE: 1/16" = 1'0"

Mr and Mrs Blanchette
50 Glencairn Ave
Toronto, ON

A1



Mr and Mrs Blanchette
 50 Glencarr Ave
 Toronto, ON

RECEIVED
 JUN 27 2017
 Toronto City Planning
 North York District

SCALE: 3/16" = 1'0"

EAST SIDE ELEVATION
 Revised 06/23/17

SIGNATURE PAGE

File Number:	A0407/17NY	Zoning	RD (f10.5; d0.35) (x1413)/R1 Z0.35[ZONING]
Owner:	RACHEL ANN BLANCHETTE JOHN STANLEY BLANCHETTE	Ward:	Eglinton-Lawrence (16)
Agent:	CULMONE AND ASSOCIATES	Heritage:	Not Applicable
Property Address:	50 GLENCAIRN AVE	Community:	Toronto
Legal Description:	PLAN M87 PT LOT 143		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0410/17NY	Zoning	RD / R4 (ZR)
Owner(s):	PAULA JORDANA STERN PIERRE COTE	Ward:	Don Valley West (25)
Agent:	TREVOR KEIR DESIGN	Heritage:	Not Applicable
Property Address:	144 YORK MILLS RD	Community:	North York
Legal Description:	PLAN M459 LOT 8		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second story addition to the existing 1 storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 6.93 m.
The existing and proposed front yard setback is 6.34 m
- 2. Chapter 10.20.40.70.(4), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m where the required minimum frontage is 12.0 m to less than 18.0 m.
The existing and proposed west side yard setback is 0.9 m.
- 3. Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The existing lot area is 542.67 m².
- 4. Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 14.24 m.
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum required west side yard setback is 1.8 m.
The existing and proposed west side yard setback is 0.9 m.

6. Section 6(9), By-law No. 7625

The maximum area of a canopy in the side yard is 2.3 m².

The proposed area of the canopy is 2.89 m².

7. Section 13.2.3(b), By-law No. 7625

The minimum required east side yard setback is 1.2 m.

The existing east side yard setback is 1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0410/17NY	Zoning	RD / R4 (ZR)
Owner:	PAULA JORDANA STERN PIERRE COTE	Ward:	Don Valley West (25)
Agent:	TREVOR KEIR DESIGN	Heritage:	Not Applicable
Property Address:	144 YORK MILLS RD	Community:	North York
Legal Description:	PLAN M459 LOT 8		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0411/17NY	Zoning	RD(f15.0; a550)(x5)/R4[ZONING]
Owner(s):	MICHAEL DEPELLEGRIN	Ward:	York Centre (10)
Agent:	FRANK DI ROMA	Heritage:	Not Applicable
Property Address:	265 SEARLE AVE	Community:	North York
Legal Description:	PLAN 1899 PT LOTS 66 AND 67 RP 66R19849 PART 1		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear deck to the existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.60.(1), By-law No. 569-2013

A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5m if it is no closer to a side lot line than the height of the upper and lower deck: 2.53m and 1.2m.
The proposed upper platform encroaches 1.64m into the required rear yard setback and is 2.49m from the east side lot line.

2. Chapter 10.5.40.60.(1), By-law No. 569-2013

A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5m if it is no closer to a side lot line than the height of the upper and lower deck: 2.53m and 1.2m.
The proposed lower platform encroaches 5.36m into the required rear yard setback and is 1.77m from the east side lot line.

3. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 33.8% of the lot area.

4. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.77m.

5. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.77m.
6. **Section 6(24)(a), By-law No. 7625**
All unexcavated porches or decks, attached to or detached from the main building, and located in the side and rear yard, shall not occupy more than 5% of the lot area.
The proposed deck is 5.76% of the lot area.
7. **Section 6(24)(c), By-law No. 7625**
The maximum permitted rear deck projection is 2.1m having an above height of 1.0m and a width no greater than half the width of the dwelling: 4.4m.
The proposed height of the upper deck projection is 3.01m with a height of 2.53m and is 5.94m wide.
8. **Section 6(24)(c), By-law No. 7625**
The maximum permitted rear deck projection is 2.1m having an above height of 1.0m and a width no greater than half the width of the dwelling.
The proposed height of the lower deck projection is 6.31m with a height of 1.2m and is 4.92m wide.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5m if it is no closer to a side lot line than the height of the upper and lower deck: 2.53m and 1.2m.
The proposed upper platform encroaches 1.64m into the required rear yard setback and is 2.49m from the east side lot line.
2. **Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5m if it is no closer to a side lot line than the height of the upper and lower deck: 2.53m and 1.2m.
The proposed lower platform encroaches 5.36m into the required rear yard setback and is 1.77m from the east side lot line.
4. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.77m.
5. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.77m.
6. **Section 6(24)(a), By-law No. 7625**
All unexcavated porches or decks, attached to or detached from the main building, and located in the side and rear yard, shall not occupy more than 5% of the lot area.
The proposed deck is 5.76% of the lot area.

7. Section 6(24)(c), By-law No. 7625

The maximum permitted rear deck projection is 2.1m having an above height of 1.0m and a width no greater than half the width of the dwelling: 4.4m.

The proposed height of the upper deck projection is 3.01m with a height of 2.53m and is 5.94m wide.

8. Section 6(24)(c), By-law No. 7625

The maximum permitted rear deck projection is 2.1m having an above height of 1.0m and a width no greater than half the width of the dwelling.

The proposed height of the lower deck projection is 6.31m with a height of 1.2m and is 4.92m wide.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

3. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is **32.0%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0411/17NY	Zoning	RD(f15.0; a550)(x5)/R4[ZONING]
Owner:	MICHAEL DEPELLEGRIN	Ward:	York Centre (10)
Agent:	FRANK DI ROMA	Heritage:	Not Applicable
Property Address:	265 SEARLE AVE	Community:	North York
Legal Description:	PLAN 1899 PT LOTS 66 AND 67 RP 66R19849 PART 1		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0412/17NY	Zoning	RD (f15.0; a550) (x5)/ R4 [ZZC]
Owner(s):	MYRNA ABRAMOWITZ ARNOLD ABRAMOWITZ	Ward:	York Centre (10)
Agent:	DREW LASZLO ARCHITECT	Heritage:	Not Applicable
Property Address:	49 CAVOTTI CRES	Community:	North York
Legal Description:	PLAN 5595 LOT 27		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the front wall.
There is 3.72m² proposed within 6.82m of the front wall.
- 2. Chapter 10.20.30.40.(1)A), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 33.70% of the lot area.
- 3. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.
- 4. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.

6. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.
7. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 33.70% of the lot area.
8. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 16.84m.
9. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 8.99m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the front wall.
There is 3.72m² proposed within 6.82m of the front wall.
4. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.
6. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.
8. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 16.84m.
9. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 8.99m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

5. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m **for the single storey, garage portion only.**
2. **Chapter 10.20.30.40.(1A), By-law No, 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.

3. Chapter 900.3.10(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.22m **for the single storey, garage portion only.**

7. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0412/17NY	Zoning	RD (f15.0; a550) (x5)/ R4 [ZZC]
Owner:	MYRNA ABRAMOWITZ ARNOLD ABRAMOWITZ	Ward:	York Centre (10)
Agent:	DREW LASZLO ARCHITECT	Heritage:	Not Applicable
Property Address:	49 CAVOTTI CRES	Community:	North York
Legal Description:	PLAN 5595 LOT 27		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0413/17NY	Zoning:	RD/R1 Z0.35 [ZZC]
Owner(s):	WENDY SHARE	Ward:	Eglinton-Lawrence (16)
Agent:	BARA CONSULTING	Heritage:	Not Applicable
Property Address:	80 LYTTON BLVD	Community:	Toronto
Legal Description:	PLAN 1532 LOT 124		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the enclosure of the existing front porch, in conjunction with other exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 9.19m.
The proposed front yard setback is 6.58m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 18.95m.
- 3. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.35 times the lot area.
The proposed floor space index is 0.48 times the lot area.
- 4. Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.35 times the lot area.
The proposed gross floor area is 0.56 times the lot area.
- 5. Section 6(3) Part II 2(III), By-law No. 438-86**
The minimum required front yard setback is 9.19m.
The proposed front yard setback is 6.58m.
- 6. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The proposed east side yard setback is 0.90m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

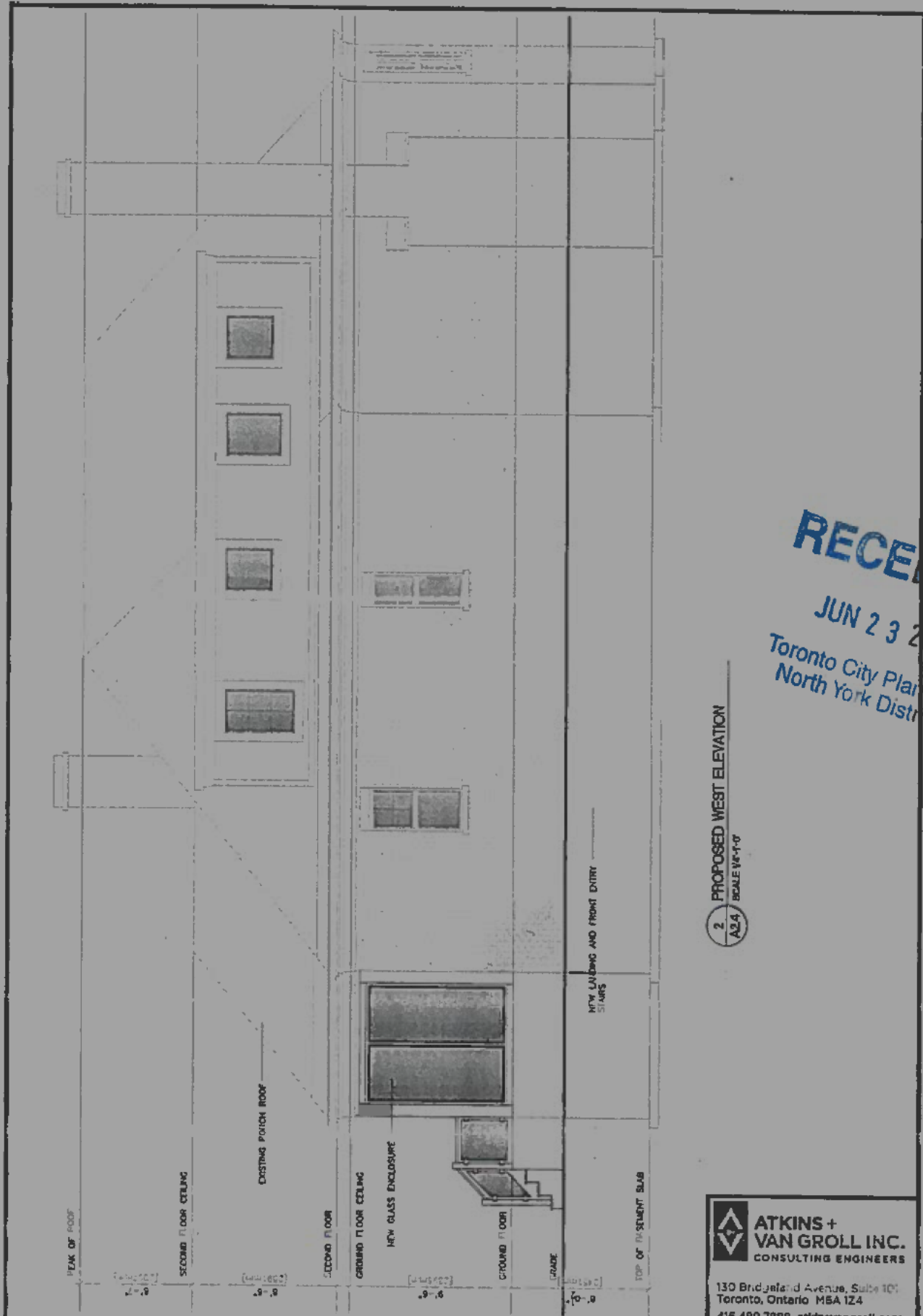
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be constructed in accordance with the site plan and west elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 23, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



RECEIVED
 JUN 23 2017
 Toronto City Planning
 North York District

2 PROPOSED WEST ELEVATION
 A2.4 SCALE 3/16\"/>

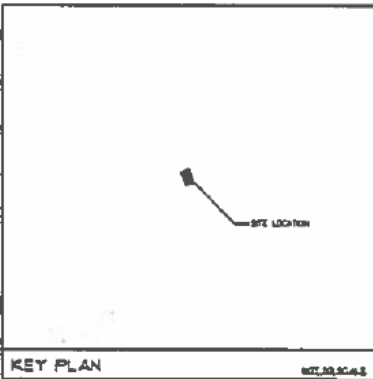
ATKINS + VAN GROLL INC.
 CONSULTING ENGINEERS
 130 Bridgeland Avenue, Suite 101
 Toronto, Ontario M5A 1Z4
 416 489 7886 atkinsvngroll.com



NO.	DATE	DESCRIPTION
1	APR. 18/17	FOR COA
REVISIONS/ISSUES		

ALTERATION TO EXISTING FAMILY DWELLING			
80 LYTTON BLVD. TORONTO, ON			
PROPOSED WEST ELEVATION			DRAWING NO.
CRAWN BY	SCALE	DATE	PROJECT No.
TT	3/16\"/>		

A2.4



LOT 87

LOT 124

LOT 124

SITE SUMMARY

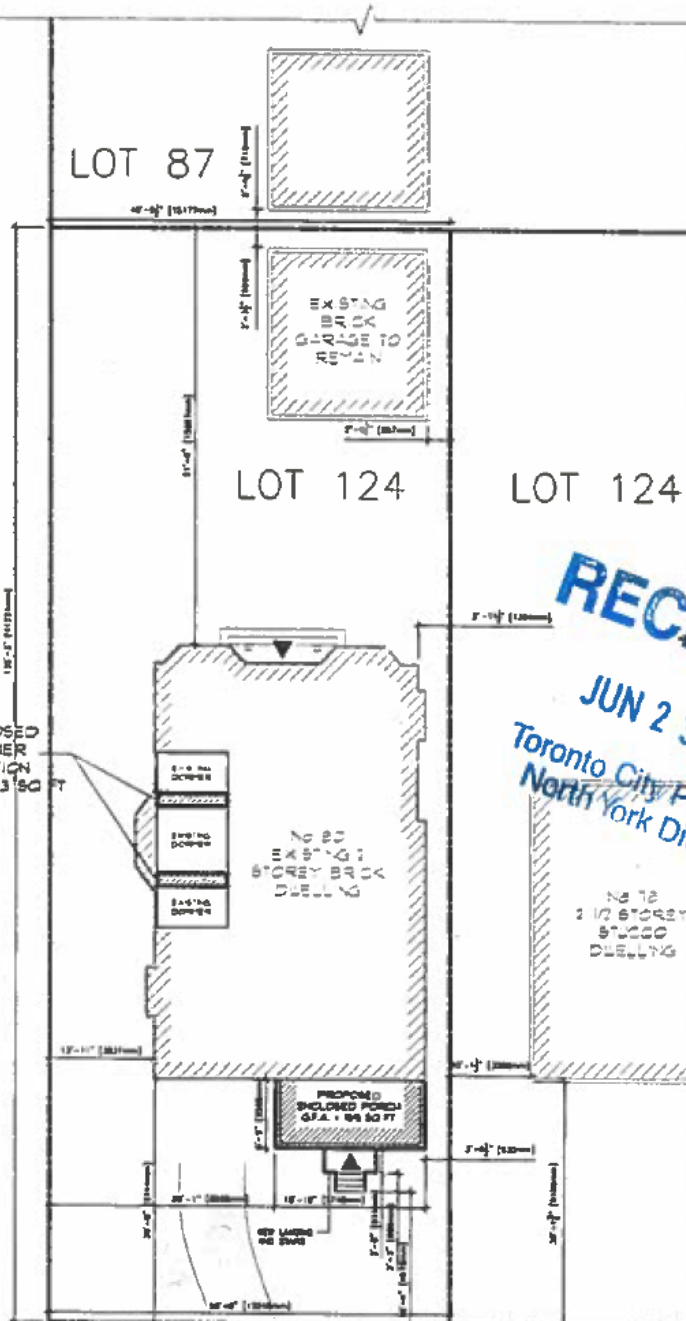
EXISTING ZONE = M (D0 35)
 EXISTING LOT AREA = 8,730 sq. ft. 807.08 sq.m
 EXISTING BUILDING AREA = 1,780 sq. ft. 164.2 sq.m
 EXISTING GARAGE AREA = 423.8 sq. ft. 39.37 sq.m
 EXISTING COVERAGE = 20.28%

GROSS-FLOOR AREA

EXISTING BASEMENT GFA (excl. 8.5m below grade) = 47.80 sq. ft. 4.41 sq.m
 EXISTING GROUND FLOOR GFA = 1,780.0 sq. ft. 164.2 sq.m
 EXISTING SECOND FLOOR GFA = 1,257.5 sq. ft. 116.8 sq.m
 TOTAL EXISTING GFA = 3094.3 sq. ft. 285.5 sq.m
 PROPOSED BASEMENT GFA (excl. 8.5m below grade) = 47.80 sq. ft. 4.41 sq.m
 PROPOSED GROUND FLOOR GFA = 1,948 sq. ft. 180.9 sq.m
 PROPOSED SECOND FLOOR GFA = 1,290.8 sq. ft. 119.9 sq.m
 TOTAL PROPOSED GFA = 3286.6 sq. ft. 305.2 sq.m

SURVEY DATA TAKEN FROM ONTARIO LAND SURVEYORS C.E. DORTCHILL LTD. DEC 15, 2003.
 SITE INFORMATION IS TAKEN FROM SURVEY SHOWING LOT 1234 REGISTERED PLAN 1532, CITY OF TORONTO.
 ATKINS AND VAN GROLL INC. IS NOT RESPONSIBLE FOR ACCURACY OF INFORMATION PROVIDED BY SURVEYOR

PROPOSED DORMER ADDITION
 G.F.A. = 333.80 sq. ft.



RECEIVED
 JUN 23 2017
 Toronto City Planning
 North York District

1 SITE PLAN (FOR REFERENCE ONLY)
 SCALE 1/8"=1'-0"

ATKINS + VAN GROLL INC.
 CONSULTING ENGINEERS

130 Bridge and Avenue, Suite 137
 Toronto, Ontario M6A 1Z4
 416 489 7888 atkinsvangroll.com



NO.	DATE	DESCRIPTION
1	APR. 18/17	FOR COA
REVISIONS/ISSUES		

ALTERATION TO EXISTING FAMILY DWELLING
 80 LYTTON BLVD.
 TORONTO, ON

PROPOSED SITE PLAN

DRAWING No. **A10**

DRAWN BY	SCALE	DATE	PROJECT No.
TT	1/16"=1'-0"	APR. 18/17	16-2429A

SIGNATURE PAGE

File Number:	A0413/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner:	WENDY SHARE	Ward:	Eglinton-Lawrence (16)
Agent:	BARA CONSULTING	Heritage:	Not Applicable
Property Address:	80 LYTTON BLVD	Community:	Toronto
Legal Description:	PLAN 1532 LOT 124		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0414/17NY	Zoning	RD / R5 (ZR)
Owner(s):	LAERTA CARCANI	Ward:	Don Valley East (34)
Agent:	GEOMETRA DESIGN LTD	Heritage:	Not Applicable
Property Address:	55 ANEWEN DR	Community:	North York
Legal Description:	PLAN M762 LOT 690		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second storey addition with integral garage to the existing dwelling. The existing garage will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.6.10.(5), By-law No. 569-2013**
The minimum east side yard setback is 1.8 m
The proposed east side yard setback is 1.2 m for the first storey side addition.
- 2. Chapter 10.5.0100.1.(100), By-law No. 569-2013**
The maximum driveway width for lots with a lot frontage of 6.0 m to 23.0 m is the lesser of 6 m or 3.17 m.
The existing driveway width is 6.59 m.
- 3. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 11.41 m
The proposed front yard setback is 10.83 m.
- 4. Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0 m.
The proposed stairs are 2.03 m wide.
- 5. Chapter 200.5.1.10.(2), By-law No. 569-2013**
The minimum required parking space must have a minimum width of 3.2 m.
The proposed parking space will have a width of 3.17 m.

6. Section 14.2.3(b), By-law No. 7625

The minimum required east side yard setback is 1.8 m.

The proposed east side yard setback is 1.2 m for the first storey side addition.

7. Section 14.2.6, By-law No. 7625

The maximum permitted building height is 8.8 m

The proposed building height is 9.36 m

8. Section 6A(3), By-law No. 7625

The minimum required parking space size is 3.2 m x 5.6 m.

The proposed parking space size is 3.17 m x 5.69 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0414/17NY	Zoning	RD / R5 (ZR)
Owner:	LAERTA CARCANI	Ward:	Don Valley East (34)
Agent:	GEOMETRA DESIGN LTD	Heritage:	Not Applicable
Property Address:	55 ANEWEN DR	Community:	North York
Legal Description:	PLAN M762 LOT 690		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0415/17NY	Zoning	RD/R1[ZONING]
Owner(s):	BEHZAD LOTFI	Ward:	Don Valley West (25)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	156 SNOWDON AVE	Community:	Toronto
Legal Description:	PLAN M370 LOT 44		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.50.10.(1), By-law No. 569-2013**
The minimum required front yard soft landscaping area is 75%.
The proposed front yard soft landscaping area is **45.00%**.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 7.98m.
- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.35 times the area of the lot.
The proposed Floor Space Index is **0.69** times the area of the lot.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 0.9m
The proposed west side yard setback is 0.46m **for the front 9.80m portion of the dwelling only.**
- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0m² of the first floor must be within 4.0m of the front main wall.
The proposed area within the front main wall is 4.46m².
- Section 6(3) part II, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.
The proposed Gross Floor Area is 0.698 times the area of the lot.

7. **Section 6(3) Part II 3B(II), By-law No. 438-86**
A minimum side lot line setback from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed east side yard setback is 1.22m.
8. **Section 6(3) Part II 2(II), By-law No. 438-86**
A minimum side lot line setback from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed west side yard setback is 4.23m.
9. **Section 6(3) Part III 3(C), By-law No. 438-86**
The minimum required front yard soft landscaping area is 75%.
The proposed front yard soft landscaping area is **45.00%**.
10. **Section Part II 3.B(II), By-law No. 438-86**
A minimum side lot line setback from the side lot line for that portion of the building not exceeding 17.0m in depth is 0.9m.
The proposed west side lot line is 0.46m **for the front 9.80m portion of the dwelling only.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 7.98m.
4. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 0.9m
The proposed west side yard setback is 0.46m **for the front 9.80m portion of the dwelling only.**
5. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0m² of the first floor must be within 4.0m of the front main wall.
The proposed area within the front main wall is 4.46m².
7. **Section 6(3) Part II 3B(II), By-law No. 438-86**
A minimum side lot line setback from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed east side yard setback is 1.22m.
8. **Section 6(3) Part II 2(II), By-law No. 438-86**
A minimum side lot line setback from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed west side yard setback is 4.23m.

10. Section Part II 3.B(II), By-law No. 438-86

A minimum side lot line setback from the side lot line for that portion of the building not exceeding 17.0m in depth is 0.9m.

The proposed west side lot line is 0.46m **for the front 9.80m portion of the dwelling only.**

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. Chapter 10.5.50.10.(1), By-law No. 569-2013

The minimum required front yard soft landscaping area is 75%.

The proposed front yard soft landscaping area is **65.00%**.

3. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted Floor Space Index is 0.35 times the area of the lot.

The proposed Floor Space Index is **0.55** times the area of the lot.

6. Section 6(3) part II, By-law No. 438-86

The maximum permitted Gross Floor Area is 0.35 times the area of the lot.

The proposed Gross Floor Area is **0.55** times the area of the lot.

9. Section 6(3) Part III 3(C), By-law No. 438-86

The minimum required front yard soft landscaping area is 75%.

The proposed front yard soft landscaping area is **65.00%**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) That permeable pavers are to be used for the proposed driveway.

SIGNATURE PAGE

File Number:	A0415/17NY	Zoning	RD/R1[ZONING]
Owner:	BEHZAD LOTFI	Ward:	Don Valley West (25)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	156 SNOWDON AVE	Community:	Toronto
Legal Description:	PLAN M370 LOT 44		

Nazila Atarodi (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Decision Notice - MV.doc

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0416/17NY	Zoning	RD/ R4 [ZZC]
Owner(s):	SAEID GHANDI	Ward:	Willowdale (23)
Agent:	ARD DEVELOPMENT INC	Heritage:	Not Applicable
Property Address:	15 CALVIN AVE	Community:	North York
Legal Description:	PLAN 3896 LOT 131		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling with integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 2. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted main wall height is 7.50m.
The proposed side main wall height is 7.96m.
- 3. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is **1.50m**.
- 4. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is **1.50m**.
- 5. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 8.96m.
- 6. Section 6(24)(c), By-law no. 7625**
The maximum permitted rear deck height is 1.00m with a maximum projection is 2.10m.
The proposed rear deck exceeds 1.00m in height and projects 3.32m from the building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the north and south elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, June 26, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0416/17NY	Zoning	RD/ R4 [ZZC]
Owner:	SAEID GHANDI	Ward:	Willowdale (23)
Agent:	ARD DEVELOPMENT INC	Heritage:	Not Applicable
Property Address:	15 CALVIN AVE	Community:	North York
Legal Description:	PLAN 3896 LOT 131		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0417/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	BIRINDRA SINGH JIND	Ward:	Don Valley West (25)
Agent:	THE ROBINSON GROUP	Heritage:	Not Applicable
Property Address:	70 LORD SEATON RD	Community:	North York
Legal Description:	PLAN 3563 LOT 339 PARTIAL ASSESSMENT		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one-storey addition to the rear of the existing dwelling, a two-storey addition to the west portion and a one-storey addition to the front of the dwelling in conjunction with other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs may encroach into a required setback provided they are no wider than 2.00m.
The proposed stairs are 3.00m wide.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is **20.10m**.
- 3. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is **20.10m**.
- 4. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is **36.00%** of the lot area.
- 5. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is **20.10m**.

6. Section 6(24)(d), By-law No. 7625

In the rear yard, unexcavated porches and decks attached to or detached from the main main building; in this case 1.80m.

The proposed deck is located 0.91m from the west side lot line.

7. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is **36.00%** of the lot area.

8. Section 6(9), By-law No. 7625

The maximum permitted canopy projection is 1.80m.

The proposed rear canopy projects 3.88m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Modified and Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.5.40.60.(3), By-law No. 569-2013

Exterior stairs may encroach into a required setback provided they are no wider than 2.00m.

The proposed stairs are 3.00m wide.

2. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is **20.10m**.

3. Chapter 10.20.40.30.(1), By-law No. 569-2013

The maximum permitted building depth is 19.00m.

The proposed building depth is **20.10m**.

4. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is **36.00%** of the lot area.

5. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is **20.10m**.

7. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is **36.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0417/17NY	Zoning	RD/R4 [ZZC]
Owner:	BIRINDRA SINGH JIND	Ward:	Don Valley West (25)
Agent:	THE ROBINSON GROUP	Heritage:	Not Applicable
Property Address:	70 LORD SEATON RD	Community:	North York
Legal Description:	PLAN 3563 LOT 339 PARTIAL ASSESSMENT		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0418/17NY	Zoning	RD / R6 (ZR)
Owner(s):	MIKHEL JESSICA ADIRIM AARON KASHIN	Ward:	York Centre (10)
Agent:	DREW LASZLO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	240 ARMOUR BLVD	Community:	North York
Legal Description:	PLAN 2456 S PT LOT 92		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10(5), By-law No. 569-2013**
An area of 10 m² of the first floor must be within 4 m of the front main wall.
0 m² of the first floor (side entry) is within 4 m of the front main wall.
- 2. Chapter 10.20.40.70.(6), By-law No. 569-2013**
The required minimum side yard setback is 3.0 m for a corner lot where there is an adjacent lot fronting on the street abutting the side lot line.
The proposed south side yard setback is 1.22 m.
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 34.11% of the lot area.
- 4. Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from a major street. (Armour Boulevard)

5. **Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required side yard setback a maximum of 1.5 m, if it is no closer to the side lot line than 0.3 m.
The proposed platform encroaches 1.19 m into the required side yard setback and is 0.04 m from the south side lot line.
6. **Chapter 10.5.40.60.(2), By-law No. 569-2013**
A canopy, awning or similar structure not covering a platform may encroach in a side yard, a maximum of 1.5 m, if it is no closer to the side lot line than 0.3 m.
The proposed canopy encroaches 1.19 m and is 0.04 m from the side lot line.
7. **Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 8.3 m.
The proposed front yard setback is 6.83 m.
8. **Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.3 m.
The proposed building length is 17 m.
9. **Section 6(9)(c), By-law No. 7625**
Porches 2.3 m² or less in area, shall be permitted to project into one minimum side yard setback only, no more than 1.6 m, but no closer than 0.6 m from any side lot line.
The proposed side porch is 3.1 m² in area and project 1.19 m into the minimum side yard setback and is 0.04 m from the south side lot line.
10. **Section 6(9)(c), By-law No. 7625**
Canopies 2.3 m² or less in area, shall be permitted to project into one minimum side yard setback only, no more than 1.6 m, but no closer than 0.6 m from any side lot line.
The proposed side canopy is 3.1 m² in area and project 1.19 m into the minimum side yard setback and is 0.04 m from the south side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) The applicant shall submit an application for permit to injure or remove city-owned trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0418/17NY	Zoning	RD / R6 (ZR)
Owner:	MIKHEL JESSICA ADIRIM AARON KASHIN	Ward:	York Centre (10)
Agent:	DREW LASZLO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	240 ARMOUR BLVD	Community:	North York
Legal Description:	PLAN 2456 S PT LOT 92		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0419/17NY	Zoning	RD (x1463)/R6[ZONING]
Owner(s):	LAUREN LINDSAY CLIVE JACOBSON	Ward:	York Centre (10)
Agent:	DREW LASZLO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	81 WESTGATE BLVD	Community:	North York
Legal Description:	PLAN 2044 NPT		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10m² of the first floor must be within 4m of the front main wall.
The proposed is 7.73m² of the first floor (foyer level) is within 4m of the front main wall.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all front and rear exterior main walls is 7.5m.
The proposed height of the front and rear exterior main walls is 9.19m.
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 34.28% of the lot area.
- 4. Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.57m.
- 5. Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 17.41m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10m² of the first floor must be within 4m of the front main wall.
The proposed is 7.73m² of the first floor (foyer level) is within 4m of the front main wall.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all front and rear exterior main walls is 7.5m.
The proposed height of the front and rear exterior main walls is 9.19m.
5. **Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 17.41m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

3. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.
4. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **9.10m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0419/17NY	Zoning	RD (x1463)/R6[ZONING]
Owner:	LAUREN LINDSAY CLIVE JACOBSON	Ward:	York Centre (10)
Agent:	DREW LASZLO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	81 WESTGATE BLVD	Community:	North York
Legal Description:	PLAN 2044 NPT		

Nazila Atarodi (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0420/17NY	Zoning:	R3
Owner(s):	SHOHREH SHAHIMI AMIN TAHERZADEH	Ward:	Don Valley West (25)
Agent:	RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	50 DONWOODS DR	Community:	North York
Legal Description:	PLAN 2405 LOT 15 S PT LOT 14		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new greenhouse at the rear of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 12.4(b), By-law no. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.78m.
- Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 21.69m.
- Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 35.70% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0420/17NY	Zoning	R3
Owner:	SHOHREH SHAHIMI AMIN TAHERZADEH	Ward:	Don Valley West (25)
Agent:	RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	50 DONWOODS DR	Community:	North York
Legal Description:	PLAN 2405 LOT 15 S PT LOT 14		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0421/17NY	Zoning:	R3 [PPR]
Owner(s):	ANNA PASTOR 467449 ONTARIO LIMITED	Ward:	Willowdale (24)
Agent:	WM J DOLAN PLANNNG CONSULTANTS LTD	Heritage:	Not Applicable
Property Address:	221 BURBANK DR (BUILDING "C" PARTS 2, 7, 8 & 9)	Community:	North York
Legal Description:	PLAN 2134 PT LOTS 8 TO 11 AND PLAN 66R20445 PARTS 2, 7, 8 AND 9		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 27.75m
- 2. Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 13.24m.
- 3. Section 12.7, By-law No. 7625**
The maximum number of storeys permitted is two (2).
The proposed number of storeys is three (3).
- 4. Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 2.14m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

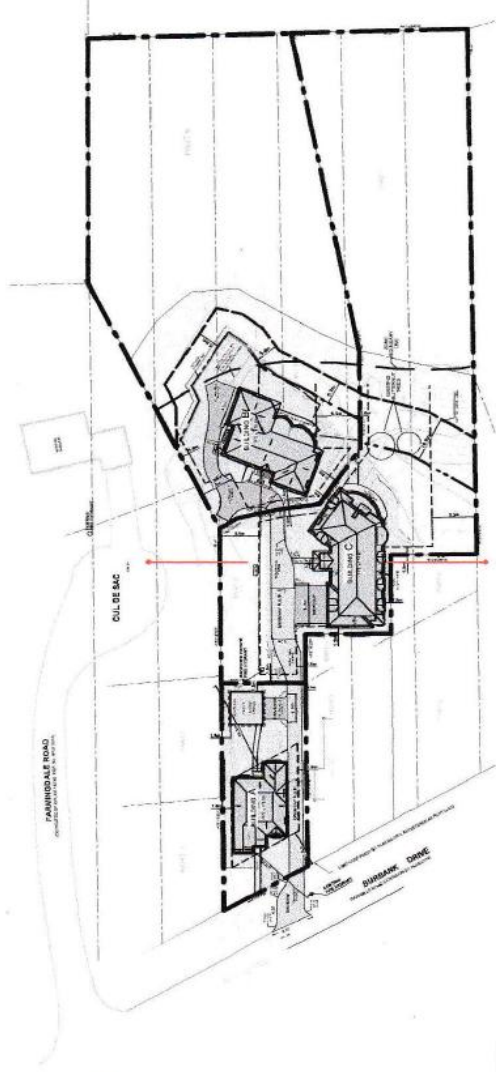
This decision is subject to the following condition(s):

- 1) The property being developed essentially in accordance with the cross-section attached to this decision, dated July 6, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

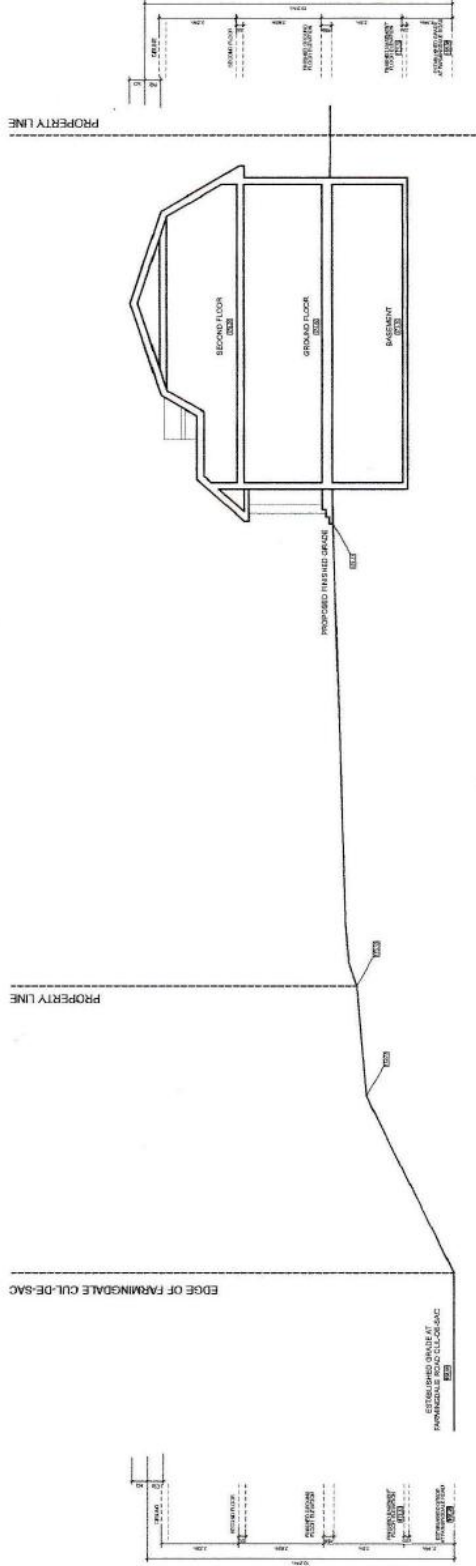
EXHIBIT No. 1
BUILDING "C" CROSS-SECTION SKETCH
2-STORY DWELLING ELEMENT
221 BURBANK DRIVE, TORONTO
JULY 6, 2017
FILE: A0421/17NY

SUGGESTED CONDITION LANGUAGE

THAT a dwelling to be constructed respect a maximum 2-storey house element as generally illustrated on this Exhibit No. 1, dated July 6, 2017, and received by the City of Toronto Planning Division on July 6, 2017.



SITE PLAN - BUILDING C
 SCALE: 1:500



2 CROSS SECTION SKETCH - BUILDING C
 SCALE: 1:100

CONTRACT FOR
 PLANNING APPROVALS
 NOT FOR CONSTRUCTION
 DRAWINGS NOT TO BE SCALED
 DRAWING ISSUED FOR

DESCRIPTION
 DATE
 JULY 6, 2017
 PREPARED BY
 DATE OF ADJUSTMENT REVIEW

PLANNING DIVISION
 100 KING STREET WEST
 TORONTO, ONTARIO M5X 1C4
 TEL: 416-392-3111
 FAX: 416-392-3114
 WWW.TORONTO.CA



DA
 NORTHGRAVE
 ARCHITECT
 INC.

REGISTERED ARCHITECT
 100 KING STREET WEST
 TORONTO, ONTARIO M5X 1C4
 TEL: 416-593-8888
 FAX: 416-593-8889
 INFO@NORTHGRAVE.AA

CURRENT MUNICIPAL
 ADDRESS OF SITE
 221 BURBANK DRIVE
 TORONTO, ONTARIO
 M5X 1C4

PROPOSED
 RESIDENTIAL
 DEVELOPMENT

BUILDING C
 CROSS
 SECTION
 SKETCH

Scale	AS SHOWN
Project No.	FEEL 2016
Job Code	BLR
Drawn By	LM
Quantity No.	SK-C10

SIGNATURE PAGE

File Number:	A0421/17NY	Zoning	R3 [PPR]
Owner(s):	ANNA PASTOR 467449 ONTARIO LIMITED	Ward:	Willowdale (24)
Agent:	WM J DOLAN PLANNNG CONSULTANTS LTD	Heritage:	Not Applicable
Property Address:	221 BURBANK DR (BUILDING "C" PARTS 2, 7, 8 & 9)	Community:	North York
Legal Description:	PLAN 2134 PT LOTS 8 TO 11 AND PLAN 66R20445 PARTS 2, 7, 8 AND 9		

Beth Levy (signed) Bruce Mullock (signed) Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0422/17NY	Zoning	R3 [ZZC]
Owner(s):	ANNA PASTOR	Ward:	Willowdale (24)
Agent:	WM J DOLAN PLANNNG CONSULTANTS LTD	Heritage:	Not Applicable
Property Address:	221 BURBANK DR (BUILDING "B" PARTS 5 AND 6)	Community:	North York
Legal Description:	PLAN 2134 PT LOTS 9 TO 13 AND RP 66R20445 PARTS 5 AND 6		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 19.30m
- 2. Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 13.50m.
- 3. Section 12.7, By-law No. 7625**
The maximum number of storeys permitted is two (2).
The proposed number of storeys is three (3).
- 4. Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 3.20m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The property being developed essentially in accordance with the cross-section attached to this decision, dated July 6, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

A

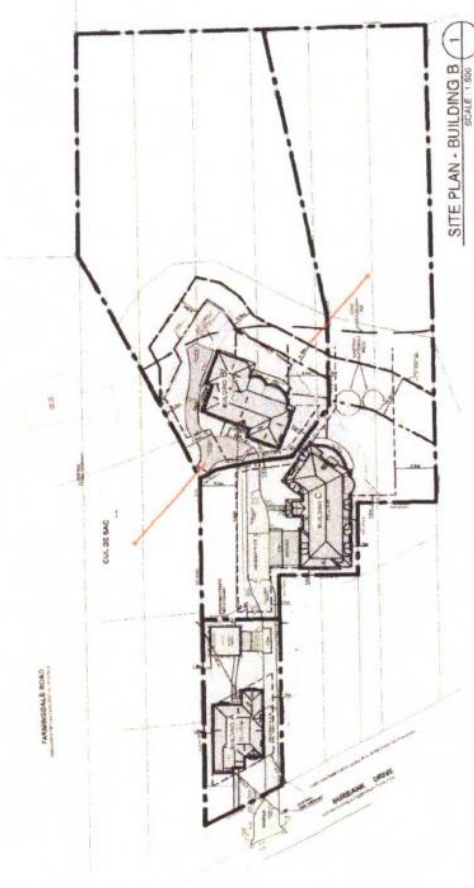
**EXHIBIT No. 1
 BUILDING "B" CROSS-SECTION SKETCH
 2-STORY DWELLING ELEMENT
 221 BURBANK DRIVE, TORONTO
 JULY 6, 2017
 FILE: A0422/17NY**

SUGGESTED CONDITION LANGUAGE

THAT a dwelling to be constructed respect a maximum 2-storey house element as generally illustrated on this Exhibit No. 1, dated July 6, 2017, and received by the City of Toronto Planning Division on July 6, 2017.



DATE: JULY 06, 2017
 DESCRIPTION: 221 BURBANK DRIVE, TORONTO
 DRAWING SIGNED FOR: [Signature]



1 SITE PLAN - BUILDING B
 SCALE: 1:500

NOTICE: THIS DRAWING IS THE PROPERTY OF NORTHGRAVE ARCHITECT INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF NORTHGRAVE ARCHITECT INC.

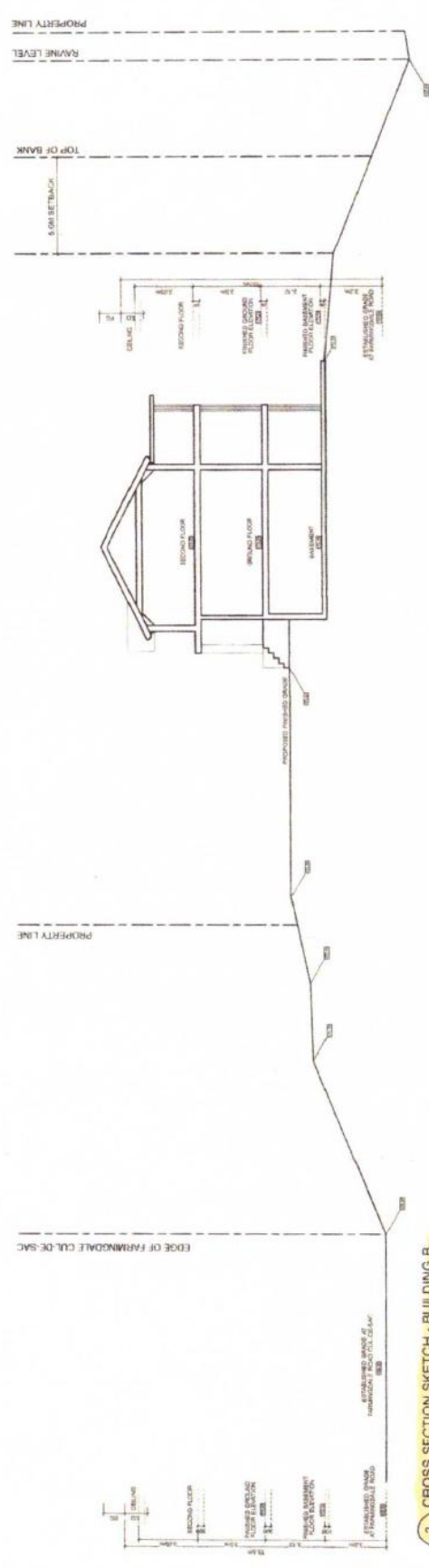


NORTHGRAVE ARCHITECT INC.
 100 GERRARD STREET EAST, SUITE 1000
 TORONTO, ONTARIO M5C 1E5
 TEL: 416-461-1111
 WWW.NORTHGRAVEARCHITECT.COM

CITY OF TORONTO
 PROPOSED DEVELOPMENT
 221 BURBANK DRIVE, TORONTO, ONTARIO M5C 1E5
 PROJECT NO. A0422/17NY

BUILDING B
 CROSS SECTION SKETCH

Scale	AS SHOWN
Client Name	DOB (2014)
Date	07/06/17
Drawn By	MO
Checked By	MO
Project No.	SK-B10



2 CROSS SECTION SKETCH - BUILDING B
 SCALE: 1:100

SIGNATURE PAGE

File Number:	A0422/17NY	Zoning	R3 [ZZC]
Owner(s):	ANNA PASTOR	Ward:	Willowdale (24)
Agent:	WM J DOLAN PLANNNG CONSULTANTS LTD	Heritage:	Not Applicable
Property Address:	221 BURBANK DR (BUILDING "B" PARTS 5 AND 6)	Community:	North York
Legal Description:	PLAN 2134 PT LOTS 9 TO 13 AND RP 66R20445 PARTS 5 AND 6		

Beth Levy (signed) Bruce Mullock (signed) Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0423/17NY	Zoning	RD (f15.0; a610) (x5)/ R4 [PPR]
Owner(s):	AHMAD REZA YAHYEE	Ward:	Willowdale (23)
Agent:	ADSTRUCT LTD	Heritage:	Not Applicable
Property Address:	386 CONNAUGHT AVE	Community:	North York
Legal Description:	PLAN 1880 LOT 359		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling with integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.6.10(5), By-law No 569-013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.51m.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **31.80%** of the lot area.
- 3. Chapter 10.5.80.40.(3), By-law No, 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the street on which the lot fronts as opposed to the flanking street.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is **17.54m**.
- 5. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.71m.
The proposed front yard setback is 7.69m.

6. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.51m.

7. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.
The proposed building length is **17.54m**.

8. Section 6(9)(c) & 6(9)(j), By-law No. 7625

Exterior stairways, decks and porches 2.30m² or less in area, shall be permitted to project into one minimum side yard setback only, not more than 1.60m but no closer than 0.60m from any side lot line.
The proposed side porch has an area of 6.20m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0423/17NY	Zoning	RD (f15.0; a610) (x5)/ R4 [PPR]
Owner:	AHMAD REZA YAHYEE	Ward:	Willowdale (23)
Agent:	ADSTRUCT LTD	Heritage:	Not Applicable
Property Address:	386 CONNAUGHT AVE	Community:	North York
Legal Description:	PLAN 1880 LOT 359		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, July 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0425/17NY	Zoning	RD(f15.0; d0.6)(x1335)/R1Z0.6[ZONI NG]
Owner(s):	STEPHANIE MICHELE KARASICK EVAN KARASICK	Ward:	Eglinton-Lawrence (16)
Agent:	RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	585 ST CLEMENTS AVE	Community:	Toronto
Legal Description:	PLAN 3018 LOT 90		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10m² of the first floor must be within 4m of the front main wall.
The proposed is 0m² of the first floor area is within 4m of the front main wall.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 8.5m.
The proposed height of the side exterior main walls facing a side lot line is 10.57m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is **21.70m**.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 19.87m.
- 5. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.60 times the area of the lot.
The proposed Floor Space Index is 0.81 times the area of the lot.

6. **Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 8.05m.
The proposed front yard setback is **6.22m**.
7. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.5m.
The proposed east side yard setback is 1.22m.
8. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.5m.
The proposed west side yard setback is 1.22m.
9. **Chapter 10.5.40.60.(2), By-law No. 569-2013**
A canopy, awning or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering.
The proposed platform encroaches 0.78m beyond the platform it is covering.
10. **Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0m.
The proposed stairs are 4.4m wide.
11. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.60 times the area of the lot.
The proposed Gross Floor Area is 0.81 times the area of the lot.
12. **Section 6(3) Part II 2(II), By-law No. 438-86**
The minimum required front yard setback is 8.05m.
The proposed front yard setback is **6.22m**.
13. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed west side lot line is 1.22m.
14. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed east side lot line is 1.22m.
15. **Section 6(3) Part II 8F, By-law No. 438-86**
The maximum permitted projection for a roof over a first floor platform is 2.5m from the wall.
The proposed roof projection over the front porch is 3.19m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10m² of the first floor must be within 4m of the front main wall.
The proposed is 0m² of the first floor area is within 4m of the front main wall.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 8.5m.
The proposed height of the side exterior main walls facing a side lot line is 10.57m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is **21.70m**.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 19.87m.
- 5. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.60 times the area of the lot.
The proposed Floor Space Index is 0.81 times the area of the lot.
- 7. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.5m.
The proposed east side yard setback is 1.22m.
- 8. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.5m.
The proposed west side yard setback is 1.22m.
- 9. Chapter 10.5.40.60.(2), By-law No. 569-2013**
A canopy, awning or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering.
The proposed platform encroaches 0.78m beyond the platform it is covering.
- 10. Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0m.
The proposed stairs are 4.4m wide.
- 11. Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.60 times the area of the lot.
The proposed Gross Floor Area is 0.81 times the area of the lot.
- 13. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed west side lot line is 1.22m.
- 14. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed east side lot line is 1.22m.
- 15. Section 6(3) Part II 8F, By-law No. 438-86**
The maximum permitted projection for a roof over a first floor platform is 2.5m from the wall.
The proposed roof projection over the front porch is 3.19m.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

6. Chapter 10.20.40.70.(1), By-law No. 569-2013

The minimum required front yard setback is 8.05m.

The proposed front yard setback is **6.22m**.

12. Section 6(3) Part II 2(II), By-law No. 438-86

The minimum required front yard setback is 8.05m.

The proposed front yard setback is **6.22m**.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

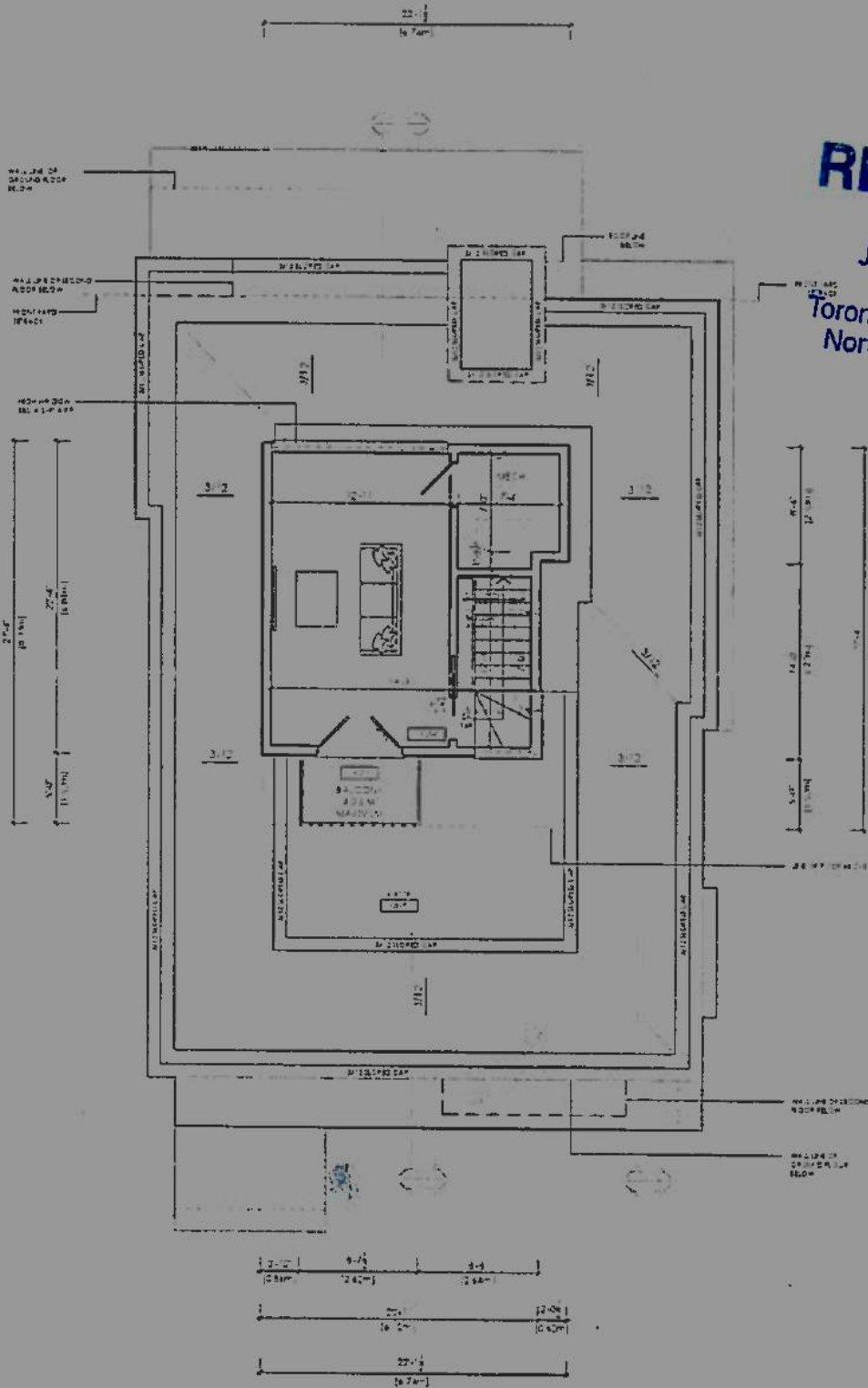
This decision is subject to the following condition(s):

- 1) The proposed dwelling be constructed substantially in accordance with the third floor plan submitted to the City Planning Division, date stamped received on June 26, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED

JUN 26 2017

Toronto City Planning
North York District



RICHARD WENGLE
ARCHITECT INC

KARASICK RESIDENCE

585 ST. CLEMENS AVENUE
TORONTO, ONTARIO
APRIL 20, 2017

1649

THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"

SIGNATURE PAGE

File Number:	A0425/17NY	Zoning	RD(f15.0; d0.6)(x1335)/R1Z0.6[ZONING]
Owner:	STEPHANIE MICHELE KARASICK EVAN KARASICK	Ward:	Eglinton-Lawrence (16)
Agent:	RICHARD WENGLER ARCHITECT INC	Heritage:	Not Applicable
Property Address:	585 ST CLEMENTS AVE	Community:	Toronto
Legal Description:	PLAN 3018 LOT 90		

Nazila Atarodi (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0426/17NY	Zoning	RD (x5)/ R5 [ZZC]
Owner(s):	MELISSA ESTRELA VIRGILIO DA PONTE	Ward:	York Centre (09)
Agent:	JR DESIGN AND CONSTRUCTION	Heritage:	Not Applicable
Property Address:	201 TAVISTOCK RD	Community:	North York
Legal Description:	PLAN 4439 LOT 81		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second-storey addition on top of the existing one-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.6.10(5), By-law No. 569-213

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.30m.

2. Chapter 10.5.40.50.(2), By-law No. 569-2013

A platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks; 1.80m.
The proposed front porch setback from the east side yard lot line is 1.30m.

3. Chapter 10.20.40.10.(4), By-law No. 569-2013

The maximum permitted height is 7.20m.
The proposed height is 7.70m.

4. Chapter 10.5.40.60.(2), By-law No. 569-2013

A canopy, awning or similar structure may encroach into a required minimum building setback the same extent as the platform it is covering; 1.80m.
The proposed front canopy is setback 0.89m from the east side lot line.

5. Chapter 10.5.40.60.(1), By-law No. 569-2013

A platform without main walls, attached to or less than 0.30m from a building, with a floor higher than the first floor of the building above established grade may encroach 2.50m into the required front yard setback, if it is no closer to a side lot line than the required side yard setback; 1.80m.

The proposed platform encroaches 1.77m into the required front yard setback and is setback 1.30m from the east side lot line.

6. Section 6(9)(f), By-law No. 7625

Canopies shall be permitted to project into the minimum front yard setback not more than 2.10m, but no closer to the side lot line than the minimum side yard setback; 1.64m.

The proposed front canopy over the porch projects 1.77m and is setback 0.89m from the east side lot line.

7. Section 14.2.3(b), By-law No. 7625

The minimum required east side yard setback is 1.64m.

The proposed east side yard setback is 1.30m.

8. Section 6(9)(f), By-law No. 7625

Porches, either excavated or unexcavated, shall be permitted to project into the minimum front yard setback not more than 2.10m, but no closer to the side lot line than the minimum side yard setback; 1.64m.

The proposed front porch is setback 1.30m from the east side yard lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0426/17NY	Zoning	RD (x5)/ R5 [ZZC]
Owner:	MELISSA ESTRELA VIRGILIO DA PONTE	Ward:	York Centre (09)
Agent:	JR DESIGN AND CONSTRUCTION	Heritage:	Not Applicable
Property Address:	201 TAVISTOCK RD	Community:	North York
Legal Description:	PLAN 4439 LOT 81		

Beth Levy (signed) Bruce Mullock (signed) Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0429/17NY	Zoning	RD / R4 (ZR)
Owner(s):	JEREMY BORNSTEIN	Ward:	Eglinton-Lawrence (15)
Agent:	DREW LASZLO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	126 HILLMOUNT AVE	Community:	North York
Legal Description:	PLAN 1766 LOT 45		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.6.10.(5), By-law No. 569-2013**
The minimum west side yard setback is 1.8 m.
The proposed west side yard setback is 1.22 m.
- 2. Chapter 900.6.10.(5), By-law No. 569-2013**
The minimum east side yard setback is 1.8 m.
The proposed east side yard setback is 1.52 m.
- 3. Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10 m² of the first floor must be within 4 m of the front main wall.
0 m² of the first floor is within 4 m of the front main wall.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m
The proposed building length is 18.97 m
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum required west side yard setback is 1.8 m.
The proposed west side yard setback is 1.22 m.
- 6. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.14 m.

7. **Section 6(9), By-law No. 7625**
Canopies shall be permitted to project into the minimum rear yard setback a distance of no more than 1.8 m.
The proposed canopy over the rear deck projects 3.66 m.
8. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 20.65 m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required east side yard setback is 1.8 m.
The proposed east side yard setback is 1.52 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

3. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10 m² of the first floor must be within 4 m of the front main wall.
0 m² of the first floor is within 4 m of the front main wall.
4. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m
The proposed building length is 18.97 m
6. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.14 m.
7. **Section 6(9), By-law No. 7625**
Canopies shall be permitted to project into the minimum rear yard setback a distance of no more than 1.8 m.
The proposed canopy over the rear deck projects 3.66 m.
8. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 20.65 m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. **Chapter 900.6.10.(5), By-law No. 569-2013**
The minimum west side yard setback is 1.8 m.
The proposed west side yard setback is 1.22 m **for the garage portion only.**
5. **Section 13.2.3(b), By-law No. 7625**
The minimum required west side yard setback is 1.8 m.
The proposed west side yard setback is 1.22 m **for the garage portion only.**

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. Chapter 900.6.10.(5), By-law No. 569-2013

The minimum east side yard setback is 1.8 m.

The proposed east side yard setback is 1.52 m.

9. Section 13.2.3(b), By-law No. 7625

The minimum required east side yard setback is 1.8 m.

The proposed east side yard setback is 1.52 m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) The proposal be constructed in accordance with the site plan, front elevation, and side (west) elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 23, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

- 2) The rear covered deck be constructed open and unenclosed.

3) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

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JUN 23 2017

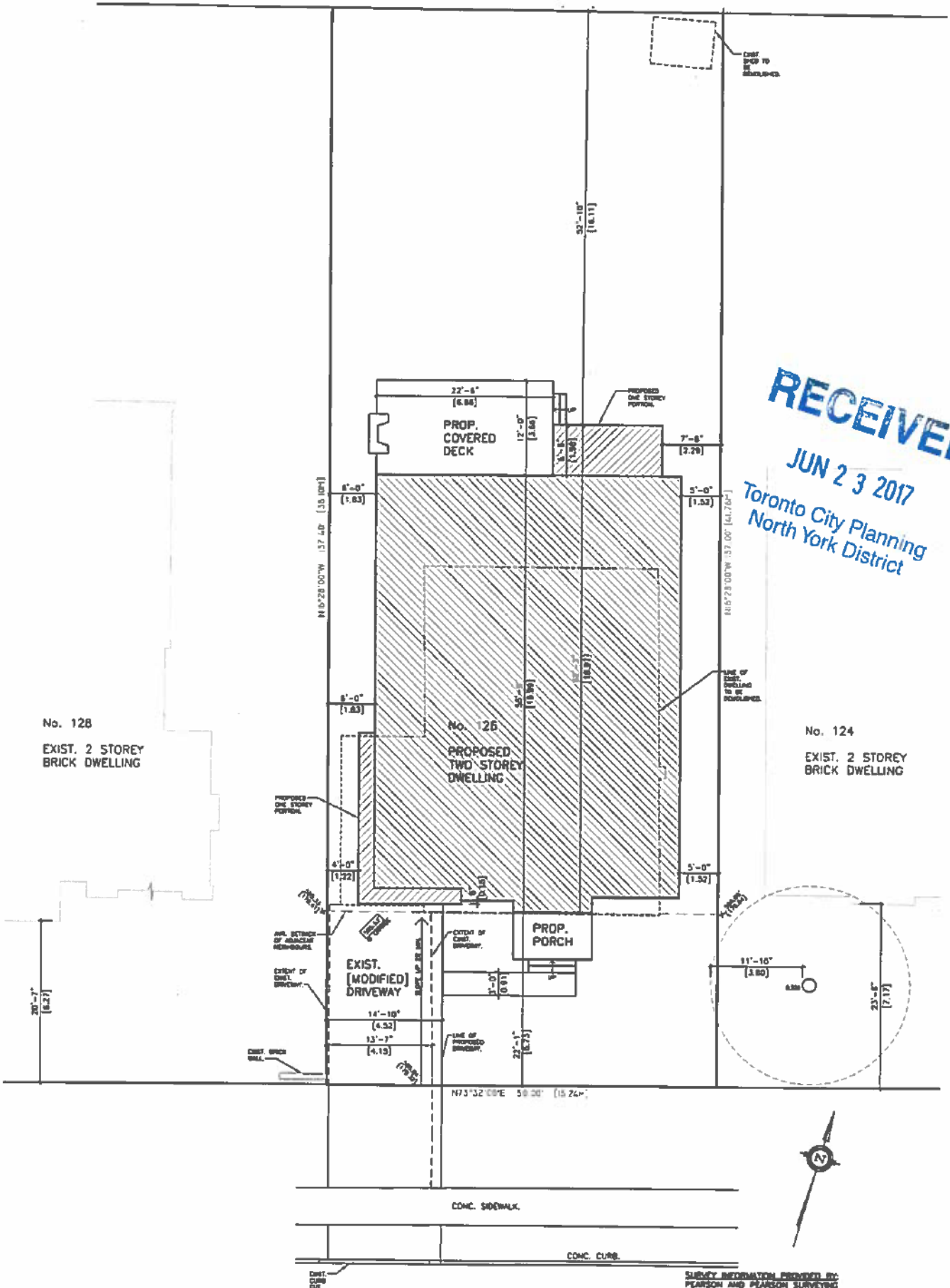
Toronto City Planning
North York District

No. 128

EXIST. 2 STOREY
BRICK DWELLING

No. 124

EXIST. 2 STOREY
BRICK DWELLING



SITE PLAN HILLMOUNT AVENUE
 R 1:200
 126 HILLMOUNT AVE.
 CENTER LINE OF PAVEMENT

SURVEY INFORMATION PROVIDED BY:
 PEARSON AND PEARSON SURVEYING
 LTD. ONTARIO LAND SURVEYORS.
 DREW LASZLO ARCHITECT
 L.L.B. 1993

RECEIVED

JUN 23 2017

Toronto City Planning
North York District



SIDE (WEST) ELEVATION
R 1:100
126 HILLMOUNT AVE.

DREW LASZLO ARCHITECT
1111 BAYVIEW AVE. TORONTO, ONT. M2N 6L2

RECEIVED

JUN 23 2017

Toronto City Planning
North York District



FRONT ELEVATION
R 1100
126 HILLMOUNT AVE.

DREW LASTO ARCHITECT

SIGNATURE PAGE

File Number:	A0429/17NY	Zoning	RD / R4 (ZR)
Owner:	JEREMY BORNSTEIN	Ward:	Eglinton-Lawrence (15)
Agent:	DREW LASZLO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	126 HILLMOUNT AVE	Community:	North York
Legal Description:	PLAN 1766 LOT 45		

Nazila Atarodi (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0431/17NY	Zoning	RD / R5 (ZR)
Owner(s):	TYLER TIMOTHY DYKEMAN TYLER TIMOTHY DYKEMAN	Ward:	Don Valley East (34)
Agent:	CRAIG RACE	Heritage:	Not Applicable
Property Address:	52 ROANOKE RD	Community:	North York
Legal Description:	PLAN M744 LOT 2		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second storey addition and a new first storey addition with garage to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.
- 2. Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0431/17NY	Zoning	RD / R5 (ZR)
Owner:	TYLER TIMOTHY DYKEMAN TYLER TIMOTHY DYKEMAN	Ward:	Don Valley East (34)
Agent:	CRAIG RACE	Heritage:	Not Applicable
Property Address:	52 ROANOKE RD	Community:	North York
Legal Description:	PLAN M744 LOT 2		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0349/16NY	Zoning	RD (f7.5; d0.6)(x1406) / R1 Z0.6 [ZZC]
Owner(s):	SARAH CURRIE SCOTT BIGELOW CURRIE	Ward:	Eglinton-Lawrence (16)
Agent:	DANIEL VENTURUZZO	Heritage:	Not Applicable
Property Address:	413 ST CLEMENTS AVE	Community:	Toronto
Legal Description:	PLAN M25 W PT LOT 144		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third storey addition above the existing two-storey detached dwelling, as well as an enclosed front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(1)a), By-law 569-2013**
The maximum permitted building height is 9.0m.
The proposed building height is 9.95m.
- 2. Chapter 10.20.40.10.(2)A)i), By-law No. 569-2013**
The maximum permitted height of all front exterior main walls is 7.5m.
The proposed height of the front exterior main walls is 8.9m.
- 3. Chapter 10.20.40.10.(2)A)ii), By-law No. 569-2013**
The maximum permitted height of all rear exterior main walls is 7.5m.
The proposed height of the rear exterior main walls is 7.71m.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 18.68m.
- 5. Chapter 10.20.40.40.(1)A), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the area of the lot.
The proposed floor space index is 0.78 times the area of the lot.

6. **Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.62m.
The existing and proposed front yard setback is 6.37m.
7. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.60 times the area of the lot.
The proposed gross floor area is 0.78 times the area of the lot.
8. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line for that portion of the building not exceeding 17.00m in depth is 0.90m.
The existing and proposed west side lot line setback is 0.45m.
9. **Section 4(2)(a), By-law No. 438-86**
The maximum permitted building height is 9.00m.
The proposed building height is 9.89m.
10. **Section 6(3) Part II 2(II), By-law No. 438-86**
The minimum required front yard setback is 7.62m.
The existing and proposed front yard setback is 6.37m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0349/16NY	Zoning	RD (f7.5; d0.6)(x1406) / R1 Z0.6 [ZZC]
Owner:	SARAH CURRIE SCOTT BIGELOW CURRIE	Ward:	Eglinton-Lawrence (16)
Agent:	DANIEL VENTURUZZO	Heritage:	Not Applicable
Property Address:	413 ST CLEMENTS AVE	Community:	Toronto
Legal Description:	PLAN M25 W PT LOT 144		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, July 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0806/16NY	Zoning	RD (f15.0; a610) (x5) / R4 [ZZC]
Owner(s):	MOHAMMAD ARSHAD KHAN	Ward:	Willowdale (23)
Agent:	GORAL DESIGN	Heritage:	Not Applicable
Property Address:	137 PATRICIA AVE	Community:	North York
Legal Description:	PLAN 1880 LOT 240		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter Exception 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.
- 2. Chapter Exception 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.52m.
- 3. Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0m.
The proposed front stairs are 2.74m wide.
- 4. Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is not from the flanking street.
- 5. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30.0% of the lot area.
The proposed lot coverage is 35% of the lot area.

6. **Chapter 10.5.100.1.(1), By-law No. 569-2013**
For a detached house, a driveway that is located in or passes through the front yard may be for lots with a lot frontage of 6.0 m to 23.0 m inclusive, a maximum of 5.79 m wide.
The proposed driveway is 5.94 m wide.
7. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 metres.
The proposed building length is 17 metres.
8. **Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5m.
The proposed front yard setback is 6.0m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.
10. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.52m.
11. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is 35% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

3. **Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0m.
The proposed front stairs are 2.74m wide.
4. **Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is not from the flanking street.
6. **Chapter 10.5.100.1.(1), By-law No. 569-2013**
For a detached house, a driveway that is located in or passes through the front yard may be for lots with a lot frontage of 6.0 m to 23.0 m inclusive, a maximum of 5.79 m wide.
The proposed driveway is 5.94 m wide.
7. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 metres.
The proposed building length is 17 metres.

- 8. Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5m.
The proposed front yard setback is 6.0m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

- 5. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30.0% of the lot area.
The proposed lot coverage is **32.0%** of the lot area

- 11. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is **32.0%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

- 1. Chapter Exception 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.

- 2. Chapter Exception 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.52m.

- 9. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.

- 10. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.52m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0806/16NY	Zoning	RD (f15.0; a610) (x5) / R4 [ZZC]
Owner:	MOHAMMAD ARSHAD KHAN	Ward:	Willowdale (23)
Agent:	GORAL DESIGN	Heritage:	Not Applicable
Property Address:	137 PATRICIA AVE	Community:	North York
Legal Description:	PLAN 1880 LOT 240		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0126/17NY	Zoning	R/R2 Z0.6 [ZZC]
Owner(s):	CARYN NICOLE LEVIN	Ward:	Eglinton-Lawrence (16)
Agent:	1321 GERRARD DEVELOPMENTS INC	Heritage:	Not Applicable
Property Address:	298 FAIRLAWN AVE	Community:	Toronto
Legal Description:	PLAN 565E PT LOTS 87A & 88A		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 17.00m.
The proposed building depth is 17.95m.
- 2. Chapter 10.10.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is 0.797 times the lot area.
- 3. Chapter 10.10.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 0.90m.
The proposed west side yard setback is 0.64m.
- 4. Chapter 10.10.40.70.(4), By-law No. 569-2013**
The minimum required side yard setback is 0.45m.
The proposed east side yard setback is 0.31m.
- 5. Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.60 times the lot area.
The proposed gross floor area is 0.797 times the lot area.
- 6. Section 6(3) Part II 3.A(I), By-law No. 438-86**
The minimum required flanking street setback is 2.10m.
The proposed flanking street setback is 0.29m.

7. **Section 6(3) Part II 3.B(I), By-law No. 438-86**
The minimum required side yard setback is 0.45m for the portion of the dwelling not exceeding 17.00m in depth.
The proposed east side yard setback is 0.31m.
8. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The proposed east side yard setback is 0.31m for the portion of the dwelling exceeding 17.00m in depth.
9. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The proposed west side yard setback is 3.44m for the portion of the dwelling exceeding 17.00m in depth.
10. **Section 6(3) Part II 7(II)A, By-law No. 438-86**
An accessory structure must have a minimum setback of 4.50m to an adjacent residential building.
The proposed setback to the adjacent building at 249 Elm Road is 0.66m.
11. **Section 6(3) Part II 3(I), By-law No. 438-86**
The by-law requires a building to be located no closer than 0.90m to the side wall of an adjacent building that contains no openings.
The proposed building is located 0.60 metres from the adjacent building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be constructed in accordance with the Fairlawn Avenue and Rear Elevation drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 23, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) **The requirements of the Parks and Recreation, Urban Forestry Division;**
 - i) Submission of a complete application for permit to injure or remove privately owned trees.

George Popper
 Architectural Services
 288 Fairlawn Ave., Toronto, Ontario M6M 1Y7
 Tel: (416) 591-1111
 Fax: (416) 591-1112
 www.georgepopper.com

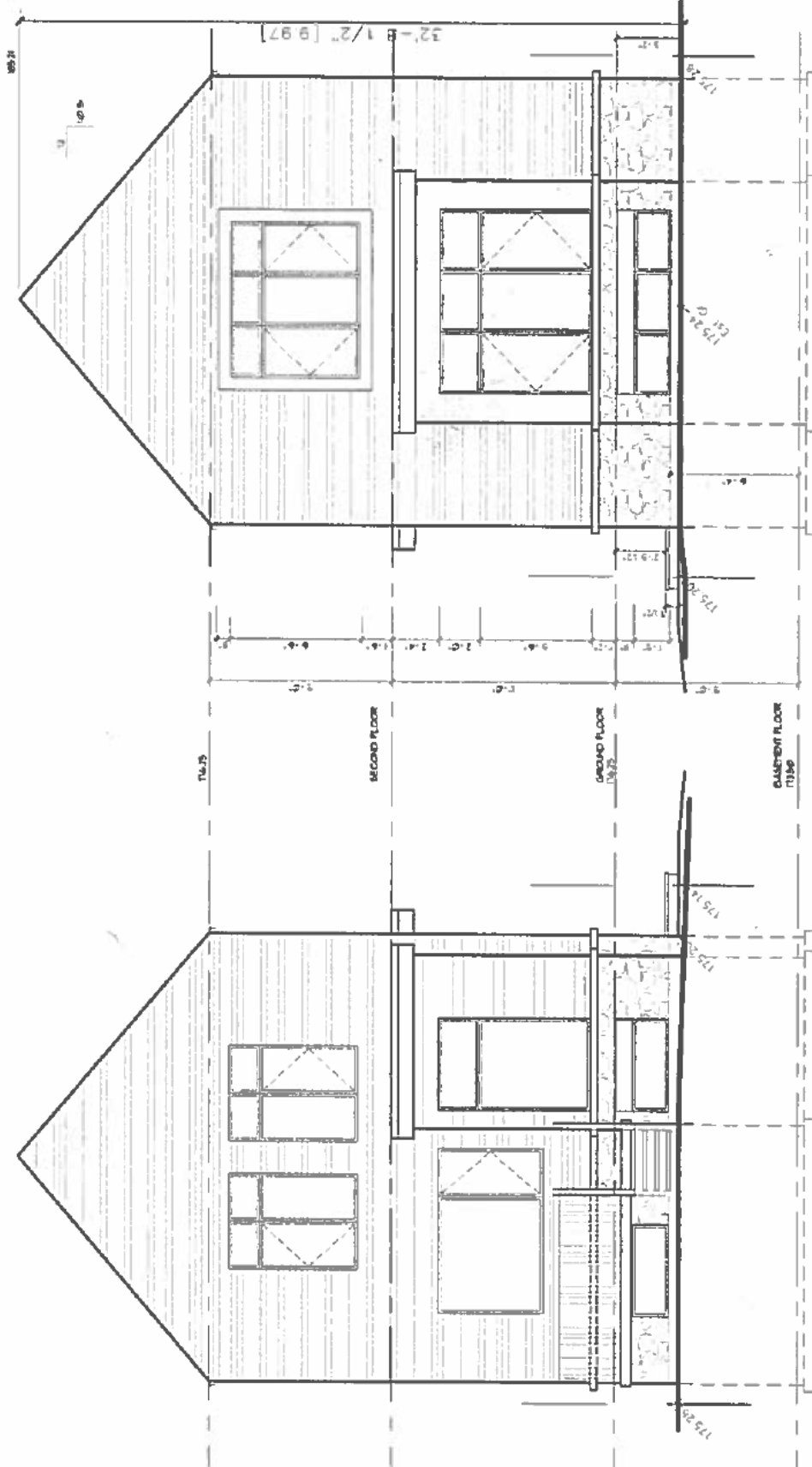
DATE: 11/11/16
 DRAWN BY: J.P.
 CHECKED BY: G.P.
 PROJECT NO: 16-001

288 FAIRLAWN AVE.
 TORONTO, ONTARIO
 M6M 1Y7

george popper architect
 288 Fairlawn Ave.
 Toronto, Ontario M6M 1Y7
 Tel: (416) 591-1111
 Fax: (416) 591-1112
 www.georgepopper.com

288 FAIRLAWN AVE.
 TORONTO, ONTARIO
 M6M 1Y7

FAIRLAWN AND REAR
 ELEVATIONS
 A 6



REAR ELEVATION

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 JAN 23 2017
 Toronto City Planning
 North York District

SIGNATURE PAGE

File Number:	A0126/17NY	Zoning	R/R2 Z0.6 [ZZC]
Owner:	CARYN NICOLE LEVIN	Ward:	Eglinton-Lawrence (16)
Agent:	1321 GERRARD DEVELOPMENTS INC	Heritage:	Not Applicable
Property Address:	298 FAIRLAWN AVE	Community:	Toronto
Legal Description:	PLAN 565E PT LOTS 87A & 88A		

Beth Levy (signed)

Nazila Atarodi (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0194/17NY	Zoning	RM(f18.0; a665;u2)/RM2[WAIVER]
Owner(s):	THI BICH VAN LE	Ward:	York West (08)
Agent:	BRUTTO CONSULTING	Heritage:	Not Applicable
Property Address:	99 GOSFORD BLVD	Community:	North York
Legal Description:	PLAN 9064 N PT LOT 1		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the front yard by extending the existing driveway..

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10 (1), By-law No. 569-2013**
The minimum required front yard landscaping area shall be 50% (37.02sqm) of the front yard area.
The proposed front yard landscaped area is 46% (34.11sqm) of the front yard area.
- 2. Chapter 10.5.50.10 (1)), By-law No. 569-2013**
A minimum of 75% (27.76 sqm) of the required front yard landscaped area must consist of soft landscaping.
The proposed is front yard landscaped consisting of soft landscaping is 70% (26.09 sqm)
- 3. Chapter 10.5.80.10 (3), By-law No. 569-2013**
A parking space shall not be located in the front yard.
A parking space shall be permitted in a front yard, so long as it is attached to an existing driveway.
- 4. Section 15.8 (e) & (f), By-law No. 7625**
The minimum required front yard landscaping area shall be 50% (37.02sqm) of the front yard area.
The proposed front yard landscaped area is 46% (34.11sqm) of the front yard area.
- 5. Section 15.8 (e) & (f), By-law No. 7625**
A minimum of 75% (27.76 sqm) of the required front yard landscaped area must consist of soft landscaping.
The proposed is front yard landscaped consisting of soft landscaping is 70% (26.09 sqm).

6. Section 6A(3)) By-law No. 7625

The minimum required parking space area is 5.6m in length and 2.9m in width.
The proposed parking space is 2.6m x 5.6m.

7. Section 200.5.1.10 (2) (A) By-law No. 438-86

The minimum required parking space area 5.6m in length and 2.9m in width.
The proposed parking space is 2.6m x 5.6m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0194/17NY	Zoning	RM(f18.0; a665;u2)/RM2[WAIVER]
Owner:	THI BICH VAN LE	Ward:	York West (08)
Agent:	BRUTTO CONSULTING	Heritage:	Not Applicable
Property Address:	99 GOSFORD BLVD	Community:	North York
Legal Description:	PLAN 9064 N PT LOT 1		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, July 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0568/17NY	Zoning	CR/C4(12)[WAIVER]
Owner(s):	ANDREW PENUVCHEV VERA PENUVCHEV	Ward:	Eglinton-Lawrence (16)
Agent:	OPTIONS GROUP	Heritage:	Not Applicable
Property Address:	1940-1942 AVENUE RD	Community:	North York
Legal Description:	PLAN 2529 PT LOT 25 RP 66R27871 PART 1		

Notice was given and a Public Hearing was held on Thursday, July 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition to the existing two-storey building (clinic/spa) to be used for a medical office.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.11.10(1543)(G), By-law No. 569-2013**
The maximum permitted commercial Floor Space Index is 2.0.
The proposed commercial Floor Space Index is 2.15.
- 2. Chapter 200.5.10.1(1), By-law No. 569-2013**
The minimum required number of parking spaces is 14.
The proposed number of parking spaces is 0.
- 3. Chapter 200.15.10, By-law No. 569-2013**
The 10% of the required parking spaces, or 1 parking space, must comply with the minimum dimensions for an accessible parking space.
The proposed is 0 accessible parking spaces.
- 4. Chapter 900.11.10(1543)(H), By-law No. 569-2013**
A building must be set back at least 7.5m from the rear lot line.
The proposed building is setback 1.34m from the rear lot line.
- 5. Section 26(7), By-law No. 7625**
The minimum required number of parking spaces is 43 spaces, of which 21 (50%) are to be for visitors.
The proposed number of parking spaces is 0 spaces.

6. **Section 6A(16)(a), By-law No. 7625**
The minimum required number of loading space is 1.
The proposed number of loading space is 0.
7. **Section 64.26(12)(d), By-law No. 7625**
The maximum permitted non-residential gross floor area is 200% of the lot area.
The proposed non-residential gross floor area is 226% of the lot area.
8. **Section 64.26(12)(e), By-law No. 7625**
The minimum required rear yard setback is 7.5m.
The proposed rear yard setback is 1.34m.
9. **Section 64.26(12)(c)(iii), By-law No. 7625**
The height of any part of a building or structure, including the mechanical penthouse, shall be contained within a 45 degree angular plane projected over the entire lot from grade level at a rear property line that is also the boundary of an R1, R2, R3, R4, R5, R6, R7, G, 01 or 03 zone district.
The proposed building projects 4.45m horizontally and vertically, and 3.15m perpendicularly, into the angular plane.
10. **Section 26(8), By-law No. 7625**
A minimum 1.5m wide landscaping strip along the rear property line.
The proposed landscaping is 1.34m in width at the northwest corner.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 900.11.10(1543)(G), By-law No. 569-2013**
The maximum permitted commercial Floor Space Index is 2.0.
The proposed commercial Floor Space Index is 2.15.
2. **Chapter 200.5.10.1(1), By-law No. 569-2013**
The minimum required number of parking spaces is 14.
The proposed number of parking spaces is 0.
3. **Chapter 200.15.10, By-law No. 569-2013**
The 10% of the required parking spaces, or 1 parking space, must comply with the minimum dimensions for an accessible parking space.
The proposed is 0 accessible parking spaces.
5. **Section 26(7), By-law No. 7625**
The minimum required number of parking spaces is 43 spaces, of which 21 (50%) are to be for visitors.
The proposed number of parking spaces is 0 spaces.
6. **Section 6A(16)(a), By-law No. 7625**
The minimum required number of loading space is 1.
The proposed number of loading space is 0.

7. Section 64.26(12)(d), By-law No. 7625

The maximum permitted non-residential gross floor area is 200% of the lot area.
The proposed non-residential gross floor area is 226% of the lot area.

9. Section 64.26(12)(c)(iii), By-law No. 7625

The height of any part of a building or structure, including the mechanical penthouse, shall be contained within a 45 degree angular plane projected over the entire lot from grade level at a rear property line that is also the boundary of an R1, R2, R3, R4, R5, R6, R7, G, 01 or 03 zone district.
The proposed building projects 4.45m horizontally and vertically, and 3.15m perpendicularly, into the angular plane.

10. Section 26(8), By-law No. 7625

A minimum 1.5m wide landscaping strip along the rear property line.
The proposed landscaping is 1.34m in width at the northwest corner.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

4. Chapter 900.11.10(1543)(H), By-law No. 569-2013

A building must be set back at least 7.5m from the rear lot line.
The proposed building is setback **3.70** from the rear lot line.

8. Section 64.26(12)(e), By-law No. 7625

The minimum required rear yard setback is 7.5m.
The proposed rear yard setback is **3.70m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant to satisfy the requirements of the Transportation Services Division;
 - i) The City's Payment-in-Lieu of Parking Policy being applied.

SIGNATURE PAGE

File Number:	A0568/17NY	Zoning	CR/C4(12)[WAIVER]
Owner:	ANDREW PENUVCHEV VERA PENUVCHEV	Ward:	Eglinton-Lawrence (16)
Agent:	OPTIONS GROUP	Heritage:	Not Applicable
Property Address:	1940-1942 AVENUE RD	Community:	North York
Legal Description:	PLAN 2529 PT LOT 25 RP 66R27871 PART 1		

Beth Levy (signed)

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 13, 2017

LAST DATE OF APPEAL: Wednesday, July 26, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.