



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0408/17TEY	Zoning	R (d1.0)(x806) & R4 Z1.0 (ZZC)
Owner(s):	DAVID FRADKIN	Ward:	Trinity-Spadina (19)
Agent:	JEREMIAH FISHER	Heritage:	Not Applicable
Property Address:	<b>994 DUNDAS ST W</b>	Community:	Toronto
Legal Description:	PLAN 748 PT LOT 104		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing lawful non-conforming 2½-storey mixed-use building containing two dwelling units and ground floor retail space by constructing a second and third floor front addition, a third floor east side and rear addition, access to a rooftop patio and a new rear detached garage. The altered building will contain a total of four dwelling units, ground floor retail space and below grade storage.

**REQUESTED PERMISSION UNDER SUBSECTION 45(2)(a)(i) & (ii) OF THE PLANNING ACT:**

The property has lawful non-conforming status under the *Planning Act*, as the mixed-use building containing two dwelling units and ground floor retail space existed prior to the passing of the Zoning By-law, which does not permit the said use in a R zone and R4 zone. Any change of use, alterations or additions to the building requires the permission of the Committee of Adjustment.

**Chapter 10.10.20.10.(1), By-law 569-2013 and Section 6(1), By-law 438-86**

The enlargement of the mixed use building to contain four dwelling units and ground floor retail space is an alteration and extension to the lawful non-conforming use.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.20.10.(1), By-law 569-2013**  
Storage is not a permitted use in a Residential Zone.  
In this case, storage will be a permitted use.
- 2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 1.0 times the area of the lot (251 m<sup>2</sup>).  
The altered building will have a floor space index of 1.58 times the area of the lot (396 m<sup>2</sup>).

3. **Chapter 10.10.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building or structure height is 10.0 m.  
In this case, the altered building will have a height of 14.58 m to the top of the rooftop railing.
4. **Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**  
The maximum permitted height of all front exterior main walls is 7.5 m.  
In this case, the height of the front exterior main wall of the altered building will be 13.52 m.
5. **Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013**  
The maximum permitted height of all rear exterior main walls is 7.5 m.  
In this case, the height of rear exterior main wall of the altered building will be 13.52 m.
6. **Chapter 10.10.40.30.(1)(B), By-law 569-2013**  
The maximum permitted building depth is 14.0 m.  
The altered building will have a depth of 23.10 m.
7. **Chapter 10.5.50.10.(3)(A), By-law 569-2013**  
A minimum of 50% (39 m<sup>2</sup>) of the rear yard shall be maintained as soft landscaping.  
In this case, 0% (0 m<sup>2</sup>) of the rear yard will be maintained as soft landscaping.
8. **Chapter 10.5.40.50.(3), By-law 569-2013**  
The level of the floor of a platform located at or above the second storey of a residential building is not permitted to be higher than the level of the floor of the storey from which it gains access.  
The rooftop platform is higher than the level of the floor of the storey from which it gains access.
9. **Chapter 10.5.60.50.(2)(B), By-law 569-2013**  
The maximum permitted floor area of all ancillary buildings or structures on a lot is 40.0m<sup>2</sup>.  
In this case, the new garage will have a floor area of 44.68 m<sup>2</sup>.
10. **Chapter 200.5.10.1.(1), By-law 569-2013**  
A minimum of five parking spaces are required to be provided.  
In this case, two parking spaces will be provided.
1. **Section 6(1)(A), By-law 438-86**  
Storage is not a permitted use in a R4 District.  
In this case, storage will be a permitted use.
2. **Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 1.0 times the area of the lot (251 m<sup>2</sup>).  
The altered building will have a residential gross floor area equal to 1.58 times the area of the lot (396 m<sup>2</sup>).
3. **Section 4(2)(a), By-law 438-86**  
The maximum permitted building height is 10 m.  
The altered building will have a height of 14.58 m to the top of the rooftop deck railing.
4. **Section 6(3) Part II 3.F(I)(i)(a), By-law 438-86**  
The minimum required side lot line setback is 0.45 m where the side wall contains no openings.  
The altered building will be located 0.0 m from the west side lot line.

5. **Section 6(3) Part II 5(I), By-law 438-86**  
The maximum permitted building depth is 14.0 m.  
The altered building will have a depth of 23.10 m.
6. **Section 4(5)(b), By-law 438-86**  
A minimum of three parking spaces are required to be provided.  
In this case, two parking spaces will be provided.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.
- The requirements of subsections 45(2)(a)(i)(ii) of the Planning Act has not been met.

**SIGNATURE PAGE**

File Number:	A0408/17TEY	Zoning	R (d1.0)(x806) & R4 Z1.0 (ZZC)
Owner(s):	DAVID FRADKIN	Ward:	Trinity-Spadina (19)
Agent:	JEREMIAH FISHER	Heritage:	Not Applicable
Property Address:	<b>994 DUNDAS ST W</b>	Community:	Toronto
Legal Description:	PLAN 748 PT LOT 104		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0409/17TEY	Zoning:	RM (u3)(x253) & R3 (ZZC)
Owner(s):	2554968 ONTARIO LIMITED.	Ward:	St. Paul's (21)
Agent:	ENZO LOCCISANO	Heritage:	Not Applicable
Property Address:	<b>9 CLAXTON BLVD</b>	Community:	York
Legal Description:	PLAN M367 PT LOT 65 RP R3310 PARTS 3 & 4		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To convert the existing two-storey triplex into a fourplex.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.50.10.(3)(A), By-law 569-2013**  
A minimum of 50% of the rear yard must be maintained as soft landscaping (103.38 m<sup>2</sup>).  
In this case, 31.1% of the rear yard will be maintained as soft landscaping (64.15 m<sup>2</sup>).
- Chapter 10.80.20.10.(1)(E), By-law 569-2013**  
The maximum permitted number of dwelling units is 3.  
The altered dwelling will contain 4 dwelling units.
- Section 9 2.(a), By-law 1-83**  
A "dwelling house, multiple" is not a permitted use.  
In this case a "dwelling house, multiple" will be permitted.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0409/17TEY	Zoning	RM (u3)(x253) & R3 (ZZC)
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Legal Description:	PLAN M367 PT LOT 65 RP R3310 PARTS 3 & 4		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0410/17TEY	Zoning	R (d0.6) & R2 Z0.6 (Waiver)
Owner(s):	LUKE ADAM DEVINE	Ward:	Beaches-East York (32)
Agent:	CAROLYN MOSS	Heritage:	Not Applicable
Property Address:	<b>31 RICHARD AVE</b>	Community:	Toronto
Legal Description:	PLAN 1480 LOT 30 PT LOT 29 PT LOT 31		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey detached dwelling. A previous Committee of Adjustment decision (A0670/16TEY) permitted the construction of a new three-storey detached dwelling to be constructed substantially in accordance with the elevation drawings received by the Committee of Adjustment.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (185.22 m<sup>2</sup>).  
Minor Variance Decision A0670/16TEY permits this variance.  
The new detached dwelling will have a floor space index equal to 0.83 times the area of the lot (255.66 m<sup>2</sup>).
- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.  
The roof eaves will be located 0.15 m from the east side lot line.
- Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (185.22 m<sup>2</sup>).  
Minor Variance Decision A0670/16TEY permits this variance.  
The new detached dwelling will have a gross floor area equal to 0.83 times the area of the lot (255.66 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0410/17TEY	Zoning	R (d0.6) & R2 Z0.6 (Waiver)
Owner(s):	LUKE ADAM DEVINE	Ward:	Beaches-East York (32)
Agent:	CAROLYN MOSS	Heritage:	Not Applicable
Property Address:	<b>31 RICHARD AVE</b>	Community:	Toronto
Legal Description:	PLAN 1480 LOT 30 PT LOT 29 PT LOT 31		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0412/17TEY	Zoning:	CR 7.8 (c4.5;r7.8) SS1 (x2322) & CR T7.8 C4.5 R7.8 (WAIVER)
Owner(s):	ONTREA/TEC HOLDINGS INC	Ward:	Toronto Centre-Rosedale (27)
Agent:	PATRICK DEVINE	Heritage:	Designated
Property Address:	<b>2 QUEEN ST W</b>	Community:	Toronto
Legal Description:	PLAN 6A PT LOT 4 RP 63R3631 PART 1		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the two 6 ½-storey buildings by constructing: a one-storey addition which will contain office and retail use, a green roof, and to remove the metal over-cladding from the buildings.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 40.10.40.40.(1), By-law 569-2013**  
The maximum permitted floor space index for non-residential is 4.5 times the area of the lot (3,047.67 m<sup>2</sup>).  
The altered buildings will have a floor space index equal to 7.1 times the area of the lot (4,822.0 m<sup>2</sup>).
- Chapter 200.5.10.1.(1), By-law 569-2013**  
The minimum required number of parking spaces for the non-residential building is 25 spaces.  
In this case, zero parking spaces will be provided.
- Chapter 220.5.10.1.(9)(A), By-law 569-2013**  
The minimum required number of Type B loading space is two.  
In this case, zero Type B loading spaces will be provided.
- Chapter 220.5.10.1.(9)(B), By-law 569-2013**  
The minimum required number of Type C loading space is two.  
In this case, zero Type C loading spaces will be provided.
- Chapter 230.5.10.1(1), By-law 569-2013**  
The minimum required number of bicycle parking spaces for the building is 27.  
In this case, zero bicycle parking spaces will be provided.

**6. Chapter 40.10.40.70.(1), By-law 569-2013**

The minimum required setback for the main wall of a building that has windows or openings, is 5.5 m from a lot line that is not adjacent to a street or a lane.

The altered buildings will be located 0.0 m from the north and west lot line.

**1. Section 4(5)(B), By-law 438-86**

The minimum required number of parking spaces for the non-residential building is 26 spaces.

In this case, zero parking spaces will be provided.

**2. Section 4(8)(B), By-law 438-86**

The minimum required number of Type B loading space is two.

In this case, zero Type B loading spaces will be provided.

**3. Section 4(8)(B), By-law 438-86**

The minimum required number of Type C loading space is two.

In this case, zero Type C loading spaces will be provided.

**4. Section 4(13)(A) & (B), By-law 438-86**

The minimum required number of bicycle parking spaces for the building is six.

In this case, zero bicycle parking spaces will be provided.

**1. Section 1. (1) & (2) , By-law 552-86**

An addition to the building on lands located at the north-west corner of Yonge Street and Queen Street West is used for no other purpose than a racquet and fitness club and does not exceed a non-residential gross floor area of 462.18 m<sup>2</sup>.

In this case, the addition to the buildings will include retail, office and restaurant use and will exceed 462.18 m<sup>2</sup>.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, building permit drawings, including plans, elevations and details shall be submitted to the satisfaction of the Senior Manager of Heritage Preservation Services and a heritage permit shall be obtained under the provision of Section 33 of the Ontario Heritage Act.

**SIGNATURE PAGE**

File Number:	A0412/17TEY	Zoning	CR 7.8 (c4.5;r7.8) SS1 (x2322) & CR T7.8 C4.5 R7.8 (WAIVER)
Owner(s):	ONTREA/TEC HOLDINGS INC	Ward:	Toronto Centre-Rosedale (27)
Agent:	PATRICK DEVINE	Heritage:	Designated
Property Address:	<b>2 QUEEN ST W</b>	Community:	Toronto
Legal Description:	PLAN 6A PT LOT 4 RP 63R3631 PART 1		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
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File Number:	A0413/17TEY	Zoning	CR 1.5 (c1.0; r1.0) SS2 (x1928) & MCR T1.5 C1.0 R1.0 (ZZC)
Owner(s):	CHUN AE LIM GUNWU WANG	Ward:	Trinity-Spadina (20)
Agent:	MEAGAN SANDERSON	Heritage:	Not Applicable
Property Address:	<b>172 HARBORD ST</b>	Community:	Toronto
Legal Description:	PLAN D185 PT LOT 42 66R19637 PARTS 3 AND 4		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing one-storey commercial building by constructing a second storey addition and a partial third storey addition which will contain one residential dwelling unit. The altered building will be mixed-use with commercial on the ground floor and residential above.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 40.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index for all uses on the lot is 1.5 times the area of the lot (255.0 m<sup>2</sup>).  
The altered building will have a total floor space index equal to 2.79 times the area of the lot (474.7 m<sup>2</sup>).
- Chapter 40.10.40.40.(1)(C), By-law 569-2013**  
The maximum permitted residential floor space index is 1.0 times the area of the lot (170.0 m<sup>2</sup>).  
The altered building will have a residential floor space index equal to 1.91 times the area of the lot (324.7 m<sup>2</sup>).
- Chapter 200.5.10.1.(1), By-law 569-2013**  
A minimum of one parking space is required to be provided.  
In this case, zero parking spaces will be provided.
- Chapter 10.10.40.70.(2), By-law 569-2013**  
The minimum required rear yard setback is 7.5 m.  
The altered building will be located 0.1 m from the rear lot line.

5. **Chapter 40.10.40.70.(2)(D), By-law 569-2013**

The minimum required setback of a main wall of a building which does not have windows or openings from a side lot line that abuts a lot in the Residential Zone category is 3.0 m.  
The new building will be set back 0.5 m from the east side lot line.
6. **Chapter 40.10.40.70.(2)(E)(i), By-law 569-2013**

If a lot abuts a Residential Zone Category or Residential Apartment Zone Category, every building on the lot in the CR Zone may not penetrate a 45 degree angular plane projected over a shallow lot, along the entire required rear yard setback, starting at a height of 10.5 m above the average elevation of the ground along the rear lot line.  
In this case, the altered mixed-use building will penetrate the angular plane.
7. **Chapter 40.10.40.70.(2)(C), By-law 569-2013**

The main wall of a building that has windows or openings must be set back a minimum of 5.5 m from a lot line that is not adjacent to a street or lane  
The altered building will be located 0.5 m from the east side lot line.
8. **Chapter 40.10.40.60.(1)(C)(i), By-law 569-2013**

A platform or similar structure, attached to or less than 0.3 metres from a building subject to Development Standard Set 2 (SS2), and attached to the front main wall with a floor level higher than the floor level of the first floor of the building must be located above the three storeys closest to established grade.  
The south side third storey patio is located at the third storey above grade.
9. **Chapter 40.10.50.10.(2), By-law 569-2013**

A lot which abuts a lot in the Residential Zone category or Residential Apartment Zone category must install a fence along the portion of the lot abutting the lot in the Residential Zone category or Residential Apartment Zone category.  
In this case, no fence will be installed along the portion of the lot line which abuts a lot in the Residential Zone Category.
10. **Chapter 40.10.50.10.(3), By-law 569-2013**

A 1.5 m wide minimum strip of soft landscaping must be provided along the part of the lot line abutting the lot in the Residential zone or Residential Apartment zone.  
In this case, no strip of soft landscaping will be provided.
1. **Section 8(3) Part I 1, By-law 438-86**

The maximum permitted combined gross floor area is 1.5 times the area of the lot (255.0 m<sup>2</sup>).  
The altered building will have a combined gross floor area equal to 2.79 times the area of the lot (474.7 m<sup>2</sup>).
2. **Section 8(3) Part I 3(A), By-law 438-86**

The maximum permitted residential gross floor area is 1.0 times the area of the lot (170.0 m<sup>2</sup>).  
The altered building will have a residential gross floor area equal to 1.91 times the area of the lot (324.7 m<sup>2</sup>).
3. **Section 8(3) Part II 4(A), By-law 438-86**

The minimum required setback from a lot in a residential district is 7.5 m.  
The altered building will be located 0.1 m from the rear lot line which abuts a lot in a residential district.

**4. Section 8(3) Part II 4(C)(III), By-law 438-86**

A building is required to be within the 45 degree angular plane projected over the lot from an elevation of 10.0 m above the average elevation of the ground at a distance of 7.5 m from a lot in a residential district.

The altered building will penetrate the 45 degree angular plane.

**5. Section 4(4)(b), By-law 438-86**

A minimum of one parking space is required to be provided.

In this case, there will be zero parking spaces provided.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0413/17TEY	Zoning	CR 1.5 (c1.0; r1.0) SS2 (x1928) & MCR T1.5 C1.0 R1.0 (ZZC)
Owner(s):	CHUN AE LIM GUNWU WANG	Ward:	Trinity-Spadina (20)
Agent:	MEAGAN SANDERSON	Heritage:	Not Applicable
Property Address:	<b>172 HARBORD ST</b>	Community:	Toronto
Legal Description:	PLAN D185 PT LOT 42 66R19637 PARTS 3 AND 4		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0415/17TEY	Zoning	R (d1.0) (x644) & R3 Z1.0 (Waiver)
Owner(s):	GIULIA FALBO AHMADI	Ward:	Toronto Centre-Rosedale (27)
Agent:	NADER KADRI	Heritage:	Listed
Property Address:	<b>512 JARVIS ST</b>	Community:	Toronto
Legal Description:	PLAN 570 PT LOT 8 RP 66R25877 PART 3		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To renovate the existing heritage building to accommodate a non-profit residential care home/facility consisting of 24 dwelling rooms.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.60(3)(B), By-law 569-2013**  
An uncovered ramp is permitted, if the ramp is no longer than 15 horizontal units for each 1.0 vertical unit above-ground at the point where the ramp meets the building or structure.  
The ramps have a slope of 12 horizontal units for each 1.0 vertical unit.
- Chapter 10.10.20.10, By-law 569-2013**  
A Residential Care Home is not a permitted use.  
A Residential Care Home is proposed.
- Chapter 10.10.20.40, By-law 569-2013**  
A Residential Care Home is not a permitted use in a detached dwelling.  
A Residential Care Home is proposed in the detached dwelling.
- Chapter 10.10.40.40(1)(A), By-law 569-2013**  
The maximum permitted Floor Space Index is 1.0 times the area of the lot.  
The existing heritage building has a density of 1.312 times the area of the lot.
- Section 6 (3) Part I (1), By-law 438-86**  
The permitted density is 1.0 times the lot area.  
The existing heritage building has a density of 1.312 times the area of the lot.

**2. Section 6 (3) Part II (2) (ii), By-law 438-86**

The required setback is 6.93 m.

The existing setback to the edge of the second floor balcony is 6.9 m.

**3. Section 6 (3) Part II 3 (ii), By-law 438-86**

The side walls of the adjacent buildings at 510 Jarvis to the south and 514 Jarvis to the north both contain openings. Therefore, a 1.2 m setback is required.

The existing south side yard setback is 1.06 m. The existing north side yard setback is 0.96 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.



**SIGNATURE PAGE**

File Number:	A0415/17TEY	Zoning	R (d1.0) (x644) & R3 Z1.0 (Waiver)
Owner(s):	GIULIA FALBO AHMADI	Ward:	Toronto Centre-Rosedale (27)
Agent:	NADER KADRI	Heritage:	Listed
Property Address:	<b>512 JARVIS ST</b>	Community:	Toronto
Legal Description:	PLAN 570 PT LOT 8 RP 66R25877 PART 3		

**ABSTAINED**

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Alex Bednar (signed)

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Donald Granatstein

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Carl Knipfel (signed)

**DISSENTED**

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0416/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	LAUREN TRIBE MATTHEW MACKENZIE	Ward:	Beaches-East York (31)
Agent:	WILLIAM JOANNOU	Heritage:	Not Applicable
Property Address:	<b>40 JOANITH DR</b>	Community:	East York
Legal Description:	PLAN 3609 LOT 68		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing one-storey detached dwelling by constructing a one-storey side addition over the existing garage and new front covered porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the area of the lot (119.5 m<sup>2</sup>).  
In this case, the lot coverage will be equal to 37.85% of the lot area (129.23 m<sup>2</sup>).
- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.  
In this case, the eaves (and troughs) will project 0.28 m and will be located 0.0 m from the south lot line.
- Section 7.2.3, By-law 438-86**  
The maximum permitted lot coverage is 35% of the area of the lot (119.5 m<sup>2</sup>).  
In this case, the lot coverage will be equal to 37.85% of the lot area (129.23 m<sup>2</sup>).
- Section 7.2.3, By-law 438-86**  
The minimum required east side yard setback is 0.45 m.  
The altered dwelling will be located 0.25 m to the east side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0416/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	LAUREN TRIBE MATTHEW MACKENZIE	Ward:	Beaches-East York (31)
Agent:	WILLIAM JOANNOU	Heritage:	Not Applicable
Property Address:	<b>40 JOANITH DR</b>	Community:	East York
Legal Description:	PLAN 3609 LOT 68		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0418/17TEY	Zoning:	RD (f13.5; d0.6)(x1436) & R1 Z0.6 (ZPR)
Owner(s):	LESLEY ELIZABETH POLLARD	Ward:	Toronto Centre-Rosedale (27)
Agent:	ROBERT SMITH	Heritage:	Designated
Property Address:	<b>78 PRICEFIELD RD</b>	Community:	Toronto
Legal Description:	PLAN 412E PT BLK A		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey semi-detached dwelling by constructing a rear ground floor addition and a rear ground floor deck. The existing rear ground floor solarium will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.50.10.(3)(A), By-law 569-2013**  
A minimum of 50% (50.56 m<sup>2</sup>) of the rear yard must be maintained as soft landscaping. In this case, 19.09% (19.3 m<sup>2</sup>) of the rear yard has been maintained as soft landscaping.
- Chapter 200.5.10.1.(1), By-law 569-2013**  
A minimum of one parking space is required to be provided. In this case, zero parking spaces will be provided.
- Chapter 900.3.10(1436)(E)(i), By-law 569-2013**  
An addition to the rear is permitted provided the overall floor space index for the lot, including the addition, does not exceed a total of 0.69 times the lot area (200.67 m<sup>2</sup>). The altered semi-detached dwelling will have a floor space index equal to 0.88 times the area of the lot (256.21 m<sup>2</sup>).
- Section 4(4)(b), By-law 438-86**  
A minimum of one parking space is required to be provided for on-site. In this case, there will be zero parking spaces provided for on-site.

**2. Section 6(3) Part VI 1(I), By-law 438-86**

Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (200.67 m<sup>2</sup>).

The altered semi-detached dwelling will have a gross floor area equal to 0.88 times the area of the lot (256.21 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.



**SIGNATURE PAGE**

File Number:	A0418/17TEY	Zoning	RD (f13.5; d0.6)(x1436) & R1 Z0.6 (ZPR)
Owner(s):	LESLEY ELIZABETH POLLARD	Ward:	Toronto Centre-Rosedale (27)
Agent:	ROBERT SMITH	Heritage:	Designated
Property Address:	<b>78 PRICEFIELD RD</b>	Community:	Toronto
Legal Description:	PLAN 412E PT BLK A		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0420/17TEY	Zoning	R(d0.6) & R2 Z0.6 (ZZC)
Owner(s):	HEATHER LYNNE MEREDITH	Ward:	Beaches-East York (32)
Agent:	WILL HUDSON	Heritage:	Not Applicable
Property Address:	<b>125 LEE AVE</b>	Community:	Toronto
Legal Description:	PLAN M238 LOT 130		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the approved plans for building permit to construct a third storey addition with two south-side decks, a front second storey addition, and an integral garage below the front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.10.(1), By-law 569-2013**  
The maximum permitted building height is 10.0 m.  
The altered detached dwelling will have a height of 10.54 m.
- 2. Chapter 10.10.40.10.(2)(A)(i) & (ii), By-law 569-2013**  
The maximum permitted height of all front and rear exterior main walls is 7.5 m.  
The height of the front and rear exterior main walls will be 10.54 m.
- 3. Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted depth of a detached dwelling is 17.0 m.  
The altered building will have a depth of 18.91 m.
- 4. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (209.4 m<sup>2</sup>).  
The altered detached dwelling will have a floor space index equal to 0.83 times the area of the lot (289.26 m<sup>2</sup>).
- 5. Chapter 10.10.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 8.65 m.  
The altered detached dwelling will be located 5.91 m from the front lot line.

6. **Chapter 10.5.50.10.(1)(D), By-law 569-2013**  
A minimum of 75% (20.25 m<sup>2</sup>) of the required front yard landscaped open space shall be in the form of soft landscaping.  
In this case, 62% (16.48 m<sup>2</sup>) of the required front yard landscaped open space will be in the form of soft landscaping.
7. **Chapter 10.5.100.1.(1)(C), By-law 569-2013**  
The maximum permitted driveway width is 3.2 m.  
In this case, the driveway width will be 4.68 m.
1. **Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (209.4 m<sup>2</sup>).  
The altered detached dwelling will have a gross floor area equal to 1.14 times the area of the lot (396.31 m<sup>2</sup>).
2. **Section 6(3) Part II 2 (II), By-law 438-86**  
The minimum required front yard setback of a building on an inside lot is 8.65 m.  
The altered detached dwelling will be located 5.91 m from the front lot line.
3. **Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.  
The 1.91 m portion of the altered detached dwelling, exceeding the 17.0 m depth, will be located 2.8 m from the south side lot line and 2.2 m from the north side lot line.
4. **Section 6(3) Part IV 3(II), By-law 438-86**  
An integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line is not permitted.  
The integral garage will be below grade.
5. **Section 6(3) Part IV 4, By-law 438-86**  
The maximum width of a driveway is 3.2 m.  
In this case, the driveway width will be 4.68 m.
6. **Section 6(3) Part III, By-law 438-86**  
A minimum of 75% (19.76 m<sup>2</sup>) of the required front yard landscaped open space shall be in the form of soft landscaping.  
In this case, 64% (16.48 m<sup>2</sup>) of the required front yard landscaped open space will be in the form of soft landscaping.
7. **Section 4(2)(a), By-law 438-86**  
The maximum permitted building height is 10.0 m.  
The altered detached dwelling will have a height of 10.67 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

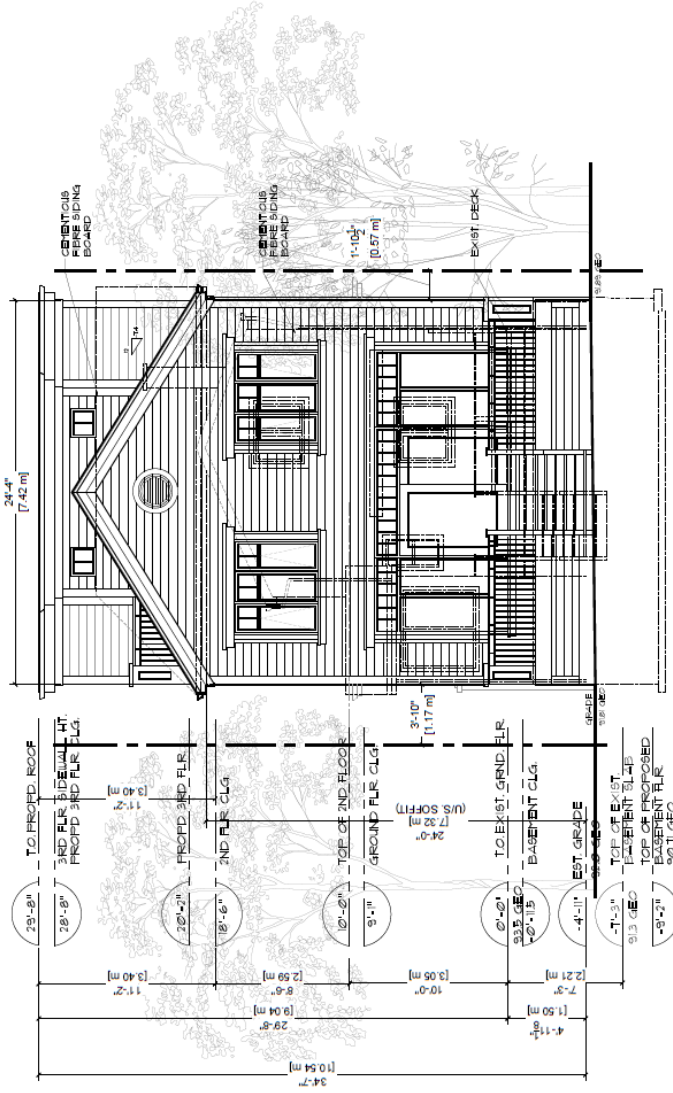
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The driveway shall be constructed with a positive slope from the front property line to the entrance of the garage.
- (2) The height variance shall apply only to the 11.42 m section of the third floor as shown on the elevation drawings A2.1, A2.2 and A2.3, filed with the Committee of Adjustment on June 14, 2017.



PROPOSED EAST ELEVATION (REAR)  
3/16/14-20'

Structural:  
**YCL STRUCTURAL DESIGNS**  
 603 - 20 HERONS HILL WAY  
 TORONTO, ON  
 M2J 0A7  
 TEL: 416 828 5432

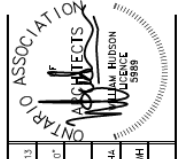
Architect:  
**HUSON ARCHITECTURE**  
 530 QUEEN ST. E.  
 TORONTO, ON  
 M5V 1V2  
 TEL: 416 818 8877  
 www.husonarchitect.com

Project:  
 125 LEE AVENUE  
 TORONTO, ON

Sheet: **T10**  
 PROPOSED EAST ELEVATION  
 (REAR)

Date	2017-04-13
Scale	3/16" = 1'-0"
Project No.	
Drawn	W. HUSON
Checked	WH
File	5889

Sheet No.  
**A2.1**





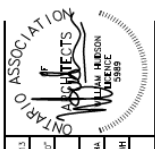
Structural:  
 YCL STRUCTURAL DESIGNS  
 603 - 20 HERONS HILL WAY  
 TORONTO, ON  
 TEL: 416 828 8432

Architect:  
**HUSON**  
 DESIGN  
 530 GERRARD ST. E.  
 TORONTO, ON  
 M5E 1Y2  
 TEL: 416 862 8227  
 WWW.HUSONDESIGN.COM

Project:  
 125 LEE AVENUE  
 TORONTO, ON

Sheet Title  
 PROPOSED NORTH ELEVATION  
 (SIDE)

Date	2017-11-13
Scale	3/16" = 1'-0"
Project No.	
Drawn	HA
Checked	WJ
File	
Sheet No.	



A2.2



PROPOSED NORTH ELEVATION (SIDE)





**SIGNATURE PAGE**

File Number:	A0420/17TEY	Zoning	R(d0.6) & R2 Z0.6 (ZZC)
Owner(s):	HEATHER LYNNE MEREDITH	Ward:	Beaches-East York (32)
Agent:	WILL HUDSON	Heritage:	Not Applicable
Property Address:	<b>125 LEE AVE</b>	Community:	Toronto
Legal Description:	PLAN M238 LOT 130		

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Alex Bednar (signed)

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Donald Granatstein (signed)

---

Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0422/17TEY	Zoning	R(d1.0) Hgt 10.0 M & R4 Z1.0 Hgt 10.0 M (ZZC)
Owner(s):	DAMIR VALIULIN	Ward:	Trinity-Spadina (19)
Agent:	DENNIS SINTIC	Heritage:	Not Applicable
Property Address:	<b>51 ROBINSON ST</b>	Community:	Toronto
Legal Description:	PLAN D115 PT LOT 1		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter a townhouse by constructing a two-storey rear addition and a partial third storey addition within the existing roof line.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.30.(1)(B), By-law 569-2013**  
The maximum permitted building depth for a townhouse is 14.0 m.  
The building depth will be 17.68 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 1.0 times the area of the lot (135.07 m<sup>2</sup>).  
The floor space index will be 1.63 times the area of the lot (217.30 m<sup>2</sup>).
- Chapter 10.10.40.80.(1)(B), By-law 569-2013**  
The minimum required distance between main walls for a townhouse is 5.0 m where there are openings to dwelling units in those main walls.  
The distance between main walls will be 1.10 m from the adjacent building on the west side.
- Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted residential gross floor area is 1.0 times the area of the lot (135.07 m<sup>2</sup>).  
The residential gross floor area will be 1.63 times the area of the lot (217.30 m<sup>2</sup>).
- Section 6(3) Part II 3(II), by-law 438-86**  
A building is required to be located no closer than 1.2 m to the portion of the side wall of an adjacent building that contains openings.  
The building will be located 1.10 m from the adjacent building on the west side.

3. **Section 6(3) Part II 3.A(I), By-law 438-86**  
A building is required to have a minimum flanking street setback of 1.65 m.  
The flanking street setback will be is 0.0 m.
4. **Section 6(3) Part II 3.C(I), By-law 438-86**  
The minimum required side lot line setback is 0.45 m where the side wall contains no openings.  
The west side lot line setback will be 0.0 m.
5. **Section 6(3) Part II 5(I), By-law 438-86**  
The maximum permitted building depth is 14.0 m.  
The building depth will be 17.68 m.
6. **Section 6(3) Part III 1(A), By-law 438-86**  
The minimum required landscaped open space equal is 30% of the area of the lot (40.52 m<sup>2</sup>).  
The landscaped open space will be 19.1% of the area of the lot (25.83 m<sup>2</sup>)

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

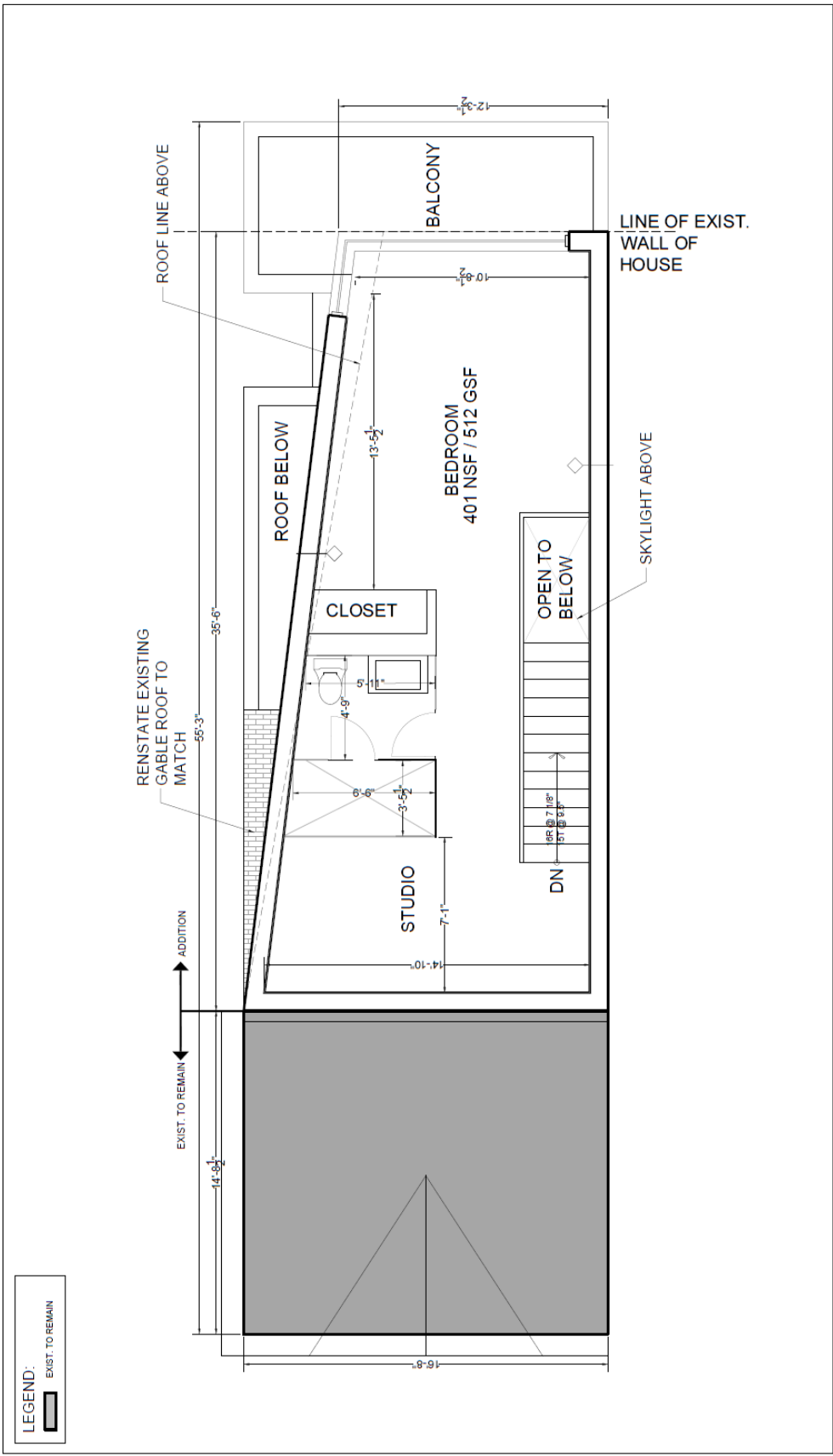
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The third floor of the altered dwelling shall not exceed a maximum building depth of 16.9 m, excluding the rear balcony, as per the third floor plan received by the Committee of Adjustment on April 12, 2017.



<b>DENNIS SINTIC ARCHITECT</b> 700 BAYVIEW AVE. SUITE 200 SCARBOROUGH, ONTARIO M1S 5A5 TEL: 416-291-1111 WWW.DENNISARCHITECT.COM		<b>ROBINSON RESIDENCE</b> 5 ROBINSON STREET TORONTO, ONTARIO	PROJ. NO.: 2016-07 DATE: 03 APR 2017 REV. NO.:	<b>A1.3</b> <b>THIRD FLR</b>
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**CofA**  
 THE ARCHITECTS  
 100 KING STREET WEST  
 TORONTO, ONTARIO  
 M5X 1C5  
 TEL: 416-593-9333  
 WWW.COFARCHITECTS.COM

This drawing is for construction. Drawings and prints are the property of the Architect. Architect shall be notified of any discrepancies on the drawings.

**SIGNATURE PAGE**

File Number:	A0422/17TEY	Zoning	R(d1.0) Hgt 10.0 M & R4 Z1.0 Hgt 10.0 M (ZZC)
Owner(s):	DAMIR VALIULIN	Ward:	Trinity-Spadina (19)
Agent:	DENNIS SINTIC	Heritage:	Not Applicable
Property Address:	<b>51 ROBINSON ST</b>	Community:	Toronto
Legal Description:	PLAN D115 PT LOT 1		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0423/17TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (ZPR)
Owner(s):	BENJAMIN GHOTBI 2310152 ONTARIO INC	Ward:	Toronto-Danforth (29)
Agent:	ITALO MARTI	Heritage:	Not Applicable
Property Address:	<b>18 MCKAYFIELD RD</b>	Community:	East York
Legal Description:	PLAN 3228 PT LOT 30 PT LOT 31		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing one-storey detached dwelling by constructing a second storey addition above the first floor.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 10.20.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index is 0.45 times the area of the lot (139.17 m<sup>2</sup>).

The altered dwelling will have a floor space index equal to 0.51 times the area of the lot (156.75 m<sup>2</sup>).

**Section 7.2.3, By-law 6752**

The maximum permitted floor space index is 0.45 times the area of the lot (139.17 m<sup>2</sup>).

The altered dwelling will have a floor space index equal to 0.51 times the area of the lot (156.75 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.



This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0423/17TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (ZPR)
Owner(s):	BENJAMIN GHOTBI 2310152 ONTARIO INC	Ward:	Toronto-Danforth (29)
Agent:	ITALO MARTI	Heritage:	Not Applicable
Property Address:	<b>18 MCKAYFIELD RD</b>	Community:	East York
Legal Description:	PLAN 3228 PT LOT 30 PT LOT 31		

---

Alex Bednar (signed)

---

Donald Granatstein (signed)

---

Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0424/17TEY	Zoning	R (d1.0)(x418) & R4 Z1.0 (ZZC)
Owner(s):	JAMES MICHAEL TUTTLE LISA DI MARIA	Ward:	Beaches-East York (32)
Agent:	STEPHEN G KING	Heritage:	Not Applicable
Property Address:	<b>8 MINTO ST</b>	Community:	Toronto
Legal Description:	PLAN 633 PT LOT 24		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey detached dwelling with front basement walkout.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line. In this case, the eaves will be located 0.09 m from the east and west lot lines.
- Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted depth is 17.0 m.  
The new dwelling will have a depth of 18.14 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 1.0 times the area of the lot (169.16 m<sup>2</sup>).  
The new dwelling will have a floor space index equal to 1.03 times the area of the lot (173.93 m<sup>2</sup>).
- Chapter 10.10.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 3.45 m.  
The new dwelling will be located 3.048 m to the front lot line
- Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**  
The minimum required side yard setback where the side wall contains openings is 0.9 m.  
The new dwelling will be located 0.305 m to the east side lot line.

6. **Chapter 10.10.40.70.(4)(A), By-law 569-2013**  
The minimum required side yard setback where the side wall contains no openings is 0.45 m.  
The new dwelling will be located 0.305 m to the west side lot line.
1. **Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 1.0 times the area of the lot (169.16 m<sup>2</sup>).  
The new dwelling will have a gross floor area equal to 1.03 times the area of the lot (173.93 m<sup>2</sup>).
2. **Section 6(3) Part II 2(II), By-law 438-86**  
The minimum required front yard setback is 3.45 m.  
The new dwelling will be located 3.048 m to the front lot line
3. **Section 6(3) Part II 3(I), By-law 438-86**  
The minimum required setback from the side wall of an adjacent building that contains no openings is 0.90 m.  
The new dwelling will be located 0.87 m from the adjacent building to the east.
4. **Section 6(3) Part II 3(II), By-law 438-86**  
The minimum required setback from the side wall of an adjacent building that contains openings is 1.20 m.  
The new dwelling will be located 0.63 m from the adjacent building to the west.
5. **Section 6(3) Part II 3.B(I), By-law 438-86**  
The minimum required side lot line setback for a depth not exceeding 17.0 m in depth where the side wall contains no openings is 0.45 m.  
The new dwelling will be located 0.305 m to the west side lot line.
6. **Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback for a depth not exceeding 17.0 m in depth where the side wall contains openings is 0.9 m.  
The new dwelling will be located 0.305 m to the east side lot line.
7. **Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback for the portion of the building exceeding 17.0 m in depth is 7.5 m.  
In this case, the 1.14 m section of the dwelling exceeding 17.0 m will be located 0.305 m to the east side lot line and 0.305 m to the west side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (3) Prior to the issuance of a demolition and/or building permit the applicant shall obtain an Ontario Regulation 166/06 permit from Toronto Region Conservation Authority.
- (4) The building depth/length approved in Variance 2, By-law 569-2013 and Variance 7, By-law 438-86 shall apply only to the first storey of the building.
- (5) The front entry area to the main floor shall not exceed one storey in height.
- (6) The front basement walkout shall be removed from the plan and shall not be constructed.

## SIGNATURE PAGE

File Number:	A0424/17TEY	Zoning	R (d1.0)(x418) & R4 Z1.0 (ZZC)
Owner(s):	JAMES MICHAEL TUTTLE LISA DI MARIA	Ward:	Beaches-East York (32)
Agent:	STEPHEN G KING	Heritage:	Not Applicable
Property Address:	<b>8 MINTO ST</b>	Community:	Toronto
Legal Description:	PLAN 633 PT LOT 24		

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Alex Bednar (signed)

---

Donald Granatstein (signed)

---

Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0425/17TEY	Zoning	R (d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	LEAH WALKER MICHAEL MACPHEE	Ward:	Toronto-Danforth (30)
Agent:	MICHAEL MACPHEE	Heritage:	Not Applicable
Property Address:	<b>89 BOULTBEE AVE</b>	Community:	Toronto
Legal Description:	PLAN 330E LOT 15		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey detached dwelling by constructing a rear two-storey addition and a rear ground floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (138.85 m<sup>2</sup>).  
The altered detached dwelling will have a floor space index equal to 0.8 times the area of the lot (185.64 m<sup>2</sup>).
- Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**  
The minimum required side yard setback is 0.9 m.  
The altered detached dwelling will be located 0.4 m from the east side lot line.
- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.  
The roof eaves will be located 0.15 m from the east side lot line.
- Chapter 200.5.10.1.(1), By-law 569-2013**  
A minimum of one parking space is required to be provided.  
In this case, zero parking spaces will be provided.

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (138.85 m<sup>2</sup>).

The altered detached dwelling will have a gross floor area equal to 0.8 times the area of the lot (185.64 m<sup>2</sup>).

**2. Section 6(3) Part II 3.B(I), By-law 438-86**

The minimum required side lot line setback for a detached dwelling is 0.45 m for a depth not exceeding 17 m and where the side walls contain no openings.

The altered detached dwelling will be located 0.4 m from the east side lot line.

**3. Section 6(3) Part II 8 D, By-law 438-86**

The projection of an uncovered platform into the required setbacks is restricted to a maximum of 2.5 m from the front or rear wall.

The rear ground floor deck and landing will project 3.44 m from the rear wall.

**4. Section 4(4), By-law 438-86**

A minimum of one parking space is required to be provided.

In this case, zero parking spaces will be provided.

**5. Section 6(3) Part II 8 D(I), By-law 438-86**

The maximum permitted height of an uncovered platform which projects into the required setbacks is 1.2 m above grade.

The rear ground floor deck will have a height of 1.26 m above grade.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0425/17TEY	Zoning	R (d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	LEAH WALKER MICHAEL MACPHEE	Ward:	Toronto-Danforth (30)
Agent:	MICHAEL MACPHEE	Heritage:	Not Applicable
Property Address:	<b>89 BOULTBEE AVE</b>	Community:	Toronto
Legal Description:	PLAN 330E LOT 15		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0426/17TEY	Zoning	R (d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	JULIE YOUNG-JU CHOO-LEE ALLAN HAMIN LEE	Ward:	Toronto-Danforth (30)
Agent:	CINDY MCPHEE	Heritage:	Not Applicable
Property Address:	<b>519 PAPE AVE</b>	Community:	Toronto
Legal Description:	PLAN 352E PT LOTS 23 & 24		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a third storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.10.(1)(A), By-law 569-2013**  
The maximum permitted height of a building or structure is 10.0 m.  
The altered dwelling will have a building height of 10.39 m.
- Chapter 10.10.40.10.(2)(B)(i), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line is 9.37 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (122.52 m<sup>2</sup>).  
The altered detached dwelling will have a floor space index equal to 0.88 times the area of the lot (178.79 m<sup>2</sup>).
- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.  
The eaves and eaves trough will project 0.18 m and will be located 0.13 m from the north lot line.
- Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted residential gross floor area is 0.6 times the area of the lot (122.52 m<sup>2</sup>).  
The altered dwelling will have a residential gross floor area equal to 0.88 times the area of the lot (178.79 m<sup>2</sup>).

**2. Section 6(3) Part II 3.B(I), By-law 438-86**

The minimum required side lot line setback for the portion of the dwelling not exceeding a building depth of 17.0 m is 0.45 m, where the side wall contains no openings.

The altered dwelling will be located 0.31 m from the north side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

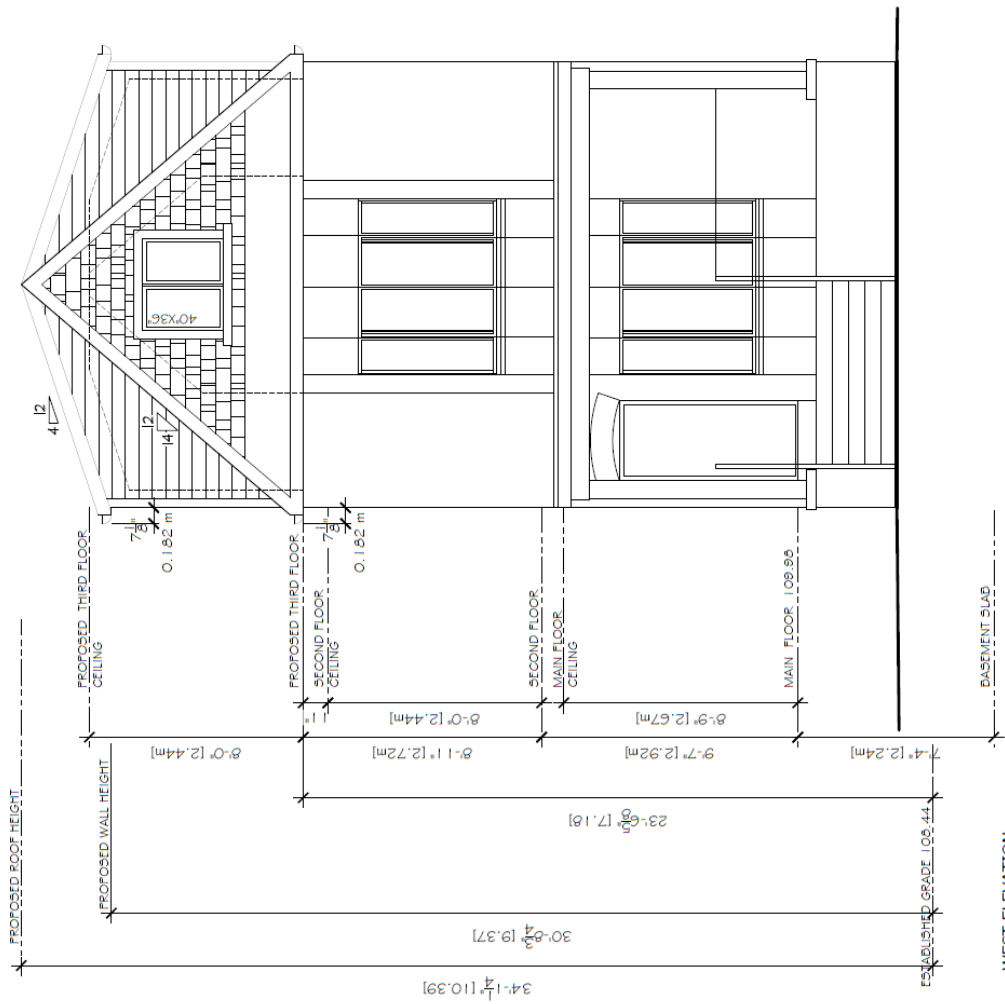
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The front façade of the altered dwelling shall be constructed as illustrated on the west front elevation drawing A-3.1, filed with the Committee of Adjustment.



WEST ELEVATION  
Scale: 1/4" = 1'-0"

APRIL 3 2017  
MAR. 17 2017  
WEST ELEVATION  
DEC. 13, 2016  
A-3.1

519 PAPE AVE  
TORONTO, ON M4K 3R3



416-778-8370  
www.firststepdesign.com

**SIGNATURE PAGE**

File Number:	A0426/17TEY	Zoning	R (d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	JULIE YOUNG-JU CHOO-LEE ALLAN HAMIN LEE	Ward:	Toronto-Danforth (30)
Agent:	CINDY MCPHEE	Heritage:	Not Applicable
Property Address:	<b>519 PAPE AVE</b>	Community:	Toronto
Legal Description:	PLAN 352E PT LOTS 23 & 24		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

**DECLARED INTEREST**

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0430/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	MOHAMMAD FAROOQ	Ward:	Beaches-East York (32)
Agent:	MUHAMMAD AFZAL	Heritage:	Not Applicable
Property Address:	<b>37 KILDONAN RD</b>	Community:	Toronto
Legal Description:	PLAN 635 N'LY LOT 8		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling with an integral garage, a front porch, a rear ground floor deck, and a rear basement walkout.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.10.(2)(B)(i), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line will be 7.87 m.
- 2. Chapter 10.10.40.10.(6), By-law 569-2013**  
The maximum permitted height of the first floor of a detached dwelling above established grade is 1.2 m, and a minimum of 10.0 m<sup>2</sup> of the first floor must be within 4.0 m of the front main wall.  
In this case, less than 10 m<sup>2</sup> of the first floor will be within 4.0 m of the front main wall.
- 3. Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted depth of a detached dwelling is 17.0 m.  
The new detached dwelling will have a depth of 19.3 m.
- 4. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (208.78 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.69 times the area of the lot (239.04 m<sup>2</sup>).
- 5. Chapter 10.10.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 6.38 m.  
The new detached dwelling will be located 5.46 m from the west front lot line.

**6. Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**

The minimum required side yard setback is 0.9 m.

The new detached dwelling will be located 0.31 m from the north side lot line, and 0.82 m from the south side lot line.

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (208.78 m<sup>2</sup>).

The new detached dwelling will have a gross floor area equal to 0.693 times the area of the lot (241.05 m<sup>2</sup>).

**2. Section 6(3) Part II 2(II), By-law 438-86**

The minimum required front yard setback is 6.38 m.

The new detached dwelling will be located 5.46 m from the west front lot line.

**3. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m and where the side wall contains openings.

The portion of the new detached dwelling, not exceeding a depth of 17 m will be located 0.82 m from the south side lot line.

**4. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The portion of the new detached dwelling, exceeding the 17.0 m depth, will be located 0.31 m from the north side lot line, and 0.82 m from the south side lot line.

**5. Section 6(3) Part II 3(II), By-law 438-86**

The minimum required setback from the side wall of an adjacent building that contains openings is 1.2 m.

The new detached dwelling will be located 0.52 m from the side wall of the north adjacent building at 39 Kildonan Road.

**6. Section 6(3) Part II 3.B(I), By-law 438-86**

The minimum required side lot line setback for a detached dwelling is 0.45 m for a depth not exceeding 17.0 m and where the side walls contain no openings.

The new detached dwelling will be located 0.31 m from the north side lot line.

**7. Section 6(3) Part II 8 D(I), By-law 438-86**

The maximum permitted height of an uncovered platform which projects into the required setbacks is 1.2 m above grade.

The rear deck will have a height of 1.58 m above ground.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number: A0430/17TEY  
Owner(s): MOHAMMAD FAROOQ  
Agent: MUHAMMAD AFZAL  
Property Address: **37 KILDONAN RD**  
Legal Description: PLAN 635 N'LY LOT 8

Zoning: R (d0.6) & R2 Z0.6 (ZZC)  
Ward: Beaches-East York (32)  
Heritage: Not Applicable  
Community: Toronto

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0431/17TEY	Zoning	R(F1.0, u2, d0.6) Hgt 12.0 M & (R1S Z0.6 Hgt 12.0 M (ZZC)
Owner(s):	ANNA-MARIE CASTRODALE	Ward:	St. Paul's (21)
Agent:	KENNETH CORTS	Heritage:	Not Applicable
Property Address:	<b>20 WELLS HILL AVE</b>	Community:	Toronto
Legal Description:	PLAN 1282 PT LOT 24		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter a two-storey detached dwelling by replacing an existing one-storey rear addition with a rear two-storey addition including rear deck at grade.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.30.(1) (A), By-law 569-2013**  
The maximum permitted building depth for a detached house is 17.0 m.  
The building depth will be 17.5 m.
- Chapter 10.5.80.10.(3), By-law 569-2013**  
A parking space may not be located in a front yard or a side yard abutting a street.  
In this case, the parking spot will be located in a front yard.
- Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback is 7.5 m for that portion of the building exceeding 17.0 m in depth.  
The proposed side lot line setback is 1.62 m on the North side and 6.5 m on the south side.
- Section 6(3) Part IV 1(E), By-law 438-86**  
The parking of motor vehicles on the portion of the lot between the front lot line and the front wall of the building is prohibited.  
The proposed parking does not comply.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.



**SIGNATURE PAGE**

File Number:	A0431/17TEY	Zoning	R(F1.0, u2, d0.6) Hgt 12.0 M & (R1S Z0.6 Hgt 12.0 M (ZZC)
Owner(s):	ANNA-MARIE CASTRODALE	Ward:	St. Paul's (21)
Agent:	KENNETH CORTS	Heritage:	Not Applicable
Property Address:	<b>20 WELLS HILL AVE</b>	Community:	Toronto
Legal Description:	PLAN 1282 PT LOT 24		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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## 17. 587 MILLWOOD RD

File Number:	A0432/17TEY	Zoning	R (d0.6)(H9.0) & R2 Z0.6 (ZZC)
Owner(s):	NORENE MARIE CIURA ZBIGNIEW STANLEY CIURA[	Ward:	St. Paul's (22)
Agent:	RICHARD DE OLIVEIRA	Heritage:	Not Applicable
Property Address:	<b>587 MILLWOOD RD</b>	Community:	Toronto
Legal Description:	PLAN 590E PT LOT 163 & 164		

### PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with integral garage.

### REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(1)(A), By-law 569-2013**  
The maximum permitted height is 9.0 m.  
The new dwelling will have a height of 9.826 m.
- 2. Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**  
The maximum permitted height of all front exterior main walls is 7.0 m.  
The height of the front exterior main wall will be 8.28 m.
- 3. Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013**  
The maximum permitted height of all rear exterior main walls is 7.0 m.  
The height of the rear exterior main wall will be 8.28 m.
- 4. Chapter 10.10.40.10.(6), By-law 569-2013**  
The maximum permitted height of the first floor above established grade is 1.2 m with an area no less than 10.0 m<sup>2</sup>.  
In this case, the first floor above established grade will be 1.2 m in height with an area of 4.0 m<sup>2</sup>.
- 5. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (169.37 m<sup>2</sup>).  
The new dwelling will have a floor space index equal to 0.98 times the area of the lot (277.39 m<sup>2</sup>).
- 6. Chapter 10.5.40.60.(1)(B), By-law 569-2013**  
A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach 1.5 m into the required front yard setback, if it is no closer to a side lot line than the required side yard setback.  
In this case, the front platform will encroach 2.49 m into the required front yard setback.
- 7. Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.  
In this case, the eaves will be located 0.11 m from the west lot line.
- 8. Chapter 10.5.50.10.(1)(D), By-law 569-2013**  
A minimum of 75% of the front yard landscaping must be maintained as soft landscaping (13.49 m<sup>2</sup>).  
In this case, 61.5% of the front yard landscaping will be maintained as soft landscaping (8.53 m<sup>2</sup>).

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area is 0.6 times the area of the lot (169.37 m<sup>2</sup>).  
The new dwelling will have a gross floor area equal to 0.98 times the area of the lot (277.39 m<sup>2</sup>).

**2. Section 6(3) Part III, By-law 438-86**

A minimum of 75% of the front yard landscaping must be maintained as soft landscaping (13.75 m<sup>2</sup>).  
In this case, 61.5% of the front yard landscaping will be maintained as soft landscaping (8.53 m<sup>2</sup>).

**3. Section 4(2), By-law 438-86**

The maximum permitted height is 9.0 m.  
The new dwelling will have a height of 9.826 m.

**The Committee had before it the following communication:**

- Copy of plan of survey, site plan, floor plans and elevations.
- Copy of letter requesting deferral from Richard De Oliveira, agent, received August 2, 2017.

**Commenting Agency Reports/Email**

- Staff Reports from:
  - Director, Community Planning, City Planning, Toronto and East York District, received August 10, 2017.
  - Acting Supervisor, Tree Protection and Plan Review, Urban Forestry, received August 11, 2017.

**Councillor**

- Letter requesting deferral from Councillor Josh Matlow, Ward 22, received August 15, 2017.

**Interest/Concern**

- Correspondence in concern/interest from Al Kivi, South Eglinton Ratepayers' & Residents Association (SERRA), received August 1, 2017.

**Opposition**

- Correspondence in opposition from:
  - Leslie C. Smith, 565 Millwood Road, two letters received July 27 & 28, 2017.
  - Barbara Shapiro, 570 Millwood Road, received August 2, 2017.
  - Grace E. Parker, 593 Millwood Road, received August 2, 2017.
  - Lee Simpson, 571 Millwood Road, received August 9, 2017.
  - Ann and Mona Piper, 576 Millwood Road, received August 15, 2017.

The following persons appeared before the Committee of Adjustment in connection with the foregoing matter:

- Richard De Oliveira, agent, requested that the hearing of the application be deferred in order to participate in mediation with neighbours.
- Al Kivi, SERRA, was present in interest and stated he was in support of the deferral for mediation.

## **MOTION**

It was moved by Lisa Valentini, seconded by Carl Knipfel and carried unanimously that the application be **deferred, for 3 months or the first available date in 2018.** The deferral would provide the applicant to participate in mediation with SERRA and area residents. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B.**

## 18. 585 MILLWOOD RD

File Number:	A0433/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	NATALIE CIURA[	Ward:	St. Paul's (22)
Agent:	RICHARD DE OLIVEIRA	Heritage:	Not Applicable
Property Address:	<b>585 MILLWOOD RD</b>	Community:	Toronto
Legal Description:	PLAN 590E PT LOT 164		

### PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with integral garage.

### REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(1)(A), By-law 569-2013**  
The maximum permitted height is 9.0 m.  
The new dwelling will have a height of 9.826 m.
- 2. Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.0 m.  
The height of the side exterior main wall facing a side lot line will be 8.28 m on both sides.
- 3. Chapter 10.10.40.10.(6), By-law 569-2013**  
The maximum permitted height of the first floor above established grade is 1.2 m with an area no less than 10.0 m<sup>2</sup>.  
In this case, the first floor above established grade will be 1.2 m in height with an area of 4.0 m<sup>2</sup>.
- 4. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (171.07 m<sup>2</sup>).  
The new dwelling will have a floor space index equal to 0.97 times the area of the lot (277.39 m<sup>2</sup>).
- 5. Chapter 10.5.40.60.(1)(B), By-law 569-2013**  
A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach 1.5 m into the required front yard setback, if it is no closer to a side lot line than the required side yard setback.  
In this case, the front platform will encroach 2.49 m into the required front yard setback.
- 6. Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.  
In this case, the eaves will be located 0.11 m from the east lot line.
- 7. Chapter 10.5.50.10.(1)(D), By-law 569-2013**  
A minimum of 75% of the front yard landscaping must be maintained as soft landscaping (13.49 m<sup>2</sup>).  
In this case, 61.36% of the front yard landscaping will be maintained as soft landscaping (8.48 m<sup>2</sup>).
- 1. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 0.6 times the area of the lot (171.07 m<sup>2</sup>).  
The new dwelling will have a gross floor area equal to 0.97 times the area of the lot (277.39 m<sup>2</sup>).

**2. Section 6(3) Part III, By-law 438-86**

A minimum of 75% of the front yard landscaping must be maintained as soft landscaping (13.75 m<sup>2</sup>). In this case, 61.36% of the front yard landscaping will be maintained as soft landscaping (8.48 m<sup>2</sup>).

**3. Section 4(2), By-law 438-86**

The maximum permitted height is 9.0 m.

The new dwelling will have a height of 9.826 m.

**The Committee had before it the following communication:**

- Copy of plan of survey, site plan, floor plans and elevations.
- Copy of letter requesting deferral from Richard De Oliveira, agent, received August 2, 2017.

**Commenting Agency Reports/Email**

- Staff Report from the Director, Community Planning, City Planning, Toronto and East York District, received August 10, 2017.

**Councillor**

- Letter requesting deferral from Councillor Josh Matlow, Ward 22, received August 15, 2017.

**Interest/Concern**

- Correspondence in concern/interest from Al Kivi, South Eglinton Ratepayers' & Residents Association (SERRA), received August 1, 2017.

**Opposition**

- Correspondence in opposition from:
  - Leslie C. Smith, 565 Millwood Road, two letters received July 27 & 28, 2017.
  - Barbara Shapiro, 570 Millwood Road, received August 2, 2017.
  - Grace E. Parker, 593 Millwood Road, received August 2, 2017.
  - Lee Simpson, 571 Millwood Road, received August 9, 2017.
  - Ann and Mona Piper, 576 Millwood Road, received August 15, 2017.

The following persons appeared before the Committee of Adjustment in connection with the foregoing matter:

- Richard De Oliveira, agent, requested that the hearing of the application be deferred in order to participate in mediation with neighbours.
- Al Kivi, SERRA, was present in interest and stated he was in support of the deferral for mediation.

**MOTION**

It was moved by Lisa Valentini, seconded by Carl Knipfel and carried unanimously that the application be **deferred, for 3 months or the first available date in 2018**. The deferral would provide the applicant to participate in mediation with SERRA and area residents. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.



**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0435/17TEY	Zoning:	R (d0.6)(x751) & R2 Z0.6 (ZZC)
Owner(s):	EMILY COOLICAN NEIL EDWARDS	Ward:	Davenport (18)
Agent:	ALLAN FARLINGER	Heritage:	Not Applicable
Property Address:	<b>187 PERTH AVE</b>	Community:	Toronto
Legal Description:	PLAN M23 PT LOT 38 PT LOT 39		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing: a rear two-storey addition, a partial third storey addition with a rear deck, a rear basement walkout and a rear ground floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (84.79 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 1.32 times the area of the lot (186.95 m<sup>2</sup>).
- Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.  
The height of the side exterior main walls facing a side lot line will be 9.99 m.
- Chapter 10.5.40.50.(3), By-law 569-2013**  
The level of the floor of platform located at or above the second storey of a residential building may be no higher than the level of the floor of the storey from which it gains access.  
The third storey rear deck will be higher than the level of the floor of the third storey from which it gains access.
- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.  
The roof eaves will project 0.23 m and will be located 0.13 m from the north lot line.



**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted residential gross floor area is 0.6 times the area of the lot (84.79 m<sup>2</sup>).  
The altered semi-detached dwelling will have a residential gross floor area equal to 1.32 times the area of the lot (186.95 m<sup>2</sup>).

**2. Section 6(3) Part II 3.C (I), By-law 438-86**

The minimum required side lot line setback is 0.45 m.  
The altered dwelling will be located 0.0 m from the south side lot line and 0.36 m from the north side lot line.

**3. Section 6(3) Part II 3(I), By-law 438-86**

The minimum required side lot line setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.  
The altered dwelling will be setback 0.72 m from the side wall of the north adjacent building at 189 Perth Avenue, which contains no openings.  
The altered dwelling will be setback 0.0 m from the side wall of the south adjacent building at 185 Perth Avenue, which contains no openings.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The third floor deck shall be reduced in size and pulled away from the edge of the building to the satisfaction of the Director of Community Planning, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0435/17TEY	Zoning	R (d0.6)(x751) & R2 Z0.6 (ZZC)
Owner(s):	EMILY COOLICAN NEIL EDWARDS	Ward:	Davenport (18)
Agent:	ALLAN FARLINGER	Heritage:	Not Applicable
Property Address:	<b>187 PERTH AVE</b>	Community:	Toronto
Legal Description:	PLAN M23 PT LOT 38 PT LOT 39		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0436/17TEY	Zoning	R(d0.6)(x296) & R2 Z0.6 (ZZC)
Owner(s):	SAMUEL THEODORE LOEB	Ward:	Parkdale-High Park (14)
Agent:	SAMUEL THEODORE LOEB	Heritage:	Not Applicable
Property Address:	<b>241 MACDONELL AVE</b>	Community:	Toronto
Legal Description:	PLAN 462 PT LOTS 9 & 10		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey detached dwelling with a basement secondary suite.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (88.52 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to **1.3 times the area of the lot (191.65 m<sup>2</sup>)**.
- Chapter 10.10.40.70.(4)(D), By-law 569-2013**  
The minimum required side yard setback is 0.45 m.  
The new detached dwelling will be located 0.11 m from the north side lot line, measured to the main side wall and rear deck.
- Chapter 10.10.40.10.(2)(A)(i)&(ii), By-law 569-2013**  
The maximum permitted height of all front and rear exterior main walls is 7.5 m.  
The height of the front and rear exterior main walls will be 9.6 m.
- Chapter 10.10.40.30.(1), By-law 569-2013**  
The maximum permitted depth of a detached dwelling is 14.0 m.  
The new detached dwelling will have a depth of 16.5 m.
- Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**  
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.  
The stairs will be located 0.0 m from the front lot line.

**6. Chapter 10.5.50.10.(1)(D), By-law 569-2013**

A minimum of 75% (8.7 m<sup>2</sup>) of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 21.7% (2.52 m<sup>2</sup>) of the required front yard landscaped open space will be in the form of soft landscaping.

**7. Chapter 200.5.10.1.(1), By-law 569-2013**

A minimum of two parking spaces are required to be provided.

In this case, zero parking spaces will be provided.

**1. Section 6(3) Part II 8 D (I), By-law 438-86**

The maximum permitted height of an uncovered platform which projects into the required setbacks is 1.2 m above grade.

The front porch will have a height of 1.98 m above grade.

**2. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (88.25 m<sup>2</sup>).

The new detached dwelling will have a gross floor area equal to **1.74 times the area of the lot (256.56 m<sup>2</sup>)**.

**3. Section 6(3) Part II 3(I), By-law 438-86**

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.

The new detached dwelling will be located 0.72 m from the side wall of the south adjacent building (239 Macdonell Avenue).

**4. Section 6(3) Part II 3.C(I), By-law 438-86**

The minimum required side lot line setback of a detached dwelling is 0.45 m where the side wall contains no openings.

The new detached dwelling will be located 0.11 m from the north side lot line.

**5. Section 6(3) Part II 5(I), By-law 438-86**

The maximum permitted depth of a detached dwelling is 14.0 m.

The new detached dwelling will have a depth of 16.5 m.

**6. Section 4(4)(b), By-law 438-86**

A minimum of two parking spaces are required to be provided.

In this case, zero parking spaces will be provided.

**7. Section 6(3) Part III 3(d)(i)(A), By-law 438-86**

The front yard area (11.61 m<sup>2</sup>) shall be maintained as landscaped open space.

In this case, 35% (4.07 m<sup>2</sup>) of the front yard area will be landscaped open space.

**8. Section 6(3) Part III 3 (d)(i)(D), By-law 438-86**

A minimum of 75% (8.7 m<sup>2</sup>) of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 21.7% (2.52 m<sup>2</sup>) of the required front yard landscaped open space will be in the form of soft landscaping.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The dwelling shall be constructed substantially in accordance with the revised floor plan (A2.4) and the revised north elevation drawing (A4.2) received by the Committee of Adjustment at the public hearing on August 16, 2017.
- (2) The parking pad shall be paved with semi-permeable paving materials to the satisfaction of the Manager, Right of Way Management, Transportation Services, Toronto and East York District.
- (3) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (4) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.



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RECEIVED  
AUG 16 2017  
COMMITTEE OF  
ADJUSTMENT

Revised

*[Signature]*  
AUG 16  
2017

DO NOT SCALE DRAWING  
CONSTRUCTION: REFER TO ALL DIMENSIONS AND NOTES. THESE MARKS ARE FOR INFORMATION ONLY AND SHOULD NOT BE USED FOR CONSTRUCTION. DIMENSIONS SHOWN ON THIS DRAWING TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON OTHER DRAWINGS. DIMENSIONS SHOWN ON THIS DRAWING TAKE PRECEDENCE OVER DIMENSIONS SHOWN ON OTHER DRAWINGS.

NO.	DESCRIPTION	DATE
1	PRELIMINARY	2015.05.25
2	REVISION	2016.04.01
3	REVISION	2016.04.01
4	REVISION	2016.04.01
5	REVISION	2016.04.01

241 MACDONELL AVENUE  
TORONTO, ON M4R 2A9

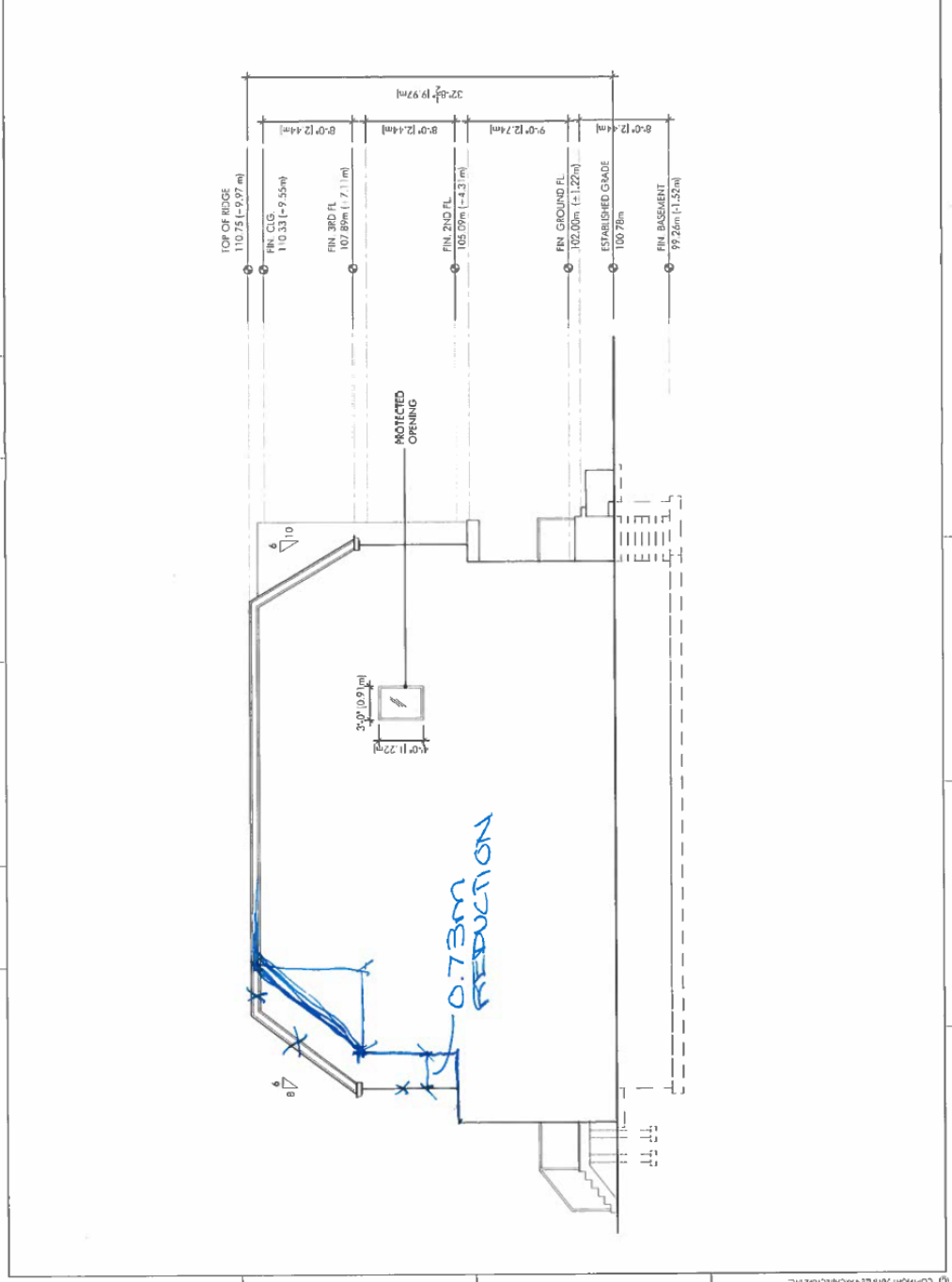
**IZEN**  
ARCHITECTURE AND DESIGN  
11 TORBARRIE ROAD, TORONTO, ON M4M 1B3



DATE: JULY 2017  
SCALE: 1/8" = 1'-0"

NORTH ELEVATION

A4.2





**SIGNATURE PAGE**

File Number:	A0436/17TEY	Zoning	R(d0.6)(x296) & R2 Z0.6 (ZZC)
Owner(s):	SAMUEL THEODORE LOEB	Ward:	Parkdale-High Park (14)
Agent:	SAMUEL THEODORE LOEB	Heritage:	Not Applicable
Property Address:	<b>241 MACDONELL AVE</b>	Community:	Toronto
Legal Description:	PLAN 462 PT LOTS 9 & 10		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0439/17TEY	Zoning	R(d1.0)(x808) & R3 Z1.0 (ZZC)
Owner(s):	RICHARD KHOO LAURA KHOO	Ward:	Toronto-Danforth (30)
Agent:	RICHARD DE OLIVEIRA	Heritage:	Designated
Property Address:	<b>73 WEST AVE</b>	Community:	Toronto
Legal Description:	PLAN 791 PT LOT 69		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey townhouse/rowhouse by constructing a rear two-storey addition and a rear ground floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.70.(2), By-law 569-2013**  
The minimum required setback of a townhouse from the original centreline of a lane is 2.5 m.  
The altered townhouse will be located 1.64 m from the original centreline of the lane abutting the north side lot line.
- 2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a townhouse is 1.0 times the area of the lot (125.84 m<sup>2</sup>).  
The altered townhouse will have a floor space index equal to 1.13 times the area of the lot (142.25 m<sup>2</sup>).
- 3. Chapter 10.10.40.80.(1)(C), By-law 569-2013**  
The minimum required distance between main walls for a townhouse is 11.0 m where there are no openings to dwelling units in those main walls.  
The distance between main walls will be 4.369 m.
- 4. Chapter 10.10.40.30.(1)(B), By-law 569-2013**  
The maximum permitted depth of a townhouse is 14.0 m.  
The altered townhouse will have a depth of 16.73 m.

**5. Chapter 200.5.10.1.(1), By-law 569-2013**

A minimum of one parking space is required to be provided.  
In this case, zero parking spaces will be provided.

**1. Section 4(14) (a) (ii), By-law 438-86**

The minimum required setback from the original centre line of a public lane is 2.5 m.  
The altered rowhouse will be located 1.64 m from the original centre line of the north side abutting public lane.

**2. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a rowhouse is 1.0 times the area of the lot (125.84 m<sup>2</sup>).  
The altered rowhouse will have a gross floor area equal to 1.13 times the area of the lot (142.25 m<sup>2</sup>).

**3. Section 6(3) Part II 3.C(I), By-law 438-86**

The minimum required side lot line setback of a rowhouse is 0.45 m where the side wall contains no openings.  
The altered rowhouse will be located 0 m from the south side lot line.

**4. Section 4(4)(b), By-law 438-86**

A minimum of one parking space is required to be provided.  
In this case, zero parking spaces will be provided.

**5. Section 6(3) Part II 3.C(II), By-law 438-86**

The minimum required side lot line setback of a rowhouse is 0.9 m where the side wall contains openings.  
The altered rowhouse will be located 0 m from the north side lot line.

**6. Section 6(3) Part II 5(I), By-law 438-86**

The maximum permitted depth of a rowhouse is 14.0 m.  
The altered rowhouse will have a depth of 16.73 m.

**7. Section 6(3) Part II 6(ii), By-law 438-86**

The minimum required distance between external walls that face each other is 11.0 m where there are openings to dwelling units in those external walls.  
The distance between the exterior north side walls that face each other will be 4.37 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## **SIGNATURE PAGE**

File Number:	A0439/17TEY	Zoning	R(d1.0)(x808) & R3 Z1.0 (ZZC)
Owner(s):	RICHARD KHOO LAURA KHOO	Ward:	Toronto-Danforth (30)
Agent:	RICHARD DE OLIVEIRA	Heritage:	Designated
Property Address:	<b>73 WEST AVE</b>	Community:	Toronto
Legal Description:	PLAN 791 PT LOT 69		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

## **DECLARED INTEREST**

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Lisa Valentini

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0440/17TEY	Zoning	RD(fl2.0, a370,d0.6) & R1B (ZZC)
Owner(s):	LEILA AHMADI GOHARI	Ward:	Beaches-East York (31)
Agent:	PEDRUM NADDAF	Heritage:	Not Applicable
Property Address:	<b>19 ELSWICK RD</b>	Community:	Toronto
Legal Description:	PLAN 3618 LOT 51		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter a one-storey detached dwelling by constructing a rear two-storey addition with a rear ground deck, a complete second storey addition with front and second floor decks and a covered front porch and stairs.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(2) (B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.0 m.  
The height of the side exterior main walls facing a side lot line will be 8.5 m.
- 2. Chapter 10.20.40.40.(1) (A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (278.71 m<sup>2</sup>).  
The floor space index will be 0.61 times the area of the lot (281.8 m<sup>2</sup>).
- 3. Chapter 10.20.40.70.(1) , By-law 569-2013**  
The minimum required front yard setback is 4.83 m.  
The front yard setback will be 4.41 m.
- 4. Chapter 10.20.40.70.(3)(C), By-law 569-2013**  
The minimum required side yard setback is 1.2 m.  
The north side yard setback will be 0.7 m.
- 5. Chapter 10.20.40.50.(1)(B), By-law 569-2013**  
The maximum permitted area of each platform at or above the second storey of a detached house is 4.0 m<sup>2</sup>.  
The area of the front second floor platform will be 4.42 m<sup>2</sup>, and the area of the rear second floor platform will be 7.12 m<sup>2</sup>.

**1. Section 7.3.3, By-law 6752**

The maximum permitted floor space index is 0.6 times the lot area (278.71 m<sup>2</sup>).  
The floor space index will be equal to 0.61 times the lot area (281.8 m<sup>2</sup>).

**2. Section 7.3.3, By-law 6752**

The minimum required front yard setback is 6.0 m.  
The front yard setback will be 4.41 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

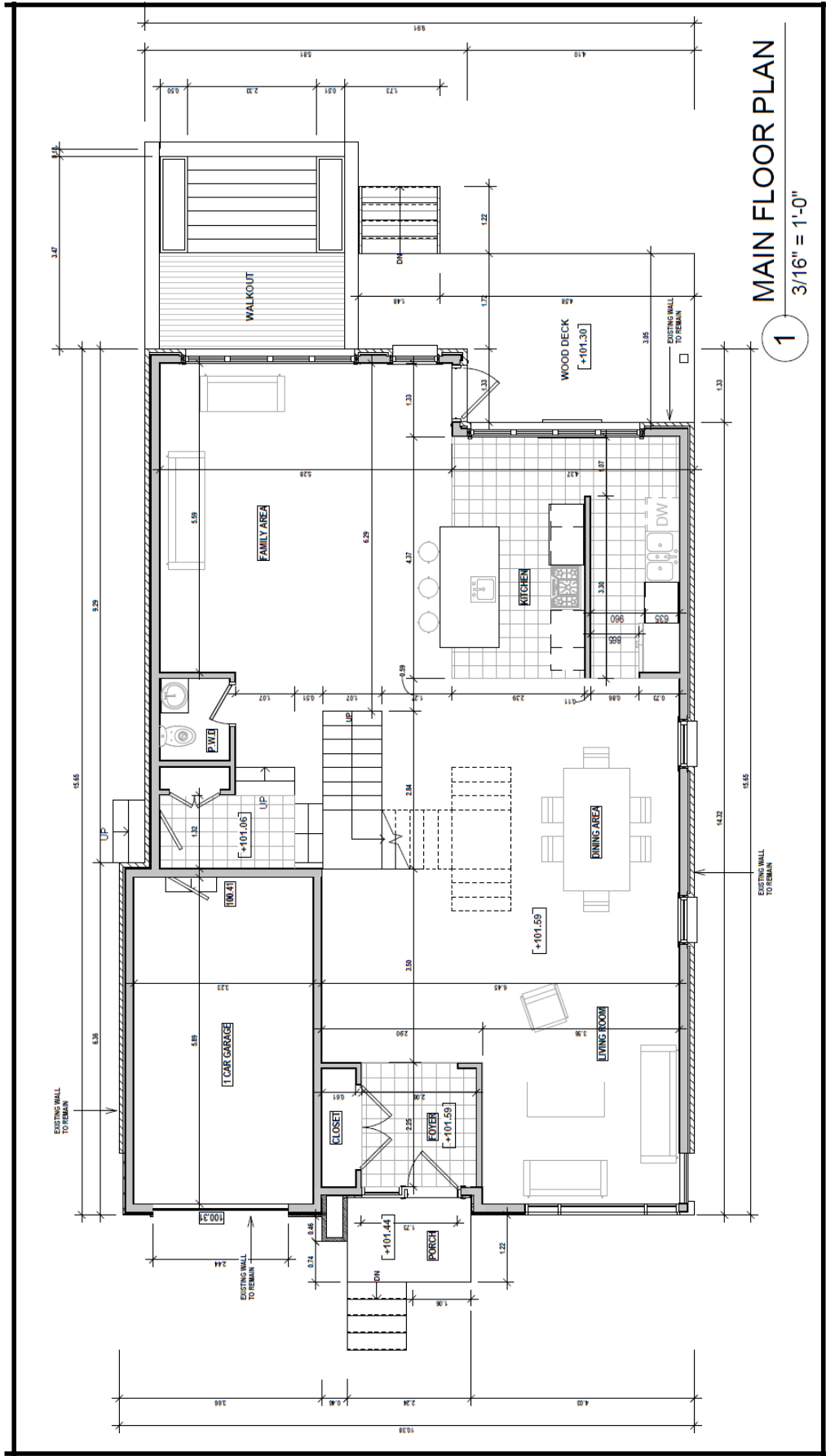
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The approved 4.41 m front yard setback applies only to the projecting architectural feature (pilaster), located on the north edge of the front porch, as shown on floor plans A2.02 and A2.03 filed with the Committee of Adjustment.





# 1 MAIN FLOOR PLAN

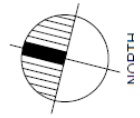
3/16" = 1'-0"

**Options GROUP**  
 6505595 Hwy 24  
 Toronto, ON M3J 3Y3  
 Tel: 416-946-8444  
 Fax: 416-946-8475

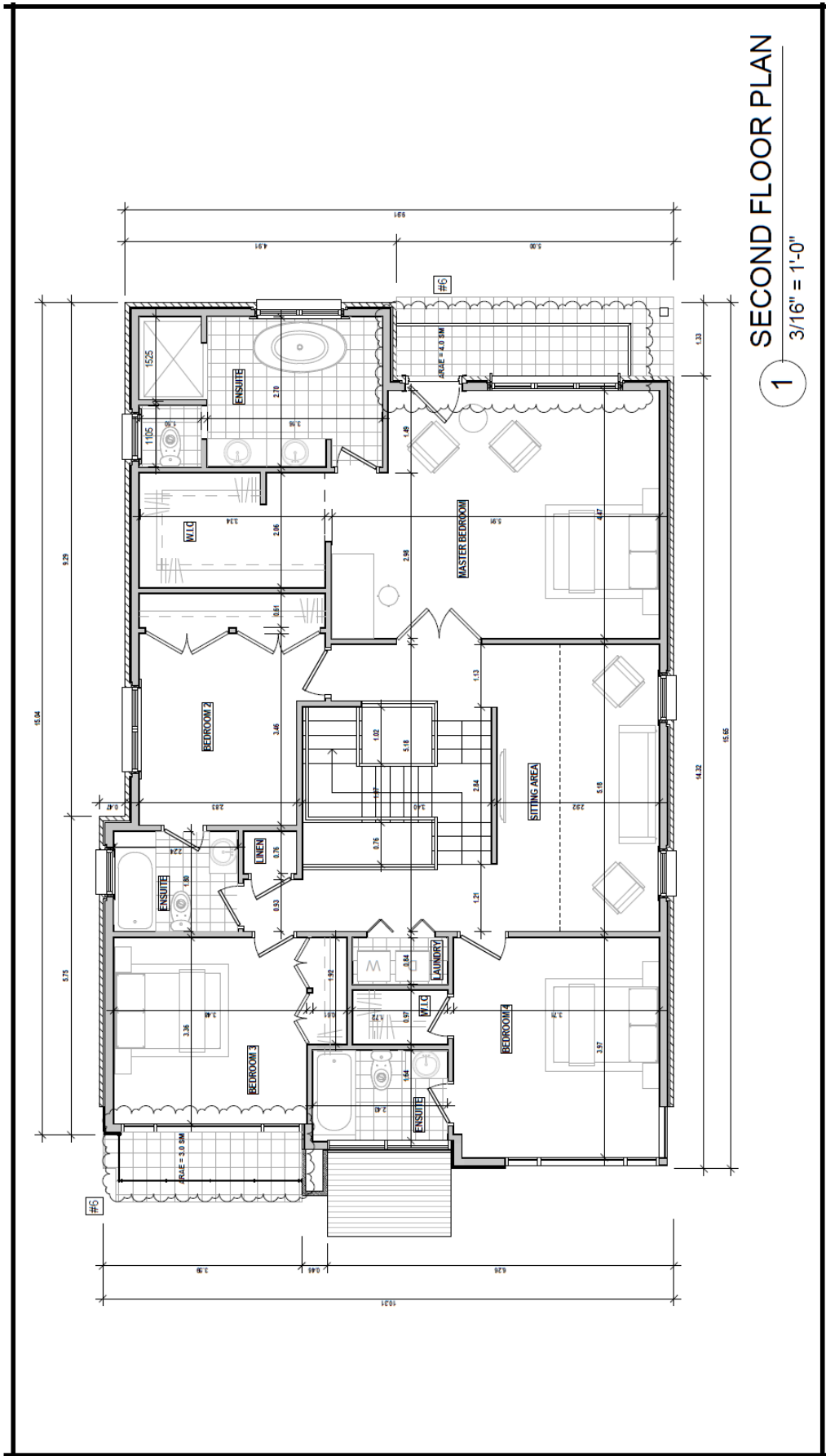
**OWNER**  
 Name: A  
 Project No: 103  
 Date: 2017.02.22  
 Scale: 3/16" = 1'-0"

**Project:** 19 ELSWICK RD  
 EAST YORK,  
 TORONTO, ON  
**SHEET:** MAIN FLOOR PLAN

No.	Date	Issued for	By
1	17.02.22	ISSUE FOR ZONING	LE
1	17.02.13	AS PER CITY	DN



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# SECOND FLOOR PLAN

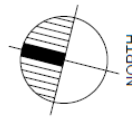
1 3/16" = 1'-0"



Client: OWNER  
 Drawn: A  
 Project No: 20170222  
 Date: 2018-1-17

Project: 19 ELSWICK RD  
 EAST YORK  
 TORONTO, ON  
 SHEET No: SECOND FLOOR PLAN

No.	Date	Issued For	By
1	17/02/22	BASED ON ZONING	DN
1	17/02/13	AS PER CITY	DN



All Drawings, Specifications and Related Documents are the property of Options Group Inc. the copyright in the same being reserved to them. Reproduction of Drawings, Specifications and Related Documents in part or whole is not permitted without the written permission of Options Group Inc. This drawing must not be scaled. The contractor is to verify dimensions and data noted herein with conditions on the site and is held responsible for noting any discrepancy to Options Group Inc. for adjustment. This drawing is not to be used for Construction Purpose until agreed and sealed by the Architect.

Options GROUP  
 6450 Steeles Ave. E.  
 Toronto, ON M3J 3Y1  
 Tel: 416-491-5454  
 Fax: 416-491-5475

**SIGNATURE PAGE**

File Number:	A0440/17TEY	Zoning	RD(fl2.0, a370,d0.6) & R1B (ZZC)
Owner(s):	LEILA AHMADI GOHARI	Ward:	Beaches-East York (31)
Agent:	PEDRUM NADDAF	Heritage:	Not Applicable
Property Address:	<b>19 ELSWICK RD</b>	Community:	Toronto
Legal Description:	PLAN 3618 LOT 51		

---

Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0441/17TEY	Zoning:	R & R2 (ZZC)
Owner(s):	TARA JAHANIAN	Ward:	Beaches-East York (32)
Agent:	DUYEN NGUYEN	Heritage:	Not Applicable
Property Address:	<b>116 BALSAM AVE</b>	Community:	Toronto
Legal Description:	PLAN 406 PT LOT 134 PT LOT 135		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new 2½-storey detached dwelling with an integral garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves are permitted to project 0.9 m provided they are no closer than 0.3 m to a lot line.  
In this case, the roof eaves will project 0.31 m and will be located 0.15 m from the south lot line.
- Chapter 10.10.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building or structure height is 10.0 m.  
The new dwelling will have a height of 10.4 m.
- Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted building depth for a detached dwelling is 17.0 m.  
The new dwelling will have a depth of 18.74 m.
- Chapter 10.10.40.40(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (358.60 m<sup>2</sup>).  
The new dwelling will have a floor space index equal to 1.07 times the area of the lot (639.88 m<sup>2</sup>).
- Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**  
The minimum required side yard setback for a detached dwelling is 0.9 m  
The new dwelling will be located 0.45 m from the south side lot line.
- Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 0.6 times the area of the lot (358.60 m<sup>2</sup>).  
The new dwelling will have a floor space index equal to 0.97 times the area of the lot (581.58 m<sup>2</sup>).

**2. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the dwelling not exceeding a depth of 17 m is 0.9 m.

The new dwelling will be located 0.45 m from the south side lot line.

**3. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The new dwelling will be located 0.91 m from the north side lot line and 5.21 m from the south side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0441/17TEY	Zoning	R & R2 (ZZC)
Owner(s):	TARA JAHANIAN	Ward:	Beaches-East York (32)
Agent:	DUYEN NGUYEN	Heritage:	Not Applicable
Property Address:	<b>116 BALSAM AVE</b>	Community:	Toronto
Legal Description:	PLAN 406 PT LOT 134 PT LOT 135		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0442/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	MARY KOKKAS GEORGE TSIOUTSIOULAS	Ward:	Beaches-East York (31)
Agent:	AMIR AHMADI	Heritage:	Not Applicable
Property Address:	<b>169 GLENWOOD CRES</b>	Community:	East York
Legal Description:	PLAN M623 LOT 19		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing one-storey detached dwelling by constructing a rear and side ground floor addition, a complete second storey addition with a rear second storey balcony, and a rear ground floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (197.66 m<sup>2</sup>).  
The lot coverage will be equal to 39% of the lot area (219.53 m<sup>2</sup>).
- 2. Chapter 10.20.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building height is 8.5 m.  
The altered detached dwelling will have a height of 9 m.
- 3. Chapter 10.20.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.  
The height of the side exterior main walls facing a side lot line will be 7.59 m.
- 4. Chapter 10.20.40.10.(6), By-law 569-2013**  
The maximum permitted height of the first floor of a detached dwelling above established grade is 1.2 m.  
The first floor of the altered detached dwelling will have a height of 1.3 m above established grade.

5. **Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (338.84 m<sup>2</sup>).  
The altered detached dwelling will have a floor space index equal to 0.63 times the area of the lot (353.88 m<sup>2</sup>).
6. **Chapter 10.20.40.70.(3)(C), By-law 569-2013**  
The minimum required side yard setback is 1.2 m.  
The altered detached dwelling will be located 0.9 m from the west side lot line.
1. **Section 7.3.3, By-law 6752**  
The maximum permitted building height is 8.5 m.  
The altered detached dwelling will have a height of 9 m.
2. **Section 7.3.3, By-law 6752**  
The maximum permitted building length for a detached dwelling is 16.75 m.  
The altered detached dwelling will have a building length of 17 m.
3. **Section 7.3.3, By-law 6752**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (338.84 m<sup>2</sup>).  
The altered detached dwelling will have a floor space index equal to 0.63 times the area of the lot (353.88 m<sup>2</sup>).
4. **Section 7.3.3, By-law 6752**  
The maximum permitted lot coverage is 35% of the lot area (197.66 m<sup>2</sup>).  
The lot coverage will be equal to 36.4% of the lot area (205.81 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0442/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	MARY KOKKAS GEORGE TSIOUTSIOULAS	Ward:	Beaches-East York (31)
Agent:	AMIR AHMADI	Heritage:	Not Applicable
Property Address:	<b>169 GLENWOOD CRES</b>	Community:	East York
Legal Description:	PLAN M623 LOT 19		

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Alex Bednar (signed)

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Donald Granatstein (signed)

---

Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0446/17TEY	Zoning:	CR 2.5(c1.0;r2.0) SS2 & MCR T2.5 C1.0 R2.0 (ZPR)
Owner(s):	HIREN KAPADIA FORUM SHAH	Ward:	Trinity-Spadina (19)
Agent:	DEEPAK KHULLAR	Heritage:	Not Applicable
Property Address:	<b>657 MANNING AVE</b>	Community:	Toronto
Legal Description:	PLAN 632 PT LOTS 195 & 196		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey semi-detached dwelling containing two dwelling units by constructing a third and fourth dwelling unit.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 150.10.20.1.(2), By-law 569-2013**  
A secondary suite is a permitted use provided that if within a detached house or semi-detached house, each dwelling unit may have a maximum of one secondary suite.  
In this case, the altered semi-detached dwelling will have three secondary suites.
- Chapter 200.5.10.1.(1), By-law 569-2013**  
A minimum of three parking spaces are required to be provided for the three secondary suites.  
In this case, zero parking spaces will be provided on the lot.
- Section 4(4)(b), By-law 438-86**  
A minimum of two additional parking spaces are required to be provided for the third and fourth dwelling unit.  
In this case, zero parking spaces will be provided on the lot.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0446/17TEY	Zoning	CR 2.5(c1.0;r2.0) SS2 & MCR T2.5 C1.0 R2.0 (ZPR)
Owner(s):	HIREN KAPADIA FORUM SHAH	Ward:	Trinity-Spadina (19)
Agent:	DEEPAK KHULLAR	Heritage:	Not Applicable
Property Address:	<b>657 MANNING AVE</b>	Community:	Toronto
Legal Description:	PLAN 632 PT LOTS 195 & 196		

**DISSENTED**

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Alex Bednar (signed)

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Donald Granatstein

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Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0447/17TEY	Zoning	R (d0.6) (x735) & R2 Z0.6 (ZZC)
Owner(s):	SYLVIA HANSEN	Ward:	Trinity-Spadina (19)
Agent:	VICTOR HIPOLITO	Heritage:	Not Applicable
Property Address:	<b>698 SHAW ST</b>	Community:	Toronto
Legal Description:	PLAN 198D BLK 2 LOT 93		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing three-storey semi-detached dwelling by constructing a rear third storey addition, a front covered porch with cold cellar underneath, a rear covered ground floor deck, and a rear detached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line will be 9.63 m.
- Chapter 10.10.40.40.(2), By-law 569-2013**  
Additions to the rear of a semi-detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (197.41 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.77 times the area of the lot (220.73 m<sup>2</sup>).
- Chapter 10.5.50.10.(1)(D), By-law 569-2013**  
A minimum of 75% (10.66 m<sup>2</sup>) of the front yard is required to be soft landscaping.  
In this case, 32% (4.60 m<sup>2</sup>) of the front yard will be maintained as soft landscaping.
- Chapter 10.5.40.60.(2)(A), By-law 569-2013**  
A canopy, awning, or similar structure above a platform is permitted to encroach into a required building setback to the same extent as the platform it is covering (2.50 m).  
The front porch roof will encroach 0.12 m beyond the porch it is covering (2.62 m).

5. **Chapter 10.5.40.60.(2)(A), By-law 569-2013**

A canopy, awning or similar structure may encroach in a side yard 2.50 m if it is no closer to the north side lot line than 0 m, and no closer to the south side lot line than 2.59 m.  
The front porch roof will be located 0.10 m from the north side lot line, and 2.33 m from the south side lot line.
6. **Chapter 10.5.40.71.(4)(A), By-law 569-2013**

The minimum required side yard setback for an addition or extension to the rear or side of a lawfully existing building or structure is 0 m from the north side lot line, and 2.6 m from the south side lot line.  
The altered dwelling will be located 2.30 m from the south side lot line, measured to the rear ground floor deck roof.
7. **Chapter 10.5.60.50.(2)(B), By-law 569-2013**

The maximum permitted total floor area of all ancillary buildings or structure on the lot is 40.0 m<sup>2</sup>.  
The rear detached garage will have a floor area of 50.55 m<sup>2</sup>.
8. **Chapter 10.5.50.10.(3)(A), By-law 569-2013**

A minimum of 50% (72.71 m<sup>2</sup>) of the rear yard must be maintained as soft landscaping.  
In this case, 49% (71.57 m<sup>2</sup>) of the rear yard will be maintained as soft landscaping.
9. **Chapter 10.10.40.30.(1)(A), By-law 569-2013**

The maximum permitted depth of a semi-detached dwelling is 17 m.  
The altered dwelling will have a depth of 17.70 m.
1. **Section 6(3) Part VI 1(I), By-law 438-86**

Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (197.41 m<sup>2</sup>).  
The altered dwelling will have a gross floor area equal to 0.77 times the area of the lot (220.73 m<sup>2</sup>).
2. **Section 6(3) Part III 3(B), By-law 438-86**

A minimum of 75% (10.66 m<sup>2</sup>) of the front yard must be maintained as soft landscaping.  
In this case, 32% (4.60 m<sup>2</sup>) of the front yard will be maintained as soft landscaping.
3. **Section 6(3) Part II 8 F(I), By-law 438-86**

A roof over a first floor platform or terrace is permitted to project a maximum of 2.5 m from the wall to which it is attached.  
The front porch roof will project 2.62 m from the main front wall.
4. **Section 6(3) Part II 8 F(III), By-law 438-86**

An uncovered platform is permitted to project into the required setbacks provided it does not extend beyond the side walls of the building.  
The front porch roof will project 0.26 m beyond the south side wall.
5. **Section 6(3) Part II 8 D, By-law 438-86**

The projection of an uncovered platform into the required setbacks is restricted to a maximum of 2.50 m from the rear wall.  
The rear ground floor deck will project 2.74 m from the rear wall.

**6. Section 6(3) Part II 8 F(I), By-law 438-86**

The top of a roof over a first floor platform or terrace is permitted to project a maximum of 2.5 m beyond the wall to which it is attached.

The rear ground floor deck roof will project 3.04 m beyond the main rear wall.

**7. Section 6(3) Part II 8 F(III), By-law 438-86**

An uncovered platform is permitted to project into the required setbacks provided it does not extend beyond the side walls of the building.

The rear ground floor deck roof will project 0.30 m beyond the south side wall.

**8. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The 0.70 m portion of the altered dwelling, exceeding the 17.0 m depth, will be located 0 m from the north side lot line, and 2.30 m from the south side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

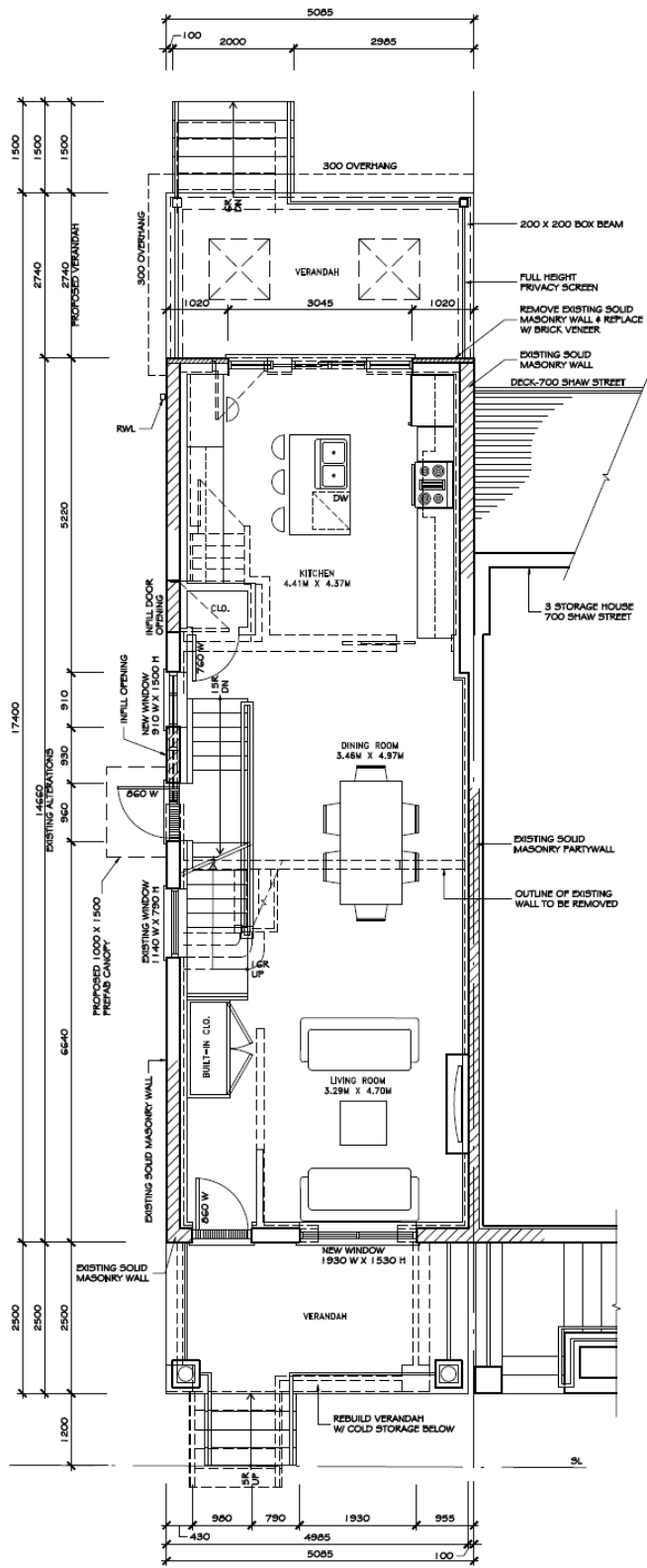
**The Minor Variance Application is Approved on Condition**


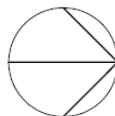
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

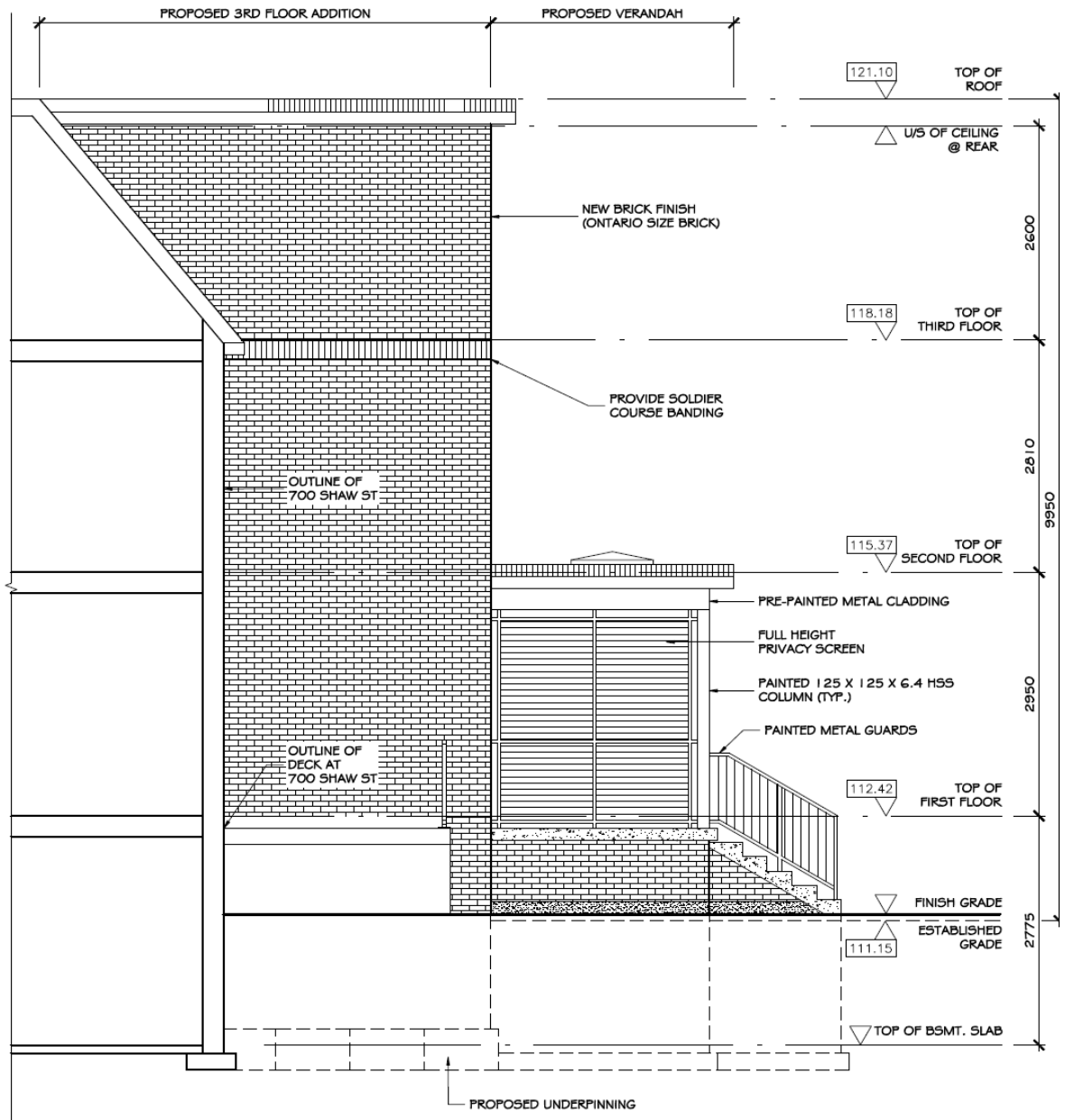
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.


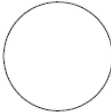
This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The alterations to the dwelling shall be constructed substantially in accordance with plans SK-4 and SK-11, filed with the Committee of Adjustment, as they relate to the privacy screening.



 <b>AMBIENT DESIGNS LTD.</b> DESIGN & BUILDING CONSULTANTS 1115 COLLEGE STREET TORONTO, ONTARIO M6H 1B5 TEL. NO. (416) 537-8531 FAX. NO. (416) 537-8131 email: ambient@ambientdesigns.ca	BCIN: 29659		PROJECT NAME 698 SHAW ST THE CITY OF TORONTO	PROJECT NO. A16170	SCALE: 1:75 M
			DRAWN BY: F.F.	DWG. NAME: FIRST FLOOR PLAN	
			DATED: APR. 11, 2017	SHEET NO. SK4	



 <b>AMBIENT DESIGNS LTD.</b> DESIGN & BUILDING CONSULTANTS 1115 COLLEGE STREET TORONTO, ONTARIO M6H 1B5 TEL. NO. (416) 537-8531 FAX. No. (416) 537-8131 email: ambient@ambientdesigns.ca	BCIN: 29659 	PROJECT NAME	PROJECT NO.	SCALE:
		698 SHAW ST THE CITY OF TORONTO	A16170	1:100
		DRAWN BY:	DWG. NAME:	
		F.F.	PART NORTH ELEVATION	
		DATED:	SHEET NO.	
		APR. 11, 2017	SK11	

**SIGNATURE PAGE**

File Number:	A0447/17TEY	Zoning	R (d0.6) (x735) & R2 Z0.6 (ZZC)
Owner(s):	SYLVIA HANSEN	Ward:	Trinity-Spadina (19)
Agent:	VICTOR HIPOLITO	Heritage:	Not Applicable
Property Address:	<b>698 SHAW ST</b>	Community:	Toronto
Legal Description:	PLAN 198D BLK 2 LOT 93		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0448/17TEY	Zoning	R(d0.6) (x931) & R2 Z0.6 (ZZC)
Owner(s):	STEVEN GREGORY HASHIMOTO	Ward:	St. Paul's (22)
Agent:	MARK FRANKLIN	Heritage:	Not Applicable
Property Address:	<b>35 BELSIZE DR</b>	Community:	Toronto
Legal Description:	PLAN 1789 PT LOT 53		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the front yard landscaping design.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.100.1.(1)(C), By-law 569-2013**  
The maximum permitted driveway width is 3.20 m wide.  
The driveway width will be 4.75 m.
- 2. Chapter 10.5.50.10.(1)(D), By-law 569-2013**  
On a lot with a detached house, 75% of the required front landscaping area must be soft landscaping (13.78 m<sup>2</sup>).  
The front yard soft landscaping area is 9.03% (3.32 m<sup>2</sup>).
- 3. Chapter 10.5.50.10.(1)(B), By-law 569-2013**  
A minimum of 50% of the front yard must be landscaping (18.38 m<sup>2</sup>).  
The front yard landscaping area (not including the front steps) will be 23.73% (8.72 m<sup>2</sup>).
- 1. Section 6(3) Part III 3(A), By-law 438-86**  
The by-law requires a minimum landscaped open space of 50% (24.40 m<sup>2</sup>).  
The landscaped open space will be 17.03 m<sup>2</sup>.
- 2. Section 6(3) Part III 3(B), By-law 438-86**  
The minimum required soft front yard landscaping is 5.11 m<sup>2</sup>.  
The front yard soft landscaping will be 3.32 m<sup>2</sup>.



**3. Section 6(3) Part IV 4(II)(B.), By-law 438-86**

A driveway which is located between the front lot line, as projected to the side lot lines, and any wall of the building facing the front lot line is not to exceed a width of the existing parking space behind the front wall, which in this case 3.2 m (as per the most recent building permit on record).

The driveway will be 4.75 m wide.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0448/17TEY	Zoning	R(d0.6) (x931) & R2 Z0.6 (ZZC)
Owner(s):	STEVEN GREGORY HASHIMOTO	Ward:	St. Paul's (22)
Agent:	MARK FRANKLIN	Heritage:	Not Applicable
Property Address:	<b>35 BELSIZE DR</b>	Community:	Toronto
Legal Description:	PLAN 1789 PT LOT 53		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0449/17TEY	Zoning	R (d0.6) (x737) & R2 Z0.6 (BLD)
Owner(s):	BENJAMIN JOHN JANETOS KATHARINE ANN WATKINS	Ward:	Parkdale-High Park (14)
Agent:	KATHARINE ANN WATKINS	Heritage:	Not Applicable
Property Address:	<b>304 INDIAN GRV</b>	Community:	Toronto
Legal Description:	PLAN M41 PT LOT 57 RP 66R-12391 PART 1		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing three-storey semi-detached dwelling by constructing a rear third storey dormer.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index is 0.6 times the area of the lot (155.0 m<sup>2</sup>). The altered dwelling will have a floor space index equal to 0.72 times the area of the lot (187.0 m<sup>2</sup>).

**Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area is 0.6 times the area of the lot (155.0 m<sup>2</sup>). The altered dwelling will have a gross floor area equal to 0.72 times the area of the lot (187.0 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0449/17TEY	Zoning	R (d0.6) (x737) & R2 Z0.6 (BLD)
Owner(s):	BENJAMIN JOHN JANETOS KATHARINE ANN WATKINS	Ward:	Parkdale-High Park (14)
Agent:	KATHARINE ANN WATKINS	Heritage:	Not Applicable
Property Address:	<b>304 INDIAN GRV</b>	Community:	Toronto
Legal Description:	PLAN M41 PT LOT 57 RP 66R-12391 PART 1		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0450/17TEY	Zoning:	RD (f12.0;a370;d0.6) & R1B (ZZC)
Owner(s):	DORIS MOLLER HONEY ROSENBAUM	Ward:	Toronto-Danforth (29)
Agent:	JAKE WILLIAMS	Heritage:	Not Applicable
Property Address:	<b>32 HOPEDALE AVE</b>	Community:	East York
Legal Description:	PLAN M444 PT LOT 9		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To legalize and to maintaining the second dwelling unit in the basement and to alter the existing 1½-storey semi-detached dwelling by constructing a front ground floor addition and a front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (87.86 m<sup>2</sup>).  
The lot coverage will be 37.7% of the lot area (94.64 m<sup>2</sup>).
- Chapter 10.40.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 6.0 m.  
The altered dwelling will be located 3.66 m from the east front lot line.
- Chapter 10.5.40.60.(1)(A)(i), By-law 569-2013**  
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5 m, if it is no closer to a side lot line than the required side yard setback,  
The platform will encroach 3.52 m into the required east front yard setback.
- Chapter 10.5.40.60.(2)(B)(i), By-law 569-2013**  
A canopy, awing, or similar structure not covering a platform may encroach into a front yard or rear yard a maximum of 2.5 m, if it is no closer to a side lot line than the minimum required side yard setback back.  
The canopy will encroach 2.94 m.

**1 Section 7.3.3, By-law 6752**

The minimum required front yard setback is 6.0 m.  
The altered dwelling will be located 3.66 m from the east front lot line.

**2. Section 7.3.3, By-law 6752**

The maximum permitted lot coverage is 35% of the lot area (87.86 m<sup>2</sup>).  
The lot coverage will be 37.7% of the lot area (94.64 m<sup>2</sup>).

**3. Section 7.1.3.(e), By-law 6752**

Converted houses are permitted provided there is no addition or substantial alteration to the exterior appearance of the front of the house.  
In this case, there will be alterations to the front of the existing house.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.



**SIGNATURE PAGE**

File Number:	A0450/17TEY	Zoning	RD (f12.0;a370;d0.6) & R1B (ZZC)
Owner(s):	DORIS MOLLER HONEY ROSENBAUM	Ward:	Toronto-Danforth (29)
Agent:	JAKE WILLIAMS	Heritage:	Not Applicable
Property Address:	<b>32 HOPEDALE AVE</b>	Community:	East York
Legal Description:	PLAN M444 PT LOT 9		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0451/17TEY	Zoning	RD(d0.35)(x961) & R1 Z0.35 (ZZC)
Owner(s):	2488471 ONTARIO INC.	Ward:	Beaches-East York (32)
Agent:	STUART HATCH	Heritage:	Not Applicable
Property Address:	<b>130 MACLEAN AVE</b>	Community:	Toronto
Legal Description:	PLAN 562E PT LOT 10		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct three rear decks with stairs, a rooftop deck over the rear attached garage and mid-level and lower-level decks extending beyond the garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.50.10.(3)(B), By-law 569-2013**  
A minimum of 50% (19.21 m<sup>2</sup>) of the rear yard must be maintained as soft landscaping.  
In this case, 25.15% (9.66 m<sup>2</sup>) of the rear yard will be maintained as soft landscaping.
- Chapter 10.5.40.60.(1)(C), By-law 569-2013**  
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 1.58 m if it is no closer to a side lot line than 0.43 m.  
The lower deck will encroach 3.18 m into the required rear yard setback and will be located 0.0 m from the west side lot line.
- Chapter 10.5.40.60.(1)(E), By-law 569-2013**  
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required side yard setback 1.5 m if it is no closer to a side lot line than 0.3 m.  
The lower deck will encroach 1.21 m into the required west side yard setback and will be located 0.0 m from the west side lot line.
- Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**  
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.  
The stairs will be located 0.0 m from the west side lot line.

**5. Chapter 900.3.10.(961), By-law 569-2013**

Despite regulation 10.5.40.60(1), in a front yard or rear yard, a platform with a floor higher than the first floor of the building above established grade may not encroach into the required rear yard setback.

The mid-level deck will encroach into the required rear yard setback.

**1. Section 6(3) Part II 5(II), By-law 438-86**

The maximum permitted depth of a detached dwelling is 17.0 m.

The building will have a depth of 21.84 m, measured to the south end of the stairs down from the uppermost rooftop deck on top of the garage.

**2. Section 6(3) Part II 8 E, By-law 438-86**

Uncovered platforms are permitted to project into the required setbacks provided it does not extend beyond the side walls of the building.

In this case, the lower deck extends beyond the west side walls as projected.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0451/17TEY	Zoning	RD(d0.35)(x961) & R1 Z0.35 (ZZC)
Owner(s):	2488471 ONTARIO INC.	Ward:	Beaches-East York (32)
Agent:	STUART HATCH	Heritage:	Not Applicable
Property Address:	<b>130 MACLEAN AVE</b>	Community:	Toronto
Legal Description:	PLAN 562E PT LOT 10		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0452/17TEY	Zoning:	RD (f15.0; d0.35) (x1332) & R1 Z0.35 (ZZC)
Owner(s):	ALIREZA SALEH LUBNA SHEIKH	Ward:	St. Paul's (22)
Agent:	VICTOR GUITBERG	Heritage:	Not Applicable
Property Address:	<b>474 RUSSELL HILL RD</b>	Community:	Toronto
Legal Description:	PLAN 2240 LOT 86		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling with an integral garage, a rear basement walkout, and a rear ground floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.20.(1), By-law 569-2013**  
The maximum permitted building length for a detached dwelling is 17.0 m.  
The new detached dwelling will have a building length of 20.47 m.
- Chapter 10.20.40.30.(1), By-law 569-2013**  
The maximum permitted depth of a detached dwelling is 19.0 m.  
The new detached dwelling will have a depth of 20.47 m.
- Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.35 times the area of the lot (244.41 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.68 times the area of the lot (475.22 m<sup>2</sup>).
- Chapter 10.20.40.70.(3)(D), By-law 569-2013**  
The minimum required side yard setback is 1.5 m.  
The new detached dwelling will be located 1.21 m from the north side lot line, and 0.9 m from the south side lot line.

**5. Chapter 10.5.100.1.(C), By-law 569-2013**

The maximum permitted driveway width is 3.2 m.  
In this case, the driveway width will be 4.2 m.

**1. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The portion of the new detached dwelling, exceeding the 17.0 m depth, will be located 1.21 m from the north side lot line, and 0.9 m from the south side lot line.

**2. Section 6(3) Part IV 4(II), By-law 438-86**

The maximum width of a driveway, located between the front lot line, as projected to the side lot lines, and any wall facing the front lot line is 3.2 m.

In this case, the driveway width will be 4.2 m.

**3. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.35 times the area of the lot (244.41 m<sup>2</sup>).

The new detached dwelling will have a gross floor area equal to 0.67 times the area of the lot (465.71 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

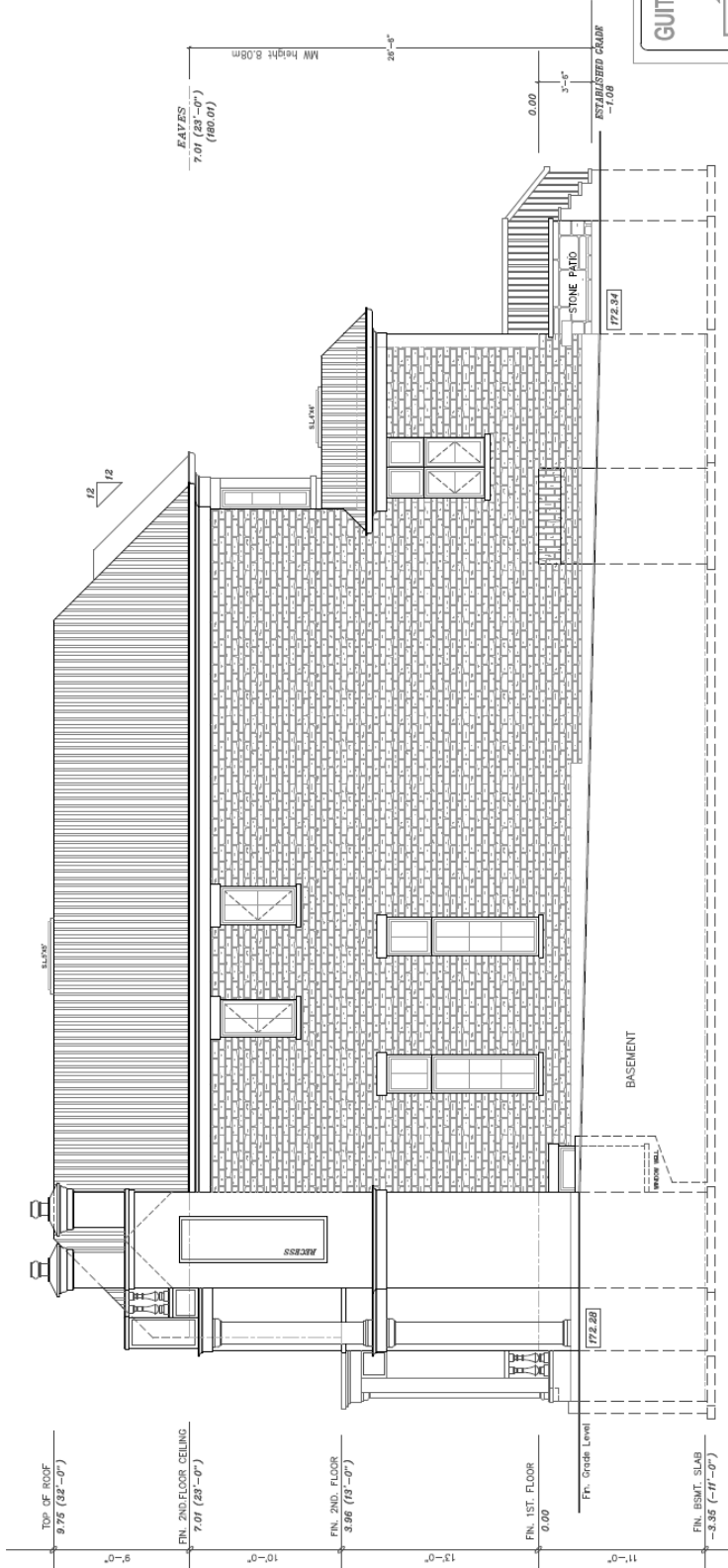
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The dwelling shall be constructed substantially in accordance with the north side elevation, filed with the Committee of Adjustment, as it relates to the building envelope.





**GUTBERG GROUP INC.**

33 BELVEDERE CRES.  
 RICHMOND HILL,  
 ONTARIO, L4C 8W1  
 TEL. (905) 508-7436  
 FAX. (905) 508-7453

PRIVATE RESIDENCE  
 AT #474 RUSSELL HILL ROAD  
 CITY OF TORONTO, ONTARIO

NORTH ELEVATION	
DRAWN BY	J.M.
CHECKED	V.C.
SCALE	1/8" = 1'-0"
DATE	MARCH 17
PROJECT NUMBER	R-03/03/17
A - 8	

**NORTH ELEVATION**  
 SCALE 1/8" = 1'-0"

**SIGNATURE PAGE**

File Number:	A0452/17TEY	Zoning	RD (f15.0; d0.35) (x1332) & R1 Z0.35 (ZZC)
Owner(s):	ALIREZA SALEH LUBNA SHEIKH	Ward:	St. Paul's (22)
Agent:	VICTOR GUITBERG	Heritage:	Not Applicable
Property Address:	<b>474 RUSSELL HILL RD</b>	Community:	Toronto
Legal Description:	PLAN 2240 LOT 86		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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**32. 26 WESTMINSTER AVE**

File Number:	A0453/17TEY	Zoning	R (d0.6)(x296) & R2 Z0.6 (Waiver)
Owner(s):	PAUL SERIANNI KRISTEN THOMAS	Ward:	Parkdale-High Park (14)
Agent:	PRZEMYSLAW LATOSZEK	Heritage:	Not Applicable
Property Address:	<b>26 WESTMINSTER AVE</b>	Community:	Toronto
Legal Description:	PLAN 510 PT LOT 4		

**Closed at the public hearing on August 9, 2017.**



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0454/17TEY	Zoning	R (d0.6)(x735) & R2 Z0.6 (ZZC)
Owner(s):	JENNIFER MAN PO LAI	Ward:	Trinity-Spadina (19)
Agent:	ROCK KIM	Heritage:	Not Applicable
Property Address:	<b>412 MARKHAM ST</b>	Community:	Toronto
Legal Description:	PLAN 574 BLK B PT LOT 284		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing three-storey semi-detached dwelling by constructing a new front porch, a front basement entrance and rear ground, second and third floor decks.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.

In this case, the front basement walkout stairs will be located 0.14 m from the north lot line.

**2. Chapter 10.5.50.10.(1)(D), By-law 569-2013**

A minimum of 75% of the required front yard landscaping must be soft landscaping (11.57 m<sup>2</sup>).

In this case, 74% (11.41 m<sup>2</sup>) of the front yard will be soft landscaping.

**3. Chapter 10.5.40.60.(1)(D), By-law 569-2013**

A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may be no closer to a side lot line than 0.45 m.

In this case, the rear second and third floor balconies will be located 0.40 m from the north side lot line.

**1. Section 6(3) Part III 3(B), By-law 438-86**

A minimum of 75% (11.57 m<sup>2</sup>) of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 74% (11.41 m<sup>2</sup>) of the required front yard landscaped open space will be in the form of soft landscaping.

**2. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

In this case, the rear second and third floor balconies exceed the permitted building depth by 3.66 m and will be located 0.4 m from the north side lot line and 1.37 m from the south side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The applicant shall install landscaped screening along the west edge of the front basement walkout to the satisfaction of the Director, Community Planning, Toronto and East York District.

## SIGNATURE PAGE

File Number:	A0454/17TEY	Zoning	R (d0.6)(x735) & R2 Z0.6 (ZZC)
Owner(s):	JENNIFER MAN PO LAI	Ward:	Trinity-Spadina (19)
Agent:	ROCK KIM	Heritage:	Not Applicable
Property Address:	<b>412 MARKHAM ST</b>	Community:	Toronto
Legal Description:	PLAN 574 BLK B PT LOT 284		

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Alex Bednar (signed)

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Donald Granatstein (signed)

---

Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0458/17TEY	Zoning:	R(d0.6) & R2 Z0.6 (ZZC)
Owner(s):	ELAINE WHITTAKER GREGORY ALBO	Ward:	St. Paul's (21)
Agent:	RAHUL CHOPRA	Heritage:	Not Applicable
Property Address:	<b>216 ASHWORTH AVE</b>	Community:	Toronto
Legal Description:	PLAN D 1360 PT LOT 24 PT LOT 25		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached garage in the rear yard.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.60.50.(2)(B), By-law 569-2013**  
The maximum permitted total floor area of all ancillary buildings or structure on the lot is 40.0 m<sup>2</sup>.  
The rear detached garage will have a floor area of 43.52 m<sup>2</sup>.
- 2. Chapter 10.10.60.20.(1)(A), By-law 569-2013**  
The minimum required rear yard setback for an ancillary building or structure is 1.0 m.  
The rear detached garage will be located 0.46 m from the rear lot line.
- 1. Section 6(3) Part II 7(II) A, By-law 438-86**  
The minimum required setback of an accessory structure to an adjacent residential building is 4.5 m.  
The rear detached garage will be located 4.18 m from the east adjacent residential building (214 Ashworth Avenue).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0458/17TEY	Zoning	R(d0.6) & R2 Z0.6 (ZZC)
Owner(s):	ELAINE WHITTAKER GREGORY ALBO	Ward:	St. Paul's (21)
Agent:	RAHUL CHOPRA	Heritage:	Not Applicable
Property Address:	<b>216 ASHWORTH AVE</b>	Community:	Toronto
Legal Description:	PLAN D 1360 PT LOT 24 PT LOT 25		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0464/17TEY	Zoning	R3 Z1.0 & Site-specific zoning by-law 148-2011(OMB) (WAIVER)
Owner(s):	RON WATERS LESLIE LARKE WATERS	Ward:	Toronto Centre-Rosedale (27)
Agent:	IAN STARKEY	Heritage:	Designated
Property Address:	<b>36 HAZELTON AVE 7A</b>	Community:	Toronto
Legal Description:	TSCP 2506 LEVEL 7 UNIT 1 LEVEL A UNIT 11 LKR LEVEL A UNIT 39 LKR WINE LEVEL B UNITS 2 3 4 PKG		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct pergolas at the seventh floor and mechanical penthouse level of Suite 7A.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 1.(d)(i), By-law 148-2011(OMB)**  
The maximum height for parapets, terrace guards and dividers, planters, railings, decorative screens, window washing equipment, and ornamental architectural features shall be the sum of 1.8 metres and the applicable height limit shown on Map 2.  
The seventh floor pergola will exceed the height limit by 0.754 m.
- Section 1.(d)(i), By-law 148-2011(OMB)**  
The maximum height for parapets, terrace guards and dividers, planters, railings, decorative screens, window washing equipment, and ornamental architectural features shall be the sum of 1.8 metres and the applicable height limit shown on Map 2.  
The mechanical penthouse pergola will exceed the height limit by 1.119m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0464/17TEY	Zoning	R3 Z1.0 & Site-specific zoning by-law 148-2011(OMB) (WAIVER)
Owner(s):	RON WATERS LESLIE LARKE WATERS	Ward:	Toronto Centre-Rosedale (27)
Agent:	IAN STARKEY	Heritage:	Designated
Property Address:	<b>36 HAZELTON AVE 7A</b>	Community:	Toronto
Legal Description:	TSCP 2506 LEVEL 7 UNIT 1 LEVEL A UNIT 11 LKR LEVEL A UNIT 39 LKR WINE LEVEL B UNITS 2 3 4 PKG		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.





**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0473/17TEY	Zoning	RD (f10.0; d0.35) (x1392) & R1 Z0.35 (ZZC)
Owner(s):	JULIE WILSON	Ward:	Beaches-East York (32)
Agent:	WILL HUDSON	Heritage:	Not Applicable
Property Address:	<b>12 LEONARD CRCL</b>	Community:	Toronto
Legal Description:	PLAN M568 LOT 92		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling with an integral garage, a front covered porch, a front second floor bay window, a rear first floor bay window, and a rear ground floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building height is 10 m.  
The new detached dwelling will have a height of 10.35 m.
- Chapter 10.20.40.10.(6), By-law 569-2013**  
The maximum permitted height of the first floor of a detached dwelling above established grade is 1.2 m.  
The first floor of the new detached dwelling will have a height of 1.59 m above established grade.
- Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.35 times the area of the lot (116.9 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.67 times the area of the lot (223.56 m<sup>2</sup>).
- Section 4(2)(a), By-law 438-86**  
The maximum permitted building height is 10 m.  
The new detached dwelling will have a height of 10.75 m.

**2. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.35 times the area of the lot (116.9 m<sup>2</sup>).

The new detached dwelling will have a gross floor area equal to 0.67 times the area of the lot (223.56 m<sup>2</sup>).

**3. Section 6(3) Part II 8 D, By-law 438-86**

The projection of an uncovered platform into the required setbacks is restricted to a maximum of 2.50 m from the front or rear wall.

The rear deck will project 3.05 m from the rear wall.

**4. Section 6(3) Part II 8 I(I), By-law 438-86**

A bay window is permitted to project into the required setbacks provided it does not exceed 3 m in width.

The rear first floor bay window will have a width of 3.61 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (3) The new dwelling shall be constructed substantially in accordance with the front elevation drawing A2.1, filed with the Committee of Adjustment.



**SIGNATURE PAGE**

File Number:	A0473/17TEY	Zoning	RD (f10.0; d0.35) (x1392) & R1 Z0.35 (ZZC)
Owner(s):	JULIE WILSON	Ward:	Beaches-East York (32)
Agent:	WILL HUDSON	Heritage:	Not Applicable
Property Address:	<b>12 LEONARD CRCL</b>	Community:	Toronto
Legal Description:	PLAN M568 LOT 92		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION**  
**CONSENT**  
**(Section 53 of the Planning Act)**

File Number:	B0044/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	ROKEYA SULTANA MD NURUL HUDA KHAN	Ward:	Beaches-East York (31)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	<b>78 PEARD RD</b>	Community:	East York
Legal Description:	PLAN 2016 LOT 97 PT LOTS 96 AND 98		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**THE CONSENT REQUESTED:**

To obtain consent to sever the property into two undersized residential lots and to sever a portion of the land for the purpose of a lot addition.

**Conveyed- Part 1, Draft R-Plan**

**Address to be assigned**

The lot frontage is 7.544 m and the lot area is 262.1 m<sup>2</sup>. A new two-storey detached dwelling will be constructed and will require variances to the Zoning By-law, outlined in Application number A0523/17TEY.

**Retained – Part 2, Draft R-Plan**

**Address to be assigned**

The reduced parcel of land, shown as part 2, has a lot frontage of 7.544 m and a lot area of 262.1 m<sup>2</sup>. A new two-storey detached dwelling will be constructed and will require variances to the Zoning By-law, outlined in application number A0524/17TEY.

**Lot Addition – Part 3, Draft R-Plan**

Part 3 has a width of 0.076 m on the south portion, a width 0.311 m on the north portion, and an area of 1.6 m<sup>2</sup>. Part 3 will be added to the holdings of the east abutting property, described as Parts 4 & 5 in consent application B0045/17TEY (80 Peard Road)

**Application Number B0044/17TEY, A0523/17TEY & A0524/17TEY will be considered jointly.**

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Refused**

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- (i) the proposed land division does not conform to the policies of the official plan;
- (ii) the suitability of the land for the purposes for which it is to be subdivided has not been demonstrated;
- (iii) the suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

**SIGNATURE PAGE**

File Number:	B0044/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	ROKEYA SULTANA MD NURUL HUDA KHAN	Ward:	Beaches-East York (31)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	<b>78 PEARD RD</b>	Community:	East York
Legal Description:	PLAN 2016 LOT 97 PT LOTS 96 AND 98		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **MONDAY, SEPTEMBER 11, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0523/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	ROKEYA SULTANA MD NURUL HUDA KHAN	Ward:	Beaches-East York (31)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	<b>78 PEARD RD - PART 1</b>	Community:	East York
Legal Description:	PLAN 2016 LOT 97 PT LOTS 96 AND 98		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling on the conveyed lot described in consent application B0044/17TEY.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.10.(1)(A), By-law 569-2013**  
The minimum required lot area is 370 m<sup>2</sup>.  
The area of the conveyed lot will be 262.1 m<sup>2</sup>.
- Chapter 10.20.30.20.(1)(A), By-law 569-2013**  
The minimum required lot frontage is 12 m.  
The frontage of the conveyed lot will be 7.544 m.
- Chapter 10.20.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (91.74 m<sup>2</sup>).  
The lot coverage will be equal to 40.7% of the lot area (106.68 m<sup>2</sup>).
- Chapter 10.20.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building height is 8.5 m.  
The new detached dwelling will have a height of 9 m.
- Chapter 10.20.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.  
The height of the side exterior main walls facing a side lot line will be 7.64 m.

6. **Chapter 10.20.40.10.(6), By-law 569-2013**

The maximum permitted height of the first floor of a detached dwelling above established grade is 1.2 m.  
The first floor of the new detached dwelling will have a height of 2.75 m above established grade.
7. **Chapter 10.5.40.60.(2)(B)(i), By-law 569-2013**

A canopy, awning or similar structure may encroach in a front or rear yard 1.55 m if it is no closer to a side lot line than the minimum required side yard setback.  
In this case, the canopy encroaches 1.55 m and is 0.22 m closer to the west side lot line than the required setback.
8. **Chapter 10.20.40.20.(1), By-law 569-2013**

The maximum permitted building length for a detached dwelling is 17 m.  
The new detached dwelling will have a building length of 17.5 m.
9. **Chapter 10.20.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (157.26 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.82 times the area of the lot (214.51 m<sup>2</sup>).
10. **Chapter 10.20.40.70.(3)(B), By-law 569-2013**

The minimum required side yard setback is 0.9 m.  
The new detached dwelling will be located 0.6 m from the east side lot line and 0.84 m from the west side lot line.
1. **Section 7.3.3, By-law 6752**

The maximum permitted building height is 8.5 m.  
The new detached dwelling will have a height of 9 m.
2. **Section 7.3.3, By-law 6752**

The maximum permitted building length for a detached dwelling is 16.75 m.  
The new detached dwelling will have a building length of 17.5 m.
3. **Section 7.3.3, By-law 6752**

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (157.26 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.82 times the area of the lot (214.51 m<sup>2</sup>).
4. **Section 7.3.3, By-law 6752**

The minimum required lot area is 370 m<sup>2</sup>.  
The area of the conveyed lot will be 262.1 m<sup>2</sup>.
5. **Section 7.3.3, By-law 6752**

The maximum permitted lot coverage is 35% of the lot area (91.74 m<sup>2</sup>).  
The lot coverage will be equal to 42.13% of the lot area (110.43 m<sup>2</sup>).

**6. Section 7.3.3, By-law 6752**

The minimum required lot frontage is 12 m.  
The frontage of the conveyed lot will be 7.544 m.

**7. Section 7.3.3, By-law 6752**

The minimum required side yard setback is 0.9 m.  
The new detached dwelling will be located 0.6 m from the east side lot line and 0.84 m from the west side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0523/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	ROKEYA SULTANA MD NURUL HUDA KHAN	Ward:	Beaches-East York (31)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	<b>78 PEARD RD - PART 1</b>	Community:	East York
Legal Description:	PLAN 2016 LOT 97 PT LOTS 96 AND 98		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0524/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	ROKEYA SULTANA MD NURUL HUDA KHAN	Ward:	Beaches-East York (31)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	<b>78 PEARD RD - PART 2</b>	Community:	East York
Legal Description:	PLAN 2016 LOT 97 PT LOTS 96 AND 98		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling on the retained lot described in consent application B0044/17TEY.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.10.(1)(A), By-law 569-2013**  
The minimum required lot area is 370 m<sup>2</sup>.  
The area of the retained lot will be 262.1 m<sup>2</sup>.
- Chapter 10.20.30.20.(1)(A), By-law 569-2013**  
The minimum required lot frontage is 12 m.  
The frontage of the retained lot will be 7.544 m.
- Chapter 10.20.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (91.74 m<sup>2</sup>).  
The lot coverage will be equal to 40.7% of the lot area (106.68 m<sup>2</sup>).
- Chapter 10.20.40.10.(6), By-law 569-2013**  
The maximum permitted height of the first floor of a detached dwelling above established grade is 1.2 m.  
The first floor of the new detached dwelling will have a height of 2.11 m above established grade.
- Chapter 10.20.40.20.(1), By-law 569-2013**  
The maximum permitted building length for a detached dwelling is 17 m.  
The new detached dwelling will have a building length of 17.5 m.

- 6. Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
 The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (157.26 m<sup>2</sup>).  
 The new detached dwelling will have a floor space index equal to 0.82 times the area of the lot (214.51 m<sup>2</sup>).
- 7. Chapter 10.5.40.60.(2)(B)(i), By-law 569-2013**  
 A canopy, awning or similar structure may encroach in a front or rear yard 1.55 m if it is no closer to a side lot line than the minimum required side yard setback.  
 In this case, the canopy encroaches 1.55 m and is 0.22 m closer to the east side lot line than the required setback.
- 8. Chapter 10.20.40.70.(3)(B), By-law 569-2013**  
 The minimum required side yard setback is 0.9 m.  
 The new detached dwelling will be located 0.6 m from the west side lot line and 0.84 m from the east side lot line.
- 1. Section 7.3.3, By-law 6752**  
 The maximum permitted building length for a detached dwelling is 16.75 m.  
 The new detached dwelling will have a building length of 17.5 m.
- 2. Section 7.3.3, By-law 6752**  
 The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (157.26 m<sup>2</sup>).  
 The new detached dwelling will have a floor space index equal to 0.82 times the area of the lot (214.51 m<sup>2</sup>).
- 3. Section 7.3.3, By-law 6752**  
 The minimum required lot area is 370 m<sup>2</sup>.  
 The area of the retained lot will be 262.1 m<sup>2</sup>.
- 4. Section 7.3.3, By-law 6752**  
 The maximum permitted lot coverage is 35% of the lot area (91.74 m<sup>2</sup>).  
 The lot coverage will be equal to 42.13% of the lot area (110.43 m<sup>2</sup>).
- 5. Section 7.3.3, By-law 6752**  
 The minimum required lot frontage is 12 m.  
 The frontage of the retained lot will be 7.544 m.
- 6. Section 7.3.3, By-law 6752**  
 The minimum required side yard setback is 0.9 m.  
 The new detached dwelling will be located 0.6 m from the west side lot line and 0.84 m from the east side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**



It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0524/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	ROKEYA SULTANA MD NURUL HUDA KHAN	Ward:	Beaches-East York (31)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	<b>78 PEARD RD - PART 2</b>	Community:	East York
Legal Description:	PLAN 2016 LOT 97 PT LOTS 96 AND 98		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

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City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

File Number:	B0045/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	MOHAMMAD RAFIQUL HAQUE	Ward:	Beaches-East York (31)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	<b>80 PEARD RD</b>	Community:	East York
Legal Description:	PLAN 2016 LOT 99 PT LOT 98 PT LOT 100		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

#### THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

#### Conveyed- Part 5, Draft R-Plan Address to be assigned

The lot frontage is 7.544 m and the lot area is 262.1 m<sup>2</sup>. A new two-storey detached dwelling will be constructed and will require variances to the Zoning By-law, outlined in Application number A0525/17TEY.

#### Retained – Parts 3 & 4, Draft R-Plan Address to be assigned

Part 3, forming the lot addition described in application B44/17TEY, together with Part 4, will have a lot frontage of 7.544 m and a lot area of 262.1 m<sup>2</sup>. A new two-storey detached dwelling will be constructed, requiring variances to the Zoning By-law, outlined in application number A0526/17TEY.

**Application Number B0045/17TEY, A0525/17TEY & A0526/17TEY will be considered jointly.**

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Refused**

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- (i) the proposed land division does not conform to the policies of the official plan;
- (ii) the suitability of the land for the purposes for which it is to be subdivided has not been demonstrated;
- (iii) the suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

**SIGNATURE PAGE**

File Number:	B0045/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	MOHAMMAD RAFIQUL HAQUE	Ward:	Beaches-East York (31)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	<b>80 PEARD RD</b>	Community:	East York
Legal Description:	PLAN 2016 LOT 99 PT LOT 98 PT LOT 100		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **MONDAY, SEPTEMBER 11, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0525/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	MOHAMMAD RAFIQUL HAQUE	Ward:	Beaches-East York (31)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	<b>80 PEARD RD - PART 5</b>	Community:	East York
Legal Description:	PLAN 2016 LOT 99 PT LOT 98 PT LOT 100		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling on the conveyed lot described in consent application B0045/17TEY.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.60.(2)(B)(i), By-law 569-2013**  
A canopy, awning or similar structure may encroach in a front or rear yard 1.55 m if it is no closer to a side lot line than the minimum required side yard setback.  
In this case, the canopy encroaches 1.55 m and is 0.22 m closer to the east side lot line than the required setback.
- Chapter 10.20.30.10.(1)(A), By-law 569-2013**  
The minimum required lot area is 370 m<sup>2</sup>.  
The area of the conveyed lot will be 262.1 m<sup>2</sup>.
- Chapter 10.20.30.20.(1)(A), By-law 569-2013**  
The minimum required lot frontage is 12 m.  
The frontage of the conveyed lot will be 7.544 m.
- Chapter 10.20.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (91.74 m<sup>2</sup>).  
The lot coverage will be equal to 40.7% of the lot area (106.68 m<sup>2</sup>).
- Chapter 10.20.40.10.(1), By-law 569-2013**  
The maximum permitted height of a detached dwelling is 8.5 m.  
The new detached dwelling will have a height of 8.8 m.



- 6. Chapter 10.20.40.10.(2)(B), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.  
The height of the side exterior main walls facing a side lot line will be 7.44 m.
- 7. Chapter 10.20.40.10.(6), By-law 569-2013**  
The maximum permitted height of the first floor of a detached dwelling above established grade is 1.2 m.  
The first floor of the new detached dwelling will have a height of 2.65 m above established grade.
- 8. Chapter 10.20.40.20.(1), By-law 569-2013**  
The maximum permitted building length for a detached dwelling is 17 m.  
The new detached dwelling will have a building length of 17.5 m.
- 9. Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (157.26 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.82 times the area of the lot (214.51 m<sup>2</sup>).
- 10. Chapter 10.20.40.70.(3)(B), By-law 569-2013**  
The minimum required side yard setback is 0.9 m.  
The new detached dwelling will be located 0.6 m from the west side lot line and 0.84 m from the east side lot line.
- 1. Section 7.3.3, By-law 6752**  
The maximum permitted building height is 8.5 m.  
The new detached dwelling will have a height of 8.8 m.
- 2. Section 7.3.3, By-law 6752**  
The maximum permitted building length for a detached dwelling is 16.75 m.  
The new detached dwelling will have a building length of 17.5 m.
- 3. Section 7.3.3, By-law 6752**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (157.26 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.82 times the area of the lot (214.51 m<sup>2</sup>).
- 4. Section 7.3.3, By-law 6752**  
The minimum required lot area is 370 m<sup>2</sup>.  
The area of the conveyed lot will be 262.1 m<sup>2</sup>.
- 5. Section 7.3.3, By-law 6752**  
The maximum permitted lot coverage is 35% of the lot area (91.74 m<sup>2</sup>).  
The lot coverage will be equal to 42.13% of the lot area (110.43 m<sup>2</sup>).
- 6. Section 7.3.3, By-law 6752**  
The minimum required lot frontage is 12 m.  
The frontage of the conveyed lot will be 7.544 m.

**7. Section 7.3.3, By-law 6752**

The minimum required side yard setback is 0.9 m.

The new detached dwelling will be located 0.6 m from the west side lot line and 0.84 m from the east side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0525/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	MOHAMMAD RAFIQUL HAQUE	Ward:	Beaches-East York (31)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	<b>80 PEARD RD - PART 5</b>	Community:	East York
Legal Description:	PLAN 2016 LOT 99 PT LOT 98 PT LOT 100		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0526/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	MOHAMMAD RAFIQUL HAQUE	Ward:	Beaches-East York (31)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	<b>80 PEARD RD – PARTS 3 &amp; 4</b>	Community:	East York
Legal Description:	PLAN 2016 LOT 99 PT LOT 98 PT LOT 100		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling on the retained lot described in consent application B0045/17TEY.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.10.(1)(A), By-law 569-2013**  
The minimum required lot area is 370 m<sup>2</sup>.  
The area of the retained lot will be 262.1 m<sup>2</sup>.
- Chapter 10.20.30.20.(1)(A), By-law 569-2013**  
The minimum required lot frontage is 12 m.  
The frontage of the retained lot will be 7.544 m.
- Chapter 10.20.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (91.74 m<sup>2</sup>).  
The lot coverage will be equal to 40.7% of the lot area (106.68 m<sup>2</sup>).
- Chapter 10.20.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building height is 8.5 m.  
The new detached dwelling will have a height of 9 m.
- Chapter 10.20.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.  
The height of the side exterior main walls facing a side lot line will be 7.64 m.

- 6. Chapter 10.20.40.10.(6), By-law 569-2013**  
The maximum permitted height of the first floor of a detached dwelling above established grade is 1.2 m.  
The first floor of the new detached dwelling will have a height of 2.65 m above established grade.
- 7. Chapter 10.20.40.20.(1), By-law 569-2013**  
The maximum permitted building length for a detached dwelling is 17 m.  
The new detached dwelling will have a building length of 17.5 m.
- 8. Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (157.26 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.82 times the area of the lot (214.51 m<sup>2</sup>).
- 9. Chapter 10.20.40.70.(3)(B), By-law 569-2013**  
The minimum required side yard setback is 0.9 m.  
The new detached dwelling will be located 0.6 m from the east side lot line and 0.84 m from the west side lot line.
- 10. Chapter 10.5.40.60.(2)(B)(i), By-law 569-2013**  
A canopy, awning or similar structure may encroach in a front or rear yard 1.55 m if it is no closer to a side lot line than the minimum required side yard setback.  
In this case, the canopy encroaches 1.55 m and is 0.22 m closer to the west side lot line than the required setback.
- 1. Section 7.3.3, By-law 6752**  
The maximum permitted building height is 8.5 m.  
The new detached dwelling will have a height of 9 m.
- 2. Section 7.3.3, By-law 6752**  
The maximum permitted building length for a detached dwelling is 16.75 m.  
The new detached dwelling will have a building length of 17.5 m.
- 3. Section 7.3.3, By-law 6752**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (157.26 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.82 times the area of the lot (214.51 m<sup>2</sup>).
- 4. Section 7.3.3, By-law 6752**  
The minimum required lot area is 370 m<sup>2</sup>.  
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The maximum permitted lot coverage is 35% of the lot area (91.74 m<sup>2</sup>).  
The lot coverage will be equal to 42.13% of the lot area (110.43 m<sup>2</sup>).

**6. Section 7.3.3, By-law 6752**

The minimum required lot frontage is 12 m.  
The frontage of the retained lot will be 7.544 m.

**7. Section 7.3.3, By-law 6752**

The minimum required side yard setback is 0.9 m.  
The new detached dwelling will be located 0.6 m from the east side lot line and 0.84 m from the west side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0526/17TEY	Zoning	RD (f12.0; a370; d0.6) & R1B (ZZC)
Owner(s):	MOHAMMAD RAFIQUL HAQUE	Ward:	Beaches-East York (31)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	<b>80 PEARD RD – PARTS 3 &amp; 4</b>	Community:	East York
Legal Description:	PLAN 2016 LOT 99 PT LOT 98 PT LOT 100		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

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Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

---

Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



## Appeal Information

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0009/17TEY	Zoning	R (d0.6)(x296) & R2 Z0.6 (ZZC)
Owner(s):	SHANE MORRISON SMYTH AURORA RATCLIFFE	Ward:	Parkdale-High Park (14)
Agent:	RICHARD DE OLIVEIRA	Heritage:	Not Applicable
Property Address:	<b>180 SORAUREN AVE</b>	Community:	Toronto
Legal Description:	PLAN 509 PT BLK B		

Notice was given and a Public Hearing was held on **Wednesday, August 16, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing a rear one-storey addition and rear detached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.40.(2)(A), By-law 569-2013**

The maximum permitted floor space index for additions to the rear of a semi-detached house erected before October 15, 1953 is 0.69 times the area of the lot (154.19 m<sup>2</sup>).  
The floor space index will be 0.88 times the area of the lot (197.71 m<sup>2</sup>).

**2. Chapter 10.10.40.30.(1)(A), By-law 569-2013**

The maximum permitted building depth for a semi-detached house is 17.00 m.  
The semi-detached building depth will be 18.38 m.

**1. Section 6(3) Part II 5(II), By-law 438-86**

The maximum permitted building depth for a semi-detached house is 17.00 m.  
The semi-detached building depth will be 18.38 m.

**2. Section 6(3) Part VI 1(I), By-law 438-86**

Additions to the rear of a semi-detached house erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building as enlarged does not exceed 0.69 times the area of the lot (154.19 m<sup>2</sup>).  
The residential gross floor area will be 0.88 times the area of the lot (197.71 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0009/17TEY	Zoning	R (d0.6)(x296) & R2 Z0.6 (ZZC)
Owner(s):	SHANE MORRISON SMYTH AURORA RATCLIFFE	Ward:	Parkdale-High Park (14)
Agent:	RICHARD DE OLIVEIRA	Heritage:	Not Applicable
Property Address:	<b>180 SORAUREN AVE</b>	Community:	Toronto
Legal Description:	PLAN 509 PT BLK B		

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Alex Bednar (signed)

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Donald Granatstein (signed)

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Carl Knipfel (signed)

---

Lisa Valentini (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 22, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 5, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.