

Thursday, January 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0752/16EYK	Zoning	R & R4
Owner(s):	MARY VIVEIROS	Ward:	Davenport (17)
Agent:	INACIO CUNHA	Heritage:	Not Applicable
Property Address:	1236 DAVENPORT RD	Community:	
Legal Description:	PLAN D1369 PT LOTS 17 & 18		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear west side addition and a second storey rear east side addition with an enclosed rear porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.70.(1), By-law 569-2013 and Section 6(3) Part II 2(II), By-law 438-86**
The minimum required front yard setback is 3.65 m.
The altered dwelling will be located 1.24 m from the front lot line.
- Section 10.10.40.70.(3)(A)(i), By-law 569-2013 and Section 6(3) Part II 3.C(II), By-law 438-86**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.62 m from the west side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0752/16EYK	Zoning	R & R4
Owner:	MARY VIVEIROS	Ward:	Davenport (17)
Agent:	INACIO CUNHA	Heritage:	Not Applicable
Property Address:	1236 DAVENPORT RD	Community:	
Legal Description:	PLAN D1369 PT LOTS 17 & 18		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0849/16EYK	Zoning	RM & R2
Owner(s):	NGA THI HANG NGUYEN PHUOC HUU LE	Ward:	York South-Weston (11)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	7 VICTORIA BLVD	Community:	
Legal Description:	PLAN 1716 W PT LOT 50		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition and a rear yard deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**
The maximum permitted floor space index is 0.8 times the area of the lot.
The altered dwelling will have a floor space index of 0.87 times the area of the lot.
- Section 8.3.(a), By-law 1-83**
The minimum required side yard setback is 1.2 m.
The altered dwelling will be located 0.51 m from the west side lot line.
- Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping.
A total of 41.8% of the rear yard will be maintained as soft landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0849/16EYK	Zoning	RM & R2
Owner:	NGA THI HANG NGUYEN PHUOC HUU LE	Ward:	York South-Weston (11)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	7 VICTORIA BLVD	Community:	
Legal Description:	PLAN 1716 W PT LOT 50		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0853/16EYK	Zoning	RM & R2
Owner(s):	RYAN ATKINSON	Ward:	Parkdale-High Park (13)
	GUS SKARLATAKIS		
Agent:	GUS SKARLATAKIS	Heritage:	Not Applicable
Property Address:	66 WARREN CRES	Community:	
Legal Description:	PLAN 1915 LOT 89 LOT 90		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10.(123)(B), By-law 569-2013 and Section 8.3.(e), By-law 1-83**
The minimum required lot frontage is 9 m.
The lot frontage will be 7.62 m.
- Section 900.6.10.(123)(A), By-law 569-2013 and Section 8.3.(e), By-law 1-83**
The minimum required lot area is 275 m².
The lot area will be 232.25 m².
- Section 10.80.40.40(1)(a), By-law 569-2013 & Section 7.3(b), By-law 3623-97**
The maximum permitted floor space index is 0.6 times the lot area (139.35 m²).
Section 7.3(i), By-law 1-83
The maximum permitted floor space index is 0.4 times the lot area (92.9 m²).
Section 10.80.40.40(1)(a), By-law 569-2013, Section 7.3(i), By-law 1-83 & Section 7.3(b), By-law 3623-97
The new dwelling will have a floor space index of 0.82 times the lot area (189.2 m²).
- Section 10.80.40.70.(3)(A), By-law 569-2013 and Section 7.3.(g), By-law 1-83**
The minimum required side yard setback is 1.2 m.
Section 7.3(a), By-law 3623-97
The minimum required side yard setback is 0.5 m on one side and 1.2 m on the other side.
Section 10.80.40.70.(3)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83
The new dwelling will be located 0.47 m from the north side lot line and 0.6 m from the south side lot line.
- Section 10.80.40.10.(4), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The new dwelling will have a first floor height of 1.37 m above established grade.

6. Section 10.5.80.40.(2), By-law 569-2013

The elevation of the lowest point of a vehicle entrance in a main wall of the building must be higher than the elevation of the centerline of the driveway at the point where it intersects a lot line abutting a street (94.1 m).

The proposed elevation of the lowest point of a vehicle entrance in a main wall of the building is 93.54.

7. Section 10.5.50.10(1)(D), By-law 569-2013 and Section 8.(3)(c)(i)5, By-law 3623-97

A minimum of 75% of the required front yard not covered by a permitted driveway shall be maintained as soft landscaping (17 m²).

A total of 43% of the required front yard will be maintained as soft landscaping (12.85 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 Both the site plan and combined site and grading plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 3.2 Both the site plan and combined site and grading plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard; and

- 3.3 Both the site plan and combined site and grading plan must be revised to include a notation on the drawing stating: “The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)”; and
- 3.4 The above-mentioned revisions shall be illustrated to the satisfaction of Transportation Services.

SIGNATURE PAGE

File Number:	A0853/16EYK	Zoning	RM & R2
Owner:	RYAN ATKINSON	Ward:	Parkdale-High Park (13)
	GUS SKARLATAKIS		
Agent:	GUS SKARLATAKIS	Heritage:	Not Applicable
Property Address:	66 WARREN CRES	Community:	
Legal Description:	PLAN 1915 LOT 89 LOT 90		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
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File Number:	A0854/16EYK	Zoning	RM & R2
Owner(s):	MARIE ANNE DELIA JASON STEWART	Ward:	Parkdale-High Park (13)
Agent:	GUS SKARLATAKIS	Heritage:	Not Applicable
Property Address:	68 WARREN CRES	Community:	
Legal Description:	PLAN 1915 LOT 89 LOT 90		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10.(123)(B), By-law 569-2013 and Section 8.3.(e), By-law 1-83**
The minimum required lot frontage is 9 m.
The lot frontage will be 7.62 m.
- Section 900.6.10.(123)(A), By-law 569-2013 and Section 8.3.(e), By-law 1-83**
The minimum required lot area is 275 m².
The lot area will be 232.25 m².
- Section 10.80.40.40(1)(a), By-law 569-2013 & Section 7.3(b), By-law 3623-97**
The maximum permitted floor space index is 0.6 times the lot area (139.35 m²).
Section 7.3(i), By-law 1-83
The maximum permitted floor space index is 0.4 times the lot area (92.9 m²).
Section 10.80.40.40(1)(a), By-law 569-2013, Section 7.3(i), By-law 1-83 & Section 7.3(b), By-law 3623-97
The new dwelling will have a floor space index of 0.82 times the lot area (189.2 m²).
- Section 10.80.40.70.(3)(A), By-law 569-2013 and Section 7.3.(g), By-law 1-83**
The minimum required side yard setback is 1.2 m.
Section 7.3(a), By-law 3623-97
The minimum required side yard setback is 0.5 m on one side and 1.2 m on the other side.
Section 10.80.40.70.(3)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83
The new dwelling will be located 0.3 m from the north side lot line and 0.77 m from the south side lot line.

5. Section 10.80.40.10.(4), By-law 569-2013

The maximum permitted height of the first floor above established grade is 1.2 m.
The new dwelling will have a first floor height of 1.37 m above established grade.

6. Section 10.5.80.40.(2), By-law 569-2013

The elevation of the lowest point of a vehicle entrance in a main wall of the building must be higher than the elevation of the centerline of the driveway at the point where it intersects a lot line abutting a street (94.1 m).

The proposed elevation of the lowest point of a vehicle entrance in a main wall of the building is 93.54.

7. Section 10.5.50.10(1)(D), By-law 569-2013 and Section 8.(3)(c)(i)5, By-law 3623-97

A minimum of 75% of the required front yard not covered by a permitted driveway shall be maintained as soft landscaping (17 m²).

A total of 43% of the required front yard will be maintained as soft landscaping (12.85 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 Both the site plan and combined site and grading plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 2.2 Both the site plan and combined site and grading plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard; and
 - 2.3 Both the site plan and combined site and grading plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)"; and
 - 2.4 The above-mentioned revisions shall be illustrated to the satisfaction of Transportation Services.

SIGNATURE PAGE

File Number:	A0854/16EYK	Zoning	RM & R2
Owner:	MARIE ANNE DELIA JASON STEWART	Ward:	Parkdale-High Park (13)
Agent:	GUS SKARLATAKIS	Heritage:	Not Applicable
Property Address:	68 WARREN CRES	Community:	
Legal Description:	PLAN 1915 LOT 89 LOT 90		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0859/16EYK	Zoning	R & R2 Z0.6
Owner(s):	MARISA FERREIRA ROBERTO FERREIRA	Ward:	Davenport (17)
Agent:	MARIO FARAONE	Heritage:	Not Applicable
Property Address:	79 MC ROBERTS AVE	Community:	
Legal Description:	PLAN 886 BLK D PT LOT 8		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 6(3) Part VI 1(I), By-law 438-86**
The maximum permitted gross floor area is 0.69 times the area of the lot (152.3 m²).
The altered dwelling will have a gross floor area of 0.99 times the area of the lot (218.08 m²).
- 2. Section 10.10.40.30.(1)(A), By-law 569-2013 and Section 6(3) Part V1 (V), By-law 438-86**
The maximum permitted building depth is 17 m.
The altered dwelling will have a depth of 17.9 m.
- 3. Section 200.5.10.1.(1), By-law 569-2013 and Section 4(5)(B), By-law 438-86**
A minimum of 2 parking spaces are required.
A total of 1 parking space will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0859/16EYK	Zoning	R & R2 Z0.6
Owner:	MARISA FERREIRA ROBERTO FERREIRA	Ward:	Davenport (17)
Agent:	MARIO FARAONE	Heritage:	Not Applicable
Property Address:	79 MC ROBERTS AVE	Community:	
Legal Description:	PLAN 886 BLK D PT LOT 8		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

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Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0861/16EYK	Zoning	RD & R1
Owner(s):	DEBORAH MORSHEAD	Ward:	Parkdale-High Park (13)
Agent:	JULIAN CAMPOS	Heritage:	Not Applicable
Property Address:	18 RIVERSIDE CRES	Community:	
Legal Description:	PLAN M356 PT LOT 200		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 6(3) Part I 1, By-law 438-86**
The maximum permitted floor space index/ gross floor area is 0.35 times the lot area (226.55 m²).
The altered dwelling will have a floor space index/ gross floor area of 0.36 times the lot area (236.8 m²).
2. **Section 10.20.40.70.(4), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
Section 6(3) Part II 3.B(II), By-law 438-86
The minimum required side yard setback is 0.9 m for that portion of the building not exceeding 17 m in depth, where the side wall contains openings.
Section 10.20.40.70.(4), By-law 569-2013 & Section 6(3) Part II 3.B(II), By-law 438-86
The altered dwelling will be located 0.65 m from the west side lot line.
3. **Section 10.20.40.70.(2)(B), By-law 569-2013**
The minimum required rear yard setback is 9.27 m.
Section 6(3) Part II 4, By-law 438-86
The minimum required rear yard setback is 7.5 m.
Section 10.20.40.70.(2)(B), By-law 569-2013 & Section 6(3) Part II 4, By-law 438-86
The altered dwelling will be located 5.5 m from the rear lot line.
4. **Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping (105.81 m²).
A total of 44.68% of the rear yard will be maintained as soft landscaping (94.56 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Urban Forestry Ravine and Natural Feature Protection:

1. Prior to the issuance of a demolition and/or building permit, the applicant must obtain a Permit or Clearance under Chapter 658 – Ravine and Natural Feature Protection.
2. Prior to the issuance of a demolition and/or building permit, all trees not approved for removal must be protected according to the “City of Toronto Tree Protection Policy and Specifications for Construction near Trees” (<http://www.toronto.ca/trees/pdfs/TreeProtSpecs.pdf>) and to the satisfaction of Urban Forestry RNFP. The tree protection measures must be installed on site and approved by Urban Forestry RNFP prior to beginning any demolition or construction activities on the subject property.
3. Prior to the issuance of a demolition and/or building permit the applicant must install sediment control fencing to the satisfaction of RNFP. The installed sediment control fencing would have to remain in place and in good condition during construction and must not be altered or moved until authorised by RNFP.

SIGNATURE PAGE

File Number:	A0861/16EYK	Zoning	RD & R1
Owner:	DEBORAH MORSHEAD	Ward:	Parkdale-High Park (13)
Agent:	JULIAN CAMPOS	Heritage:	Not Applicable
Property Address:	18 RIVERSIDE CRES	Community:	
Legal Description:	PLAN M356 PT LOT 200		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

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Manager & Deputy Secretary Treasurer
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Thursday, January 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0864/16EYK	Zoning	RM & R2
Owner(s):	MEREDYTH ANNE WOBOWSK GEORGE TSAKOPOULOS	Ward:	Parkdale-High Park (13)
Agent:	TONY HENRIQUES	Heritage:	Not Applicable
Property Address:	309 ST JOHN'S RD	Community:	
Legal Description:	PLAN 166 E PT LOT 71		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To reconstruct the existing rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.5.60.70.(1), By-law 569-2013

The maximum permitted coverage for an ancillary building or structure is 10% of the lot area (22.83 m²).
The proposed detached garage will cover 17% of the lot area (39.85 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,
IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0864/16EYK	Zoning	RM & R2
Owner:	MEREDYTH ANNE WOBOWSK GEORGE TSAKOPOULOS	Ward:	Parkdale-High Park (13)
Agent:	TONY HENRIQUES	Heritage:	Not Applicable
Property Address:	309 ST JOHN'S RD	Community:	
Legal Description:	PLAN 166 E PT LOT 71		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0868/16EYK	Zoning	R & R2 Z0.6
Owner(s):	THEODOSIOS LAGAKOS	Ward:	Parkdale-High Park (13)
	PETER LAGAKOS		
Agent:	JAY SMITH	Heritage:	Not Applicable
Property Address:	394 ANNETTE ST	Community:	
Legal Description:	PLAN 783 PT LOT 1		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the existing attached garage into habitable space to accommodate a new secondary suite.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (121.87 m²).
The altered dwelling will have a floor space index of 0.92 times the area of the lot (186.42 m²).
- 2. Section 10.10.80.1.(1)(D), By-law 569-2013**
A parking space located inside a building may be converted to habitable space provided the required space is in a semi-detached house and the driveway leading to the vehicle entrance in the building is removed and the front yard depression will not be filled to established grade.
The proposed driveway will not be removed and the front yard depression will not be filled to established grade.
- 3. Section 6(3) Part I 3, By-law 438-86**
A parking space located inside a building may be converted to habitable space provided the required space is in a semi-detached house and the driveway leading to the vehicle entrance in the building is equal to the existing ground level on each side.
The proposed driveway is below the existing ground level on each side.

4. Section 150.10.40.1.(3)(A), By-law 569-2013

A secondary suite is a permitted use provided that an addition or exterior alteration to a building to accommodate a secondary suite does not alter or add to a main wall or roof that faces a street.

Section 6(2)1.(iii)(A), By-law 438-86

A converted house is permitted provided there is no exterior alteration or addition to the house

Section 150.10.40.1.(3)(A), By-law 569-2013 and Section 6(2)1.(iii)(A), By-law 438-86

The proposed addition will alter a front wall that faces a street (Annette Street).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant must obtain one on-street parking permit for the proposed secondary suite, to the satisfaction of Transportation Services and at no cost to the municipality.

SIGNATURE PAGE

File Number:	A0868/16EYK	Zoning	R & R2 Z0.6
Owner:	THEODOSIOS LAGAKOS	Ward:	Parkdale-High Park (13)
	PETER LAGAKOS		
Agent:	JAY SMITH	Heritage:	Not Applicable
Property Address:	394 ANNETTE ST	Community:	
Legal Description:	PLAN 783 PT LOT 1		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

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Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0869/16EYK	Zoning	RM & R2
Owner(s):	MARILYN MASELLA ELIO MASELLA	Ward:	Davenport (17)
Agent:	MARIO SILVA	Heritage:	Not Applicable
Property Address:	378 HARVIE AVE	Community:	
Legal Description:	PLAN 1530 LOT 74		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain the existing shed attached to the existing garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.60.70(1), By-law 569-2013**
The maximum permitted lot coverage for an ancillary structure is 10% of the lot area.
The existing rear shed and garage have a lot coverage of 19.7% of the lot area.
- Section 10.5.60.50.(2)(B), By-law 569-2013**
The total floor area permitted for an ancillary structure is 40 m².
Section 3.4.11.(b), By-law 1-83
The total floor area permitted for an ancillary structure is 46 m².
Section 10.5.60.50.(2)(B), By-law 569-2013 & Section 3.4.11.(b), By-law 1-83
The total floor area of the existing rear shed and garage is 66.09 m².
- Section 10.5.60.20.(3)(C)(iii), By-law 569-2013**
The minimum required side yard setback for an ancillary building or structure in the rear yard and 1.8 m or more from the residential building on the lot is 0.3 m.
The existing rear shed and garage is located 0.23 m from the north side lot line and 0.11 m from the south side lot line.
- Section 10.5.60.20.(2)(C), By-law 569-2013**
The minimum required rear yard setback for an ancillary building or structure is 0.3 m.
The existing rear shed and garage is located 0.06 m from the rear lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0869/16EYK	Zoning	RM & R2
Owner:	MARILYN MASELLA	Ward:	Davenport (17)
	ELIO MASELLA		
Agent:	MARIO SILVA	Heritage:	Not Applicable
Property Address:	378 HARVIE AVE	Community:	
Legal Description:	PLAN 1530 LOT 74		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0872/16EYK	Zoning	R & R1S
Owner(s):	MARCO BASTA	Ward:	Parkdale-High Park (13)
Agent:	GIANNI REGINA	Heritage:	Not Applicable
Property Address:	296 WINDERMERE AVE	Community:	
Legal Description:	PLAN 1728 PT LOT 44		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.40.(1)(A), By-law 569-2013 and Section 6(3) Part I 1, By-law 438-86**
The maximum permitted floor space index is 0.6 times the area of the lot (183.94 m²).
The new dwelling will have a floor space index of 0.8 times the area of the lot (245.1 m²).
- Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side yard setback is 0.9 m for that portion of the building not exceeding 17 m in depth.
The new dwelling will be located 0.61 m from the north side lot line.
- Section 10.10.40.10.(1)(A), By-law 569-2013 & Section 4(2) (A), By-law 438-86**
The maximum permitted height is 9 m.
Section 10.10.40.10.(1)(A), By-law 569-2013
The new dwelling will have a height of 9.5 m.
Section 4(2) (A), By-law 438-86
The new dwelling will have a height of 9.4 m.
- Section 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.
The new dwelling will have a side exterior main wall height of 9.04 m facing a side lot line.
- Section 200.5.1.10.(2)(A)(i), By-law 569-2013**
The minimum required width of a parking space is 3.2 m.
The proposed parking space will have a width of 2.97 m.

6. Section 6(3) Part IV 3(II), By-law 438-86

An integral garage is not permitted in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line.

The proposed integral garage will be located below grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
2. The dwelling shall be constructed substantially in accordance with the upper loft floor plan (A5) dated January 19, 2017 and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 Illustrate a positive slope of 2% to 4% for the portion of the new driveway that is located within the Windermere Avenue municipal boulevard;
 - 3.2 Insert a notation on the site plan stating, “The applicant is required to reinstate the redundant portion of the existing driveway with poured raised concrete curb and sod within the Windermere Avenue municipal boulevard according to City of Toronto Design Standard Drawing No.T-600.1 1-1;
 - 3.3 Insert a notation on the site plan stating, “The applicant shall obtain the necessary authorizations and permits from the City’s Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance. The applicant shall also submit a Municipal Road Damage Deposit prior to obtaining a Building Permit’. The applicant shall contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section, at (416) 338-1045, regarding the municipal road damage deposit requirements; and,

- 3.4 The applicant shall submit a revised site plan either in 1:200 or 1:250 metric units illustrating the above-noted condition No.'s 3.1 through 3.3, to the satisfaction of Transportation Services, and at no cost to the City, no later than September 30, 2018.

SIGNATURE PAGE

File Number:	A0872/16EYK	Zoning	R & R1S
Owner:	MARCO BASTA	Ward:	Parkdale-High Park (13)
Agent:	GIANNI REGINA	Heritage:	Not Applicable
Property Address:	296 WINDERMERE AVE	Community:	
Legal Description:	PLAN 1728 PT LOT 44		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

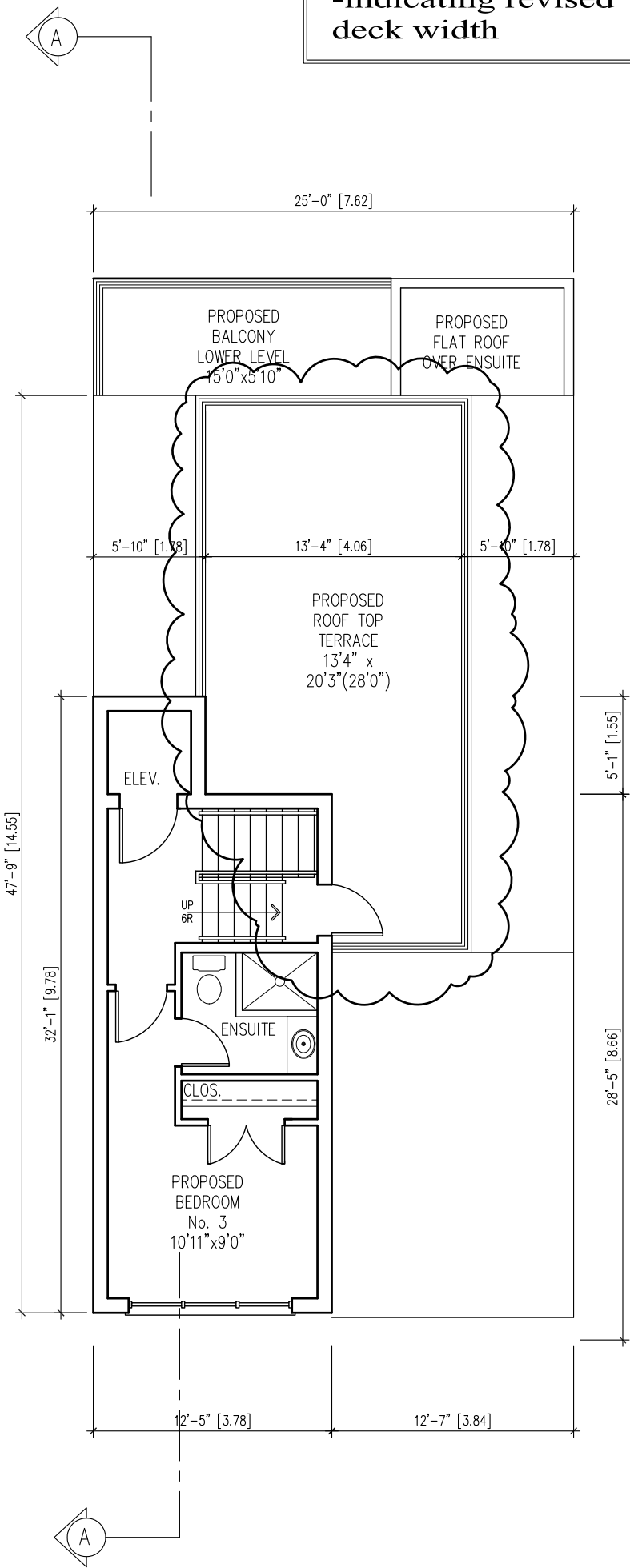
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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REVISED:
JANUARY 19, 2017
-indicating dimensions
-indicating revised
deck width



1 PROPOSED UPPER LOFT FLOOR PLAN – 32.04sq.m. (344.88sq.ft.)
A5 1/8"=1'-0"

CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF THE WORK. ALL PERMITS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED UPON COMPLETION OF THE WORK. THE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT OTHER THAN THE ONE ASSIGNED WITHOUT THE CONSENT OF THE DESIGNER.

NO.	DATE:	REVISION	CH/D
1.	13OCT2016	ZC NOTICE	GR.

NOTES:

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 32.5.1, OF THE 2006 ONTARIO BUILDING CODE (OR 217.4.1, OF THE 1997 ONTARIO BUILDING CODE)

DAVID MAHESON

14 OCT 2014

REGISTRATION INFORMATION

REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C - 32.5.1, OF THE 2006 ONTARIO BUILDING CODE (OR 217.4.1, OF THE 1997 ONTARIO BUILDING CODE)

CITYSCAPE DESIGN INNOVATIONS

32631

ISSUED FOR CONSTRUCTION

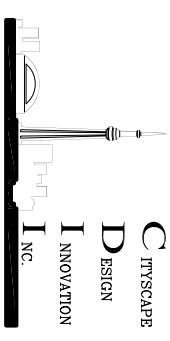
ISSUED FOR PRICING

ISSUED FOR BLDG. PERMIT

ISSUED FOR PRELIM. REVIEW

Orientation

Stamp



PROPOSED DWELLING:
296 WINDERMERE AVE.
TORONTO, ONTARIO

Scale: 1/8"=1'-0"
Date: NOV 28, 2016

Drawing Title: PROPOSED FLOOR PLANS
Sheet Number: A5

Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0875/16EYK	Zoning	RM & R2
Owner(s):	MARCIA FERREIRA	Ward:	Davenport (17)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	220 GILBERT AVE	Community:	
Legal Description:	PLAN 1726 N PT LOT 36		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear basement walk-out, a second and third floor addition, and a rear yard deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**
The maximum permitted floor space index is 0.8 times the area of the lot.
The altered dwelling will have a floor space index of 1.16 times the area of the lot.
- Section 10.5.40.70.(1)(B), By-law 569-2013**
The minimum required front yard setback is 4.52 m.
Section 8.3.(b), By-law 1-83
The minimum required front yard setback is 3.52 m.
Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 8.3.(b), By-law 1-83
The altered dwelling will be located 2.78 m from the front lot line.
- Section 10.5.40.71.(4)(A), By-law 569-2013**
The minimum required south side yard setback is 0.79 m and the minimum required north side yard setback is 0.27 m.
Section 8.3.(a), By-law 1-83
The minimum required side yard setback is 1.2 m on one side and 0.5 m on the other side.
Section 10.5.40.71.(4)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83
The altered dwelling will be located 0.49 m from the south side lot line and 0.15 m from the north side lot line.
- Section 10.80.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 8.5 m.
The altered dwelling will have a side exterior main wall height of 9.98 m facing a side lot line.
- Section 10.80.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed third storey rear balcony will have an area of 6.97 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number: A0875/16EYK
Owner: MARCIA FERREIRA
Agent: LINA RODRIGUEZ
Property Address: **220 GILBERT AVE**
Legal Description: PLAN 1726 N PT LOT 36

Zoning: RM & R2
Ward: Davenport (17)
Heritage: Not Applicable
Community:

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0878/16EYK	Zoning	R & R2
Owner(s):	CLEMENTE MACHADO OLIVEIRA ARMINDA DE	Ward:	Davenport (17)
Agent:	V. ROSA DESIGNS LIMITED	Heritage:	Not Applicable
Property Address:	26 MC ROBERTS AVE	Community:	
Legal Description:	PLAN 886 BLK C PT LOT 17		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the secondary suite on the second floor and the as built rear exterior stairs.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 6(3) Part II 3.E(I), By-law 438-86**
The minimum required side yard setback is 0.45 m, where an attached structure is without walls.
The altered dwelling will be located 0.08 m from the north side lot line.
- 2. Section 6(3) Part II 5(II), By-law 438-86**
The maximum permitted building depth is 17 m.
The altered dwelling will have a depth of 22.43 m.
- 3. Section 10.5.50.10.(3)(B), By-law 569-2013**
A minimum of 25% of the required rear yard landscaping must be maintained as soft landscaping (26.45 m²).
A total of 7.12% of the required rear yard landscaping will be maintained as soft landscaping (7.53 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0878/16EYK	Zoning	R & R2
Owner:	CLEMENTE MACHADO OLIVEIRA ARMINDA DE	Ward:	Davenport (17)
Agent:	V. ROSA DESIGNS LIMITED	Heritage:	Not Applicable
Property Address:	26 MC ROBERTS AVE	Community:	
Legal Description:	PLAN 886 BLK C PT LOT 17		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

NOTICE OF DECISION

MINOR VARIANCE/PERMISSION

(Section 45 of the Planning Act)

File Number:	A0880/16EYK	Zoning	R & R2 Z1.0
Owner(s):	MICHAEL KORDITSCH	Ward:	Davenport (17)
	TELA ROOD		
Agent:	TELA ROOD	Heritage:	Not Applicable
Property Address:	1370 DAVENPORT RD	Community:	
Legal Description:	PLAN D1364 PT LOTS 145 & 146		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain the existing front porch with cold storage below.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.40.60.(1)(A)(i), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5 m if it is no closer to a side lot line than the required side yard setback.
The existing front porch encroaches 5.4 m into the required front yard setback.
- Section 6(3) Part II 8 H, By-law 438-86**
A cold storage cellar may project into the required setbacks provided it is under a verandah or platform and projects not more than 2.5 m from the wall to which the cellar is attached.
The existing cold storage projects 5.4 m from the wall.
- Section 6(3) Part II 8. (D)(I), By-law 438-86**
The maximum permitted height of an uncovered platform which projects into the required setbacks is 1.2 m.
The existing front porch has a height of 2.48 m above grade.
- Section 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (40.56 m²).
A total of 10.11% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (5.47 m²).
- Section 6(3) Part III 3(B), By-law 438-86**
A minimum of 30% of the required front yard open space shall be maintained as soft landscaping (8.11 m²).
A total of 20.23% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (5.47 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0880/16EYK	Zoning	R & R2 Z1.0
Owner:	MICHAEL KORDITSCH	Ward:	Davenport (17)
	TELA ROOD		
Agent:	TELA ROOD	Heritage:	Not Applicable
Property Address:	1370 DAVENPORT RD	Community:	
Legal Description:	PLAN D1364 PT LOTS 145 & 146		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0885/16EYK	Zoning	RT & R3
Owner(s):	EMMA SILVERA WELISTER DA SILVA	Ward:	York South-Weston (11)
Agent:	V. ROSA DESIGNS LIMITED	Heritage:	Not Applicable
Property Address:	58 A JASPER AVE	Community:	
Legal Description:	PLAN 4204 PT LOT 1		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain the as-built carport.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.60.40.70.(3), By-law 569-2013

The minimum required side yard setback is 0.9 m.

Section 9(3), By-law 1-83

The minimum required side yard setback is 1.2 m.

Section 10.60.40.70.(3), By-law 569-2013 & Section 9(3), By-law 1-83

The as-built car port is located 0.23 m from the east side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The dwelling shall be constructed substantially in accordance with the plans date stamped January 16, 2017 and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0885/16EYK	Zoning	RT & R3
Owner:	EMMA SILVERA WELISTER DA SILVA	Ward:	York South-Weston (11)
Agent:	V. ROSA DESIGNS LIMITED	Heritage:	Not Applicable
Property Address:	58 A JASPER AVE	Community:	
Legal Description:	PLAN 4204 PT LOT 1		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

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SURVEYOR'S REAL PROPERTY REPORT

PART 1) PLAN OF
PART OF LOT 1, REGISTERED PLAN 4204

CITY OF TORONTO (FORMERLY THE CITY OF YORK)

Scale 1 : 150

DONALD E ROBERTS O.L.S., © 2016

REG'D

METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

PIN. 10513-0258(LT)

PIN. 10513-0259(LT)

LOT 4

LOT 5

PLAN

3873

REVISED

3:43 pm, Jan 16, 2017

REG'D.

PLAN

4204

LOT

1

LOT 2

2 STOREY
BRICK DWELLING
NO. 62

PIN. 10513-0269(LT)

PIN. 10513-0270(LT)

PIN. 10513-0271(LT)

2 STOREY BRICK DWELLING
NO. 60

2 STOREY BRICK DWELLING
NO. 58A

Carport

BRICK & CONC. PORCH
(BASEMENT UNDER)

2 STOREY
BRICK DWELLING
NO. 58

NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
EASTERLY LIMIT OF LOT 1, AS SHOWN ON REG. PLAN 4204,
HAVING A BEARING OF N 17°21'00"W.

- DENOTES SURVEY MONUMENT SET
■ SURVEY MONUMENT FOUND
SIB STANDARD IRON BAR
IB IRON BAR
CC CUT CROSS
WIT WITNESS
pl REGISTERED PLAN 4204
D INSTRUMENT NO. CY531317
BC BROWNE & CAVELL O.L.S.
lwf LINK WIRE FENCE
bf BOARD FENCE
efc EAST FACE OF CURB
cbrw CONC. BLOCK RETAINING WALL
brw BRICK RETAINING WALL
fr FRAME
R REGISTERED PLAN 3873

JASPER AVENUE
(BY REGISTERED PLAN 4204)
PIN. 10513-0583(LT)

NOTE: BUILDING TIES ARE TO BRICK CORNERS EXCEPT AS NOTED.

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT :
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE REGULATIONS MADE UNDER THEM,
 - THE SURVEY WAS COMPLETED ON THE 8th. DAY OF SEPTEMBER , 2016.

DATE SEPTEMBER 20th , 2016

DONALD E. ROBERTS
ONTARIO LAND SURVEYOR

© COPYRIGHT 2016 DONALD E. ROBERTS O.L.S.

PART 2:

- FENCE LOCATIONS ARE SHOWN ON THIS PLAN.
- THERE ARE NO REGISTERED EASEMENTS OR RIGHT-OF-WAYS.

THIS SURVEY WAS PREPARED FOR: V. ROSA DESIGNS LTD.

DONALD E. ROBERTS LTD., ONTARIO LAND SURVEYORS
111 RAILSIDE ROAD, SUITE 304, TORONTO, ONTARIO, M3A 1B2, (416) 755-5320

DRAWN B.P.
CHECKED D.E.R.
DATE September 16, 2016
SCALE 1 : 150

REF NO.

16-8845



ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
1984378



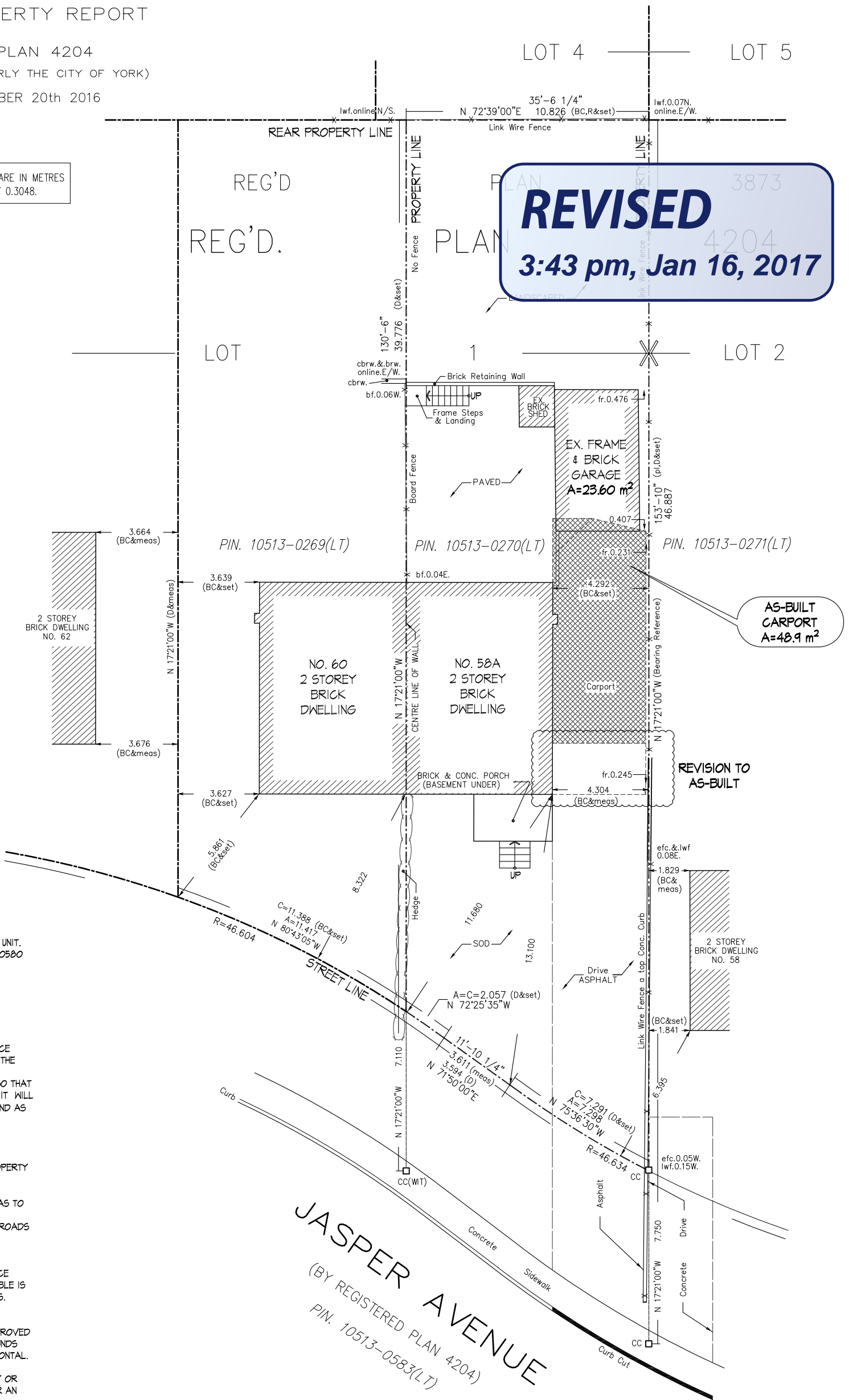
THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR.
In accordance with
Regulation 1026, Section 29(3).

PART 1) PLAN OF
PART OF LOT 1, REGISTERED PLAN 4204
CITY OF TORONTO (FORMERLY THE CITY OF YORK)
DONALD E ROBERTS O.L.S., © SEPTEMBER 20th 2016

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE
EASTERLY LIMIT OF LOT 1, AS SHOWN ON REG. PLAN 4204,
HAVING A BEARING OF N 17°21'00"W.

	DENOTES	SURVEY MONUMENT SET
	"	SURVEY MONUMENT FOUND
SIB	"	STANDARD IRON BAR
IB	"	IRON BAR
CC	"	CUT CROSS
WIT	"	WITNESS
pl	"	REGISTERED PLAN 4204
D	"	INSTRUMENT NO. CY531317
BC	"	BROWNE & CAVELL O.L.S.
lwf	"	LINK WIRE FENCE
bf	"	BOARD FENCE
efc	"	EAST FACE OF CURB
cbrw	"	CONC. BLOCK RETAINING WALL
brw	"	BRICK RETAINING WALL
fr	"	FRAME
R	"	REGISTERED PLAN 3873

- 1- NO WORK TO ENCROACH ON ADJOINING PROPERTIES
- 2- SMOKE ALARMS
SHALL BE INSTALLED ON EACH STOREY OF A DWELLING UNIT, INCLUDING BASEMENTS CITY OF TORONTO BY-LAW 1994-0580 AND O.B.C. 9.10.18.2. [1] [a] [b] and [c]
- 3- CARBON MONOXIDE DETECTORS :
SHALL BE INSTALLED AS PER CITY OF TORONTO BY-LAW No. 60-1998
- 4- CARBON MONOXIDE DETECTORS :
IN EACH ROOM THAT CONTAINS A FUEL BURNING APPLIANCE PROVIDE A CARBON MONOXIDE DETECTOR ON OR NEAR THE CEILING EQUIPPED WITH AN ALARM AUDIBLE THROUGHOUT DWELLING UNIT OR INTERCONNECT WITH SMOKE ALARM SO THAT WHEN THE CARBON MONOXIDE DETECTOR IS ACTIVATED, IT WILL ACTIVATE THE SMOKE ALARM AS PER O.B.C. 9.33.4.1.[1] AND AS PER O.B.C. 9.33.4.2.[1] [2] AND [4]
- 5- EXCAVATION NOTES :
EXCAVATION AND / OR CONSTRUCTION ON ADJACENT PROPERTIES REQUIRES THE CONSENT OF AFFECTED PROPERTY OWNER(S).
- 6- EVERY EXCAVATION SHALL BE UNDERTAKEN IN A MANNER AS TO PREVENT MOVEMENT WHICH WOULD CAUSE DAMAGE TO ADJACENT PROPERTY. EXISTING STRUCTURES , UTILITIES, ROADS AND SIDEWALKS AT ALL STAGES OF CONSTRUCTION.
- 7- MIN. SOIL BEARING CAPACITY 75KPa.
SOIL IS NOT PEAT, FILL OR SENSITIVE CLAY. THE DISTANCE BETWEEN THE BOTTOM OF FOOTINGS AND THE WATER TABLE IS EQUAL TO OR GREATER THAN THE WIDTH OF THE FOOT'GS.
- 8- WHERE THE DEPTH OF EXCAVATION EXCEEDS 4'-0", EXCAVATE AT 45° ANGLE OR IN ACCORDANCE WITH APPROVED SHORING DETAILS. STRUCTURE IS NOT LOCATED ON GROUNDS HAVING A SLOPE STEEPER THAN 1 VERTICAL TO 2 HORIZONTAL.
- 9- SURFACE DRAINAGE SHALL NOT BE DISCHARGED DIRECTLY OR INDIRECTLY ONTO A SIDEWALK, DRIVEWAY, STAIRWAY OR AN ADJOINING PROPERTY.
- 10- TREES ON PRIVATE PROPERTY
NO PERSON SHALL WITHIN THE CITY'S BOUNDARIES, INJURE OR DESTROY ANY TREE HAVING A DIAMETER OF 30 cm (12 INCHES) OR MORE, MEASURED AT 1.4 m (4'-7") ABOVE GROUND LEVEL UNLESS SO AUTHORIZED BY PERMIT FROM THE COMMISSIONER OF PARKS AND RECREATION. PER MUNICIPAL CODE CHAPTER 331.



SCALE : 1/16" = 1'-0"

LOT AREA = 470.16 m²



V. ROSA
DESIGNS LTD.

Victor M.D. Rosa
BASc., P.ENG.

1726 St. Clair Ave. West
Toronto Ontario, M6N 1J1
Tel: (416) 588-0001 Fax: (416) 588-3728



DO NOT SCALE DRAWINGS.

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO V. ROSA DESIGNS BEFORE PROCEEDING WITH WORK.

PROJECT
PROPOSED CARPORT
AT 58A JASPER AVENUE
CITY OF TORONTO

DRAWING

SITE PLAN

SCALE
AS SHOWN

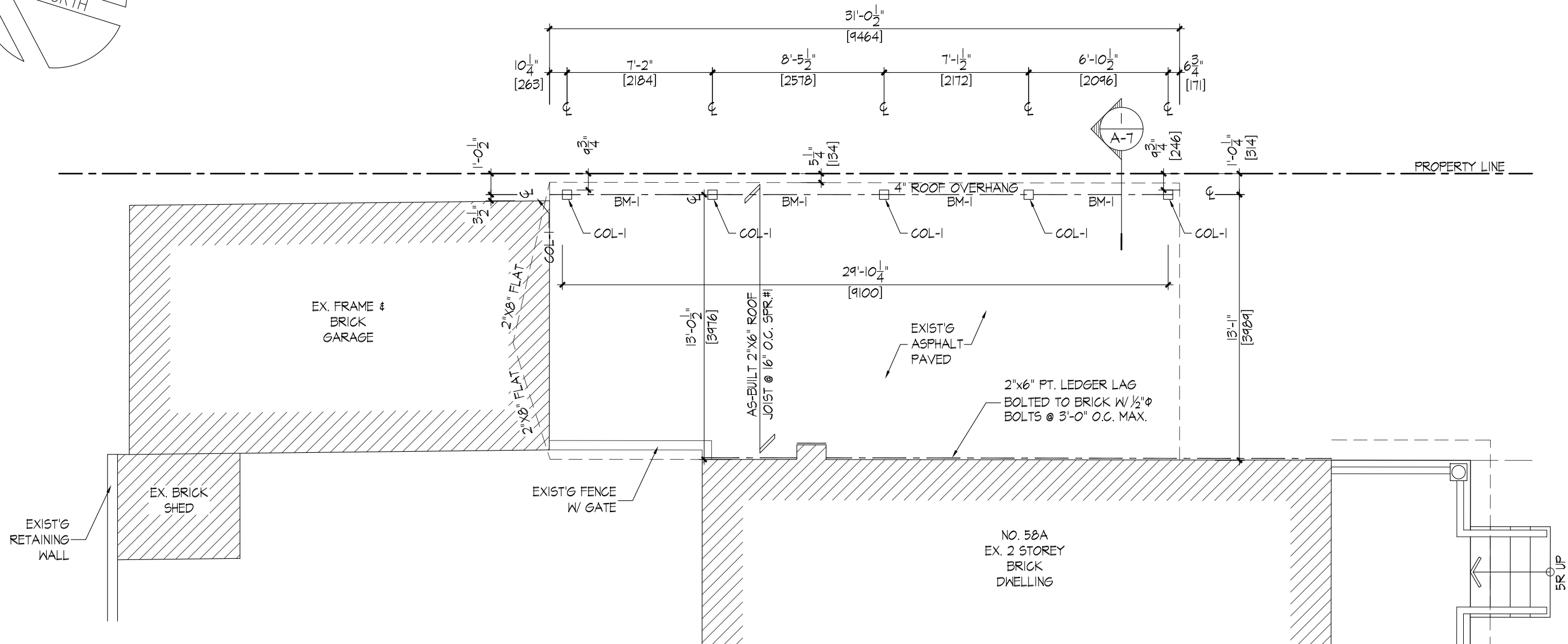
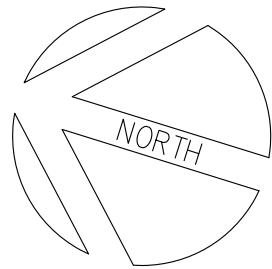
DATE
OCT. 14, 2016

PROJECT No.
16039

DRAWN BY
LM

APPROVED BY
VMDR

DRAWING No.
A-1



COLUMN SCHEDULE:

COL-1 6"x6" P. TREATED WOOD
POST EMBEDDED INTO 12" Ø
CONCRETE PIER, FOUNDED
MIN. 4' BELOW GRADE

BEAM SCHEDULE:

BM-1 3- 2"x8" P. TREATED
WOOD BEAM



**V. ROSA
DESIGNS LTD.**

CIVIL ENGINEERING

Victor M.D. Rosa
B.A.Sc., P.Eng.

1726 St. Clair Ave. West
Toronto Ontario, M6N 1J1
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CARPORT PLAN

SCALE : 3/16" = 1'-0"



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DESIGNS AND SHALL BE RETURNED UPON COMPLETION OF WORK.

PROJECT
**PROPOSED CARPORT
AT 58A JASPER AVENUE
CITY OF TORONTO**

DRAWING
CARPORT PLAN

SCALE
AS SHOWN

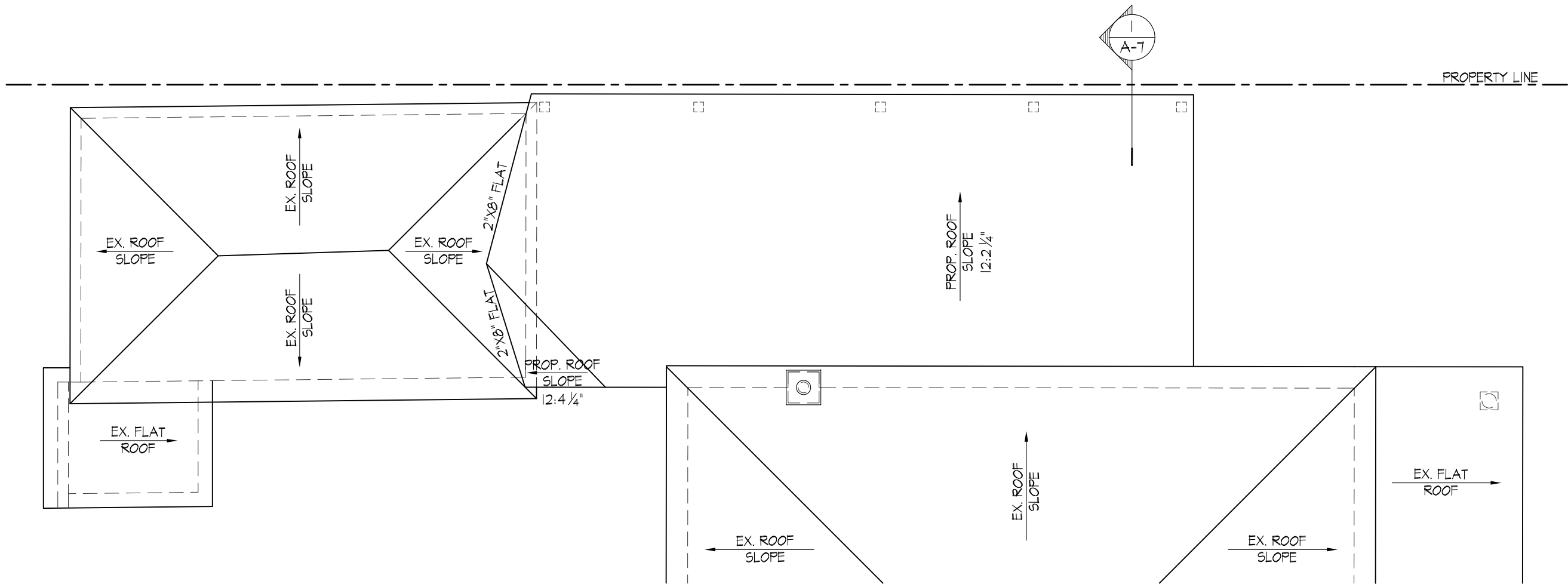
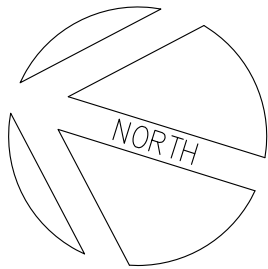
DATE
OCT. 14, 2016

PROJECT No.
16039

DRAWN BY
LM

APPROVED BY
V.M.D.R.

DRAWING No.
A-2



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Victor M.D. Rosa
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ROOF PLAN

SCALE : 3/16" = 1'-0"



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PROJECT
**PROPOSED CARPORT
AT 58A JASPER AVENUE
CITY OF TORONTO**

DRAWING
ROOF PLAN

SCALE
AS SHOWN

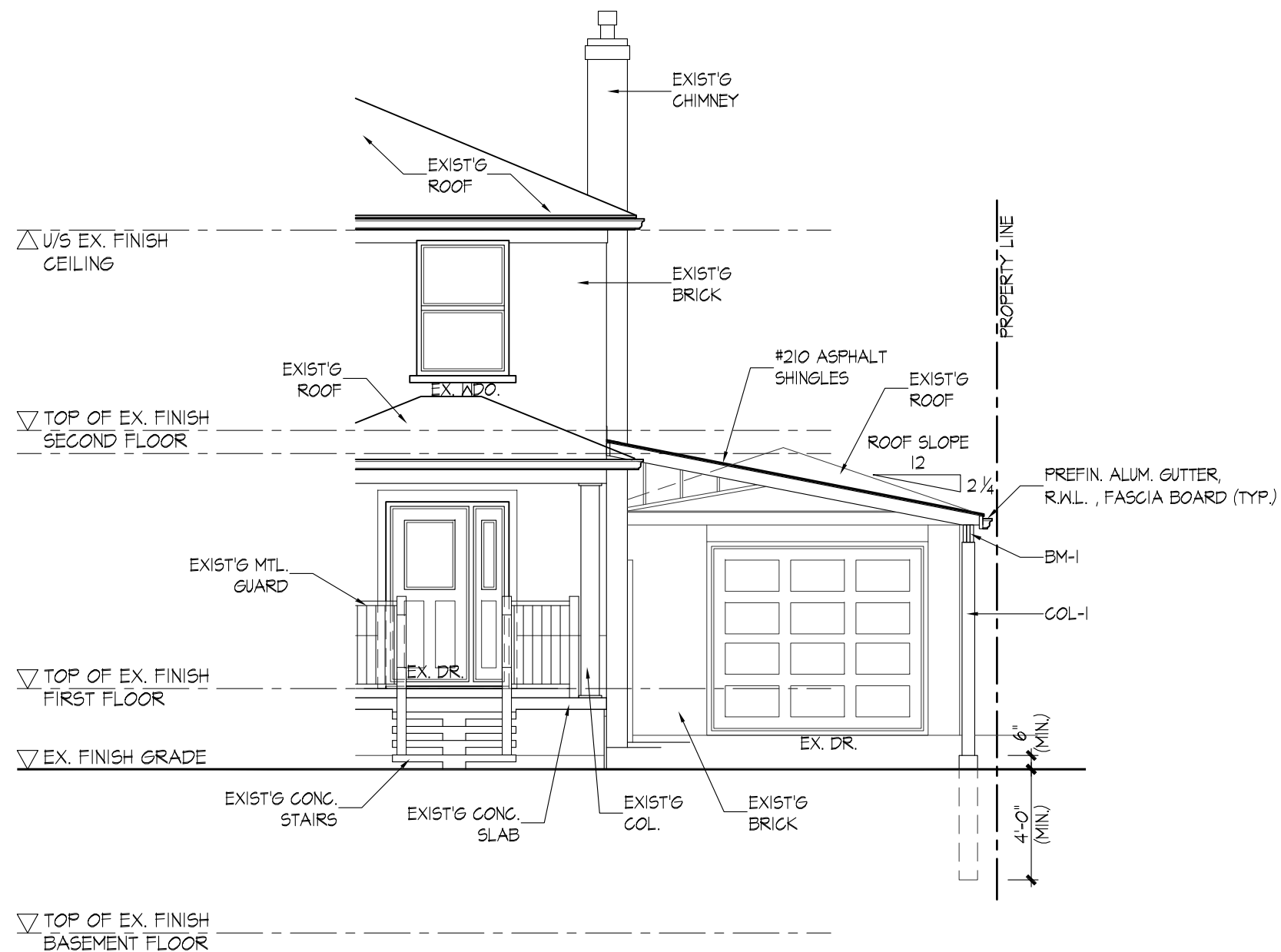
DATE
OCT. 14, 2016

PROJECT No.
16039

DRAWN BY
LM

APPROVED BY
V.M.D.R.

DRAWING No.
A-3



COLUMN SCHEDULE:

COL-1 6"x6" P. TREATED WOOD POST ANCHORED TO CONC. PIER W/ MTL. SHOE & 1/2" Ø BOLT SHOE ANCHORED MIN. 4" INTO CONCRETE PIER

BEAM SCHEDULE:

BM-1 3- 2"x8" P. TREATED WOOD BEAM

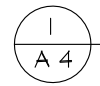


**V. ROSA
DESIGNS LTD.**

CIVIL ENGINEERING

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Tel: (416) 588-0001 Fax: (416) 588-3728



SOUTH (FRONT) ELEVATION

SCALE : 3/16" = 1'-0"



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PROJECT
**PROPOSED CARPORT
AT 58A JASPER AVENUE
CITY OF TORONTO**

DRAWING
SOUTH (FRONT) ELEVATION

SCALE
AS SHOWN

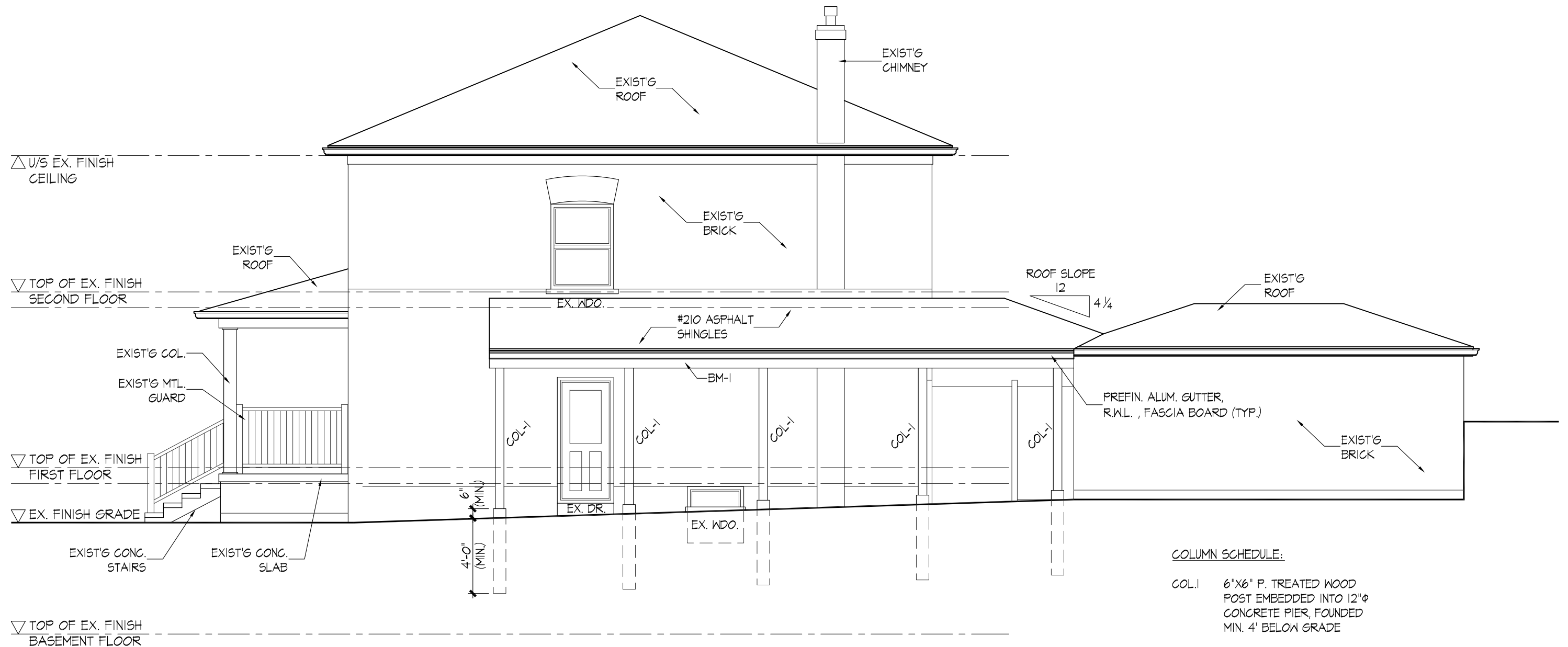
DRAWN BY
LM

DATE
OCT. 14, 2016

APPROVED BY
V.M.D.R.

PROJECT No.
16039

DRAWING No.
A-4



COLUMN SCHEDULE:

COL-1 6"X6" P. TREATED WOOD
POST EMBEDDED INTO 12"Ø
CONCRETE PIER, FOUNDED
MIN. 4' BELOW GRADE

BEAM SCHEDULE:

BM-1 3- 2"X8" P. TREATED
WOOD BEAM



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CIVIL ENGINEERING

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EAST ELEVATION

SCALE : 3/16" = 1'-0"



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PROJECT
**PROPOSED CARPORT
AT 58A JASPER AVENUE
CITY OF TORONTO**

DRAWING
EAST ELEVATION

SCALE
AS SHOWN

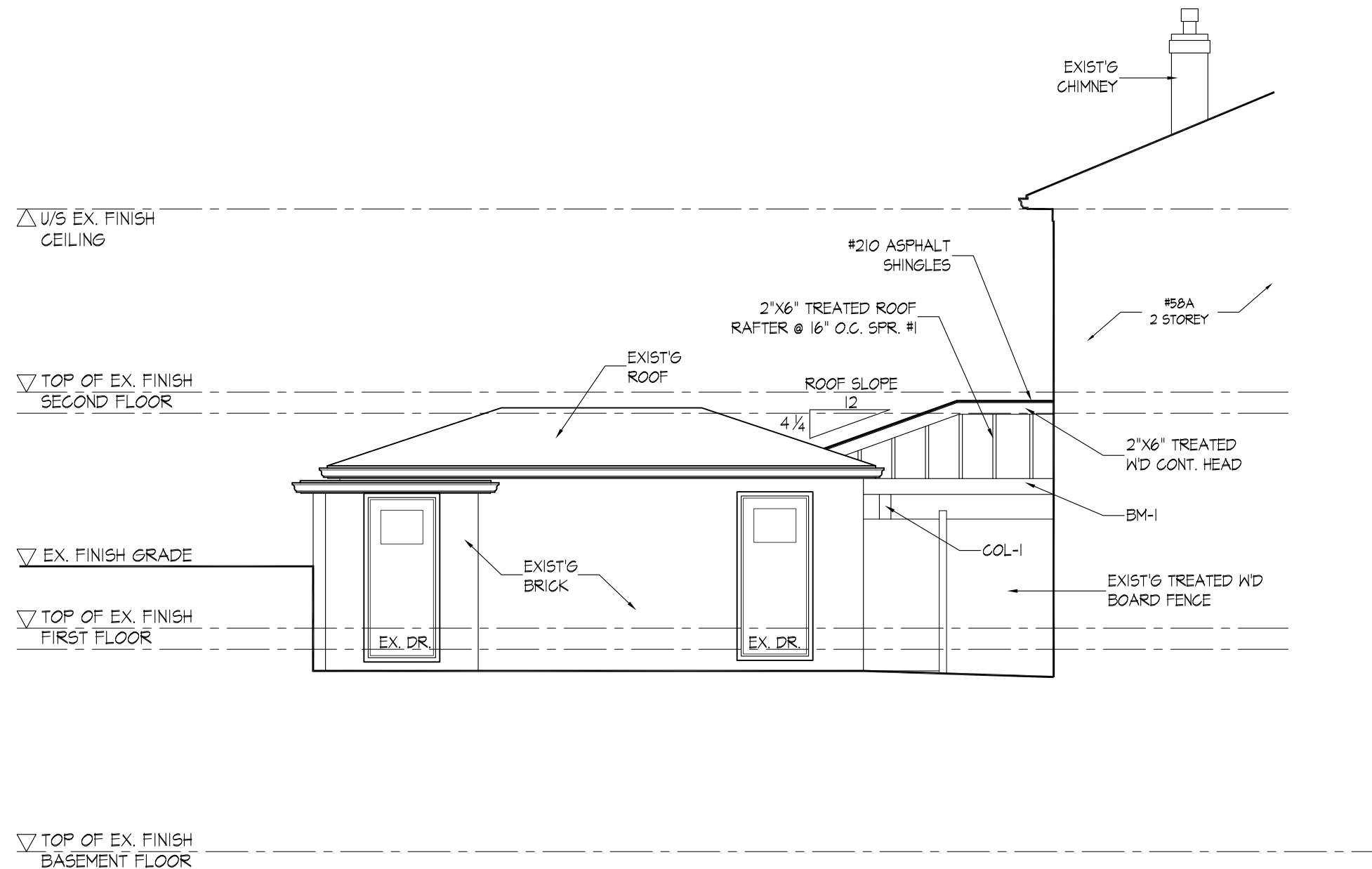
DATE
OCT. 14, 2016

PROJECT No.
16039

DRAWN BY
LM

APPROVED BY
V.M.D.R.

DRAWING No.
A-4



COLUMN SCHEDULE:

COL-1 6"X6" P. TREATED WOOD POST ANCHORED TO CONC. PIER W/ MTL. SHOE & 1/2" Ø BOLT SHOE ANCHORED MIN. 4" INTO CONCRETE PIER

BEAM SCHEDULE:

BM-1 3- 2"X8" P. TREATED WOOD BEAM



**V. ROSA
DESIGNS LTD.**

CIVIL ENGINEERING

Victor M.D. Rosa
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Toronto Ontario, M6N 1J1
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PART'L WEST ELEVATION

SCALE : 3/16" = 1'-0"



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ALL PRINTS AND SPECIFICATIONS ARE THE PROPERTY OF V. ROSA DESIGNS AND SHALL BE RETURNED UPON COMPLETION OF WORK.

PROJECT
**PROPOSED CARPORT
AT 58A JASPER AVENUE
CITY OF TORONTO**

DRAWING
PART'L WEST ELEVATION

SCALE
AS SHOWN

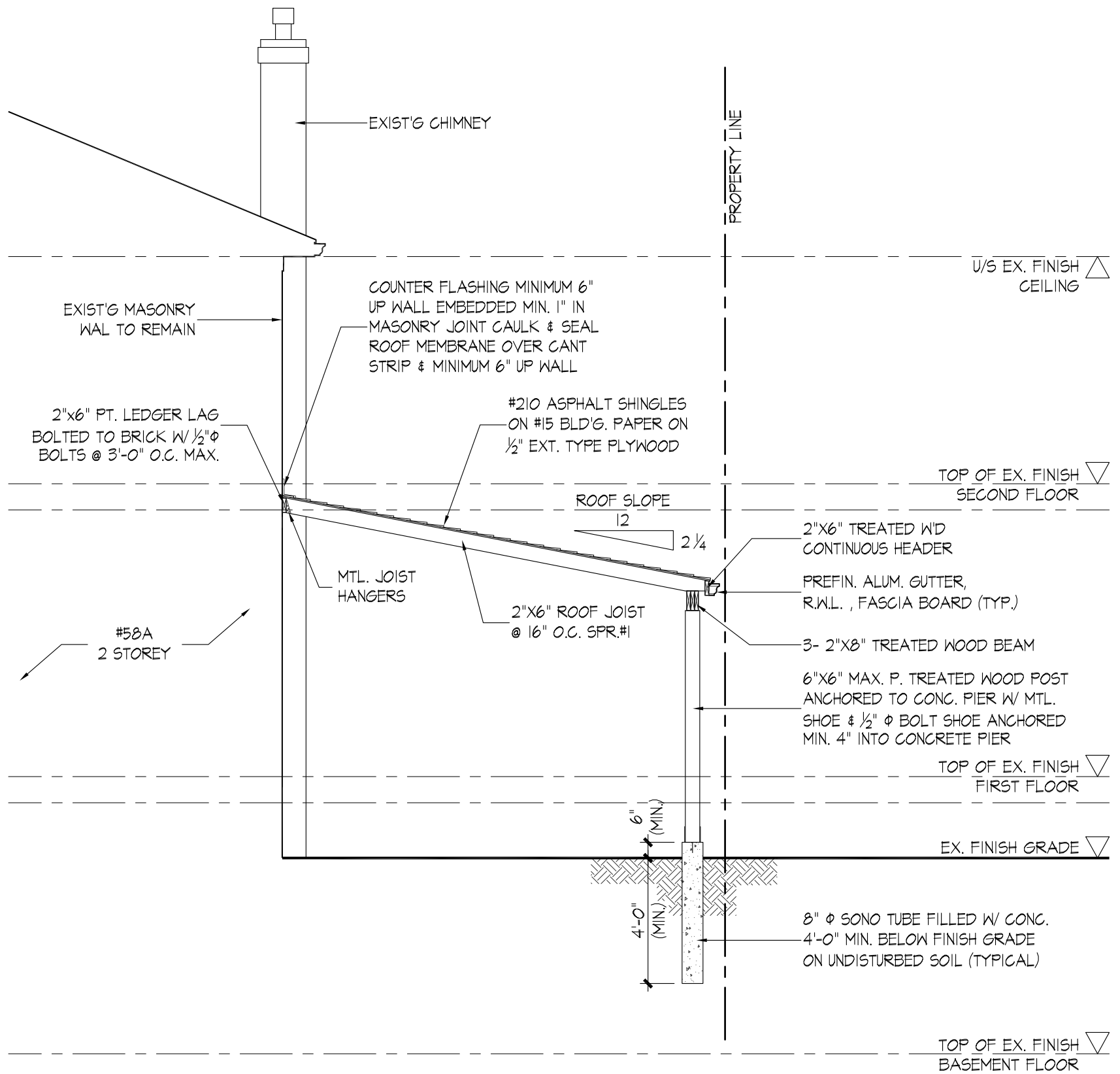
DATE
OCT. 14, 2016

PROJECT No.
16039

DRAWN BY
LM

APPROVED BY
V.M.D.R.

DRAWING No.
A-6



1
A7

PART'L CROSS SECTION

SCALE : 1/4" = 1'-0"



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PROJECT
**PROPOSED CARPORT
AT 58A JASPER AVENUE
CITY OF TORONTO**

DRAWING
PART'L CROSS SECTION

SCALE
AS SHOWN

DATE
OCT. 14, 2016

PROJECT No.
16039

DRAWN BY
LM

APPROVED BY
VM DR

DRAWING No.
A-7

Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0886/16EYK	Zoning	RM & R2
Owner(s):	MARIA DE CONCEICAO MACEDO FERNANDO MARTINS DE CARVALHO	Ward:	Davenport (17)
Agent:	V. ROSA DESIGNS LIMITED	Heritage:	Not Applicable
Property Address:	196 GILBERT AVE	Community:	
Legal Description:	PLAN 1726 N PT LOT 42		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey rear addition above the existing one-storey portion of the dwelling and to re-construct a new detached rear garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.70.(3)(A), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 8.3.(a), By-law 1-83
The minimum required side yard setback is 0.5 m on one side and 1.2 m on the other side.
Section 10.80.40.70.(3)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83
The altered dwelling will be located 0.29 m from the north side lot line and 1.45 m from the south side lot line.
- Section 10.5.60.70.(1), By-law 569-2013**
The maximum permitted coverage for all ancillary buildings or structures on a lot is 10% of the lot area (18.39 m²).
The proposed rear yard ancillary building will cover 19.75% of the lot area (36.32 m²).
- Section 3.1.4, By-law 1-83**
The minimum required rear yard setback for an accessory structure, where it adjoins a public lane or other established right-of-way (other than street), is 1.5 m on each side in which vehicle access doors are located. The proposed rear yard setback for the accessory building and the rear wall in which the vehicle access doors are located will be 0.57 m from the rear lot line (to an existing public lane).
- Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
The eaves of the altered dwelling will be located 0 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0886/16EYK	Zoning	RM & R2
Owner:	MARIA DE CONCEICAO MACEDO FERNANDO MARTINS DE CARVALHO	Ward:	Davenport (17)
Agent:	V. ROSA DESIGNS LIMITED	Heritage:	Not Applicable
Property Address:	196 GILBERT AVE	Community:	
Legal Description:	PLAN 1726 N PT LOT 42		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0891/16EYK	Zoning	R2 Z0.6
Owner(s):	MICAELA SILVA ALVARINO FERNANDES	Ward:	Davenport (17)
Agent:	MICAELA SILVA	Heritage:	Not Applicable
Property Address:	75 PRESCOTT AVE	Community:	
Legal Description:	PLAN 886 BLK A PT LOT 78		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey rear addition with a second storey rear balcony, a new rear basement walk-out, and a new front porch column.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 6(2)(1)(iii)(A), By-law 438-86

A converted house is a permitted use provided only one addition is erected at the time of conversion thereafter. The proposed rear second floor addition is the second addition since the time of conversion.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

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- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0891/16EYK	Zoning	R2 Z0.6
Owner:	MICAELA SILVA ALVARINO FERNANDES	Ward:	Davenport (17)
Agent:	MICAELA SILVA	Heritage:	Not Applicable
Property Address:	75 PRESCOTT AVE	Community:	
Legal Description:	PLAN 886 BLK A PT LOT 78		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, January 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0832/16EYK	Zoning	RD & R5
Owner(s):	DULCE LOURENCO MATIAS ALMIRO MATIAS	Ward:	York West (07)
Agent:	LIRO STUDIO	Heritage:	Not Applicable
Property Address:	68 LOVILLA BLVD	Community:	
Legal Description:	PLAN 3803 LOT 129		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey side and rear addition and a detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 13.2.4, By-law 7625**
The maximum permitted lot coverage is 30% of the lot area (167.23 m²).
The altered dwelling will cover 35% of the lot area (195 m²).
- Section 900.3.10.(5)(A), By-law 569-2013 and Section 14.2.3.(b), By-law 7625**
The minimum required side yard setback is 1.8 m.
The altered dwelling will be located 1.2 m from the east side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
3. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on January 24, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0832/16EYK	Zoning	RD & R5
Owner:	DULCE LOURENCO MATIAS	Ward:	York West (07)
	ALMIRO MATIAS		
Agent:	LIRO STUDIO	Heritage:	Not Applicable
Property Address:	68 LOVILLA BLVD	Community:	
Legal Description:	PLAN 3803 LOT 129		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

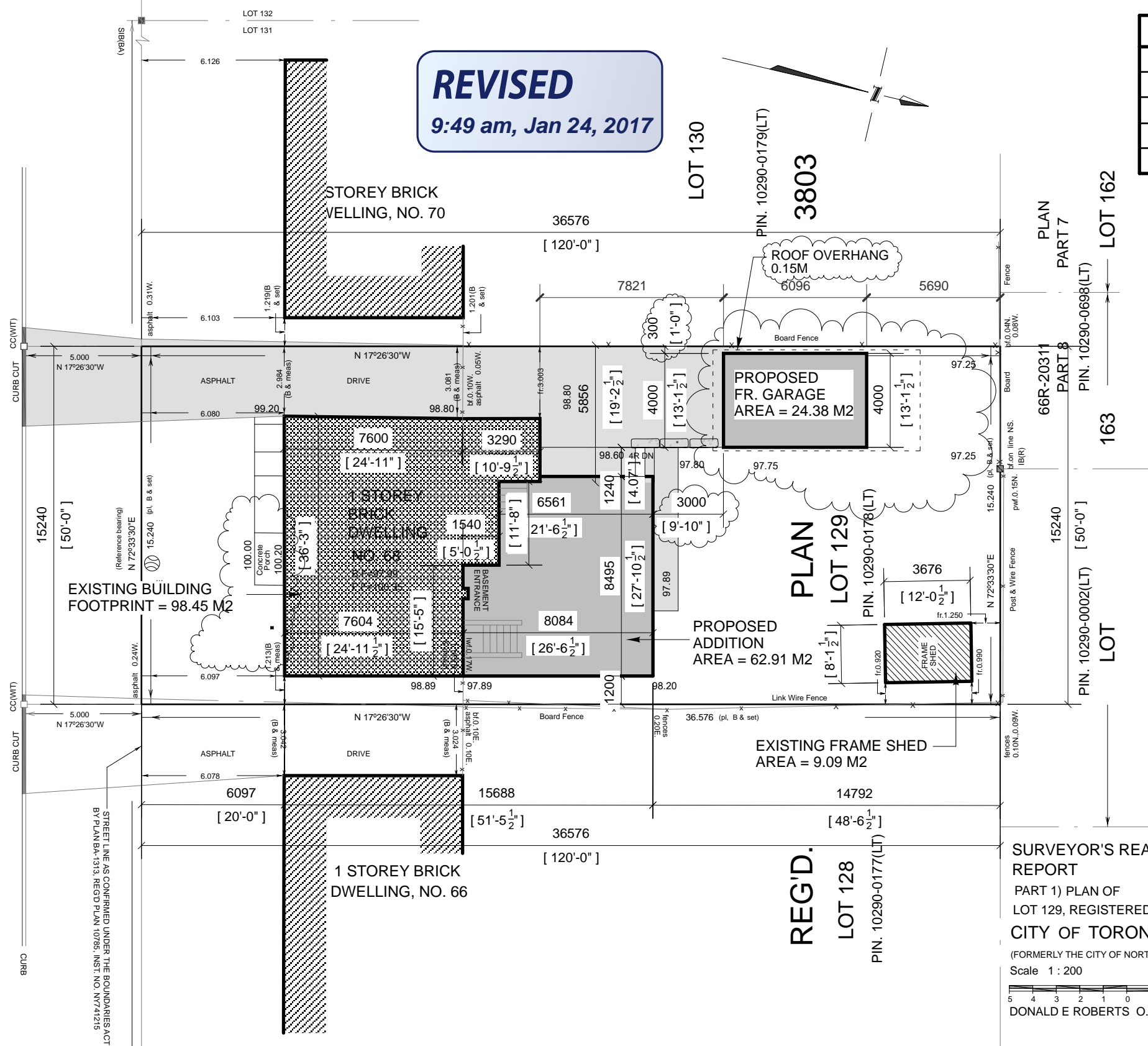
CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

LOVILLA BOULEVARD

9:49 am, Jan 24, 2017



ZONING	LOT FRONTAGE 15240'	LOT DEPTH 36576	LOT AREA 557.42 M2
	EXISTING	PROPOSED	PROPOSED
BASEMENT		62.91 m2 [677.18 sq ft]	62.91 m2 [677.18 sq ft]
FIRST FLOOR	98.45 m2 [1059.74 sq ft]	62.91 m2 [677.18 sq ft]	161.36 m2 [1736.92 sq ft]
SECOND FLOOR			
GROSS FLOOR AREA	98.45 m2 [1059.74 sq ft]	125.82 m2 [1354.36 sq ft]	224.27 m2 [2414.10 sq ft]

	R5	RD
zoning		
lot area	557.42 m2	6000.22 SF
permitted coverage 30%	167.23 m2	1800.00 SF
actual coverage [34.95 %]	194.83 m2	2097.20 SF
permitted g.f.a. 60%	334.45 m2	3600.13 SF
existing front yard	ex. 6.097 m	20.00'
required side yard		
setback	1.800 m	5.92'
proposed side yard		
right side [existing]	ex. 1.213 m	ex. 3.98'
setback at rear	1.213 m	3.98'
left side [existing]	2.984 m	9.79'
setback at rear addition	5.856 m	19.21'
required rear yard		
setback	9.000m	29.53'
provided rear yard	14792 m	48.53'
permitted height	9.00 m	29.52'
proposed height	NO CHANGES ON EX. HT	

NO CHANGES ON EXISTING FRONT YARD LAND OPEN SPACE

REAR YARD CALCULATIONS
REAR YARD AREA = 209.28 M2 [2252.75 SF]
GARAGE & SHED= 25.83 [278.04 SF]
PROVIDED SOFT LANDSCAPING = 183.45 [87.66%]

1 SITE PLAN
A1 SCALE: 1:200

**SURVEYOR'S REAL PROPERTY
REPORT**

PART 1) PLAN OF

LOT 129, REGISTERED PLAN 3803


CITY OF TORONTO

(FORMERLY THE CITY OF NORTH YORK)

Scale 1 : 200



The undersigned has reviewed & taken responsibility for this design,
and has the Qualifications and meets the requirements set out in the
Ontario Building Code to be a designer.

QUALIFICATION INFORMATION	
Required unless design is exempt under 2.17.5.1 of the building code	
TONY VALENTIN	20917
Name	BCIN
	20 04 16
Signature	Date

REGISTRATION INFORMATION	
Required unless design is exempt under 2.17.4.1 of the building code	
TONY VALENTIN DESIGN	28858
Firm Name	BCIN

PROJECT TITLE:

PROPOSED ALTERATIONS AND ADDITION TO EX. DWELLING

68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK

CLIENT'S: ALMIRO MATIAS

3	10 2016	issued for C OF A	AD
2	04 2016	issued for zoning review	AD
1	04 2016	issued for client review	AD
no.	date	revision	by

drawn by: AD

checked by:

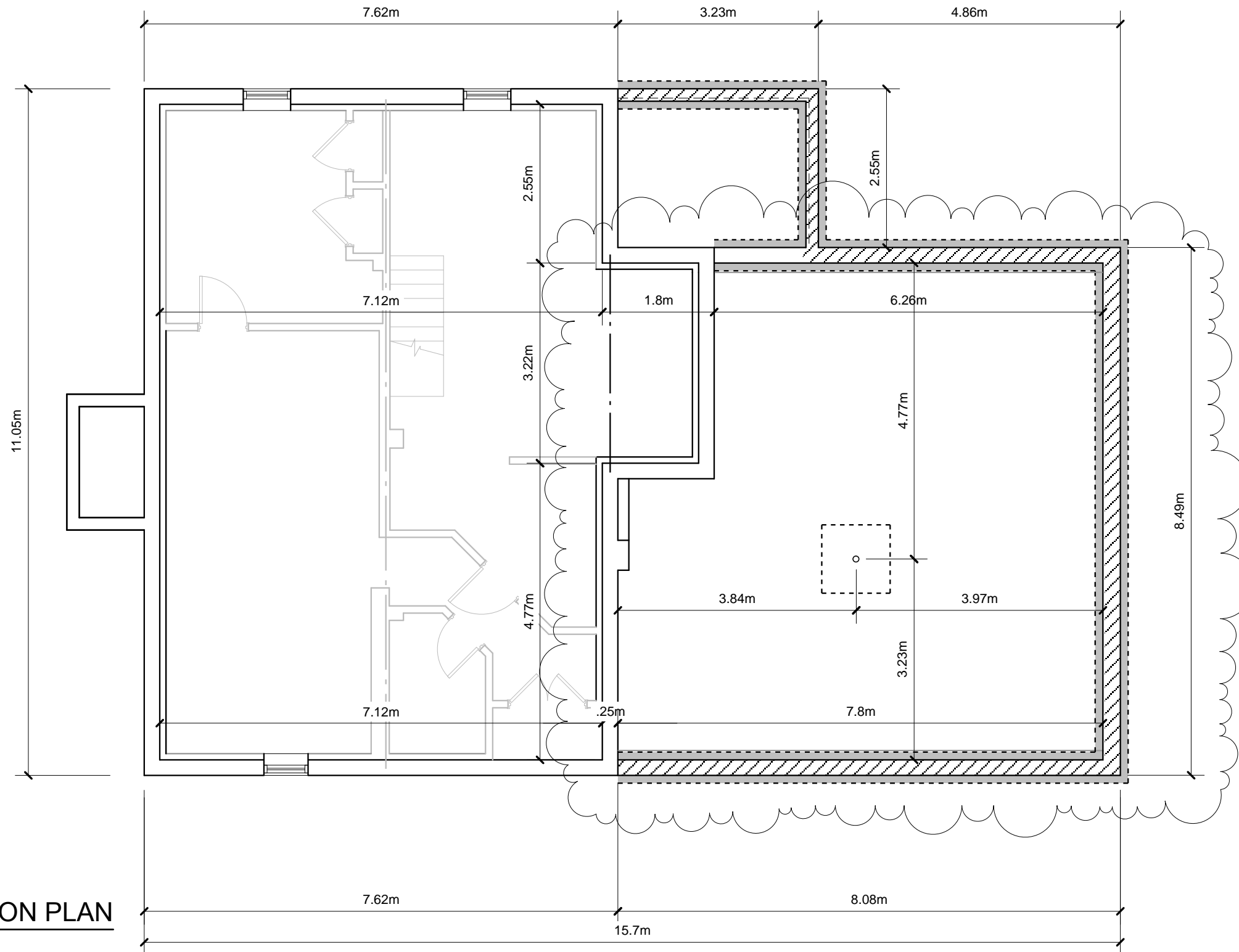
date: APRIL 2016

scale : as noted

sheet no.

A1

1 of 2 sheets



1 FOUNDATION PLAN
A2 SCALE: 1:75

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
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TONY VALENTIN 20917
Name BCIN
Signature 20 04 16
Date

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code
TONY VALENTIN DESIGN 28858
Firm Name BCIN

PROJECT TITLE:

**PROPOSED ALTERATIONS
AND ADDITION TO EX. DWELLING**

**68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK**

CLIENT'S: ALMIRO MATIAS

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drawn by: AD

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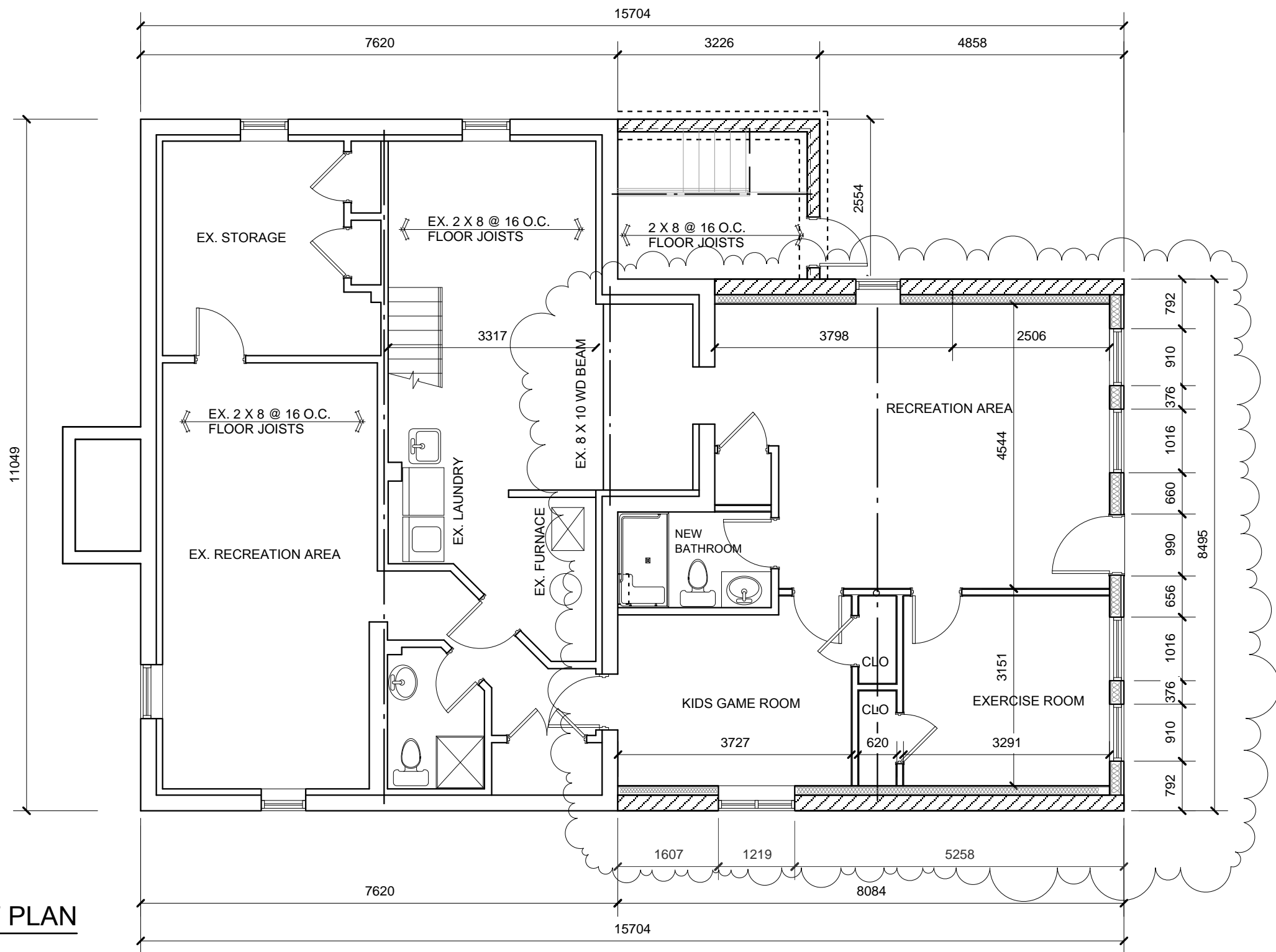
date: APRIL 2016

scale : as noted

sheet no.

A2

2 of sheets



1 BASEMENT PLAN
A3 SCALE: 1:75
ADDITION = 62.91 Sq m

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

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Name BCIN
Signature 20 04 16
Date

REGISTRATION INFORMATION
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TONY VALENTIN DESIGN 28858
Firm Name BCIN

PROJECT TITLE:

**PROPOSED ALTERATIONS
AND ADDITION TO EX. DWELLING**

**68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK**

CLIENT'S: ALMIRO MATIAS

4	01 2017	delete 2nd UNIT	AD
3	10 2016	issued for C OF A	AD
2	04 2016	issued for zoning review	AD
1	04 2016	issued for client review	AD
no.	date	revision	by

drawn by: AD

checked by:

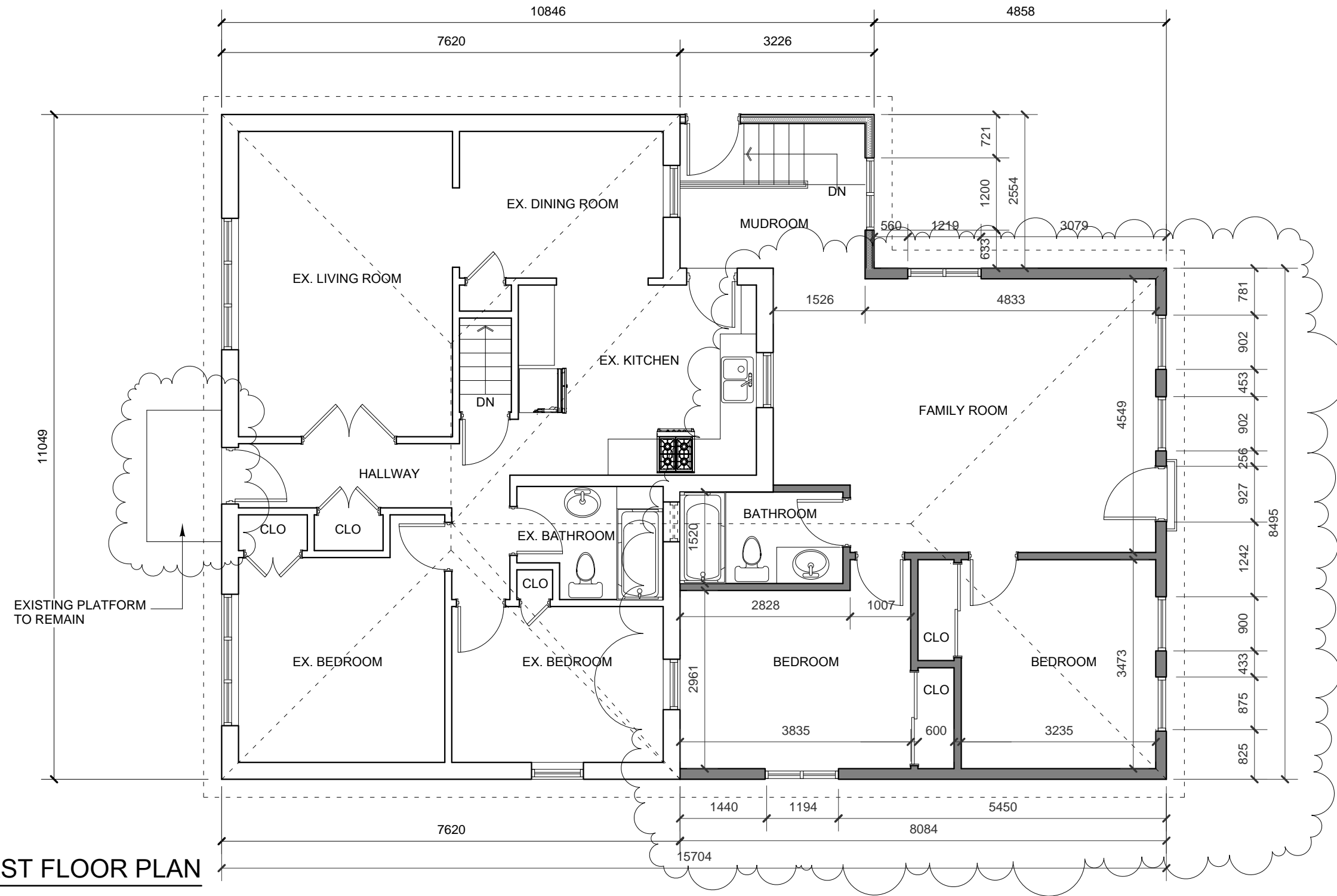
date: APRIL 2016

scale : as noted

sheet no.

A3

3 of sheets



1 FIRST FLOOR PLAN
A4 SCALE: 1:75 EX. GFA= 98.45 Sq m

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Firm Name BCIN

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**PROPOSED ALTERATIONS
AND ADDITION TO EX. DWELLING**

**68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK**

CLIENT'S: ALMIRO MATIAS

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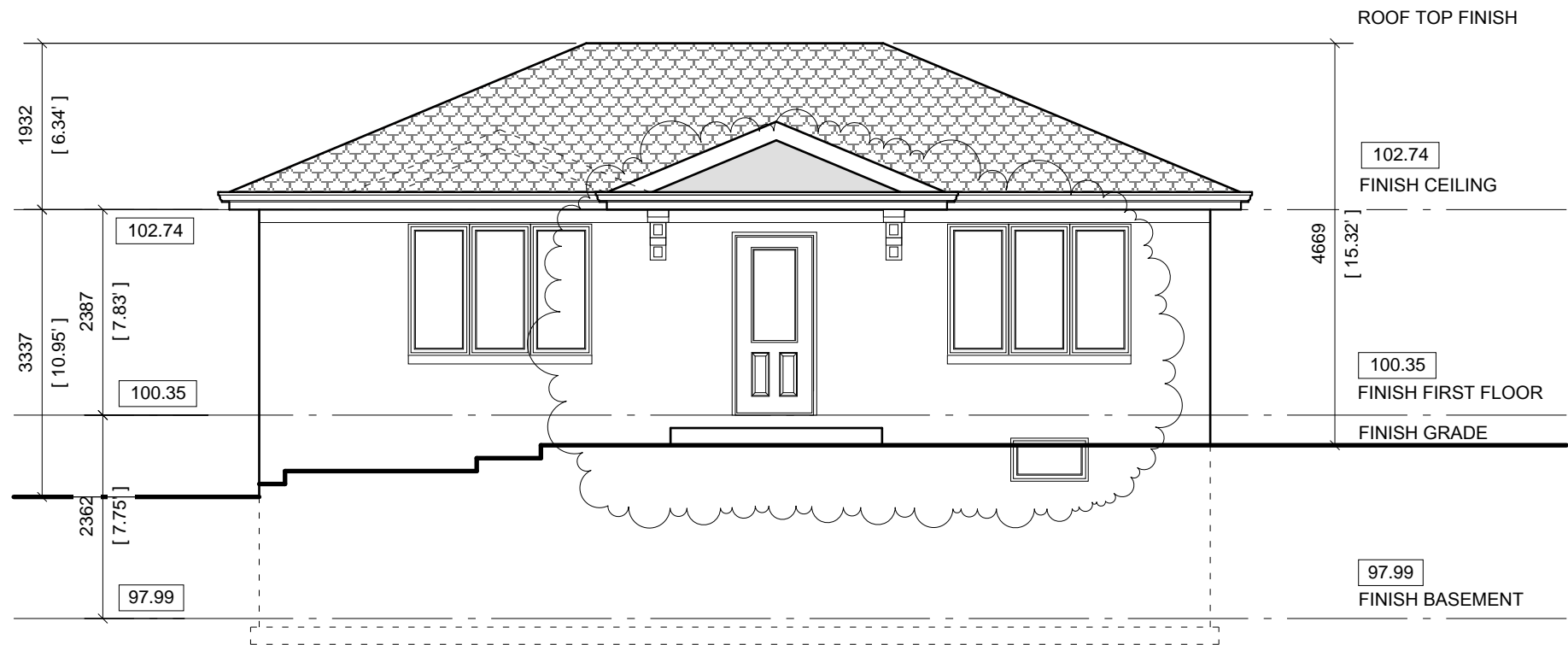
date: APRIL 2016

scale : as noted

sheet no.

A4

4 of sheets



1 EX. FRONT ELEVATION
A5 SCALE: 1:75

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Date

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Firm Name BCIN

PROJECT TITLE:

**PROPOSED ALTERATIONS
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**68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK**

CLIENT'S: ALMIRO MATIAS

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1	04 2016	issued for client review	AD
no.	date	revision	by

drawn by: AD

checked by:

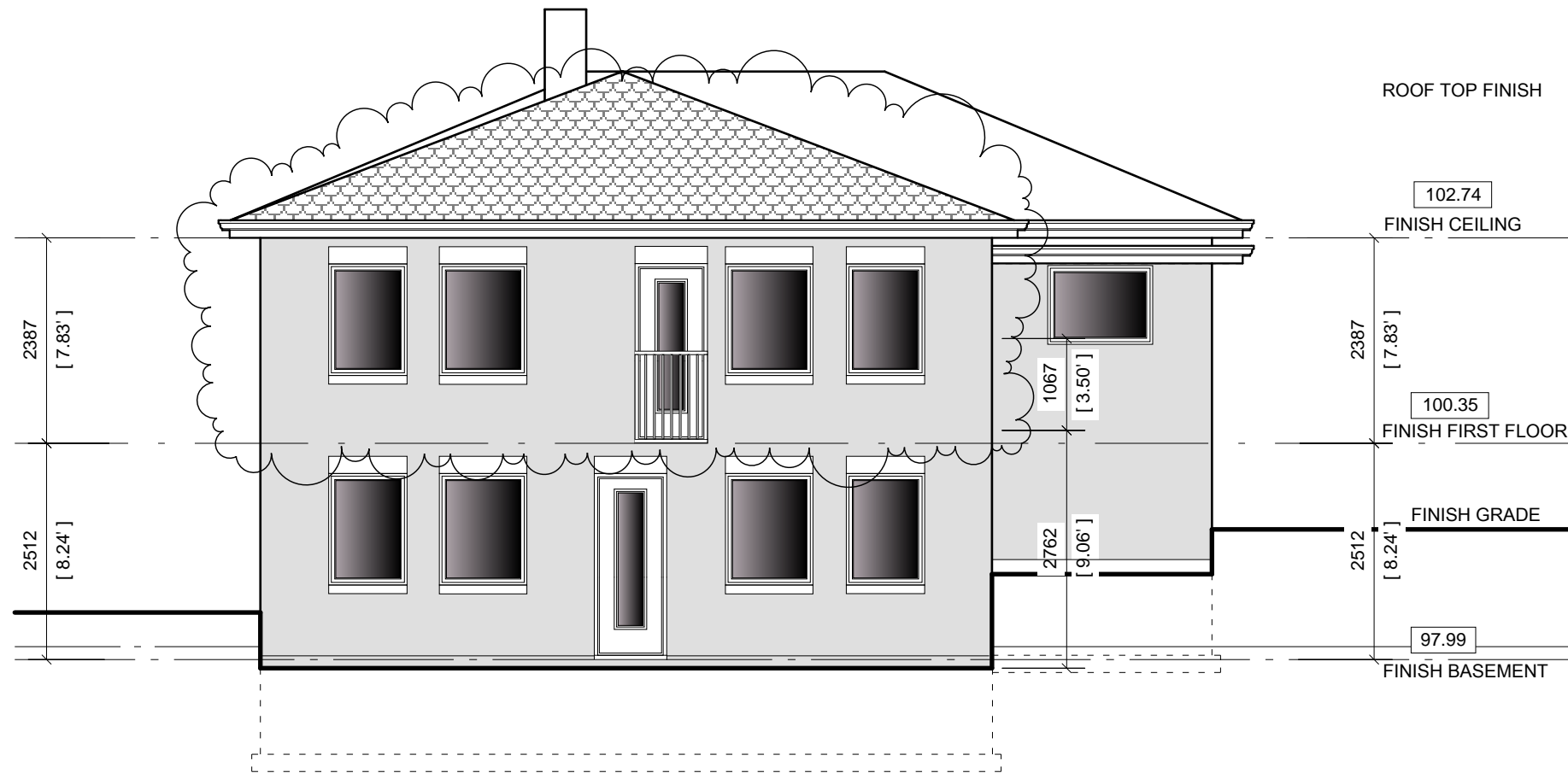
date: APRIL 2016

scale : as noted

sheet no.

A5

5 of sheets



1
A6

EX. REAR ELEVATION

SCALE: 1:75

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

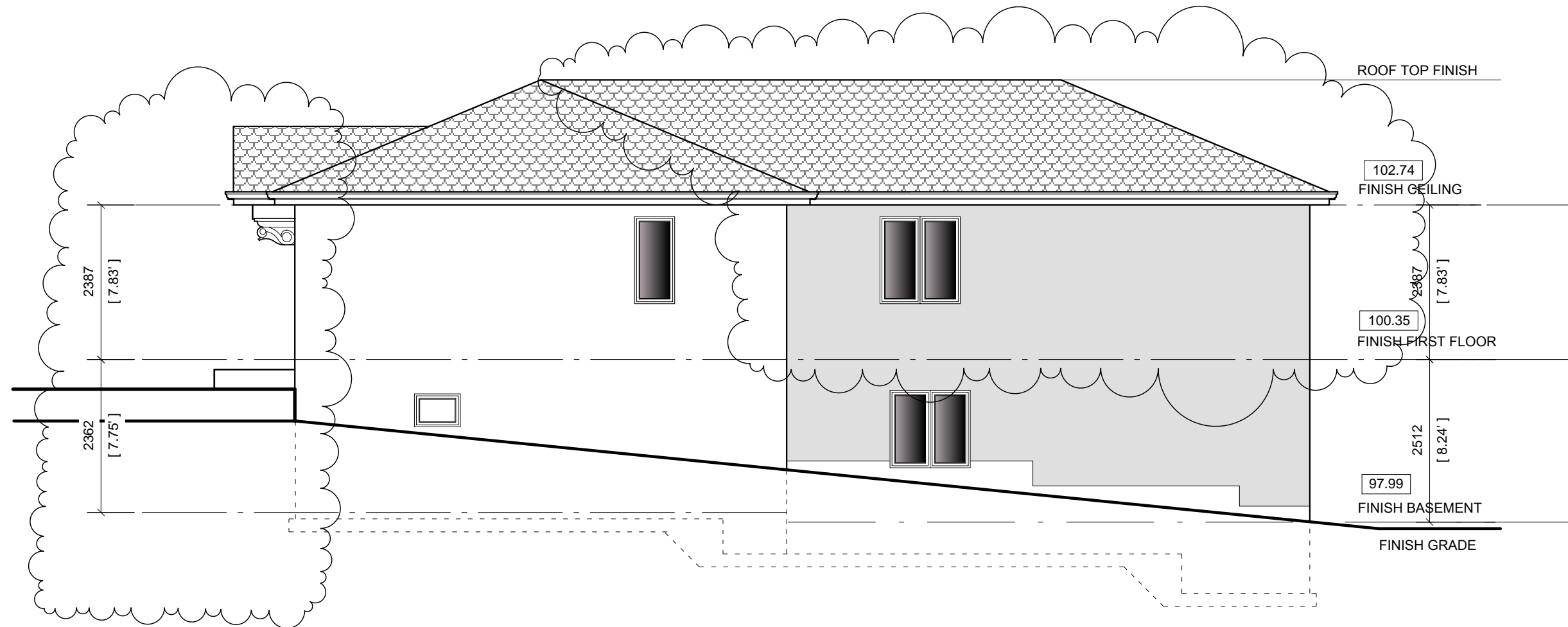
QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code
TONY VALENTIN 20917
Name BCIN
Signature 20 04 16 Date
REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code
TONY VALENTIN DESIGN 28858
Firm Name BCIN

PROJECT TITLE:
**PROPOSED ALTERATIONS
AND ADDITION TO EX. DWELLING**
68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK
CLIENT'S: ALMIRO MATIAS

3	10 2016	issued for C OF A	AD
2	04 2016	issued for zoning review	AD
1	04 2016	issued for client review	AD
no.	date	revision	by

drawn by: AD
checked by:
date: APRIL 2016
scale : as noted

sheet no.
A6
6 of 6 sheets



1 RIGHT SIDE ELEVATION
A7 SCALE: 1:75

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QUALIFICATION INFORMATION
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TONY VALENTIN 20917

Name BCIN

Signature 20 04 16

Date

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code

TONY VALENTIN DESIGN 28858

Firm Name BCIN

PROJECT TITLE:

**PROPOSED ALTERATIONS
AND ADDITION TO EX. DWELLING**

**68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK**

CLIENT'S: ALMIRO MATIAS

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1	04 2016	issued for client review	AD
no.	date	revision	by

drawn by: AD

checked by:

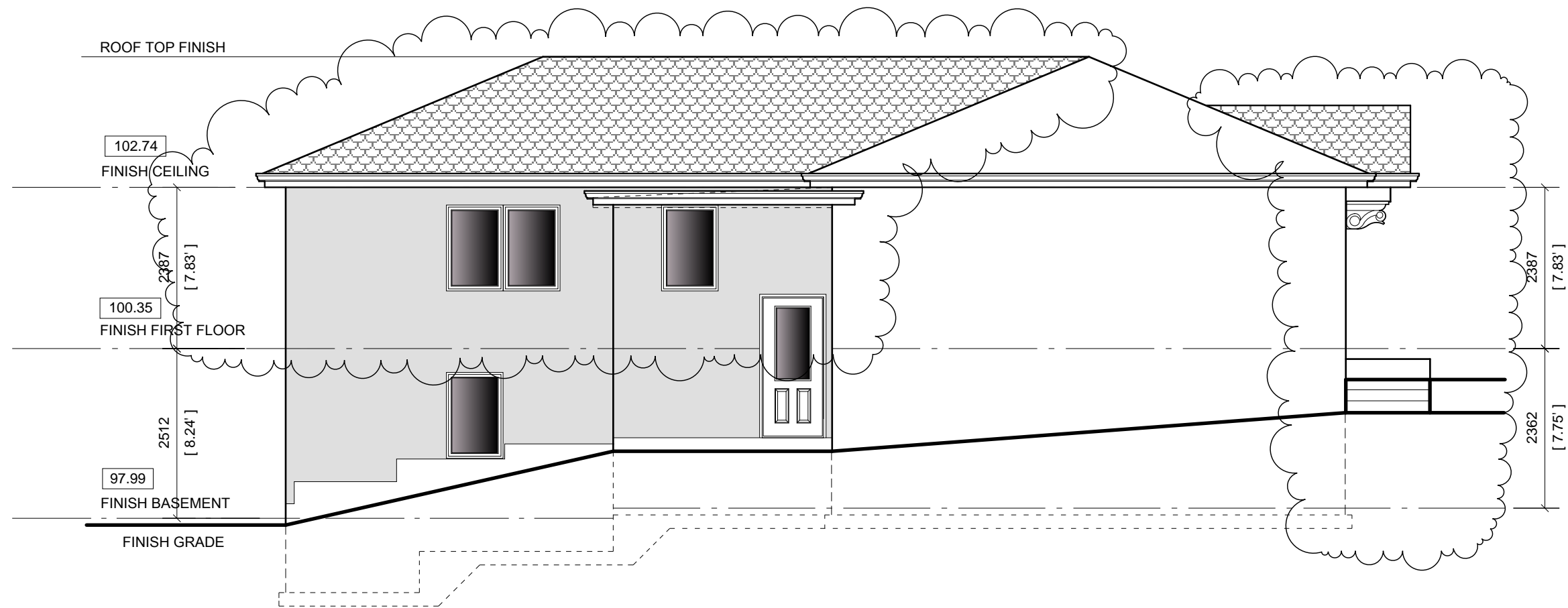
date: APRIL 2016

scale : as noted

sheet no.

A7

7 of sheets



1 LEFT SIDE ELEVATION
A8 SCALE: 1:75

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TONY VALENTIN 20917
Name BCIN
Signature 20 04 16 Date

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code
TONY VALENTIN DESIGN 28858
Firm Name BCIN

PROJECT TITLE:

**PROPOSED ALTERATIONS
AND ADDITION TO EX. DWELLING**

**68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK**

CLIENT'S: ALMIRO MATIAS

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1	04 2016	issued for client review	AD
no.	date	revision	by

drawn by: AD

checked by:

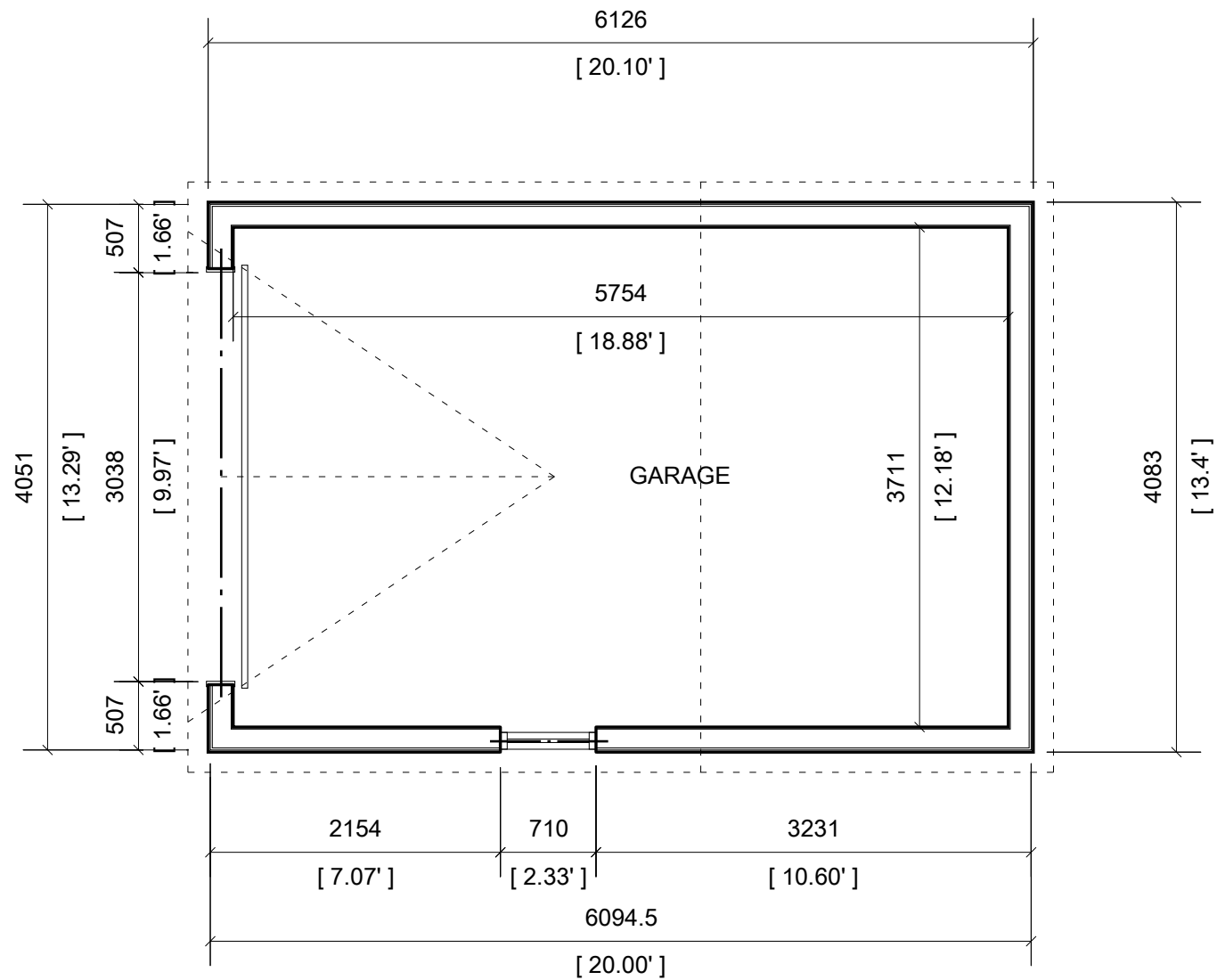
date: APRIL 2016

scale : as noted

sheet no.

A8

8 of sheets



1 GARAGE PLAN
A9 SCALE: 1:50

The undersigned has reviewed & taken responsibility for this design, and has the Qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

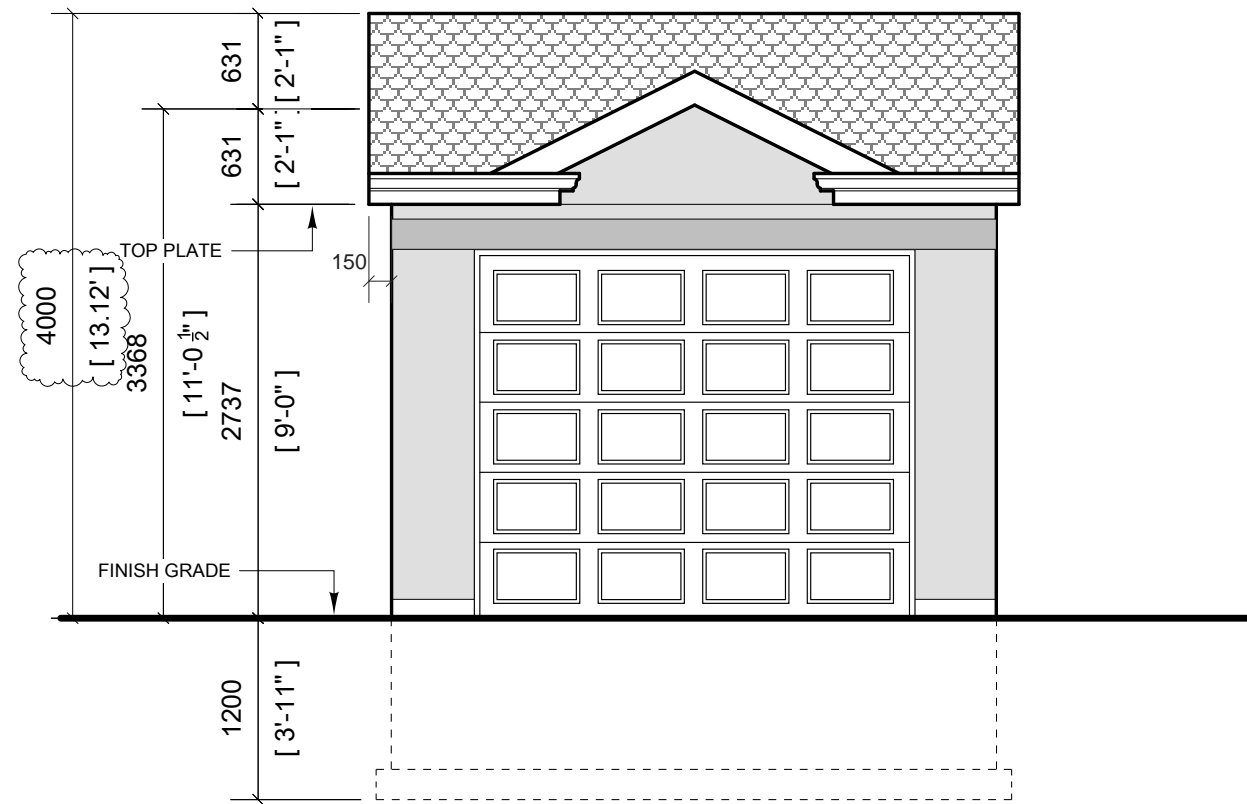
QUALIFICATION INFORMATION	
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TONY VALENTIN	20917
Name	BCIN
Signature	20 04 16
Date	
REGISTRATION INFORMATION	
Required unless design is exempt under 2.17.4.1 of the building code	
TONY VALENTIN DESIGN	28858
Firm Name	BCIN

PROJECT TITLE:
**PROPOSED ALTERATIONS
AND ADDITION TO EX. DWELLING**
68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK
CLIENT'S: ALMIRO MATIAS

3	10 2016	issued for C OF A	AD
2	04 2016	issued for permit	AD
1	04 2016	issued for client review	AD
no.	date	revision	by

drawn by: AD
checked by:
date: APRIL 2016
scale : as noted

sheet no.
A9
9 of sheets



1 GARAGE FRONT ELEVATION
A10 SCALE: 1:50

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TONY VALENTIN 20917
Name BCIN
Signature 20 04 16 Date
REGISTRATION INFORMATION
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TONY VALENTIN DESIGN 28858
Firm Name BCIN

PROJECT TITLE:

**PROPOSED ALTERATIONS
AND ADDITION TO EX. DWELLING**

**68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK**

CLIENT'S: ALMIRO MATIAS

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1	04 2016	issued for client review	AD
no.	date	revision	by

drawn by: AD

checked by:

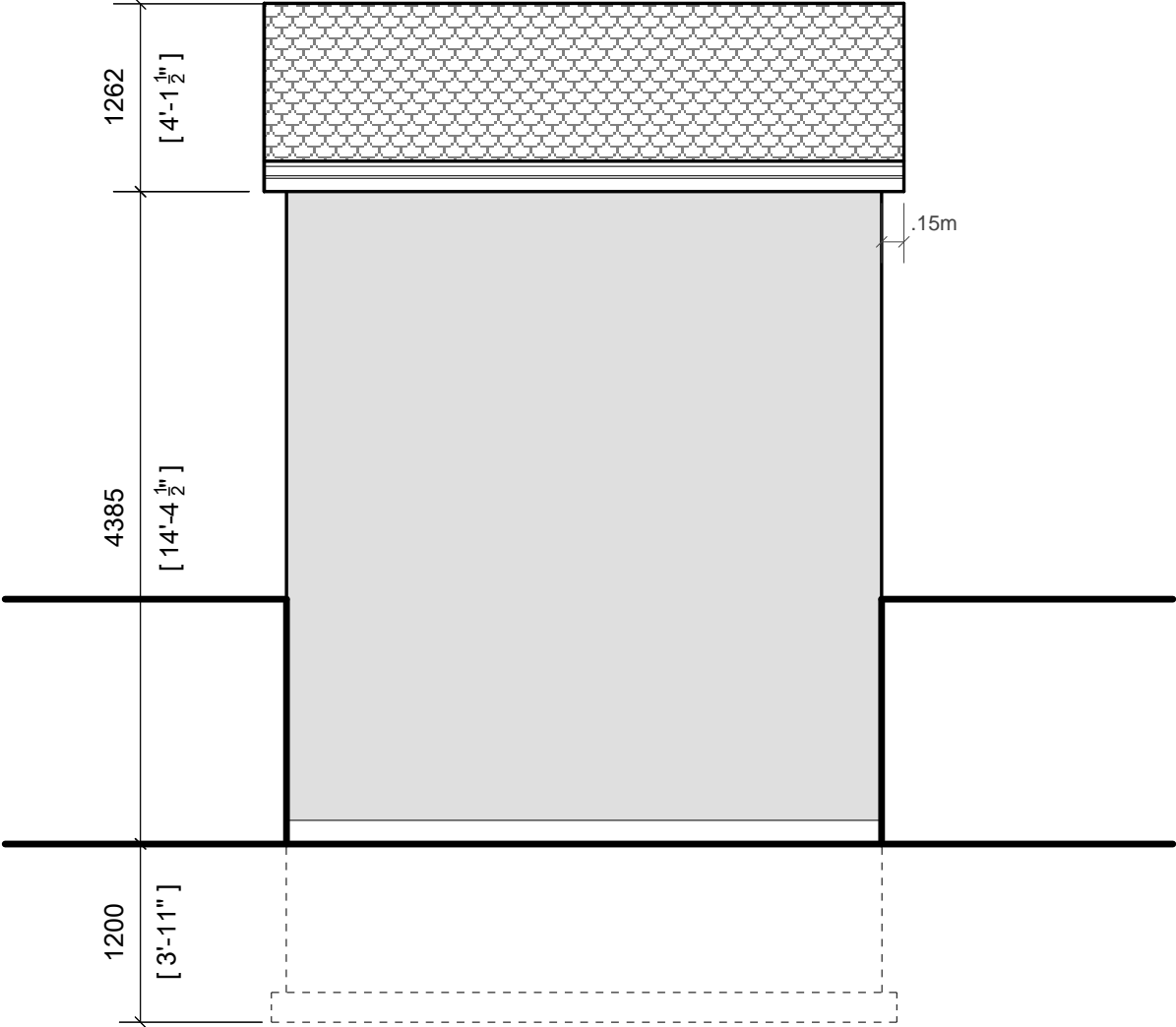
date: APRIL 2016

scale : as noted

sheet no.

A10

10 of sheets



1

REAR ELEVATION

A11

SCALE: 1:50

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TONY VALENTIN	20917
Name	BCIN
Signature	20 04 16
	Date
REGISTRATION INFORMATION	
Required unless design is exempt under 2.17.4.1 of the building code	
TONY VALENTIN DESIGN	28858
Firm Name	BCIN

PROJECT TITLE:

PROPOSED ALTERATIONS
AND ADDITION TO EX. DWELLING

68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK

CLIENT'S: ALMIRO MATIAS

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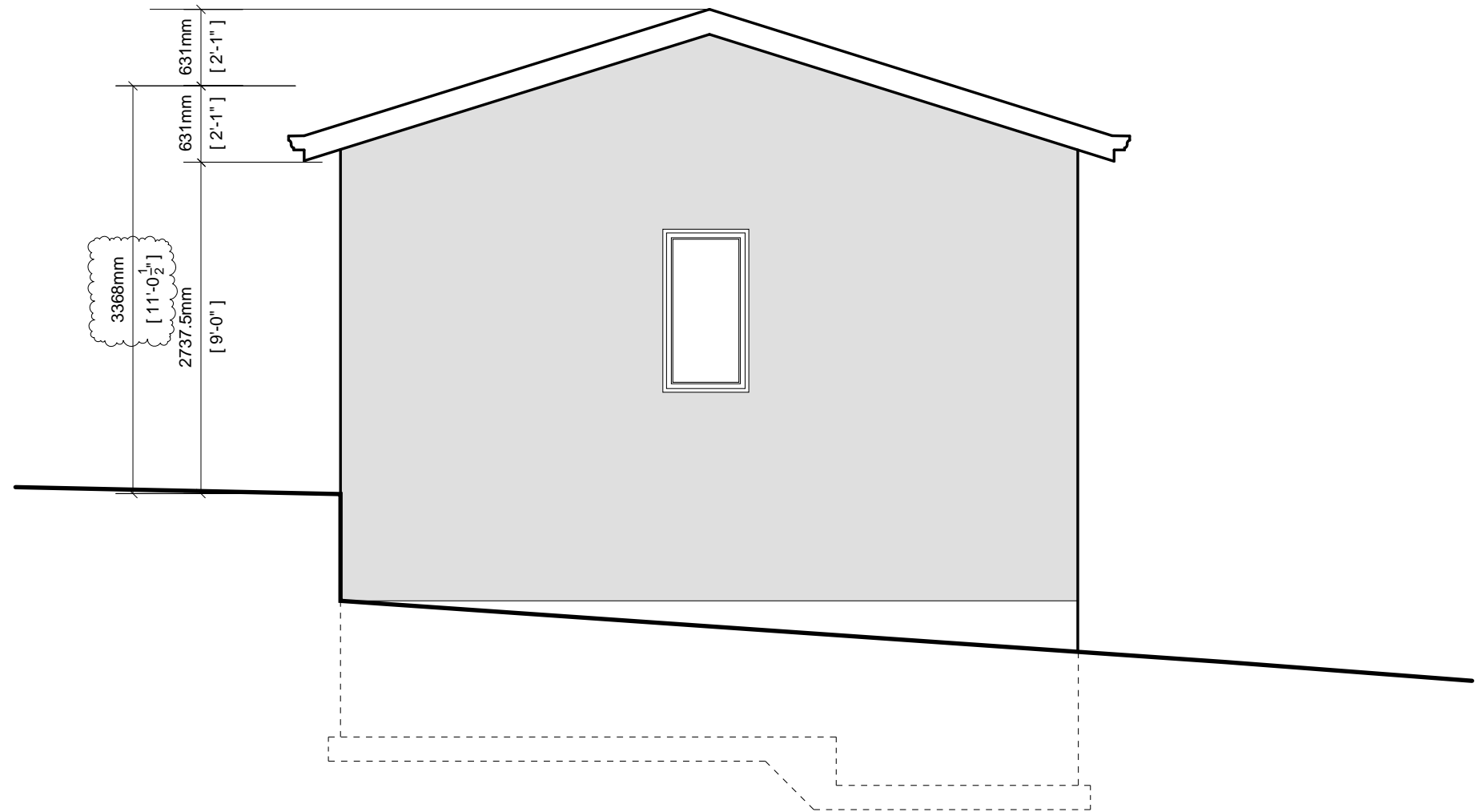
date: APRIL 2016

scale : as noted

sheet no.

A11

11 of sheets



1 RIGHT SIDE ELEVATION
A12 SCALE: 1:50

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Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1 of the building code
TONY VALENTIN 20917

Name BCIN
Signature 20 04 16
Date

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1 of the building code
TONY VALENTIN DESIGN 28858
Firm Name BCIN

PROJECT TITLE:

**PROPOSED ALTERATIONS
AND ADDITION TO EX. DWELLING**

**68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK**

CLIENT'S: ALMIRO MATIAS

no.	date	revision	by
3	10 2016	issued for C OF A	AD
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checked by:

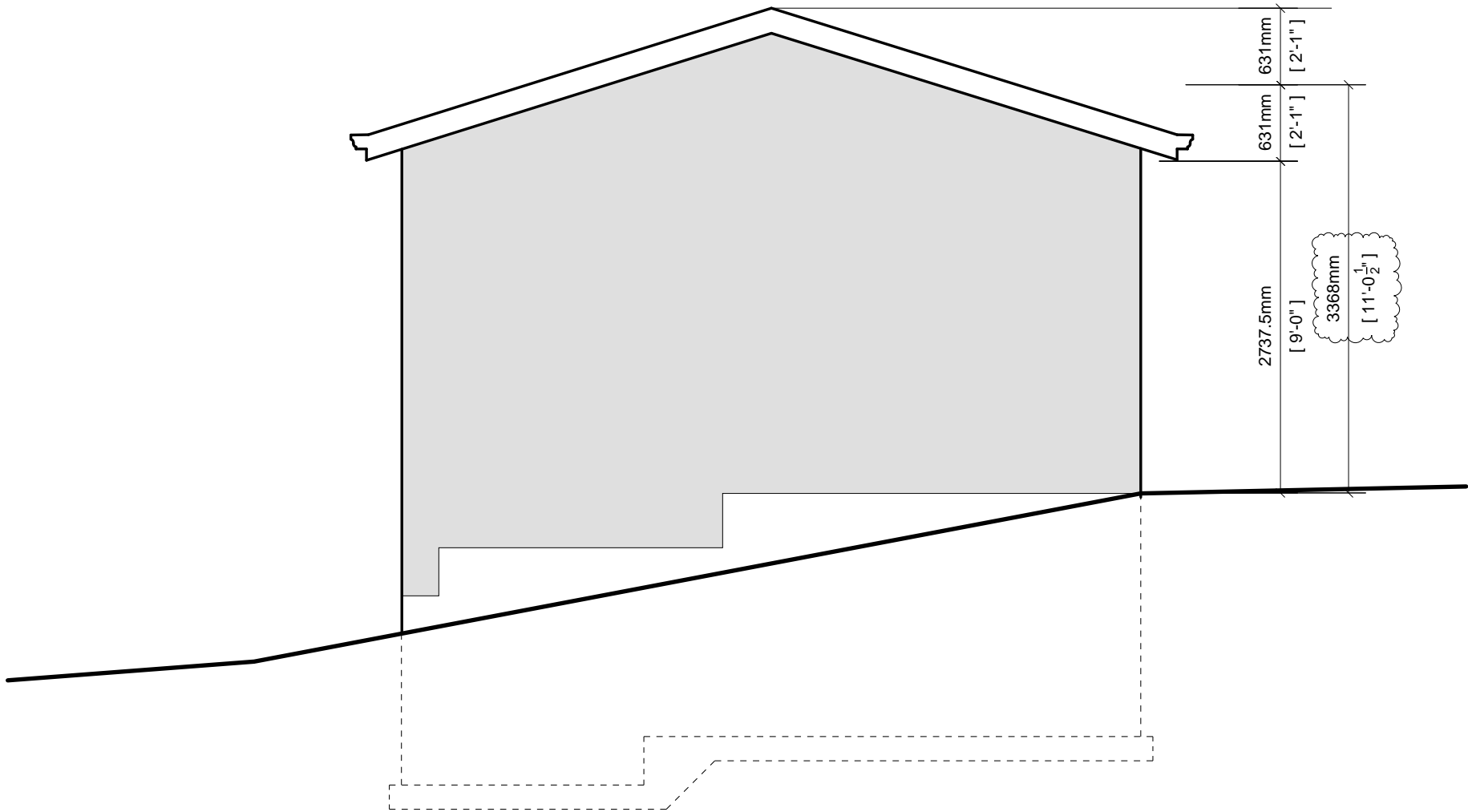
date: APRIL 2016

scale : as noted

sheet no.

A12

12 of sheets



1 LEFT SIDE ELEVATION
A13 SCALE: 1:50

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QUALIFICATION INFORMATION
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TONY VALENTIN 20917
Name BCIN
Signature 20 04 16 Date
REGISTRATION INFORMATION
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TONY VALENTIN DESIGN 28858
Firm Name BCIN

PROJECT TITLE:
**PROPOSED ALTERATIONS
AND ADDITION TO EX. DWELLING**
68 LOVILLA BOULEVARD , CITY OF TORONTO
formerly city of NORTH YORK
CLIENT'S: ALMIRO MATIAS

3	10 2016	issued for C OF A	AD
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drawn by: AD
checked by:
date: APRIL 2016
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sheet no.

A13

13 of sheets

Thursday, January 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0899/16EYK	Zoning	M2
Owner(s):	I G INVESTMENT MANAGEMNT LTD	Ward:	York West (07)
Agent:	GLENN PIOTROWSKI	Heritage:	Not Applicable
Property Address:	2233 SHEPPARD AVE W	Community:	
Legal Description:	CON 5 WYS PT LOTS 14 AND 15 RP 66R21819 PARTS 71 TO 77 79 AND 80		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a parking deficiency for Phase 1 and Phase 2 of the proposed commercial/ industrial development.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 2.(b), By-law 682-2003

A minimum of 1441 on site parking spaces are required.

A total of 736 on site parking spaces will be provided at Phase 1.

A total of 759 on site parking spaces will be provided at Phase 2.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0899/16EYK	Zoning	M2
Owner:	I G INVESTMENT MANAGEMNT LTD	Ward:	York West (07)
Agent:	GLENN PIOTROWSKI	Heritage:	Not Applicable
Property Address:	2233 SHEPPARD AVE W	Community:	
Legal Description:	CON 5 WYS PT LOTS 14 AND 15 RP 66R21819 PARTS 71 TO 77 79 AND 80		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, January 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0892/16EYK	Zoning	R & R2 Z0.6
Owner(s):	FERNANDA KARINA CALLE HUGO ANDRES PEREIRA	Ward:	Davenport (17)
Agent:	MARIO COREA	Heritage:	Not Applicable
Property Address:	198 PRESCOTT AVE	Community:	
Legal Description:	PLAN 1626 PT LOTS 188 & 189		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.40.(2)(A), By-law 569-2013 & Section 6(3) Part VI 1(I), By-law 438-86**
The maximum permitted floor space index is 0.69 times the lot area (123.7 m²).
The altered dwelling will have a floor space index of 0.81 times the lot area (144.7 m²).
- Section 10.10.40.30.(1)(A), By-law 569-2013 & Section 6(3) Part VI 1(V), By-law 438-86**
The maximum permitted dwelling depth is 17 m.
The altered dwelling will have a depth of 18.07 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0892/16EYK	Zoning	R & R2 Z0.6
Owner:	FERNANDA KARINA CALLE HUGO ANDRES PEREIRA	Ward:	Davenport (17)
Agent:	MARIO COREA	Heritage:	Not Applicable
Property Address:	198 PRESCOTT AVE	Community:	
Legal Description:	PLAN 1626 PT LOTS 188 & 189		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0897/16EYK	Zoning	RD
Owner(s):	THOMAS GREEN	Ward:	Parkdale-High Park (13)
Agent:	DAVID BROWN	Heritage:	Not Applicable
Property Address:	21 LANGMUIR CRES	Community:	
Legal Description:	PLAN 1582 E PT LOT 154		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage. A previous Committee of Adjustment decision (File Number: A582/15EYK) approved variances related to floor space index, dwelling length and driveway width.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 10.20.40.20.(1), By-law 569-2013

The maximum permitted dwelling length is 17 m.

A previous Committee of Adjustment Decision (File Number: A582/15EYK) approved a dwelling length of 17.41 m.

The new dwelling will have a length of 19.68 m.

2. Section 10.20.40.30.(1), By-law 569-2013

The maximum permitted dwelling depth is 19 m.

The new dwelling will have a depth of 19.68 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0897/16EYK	Zoning	RD
Owner:	THOMAS GREEN	Ward:	Parkdale-High Park (13)
Agent:	DAVID BROWN	Heritage:	Not Applicable
Property Address:	21 LANGMUIR CRES	Community:	
Legal Description:	PLAN 1582 E PT LOT 154		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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