

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**CONSENT**  
**(Section 53 of the Planning Act)**

File Number:	B0057/16NY	Zoning	R6 and RD (f12.0; a370)(ZR)
Owner(s):	FARANAK TIZHOUSH FARANAK TIZHOUSH	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>276 POYNTZ AVE</b>	Community:	
Legal Description:	PLAN 1743 LOT 880 PT LOTS 879 & 881		

Notice was given and the application considered on Thursday, May 18, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

To obtain consent to sever a portion of land for the purpose of lot addition.

**CONVEYED - PART 3**

Address to be assigned

Part 3 has a lot frontage of 5.08m and a lot area of 170m<sup>2</sup>. Part 3 will be added to the Part 2 (severed from B058/16NY) to create a new building lot with a frontage of 10.16m and a lot area of 340m<sup>2</sup>. Parts 2 and 3 will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0794/16NY (Lot B).

**RETAINED - PART 4 (276A Poyntz)**

Address to be assigned

Part 4 has a lot frontage of 10.16m and a lot area of 341m<sup>2</sup>. The lot will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0793/16NY (Lot A).

**Applications B0057/16NY, B0058/16NY, A0792/16NY, A0793/16NY, and A0794/16NY will be considered jointly.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Refused**

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.

- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.



**SIGNATURE PAGE**

File Number:	B0057/16NY	Zoning	R6 and RD (f12.0; a370)(ZR)
Owner(s):	FARANAK TIZHOUSH FARANAK TIZHOUSH	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>276 POYNTZ AVE</b>	Community:	
Legal Description:	PLAN 1743 LOT 880 PT LOTS 879 & 881		

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 14, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, May 18, 2017

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

File Number:	B0058/16NY	Zoning	R6 and RD (f12.0;a370)(ZR)
Owner(s):	MOHAMMAD MORADI FARANAK TIZHOUSH	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>278 POYNTZ AVE</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 882 PT LOTS 881 & 883		

Notice was given and the application considered on Thursday, May 18, 2017, as required by the Planning Act.

#### THE CONSENT REQUESTED:

To obtain consent to sever a portion of land for the purpose of a lot addition.

#### CONVEYED - Part 2

Address to be assigned

Part 2 has a lot frontage of 5.08m and a lot area of 170m<sup>2</sup>. Part 2 will be added to the Part 3 (severed from B057/16NY) to create a new building lot with a frontage of 10.16 m and a lot area of 340 m<sup>2</sup>. Parts 2 and 3 will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0794/16NY.

#### RETAINED - Part 1 (278 Poyntz)

Part 1 has a lot frontage of 10.16m and a lot area of 340.66m<sup>2</sup>. The lot will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0792/16NY.

**Applications B0057/16NY, B0058/16NY, A0792/16NY, A0793/16NY, A0794/16NY will be considered jointly.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

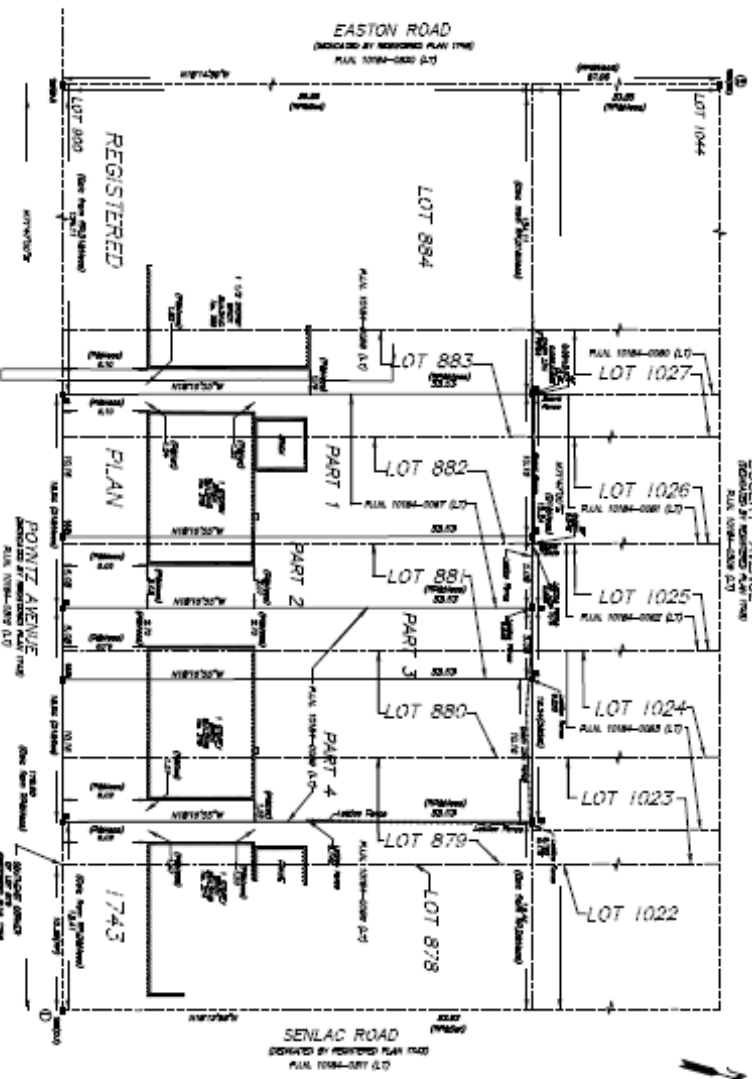
#### The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

DRAFT

ROBERT AVENUE  
PLANS 10784-0266 (L.O.)  
PLANS 10784-0267 (L.O.)



PLAN 66R-  
RECEIVED AND DEPOSITED  
DATE \_\_\_\_\_

1. I HEREBY THIS PLAN TO BE CONTROLLED UNDER THE LAND TITLE ACT  
DATE \_\_\_\_\_

ALEX HARRTON  
OFFICIAL LAND SURVEYOR

RESPONSIBLE FOR LAND SURVEY  
MUTUAL DIVISION OF THE TORONTO  
REGISTERED OFFICE (No. 68)

**SCHEDULE**

PART	PART OF LOT	REGISTERED PLAN	PART OF M.N.I. AREA	SQFT
1	883, 882, 881	THIS	10784-0267 (L.O.)	511
2	881, 880, 882	THIS	10784-0267 (L.O.)	179
3	881, 880, 882	THIS	10784-0266 (L.O.)	511
4	880, 882, 879	THIS	10784-0266 (L.O.)	511

PLAN OF SURVEY OF  
PART OF LOTS 879 AND 883,  
ALL OF LOTS 880, 881 AND 882  
REGISTERED PLAN 1743  
CITY OF TORONTO  
(FORMERLY TOWNSHIP OF NORTH YORK)

SCALE 1 : 200

ALEX HARRTON LTD.  
ONTARIO LAND SURVEYORS  
2016

METRIC  
DIMENSIONS AND CONVERSIONS SHOWN ON THIS PLAN ARE IN METERS  
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**SURVEYOR'S CERTIFICATE**

I, ALEX HARRTON, SURVEYOR, DO HEREBY CERTIFY THAT THE SURVEY AND PLAN ACCURATELY REPRESENT THE SURVEY AND PLAN IN ACCORDANCE WITH THE METRIC ACT, R.S.O. 1990, CAP. M. 29, AND THE LAND TITLE ACT AND THE REGULATION MADE THEREUNDER, AND THAT THE SURVEY WAS CONDUCTED IN THE MONTH OF \_\_\_\_\_, 2016.

LEGD 1/10/2016  
5/2016

**ALEX HARRTON LIMITED**  
REGISTERED LAND SURVEYORS  
505 EASTERN AVE., SUITE 101  
TORONTO, ONTARIO M4M 1B7  
TEL: (416) 461-8800  
WWW.ALEXHARRTON.COM

**ALIX HARRTON**  
REGISTERED LAND SURVEYOR  
MAY 15 2016  
REGISTERED 101-118

PART OF LOTS 879 AND 883, ALL OF LOTS 880, 881 AND 882, REGISTERED PLAN 1743, CITY OF TORONTO (FORMERLY TOWNSHIP OF NORTH YORK)

**LEGEND**

—————	EXISTING	—————	EXISTING
—+—+—+—+—	PROPOSED	—————	EXISTING
-----	PROPOSED	-----	EXISTING
-----	PROPOSED	-----	EXISTING
-----	PROPOSED	-----	EXISTING
-----	PROPOSED	-----	EXISTING

**INTEGRATION DATA**

SECTION	SECTION DATA
SECTION 17	SECTION DATA
SECTION 18	SECTION DATA
SECTION 19	SECTION DATA
SECTION 20	SECTION DATA
SECTION 21	SECTION DATA
SECTION 22	SECTION DATA
SECTION 23	SECTION DATA
SECTION 24	SECTION DATA
SECTION 25	SECTION DATA
SECTION 26	SECTION DATA
SECTION 27	SECTION DATA
SECTION 28	SECTION DATA
SECTION 29	SECTION DATA
SECTION 30	SECTION DATA
SECTION 31	SECTION DATA
SECTION 32	SECTION DATA
SECTION 33	SECTION DATA
SECTION 34	SECTION DATA
SECTION 35	SECTION DATA
SECTION 36	SECTION DATA
SECTION 37	SECTION DATA
SECTION 38	SECTION DATA
SECTION 39	SECTION DATA
SECTION 40	SECTION DATA
SECTION 41	SECTION DATA
SECTION 42	SECTION DATA
SECTION 43	SECTION DATA
SECTION 44	SECTION DATA
SECTION 45	SECTION DATA
SECTION 46	SECTION DATA
SECTION 47	SECTION DATA
SECTION 48	SECTION DATA
SECTION 49	SECTION DATA
SECTION 50	SECTION DATA
SECTION 51	SECTION DATA
SECTION 52	SECTION DATA
SECTION 53	SECTION DATA
SECTION 54	SECTION DATA
SECTION 55	SECTION DATA
SECTION 56	SECTION DATA
SECTION 57	SECTION DATA
SECTION 58	SECTION DATA
SECTION 59	SECTION DATA
SECTION 60	SECTION DATA

**INTEGRATION NOTE**

THIS PLAN IS A PART OF THE REGISTERED PLAN 1743, CITY OF TORONTO (FORMERLY TOWNSHIP OF NORTH YORK). THE PLAN IS SUBJECT TO THE REGISTERED PLAN 1743, CITY OF TORONTO (FORMERLY TOWNSHIP OF NORTH YORK) AND THE REGISTERED PLAN 1743, CITY OF TORONTO (FORMERLY TOWNSHIP OF NORTH YORK). THE PLAN IS SUBJECT TO THE REGISTERED PLAN 1743, CITY OF TORONTO (FORMERLY TOWNSHIP OF NORTH YORK) AND THE REGISTERED PLAN 1743, CITY OF TORONTO (FORMERLY TOWNSHIP OF NORTH YORK).

City Planning Division

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

North York Civic Centre  
5100 Yonge Street  
North York, Ontario  
Canada, M2N 5V7  
Tel: (416) 395-7000  
Fax: (416) 395-7200

## SIGNATURE PAGE

File Number:	B0058/16NY	Zoning	R6 and RD (f12.0; a370)(ZR)
Owner(s):	MOHAMMAD MORADI FARANAK TIZHOUSH	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>278 POYNTZ AVE</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 882 PT LOTS 881 & 883		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 14, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

#### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0792/16NY	Zoning	R6 and RD (f12.0; a370)(ZR)
Owner(s):	MOHAMMAD MORADI FARANAK TIZHOUSH	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>278 POYNTZ AVE (PART 1)</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 882 PT LOTS 881 & 883		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached residential dwelling. Applications B0057/16NY, B0058/16NY, A0792/16NY, A0793/16NY, A0794/16NY will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.10(5), Zoning By-law No. 569-2013**  
A minimum of 10.0 m<sup>2</sup> of the first floor must be within 4.0 m of the front main wall.  
The proposed sunken foyer is 9.57 m<sup>2</sup>.
- 2. Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**  
A) The permitted maximum height of a building or structure is 10 m.  
The proposed height of the building is 10.41 m.
- 3. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**  
B)(i) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.  
The proposed height of the side exterior main walls facing a side lot line is 8.27 m.
- 4. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**  
C) The required minimum side yard setback is 1.2 m.  
The proposed east side yard setback is 0.71 m.
- 5. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**  
A) The permitted maximum lot coverage is 30 percent of the lot area: 102.2 m<sup>2</sup>.

The proposed lot coverage is 32 percent of the lot area: 108.98 m<sup>2</sup>.

6. **Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**  
(D) On a lot with a detached house, a minimum of 75 percent of the required front yard landscaping must be soft landscaping.  
The proposed front yard soft landscaping area is 71.1 percent.
7. **Chapter 10.5.100.1.(1), Zoning By-law No. 569-2013**  
(C) For a detached house, a driveway that is located in or passes through the front yard may be for lots with a lot frontage of 6.0 m to 23.0 m inclusive, a maximum of 4.67 m wide.  
The proposed driveway is 5.18 m wide.
8. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**  
A) The required minimum lot area is 370 m<sup>2</sup>.  
The proposed lot area is 340.66 m<sup>2</sup>.
9. **Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**  
A) The required minimum lot frontage is 12 m.  
The proposed lot frontage is 10.16 m.
10. **Section 14-A(3) , Zoning By-law No. 7625**  
The minimum required lot area is 371 m<sup>2</sup>.  
The proposed lot area is 340.66 m<sup>2</sup> .
11. **Section 14-A(4), 6(8) , Zoning By-law No. 7625**  
The minimum required lot frontage and width is 12 m.  
The proposed lot frontage and width is 10.16 m.
12. **Section 14-A(5)c, Zoning By-law No. 7625**  
The minimum required side yard setback is 1.2 m.  
The proposed east side yard setback is 0.71 m.
13. **Section 14-A(6), Zoning By-law No. 7625**  
The maximum permitted lot coverage is 30 percent of the lot area.  
The proposed lot coverage is 32 percent of the lot area.
14. **Section 7.4A, Zoning By-law No. 7625**  
The minimum required front yard soft landscaping is 75 percent.  
The proposed front yard soft landscaping is 71.1 percent.
15. **Section 14-A(8), Zoning By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.67 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0792/16NY	Zoning	R6 and RD (f12.0; a370)(ZR)
Owner:	MOHAMMAD MORADI FARANAK TIZHOUSH	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>278 POYNTZ AVE (PART 1)</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 882 PT LOTS 881 & 883		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0793/16NY	Zoning	R6 and RD (f12.0; a370)(ZR)
Owner(s):	FARANAK TIZHOUSH FARANAK TIZHOUSH	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>276(A) POYNTZ AVE (PART 4)</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 880 PT LOTS 879 & 881		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached residential dwelling. Applications B0057/16NY, B0058/16NY, A0792/16NY, A0793/16NY, A0794/16NY will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.10(5), Zoning By-law No. 569-2013**  
A minimum of 10.0 m<sup>2</sup> of the first floor must be within 4.0 m of the front main wall.  
The proposed sunken foyer is 9.57 m<sup>2</sup>.
- 2. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**  
A) The required minimum lot area is 370 m<sup>2</sup>.  
The proposed lot area is 341 m<sup>2</sup>.
- 3. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**  
A) The required minimum lot frontage is 12 m.  
The proposed lot frontage is 10.16 m.
- 4. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**  
A) The permitted maximum lot coverage is 30 percent of the lot area: 102.3 m<sup>2</sup>.  
The proposed lot coverage is 32 percent of the lot area: 108.98 m<sup>2</sup>.
- 5. Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**  
A) The permitted maximum height of a building or structure is 10 m.  
The proposed height of the building is 10.29 m.

6. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**  
B)(i) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.  
The proposed height of the side exterior main walls facing a side lot line is 8.15 m.
7. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**  
C) The required minimum side yard setback is 1.2 m.  
The proposed west side yard setback is 0.71 m.
8. **Chapter 10.5.100.1.(1), Zoning By-law No. 569-2013**  
(C) For a detached house, a driveway that is located in or passes through the front yard may be for lots with a lot frontage of 6.0 m to 23.0 m inclusive, a maximum of 4.67 m wide.  
The proposed driveway is 5.18 m wide.
9. **Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**  
(D) On a lot with a detached house, a minimum of 75 percent of the required front yard landscaping must be soft landscaping.  
The proposed front yard soft landscaping area is 71.1 percent.
10. **Section 14-A(3) , Zoning By-law No. 7625**  
The minimum required lot area is 371 m<sup>2</sup>.  
The proposed lot area is 340 m<sup>2</sup>.
11. **Section 14-A(4), 6(8), Zoning By-law No. 7625**  
The minimum required lot frontage and width is 12 m.  
The proposed lot frontage and width is 10.16 m.
12. **Section 14-A(6) , Zoning By-law No. 7625**  
The maximum permitted lot coverage is 30 percent of the lot area.  
The proposed lot coverage is 32 percent of the lot area.
13. **Section 14-A(8), Zoning By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.8 m.
14. **Section 14-A(5)c, Zoning By-law No. 7625**  
The minimum required side yard setback is 1.2 m.  
The proposed west side yard setback is 0.71 m.
15. **Section 6(30)a, Zoning By-law No. 7625**  
The maximum finished first floor height is 1.5 m.  
The proposed finished first floor height is 1.68 m.
16. **Section 7.4A, Zoning By-law No. 7625**  
The minimum required front yard soft landscaping is 75 percent.  
The proposed front yard soft landscaping is 71.1 percent.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**



## **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0793/16NY	Zoning	R6 and RD (f12.0; a370)(ZR)
Owner:	FARANAK TIZHOUSH FARANAK TIZHOUSH	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>276(A) POYNTZ AVE (PART 4)</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 880 PT LOTS 879 & 881		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0794/16NY	Zoning	R6 and RD (f12.0; a370)(ZR)
Owner(s):	FARANAK TIZHOUSH FARANAK TIZHOUSH	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>276(B) POYNTZ AVE (PARTS 2 AND 3)</b>	Community:	
Legal Description:	PLAN 1743 LOT 880 PT LOTS 879 & 881		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached residential dwelling. Applications B0057/16NY, B0058/16NY, A0792/16NY, A0793/16NY, A0794/16NY will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10(5), Zoning By-law No. 569-2013**  
A minimum of 10.0 m<sup>2</sup> of the first floor must be within 4.0 m of the front main wall.  
The proposed sunken foyer is 9.57 m<sup>2</sup>.
- Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**  
A) The required minimum lot area is 370 m<sup>2</sup>.  
The proposed lot area is 340 m<sup>2</sup>.
- Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**  
A) The required minimum lot frontage is 12 m.  
The proposed lot frontage is 10.16 m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**  
A) The permitted maximum lot coverage is 30 percent of the lot area: 102 m<sup>2</sup>.  
The proposed lot coverage is 32.1percent of the lot area: 108.98 m<sup>2</sup>.
- Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**  
A) The permitted maximum height of a building or structure is 10 m.  
The proposed height of the building is 10.3 m.

6. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**  
B)(i) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.  
The proposed height of the side exterior main walls facing a side lot line is 8.16 m.
7. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**  
C) The required minimum side yard setback is 1.2 m.  
The proposed west side yard setback is 0.71 m.
8. **Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**  
(D) On a lot with a detached house, a minimum of 75 percent of the required front yard landscaping must be soft landscaping.  
The proposed front yard soft landscaping area is 71.1 percent.
9. **Chapter 10.5.100.1.(1), Zoning By-law No. 569-2013**  
(C) For a detached house, a driveway that is located in or passes through the front yard may be for lots with a lot frontage of 6.0 m to 23.0 m inclusive, a maximum of 4.67 m wide.  
The proposed driveway is 5.18 m wide.
10. **Section 14-A(3) , Zoning By-law No. 7625**  
The minimum required lot area is 371 m<sup>2</sup>.  
The proposed lot area is 340 m<sup>2</sup>.
11. **Section 14-A(4), 6(8), Zoning By-law No. 7625**  
The minimum required lot frontage and width is 12 m.  
The proposed lot frontage and width is 10.16 m.
12. **Section 14-A(6), Zoning By-law No. 7625**  
The maximum permitted lot coverage is 30 percent of the lot area.  
The proposed lot coverage is 32.1 percent of the lot area.
13. **Section 14-A(8), Zoning By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.76 m.
14. **Section 14-A(5)c , Zoning By-law No. 7625**  
The minimum required side yard setback is 1.2 m.  
The proposed west side yard setback is 0.71 m.
15. **Section 6(30)a, Zoning By-law No. 7625**  
The maximum finished first floor height is 1.5 m.  
The proposed finished first floor height is 1.62 m.
16. **Section 7.4A, Zoning By-law No. 7625**  
The minimum required front yard soft landscaping is 75 percent.  
The proposed front yard soft landscaping is 71.1 percent.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0794/16NY	Zoning	R6 and RD (f12.0; a370)(ZR)
Owner:	FARANAK TIZHOUSH FARANAK TIZHOUSH	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>276(B) POYNTZ AVE (PARTS 2 AND 3)</b>	Community:	
Legal Description:	PLAN 1743 LOT 880 PT LOTS 879 & 881		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



Thursday, May 18, 2017

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

File Number:	B0080/16NY	Zoning	R6/RD (f12.0; a370)
Owner(s):	GUISOU DANESHMAND TOURAJ MALAKIAN	Ward:	Willowdale (23)
Agent:	MEHDI MARZYARI	Heritage:	Not Applicable
Property Address:	<b>2968 BAYVIEW AVE</b>	Community:	North York
Legal Description:	PLAN 1609 PT LOT 346		

Notice was given and the application considered on Thursday, May 18, 2017, as required by the Planning Act.

#### **THE CONSENT REQUESTED:**

To obtain consent to sever the property into two undersized residential lots and to create/grant an easement for access.

#### **Conveyed - Part 5**

Address to be assigned

The frontage is 7.01m and the lot area is 248.4m<sup>2</sup>. A new residential single detached dwelling is proposed and requires variances to the applicable Zoning By-law(s).

#### **Retained - Parts 4, 6**

Address to be assigned

The frontage is 6.70m and the lot area is 237.6m<sup>2</sup>. A new residential single detached dwelling is proposed and requires variances to the applicable Zoning By-law(s).

#### **Easement - Part 6**

Part 6 has a lot area of 1.6m<sup>2</sup> will be subject to an easement in favour of PART 5 for vehicular access (ingress and egress).

**Files B0080/16NY(2968 Bayview), A0938/16NY(2968A) A0939/16NY(2968B) and B0081/16NY(2970 Bayview), A0940/16NY(2970A), A0941/16NY(2970B) will be considered jointly.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

#### **The Consent Application is Refused**

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning

Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

PLAN OF SURVEY OF  
PART OF LOT 346 & 119 & 118  
REGISTERED PLAN 1609  
CITY OF TORONTO  
FORMERLY CITY OF NORTH YORK

RECEIVED  
DECEMBER 8, 2016  
CITY OF TORONTO  
PLANNING

SCALE 1 : 150

AKSAN PILLER CORPORATION LTD.

I REQUIRE THIS PLAN TO BE  
DEPOSITED UNDER THE LAND  
TITLES ACT.

DATE: \_\_\_\_\_

ANNA AKSAN  
Ontario Land Surveyor

PLAN 66R-

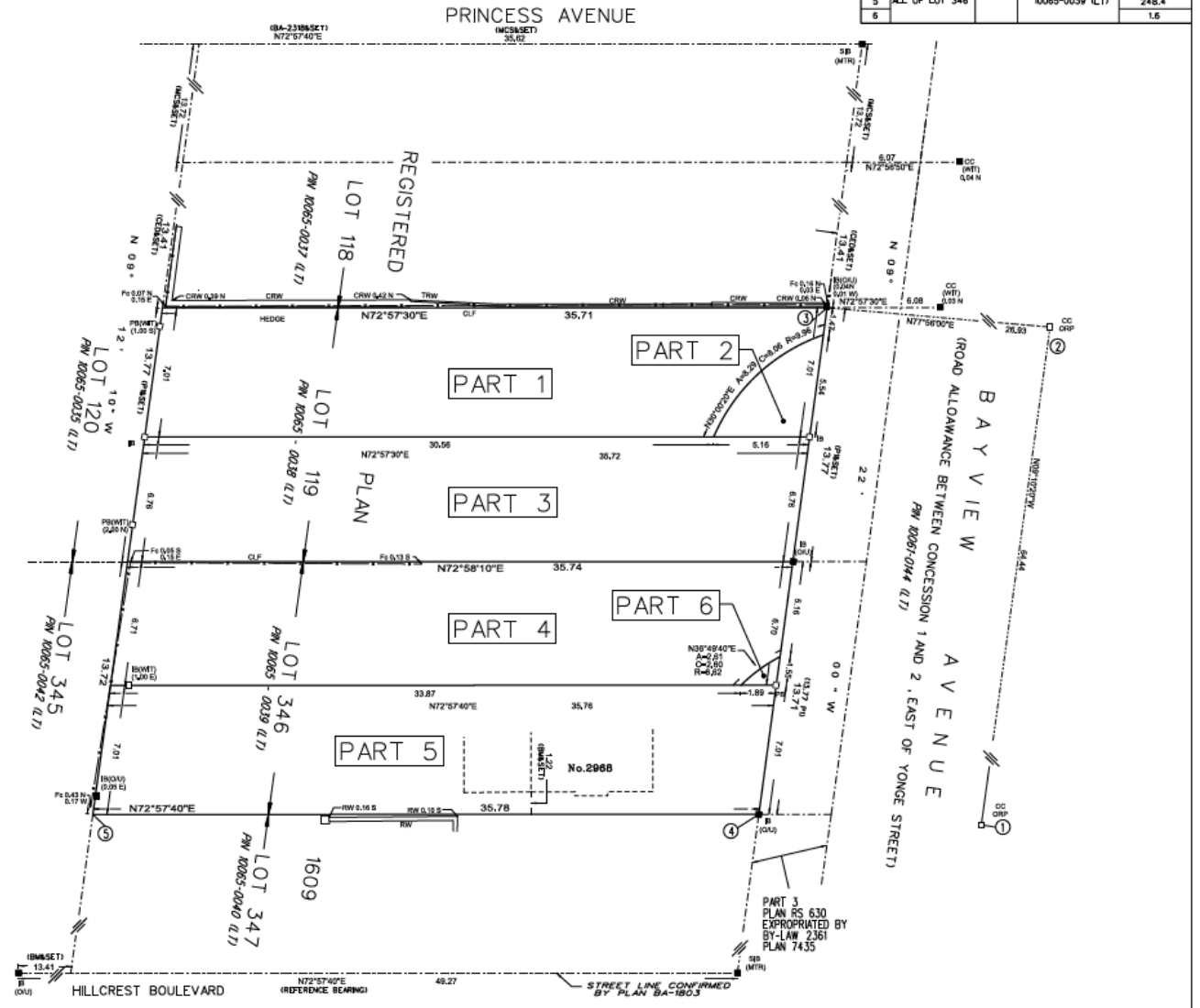
RECEIVED AND DEPOSITED:

DATE: \_\_\_\_\_

REPRESENTATIVE FOR LAND REGISTRAR  
FOR THE LAND TITLES DIVISION OF THE  
TORONTO REGISTRY OFFICE No. 66

SCHEDULE

PART	LOT	PLAN	ALL OF PN	AREA (m <sup>2</sup> )
1				229.2
2	ALL OF LOT 119		10065-0036 (LT)	18.8
3		1609		239.3
4				236.0
5	ALL OF LOT 346		10065-0039 (LT)	248.4
6				1.6



METRIC DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND:**
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT PLANTED
  - IB DENOTES IRON BAR
  - SSB DENOTES STANDARD IRON BAR
  - SSB DENOTES SHORT STANDARD IRON BAR
  - FB DENOTES PLASTIC BAR
  - CC DENOTES CUT CROSS
  - CP DENOTES CONCRETE PIN
  - WIT DENOTES WITNESS MONUMENT
  - OUJ DENOTES ORIGIN UNKNOWN
  - N DENOTES NORTH
  - S DENOTES SOUTH
  - E DENOTES EAST
  - W DENOTES WEST
  - Fc DENOTES FENCE
  - CLF DENOTES CHAIN LINK FENCE
  - BF DENOTES BOARD FENCE
  - P & W DENOTES POST AND WIRE FENCE
  - BM DENOTES BARD & MUCKLESTONE (AUG 25, 1949)
  - MTR DENOTES METRO TRANSPORTATION DEPARTMENT
  - W.S. DENOTES W. S. GIBSON & SONS (JUNE 25, 1952)
  - TRW DENOTES TIMBER RETAINING WALL
  - CRW DENOTES CONCRETE RETAINING WALL
  - MCS DENOTES M. MCSORNING, OLS (MAY 21, 1999)
  - PI DENOTES EXPROPRIATION PLAN 7435
  - CEO DENOTES C. E. DOTTEWILL, OLS (APRIL 11, 1985)

**BEARING NOTE:**  
BEARINGS ARE MTM GRID, DERIVED FROM GNSS OBSERVATIONS, USING A REAL TIME KINEMATIC SERVICE, ON MONUMENTS 1 & 2, SHOWN HEREON, HAVING A BEARING OF N08°10'20"W, AND ARE REFERRED TO THE CENTRAL MERIDIAN OF MTM ZONE 18 UTM WEST LONGITUDE MAGNUS (CGRS) (1997.0).

**NOTES:**  
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9999.

POINT ID	NORTHING	EASTING
1	4848075.74	313710.08
2	4848139.35	313704.81
3	4848133.72	313678.48
4	4848106.61	313682.95
5	4848096.12	313648.74

COORDINATES ARE TO URBAN ACCURACY AS IN SEC. 14(2), OF O. REG. 218/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.  
**ELEVATIONS NOTE:**  
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM THE CITY OF TORONTO BENCH MARK NY33033, ELEVATION = 179.85m.

**SURVEYOR'S CERTIFICATE:**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM;  
2. THE SURVEY WAS COMPLETED ON THE 22nd DAY OF SEPTEMBER, 2016.

SEPTEMBER 2016  
DATE: \_\_\_\_\_  
ANNA AKSAN  
Ontario Land Surveyor

HELMUT PILLER  
Ontario Land Surveyor

**AKSAN PILLER CORPORATION LTD.**  
ONTARIO LAND SURVEYORS  
843 MT PLEASANT ROAD, TORONTO, ONTARIO, M4P 2L7  
(416) 481-1111 (T) 416-481-1843 (F) 416-481-1843

DRAWN: HP  
CHECKED: \_\_\_\_\_  
REFERENCE No. 16-20-10598-00

**SIGNATURE PAGE**

File Number:	B0080/16NY	Zoning	R6/RD (f12.0; a370)
Owner(s):	GUIYOU DANESHMAND TOURAJ MALAKIAN	Ward:	Willowdale (23)
Agent:	MEHDI MARZYARI	Heritage:	Not Applicable
Property Address:	<b>2968 BAYVIEW AVE</b>	Community:	North York
Legal Description:	PLAN 1609 PT LOT 346		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 14, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, May 18, 2017

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

File Number:	B0081/16NY	Zoning	R6/RD(f12.0;a370)
Owner(s):	GUISOU DANESHMAND TOURAJ MALAKIAN	Ward:	Willowdale (23)
Agent:	MEHDI MARZYARI ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	<b>2970 BAYVIEW AVE</b>	Community:	North York
Legal Description:	PLAN 1609 LOT 119		

Notice was given and the application considered on Thursday, May 18, 2017, as required by the Planning Act.

#### **THE CONSENT REQUESTED:**

To obtain consent to sever the property into two undersized residential lots and to create/grant an easement for access.

#### **Conveyed - Part 3**

Address to be assigned

The frontage is 6.76m and the lot area is 239.3m<sup>2</sup>. A new single detached residential dwelling is proposed and requires variances to the applicable Zoning By-law(s).

#### **Retained - Parts 1, 2**

Address to be assigned

The frontage is 7.01m and the lot area is 248.0m<sup>2</sup>. A new single detached residential dwelling is proposed and requires variances to the applicable Zoning By-law(s).

#### **Easement Part 2**

Part 2 measures 18.8m<sup>2</sup> and will be subject to an easement in favour of Part 3 for vehicular access (ingress and egress).

**Files B0080/16NY(2968 Bayview), A0938/16NY(2968A) A0939/16NY(2968B) and B0081/16NY(2970 Bayview), A0940/16NY(2970A), A0941/16NY(2970B) will be considered jointly.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Consent Application is Refused**

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

PLAN OF SURVEY OF  
PART OF LOT 346 & 119 & 118  
REGISTERED PLAN 1609  
CITY OF TORONTO  
FORMERLY CITY OF NORTH YORK

SCALE 1 : 150

AKSAN PILLER CORPORATION LTD.

I REQUIRE THIS PLAN TO BE  
DEPOSITED UNDER THE LAND  
TITLES ACT.

DATE: \_\_\_\_\_

ANNA AKSAN  
Ontario Land Surveyor

PLAN 66R-

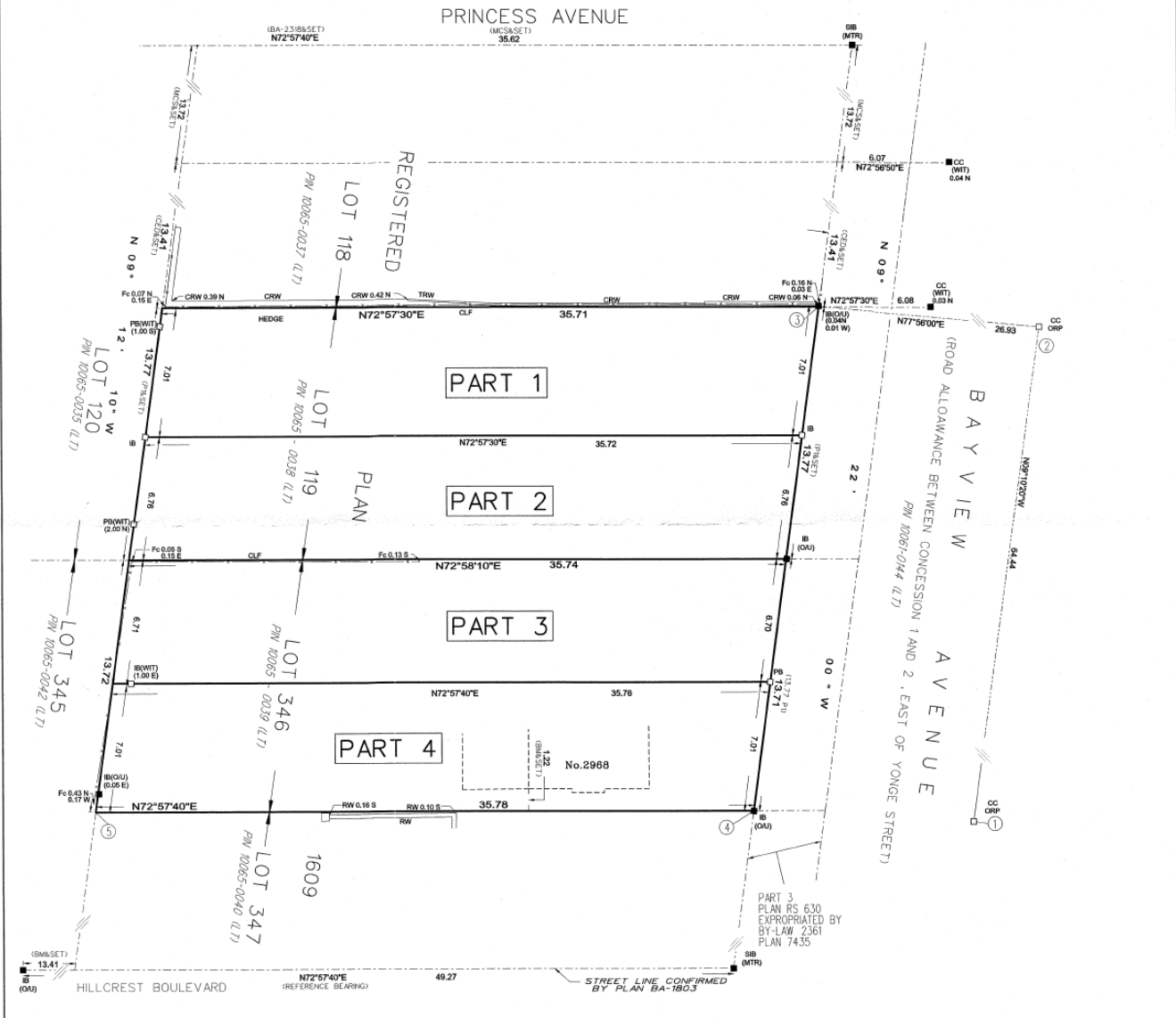
RECEIVED AND DEPOSITED:

**DRAFT**

REPRESENTATIVE FOR LAND REGISTRAR  
FOR THE LAND TITLES DIVISION OF THE  
TORONTO REGISTRY OFFICE No. 66

SCHEDULE

PART	LOT	PLAN	ALL OF PIN	AREA (m <sup>2</sup> )
1	ALL OF LOT 119	1609	10065-0038 (LT)	248.0
2				239.3
3	ALL OF LOT 346			237.6
4				248.4



METRIC: DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND:**
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT PLANTED
  - IB DENOTES IRON BAR
  - SIB DENOTES STANDARD IRON BAR
  - SSIB DENOTES SHORT STANDARD IRON BAR
  - PB DENOTES PLASTIC BAR
  - CC DENOTES CUT CROSS
  - CP DENOTES CONCRETE PIN
  - WIT DENOTES WITNESS MONUMENT
  - O/U DENOTES ORIGIN UNKNOWN
  - N DENOTES NORTH
  - S DENOTES SOUTH
  - E DENOTES EAST
  - W DENOTES WEST
  - F.C. DENOTES FENCE
  - CLF DENOTES CHAIN LINK FENCE
  - BF DENOTES BOARD FENCE
  - P & W DENOTES POST AND WIRE FENCE
  - BM DENOTES BARD & MUCKLESTONE (AUG 25, 1949)
  - MTR DENOTES METRO TRANSPORTATION DEPARTMENT
  - WSG DENOTES W. S. GIBSON & SONS (JUNE 25, 1952)
  - TRW DENOTES TIMBER RETAINING WALL
  - CRW DENOTES CONCRETE RETAINING WALL
  - MCS DENOTES M. MCSIMMING, OLS (MAY 21, 1999)
  - PI DENOTES EXPROPRIATION PLAN 7435
  - CED DENOTES C. E. DOTTERLL, OLS (APRIL 11, 1985)

**BEARING NOTE:**  
BEARINGS ARE MTM GRID, DERIVED FROM GNSS OBSERVATIONS, USING A REAL TIME KINEMATIC SERVICE, ON MONUMENTS 1 & 2, SHOWN HEREON, HAVING A BEARING OF N09°10'20"W, AND ARE REFERRED TO THE CENTRAL MERIDIAN OF MTM ZONE 10 (79°30' WEST LONGITUDE) NAD83 (CSRS) (1997.0).

**NOTES:**  
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9999.

POINT ID	NORTHING	EASTING
1	4848075.74	313715.08
2	4848139.35	313704.81
3	4848133.72	313678.48
4	4848106.61	313682.95
5	4848096.12	313648.74

COORDINATES ARE TO URBAN ACCURACY AS IN SEC. 14(2) OF O.REG. 216/10, AND CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

**ELEVATIONS NOTE:**  
ELEVATIONS SHOWN HEREON ARE GEODETIC AND ARE DERIVED FROM THE CITY OF TORONTO BENCH MARK NY33033, ELEVATION = 179.65m.

**SURVEYOR'S CERTIFICATE:**  
I CERTIFY THAT:  
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM;  
2. THE SURVEY WAS COMPLETED ON THE 22nd DAY OF SEPTEMBER, 2016.

23<sup>rd</sup> SEPTEMBER, 2016  
DATE  
HEL MUT PILLER  
Ontario Land Surveyor

**AKSAN PILLER CORPORATION LTD.**  
ONTARIO LAND SURVEYORS  
943 MT PLEASANT ROAD, TORONTO, ONTARIO, M4P 2L7  
(416) 488-1174 (T) 416-488-7863 (F) ip@aksanpiller.com www.aksanpiller.com  
CALC.: HP DRAWN: VP CHECKED:  
REFERENCE No. 1 16-20-10598-00



**SIGNATURE PAGE**

File Number:	B0081/16NY	Zoning	R6/RD(f12.0;a370)
Owner(s):	GUIYOU DANESHMAND TOURAJ MALAKIAN	Ward:	Willowdale (23)
Agent:	MEHDI MARZYARI ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	<b>2970 BAYVIEW AVE</b>	Community:	North York
Legal Description:	PLAN 1609 LOT 119		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 14, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0938/16NY	Zoning	R6/RD (f12.0; a370)(waiver)
Owner(s):	TOURAJ MALAKIAN TOURAJ MALAKIAN	Ward:	Willowdale (23)
Agent:	MEHDI MARZYARI	Heritage:	Not Applicable
Property Address:	<b>2968(A) BAYVIEW AVE</b> <b>(PART 5)</b>	Community:	North York
Legal Description:	PLAN 1609 PT LOT 346		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached 4-storey dwelling. Files B0080/16NY(2968 Bayview), A0938/16NY(2968A) A0939/16NY(2968B) and B0081/16NY(2970 Bayview), A0940/16NY(2970A), A0941/16NY(2970B) will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**

On a lot with a detached house with a lot frontage of 6.0 m to less than 15.0 m, a minimum of 50 percent of the front yard must be landscaping.

The proposed front yard landscaping area is 45.3 percent.

**2. Chapter 10.20.30.10.(1) , Zoning By-law No. 569-2013**

The required minimum lot area is 370 m<sup>2</sup>.

The proposed lot area is 248.13 m<sup>2</sup>.

**3. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**

The required minimum lot frontage is 12.0 m.

The proposed lot frontage is 7.01 m.

**4. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**

The permitted maximum lot coverage is 30 percent of the lot area: 74.44 m<sup>2</sup>.

The proposed lot coverage is 41.3 percent of the lot area: 102.42 m<sup>2</sup>.

**5. Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**

The permitted maximum height of a building or structure is 10.0 m.

The proposed height of the building is 11.37 m.

**6. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**

The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.

The proposed height of the side exterior main walls facing a side lot line is 10.75 m.

**7. Chapter 10.20.40.10.(3), Zoning By-law No. 569-2013**

The permitted maximum number of storeys is 2.

The proposed number of storeys is 4.

**8. Chapter 10.20.40.50.(1), Zoning By-law No. 569-2013**

The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m<sup>2</sup> and the permitted maximum number of platforms at or above the second storey located on the (front/rear) wall of a detached house is 1.

The proposed area of each platform at or above the second storey is 10.15 m<sup>2</sup> (rear second storey) and 9.42 m<sup>2</sup> (rear fourth storey) and the proposed number of platforms located on the rear wall is 2.,

**9. Chapter 10.5.40.70.(1), Zoning By-law No. 569-2013**

The required minimum front yard setback is 7.05 m.

The proposed front yard setback is 6.0 m.

**10. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**

The required minimum side yard setback is 1.2 m.

The proposed North side yard setback is 0.62 m.

**11. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**

The required minimum side yard setback is 1.2 m.

The proposed South side yard setback is 0.91 m.

**12. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**

A minimum of 10.0 m<sup>2</sup> of the first floor must be within 4.0 m of the front main wall.

The proposed area of the first floor within 4.0 m of the front wall is 2.45 m<sup>2</sup>.

**13. Chapter 10.20.40.20(1), Zoning By-law No. 569-2013**

The permitted maximum building length for a detached house is 17.0 m.

The proposed building length is 20.0 m.

**14. Chapter 10.20.40.30.(1) , Zoning By-law No. 569-2013**

The permitted maximum building depth for a detached house is 19.0 m.

The proposed building depth is 19.49 m.

**15. Section 14-A(3), Zoning By-law No. 7625**

The minimum required lot area is 370m<sup>2</sup>.

The proposed lot area is 248.13m<sup>2</sup>

**16. Section 14-A(4), Zoning By-law No. 7625**

The minimum required lot frontage is 12.0m.  
The proposed lot frontage is 7.01m.

**17. Section 14-A(5)c, Zoning By-law No. 7625**

The minimum required side yard setback is 1.2m.  
The proposed North side yard setback is 0.62m

**18. Section 14-A(5)c, Zoning By-law No. 7625**

The minimum required side yard setback is 1.2m.  
The proposed South side yard setback is 0.91m.

**19. Section 14-A(6), Zoning By-law No. 7625**

The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 41.3% of the lot area.

**20. Section 14-A(8), Zoning By-law No. 7625**

The maximum permitted building height is 8.8m.  
The proposed building height is 12.27m.

**21. Section 14-A(8), Zoning By-law No. 7625**

The maximum permitted number of storeys is 2.  
The proposed number of storeys is 4

**22. Section 14-A(9), Zoning By-law No. 7625**

The maximum permitted building length is 15.3m.  
The proposed building length is 20.54m.

**23. Section 6(8), Zoning By-law No. 7625**

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

**24. Section 7.4A, Zoning By-law No. 7625**

The minimum required landscaping is 50%.  
The proposed landscaping is 45.3%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0938/16NY	Zoning	R6/RD (f12.0; a370)(waiver)
Owner:	TOURAJ MALAKIAN TOURAJ MALAKIAN	Ward:	Willowdale (23)
Agent:	MEHDI MARZYARI	Heritage:	Not Applicable
Property Address:	<b>2968(A) BAYVIEW AVE (PART 5)</b>	Community:	North York
Legal Description:	PLAN 1609 PT LOT 346		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0939/16NY	Zoning	R6/RD (f12.0; a370)(waiver)
Owner(s):	TOURAJ MALAKIAN TOURAJ MALAKIAN	Ward:	Willowdale (23)
Agent:	MEHDI MARZYARI	Heritage:	Not Applicable
Property Address:	<b>2968(B) BAYVIEW AVE</b> <b>(PARTS 4 and 6)</b>	Community:	North York
Legal Description:	PLAN 1609 PT LOT 346		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached 4-storey dwelling. Files B0080/16NY(2968 Bayview), A0938/16NY(2968A) A0939/16NY(2968B) and B0081/16NY(2970 Bayview), A0940/16NY(2970A), A0941/16NY(2970B) will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**

On a lot with a detached house with a lot frontage of 6.0 m to less than 15.0 m, a minimum of 50 percent of the front yard must be landscaping.

The proposed front yard landscaping area is 44.2 percent.

**2. Chapter 10.20.30.10.(1) , Zoning By-law No. 569-2013**

The required minimum lot area is 370 m<sup>2</sup>.

The proposed lot area is 237.6 m<sup>2</sup>.

**3. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**

The required minimum lot frontage is 12.0 m.

The proposed lot frontage is 6.7 m.

**4. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**

The permitted maximum lot coverage is 30 percent of the lot area: 71.28 m<sup>2</sup>.

The proposed lot coverage is 41.3 percent of the lot area.

**5. Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**



The permitted maximum height of a building or structure is 10.0 m.  
The proposed height of the building is 11.75 m.

**6. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**

The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.  
The proposed height of the side exterior main walls facing a side lot line is 11.13 m.

**7. Chapter 10.20.40.10.(3), Zoning By-law No. 569-2013**

The permitted maximum number of storeys is 2.  
The proposed number of storeys is 4.

**8. Chapter 10.20.40.50.(1), Zoning By-law No. 569-2013**

The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m<sup>2</sup> and the permitted maximum number of platforms at or above the second storey located on the (front/rear) wall of a detached house is 1.

The proposed area of each platform at or above the second storey is 10.15 m<sup>2</sup> (rear second storey) and 9.42 m<sup>2</sup> (rear fourth storey) and the proposed number of platforms located on the rear wall is 2.

**9. Chapter 10.5.40.70.(1), Zoning By-law No. 569-2013**

The required minimum front yard setback is 7.05 m.  
The proposed front yard setback is 6.0 m.

**10. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**

The required minimum side yard setback is 1.2 m.  
The proposed North side yard setback is 0.60 m.

**11. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**

The required minimum side yard setback is 1.2 m.  
The proposed South side yard setback is 0.60 m.

**12. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**

A minimum of 10.0 m<sup>2</sup> of the first floor must be within 4.0 m of the front main wall.  
The proposed area of the first floor within 4.0 m of the front wall is 2.45 m<sup>2</sup>.

**13. Chapter 10.20.40.20(1), Zoning By-law No. 569-2013**

The permitted maximum building length for a detached house is 17.0 m.  
The proposed building length is 20.0 m.

**14. Chapter 10.20.40.30.(1), Zoning By-law No. 569-2013**

The permitted maximum building depth for a detached house is 19.0 m.  
The proposed building depth is 20.95 m.

**15. Section 14-A(10), Zoning By-law No. 7625**

The maximum permitted balcony area is 3.8m<sup>2</sup>.  
The proposed balcony (rear, fourth floor) is 9.42m<sup>2</sup>, and the proposed balcony (front, third storey) is 4.0m<sup>2</sup>.

**16. Section 14-A(3), Zoning By-law No. 7625**

The minimum required lot area is 370m<sup>2</sup>.  
The proposed lot area is 237.6 m<sup>2</sup>

**17. Section 14-A(4), Zoning By-law No. 7625**

The minimum required lot frontage is 12.0m.  
The proposed lot frontage is 6.70 m.

**18. Section 14-A(5)c, Zoning By-law No. 7625**

The minimum required side yard setback is 1.2m.  
The proposed North side yard setback is 0.60m

**19. Section 14-A(5)c, Zoning By-law No. 7625**

The minimum required side yard setback is 1.2m.  
The proposed South side yard setback is 0.60m.

**20. Section 14-A(6), Zoning By-law No. 7625**

The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 41.3% of the lot area.

**21. Section 14-A(8), Zoning By-law No. 7625**

The maximum permitted building height is 8.8m.  
The proposed building height is 12.27m.

**22. Section 14-A(8), Zoning By-law No. 7625**

The maximum permitted number of storeys is 2.  
The proposed number of storeys is 4.

**23. Section 14-A(9), Zoning By-law No. 7625**

The maximum permitted building length is 15.3m.  
The proposed building length is 20.3m.

**24. Section 6(8), Zoning By-law No. 7625**

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

**25. Section 7.4A, Zoning By-law No. 7625**

The minimum required landscaping is 50%.  
The proposed landscaping is 44.2%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.

- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0939/16NY	Zoning	R6/RD (f12.0; a370)(waiver)
Owner:	TOURAJ MALAKIAN TOURAJ MALAKIAN	Ward:	Willowdale (23)
Agent:	MEHDI MARZYARI	Heritage:	Not Applicable
Property Address:	<b>2968(B) BAYVIEW AVE (PARTS 4 and 6)</b>	Community:	North York
Legal Description:	PLAN 1609 PT LOT 346		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0940/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner(s):	TOURAJ MALAKIAN TOURAJ MALAKIAN	Ward:	Willowdale (23)
Agent:	MEHDI MARZYARI ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	<b>2970(A) BAYVIEW AVE</b> <b>(PART 3)</b>	Community:	North York
Legal Description:	PLAN 1609 LOT 119		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached 4-storey dwelling. Files B0080/16NY(2968 Bayview), A0938/16NY(2968A) A0939/16NY(2968B) and B0081/16NY(2970 Bayview), A0940/16NY(2970A), A0941/16NY(2970B) will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**

A minimum of 50 percent of the front yard must be landscaping.  
The proposed front yard landscaping area is 45.7 percent.

**2. Chapter 10.5.100.1.(1)iii, Zoning By-law No. 569-2013**

For a detached house, a driveway that is located in or passes through the front yard may be for lots with a lot frontage of 6.0 m to 23.0 m inclusive, a maximum of 3.44 m wide.  
The proposed driveway is 4.31 m wide.

**3. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**

The required minimum lot area is 370 m<sup>2</sup>.  
The proposed lot area is 239.51 m<sup>2</sup>.

**4. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**

The required minimum lot frontage is 12.0 m.  
The proposed lot frontage is 6.70 m.

**5. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**

The permitted maximum lot coverage is 30 percent of the lot area: 71.85 m<sup>2</sup>.

The proposed lot coverage is 42.8 percent of the lot area: 102.42 m<sup>2</sup>.

**6. Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**

The permitted maximum height of a building or structure is 10.0 m.

The proposed height of the building is 11.75 m.

**7. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**

The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.

The proposed height of the side exterior main walls facing a side lot line is 11.13 m.

**8. Chapter 10.20.40.10.(3), Zoning By-law No. 569-2013**

The permitted maximum number of storeys is 2.

The proposed number of storeys is 4.

**9. Chapter 10.20.40.50.(1), Zoning By-law No. 569-2013**

The permitted maximum number of platforms at or above the second storey located on the (front/rear) wall of a detached house is 1 and the permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m<sup>2</sup>.

The proposed number of platforms located on the rear wall is 2 and the proposed area of the platform at the rear second storey is 10.15 m<sup>2</sup>, and at the rear fourth storey is 9.42 m<sup>2</sup>.

**10. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**

The required minimum side yard setback is 1.2 m.

The proposed North side yard setback is 0.62 m.

**11. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**

The required minimum side yard setback is 1.2 m.

The proposed South side yard setback is 0.67 m.

**12. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**

A minimum of 10.0 m<sup>2</sup> of the first floor must be within 4.0 m of the front main wall.

The proposed area of the first floor within 4.0 m of the front wall is 2.45 m<sup>2</sup>.

**13. Chapter 10.20.40.20(1), Zoning By-law No. 569-2013**

The permitted maximum building length for a detached house is 17.0 m.

The proposed building length is 20.0 m.

**14. Chapter 10.20.40.30.(1), Zoning By-law No. 569-2013**

The permitted maximum building depth for a detached house is 19.0 m.

The proposed building depth is 21.29 m.

**15. Chapter 10.20.40.70.(2), Zoning By-law No. 569-2013**

The required minimum rear yard setback is 8.94 m.

The proposed rear yard setback is 7.07 m.

**16. Section 14-A(10), Zoning By-law No. 7625**

The maximum permitted balcony area is 3.8m<sup>2</sup> and the maximum number of balconies permitted on a building (one per side) is 4.

The proposed balcony (rear, second storey) area is 10.15m<sup>2</sup>, the proposed balcony (rear, fourth storey) is 9.42m<sup>2</sup>, and the proposed balcony (front, third storey) is 4.0m<sup>2</sup>, and the proposed number of balconies is 2 in the rear.

**17. Section 14-A(3), Zoning By-law No. 7625**

The minimum required lot area is 370m<sup>2</sup>.

The proposed lot area is 239.51m<sup>2</sup>.

**18. Section 14-A(4), Zoning By-law No. 7625**

The minimum required lot frontage is 12.0m.

The proposed lot frontage is 6.70m.

**19. Section 14-A(5)c, Zoning By-law No. 7625**

The minimum required side yard setback is 1.2m.

The proposed North side yard setback is 0.62m.

**20. Section 14-A(5)c, Zoning By-law No. 7625**

The minimum required side yard setback is 1.2m.

The proposed South side yard setback is 0.67m.

**21. Section 14-A(6), Zoning By-law No. 7625**

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is 42.8% of the lot area.

**22. Section 14-A(8), Zoning By-law No. 7625**

The maximum permitted building height is 8.8m.

The proposed building height is 12.23m.

**23. Section 14-A(8), Zoning By-law No. 7625**

The maximum permitted number of storeys is 2.

The proposed number of storeys is 4.

**24. Section 14-A(9), Zoning By-law No. 7625**

The maximum permitted building length is 15.3m.

The proposed building length is 20.54m.

**25. Section 6(8), Zoning By-law No. 7625**

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

**26. Section 7.4A, Zoning By-law No. 7625**

The minimum required landscaping is 50 percent.

The proposed landscaping is 45.7 percent.

**27. Section 14-A(5)(b), Zoning By-law No. 7625**

The minimum required rear yard setback is 9.5m.



The proposed rear yard setback is 7.07m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0940/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner:	TOURAJ MALAKIAN TOURAJ MALAKIAN	Ward:	Willowdale (23)
Agent:	MEHDI MARZYARI ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	<b>2970(A) BAYVIEW AVE (PART 3)</b>	Community:	North York
Legal Description:	PLAN 1609 LOT 119		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0941/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner(s):	TOURAJ MALAKIAN TOURAJ MALAKIAN	Ward:	Willowdale (23)
Agent:	MEHDI MARZYARI ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	<b>2970(B) BAYVIEW AVE</b> <b>(PARTS 1 and 2)</b>	Community:	North York
Legal Description:	PLAN 1609 LOT 119		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached 4-storey dwelling. Files B0080/16NY(2968 Bayview), A0938/16NY(2968A) A0939/16NY(2968B) and B0081/16NY(2970 Bayview), A0940/16NY(2970A), A0941/16NY(2970B) will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**

A minimum of 10.0 m<sup>2</sup> of the first floor must be within 4.0 m of the front main wall.  
The proposed area of the first floor within 4.0 m of the front wall is 2.45 m<sup>2</sup>.

**2. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**

A minimum of 50 percent of the front yard must be landscaping.  
The proposed front yard landscaping area is 38.4 percent.

**3. Chapter 10.5.100.1.(1)iii, Zoning By-law No. 569-2013**

For a detached house, a driveway that is located in or passes through the front yard may be for lots with a lot frontage of 6.0 m to 23.0 m inclusive, a maximum of 3.44 m wide.  
The proposed driveway is 4.31 m wide.

**4. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**

The required minimum lot area is 370 m<sup>2</sup>.  
The proposed lot area is 248.05 m<sup>2</sup>.

**5. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**

The required minimum lot frontage is 12.0 m.

The proposed lot frontage is 7.10 m.

**6. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**

The permitted maximum lot coverage is 30 percent of the lot area: 71.85 m<sup>2</sup>.

The proposed lot coverage is 41.3 percent of the lot area: 102.42 m<sup>2</sup>.

**7. Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**

The permitted maximum height of a building or structure is 10.0 m.

The proposed height of the building is 11.44 m.

**8. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**

The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.

The proposed height of the side exterior main walls facing a side lot line is 10.82 m.

**9. Chapter 10.20.40.10.(3), Zoning By-law No. 569-2013**

The permitted maximum number of storeys is 2.

The proposed number of storeys is 4.

**10. Chapter 10.20.40.50.(1), Zoning By-law No. 569-2013**

The permitted maximum number of platforms at or above the second storey located on the (front/rear) wall of a detached house is 1 and the permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m<sup>2</sup>.

The proposed number of platforms located on the rear wall is 3 and the proposed area of the platform at the second storey is 10.15 m<sup>2</sup> (rear, second storey), and 9.42 m<sup>2</sup> (rear, fourth storey).

**11. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**

The required minimum side yard setback is 1.2 m.

The proposed North side yard setback is 0.91 m.

**12. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**

The required minimum side yard setback is 1.2 m.

The proposed South side yard setback is 0.62 m.

**13. Chapter 10.20.40.20(1), Zoning By-law No. 569-2013**

The permitted maximum building length for a detached house is 17.0 m.

The proposed building length is 20.0 m.

**14. Chapter 10.20.40.30.(1), Zoning By-law No. 569-2013**

The permitted maximum building depth for a detached house is 19.0 m.

The proposed building depth is 21.05 m.

**15. Chapter 10.20.40.70.(2), Zoning By-law No. 569-2013**

The required minimum rear yard setback is 8.94 m.

The proposed rear yard setback is 7.31 m.

**16. Section 14-A(10), Zoning By-law No. 7625**

The maximum permitted balcony area is 3.8m<sup>2</sup> and the by-law permits a total of 4 balconies, one on each side of the building.

The proposed balcony (rear, second storey) area is 10.15 m<sup>2</sup>, the proposed balcony (rear, fourth storey) area is 9.42m<sup>2</sup>, and the proposed balcony (front, third storey) is 4.0m<sup>2</sup> and the proposed number of balconies is 2 on the rear side.

**17. Section 14-A(3), Zoning By-law No. 7625**

The minimum required lot area is 370m<sup>2</sup>.

The proposed lot area is 248.05 m<sup>2</sup>.

**18. Section 14-A(4), Zoning By-law No. 7625**

The minimum required lot frontage is 12.0m.

The proposed lot frontage is 7.10 m.

**19. Section 14-A(5)c, Zoning By-law No. 7625**

The minimum required side yard setback is 1.2m.

The proposed North side yard setback is 0.91m.

**20. Section 14-A(5)c, Zoning By-law No. 7625**

The minimum required side yard setback is 1.2m.

The proposed South side yard setback is 0.62m.

**21. Section 14-A(6), Zoning By-law No. 7625**

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is 41.3% of the lot area.

**22. Section 14-A(8), Zoning By-law No. 7625**

The maximum permitted building height is 8.8m.

The proposed building height is 12.23m.

**23. Section 14-A(8), Zoning By-law No. 7625**

The maximum permitted number of storeys is 2.

The proposed number of storeys is 4.

**24. Section 14-A(9), Zoning By-law No. 7625**

The maximum permitted building length is 15.3m.

The proposed building length is 20.3m.

**25. Section 6(8), Zoning By-law No. 7625**

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

**26. Section 7.4A, Zoning By-law No. 7625**

The minimum required landscaping is 50 percent.

The proposed landscaping is 38.4 percent.

**27. Section 6(9)l, Zoning By-law No. 7625**

The bylaw permits a balcony to project a maximum of 1.6 m.

The proposed balcony (rear, second storey) projects 3.0m.

**28. Section 14-A(5)(b), Zoning By-law No. 7625**

The minimum required rear yard setback is 9.5m.

The proposed rear yard setback is 7.31m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0941/16NY	Zoning	R6/RD(f12.0;a370)(ZR)
Owner:	TOURAJ MALAKIAN TOURAJ MALAKIAN	Ward:	Willowdale (23)
Agent:	MEHDI MARZYARI ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	<b>2970(B) BAYVIEW AVE (PARTS 1 and 2)</b>	Community:	North York
Legal Description:	PLAN 1609 LOT 119		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

File Number:	B0094/16NY	Zoning	R1 Z0.35/RD(f15.0; d0.35) x1345(ZR)
Owner(s):	MARIAN PATRICIA BACHE	Ward:	Don Valley West (25)
Agent:	RE PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	<b>20 and 22 STRATHGOWAN AVE</b>	Community:	Toronto
Legal Description:	PLAN 663E PT LOT 2 PT LOT 3		

Notice was given and the application considered on Thursday, May 18, 2017, as required by the Planning Act.

#### **THE CONSENT REQUESTED:**

To obtain consent to sever the property into two undersized residential lots.

#### **Conveyed - Parts 1, 2, and 3**

##### **(20 Strathgowan Ave)**

The frontage is 6.40m and the lot area is 198.69m<sup>2</sup>. The existing half of the semi-detached dwelling will remain with a new secondary suite proposed (duplex), a new rear deck and a detached rear garage, requiring variances to the applicable zoning by-laws.

#### **Retained - Parts 4, 5, and 6**

##### **(22 Strathgowan Ave)**

The frontage is 6.40m and the lot area is 197.94m<sup>2</sup>. The existing half of the semi-detached dwelling will remain with a new secondary suite proposed (duplex), and a detached rear garage, requiring variances to the applicable zoning by-laws.

**File Numbers B0094/16NY, A1076/16NY and A1077/16NY will be considered jointly.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

#### **The Consent Application is Refused**

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

PLAN OF SURVEY OF  
PART OF LOTS 2 & 3  
REGISTERED PLAN 663-E  
CITY OF TORONTO

SCHEDULE

PART	REGD PLAN	LOT/S	PROPERTY IDENTIFIER AREA (sq-ft)
1	663-E	P1 of 2 & 3	37.84
2		P1 of 2 & 3	33.51
3		All of 663B-030 & 031	37.05
4		P1 of 3	37.28
5		P1 of 3	33.00
6		P1 of 3	37.04

**PLAN 66R-**  
RECEIVED & DEPOSITED  
DATE: **DRAFT**  
AGGREGATIVE FOR LAND REGISTRAR  
FOR THE CITY OF TORONTO  
TORONTO REGISTRY OFFICE OF 401

**DRAFT**  
DATE: \_\_\_\_\_  
REGISTERED UNDER THE  
LAND TITLES ACT.

**DRAFT**  
DATE: \_\_\_\_\_  
REGISTERED UNDER THE  
LAND TITLES ACT.

ACTOR: J. HONER  
DRAWING LAND SURVEYOR

BEARING NOTE  
BEARINGS ARE WITH RES. DERIVED FROM OBSERVED REFERENCE POINTS  
4 & 6 N. WITH TRUE N. NORTH (1985) 088° 23' 00"

DISTANCES SHOWN HEREON ARE HORIZONTAL DISTANCES AND  
CAN BE CONVERTED TO VERTICAL DISTANCES BY MULTIPLYING  
BY THE CORRECTION SCALE FACTOR WHICH IS 0.9998

CO-ORDINATE TABLE

OBSERVED REFERENCE POINTS - WITH TRUE N. NORTH CORRECTION (1985) 23'  
COORDINATES TO UTM ZONE 18 NORTH (EPOCH 1980) 26500

POINT	NORTHING	EASTING
A	4 841 853.33	32 032.43
B	4 842 081.84	32 786.18
C	4 842 081.87	32 870.39
D	4 842 056.44	32 866.10
E	4 842 056.76	32 848.34
F	4 842 056.76	32 862.04

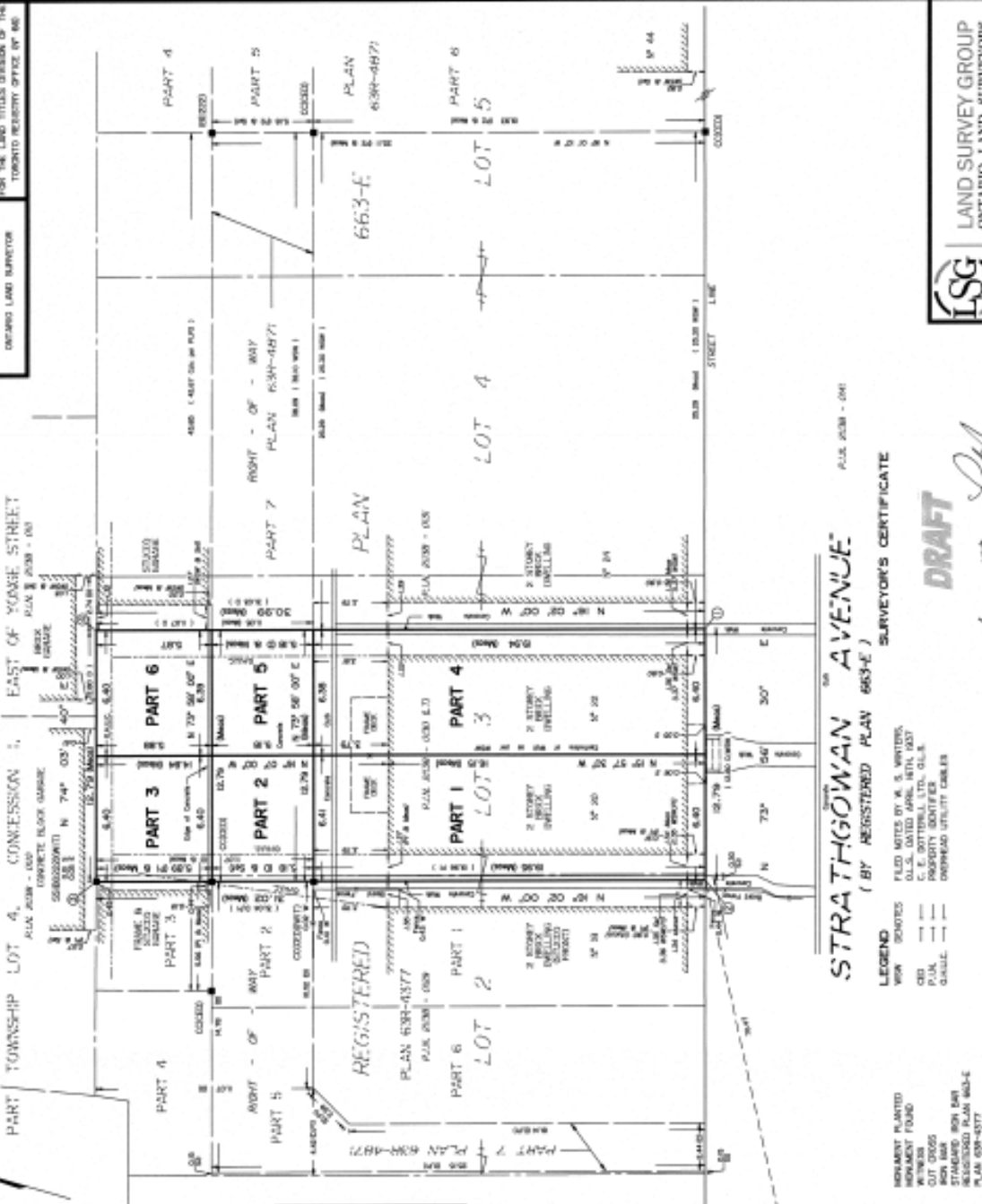
COORDINATES CANNOT, IN THEMSELVES, BE USED TO  
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

REQUIRE THIS PLAN TO BE  
DEPOSITED UNDER THE  
LAND TITLES ACT.

**DRAFT**  
DATE: \_\_\_\_\_  
REGISTERED UNDER THE  
LAND TITLES ACT.

**DRAFT**  
DATE: \_\_\_\_\_  
REGISTERED UNDER THE  
LAND TITLES ACT.

ACTOR: J. HONER  
DRAWING LAND SURVEYOR



LEGEND

MONUMENT PLANTED  
MONUMENT FOUND  
METER  
N.T. - NOT TO SCALE  
S.D. - SURVEY DISTANCE  
S.P. - SURVEY POINT  
P.L. - PLANNED  
D. - DISTANCE

LEGEND

FIELD NOTES BY M. S. WATERS  
D.L.S. DATED JAN. 1971, 1973  
REVISIONS BY M. S. WATERS  
P.L.A. - PLANNED  
C.H.L. - CANTONMENT  
OVERHEAD UTILITY CABLES

STRATHGOWAN AVENUE  
(BY REGISTERED PLAN 663-E)

SURVEYOR'S CERTIFICATE

**DRAFT**

DATE: \_\_\_\_\_  
M. S. WATERS  
LAND SURVEYOR

**LSG** LAND SURVEY GROUP  
ONTARIO LAND SURVEYORS  
70 THE QUAYSIDE, UNIT 11 TORONTO, ONTARIO, M5R 0A4  
TEL: 416-223-2121 FAX: 416-223-2120 WWW.LANDSURVEYGROUP.COM

SHAWN J. H. MOSES | DREWED BY: J.M. | PLAN M / 1.100-3774

**SIGNATURE PAGE**

File Number:	B0094/16NY	Zoning	R1 Z0.35/RD(f15.0; d0.35) x1345(ZR)
Owner(s):	MARIAN PATRICIA BACHE	Ward:	Don Valley West (25)
Agent:	RE PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	<b>20 and 22 STRATHGOWAN AVE</b>	Community:	Toronto
Legal Description:	PLAN 663E PT LOT 2 PT LOT 3		

\_\_\_\_\_  
Nazila Atarodi (signed)                      \_\_\_\_\_  
Derek Lett (signed)    \_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 14, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1076/16NY	Zoning	R1 Z0.35/RD(f15.0; d0.35) x1345(ZR)
Owner(s):	MARIAN PATRICIA BACHE	Ward:	Don Valley West (25)
Agent:	RE PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	<b>20 STRATHGOWANAVE</b> <b>(Parts 1, 2 and 3)</b>	Community:	Toronto

Legal Description: PLAN 663E PT LOT 2 PT LOT 3

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The existing half of the semi-detached dwelling will remain with a new secondary suite proposed (duplex), a new rear deck and a detached rear garage at the rear. File Numbers B0094/16NY, A1076/16NY and A1077/16NY will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.50.10.(3), Zoning By-law No. 569-2013**  
A lot with a residential building, other than an apartment building, must have a minimum of 50 percent of the rear yard for soft landscaping, if the lot frontage is greater than 6.0 m.  
The proposed rear yard landscaping area is 0 percent.
- 2. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**  
The required minimum lot area is 450 m<sup>2</sup>.  
The proposed lot area is 198.56 m<sup>2</sup>.
- 3. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**  
The required minimum lot frontage is 15.0 m.  
The proposed lot frontage is 6.40 m.
- 4. Chapter 10.20.40.40.(1), Zoning By-law No. 569-2013**  
The permitted maximum floor space index is 0.35 times the area of the lot: 69.50 m<sup>2</sup>.  
The proposed floor space index is 0.78 times the area of the lot: 154.14 m<sup>2</sup>.

5. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**  
The required minimum side yard setback is 1.5 m where the required minimum lot frontage is 15.0 m to less than 18.0 m.  
The proposed (existing) West side yard setback is 1.35 m.
6. **Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**  
On a lot with a detached house, semi-detached house, duplex, triplex, fourplex or townhouse, a minimum of 75 percent of the required front yard landscaping must be soft landscaping.  
The proposed front yard soft landscaping area is 0 percent.
7. **Chapter 10.20.20.40.(1), Zoning By-law No. 569-2013**  
A dwelling unit is only permitted in a detached house.  
The proposed dwelling unit is located in a Semi-Detached Duplex.
8. **Section 6(1)(A), Zoning By-law No. 438-86**  
The proposed use, Semi-Detached Duplex, is not permitted in a district zoned R1.
9. **Section 6(3) Part I 1, Zoning By-law No. 438-86**  
The by-law limits the residential gross floor area in an area zoned R1 to 0.35 times the area of the lot: 69.50 m<sup>2</sup>.  
The proposed residential gross floor area of the building exceeds the maximum permitted by approximately 136.42 m<sup>2</sup>.
10. **Section 6(3) Part III 1(A), Zoning By-law No. 438-86**  
The by-law requires in an area zoned (0.35, 0.38, 0.4, 0.6, 1.0, 1.3, 1.5, 2.0, 2.5) a minimum landscaped open space equal to 30% of the area of the lot: 59.57 m<sup>2</sup>.  
The proposed landscaped open space is 0 m<sup>2</sup>.
11. **Section 6(3) Part III 3(d)i(D), Zoning By-law No. 438-86**  
The by-law requires 75% of the minimum required front yard landscaped open space to be in the form of soft landscaping.  
The proposed soft landscaped open space is 0 percent.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.



**SIGNATURE PAGE**

File Number:	A1076/16NY	Zoning	R1 Z0.35/RD(f15.0; d0.35) x1345(ZR)
Owner:	MARIAN PATRICIA BACHE	Ward:	Don Valley West (25)
Agent:	RE PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	<b>20 STRATHGOWAN AVE</b> <b>(Parts 1, 2 and 3)</b>	Community:	Toronto
Legal Description:	PLAN 663E PT LOT 2 PT LOT 3		

---

Nazila Atarodi (signed)

---

Derek Lett (signed)

---

Isaac Lallouz (signed)

---

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1077/16NY	Zoning	R1 Z0.35/RD(f15.0; d0.35) x1345(ZR)
Owner(s):	MARIAN PATRICIA BACHE	Ward:	Don Valley West (25)
Agent:	RE PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	<b>22 STRATHGOWAN AVE</b> <b>(Parts 4, 5 and 6)</b>	Community:	Toronto
Legal Description:	PL 663E PT LT2 PT LT3		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The existing half of the semi-detached dwelling will remain with a new secondary suite proposed (duplex), and a detached garage at the rear. File Numbers B0094/16NY, A1076/16NY and A1077/16NY/will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**  
On a lot with a detached house, semi-detached house, duplex, triplex, fourplex or townhouse, a minimum of 75 percent of the required front yard landscaping must be soft landscaping. The proposed (existing) front yard soft landscaping area is 0 percent.
- 2. Chapter 10.5.50.10.(3), Zoning By-law No. 569-2013**  
A lot with a residential building, other than an apartment building, must have a minimum of 50 percent of the rear yard for soft landscaping, if the lot frontage is greater than 6.0 m. The proposed (existing) rear yard landscaping area is 0 percent.
- 3. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**  
The required minimum lot area is 450 m<sup>2</sup>.  
The proposed lot area is 198.56 m<sup>2</sup>.
- 4. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**  
The required minimum lot frontage is 15.0 m.  
The proposed lot frontage is 6.40 m.

5. **Chapter 10.20.40.40.(1), Zoning By-law No. 569-2013**  
The permitted maximum floor space index is 0.35 times the area of the lot: 69.50 m<sup>2</sup>.  
The proposed floor space index is 0.78 times the area of the lot: 154.14 m<sup>2</sup>.
6. **Chapter 10.20.20.40.(1), Zoning By-law No. 569-2013**  
A dwelling unit is only permitted in a detached house.  
The proposed dwelling unit is located in a Semi-Detached Duplex.
7. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**  
The required minimum side yard setback is 1.5 ms where the required minimum lot frontage is 15.0 m to less than 18.0 m.  
The proposed (existing) East side yard setback is 1.37 m.
8. **Section 6(3) Part I 1, Zoning By-law No. 438-86**  
The by-law limits the residential gross floor area in an area zoned R1 to 0.35 times the area of the lot: 69.5 m<sup>2</sup>.  
The proposed residential gross floor area of the building exceeds the maximum permitted by approximately 84.64 m<sup>2</sup>.
9. **Section 6(3) Part III 1(A), Zoning By-law No. 438-86**  
The by-law requires in an area zoned (0.35, 0.38, 0.4, 0.6, 1.0, 1.3, 1.5, 2.0, 2.5) a minimum landscaped open space equal to 30% of the area of the lot.  
The proposed landscaped open space is 0%.
10. **Section 6(3) Part III 3(d)i(D), Zoning By-law No. 438-86**  
The by-law requires 75% of the minimum required front yard landscaped open space to be in the form of soft landscaping.  
The proposed (existing) soft landscaped open space is 0%.
11. **Section 6(1)(A), Zoning By-law No. 438-86**  
The proposed use, Semi-Detached Duplex, is not permitted in a district zoned R1.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A1077/16NY	Zoning	R1 Z0.35/RD(f15.0; d0.35) x1345(ZR)
Owner:	MARIAN PATRICIA BACHE	Ward:	Don Valley West (25)
Agent:	RE PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	<b>22 STRATHGOWAN AVE</b>	Community:	Toronto
Legal Description:	PL 663E PT LT2 PT LT3		

---

Nazila Atarodi (signed)

---

Derek Lett (signed)

---

Isaac Lallouz (signed)

---

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

#### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0180/17NY	Zoning	R4/RD[WAIVER]
Owner(s):	MEHRAN ARYAFAR	Ward:	Willowdale (23)
Agent:	ALI GOUDARZI	Heritage:	Not Applicable
Property Address:	<b>177 ALFRED AVE</b>	Community:	North York
Legal Description:	PLAN M372 LOT 376		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40, By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.
- 2. Chapter 10.5.40.10(5), By-law No. 569-2013**  
A minimum of 10m<sup>2</sup> of the first floor must be within 4m of the front main wall.  
The proposed first floor area is 7.5m<sup>2</sup> within 9.1m of the front main wall.
- 3. Chapter 10.20.40.70, By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is 1.2m for the first 6.4m portion of the dwelling.
- 4. Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.
- 5. Section 13.2.3, By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is 1.2m for the first 6.4m portion of the dwelling

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.



**SIGNATURE PAGE**

File Number:	A0180/17NY	Zoning	R4/RD[WAIVER]
Owner:	MEHRAN ARYAFAR	Ward:	Willowdale (23)
Agent:	ALI GOUDARZI	Heritage:	Not Applicable
Property Address:	<b>177 ALFRED AVE</b>	Community:	North York
Legal Description:	PLAN M372 LOT 376		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0181/17NY	Zoning:	RD [WAIVER]
Owner(s):	MOHAMMAD MASOUD HAGHSHENAS	Ward:	Eglinton-Lawrence (16)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	<b>110 ALBERTUS AVE</b>	Community:	Toronto
Legal Description:	PLAN M53 LOT 49		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached, two-storey single family dwelling. The existing property would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.40, By-law No. 569-2013**  
The maximum permitted floor space index is 0.60 times the lot area.  
The proposed floor space index is **0.70** times the lot area.
- Chapter 10.10.40.70, By-law No. 569-2013**  
The minimum required side yard setback is 0.90m.  
The proposed east side yard setback is 0.45m.
- Chapter 10.5.40.10 (5), By-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the first floor must be within 4.00m of the front main wall.  
The proposed first floor within 4.00m of the front main wall is 4.05m<sup>2</sup>.
- Chapter 10.10.40.10, By-law No. 569-2013**  
The maximum permitted main wall height is 7.50m.  
The proposed height is 9.21m for 100.00% of the east side main wall.
- Chapter 10.10.40.10, By-law No. 569-2013**  
The maximum permitted main wall height is 7.50m.  
The proposed height is 9.21m for 25.00% of the west side main wall.
- Chapter 10.10.40.10, By-law No. 569-2013**  
The maximum permitted main wall height is 7.50m.  
The proposed height is 8.21m for 75.00% of the west side main wall.

7. **Chapter 10.10.40.30, By-law No. 569-2013**  
The maximum permitted building depth is 17.00m.  
The proposed building depth is **17.68m**.
8. **Chapter 900.2.10 (949), By-law No. 569-2013**  
The maximum permitted building length is 14.00m.  
The proposed building length is **17.68m**.
9. **Section 6(3) Part I 1, By-law No. 438-86**  
The maximum permitted ground floor area is 0.60 times the lot area.  
The proposed ground floor area is **0.70** times the lot area.
10. **Section 6(3) Part II 3, By-law No. 438-86**  
The minimum required side yard setback is 0.90m.  
The proposed east side yard setback for the portion of the building not exceeding 17.00m in length is 0.45m.
11. **Section 6(3) Part II 8, By-law No. 438-86**  
The maximum permitted height of a rear platform is 1.20m above grade.  
The proposed rear platform is 1.70m above grade.
12. **Section 6(3) Part II 3, By-law No. 438-86**  
For the portion of a building exceeding 17.00m depth, the minimum permitted side lot setback is 7.50m.  
The proposed side lot setback exceeding 17.00m on the east side is 0.45m.
13. **Section 6(3) Part II 3, By-law No. 438-86**  
For the portion of a building exceeding 17.00m depth, the minimum permitted side lot setback is 7.50m.  
The proposed side lot setback exceeding 17.00m on the west side is 1.07m.
14. **Section 6(3) Part IV 3, By-law No. 438-86**  
The by-law does not permit an integral garage in a building where the floor level of the garage is located below grade and vehicle access is on the wall facing the front lot line.  
The proposed integral garage is below grade.
15. **Section 12 (2) (112), By-law No. 438-86**  
The maximum permitted building length is 14.00m.  
The proposed building length is **17.68m**
16. **Section 6(3) Part II3, By-law No. 438-86**  
The minimum required distance to the west wall of the east neighbour (#108 Albertus) is 0.90m if it does not contain openings and 1.20m if it contains openings.  
The proposed distance to the west wall of the east neighbour is 0.57m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0181/17NY	Zoning	RD [WAIVER]
Owner:	MOHAMMAD MASOUD HAGHSHENAS	Ward:	Eglinton-Lawrence (16)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	<b>110 ALBERTUS AVE</b>	Community:	Toronto
Legal Description:	PLAN M53 LOT 49		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0183/17NY	Zoning	RD / R3 (ZW)
Owner(s):	AUDREY MAY DAVIES	Ward:	Don Valley West (25)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	<b>118 MILDENHALL RD</b>	Community:	North York
Legal Description:	PLAN 3257 LOT 26		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with attached garage. The existing dwelling is to be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.70, By-law No. 569-2013**  
The minimum required side yard setback is 1.8 m.  
The proposed east side yard setback is 1.2 m.
- 2. Section 12.2 & 6(8), By-law No. 7625**  
The minimum required lot frontage and lot width is 18 m.  
The proposed lot frontage and lot width is 15.76 m.
- 3. Section 12.3, By-law No. 7625**  
The minimum required lot area is 690 m<sup>2</sup>.  
The proposed lot area is 633.39 m<sup>2</sup>.
- 4. Section 12.4, By-law No. 7625**  
The minimum required side lot setback is 1.8 m.  
The proposed east side yard setback is 1.2 m.
- 5. Section 12.5A, By-law No. 7625**  
The maximum permitted dwelling length is 16.8 m.  
The proposed dwelling length is 20.32 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**



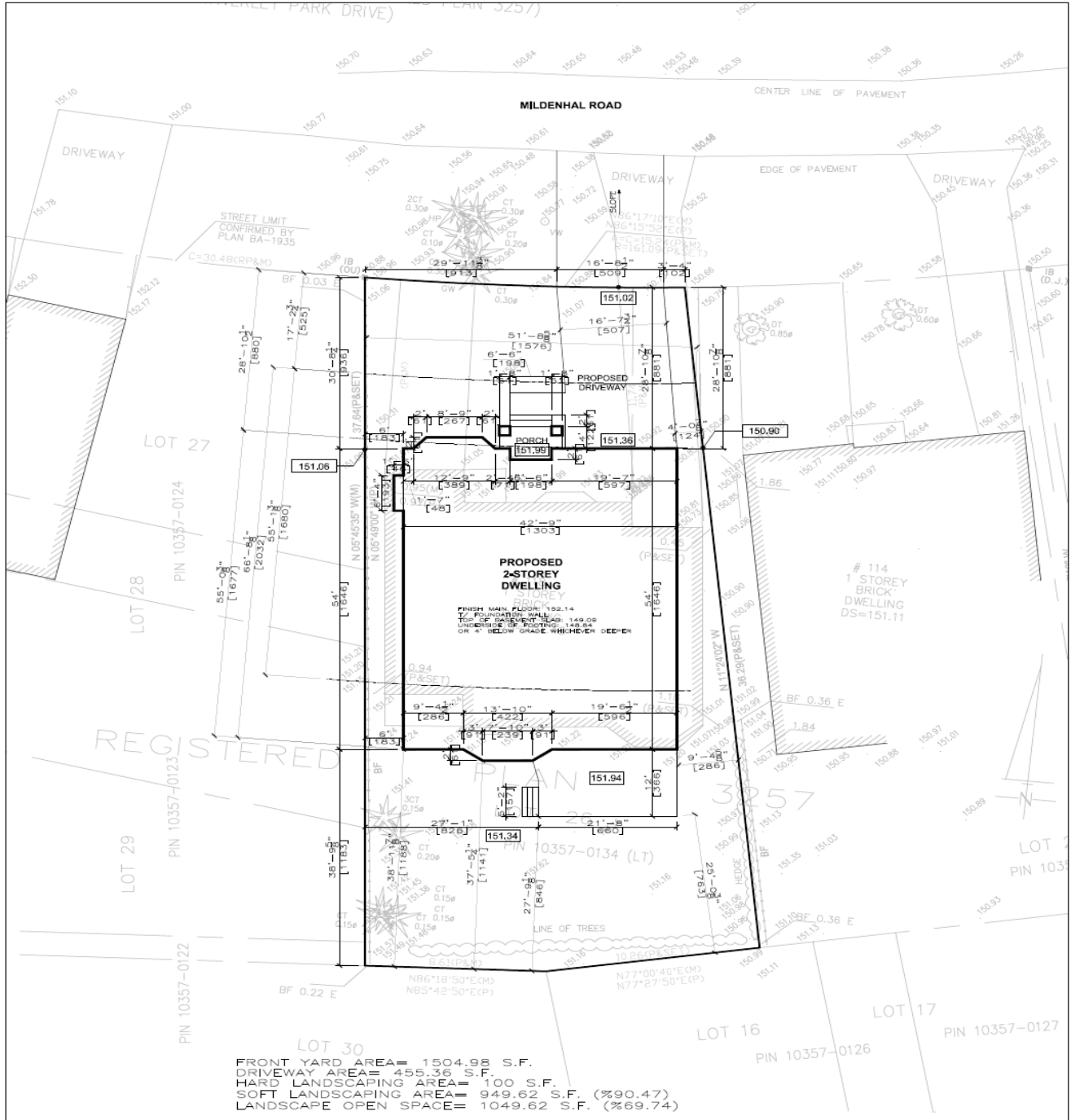
## **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The property being developed essentially in accordance with the site plan dated February 14, 2017, attached to this decision.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



SITE DATA	
ZONING	R3 & RD (#18,0690)
LOT #	LOT 26
PLAN #	3257
LOT AREA	633.39 S.M. 6817 S.F.
LOT FRONTAGE	15.24 M
LOT DEPTH	37.64 M

	EXISTING	PROPOSED	PROPOSED COVERAGE
LOT COVERAGE	-	213.92 S.M. 2302.69 S.F.	%33.77
G.F.A.	-	405.28 S.M. 4362.46 S.F.	
NO. OF STORIES	-	AS SHOWN	
HEIGHT	-	AS SHOWN	
WIDTH	-	AS SHOWN	
LENGTH	-	AS SHOWN	
PARKING	-	AS SHOWN	

designed by: <b>ALI SHAKERI</b> T.416 8213960 F.416 2508900 <b>ARCICA INC.</b> 236 SHEPPARD AVE. EAST, M2N3B4 TORONTO, ONTARIO, CANADA	project: <b>118 MILDENHALL ROAD</b>	revisions: FEB. 14, 2017 - ISSUED FOR COA	1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE. 2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. 3. DO NOT SCALE DRAWINGS. 4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO P&A ASSOCIATES BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK. 5. USE ONLY LATEST REVISED DRAWINGS OF THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION". 6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
	drawing: <b>SITE PLAN</b>	scale: <b>1/16"=1'</b>	

**SIGNATURE PAGE**

File Number:	A0183/17NY	Zoning	RD / R3 (ZW)
Owner:	AUDREY MAY DAVIES	Ward:	Don Valley West (25)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	<b>118 MILDENHALL RD</b>	Community:	North York
Legal Description:	PLAN 3257 LOT 26		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0182/17NY	Zoning:	R6/RD [WAV]
Owner(s):	RAJESH SHARMA ARUNA SHARMA	Ward:	Eglinton-Lawrence (15)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	<b>342 RANEE AVE</b>	Community:	North York
Legal Description:	PLAN 3240 LOT 15		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the pair of side exterior main walls facing a side lot line is 7.80m.
- 2. Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the first floor area must be within 4.00m of the main front wall.  
The proposed first floor area is 5.40m<sup>2</sup> within 4.00m of the main front wall.
- 3. Section 14-A(8), By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.10m.
- 4. Section 14-A(9), By-law No. 7625**  
The maximum permitted building length is 15.30m.  
The proposed building length is 18.30m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

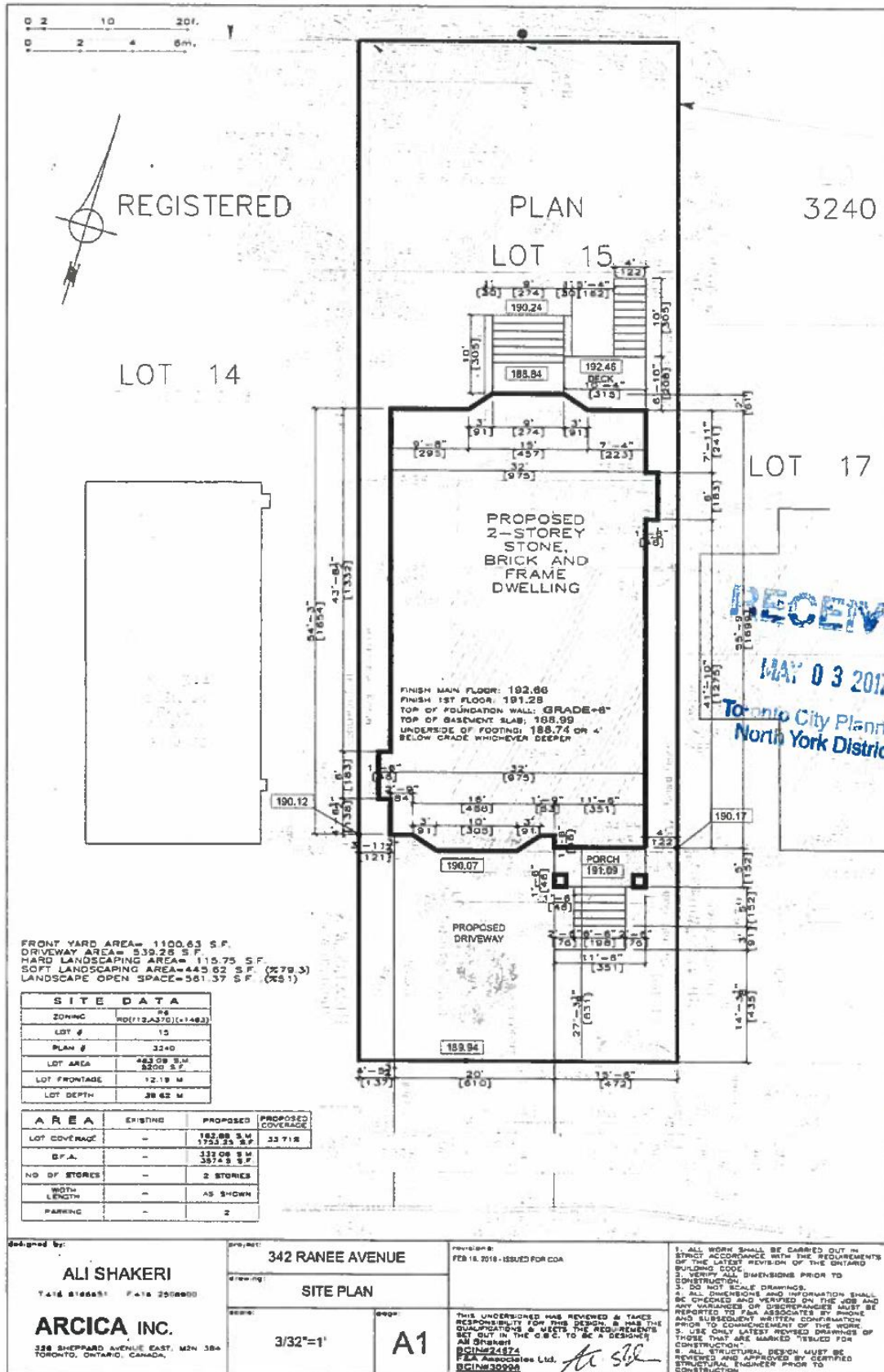
**The Minor Variance Application is Approved on Condition**

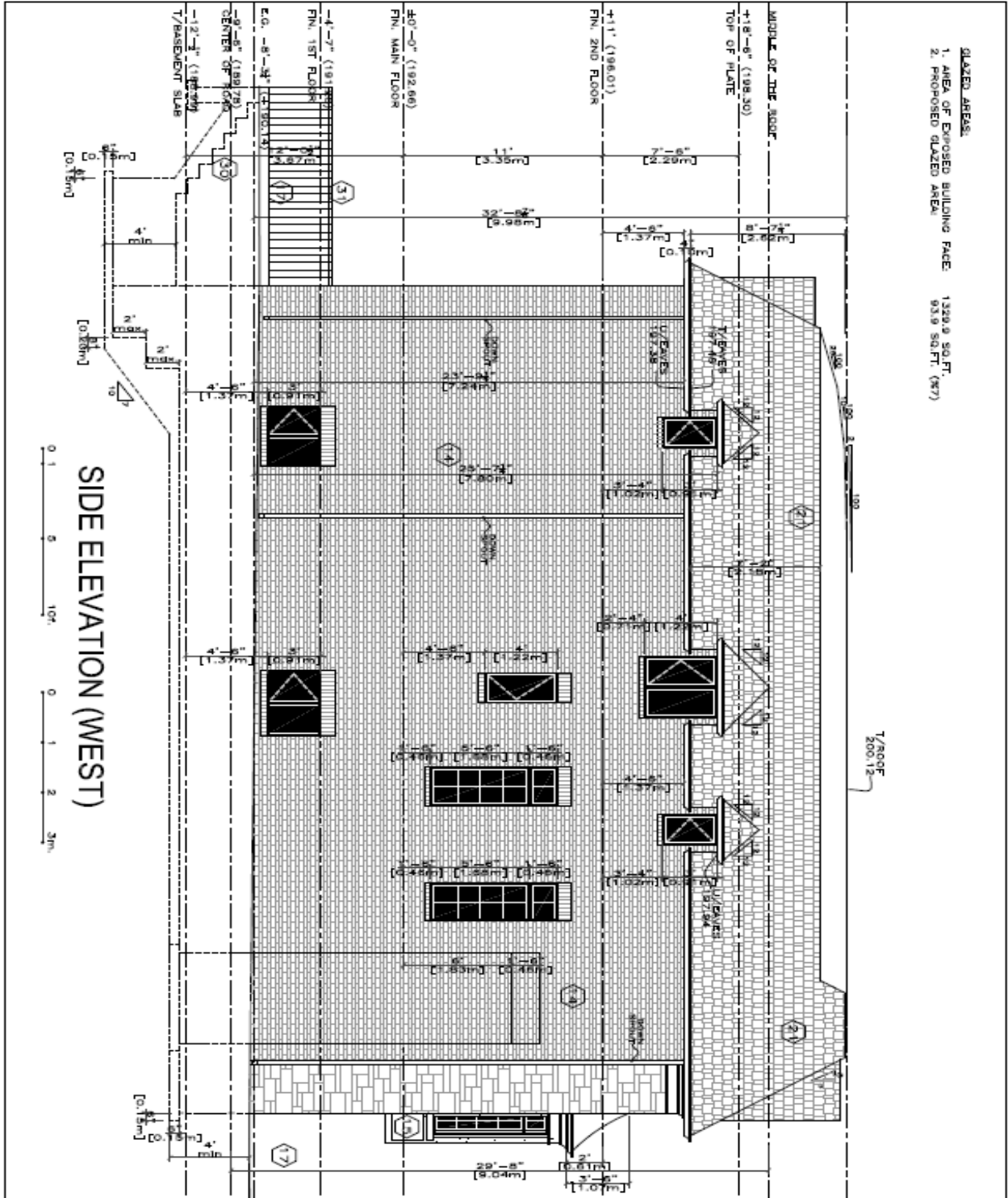
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The property being developed essentially in accordance with the site plan and side (east and west) elevation date stamped May 3, 2017, attached to this decision.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

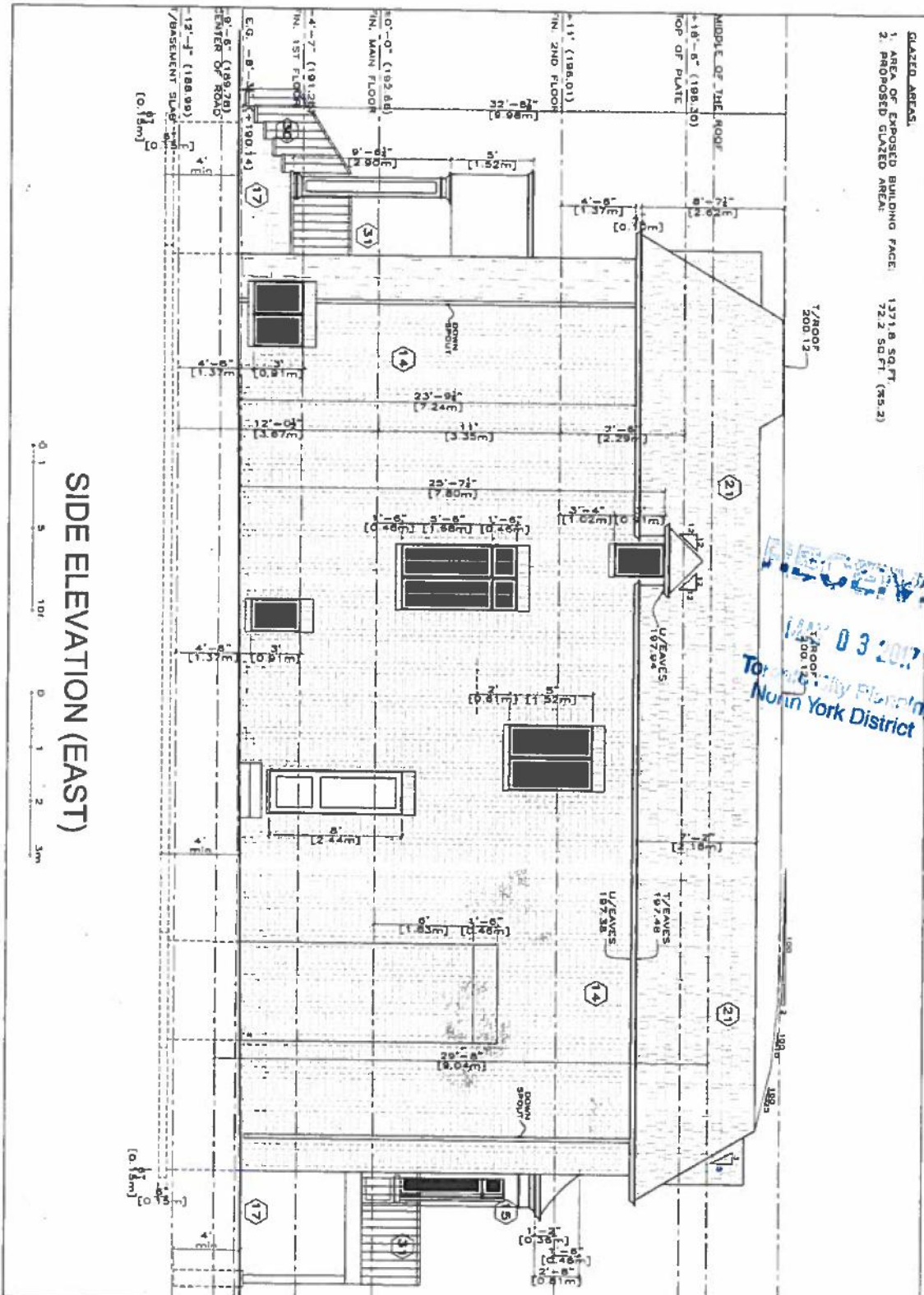




GLAZED AREAS:  
 1. AREA OF EXPOSED BUILDING FACE 1329.9 SQ.FT.  
 2. PROPOSED GLAZED AREA 93.9 SQ.FT. (87)

designed by: <b>ALI SHAKERI</b> T:416 8168801 F:416 2508900 <b>ARCICA INC.</b> 328 SHEPPARD AVENUE EAST, M2N 3B4 TORONTO, ONTARIO, CANADA	project: <b>342 RANEE AVENUE</b>	revision: FEB 16, 2011 - ISSUED FOR CDA	1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE. 2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. 3. DO NOT SCALE DRAWINGS. 4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND CONFIRMED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY AND IN WRITING. 5. USE ONLY LATEST REVISED DRAWINGS FOR CONSTRUCTION. 6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY LICENSED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
	drawing: <b>SIDE ELEVATION (WEST)</b>	sheet: <b>A8</b>	





**SIDE ELEVATION (EAST)**

0 1 2 3m

GLAZED AREAS:  
 1. AREA OF EXPOSED BUILDING FACE: 1371.8 SQ.FT.  
 2. PROPOSED GLAZED AREA: 72.2 SQ.FT. (6.6%)

RECEIVED  
 MAY 03 2017  
 Toronto City Planning  
 North York District

designed by: <b>ALI SHAKERI</b> T 416 2166851 F 416 2508500 <b>ARCICA INC.</b> 228 SHEPPARD AVENUE EAST, #2N 304 TORONTO, ONTARIO, CANADA.	project: <b>342 RANEE AVENUE</b> drawing: <b>SIDE ELEVATION (EAST)</b> scale: <b>3/16"=1'</b>	revision: 155-16-2016 ISSUED FOR COA THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.C.E. TO BE A DESIGNER AS SHAKERI BCIN#274 P.A.A. Associates Ltd. BCIN#30088	1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE. 2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. 3. DO NOT SCALE DRAWINGS. 4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB, AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO P.A.A. ASSOCIATES BY PHONE AND SUBSEQUENT WRITTEN CORRECTION PRIOR TO COMMENCEMENT OF THE WORK. 5. USE ONLY LATEST REVISED DRAWINGS OF THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION". 6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
---	--	--	---

**SIGNATURE PAGE**

File Number:	A0182/17NY	Zoning	R6/RD [WAV]
Owner:	RAJESH SHARMA ARUNA SHARMA	Ward:	Eglinton-Lawrence (15)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	<b>342 RANEE AVE</b>	Community:	North York
Legal Description:	PLAN 3240 LOT 15		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0186/17NY	Zoning	RD (f15.0; d0.35) x1427/R1 Z0.35[ZONING]
Owner(s):	CHRISTINE MARJORIE MCCLEAN BLAINE LARRY WOODCOCK	Ward:	Don Valley West (25)
Agent:	SPRAGGE + COMPANY ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>164 GOLFDAL RD</b>	Community:	Toronto
Legal Description:	PLAN M370 LOT 160		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a two-storey rear addition and a one-storey west side addition to the existing two-storey dwelling. The existing one-storey rear addition would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The maximum permitted Floor Space Index is 0.35 times the area of the lot.  
The proposed Floor Space Index is 0.55 times the area of the lot.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.5m.  
The proposed east side yard setback is 1.17m.
- Section 6(3) Part I 1, By-law No. 438-86**  
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.  
The proposed Gross Floor Area is 0.55 times the area of the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**





It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The property being developed essentially in accordance with the side (east and west) elevations attached to this decision (excluding the porch).  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

EXTERIOR HATCHING LEGEND

-  SIMULATED SHAKE TEXTURED ASPHALT SHINGLES
-  CLAY BRICK MASONRY
-  CUT STONE MASONRY
-  STUCCO



PROPOSED EAST ELEVATION

WOODCOCK/McCLEAN RESIDENCE  
164 GOLFDAL ROAD

16-2011

JANUARY 16, 2017  
JANUARY 30, 2017






TORONTO ONTARIO

3/16"=1'-0"

SPRAGGE + COMPANY  
ARCHITECTS LTD.

156 DUNCAN MILL ROAD  
TORONTO, ONTARIO

EXTERIOR HATCHING LEGEND

-  SIMULATED SHALE TEXTURED ASPHALT SHINGLES
-  CLAY BRICK MASONRY
-  CUT STONE MASONRY
-  STUCCO
-  WOOD SIDING



PROPOSED WEST ELEVATION

JANUARY 16, 2017  
JANUARY 30, 2017

WOODCOCK/McCLEAN RESIDENCE  
164 GOLFDALE ROAD  
TORONTO ONTARIO

16-2011

3/16"=1'-0"

SPRAGGE + COMPANY  
ARCHITECTS LTD.

156 DUNCAN MILL ROAD  
TORONTO, ONTARIO

**SIGNATURE PAGE**

File Number:	A0186/17NY	Zoning	RD (f15.0; d0.35) x1427/R1 Z0.35[ZONING]
Owner:	CHRISTINE MARJORIE MCCLEAN	Ward:	Don Valley West (25)
Agent:	BLAINE LARRY WOODCOCK SPRAGGE + COMPANY ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>164 GOLFDAL E RD</b>	Community:	Toronto
Legal Description:	PLAN M370 LOT 160		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0202/17NY	Zoning	R7/RD (f9.0; a275)[ZONING]
Owner(s):	ROSANNE G DASSA	Ward:	Willowdale (23)
Agent:	JNC ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>271 HORSHAM AVE</b>	Community:	North York
Legal Description:	PLAN 2057 PT LOT 91		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.8% of the lot area.
- Chapter 10.20.40.10 (4)a, By-law No. 569-2013**  
The maximum permitted building height is 7.2m.  
The proposed building height is 10m.
- Chapter 10.20.40.10 (4)c, By-law No. 569-2013**  
The maximum permitted number of storeys is 2.  
The proposed number of storeys is 3.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.0m.  
The proposed building length is 17.93m.
- Chapter 10.5.40.60.(1), By-law No. 569-2013**  
A platform without main walls, attached to or less than 0.3m from a building, with a floor higher than the first floor of the building above established grade may encroach 1.5m into the required front yard setback, if it is no closer to a side lot line than the required side yard setback.  
The proposed platform encroaches 1.8m into the front yard setback and is 0.9m closer to the west side lot line.

6. **Chapter 10.20.40.50.(1), By-law No. 569-2013**  
The maximum permitted area of each platform at or above the second storey is 4.0m<sup>2</sup>.  
The proposed area for the porch is 7.84m<sup>2</sup>.
7. **Chapter 10.20.40.50.(1), By-law No. 569-2013**  
The maximum permitted area of each platform at or above the second storey is 4.0m<sup>2</sup>.  
The proposed area for the deck is 5.2m<sup>2</sup>.
8. **Section 14-B(5)(b), By-law No. 7625**  
The minimum required side yard setback is 1.2m.  
The proposed east side yard setback is 0.9m **to the garage one-storey portion only.**
9. **Section 14-B(6), By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.8% of the lot area.
10. **Section 14-B(9), By-law No. 7625**  
The maximum permitted building length is 15.3m.  
The proposed building length is 17.93m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the site plan, garage level, ground floor, and second floor plan drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, May 8, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

RECEIVED

MAY 08 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

**SURVEY INFORMATION**

INFORMATION FOR THIS SITE PLAN WAS TAKEN FROM THE FOLLOWING:

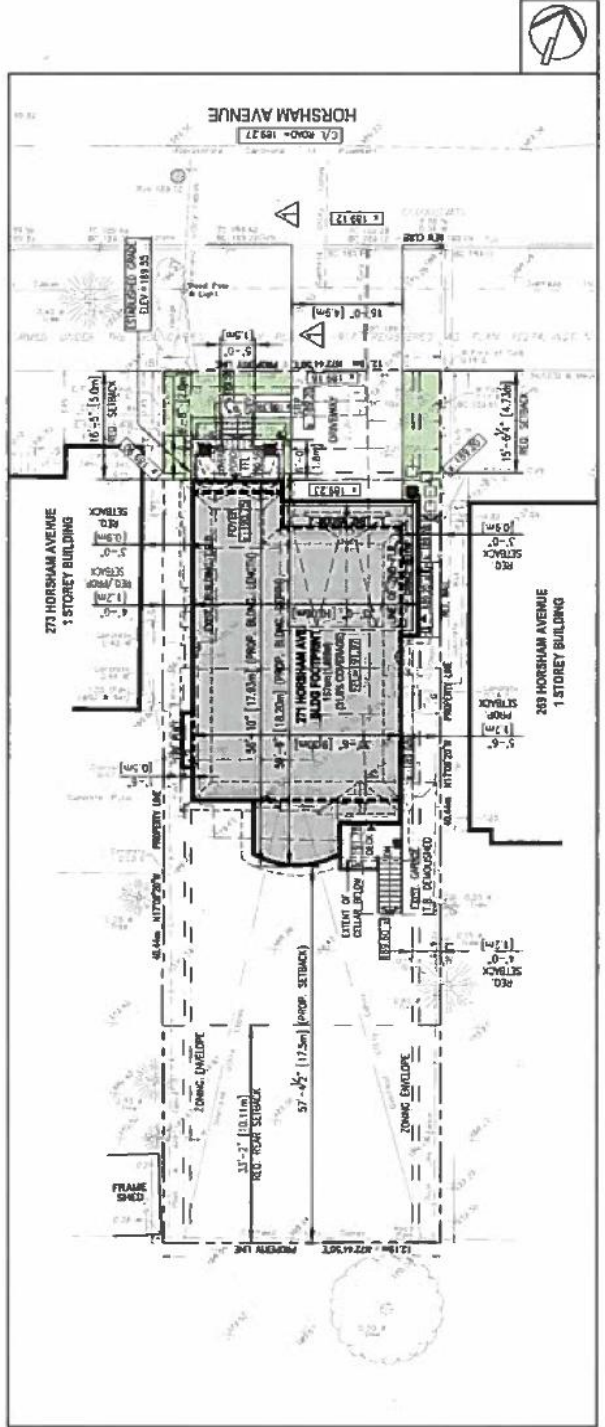
- PLAN OF SURVEY PART OF LOT 31, REGISTERED PLAN 2057
- CITY OF TORONTO FORMERLY CITY OF NORTH YORK
- DATED: SEPTEMBER, 2010
- LAND SURVEY GROUP ONTARIO LAND SURVEYORS 777 THE OAKESWAY, UNIT 1, TORONTO, ONTARIO, M4Z 1Y4

**LEGEND**

- PROPOSED BUILDING/STRUCTURE
- EXISTING BUILDING TO BE DEMOLISHED (B.D.)
- ZONING ENVELOPE
- EXISTING GRADE ELEVATION
- POINT OF ENTRY
- EXISTING TREES
- FINISHED FLOOR ELEVATION



PROJECT	DUDONATO FAMILY CUSTOM RESIDENCE
CLIENT	271 HORSHAM AVENUE NORTH YORK, ON
CONTRACT NO.	NA-HRL DUDONATO 271 HORSHAM AVENUE NORTH YORK, ON
DATE	2017-05-08
DESIGNER	JOSEPH N CAMPITELLI ARCHITECT INC.
SCALE	AS SHOWN
DATE	2017-05-08
PROJECT NO.	271 HORSHAM AVENUE NORTH YORK, ON
SCALE	AS SHOWN
DATE	2017-05-08
PROJECT NO.	271 HORSHAM AVENUE NORTH YORK, ON



PROPOSED SITE PLAN

A.100

DI DONATO FAMILY  
CUSTOM RESIDENCE

774 HORSHAM AVENUE  
NORTH YORK, ON

MR. AND MRS. DI DONATO  
774 HORSHAM AVENUE  
NORTH YORK, ON

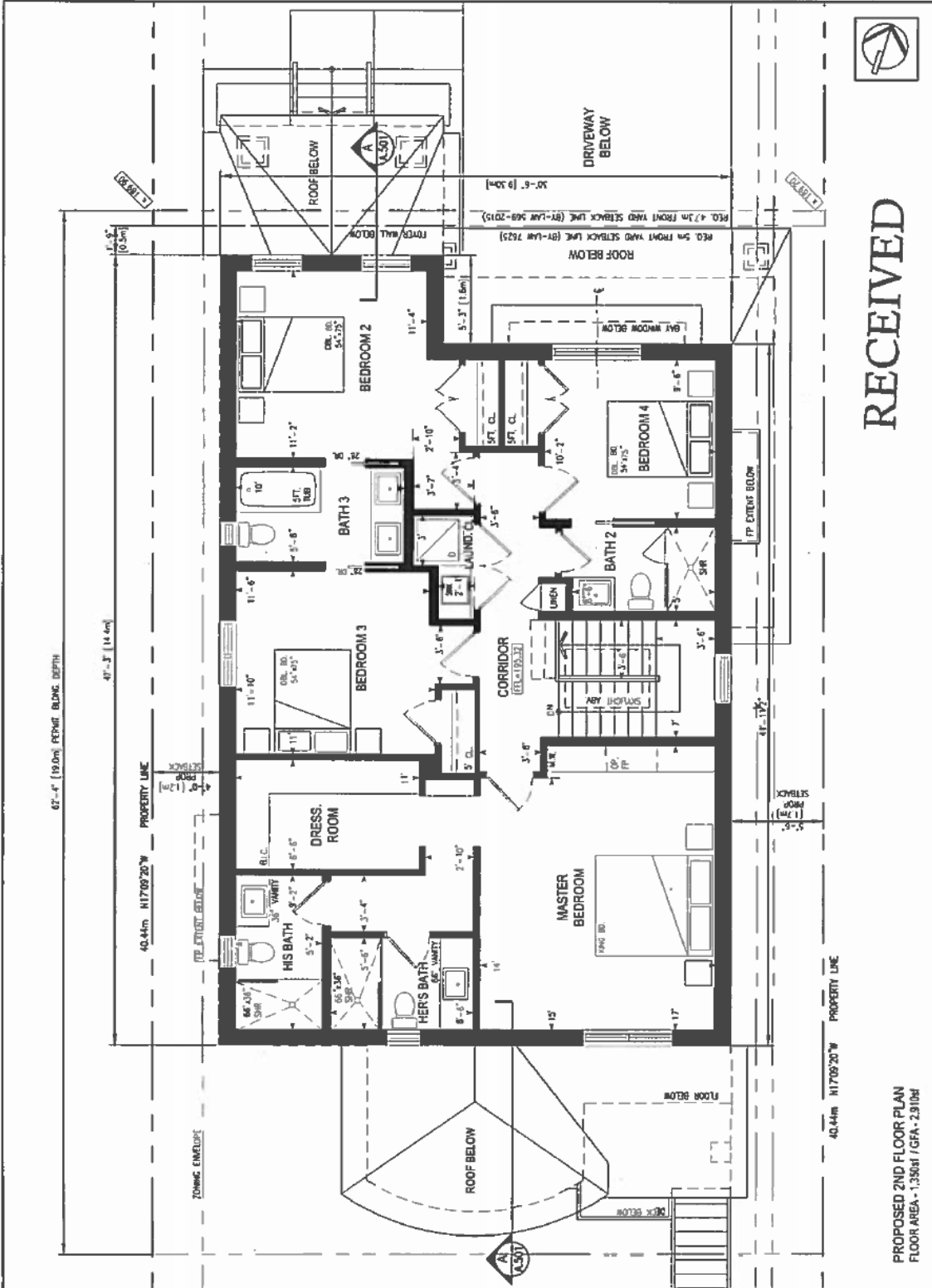
JOSEPH M. CAMPITELLI  
ARCHITECT INC.

100 Bloor Street East, Suite 200  
Toronto, Ontario M4W 1A5  
Tel: (416) 593-8888  
www.jmcampitelli.com

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

PROPOSED  
2ND FLOOR PLAN  
DATE: 05/08/2017 12:10

A.302



RECEIVED

MAY 08 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

PROPOSED 2ND FLOOR PLAN  
FLOOR AREA - 1,356sf / GFA - 2,910sf

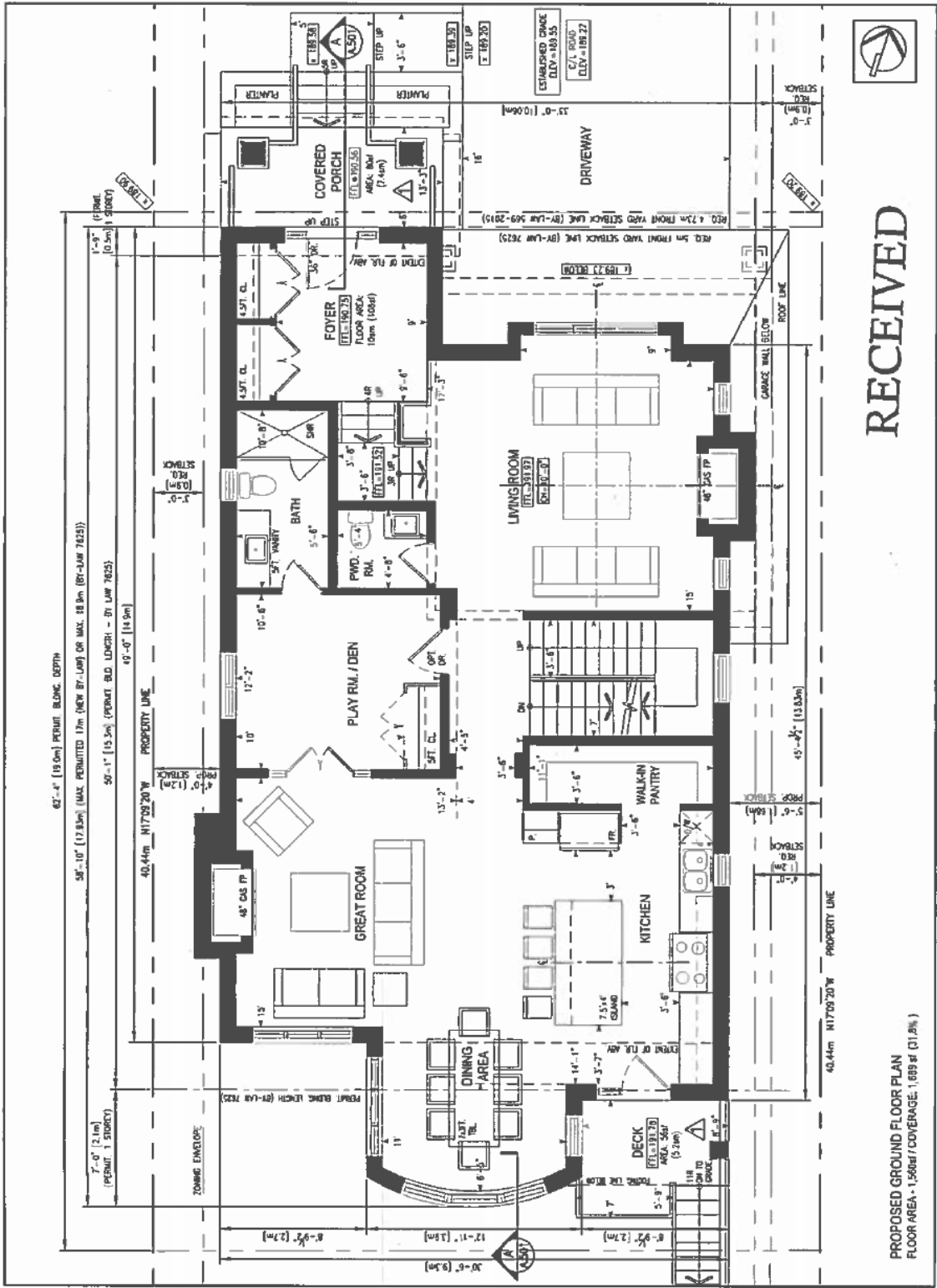
DI DONATO FAMILY  
CUSTOM RESIDENCE  
271 HORSHAM AVENUE  
NORTH YORK, ONT.  
ARTURAS DI DONATO  
271 HORSHAM AVENUE  
NORTH YORK, ONT.

JOSEPH N. CAMPITELLI  
ARCHITECT INC.  
180 The Kings Highway 2, Toronto, ON, M4V 1W2  
416-461-8888  
www.jncampitelli.com

EXISTING: IN PLACE OR DEMOLISHED  
NEW: TO BE CONSTRUCTED  
REVISIONS: TO BE CONSTRUCTED  
DIMENSIONS: TO BE CONSTRUCTED  
FINISHES: TO BE CONSTRUCTED  
ELEVATIONS: TO BE CONSTRUCTED

PROPOSED  
GROUND FLOOR PLAN  
DATE: 05/08/2017  
SCALE: 1/8" = 1'-0"

A.301



RECEIVED

MAY 08 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

DI DONATO FAMILY  
CUSTOM RESIDENCE

7711 KENNEDY ROAD  
NORTH YORK, ON

MR. AND MRS. DI DONATO  
7711 KENNEDY ROAD  
NORTH YORK, ON

JOSEPH N. CAMPITELLI  
ARCHITECT INC.

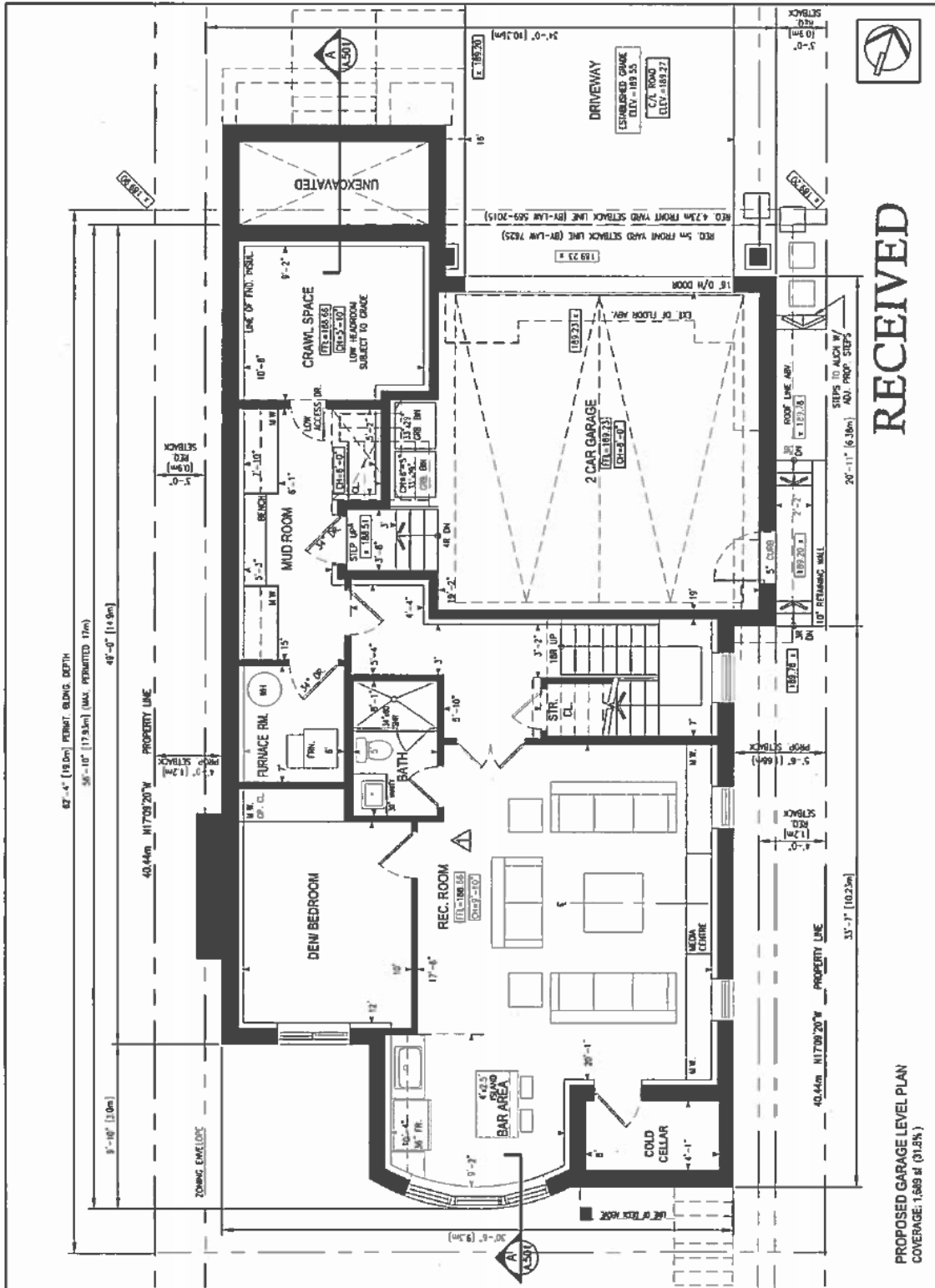
1400 SHEPPARD AVE. E. SUITE 100  
SCARBOROUGH, ONT. M1S 1T5  
TEL: (416) 291-1111  
WWW.CAMPITELLI.COM

- 1. THIS PLAN IS TO BE USED FOR THE PROPOSED GARAGE LEVEL PLAN ONLY.
- 2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
- 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
- 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
- 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

PROPOSED GARAGE LEVEL PLAN  
DATE: 11/11/2011  
DRAWN BY: JNC  
CHECKED BY: JNC  
SCALE: AS SHOWN

PROPOSED GARAGE LEVEL PLAN  
DATE: 11/11/2011  
DRAWN BY: JNC  
CHECKED BY: JNC  
SCALE: AS SHOWN

A.201



RECEIVED

MAY 08 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

PROPOSED GARAGE LEVEL PLAN  
COVERAGE: 1:689 or 1:1625

**SIGNATURE PAGE**

File Number:	A0202/17NY	Zoning	R7/RD (f9.0; a275)[ZONING]
Owner:	ROSANNE G DASSA	Ward:	Willowdale (23)
Agent:	JNC ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>271 HORSHAM AVE</b>	Community:	North York
Legal Description:	PLAN 2057 PT LOT 91		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0203/17NY	Zoning	RD (f15.0; a550)(x5) [ZZC]
Owner(s):	PARVEEN MIRZA MIRZA MOHAMMAD ASHRAF	Ward:	York Centre (09)
Agent:	SOL ARCH	Heritage:	Not Applicable
Property Address:	<b>37 HIGHVIEW AVE</b>	Community:	North York
Legal Description:	PLAN 3649 LOT 122		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

Create new parking pad off of Highview Ave.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.80.10, By-law no. 569-2013**

On a corner lot, a parking space must be in a building/structure or in a rear or side yard that does not abut a street.

The proposed parking space is located on the front yard and also abuts a street.

**2. Chapter 10.5.80.40.(3), By-law No. 569-2013**

Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.

The proposed access to the lot for the parking pad is located on the front lot street.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0203/17NY	Zoning	RD (f15.0; a550)(x5) [ZZC]
Owner:	PARVEEN MIRZA MIRZA MOHAMMAD ASHRAF	Ward:	York Centre (09)
Agent:	SOL ARCH	Heritage:	Not Applicable
Property Address:	<b>37 HIGHVIEW AVE</b>	Community:	North York
Legal Description:	PLAN 3649 LOT 122		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0204/17NY	Zoning:	RD / R3 (ZR)
Owner(s):	JEROME EDELSTEIN MICHELLE EDELSTEIN	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>2 ALEXANDRA WOOD</b>	Community:	North York
Legal Description:	PLAN M346 LOT 165		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with attached garage. The existing dwelling is to be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 35% of the lot area.  
The proposed lot coverage is 37.6% of the lot area.
- Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The required minimum front yard setback is 7.5 m.  
The proposed front yard setback is 7.21 m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The required minimum side yard setback is 1.8 m.  
The proposed west side yard setback is 1.52 m.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The permitted maximum building length for a detached house is 17.0 m.  
The proposed building length is 20.43 m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The required minimum side yard setback is 3.0 m.  
The proposed east side yard setback is 2.74 m.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**  
The permitted maximum building depth for a detached dwelling is 19.0 m.

The proposed building depth is 20.43 m.

7. **Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The permitted maximum height of a building or structure is 10.0 m.  
The proposed height of the dwelling is 10.87 m.
8. **Chapter 10.5.40.60.(3)(A)(ii), By-law No. 569-2013**  
The exterior stairs may encroach into a required building setback no wider than 2.0 m.  
The proposed stairs are 5.01 m wide.
9. **Chapter 10.5.80.40.(3), By-law No. 569-2013**  
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.  
The proposed vehicle access to a parking space is from the front.
10. **Section 12.6, By-law No. 7625**  
The maximum permitted lot coverage is 35% of the lot area.  
The proposed lot coverage is 37.6% of the lot area.
11. **Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.8 m.  
The proposed west side yard setback is 1.52 m.
12. **Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 3.0 m.  
The proposed east side yard setback is 2.74 m.
13. **Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.8 m.  
The proposed building length is 20.43 m.
14. **Section 12.7, By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.56 m.
15. **Section 6(24), By-law No. 7625**  
The permitted deck projection is 2.1 m.  
The proposed deck projection is 3.81 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 35% of the lot area.  
The proposed lot coverage is 37.6% of the lot area.
2. **Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The required minimum front yard setback is 7.5 m.  
The proposed front yard setback is 7.21 m.

- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The permitted maximum building length for a detached house is 17.0 m.  
The proposed building length is 20.43 m.
- 5. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The required minimum side yard setback is 3.0 m.  
The proposed east side yard setback is 2.74 m.
- 6. Chapter 10.20.40.30.(1), By-law No. 569-2013**  
The permitted maximum building depth for a detached dwelling is 19.0 m.  
The proposed building depth is 20.43 m.
- 7. Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The permitted maximum height of a building or structure is 10.0 m.  
The proposed height of the dwelling is 10.87 m.
- 8. Chapter 10.5.40.60.(3)(A)(ii), By-law No. 569-2013**  
The exterior stairs may encroach into a required building setback no wider than 2.0 m.  
The proposed stairs are 5.01 m wide.
- 9. Chapter 10.5.80.40.(3), By-law No. 569-2013**  
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.  
The proposed vehicle access to a parking space is from the front.
- 10. Section 12.6, By-law No. 7625**  
The maximum permitted lot coverage is 35% of the lot area.  
The proposed lot coverage is 37.6% of the lot area.
- 11. Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.8 m.  
The proposed west side yard setback is 1.52 m.
- 12. Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 3.0 m.  
The proposed east side yard setback is 2.74 m.
- 13. Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.8 m.  
The proposed building length is 20.43 m.
- 14. Section 12.7, By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.56 m.
- 15. Section 6(24), By-law No. 7625**  
The permitted deck projection is 2.1 m.  
The proposed deck projection is 3.81 m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

**3. Chapter 10.20.40.70.(3), By-law No. 569-2013**

The required minimum side yard setback is 1.8 m.

The proposed west side yard setback is 1.52m **for the first 6.6m portion of the dwelling.**

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

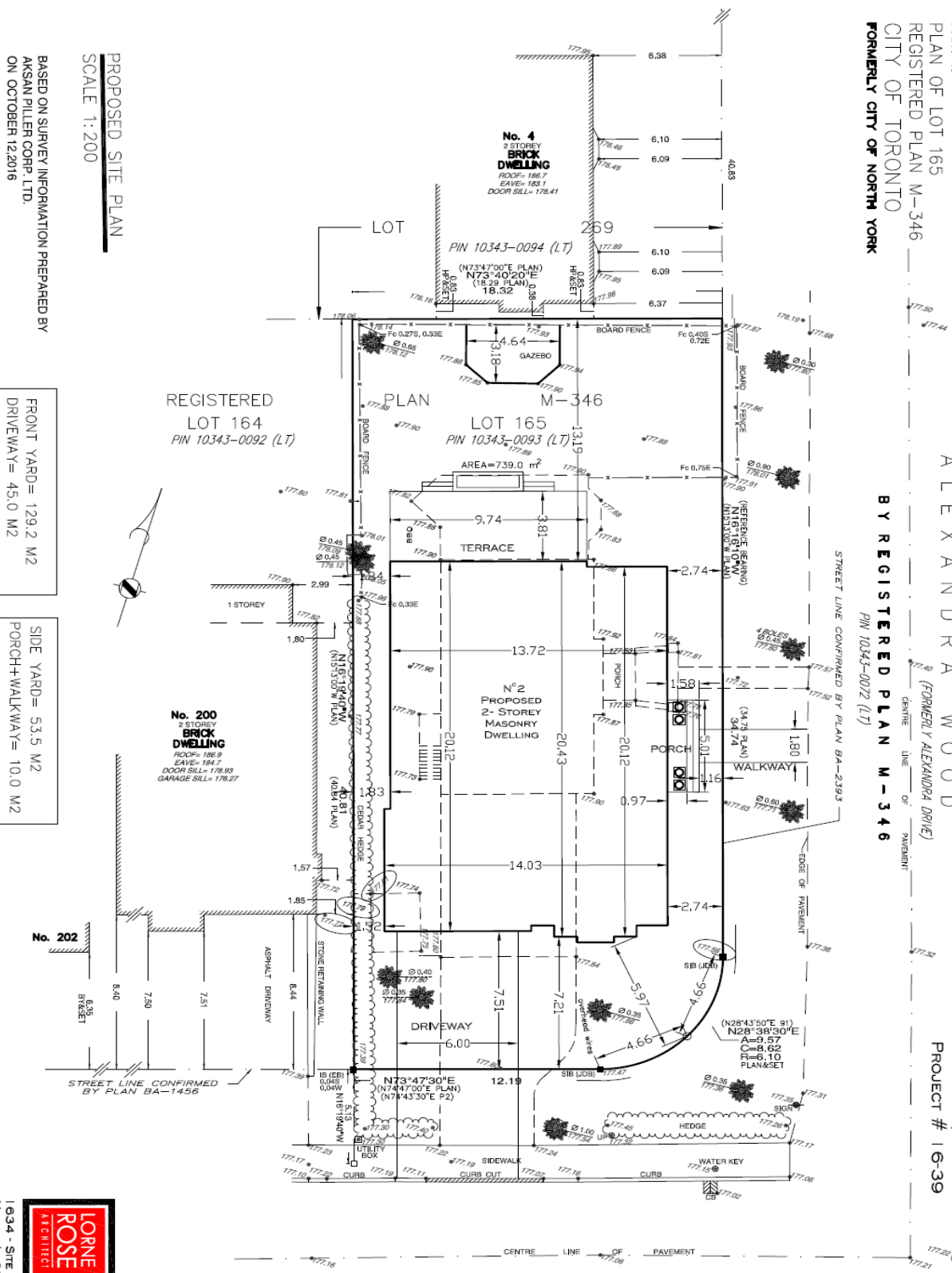
1. The property being developed essentially in accordance with the site plan attached to this decision.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



**SURVEYOR'S REAL PROPERTY REPORT**  
 PART 1:  
 PLAN OF LOT 165  
 REGISTERED PLAN M-346  
 CITY OF TORONTO  
 FORMERLY CITY OF NORTH YORK

**ALEXANDRA WOOD**  
 (FORMERLY ALEXANDRA DRIVE)  
 BY REGISTERED PLAN M-346  
 PIN 10343-0072 (LT)

19 LETH PLACE  
 TORONTO, ONTARIO  
 PROJECT # 16-39



PROPOSED SITE PLAN  
 SCALE 1:200

BASED ON SURVEY INFORMATION PREPARED BY  
 ARSAN PILLER CORP. LTD.  
 ON OCTOBER 12, 2016

FRONT YARD = 129.2 M<sup>2</sup>  
 DRIVEWAY = 45.0 M<sup>2</sup>

SIDE YARD = 53.5 M<sup>2</sup>  
 PORCH + WALKWAY = 10.0 M<sup>2</sup>

**LORNE ROSE ARCHITECT**  
 1634 - SITE PLAN 5-COA  
 MARCH 1, 2017

HILLHURST BOULEVARD  
 BY REGISTERED PLAN M-346  
 PIN 10343-0072 (LT)

**SIGNATURE PAGE**

File Number:	A0204/17NY	Zoning	RD / R3 (ZR)
Owner:	JEROME EDELSTEIN MICHELLE EDELSTEIN	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>2 ALEXANDRA WOOD</b>	Community:	North York
Legal Description:	PLAN M346 LOT 165		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0206/17NY	Zoning	RD (f9.0; a275; d0.45)/R1A[ZONING]
Owner(s):	CHANGDE FU	Ward:	Don Valley West (26)
Agent:	LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>195 GLENVALE BLVD</b>	Community:	East York
Legal Description:	PLAN 3111 LOT 958		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10m<sup>2</sup> of the First Floor area must be within 4m of the front wall.  
There is 7m<sup>2</sup> proposed within 4m of the front wall.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 35% of the lot area.  
The proposed lot coverage is 35.6% of the lot area.
- 3. Chapter 10.20.40.10.(4), By-law No. 569-2013**  
The maximum permitted building height for a flat roof is 7.2m.  
The proposed building height is 8.71m.
- 4. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The maximum permitted Floor Space Index is 0.45 times the area of the lot.  
The proposed Floor Space Index is 0.7 times the area of the lot.
- 5. Chapter 10.5.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 7.32m  
The proposed front yard setback is 6.0m.
- 6. Section 6.2.3, By-law No.1916**  
The maximum permitted building height is 8.5m.

The proposed building height is **8.9m**.

**7. Section 6.2.3, By-law No. 1916**

The maximum permitted building length is 16.75m.

The proposed building length is 16.99m.

**8. Section 6.2.3, By-law No. 1916**

The maximum permitted Floor Space Index is 0.45 times the lot area.

The proposed Floor Space Index is 0.913 times the lot area.

**9. Section 6.2.3, By-law No. 1916**

The maximum permitted lot coverage is 35% of the lot area.

The proposed lot coverage is 36.2% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0206/17NY	Zoning	RD (f9.0; a275; d0.45)/R1A[ZONING]
Owner:	CHANGDE FU	Ward:	Don Valley West (26)
Agent:	LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>195 GLENVALE BLVD</b>	Community:	East York
Legal Description:	PLAN 3111 LOT 958		

---

Bruce Mullock (signed)

---

Nazila Atarodi (signed)

---

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0207/17NY	Zoning	RD (f21.0; a975) (x70)/ R2 [ZZC]
Owner(s):	PETER VOONG	Ward:	Don Valley West (25)
Agent:	PETER VOONG	Heritage:	Not Applicable
Property Address:	<b>87 NORTHDAL RD</b>	Community:	North York
Legal Description:	PLAN 3368 PT LOT 15		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey single family detached dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.10.(5), by-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the first floor area must be within 4.00m of the front wall.  
The proposed first floor is located 10.80m from the front wall.
- 2. Chapter 10.20.40.10.(1) A), By-law No. 569-2013**  
The maximum permitted height of a building is 11.50m.  
The proposed height of the building is 12.00m.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main walls facing a side lot line is 7.90m.
- 4. Chapter 10.20.40.50.(1) B), By-law No. 569-2013**  
The maximum permitted area of a platform or deck at or above the second storey of a detached house is 4.00m<sup>2</sup>.  
The proposed area of each platform or deck at or above the second storey is 16.62m<sup>2</sup>.
- 5. Chapter 900.3.10(70)(B), By-law No. 569-2013**  
The minimum required side yard setback is 2.40m.  
The proposed east side yard setback is 0.90m.
- 6. Chapter 900.3.10(70)(B), By-law No. 569-2013**



The minimum required side yard setback is 2.40m.  
The proposed west side yard setback is 1.89m.

**7. Section 11.2.1, By-law No. 7625**

The minimum required lot frontage is 21.00m.  
The proposed lot frontage is 18.29m.

**8. Section 6(8), By-law No. 7625**

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

**9. Section 11.2.4(b), By-law No. 7625**

The minimum required side yard setback is 2.40m.  
The proposed east side yard setback is 0.90m.

**10. Section 11.2.4(b), By-law No. 7625**

The minimum required side yard setback is 2.40m.  
The proposed west side yard setback is 1.89m.

**11. Section 11.2.6, By-law No. 7625**

The maximum permitted building height is 9.50m.  
The proposed building height is 10.59m.

**12. Section 11.2.6A, By-law No. 7625**

The maximum permitted balcony area is 3.80m<sup>2</sup>.  
The proposed balcony area is 16.62m<sup>2</sup>.

**13. Section 6(30)a, By-law No. 7625**

The maximum finished first floor height is 1.50m.  
The proposed finished first floor height is 1.53m.

**14. Section 6(9), By-law No. 7625**

The maximum permitted projection for eaves into a required yard setback is 0.50m.  
The proposed eaves project 0.60m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0207/17NY	Zoning	RD (f21.0; a975) (x70)/ R2 [ZZC]
Owner:	PETER VOONG	Ward:	Don Valley West (25)
Agent:	PETER VOONG	Heritage:	Not Applicable
Property Address:	<b>87 NORTHDAL RD</b>	Community:	North York
Legal Description:	PLAN 3368 PT LOT 15		

---

Bruce Mullock (signed)

---

Derek Lett (signed)

---

Isaac Lallouz (signed)

---

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0209/17NY	Zoning	RD/R3 [ZZC]
Owner(s):	ABOLGHASEM LAMEE RAMANDI	Ward:	Don Valley West (25)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	<b>31 HEDGEWOOD RD</b>	Community:	North York
Legal Description:	PLAN 1750 LOT 3		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.30.(1), By-law No. 569-2013**  
The maximum permitted building depth is 19.00m.  
The proposed building depth is 25.62m.
- 3. Chapter 10.5.50.10.(2)(A), By-law No. 569-2013**  
A corner lot with a detached house must have a minimum of 60.00% of the side yard abutting a street for landscaping.  
The proposed side yard landscape area is 44.57%.
- 4. Chapter 10.5.50.10.(2)(B), By-law No. 569-2013**  
A corner lot with a detached house must have a minimum of 75.00% of the required side yard landscaping must be soft landscaping.  
The proposed side yard soft landscaping area is 44.57%.
- 5. Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 23.24m.
- 6. Section 12.7, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.53m.

**7. Section 6(30), By-law No. 7625**

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 2.15m.

**9. Section 6(9), By-law No. 7625**

The maximum area for a deck and stairs in the side yard is 2.30m<sup>2</sup>.

The proposed area of the deck and stairs is 7.09m<sup>2</sup>.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

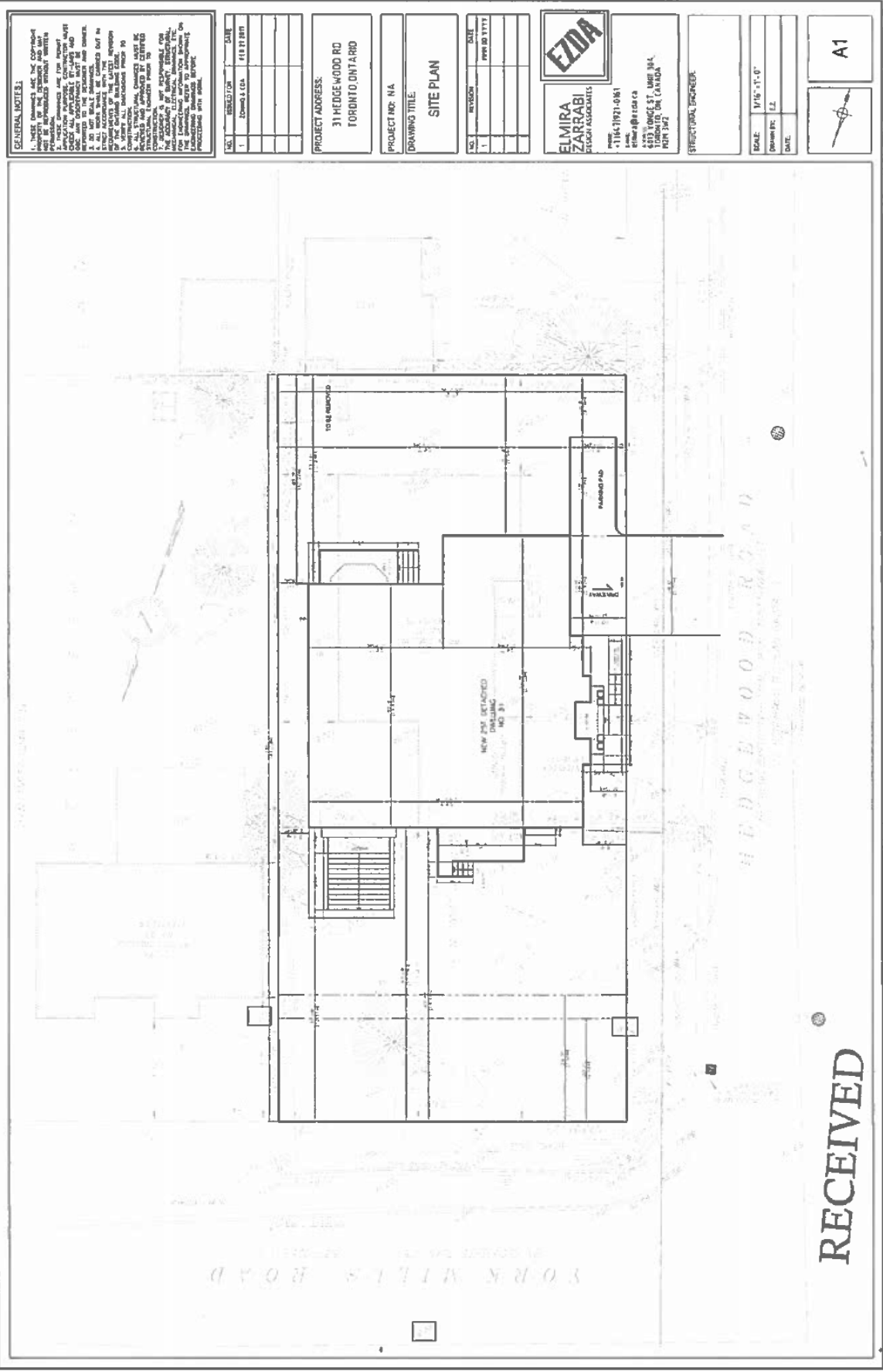
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The proposed driveway be constructed with a landscaped strip and permeable pavers; and
3. The proposal be developed in accordance with the Site Plan drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, May 9, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



**RECEIVED**

MAY 09 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

**SIGNATURE PAGE**

File Number:	A0209/17NY	Zoning	RD/R3 [ZZC]
Owner:	ABOLGHASEM LAMEE RAMANDI	Ward:	Don Valley West (25)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	<b>31 HEDGEWOOD RD</b>	Community:	North York
Legal Description:	PLAN 1750 LOT 3		

\_\_\_\_\_  
Nazila Atarodi (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0212/17NY	Zoning	C1[ZONING]
Owner(s):	OLD ORCHARD DEVELOPMENTS (2013) INC.	Ward:	Eglinton-Lawrence (15)
Agent:	PAUL MARQUES ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>814 GLENCAIRN AVE</b>	Community:	North York
Legal Description:	PLAN 1911 PT LOT 176		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a triplex dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 23.1, By-law No. 7625**  
A triplex dwelling is not a permitted use.
- Section 6A(5), By-law No. 7625**  
The minimum required access to a parking space is 6m.  
The proposed access to parking space is 2.74m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

**SIGNATURE PAGE**

File Number:	A0212/17NY	Zoning	C1[ZONING]
Owner:	OLD ORCHARD DEVELOPMENTS (2013) INC.	Ward:	Eglinton-Lawrence (15)
Agent:	PAUL MARQUES ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>814 GLENCAIRN AVE</b>	Community:	North York
Legal Description:	PLAN 1911 PT LOT 176		

---

Bruce Mullock (signed)

---

Derek Lett (signed)

---

Isaac Lallouz (signed)

---

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0213/17NY	Zoning	RD/ R4 [PPR]
Owner(s):	PAJMAN TALAT	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	<b>47 MCKEE AVE</b>	Community:	North York
Legal Description:	PLAN 2400 LOT 269		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached two-storey single family dwelling. The existing building would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **32%** of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height for portions of the side exterior main walls facing a side lot line is 8.00m.
- 3. Chapter 10.20.40.20(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is 18.30m.
- 4. Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 0.90m.
- 5. Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 0.90m.
- 6. Chapter 10.5.40.10.(5), By-law No. 569-2013**  
An area of 10.00m<sup>2</sup> of the first floor must be within 4.00m of the front main wall.

An area of 8.00m<sup>2</sup> is within 4.00m of the front main wall.

7. **Chapter 200.5.1.10.(2), By-law No. 569-2013**  
Parking spaces must have minimum dimensions of 3.20m by 5.60m length.  
The proposed parking space is 2.90m by 5.60m.
8. **Section 13.2.1, By-law No. 7625**  
The minimum required lot frontage and width is 15.00m.  
The proposed lot frontage and width is 7.62m.
9. **Section 13.2.2, By-law No. 7625**  
The minimum required lot area is 550.00m<sup>2</sup>.  
The proposed lot area is 321.64m<sup>2</sup>.
10. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.50m.  
The proposed west side yard setback is 0.90m.
11. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.50m.  
The proposed east side yard setback is 0.90m.
12. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **32%** of the lot area.
13. **Section 13.2.5A, By-law No. 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 18.30m.
14. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.10m.
15. **Section 6A(3), By-law No. 7625**  
The minimum required parking space size is 3.20m by 5.60m for the space within the garage.  
The proposed parking space size is 2.90, by 5.60m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **32%** of the lot area.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height for portions of the side exterior main walls facing a side lot line is 8.00m.

3. **Chapter 10.20.40.20(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is 18.30m.
  
6. **Chapter 10.5.40.10.(5), By-law No. 569-2013**  
An area of 10.00m<sup>2</sup> of the first floor must be within 4.00m of the front main wall.  
An area of 8.00m<sup>2</sup> is within 4.00m of the front main wall.
  
7. **Chapter 200.5.1.10.(2), By-law No. 569-2013**  
Parking spaces must have minimum dimensions of 3.20m by 5.60m length.  
The proposed parking space is 2.90m by 5.60m.
  
8. **Section 13.2.1, By-law No. 7625**  
The minimum required lot frontage and width is 15.00m.  
The proposed lot frontage and width is 7.62m.
  
9. **Section 13.2.2, By-law No. 7625**  
The minimum required lot area is 550.00m<sup>2</sup>.  
The proposed lot area is 321.64m<sup>2</sup>.
  
12. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **32%** of the lot area.
  
13. **Section 13.2.5A, By-law No. 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 18.30m.
  
14. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.10m.
  
15. **Section 6A(3), By-law No. 7625**  
The minimum required parking space size is 3.20m by 5.60m for the space within the garage.  
The proposed parking space size is 2.90, by 5.60m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

4. **Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is **1.2m**.
  
5. **Chapter 900.3.10(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is **1.2m**.
  
10. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.50m.  
The proposed west side yard setback is **1.2m**.
  
11. **Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.50m.  
The proposed east side yard setback is **1.2m**.

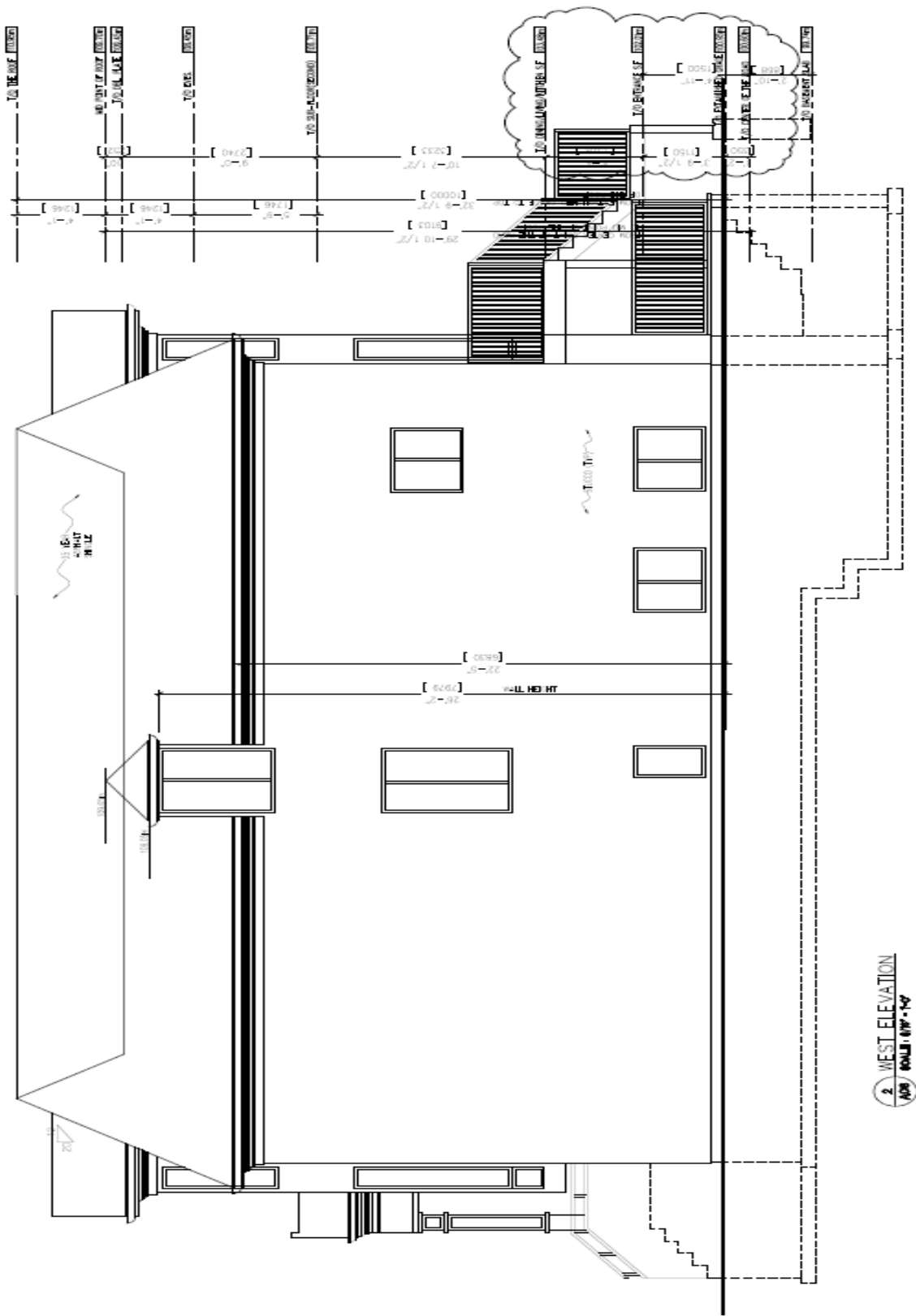
For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The proposal be developed in accordance with the west elevation drawing submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, May 8, 2017.





2 WEST ELEVATION  
 10/11/14

**SIGNATURE PAGE**

File Number:	A0213/17NY	Zoning	RD/ R4 [PPR]
Owner:	PAJMAN TALAT	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	<b>47 MCKEE AVE</b>	Community:	North York
Legal Description:	PLAN 2400 LOT 269		

---

Bruce Mullock (signed)

---

Derek Lett (signed)

---

Isaac Lallouz (signed)

---

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0214/17NY	Zoning	RD / R5 (ZR)
Owner(s):	JONI ADELBERG	Ward:	Eglinton-Lawrence (15)
Agent:	LAWRENCE ADELBERG	Heritage:	Not Applicable
Property Address:	<b>8 RIDGEVALE DR</b>	Community:	North York
Legal Description:	PLAN 3864 LOT 437		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with attached garage. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10.(5), By-law No. 569-2013**  
The minimum of 10.0 m<sup>2</sup> of the first floor must be within 4.0 m of the front main wall.  
The proposed mudroom is less than 10.0 m<sup>2</sup>.
- Section 14.2.1, By-law No. 7625**  
The minimum required lot frontage is 15 m.  
The proposed lot frontage is 14.30 m.
- Section 6(24)(c), By-law No. 7625**  
The maximum permitted deck height is 1.0 m.  
The proposed deck height is 1.60 m.
- Section 6(24)(c), By-law No. 7625**  
The maximum permitted deck encroachment is 2.1 m.  
The proposed deck encroachment is 2.5 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant is to provide permanent opaque screening or fencing along the south east edge of the proposed rear deck with a minimum height of 1.5 metres from the floor of the rear deck.

**SIGNATURE PAGE**

File Number:	A0214/17NY	Zoning	RD / R5 (ZR)
Owner:	JONI ADELBERG	Ward:	Eglinton-Lawrence (15)
Agent:	LAWRENCE ADELBERG	Heritage:	Not Applicable
Property Address:	<b>8 RIDGEVALE DR</b>	Community:	North York
Legal Description:	PLAN 3864 LOT 437		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0216/17NY	Zoning	RD/R4[ZONING]
Owner(s):	MELISSA C. SINGER DAVID SINGER	Ward:	York Centre (10)
Agent:	DREW LASZLO ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>14 KAINONA AVE</b>	Community:	North York
Legal Description:	PLAN 4765 LOT 3		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a covered deck to the new dwelling under construction.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.30.40, By-law No. 569-2013**  
The maximum permitted lot coverage for the deck is 5% of the lot area.  
The proposed lot coverage is 5.158% of the lot area.
- Section 6(24)(c), By-law No. 7625**  
The maximum permitted deck encroachment is 2.1m into the rear yard.  
The proposed deck encroaches 5.64m into the rear yard.
- Section 6(9)(i), By-law No. 7625**  
The maximum permitted canopy encroachment is 1.8m into the rear yard  
The proposed canopy is 5.64m.
- Section 6(24)(b), By-law No. 7625**  
The maximum permitted deck lot coverage is 5% of the lot area.  
The proposed deck lot coverage is 5.158% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**



## **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0216/17NY	Zoning	RD/R4[ZONING]
Owner:	MELISSA C. SINGER DAVID SINGER	Ward:	York Centre (10)
Agent:	DREW LASZLO ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>14 KAINONA AVE</b>	Community:	North York
Legal Description:	PLAN 4765 LOT 3		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0217/17NY	Zoning	RD (f2 1.0; a975)(x70)\ R3 [ZZC]
Owner(s):	MOHAMMAD AGAH FATEMEH SARVARI	Ward:	Willowdale (24)
Agent:	HAMID BEHESHT	Heritage:	Not Applicable
Property Address:	<b>132 BURBANK DR</b>	Community:	North York
Legal Description:	PLAN M677 L 137		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new, two-storey single family dwelling. The existing building would be demolished. Please be advised the subject property went before the Committee of Adjustment on November 9, 2016, to legalize and to maintain the existing rear deck and bay window (file # A0848/16NY), and in June 25, 2015 which sought variances related to lot coverage, building height and finished first floor height.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.100, By-law No. 569-2013**  
The maximum width for a driveway is 6.00m.  
The proposed width for the driveway is 7.67m.
- 2. Chapter 10.20.30.10.(1), By-law No. 569-2013**  
The minimum required lot area is 690.00m<sup>2</sup>.  
The proposed lot area is 689.76m<sup>2</sup>.
- 3. Chapter 10.20.40.70.(1), By-law No 569-2013**  
The minimum required front yard setback is 7.58m.  
The proposed front yard setback is 6.31m.
- 4. Chapter 10.5.80.40.(3), By-law No. 569-2013**  
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.  
The proposed vehicle access to a parking space is from the 'front' street.
- 5. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **32%** of the lot area.

6. **Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.20m **for the first 7.1m of the garage portion only.**
7. **Chapter 10.5.40.60.(3), By-law No. 569-2013**  
Exterior stairs providing pedestrian access to a building may encroach into a required building setback if the stairs are no wider than 2.00m.  
The proposed stairs are 6.00m wide.
8. **Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100.00% of the main wall width.  
The proposed height of the right side exterior main walls is 7.93m for 47.00% of the main wall width.
9. **Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100.00% of the main wall width.  
The proposed height of the left side exterior main walls is 7.68m for 31.50% of the main wall width.
10. **Section 12.6, By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **32%** of the lot area.
11. **Section 12.4(a), By-law No. 7625**  
The minimum required front yard setback is 7.50 +/- 1.00m.  
The proposed front yard setback is 6.31m.
12. **Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.20m **for the first 7.1m of the garage portion only.**
13. **Section 12.7, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.19m.
14. **Section 6(30)a, By-law No. 7625**  
The maximum finished first floor height is 1.50m.  
The proposed finished first floor height is 1.77m.
15. **Section 6A(7)c, By-law No. 7625**  
The maximum permitted driveway width is 6.00m.  
The proposed driveway width is 7.67m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

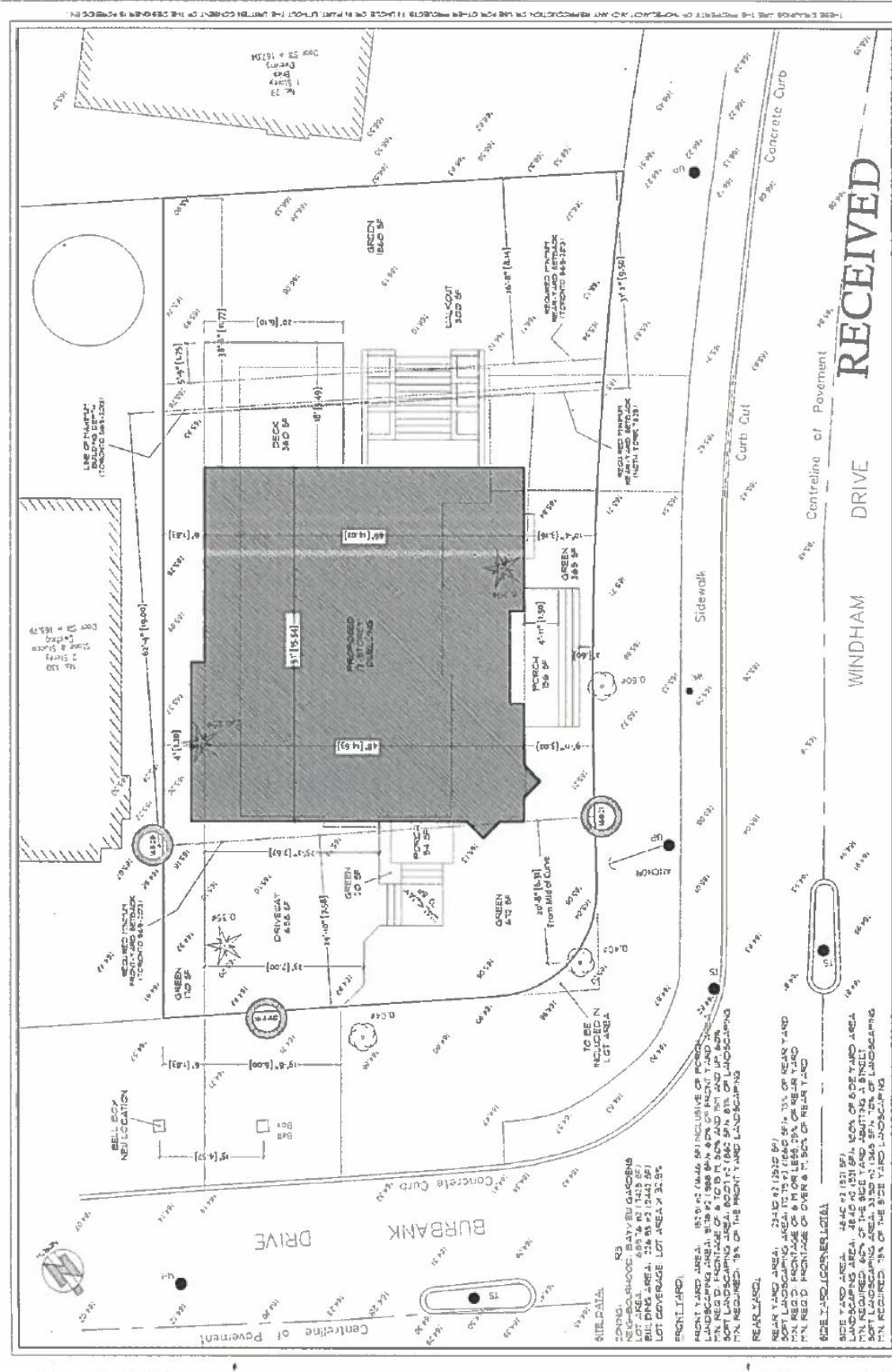
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at [www.toronto.ca/trees/pdfs/contractor\\_services\\_agreement\\_information.pdf](http://www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf).

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

2. Submission of a complete application for permit to injure or remove privately owned trees.
3. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II and Article III.
4. The proposal be developed in accordance with the site plan and side (right and left) elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division. May 9, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



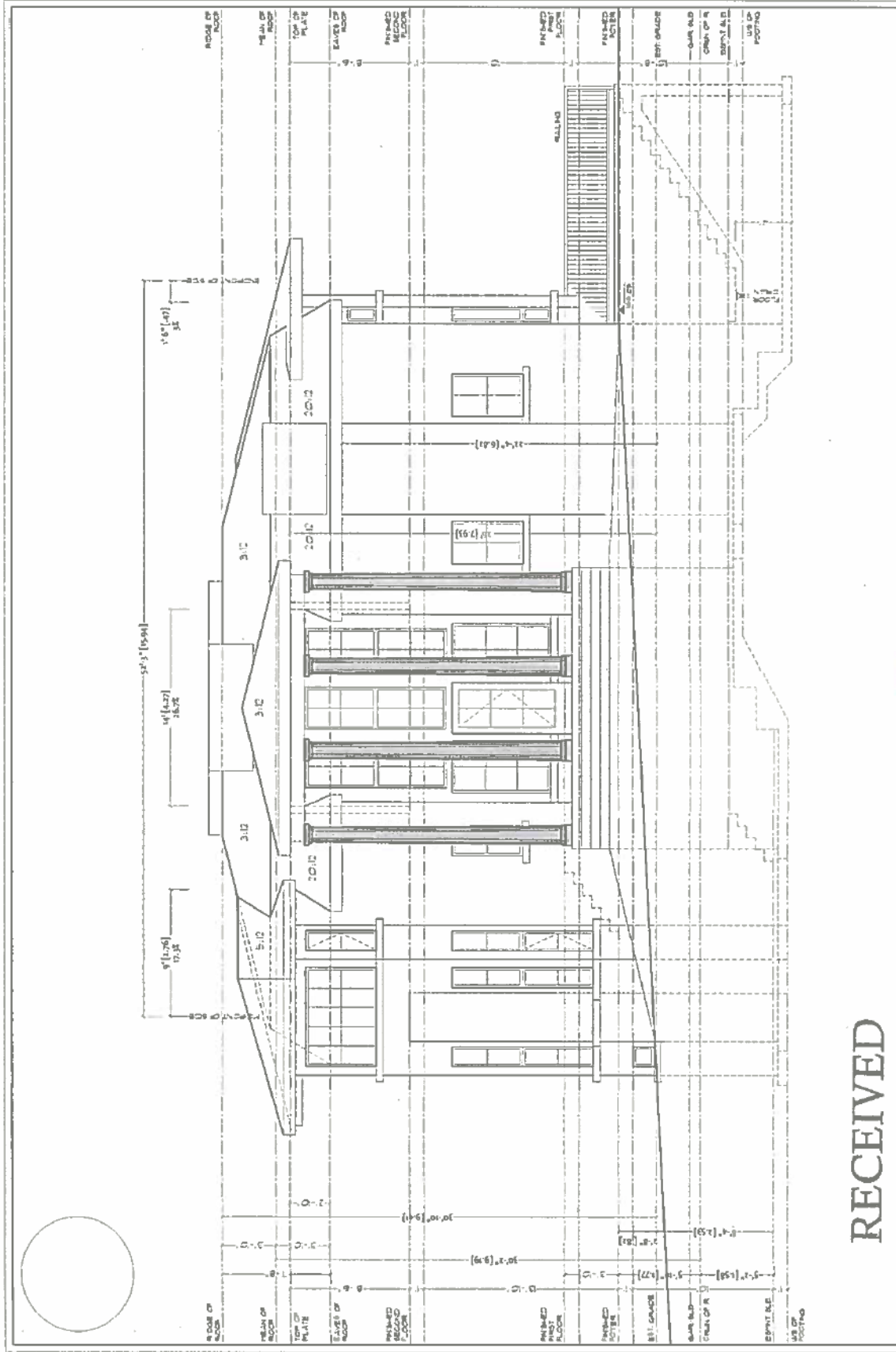
RECEIVED  
 MAY 09 2017  
 CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE

CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE





THESE ELEVATIONS ARE THE PROPERTY OF NORBLON. NO PART HEREOF IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER'S FIRM.



RECEIVED

DATE: JUNE 15, 2017  
 TIME: 10:30 AM  
 PROJECT: 150 BURNHAMTHORPE RD. TORONTO, ONT. M9A 6S9  
 DRAWING NO.: 150-BURNHAMTHORPE-09  
 TITLE: RIGHT ELEVATION  
 SHEET NO.: 09

**SIGNATURE PAGE**

File Number:	A0217/17NY	Zoning	RD (f2 1.0; a975)(x70)\ R3 [ZZC]
Owner:	MOHAMMAD AGAH FATEMEH SARVARI	Ward:	Willowdale (24)
Agent:	HAMID BEHESHT	Heritage:	Not Applicable
Property Address:	<b>132 BURBANK DR</b>	Community:	North York
Legal Description:	PLAN M677 L 137		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0218/17NY	Zoning	RD / RA (ZR)
Owner(s):	ZE MIN REN HANHAO REN	Ward:	Don Valley West (25)
Agent:	PAUL MARQUES ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>24 X PARK LANE CRCL</b>	Community:	North York
Legal Description:	PLAN 2578 PT BLK A RP 66R27476 PARTS 2 TO 5		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new dwelling with attached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.100.(1), By-law No. 569-2013**  
For a driveway passing through the front yard, the maximum permitted width is 9.0 m.  
The proposed driveway is 39.62 m wide.
- 2. Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The permitted maximum height of a building or structure is 13 m.  
The proposed height of the structure is 15.19 m.
- 3. Chapter 10.20.40.10.(6), By-law No. 569-2013**  
The permitted maximum height of the first floor above established grade is 1.2 m.  
The proposed height of the first floor above established grade is 1.26 m.
- 4. Chapter 10.20.40.50.(1), By-law No. 569-2013**  
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m<sup>2</sup>.  
The proposed area of each platform at or above the second storey is 182.15 m<sup>2</sup>.
- 5. Section. 6(8), By-law No. 7625**  
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 60 m.  
The proposed lot width is 53.77 m.

**6. Section 6(A)(5), By-law No. 7625**

A driveway which is located in or which passes through the front yard for lots with a lot frontage greater than 23 m, is to have a maximum width for its entire length of 9 m.  
The proposed driveway width is 39.62 m.

**7. Section 9(4), By-law No. 7625**

The minimum required lot frontage is 60 m.  
The proposed lot frontage is 59.6 m.

**8. Section 9(7), By-law No. 7625**

The maximum permitted building height is 11 m.  
The proposed building height is 15.08 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. The property being developed essentially in accordance with all plans attached to this decision.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*





















**SIGNATURE PAGE**

File Number:	A0218/17NY	Zoning	RD / RA (ZR)
Owner:	ZE MIN REN HANHAO REN	Ward:	Don Valley West (25)
Agent:	PAUL MARQUES ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>24 X PARK LANE CRCL</b>	Community:	North York
Legal Description:	PLAN 2578 PT BLK A RP 66R27476 PARTS 2 TO 5		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0219/17NY	Zoning	RD/R5 [ZZC]
Owner(s):	JAMES GEORGIADIS ANNA SERAFINO	Ward:	Don Valley East (34)
Agent:	CITYSCAPE DESIGN INNOVATION INC	Heritage:	Not Applicable
Property Address:	<b>60 RUSCICA DR</b>	Community:	North York
Legal Description:	PLAN M762 LOT 590		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The maximum permitted building height is 10.00m.  
The proposed building height is 10.28m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is 17.50m.
- 3. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.22m.
- 4. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.22m.
- 5. Chapter 10.20.40.10.(6), By-law No. 569-2013**  
The maximum permitted finished first floor height is 1.20m.  
The proposed finished first floor height is 1.50m.
- 6. Chapter 10.20.40.10.(3), By-law No. 569-2013**

The maximum number of storeys permitted is two (2).  
The proposed number of storeys is three (3).

**7. Chapter 10.20.30.40.(1), By-law No. 569-2013**

The maximum permitted lot coverage is 35.00% of the lot area.  
The proposed lot coverage is 36.53% of the lot area.

**8. Chapter 10.20.40.50.(1), By-law No. 569-2013**

The maximum permitted area of each platform at or above the second storey is 4.00m<sup>2</sup>.  
The proposed platform at or above the second storey is **6.30m<sup>2</sup>**.

**9. Section 14.2.6, By-law No. 7625**

The maximum permitted building height is 8.80m.  
The proposed building height is 9.38m.

**10. Section 14.2.5A, By-law No. 7625**

The maximum permitted building length is 16.80m.  
The proposed building length is 17.50m.

**11. Section 14.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.22m

**12. Section 14.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.22m

**13. Section 14.2.3(b), By-law No. 7625**

The maximum number of storeys permitted is two (2).  
The proposed number of storeys is three (3).

**14. Section 14.2.6(a), By-law No. 7625**

The maximum permitted balcony area is 3.80m<sup>2</sup>.  
The proposed balcony area is 7.92m<sup>2</sup>.

**15. Section 14.2.4, By-law No. 7625**

The maximum permitted lot coverage is 35.00% of the lot area.  
The proposed lot coverage is 36.53% of the lot area.

**16. Section 6(24), By-law No. 7625**

The maximum permitted deck height is 1.00m.  
The proposed deck is 2.60m in height.

**17. Section 6(24), By-law No. 7625**

The maximum permitted rear deck projection is 2.10m from the wall.  
The proposed rear deck projects 2.97m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The maximum permitted building height is 10.00m.  
The proposed building height is 10.28m.
2. **Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is 17.50m.
5. **Chapter 10.20.40.10.(6), By-law No. 569-2013**  
The maximum permitted finished first floor height is 1.20m.  
The proposed finished first floor height is 1.50m.
6. **Chapter 10.20.40.10.(3), By-law No. 569-2013**  
The maximum number of storeys permitted is two (2).  
The proposed number of storeys is three (3).
7. **Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 35.00% of the lot area.  
The proposed lot coverage is 36.53% of the lot area.
9. **Section 14.2.6, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.38m.
10. **Section 14.2.5A, By-law No. 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 17.50m.
13. **Section 14.2.3(b), By-law No. 7625**  
The maximum number of storeys permitted is two (2).  
The proposed number of storeys is three (3).
14. **Section 14.2.6(a), By-law No. 7625**  
The maximum permitted balcony area is 3.80m<sup>2</sup>.  
The proposed balcony area is 7.92m<sup>2</sup>.
15. **Section 14.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 35.00% of the lot area.  
The proposed lot coverage is 36.53% of the lot area.
16. **Section 6(24), By-law No. 7625**  
The maximum permitted deck height is 1.00m.  
The proposed deck is 2.60m in height.
17. **Section 6(24), By-law No. 7625**  
The maximum permitted rear deck projection is 2.10m from the wall.  
The proposed rear deck projects 2.97m from the rear wall.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

- 3. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is **1.50m**.
- 4. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is **1.50m**.
- 8. Chapter 10.20.40.50.(1), By-law No. 569-2013**  
The maximum permitted area of each platform at or above the second storey is 4.00m<sup>2</sup>.  
The proposed platform at or above the second storey is **6.30m<sup>2</sup>**.
- 11. Section 14.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is **1.50m**.
- 12. Section 14.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is **1.50m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. To erect opaque screening on the east and west sides of the rear deck with a minimum of 1.5m in height.

**SIGNATURE PAGE**

File Number:	A0219/17NY	Zoning	RD/R5 [ZZC]
Owner:	JAMES GEORGIADIS ANNA SERAFINO	Ward:	Don Valley East (34)
Agent:	CITYSCAPE DESIGN INNOVATION INC	Heritage:	Not Applicable
Property Address:	<b>60 RUSCICA DR</b>	Community:	North York
Legal Description:	PLAN M762 LOT 590		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0220/17NY	Zoning	RD (x1463)/R6(20)[ZONING]
Owner(s):	JALAL MAHMOUDZAHEH	Ward:	Eglinton-Lawrence (16)
Agent:	NAZANIN MIRAHMADI	Heritage:	Not Applicable
Property Address:	<b>590 WOBURN AVE – PART 1</b>	Community:	North York
Legal Description:	PLAN M108 LOTS 228 AND 229		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a three-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.10.(1) A), By-law No. 569-2013**  
The maximum permitted height of a building is 10.00m.  
The proposed height of the building is 10.20m.
- Chapter 10.20.40.70.(3) C), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed west side yard setback is 0.9m.
- Chapter 10.20.40.70.(3) C), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed east side yard setback is 0.45m.
- Chapter 10.20.40.10.(3) A), By-law No. 569-2013**  
The maximum permitted number of storeys is 2.  
The proposed number of storeys is 3.
- Chapter 10.20.30.10.(1) A), By-law No. 569-2013**  
The minimum required lot area is 370.00m<sup>2</sup>.  
The proposed lot area is 222.94m<sup>2</sup>.
- Chapter 10.20.30.20.(1) A), By-law No. 569-2013**  
The minimum required lot frontage is 12.00m.  
The proposed lot frontage is 6.10m.

- 7. Chapter 10.20.30.40.(1), A), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 32.46% of the lot area.
- 8. Chapter 10.5.40.60.(1), By-law No. 569-2013**  
A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback if it is no closer to a side lot line than 1.2m.  
The proposed platform encroaches into the required front yard setback and is 0.75m from the East side lot line.
- 9. Chapter 10.5.40.60.(7), By-law No. 569-2013**  
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.  
The proposed eaves project 0.3m and are 0.15m from the East lot line.
- 10. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.  
The proposed height of the side exterior main walls facing a side lot line is **8.30m**.
- 11. Section 14-A(3), By-law No. 7625**  
The minimum required lot area is 371.00m<sup>2</sup>.  
The proposed lot area is 222.94m<sup>2</sup>.
- 12. Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 32.46% of the lot area.
- 13. Section 14-A(4) and 6(8), By-law No. 7625**  
The minimum required lot frontage and width is 12.00m.  
The proposed lot frontage and width is 6.10m.
- 14. Section 14-A(5)c, By-law No. 7625**  
The minimum required side yard setback is 1.20m.  
The proposed west side yard setback is 0.9m.
- 15. Section 14-A(5)c, By-law No. 7625**  
The minimum required side yard setback is 1.20m.  
The proposed east side yard setback is 0.45m.
- 16. Section 14-A(8), By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.90m.
- 17. Section 14-A(8), By-law No. 7625**  
The maximum permitted number of storeys is 2.  
The proposed number of storeys is 3.
- 18. Section 6(9)(f), By-law No. 7625**  
Porches shall be permitted to project into the minimum front yard setback not more than 2.1m but no closer to a side lot line than the minimum side yard setback for the main building of 1.2m.  
Proposed front porch is 0.75m from the East side lot line.



The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.40.10.(1) A), By-law No. 569-2013**  
The maximum permitted height of a building is 10.00m.  
The proposed height of the building is 10.20m.
2. **Chapter 10.20.40.70.(3) C), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed west side yard setback is 0.9m.
3. **Chapter 10.20.40.70.(3) C), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed east side yard setback is 0.45m.
4. **Chapter 10.20.40.10.(3) A), By-law No. 569-2013**  
The maximum permitted number of storeys is 2.  
The proposed number of storeys is 3.
5. **Chapter 10.20.30.10.(1) A), By-law No. 569-2013**  
The minimum required lot area is 370.00m<sup>2</sup>.  
The proposed lot area is 222.94m<sup>2</sup>.
6. **Chapter 10.20.30.20.(1) A), By-law No. 569-2013**  
The minimum required lot frontage is 12.00m.  
The proposed lot frontage is 6.10m.
7. **Chapter 10.20.30.40.(1), A), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 32.46% of the lot area.
8. **Chapter 10.5.40.60.(1), By-law No. 569-2013**  
A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback if it is no closer to a side lot line than 1.2m.  
The proposed platform encroaches into the required front yard setback and is 0.75m from the East side lot line.
9. **Chapter 10.5.40.60.(7), By-law No. 569-2013**  
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.  
The proposed eaves project 0.3m and are 0.15m from the East lot line.
11. **Section 14-A(3), By-law No. 7625**  
The minimum required lot area is 371.00m<sup>2</sup>.  
The proposed lot area is 222.94m<sup>2</sup>.
12. **Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.46% of the lot area.

**13. Section 14-A(4) and 6(8), By-law No. 7625**

The minimum required lot frontage and width is 12.00m.

The proposed lot frontage and width is 6.10m.

**14. Section 14-A(5)c, By-law No. 7625**

The minimum required side yard setback is 1.20m.

The proposed west side yard setback is 0.9m.

**15. Section 14-A(5)c, By-law No. 7625**

The minimum required side yard setback is 1.20m.

The proposed east side yard setback is 0.45m.

**16. Section 14-A(8), By-law No. 7625**

The maximum permitted building height is 8.80m.

The proposed building height is 9.90m.

**17. Section 14-A(8), By-law No. 7625**

The maximum permitted number of storeys is 2.

The proposed number of storeys is 3.

**18. Section 6(9)(f), By-law No. 7625**

Porches shall be permitted to project into the minimum front yard setback not more than 2.1m but no closer to a side lot line than the minimum side yard setback for the main building of 1.2m.

Proposed front porch is 0.75m from the East side lot line.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

**10. Chapter 10.20.40.10.(2), By-law No. 569-2013**

The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.

The proposed height of the side exterior main walls facing a side lot line is **8.0m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0220/17NY	Zoning	RD (x1463)/R6(20)[ZONING]
Owner:	JALAL MAHMOUDZAHEH	Ward:	Eglinton-Lawrence (16)
Agent:	NAZANIN MIRAHMADI	Heritage:	Not Applicable
Property Address:	<b>590 WOBURN AVE – PART 1</b>	Community:	North York
Legal Description:	PLAN M108 LOTS 228 AND 229		

---

Bruce Mullock (signed)

---

Derek Lett (signed)

---

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0221/17NY	Zoning	RD (x1463)/ R6(20) [ZZC]
Owner(s):	SHAHIN FARD-SABERI	Ward:	Eglinton-Lawrence (16)
Agent:	NAZANIN MIRAHMADI	Heritage:	Not Applicable
Property Address:	<b>588 WOBURN AVE</b>	Community:	North York
Legal Description:	PLAN M108 LOTS 228 AND 229		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey detached dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(1) A), By-law No. 569-2013**  
The maximum permitted height of a building is 10.00m.  
The proposed height of the building is 10.20m.
- 2. Chapter 10.20.40.70.(3) C), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed west side yard setback is 0.45m.
- 3. Chapter 10.20.40.70.(3) C), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed east side yard setback is 0.90m.
- 4. Chapter 10.20.40.10.(3) A), By-law No. 569-2013**  
The maximum permitted number of storeys is two.  
The proposed number of storeys is three.
- 5. Chapter 10.20.30.10.(1) A), By-law No. 569-2013**  
The minimum required lot area is 370.00m<sup>2</sup>.  
The proposed lot area is 222.97m<sup>2</sup>.
- 6. Chapter 10.20.30.20.(1) A), By-law No. 569-2013**  
The minimum required lot frontage is 12.00m.

The proposed lot frontage is 6.10m.

7. **Chapter 10.20.30.40.(1), A), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area: 66.89m<sup>2</sup>.  
The proposed lot coverage is 31.70% of the lot area: 70.66m<sup>2</sup>.
8. **Chapter 10.20.40.10.(2) B)(ii), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main walls facing a side lot line is **8.30m**.
9. **Section 14-A(3), By-law No. 7625**  
The minimum required lot area is 371.00m<sup>2</sup>.  
The proposed lot area is 222.97m<sup>2</sup>.
10. **Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.70% of the lot area.
11. **Section 14-A(4), By-law No. 7625**  
The minimum required lot frontage is 12.00m.  
The proposed lot frontage is 6.10m.
12. **Section 6(8), By-law No. 7625**  
The minimum lot width is not to be less than the lot frontage: 12.00m.  
The proposed lot width is 6.10m.
13. **Section 14-A(5)c, By-law No. 7625**  
The minimum required side yard setback is 1.20m.  
The proposed west side yard setback is 0.45m.
14. **Section 14-A(5)c, By-law No. 7625**  
The minimum required side yard setback is 1.20m.  
The proposed east side yard setback is 0.90m.
15. **Section 14-A(8), By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is **9.80m**.
16. **Section 14-A(8), By-law No. 7625**  
The maximum permitted number of storeys is two.  
The proposed number of storeys is three.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.40.10.(1) A), By-law No. 569-2013**  
The maximum permitted height of a building is 10.00m.  
The proposed height of the building is 10.20m.

2. **Chapter 10.20.40.70.(3) C), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed west side yard setback is 0.45m.
3. **Chapter 10.20.40.70.(3) C), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed east side yard setback is 0.90m.
4. **Chapter 10.20.40.10.(3) A), By-law No. 569-2013**  
The maximum permitted number of storeys is two.  
The proposed number of storeys is three.
5. **Chapter 10.20.30.10.(1) A), By-law No. 569-2013**  
The minimum required lot area is 370.00m<sup>2</sup>.  
The proposed lot area is 222.97m<sup>2</sup>.
6. **Chapter 10.20.30.20.(1) A), By-law No. 569-2013**  
The minimum required lot frontage is 12.00m.  
The proposed lot frontage is 6.10m.
7. **Chapter 10.20.30.40.(1), A), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area: 66.89m<sup>2</sup>.  
The proposed lot coverage is 31.70% of the lot area: 70.66m<sup>2</sup>.
9. **Section 14-A(3), By-law No. 7625**  
The minimum required lot area is 371.00m<sup>2</sup>.  
The proposed lot area is 222.97m<sup>2</sup>.
10. **Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.70% of the lot area.
11. **Section 14-A(4), By-law No. 7625**  
The minimum required lot frontage is 12.00m.  
The proposed lot frontage is 6.10m.
12. **Section 6(8), By-law No. 7625**  
The minimum lot width is not to be less than the lot frontage: 12.00m.  
The proposed lot width is 6.10m.
13. **Section 14-A(5)c, By-law No. 7625**  
The minimum required side yard setback is 1.20m.  
The proposed west side yard setback is 0.45m.
14. **Section 14-A(5)c, By-law No. 7625**  
The minimum required side yard setback is 1.20m.  
The proposed east side yard setback is 0.90m.
15. **Section 14-A(8), By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is **9.80m**.

**16. Section 14-A(8), By-law No. 7625**

The maximum permitted number of storeys is two.

The proposed number of storeys is three.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

**8. Chapter 10.20.40.10.(2) B(ii), By-law No. 569-2013**

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is **8.00m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.



**SIGNATURE PAGE**

File Number:	A0221/17NY	Zoning	RD (x1463)/ R6(20) [ZZC]
Owner:	SHAHIN FARD-SABERI	Ward:	Eglinton-Lawrence (16)
Agent:	NAZANIN MIRAHMADI	Heritage:	Not Applicable
Property Address:	<b>588 WOBURN AVE</b>	Community:	North York
Legal Description:	PLAN M108 LOTS 228 AND 229		

---

Bruce Mullock (signed)

---

Derek Lett (signed)

---

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0222/17NY	Zoning	RD / R6(20) (ZW)
Owner(s):	CALOGERO BANCHERI	Ward:	Eglinton-Lawrence (16)
Agent:	NETTHAUS DESIGN-BUILD	Heritage:	Not Applicable
Property Address:	<b>49 CARMICHAEL AVE</b>	Community:	North York
Legal Description:	PLAN 1669 E PT LOT 7		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with attached garage. The existing dwelling is to be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40, By-law No. 569-2013**  
The permitted maximum lot coverage is 30% of the lot area.  
The proposed lot coverage is 34.75% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m for 100.00% of the main wall width.  
The proposed height of the side exterior main walls is 9.1 m for **15.00%** of the main wall width.
- 3. Chapter 10.20.40.10, By-law No. 569-2013**  
The permitted maximum height of the first floor elevation above established grade is 1.2 m.  
The proposed first floor height is 1.49 m.
- 4. Section 14-A(6), By-Law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 34.75% of the lot area.
- 5. Section 14-A(8), By-Law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.1 m.
- 6. Section 6(3), By-Law No. 7625**  
The maximum permitted height of the first floor above centre of the road is 1.5 m.

The proposed first floor height above the centre of the road is 1.79 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m for 100.00% of the main wall width.  
The proposed height of the side exterior main walls is 9.1 m for **15.00%** of the main wall width.
- 3. Chapter 10.20.40.10, By-law No. 569-2013**  
The permitted maximum height of the first floor elevation above established grade is 1.2 m.  
The proposed first floor height is 1.49 m.
- 5. Section 14-A(8), By-Law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.1 m.
- 6. Section 6(3), By-Law No. 7625**  
The maximum permitted height of the first floor above centre of the road is 1.5 m.  
The proposed first floor height above the centre of the road is 1.79 m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

- 1. Chapter 10.20.30.40, By-law No. 569-2013**  
The permitted maximum lot coverage is 30% of the lot area.  
The proposed lot coverage is **32.00%** of the lot area.
- 4. Section 14-A(6), By-Law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is **32.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0222/17NY	Zoning	RD / R6(20) (ZW)
Owner:	CALOGERO BANCHERI	Ward:	Eglinton-Lawrence (16)
Agent:	NETTHAUS DESIGN-BUILD	Heritage:	Not Applicable
Property Address:	<b>49 CARMICHAEL AVE</b>	Community:	North York
Legal Description:	PLAN 1669 E PT LOT 7		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0223/17NY	Zoning	RD/R3 [ZZC]
Owner(s):	ELIO VALENTE ELSA VALENTE	Ward:	Willowdale (24)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	<b>8 CADMUS RD</b>	Community:	North York
Legal Description:	PLAN 4147 LOT 6		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **31.54%** of the lot area.
- 2. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**  
The minimum required front yard setback is 8.05m.  
The proposed front yard setback is 6.83m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is **17.20m**.
- 4. Chapter 10.20.40.30.(1), By-law No. 569-2013**  
The maximum permitted building depth is 19.00m.  
The proposed building depth is **20.85m**.
- 5. Section 12.6, By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **31.54%** of the lot area.
- 6. Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.80m.

The proposed building length is **22.05m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.



**SIGNATURE PAGE**

File Number:	A0223/17NY	Zoning	RD/R3 [ZZC]
Owner:	ELIO VALENTE ELSA VALENTE	Ward:	Willowdale (24)
Agent:	ANDREW DEANE	Heritage:	Not Applicable
Property Address:	<b>8 CADMUS RD</b>	Community:	North York
Legal Description:	PLAN 4147 LOT 6		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0224/17NY	Zoning	RM/R2[ZONING]
Owner(s):	LALEH LADJEVARDI	Ward:	Eglinton-Lawrence (15)
Agent:	TONY VALENTIN DESIGN	Heritage:	Not Applicable
Property Address:	<b>228 CEDRIC AVE</b>	Community:	York
Legal Description:	PLAN 1636 PT LOT 84		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a two-storey rear addition and a deck to the existing one-storey dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.80.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.0m.  
The proposed building length is 17.68m.
- 2. Section 3.(a), By-law No. 1-83**  
The minimum required side yard setback is 0.5m.  
The proposed south side yard setback is 0.08m.
- 3. Section 3.(a), By-law No. 1-83**  
The minimum side yard setback is 1.2m.  
The proposed north side yard setback is 0.45m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

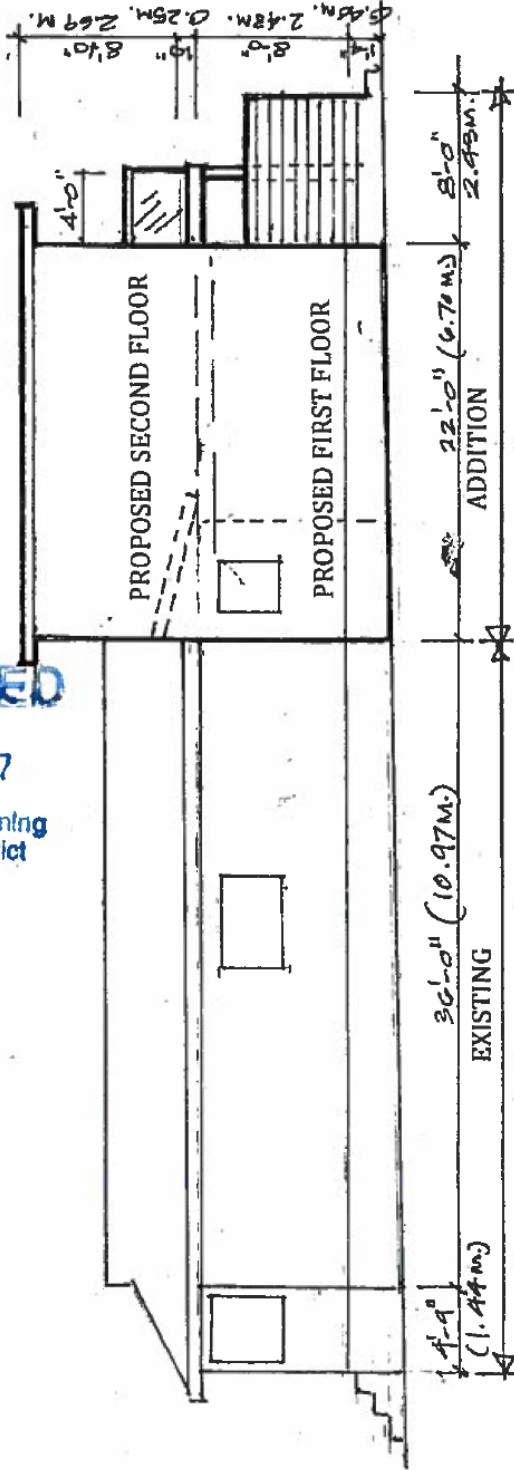
This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
3. The property being developed essentially in accordance with the north elevation attached to this decision. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

RECEIVED

MAY 03 2017

Toronto City Planning  
North York District



**NORTH ELEVATION**

	PLANNING & DESIGN CONSULTANTS 1 WALLACE STREET EAST SUITE 201 TORONTO, ONTARIO M4W 1H7 TEL: 416-924-9300 FAX: 416-924-9301 WWW.TVANDP.COM	PROJECT: <b>PROPOSED 2-STORY REAR ADDITION          228 CEDRIC AVE.</b>		NO. _____ DATE _____ BY _____
		DRAWING NO. <b>A4</b>	DESIGNED BY _____ CHECKED BY _____ DATE _____ SCALE: AS SHOWN	NO. _____ DATE _____ BY _____

**SIGNATURE PAGE**

File Number:	A0224/17NY	Zoning	RM/R2[ZONING]
Owner:	LALEH LADJEVARDI	Ward:	Eglinton-Lawrence (15)
Agent:	TONY VALENTIN DESIGN	Heritage:	Not Applicable
Property Address:	<b>228 CEDRIC AVE</b>	Community:	York
Legal Description:	PLAN 1636 PT LOT 84		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0225/17NY	Zoning	RD (x5)/ R4 [ZR]
Owner(s):	LEYLA DIDARI DARYUSH BAGHERZADEH	Ward:	York Centre (10)
Agent:	HA D DESIGN PROJECT MANAGEMENT	Heritage:	Not Applicable
Property Address:	<b>26 VERWOOD AVE</b>	Community:	North York
Legal Description:	PLAN 2693 LOT 307 TO 308		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 34.40% of the lot area.
- 2. Chapter 10.20.40.10(2)(B)(ii), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main walls facing a side lot line is 8.23m.
- 3. Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.21m.
- 4. Section 6(30)a, By-law No. 7625**  
The maximum permitted finished first floor height is 1.50m.  
The proposed finished first floor height is 1.64m.
- 5. Section 6(24), By-law No. 7625**  
The maximum projection of an unexcavated deck in the rear is 2.10m from the wall if it is greater than 1.00m above the ground.  
The proposed deck is 3.05m from the wall.



The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

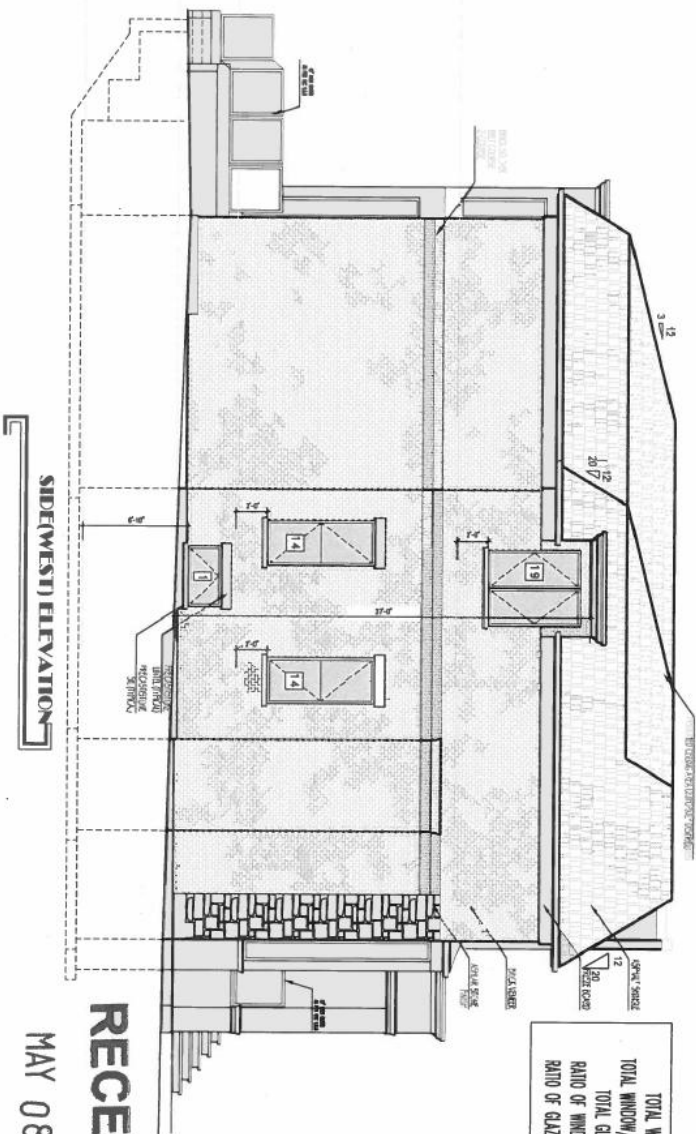
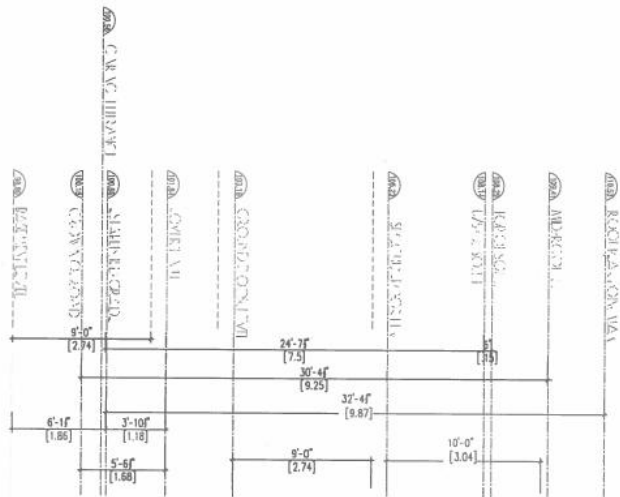
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the west elevation drawing submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, May 8, 2017.



TOTAL WALL AREA: 1178 SQFT  
 TOTAL WINDOW/DOOR AREA: 81 SQFT  
 TOTAL GLAZING AREA: 73 SQFT  
 RATIO OF WINDOW TO WALL : 6.87%  
 RATIO OF GLAZING TO WALL : 6.15%

**RECEIVED**

MAY 08 2017

Toronto City Planning  
 North York District

**HAND**

**HAND**  
 Design+Project Management  
 Registered Designer Firm BCN 43216  
 647 286 9538 hand@handeu.com  
 www.handeu.com info@handeu.com

26 VERWOOD AVE  
 PROJECT TITLE  
 SIDE (WEST) ELEVATION  
 DRAWING TITLE

NO.	DATE	REVISION
1	2017.04.27	DESIGN FOR CON. APPROVAL

26-1090  
 100%  
 A-109  
 100%  
 1/18/17

**GENERAL NOTES :**  
 1. THESE DRAWINGS ARE THE PROPERTY OF H.A.D. DESIGN + PROJECT MANAGEMENT AND MAY NOT BE REPRODUCED OR COPIED WITHOUT PERMISSION.  
 2. DO NOT SCALE DRAWINGS.  
 3. THESE DRAWINGS ARE FOR PRELIMINARY REVIEW ONLY. THE CLIENT SHOULD CHECK ALL APPLICABLE BY-LAWS AND REGULATIONS TO BE REMITTED TO THE DESIGNER.

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS OF THE BUILDING CODE TO BE A DESIGNER.

**QUALIFICATION INFORMATION**  
 REGISTERED ARCHITECT OR ENGINEER UNDER THE REGULATION OF THE BUILDING CODE.

NAME: HAN MENDOZA-JAYAR  
 SIGNATURE: [Signature]  
 BCN/DESIGN: 42316

REGISTRATION INFORMATION  
 REGISTERED ARCHITECT OR ENGINEER UNDER THE REGULATION OF THE BUILDING CODE.

FIRM NAME: H.A.D. DESIGN + PROJECT MANAGEMENT  
 BCN/DESIGN: 42316

**SIGNATURE PAGE**

File Number:	A0225/17NY	Zoning	RD (x5)/ R4 [ZR]
Owner:	LEYLA DIDARI DARYUSH BAGHERZADEH	Ward:	York Centre (10)
Agent:	HA D DESIGN PROJECT MANAGEMENT	Heritage:	Not Applicable
Property Address:	<b>26 VERWOOD AVE</b>	Community:	North York
Legal Description:	PLAN 2693 LOT 307 TO 308		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0226/17NY	Zoning	
Owner(s):	GEORGIA KONIDITSIOTIS	Ward:	Eglinton-Lawrence (16)
Agent:	FIRST STEP DESIGN	Heritage:	Not Applicable
Property Address:	<b>70 GILGORM RD</b>	Community:	Toronto
Legal Description:	PLAN 1044 PT LOT 19		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with attach garage. The existing dwelling is to be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.60.(1)(X 1419)(C), By-law No. 569-2013**  
Despite regulation 10.5.40.60.(1) in a front yard or rear yard, a platform with a floor higher than their first floor of the building above established grade may not encroach into the required front yard or rear yard setback.  
The proposed front and rear decks project into required setbacks.
- 2. Chapter 10.20.40.10.(4), By-law No. 569-2013**  
The permitted maximum height is 7.2 m.  
The proposed height is 9.05 m.
- 3. Chapter 10.20.40.10.(4), By-law No. 569-2013**  
The permitted maximum number of storeys is two (2).  
The proposed number of storeys is three (3).
- 4. Chapter 10.20.40.10.(6), By-law No. 569-2013**  
The permitted maximum height of the first floor above established grade is 1.2 m.  
The proposed height of the first floor above established grade is less than 1.2 m, however only 1.08 m<sup>2</sup> of that area is within 4m of the main front wall and the required is 10 m<sup>2</sup>.
- 5. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The permitted maximum floor space index is 0.6 times the area of the lot.  
The proposed floor space index is **0.98** times the area of the lot.

- 6. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The required minimum side yard setback is 0.9 m.  
The proposed north side yard setback is **0.60 m**.
- 7. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The required minimum side yard setback is 0.9 m.  
The proposed south side yard setback is 0.6 m.
- 8. Section 6(3) Part I 1, By-law No.438-86**  
The by-law limits the residential gross floor area in an area zoned R1 Z0.6 to 0.6 times the area of the lot:  
183.12 m<sup>2</sup>.  
The proposed residential gross floor area of the building **299.96 m<sup>2</sup>**.
- 9. Section 6(3) Part II 3.B(II), By-law No.438-86**  
A detached house in a R1 district must have a minimum side lot line setback of 0.9 m for that portion of the building not exceeding 17.0 m in depth.  
The proposed north side lot line setback is 0.45 m.
- 10. Section 6(3) Part II 3.B(II), By-law No.438-86**  
A detached house in a R1 district must have a minimum side lot line setback of 0.9 m for that portion of the building not exceeding 17.0 m in depth.  
The proposed south side lot line setback is 0.6 m.
- 11. Section 6(3) Part II 3.B(II), By-law No.438-86**  
A detached house in a R1 district must have a minimum side lot line setback of 7.5 m for that portion of the building exceeding 17.0 m in depth.  
The proposed north side lot line setback is **0.60 m** for the 0.54 m exceeding the 17 m depth.
- 12. Section 6(3) Part II 3.B(II), By-law No.438-86**  
A detached house in a R1 district must have a minimum side lot line setback of 7.5 m for that portion of the building exceeding 17.0 m in depth.  
The proposed south side lot line setback is 0.6 m for the 0.54 m exceeding the 17 m depth.
- 13. Section 6(3) Part II 8 D(I), By-law No.438-86**  
The by-law limits the height of a platform which projects into the required setbacks to a maximum of 1.2 m above grade.  
There proposed rear deck is 2.99 m above grade.
- 14. Section 6(3) Part II 8 D(I), By-law No.438-86**  
The by-law limits the height of a platform which projects into the required setbacks to a maximum of 1.2 m above grade.  
There proposed front porch is 1.7 m above grade.
- 15. Section 6(3) Part II 8 D, By-law No.438-86**  
The by-law limits the projection of a platform into the required setbacks to a maximum of 2.5 m from the front wall.  
The proposed uncovered platform projects **3.56 m** from the front wall.
- 16. Section 4(2), By-law No.438-86**  
The maximum permitted height is 9 m.  
The proposed height is 9.4 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0226/17NY	Zoning	
Owner:	GEORGIA KONIDITSIOTIS	Ward:	Eglinton-Lawrence (16)
Agent:	FIRST STEP DESIGN	Heritage:	Not Applicable
Property Address:	<b>70 GILGORM RD</b>	Community:	Toronto
Legal Description:	PLAN 1044 PT LOT 19		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0227/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	SASHI KANTA DUGALIC MATTHEW MATO DUGALIC	Ward:	Willowdale (23)
Agent:	STEVEN LINDY	Heritage:	Not Applicable
Property Address:	<b>241 POYNTZ AVE</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 715 PT LOT 714		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling and detached garage. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.80.40.(3), By-law No. 569-2013**  
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.  
The proposed vehicle access to a parking is from the front yard.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main walls facing a side lot line is 7.67m.
- 3. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.22m.
- 4. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.19m.
- 5. Section 13.2.1, By-law No. 7625**  
The minimum required lot frontage is 15.00m.  
The existing lot frontage is 12.14m.
- 6. Section 13.2.2, By-law No. 7625**

The minimum required lot area is 550.00m<sup>2</sup>.  
The existing lot area is 409.10m<sup>2</sup>.

**7. Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.22m.

**8. Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 0.846m (side bay windows are not a permitted projection into a required side yard setback).

**9. Section 13.2.6, By-law No. 7625**

The maximum permitted building height is 8.80m.  
The proposed building height is **9.20m**.

**10. Section 6(30), By-law No. 7625**

The maximum permitted finished first floor height is 1.50m.  
The proposed finished first floor height is 1.56m.

**11. Section 6(8), By-law No. 7625**

The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed; 15.00m.  
The existing lot width is 12.14m.

**12. Section 6(24), By-law No. 7625**

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling and must not exceed 56.00m<sup>2</sup> or 5.00% of the lot area.  
The proposed rear deck projects 4.8533m from the rear wall, is greater than 1.00m in height and is 0.66 times the width of the dwelling.

**13. Section 13.2.4, By-law No. 7625**

The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **32.00%** of the lot area (including the rear detached garage).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

**1. Chapter 10.5.80.40.(3), By-law No. 569-2013**

Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.  
The proposed vehicle access to a parking is from the front yard.

**2. Chapter 10.20.40.10.(2), By-law No. 569-2013**

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main walls facing a side lot line is 7.67m.

**3. Chapter 900.3.10.(5), By-law No. 569-2013**

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.19m.

**5. Section 13.2.1, By-law No. 7625**

The minimum required lot frontage is 15.00m.

The existing lot frontage is 12.14m.

**6. Section 13.2.2, By-law No. 7625**

The minimum required lot area is 550.00m<sup>2</sup>.

The existing lot area is 409.10m<sup>2</sup>.

**8. Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 0.846m (side bay windows are not a permitted projection into a required side yard setback).

**9. Section 13.2.6, By-law No. 7625**

The maximum permitted building height is 8.80m.

The proposed building height is **9.20m**.

**10. Section 6(30), By-law No. 7625**

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.56m.

**11. Section 6(8), By-law No. 7625**

The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed; 15.00m.

The existing lot width is 12.14m.

**12. Section 6(24), By-law No. 7625**

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling and must not exceed 56.00m<sup>2</sup> or 5.00% of the lot area.

The proposed rear deck projects 4.8533m from the rear wall, is greater than 1.00m in height and is 0.66 times the width of the dwelling.

**13. Section 13.2.4, By-law No. 7625**

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **32.00%** of the lot area (including the rear detached garage).

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

**4. Chapter 900.3.10.(5), By-law No. 569-2013**

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is **1.50m**.

**7. Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is **1.50m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

**SIGNATURE PAGE**

File Number:	A0227/17NY	Zoning	RD/R4 [ZZC]
Owner:	SASHI KANTA DUGALIC MATTHEW MATO DUGALIC	Ward:	Willowdale (23)
Agent:	STEVEN LINDY	Heritage:	Not Applicable
Property Address:	<b>241 POYNTZ AVE</b>	Community:	North York
Legal Description:	PLAN 1743 LOT 715 PT LOT 714		

---

Bruce Mullock (signed)

---

Derek Lett (signed)

---

Isaac Lallouz (signed)

---

Nadini Sankar (signed)

---

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0228/17NY	Zoning	R2 Z0.6/R (f7.5; d0.6) x933[ZONING]
Owner(s):	MAHENDRANATH MOHARIR MADHAVI MOHARIR	Ward:	Don Valley West (25)
Agent:	SETLESS ARCHITECTURE	Heritage:	Not Applicable
Property Address:	<b>145 RANLEIGH AVE</b>	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 295		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the first floor must be within 4.00m of the front main wall.  
The first floor area within 4.00m of the front main wall is 4.02m<sup>2</sup>.
- Chapter 10.5.50.10.(1), By-law No. 569-2013**  
The minimum required front yard soft landscaping area is 75.00%.  
The proposed front yard soft landscaping area is 63.10%.
- Chapter 10.10.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main walls facing a side lot line is 9.99m.
- Chapter 10.10.40.30.(1), By-law No. 569-2013**  
The maximum permitted building depth is 17.00m.  
The proposed building depth is 20.14m.
- Chapter 10.10.40.40.(1), By-law No. 569-2013**  
The maximum permitted Floor Space Index is 0.60 times the area of the lot.  
The proposed Floor Space Index is 0.65 times the area of the lot.
- Chapter 10.10.40.70.(4), By-law No. 569-2013**  
The minimum required side yard setback is 0.45m.



The proposed east side yard setback is 0.34m.

**7. Section 6(3) Part I 1, By-law No. 438-86**

The maximum permitted Gross Floor Area is 0.60 times the area of the lot.  
The proposed Gross Floor Area is 0.65 times the area of the lot.

**8. Section 6(3) Part II 3.B(I), By-law No. 438-86**

The minimum required east side lot line setback not exceeding 17.00m in depth where the side walls contain no openings is 0.45m.  
The proposed east side lot line setback is 0.34m.

**9. Section 6(3) Part II 3.B(II), By-law No. 438-86**

The minimum required side lot line setback for that portion of the building exceeding 17.00m in depth is 7.50m.  
The proposed east side lot line setback is 0.34m.

**10. Section 6(3) Part II 3.B(II), By-law No. 438-86**

The minimum required side lot line setback for that portion of the building exceeding 17.00m in depth is 7.50m.  
The proposed west side lot line setback is 1.54m.

**11. Section 4(2), By-law No. 438-86**

The maximum permitted building height is 10.00m.  
The proposed building height is 10.15m.

**12. Section 6(3) Part III 3(d)i(D), By-law No. 438-86**

The minimum required soft landscaped open space in the front yard is 75.00%.  
The proposed soft landscaped open space is 63.10%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposed driveway be constructed with a central landscaped strip and permeable pavers.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

## SIGNATURE PAGE

File Number:	A0228/17NY	Zoning	R2 Z0.6/R (f7.5; d0.6) x933[ZONING]
Owner:	MAHENDRANATH MOHARIR MADHAVI MOHARIR	Ward:	Don Valley West (25)
Agent:	SETLESS ARCHITECTURE	Heritage:	Not Applicable
Property Address:	<b>145 RANLEIGH AVE</b>	Community:	Toronto
Legal Description:	PLAN M260 PT LOT		

---

Nazila Atarodi (signed)

---

Derek Lett (signed)

---

Isaac Lallouz (signed)

---

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0236/17NY	Zoning	
Owner(s):	WILLIAM WISEMAN ROSEMARY WISEMAN	Ward:	Don Valley West (25)
Agent:	F&A ASSOCIATES	Heritage:	Not Applicable
Property Address:	<b>57 ADDISON CRES</b>	Community:	North York
Legal Description:	PLAN 4378 LOT 34		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The construct a new two-storey dwelling. The existing building would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40, By-law No. 569-2013**  
The maximum permitted lot coverage is 25.00% of the lot area.  
The proposed lot coverage is **28.00%** of the lot area.
- 2. Chapter 10.20.40.70, By-law No. 569-2013**  
The minimum required front yard setback is 9.10m.  
The proposed front yard setback is 8.20m.
- 3. Section 14.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 25.00% of the lot area.  
The proposed lot coverage is **28.00%** of the lot area.
- 4. Section 14.2.6, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.1m.
- 5. Section 6(30), By-law No. 7625**  
The maximum permitted height of the finished first floor is 1.50m.  
The proposed finished first floor height is 1.61m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 10.20.40.70, By-law No. 569-2013**  
The minimum required front yard setback is 9.10m.  
The proposed front yard setback is 8.20m.
4. **Section 14.2.6, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.1m.
5. **Section 6(30), By-law No. 7625**  
The maximum permitted height of the finished first floor is 1.50m.  
The proposed finished first floor height is 1.61m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 10.20.30.40, By-law No. 569-2013**  
The maximum permitted lot coverage is 25.00% of the lot area.  
The proposed lot coverage is **28.00%** of the lot area.
3. **Section 14.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 25.00% of the lot area.  
The proposed lot coverage is **28.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0236/17NY	Zoning	
Owner:	WILLIAM WISEMAN ROSEMARY WISEMAN	Ward:	Don Valley West (25)
Agent:	F&A ASSOCIATES	Heritage:	Not Applicable
Property Address:	<b>57 ADDISON CRES</b>	Community:	North York
Legal Description:	PLAN 4378 LOT 34		

---

Bruce Mullock (signed)

---

Derek Lett (signed)

---

Isaac Lallouz (signed)

---

Nadini Sankar (signed)

---

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0237/17NY	Zoning	R / R2 Z0.6 (ZR)
Owner(s):	MOHSEN MOVASEGHI	Ward:	Don Valley West (25)
Agent:	F&A ASSOCIATES	Heritage:	Not Applicable
Property Address:	<b>177 RANLEIGH AVE</b>	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 300		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.10, By-law No. 569-2013**  
A minimum of 10.0 m<sup>2</sup> of the first floor must be within 4.0 m of the front main wall.  
The proposed first floor within 4 m of the front main wall is 1.2 m<sup>2</sup>.
- 2. Chapter 10.10.40.10.(2), By-law No. 569-2013**  
There permitted maximum height of all side exterior walls facing a side lot line is 7.50 m.  
The proposed height of the side exterior main walls facing a side lot line is 7.70 m.
- 3. Chapter 10.10.40.40.(1), By-law No. 569-2013**  
The permitted maximum floor space index is 0.6 times area of the lot.  
The proposed floor space index is 0.81 times the area of the lot.
- 4. Chapter 10.10.80.40.(1), By-law No. 569-2013**  
Vehicle entrances though the front main wall of the building are permitted provided the lot has a minimum frontage of 7.6 m  
The existing lot frontage is 5.31 m.
- 5. Section 6(3), By-law No. 438-86**  
The permitted maximum floor space index is 0.6 times area of the lot.  
The proposed floor space index is 0.81 times the area of the lot.
- 6. Section 6(3) Part II 3(II), By-law No. 438-86**



A proposed building may not be closer than 1.2 m to the portion of the side wall of an adjacent building that contains opening or 0.9 m to the portion of the side wall of an adjacent building that doesn't contain openings.

The proposed building is located 0.72 m from the adjacent west building.

**7. Section 6(3) Part IV 3(I), By-law No. 438-86**

An integral garage is not permitted on a lot having a frontage of less than 7.62 m where access to the garage is located in a wall facing the front lot line.

The proposed integral garage is in a wall that faces the front lot line.

**8. Section 6(3) Part IV 3(II), By-law No. 438-86**

An integral garage is not permitted in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line.

The proposed integral garage is below grade.

**9. Section 6(3) Part II 8 D(I), By-law No. 438-86**

An uncovered platform which projects into the required setbacks may not exceed a maximum of 1.2 m above grade.

The proposed rear deck height is 1.30 m above grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0237/17NY	Zoning	R / R2 Z0.6 (ZR)
Owner:	MOHSEN MOVASEGHI	Ward:	Don Valley West (25)
Agent:	F&A ASSOCIATES	Heritage:	Not Applicable
Property Address:	<b>177 RANLEIGH AVE</b>	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 300		

---

Bruce Mullock (signed)

---

Nazila Atarodi (signed)

---

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0238/17NY	Zoning	R / R2
Owner(s):	2542751 ONTARIO LIMITED	Ward:	Don Valley West (25)
Agent:	F&A ASSOCIATES	Heritage:	Not Applicable
Property Address:	<b>175 RANLEIGH AVE</b>	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 300		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new semi-detached dwelling with attached garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.10, By-law No. 569-2013**  
A minimum of 10.0 m<sup>2</sup> of first floor must be within 4.0 m of the front main wall.  
The proposed first floor within 4 metres of the front main wall is 1.2 m<sup>2</sup>.
- 2. Chapter 10.10.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.  
The proposed height of the side exterior main wall facing a side lot line is 7.7 m.
- 3. Chapter 10.10.40.40.(1), By-law No. 569-2013**  
The permitted maximum floor space index is 0.6 times the area of the lot.  
The proposed floor space index is **0.75** times the area of the lot.
- 4. Chapter 10.10.80.40.(1), By-law No. 569-2013**  
Vehicle entrances through the first main wall of the building are permitted provided the lot has a minimum frontage of 7.6 m  
The existing lot frontage is 5.49 m.
- 5. Section 6(3) Part I 1, By-law No. 438-86**  
The permitted maximum floor space index is 0.6 times the area of the lot.  
The proposed floor space index is **0.75** times the area of the lot.
- 6. Section 6(3) Part II 3 (II), By-law No. 438-86**

The proposed building must not be located any closer than 1.2 m to the portion of the side wall of an adjacent building that contains openings or 0.9 m to the portion of the side wall of an adjacent building that doesn't contain opening.

The proposed building is located 0.72 m from the adjacent west building.

**7. Section 6(3) Part II 8 D(I), By-law No. 438-86**

The maximum permitted height of an uncovered platform which projects into the required setbacks to a maximum of 1.2 m above grade.

The proposed rear deck is 1.30 m above the grade.

**8. Section 6(3) Part IV 3(I), By-law No. 438-86**

An integral garage in a building on a lot having a frontage of less than 7.62, where access to the garage is located in a wall facing the front lot line is not permitted.

The proposed integral garage is in a wall that faces the front lot line.

**9. Section 6(3) Part IV 3 (II), By-law No. 438-86**

An integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line.

The proposed integral garage is below grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The proposed driveway maintains a positive slope from the street to the entry of the integral garage.

## SIGNATURE PAGE

File Number:	A0238/17NY	Zoning	R / R2
Owner:	2542751 ONTARIO LIMITED	Ward:	Don Valley West (25)
Agent:	F&A ASSOCIATES	Heritage:	Not Applicable
Property Address:	<b>175 RANLEIGH AVE</b>	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 300		

---

Nazila Atarodi (signed)

---

Derek Lett (signed)

---

Isaac Lallouz (signed)

---

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0239/17NY	Zoning	RS(f18.0)(x222)/RM2(11)[Z ONING]
Owner(s):	LIGIA SAATGIAN ARTHUR MIHAI SAATGIAN	Ward:	Don Valley West (25)
Agent:	LIGIA SAATGIAN	Heritage:	Not Applicable
Property Address:	<b>3 VEERY PL</b>	Community:	North York
Legal Description:	PLAN 4545 E PT LOT 193 W PT LOT 194		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a three-storey side addition on the west portion of the existing two-storey dwelling, including an integral garage. The existing carport would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.40.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.1% of the lot area.
- 2. Chapter 10.40.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.5m  
The proposed west side yard setback is 0.92m.
- 3. Chapter 10.40.40.10.(3), By-law No. 569-2013**  
The maximum permitted number of storeys is 2.  
The proposed number of storeys is 3.
- 4. Section 17(4)(d), By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.1% of the lot area.
- 5. Section 17(3)(c)(ii), By-law No. 7625**  
The minimum required side yard setback is 1.5m  
The proposed west side yard setback is 0.92m.



**6. Section 17(4)(e), By-law No. 7625**

The maximum permitted number of storeys is 2.

The proposed number of storeys is 3.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. That the size of the floor area within the third storey be limited to 10.50 square metres.

**SIGNATURE PAGE**

File Number:	A0239/17NY	Zoning	RS(f18.0)(x222)/RM2(11)[Z ONING]
Owner:	LIGIA SAATGIAN ARTHUR MIHAI SAATGIAN	Ward:	Don Valley West (25)
Agent:	LIGIA SAATGIAN	Heritage:	Not Applicable
Property Address:	<b>3 VEERY PL</b>	Community:	North York
Legal Description:	PLAN 4545 E PT LOT 193 W PT LOT 194		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0241/17NY	Zoning	RD (f15.0; a550) (x5)/ R3 [PPR]
Owner(s):	GEORGE RYAN ROBINSON LEA JOEL LEDOHOWSKI	Ward:	Don Valley West (25)
Agent:	RE PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	<b>447 BLYTHWOOD RD</b>	Community:	North York
Legal Description:	CON 1 EYS PT LOT 3 AND PLAN 205 PT LOT 15		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.20.(4) A), By-law No. 569-2013**  
The maximum permitted height of a building is 7.20m.  
The proposed height of the building is **8.77m**.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is 17.44m.
- 3. Chapter 10.20.40.50.(1) B), By-law No. 569-2013**  
The maximum permitted area of each platform at or above the second storey of a detached house is 4.00m<sup>2</sup>.  
The proposed area of balcony 1 is **7.70m<sup>2</sup>**.
- 4. Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 17.44m.
- 5. Section 12.7, By-law No. 7625**  
The maximum permitted building height is 8.00m.  
The proposed building height is **8.96m**.
- 6. Section 12.7A, By-law No. 7625**

The maximum permitted balcony area is 3.80m<sup>2</sup>.  
The proposed area of balcony 1 is **7.70m<sup>2</sup>**.

**7. Section 6(24), By-law No. 7625**

The maximum width of an unexcavated deck in the rear that projects less than 2.10m from the wall and is greater than 1.00m above adjacent ground is 50.00% of the width of the dwelling.  
The proposed deck is 75.00% of the width of the dwelling.

**8. Section 6(9)(j), By-law No. 7625**

The maximum permitted area of a canopy in a side yard is 2.30m<sup>2</sup>.  
The proposed canopy is 10.22m<sup>2</sup>.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0241/17NY	Zoning	RD (f15.0; a550) (x5)/ R3 [PPR]
Owner:	GEORGE RYAN ROBINSON LEA JOEL LEDOHOWSKI	Ward:	Don Valley West (25)
Agent:	RE PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	<b>447 BLYTHWOOD RD</b>	Community:	North York
Legal Description:	CON 1 EYS PT LOT 3 AND PLAN 205 PT LOT 15		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0242/17NY	Zoning	RS / RM2 (ZR)
Owner(s):	NICOLE BAKER DAVID KIRBY	Ward:	Don Valley West (25)
Agent:	ARCHITECTS LUC BOULIANE	Heritage:	Not Applicable
Property Address:	<b>33 VEERY PL</b>	Community:	North York
Legal Description:	PLAN 4545 E PT LOT 186 PLAN 4638 W PT LOT 477		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new front yard addition and rear yard addition to the existing house and new accessory structure in the rear.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.40.40.70.(1), By-law No. 569-2013**  
The required minimum front yard setback is 10.87 m.  
The proposed front yard setback is 8.7 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.



**SIGNATURE PAGE**

File Number:	A0242/17NY	Zoning	RS / RM2 (ZR)
Owner:	NICOLE BAKER DAVID KIRBY	Ward:	Don Valley West (25)
Agent:	ARCHITECTS LUC BOULIANE	Heritage:	Not Applicable
Property Address:	<b>33 VEERY PL</b>	Community:	North York
Legal Description:	PLAN 4545 E PT LOT 186 PLAN 4638 W PT LOT 477		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0243/17NY	Zoning	RD/ R4 [ZZC]
Owner(s):	REBECCA ZENDEL SHAI BERLINER	Ward:	Eglinton-Lawrence (15)
Agent:	DAVID LASERSON	Heritage:	Not Applicable
Property Address:	<b>292 HILLHURST BLVD</b>	Community:	North York
Legal Description:	PLAN 1462 L 47		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a one-storey rear addition and a second-storey rear addition with interior alterations and a new deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is **35.00%** of the lot area.  
The proposed lot coverage including part of the deck is **42.60%** of the lot area.
- 2. Chapter 900 Exception (5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 0.94m.
- 3. Chapter 900 Exception (5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 0.94m.
- 4. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 0.93m.
- 5. Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is **35.00%** of the lot area.  
The proposed lot coverage is **42.60%** of the lot area.
- 6. Section 13.2.5A, By-law No. 7625**  
The maximum permitted building length is 16.80m.

The proposed building length is 19.28m.

**7. Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 0.93m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The property being developed essentially in accordance with the site plan attached to this decision dated February 25, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



**SIGNATURE PAGE**

File Number:	A0243/17NY	Zoning	RD/ R4 [ZZC]
Owner:	REBECCA ZENDEL SHAI BERLINER	Ward:	Eglinton-Lawrence (15)
Agent:	DAVID LASERSON	Heritage:	Not Applicable
Property Address:	<b>292 HILLHURST BLVD</b>	Community:	North York
Legal Description:	PLAN 1462 L 47		

---

Bruce Mullock (signed)

---

Derek Lett (signed)

---

Isaac Lallouz (signed)

---

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0244/17NY	Zoning	RD / R6 (ZR)
Owner(s):	LAURA TOMASICCHIO ANGELITA ADRIANA PAGLIARO	Ward:	York Centre (10)
Agent:	ANGELITA ADRIANA PAGLIARO	Heritage:	Not Applicable
Property Address:	<b>7 MARCHWOOD DR</b>	Community:	North York
Legal Description:	PLAN 1841 LOT 324		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 900 (5), By-law No. 569-2013**  
The minimum required side yard setback is 1.8 m.  
The proposed north side yard setback is 1.517 m.
- 2. Chapter 900 (5), By-law No. 569-2013**  
The minimum required side yard setback is 1.8 m.  
The proposed south side yard setback is 1.521 m.
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is **30.00%** of the lot area.  
The proposed lot coverage is 30.28% of the lot area.
- 4. Chapter 10.20.40.20.(2), By-law No. 569-2013**  
The permitted maximum building length is 17.0 m.  
The proposed building length is 20.180 m.
- 5. Chapter 10.20.40.20.(2), By-law No. 569-2013**  
The permitted maximum depth of a building is 19.0 m.  
There proposed depth of the building is 20.180 m.



- 6. Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.8 m.  
The proposed north side yard setback is 1.517 m.
- 7. Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.8 m.  
The proposed south side yard setback is 1.521 m.
- 8. Section 12.6, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area  
The proposed lot coverage is 30.2840% of the lot area. (Includes deck and porch.)
- 9. Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.8 m.  
The proposed building length is 19.348 m.
- 10. Section 6(24), By-law No. 7625**  
The minimum required side yard setback for a deck is 1.8 m.  
The proposed north side yard setback for the deck is 1.521 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

**SIGNATURE PAGE**

File Number:	A0244/17NY	Zoning	RD / R6 (ZR)
Owner:	LAURA TOMASICCHIO ANGELITA ADRIANA PAGLIARO	Ward:	York Centre (10)
Agent:	ANGELITA ADRIANA PAGLIARO	Heritage:	Not Applicable
Property Address:	<b>7 MARCHWOOD DR</b>	Community:	North York
Legal Description:	PLAN 1841 LOT 324		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0263/17NY	Zoning	C1(143) (ZR)
Owner(s):	ROAR ENTERPRISES LIMITED	Ward:	Willowdale (23)
Agent:	RALPH GIANNONE	Heritage:	Not Applicable
Property Address:	<b>5015-5021 YONGE ST</b>	Community:	North York
Legal Description:	PLAN 1801 PT LOT 4 5015, 5017, 5021		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two storey restaurant, greater than 30 seats.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Section 6(29), By-law No. 7625**

No banquet hall or restaurant that has a gross floor area larger than 1000 m<sup>2</sup> may be located closer than 300 m from any R or RM zone.

The gross floor area is 1136.6 m<sup>2</sup> and the restaurant is immediately adjacent to an RM zone.

**2. Section 6A(2), By-law No. 7625**

The required parking rate for a restaurant of 960 m<sup>2</sup> of gross floor area with a 310 m<sup>2</sup> outdoor terrace on these lands shall be as follow:

- i) A minimum of zero (0) parking spaces; and
- ii) a maximum of 3 parking spaces per 100 m<sup>2</sup> of gross floor area.

The proposed gross floor area of the restaurant is 1136.6 m<sup>2</sup> and zero (0) parking is provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0263/17NY	Zoning	C1(143) (ZR)
Owner:	ROAR ENTERPRISES LIMITED	Ward:	Willowdale (23)
Agent:	RALPH GIANNONE	Heritage:	Not Applicable
Property Address:	<b>5015-5021 YONGE ST</b>	Community:	North York
Legal Description:	PLAN 1801 PT LOT 4 5015, 5017, 5021		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1022/16NY	Zoning	RD/R4 [BLD]
Owner(s):	ASHFA REHAN	Ward:	Don Valley West (25)
Agent:	MASTER BUILDER ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>127 OVERLAND DR</b>	Community:	North York
Legal Description:	PLAN 5543 LOT 22		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To legalize and maintain the two-storey dwelling, as constructed. Please note this application was previously deferred Thursday, January 26, 2017.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 25.00% of the lot area.  
The lot coverage is 27.80% of the lot area.
- 2. Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The maximum permitted building height is 7.20m.  
The building height is 8.63m.
- 3. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**  
The minimum required front yard setback is 7.80m.  
The front yard setback is 7.74m.
- 4. Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the first floor area must be within 4.00m of the main front wall.  
The proposed first floor area is 2.81m<sup>2</sup> within 4.00m of the main front wall.
- 5. Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 25.00% of the lot area.  
The lot coverage is 27.80% of the lot area.
- 6. Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.00m.



The building height is 8.82m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A1022/16NY	Zoning	RD/R4 [BLD]
Owner:	ASHFA REHAN	Ward:	Don Valley West (25)
Agent:	MASTER BUILDER ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>127 OVERLAND DR</b>	Community:	North York
Legal Description:	PLAN 5543 LOT 22		

---

Nadini Sankar (signed)

---

Nazila Atarodi (signed)

---

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0983/16NY	Zoning	RD/R4 [ZZC]
Owner(s):	LOLITA KAKHAROVA	Ward:	Willowdale (23)
Agent:	M-ARCH DESIGN GROUP INC	Heritage:	Designated
Property Address:	<b>90 BURNDALE AVE</b>	Community:	North York
Legal Description:	PLAN M407 LOT 374 E PT LOT 375		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new basement addition to the rear of the existing dwelling with a new gazebo, in conjunction with a new one-storey addition to the west portion of the existing dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.30.(1), By-law No. 569-2013**  
The maximum permitted building depth is 19.00m.  
The proposed building depth is 24.36m.
- 2. Chapter 10.20.40.70.(2)(B), By-law No. 569-2013**  
The minimum required rear yard setback is 8.97m.  
The proposed rear yard setback is 3.80m.
- 3. Chapter 10.5.60.30.(1), By-law No. 569-2013**  
An ancillary building or structure with a height greater than 2.50m, or a gross floor area greater than 10.00m<sup>2</sup>, must be at least 1.80m from a residential building on the same lot.  
The proposed rear addition is 1.22m from the existing detached garage.
- 4. Chapter 10.5.40.60.(1), By-law No. 569-2013**  
A platform without main walls, attached to or less than 0.30m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.50m.  
The proposed platform encroaches 5.13m into the required rear yard setback.
- 5. Chapter 10.5.60.40.(2), By-law No. 569-2013**  
The maximum height of an ancillary building or structure if the ancillary building or structure is less than 1.80m from the residential building on the lot, is 2.50m.

The proposed height of the ancillary structure (gazebo) is 4.83m in height, from the peak of roof to the lowest point of adjacent natural grade.

**6. Section 6(23)(b), By-law No. 7625**

When an accessory building that is larger than 10.00m<sup>2</sup> is closer than 3.00m from a dwelling, the accessory building shall be deemed to be a part of the dwelling, and all regulations that apply to the dwelling also apply to the accessory building as if they were one building, except that a second suite shall not be located in the accessory building.

The proposed addition is 1.22m from the existing detached garage.

**7. Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.80m.

The existing east side yard setback is 0.53m to the existing detached garage.

**8. Section 13.2.3(c), By-law No. 7625**

The minimum required rear yard setback is 9.50m.

The existing rear yard setback is 0.57m to the existing detached garage.

**9. Section 13.2.5A, By-law No. 7625**

The maximum permitted building length is 16.80m.

The existing building length is 26.80m (including the detached garage).

**10. Section 6(23)(a)(iv), By-law No. 7625**

The maximum height of an accessory building shall be 3.70m. Notwithstanding Section 2.10, height of an accessory building means the vertical distance between the average elevation of the finished level of the ground adjoining the base of the exterior walls of the accessory building and the mean height level between the eaves and ridge.

The proposed side yard gazebo is 3.89m in height.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Prior to issuance of a building permit, building permit drawings, including plans, elevations and details shall be submitted to the satisfaction of the Senior Manager, Heritage Preservation Services and a heritage permit shall be obtained under the provision of Section 33 of the Ontario Heritage Act.

**SIGNATURE PAGE**

File Number:	A0983/16NY	Zoning	RD/R4 [ZZC]
Owner:	LOLITA KAKHAROVA	Ward:	Willowdale (23)
Agent:	M-ARCH DESIGN GROUP INC	Heritage:	Designated
Property Address:	<b>90 BURNDALE AVE</b>	Community:	North York
Legal Description:	PLAN M407 LOT 374 E PT LOT 375		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

## **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

## **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, May 17, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1028/16NY	Zoning	RD/R2 [ZZC]
Owner(s):	AZADEH RIAHI-DEHKORDI FOROUGH SOLATI- DEHKORDI	Ward:	Willowdale (24)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	<b>15 HI MOUNT DR</b>	Community:	North York
Legal Description:	PLAN M677 L 212		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a second storey addition over the existing one-storey dwelling, in conjunction with other interior and exterior alterations. Please note this application was previously deferred Thursday, February 9, 2017 in order to address a variance with respect to the stable top-of-bank and Toronto and Region Conservation Authority, as outlined below.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 2.40m.  
The existing and proposed east side yard setback is 1.97m.
- 2. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 2.40m.  
The existing and proposed west side yard setback is 2.11m.
- 3. Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The maximum permitted building height for a flat or shallow roof is 7.20m.  
The proposed building height is 7.44m.
- 4. Chapter 5.10.40.70.(1), By-law No. 569-2013**  
If the Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot, a building or structure on that lot must be set back a minimum of 10.00m from that shoreline hazard limit or stable top-of-bank.  
The proposed building is set back 3.82m for the second floor from the shoreline hazard limit or stable top-of-bank.



5. **Section 11.2.4(b), By-law No. 7625**  
The minimum required side yard setback is 2.40m.  
The existing and proposed east side yard setback is 1.97m.
6. **Section 11.2.4(b), By-law No. 7625**  
The minimum required side yard setback is 2.40m.  
The existing and proposed west side yard setback is 2.11m.
7. **Section 11.2.6, By-law No. 7625**  
The maximum permitted building height for a flat roof is 8.00m.  
The proposed building height is 8.21m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A1028/16NY	Zoning	RD/R2 [ZZC]
Owner:	AZADEH RIAHI-DEHKORDI FOROUGH SOLATI- DEHKORDI	Ward:	Willowdale (24)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	<b>15 HI MOUNT DR</b>	Community:	North York
Legal Description:	PLAN M677 L 212		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, May 18, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1061/16NY	Zoning	RD/R3 [ZZC]
Owner(s):	VAHID HESAMI	Ward:	Willowdale (24)
Agent:	F&A ASSOCIATES	Heritage:	Not Applicable
Property Address:	<b>67 BURBANK DR</b>	Community:	North York
Legal Description:	PLAN 4847 LOT 79 PT BLK C		

Notice was given and a Public Hearing was held on Thursday, May 18, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished. Please note this application was previously deferred Thursday, February 9, 2017 in order to address a variance with respect to the stable top-of-bank and Toronto and Region Conservation Authority, as outlined below.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The maximum permitted building height is 10.00m.  
The proposed building height is **10.39m**.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the north side exterior main wall facing a side lot line is 8.35m.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the south side exterior main wall facing a side lot line is 7.83m.
- 4. Chapter 10.20.40.10.(6), By-law No. 569-2013**  
The maximum permitted finished first floor height is 1.20m.  
The proposed finished first floor height is 1.49m.
- 5. Chapter 5.10.40.70.(1), By-law No. 569-2013**  
If the Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot, a building or structure on that lot must be set back a minimum of 10.00m from that shoreline hazard limit or stable top-of-bank.  
The proposed building is set back 6.00m for the second floor from the shoreline hazard limit or stable top-of-bank.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

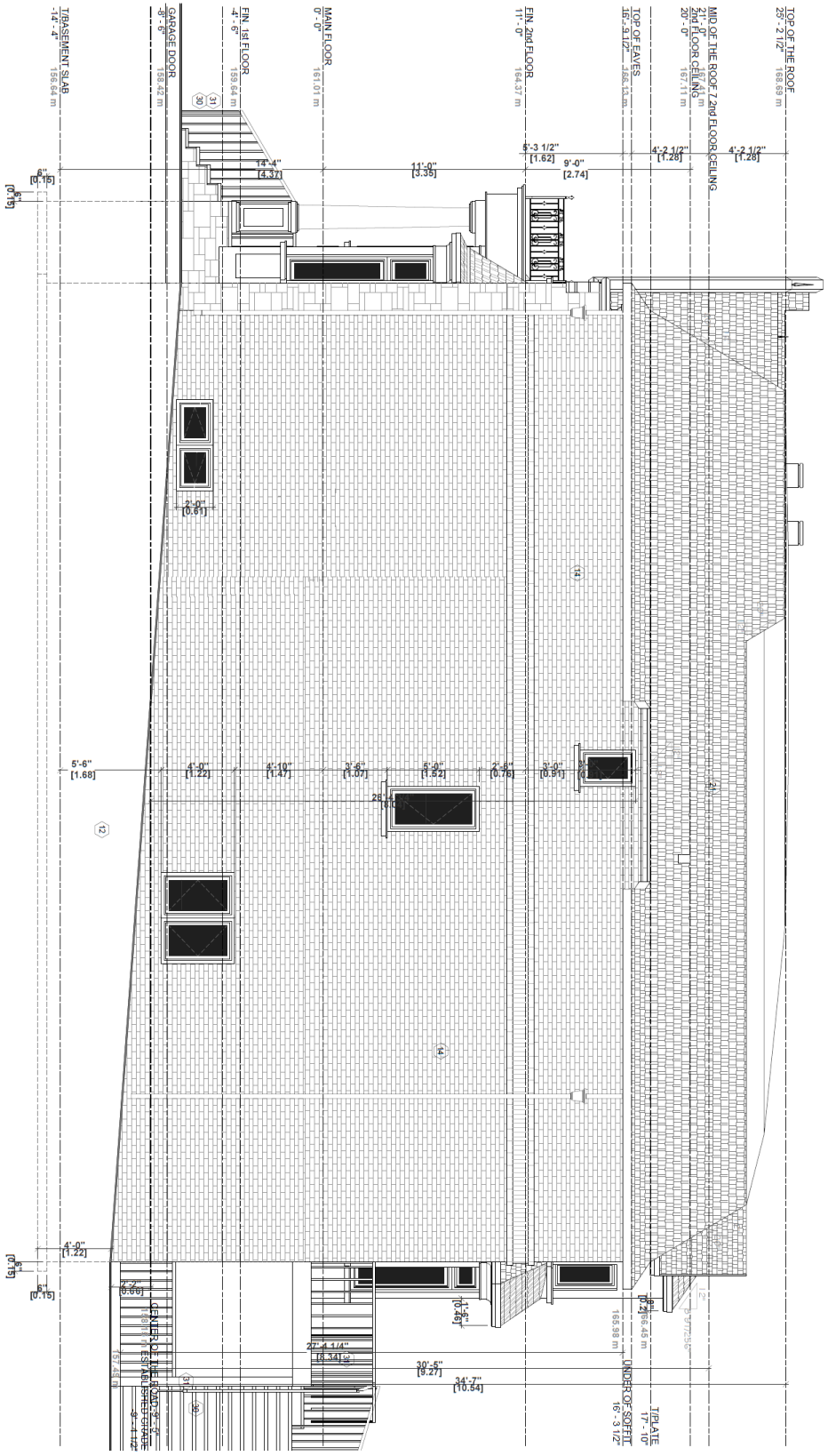
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The property be constructed in accordance with the west elevation. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

**GLAZED AREAS:**

- 1. AREA OF PROPOSED BUILDING FACET: 102.1 sqm
- 2. MAX. ALLOWED GLAZED COVERAGE: 7.1 sqm (7% OF UNIT 1)
- 3. PROPOSED GLAZED AREA: 4.1 sqm



DESIGN BY:  
**ALI SHAKERI**  
**ARCICA INC.**  
 19 Howard Avenue, 1st Flr  
 1.488 BROADVIEW AVE, TORONTO, ONT. M1W 2E9  
 TEL: 416-291-1111  
 WWW.ARCICA.COM

REVISIONS:  
 Sep. 23, 2018

PROJECT:  
**67 BURBANK DRIVE**  
 DOMINANT:  
**SIDE ELEVATION(WEST)**  
 SCALE:  
**1/4" = 1'-0"**  
 PROJECT:  
**A 08**

FOR INFORMATION ONLY: THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER. THE CLIENT ACCEPTS FULL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER. THE CLIENT ACCEPTS FULL RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

**SIGNATURE PAGE**

File Number:	A1061/16NY	Zoning	RD/R3 [ZZC]
Owner:	VAHID HESAMI	Ward:	Willowdale (24)
Agent:	F&A ASSOCIATES	Heritage:	Not Applicable
Property Address:	<b>67 BURBANK DR</b>	Community:	North York
Legal Description:	PLAN 4847 LOT 79 PT BLK C		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, May 25, 2017

LAST DATE OF APPEAL: Wednesday, June 7, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.