

Wednesday, April 19, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0040/16NY	Zoning	R4/RD (ZR)
Owner(s):	MANJIT KAUR BAGHA AJEET SINGH BAGHA	Ward:	Willowdale (24)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	205 NEWTON DR	Community:	North York
Legal Description:	PLAN 4855 LOT 117		

Notice was given and the application considered on Wednesday, April 19, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Conveyed - Part 1 (A)

Address to be assigned

The frontage is 13.56m (By-law No. 569-2013) and 14.6m (By-law No. 7625) with a lot area of 447.7m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0551/16NY.

Retained - Part 2 (B)

Address to be assigned

The frontage is 13.09m (By-law No. 569-2013) and 13.47 m (By-law No. 7625) with a lot area of 743.05m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0552/16NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) The applicant to satisfy the requirements of the Engineering and Construction Services Division;
 - i) Submit a Qualified Person Preliminary Statement Letter (refer to attached template), that is stamped, dated and signed by the applicant's Qualified Person (the "QP"), as defined in O. Reg. 153104, as amended, describing the lands to be conveyed to the City, and identifying what environmental documentation will be provided to the City's Peer Reviewer to support this conveyance; all environmental documentation shall be submitted without any limitation regarding liability, indemnity or reliance;
 - ii) Prepare all documents and convey to the City, at nominal cost, a) 1 .44m widening along Newton Drive frontage of this property to satisfy the requirement of a 23m wide right-of-way; b) 1 .44m widening along Maxome Avenue frontage of this property to satisfy the requirement of a 23m wide right-of-way. in fee simple, such lands to be free and clear of all physical and title encumbrances, and subject to a right-of-way for access in favour of the Grantor until such time as said lands have been dedicated as a public highway, all to the satisfaction of the Executive Director of Engineering and Construction Services and the City Solicitor.
 - iii) Submit a draft Reference Plan of Survey to the Executive Director of Engineering and Construction Services, for review and approval, prior to depositing it in the Land Registry Office. The plan should: a) be in metric units and integrated to the 1983 North American Datum (Canadian Spatial Reference System) and the 3 degree Modified Transverse Mercator Projection; b) delineate by separate PARTS the lands to be conveyed to the City, the remainder of the site and any appurtenant rights-of-way and easements; and c) show the co-ordinate values of the main corners of the subject lands in a schedule on the face of the plan.
 - iv) Pay all costs for registration and preparation of reference plan(s).
 - v) Pay all costs associated with the City retaining a third-party Peer Reviewer including a 7% administrative cost to the City, and submit a certified cheque payable to the City of Toronto in the amount of \$8,000.00, as an initial deposit towards the cost of the peer review to the Executive Director, Engineering and Construction Services. Submit further deposits when requested to cover all costs of retaining a third-party peer reviewer (unused funds will be refunded to the applicant by the

City);

vi) Submit, to the satisfaction of the City's Peer Reviewer, all Environmental Site Assessment reports prepared in accordance with the Record of Site Condition Regulation (O. Reg. 153/04, as amended) describing the current conditions of the land to be conveyed to the City and the proposed Remedial Action Plan based on the site condition standards approach, to the Executive Director, Engineering and Construction Services;

vii) At the completion of the site assessment remediation process, submit a Statement from the Qualified Person, to the Executive Director, Engineering and Construction Services, for peer review and concurrence that based on all necessary supporting environmental documents:

(a) it is unlikely that there is any off-site contamination resulting from past land uses on the development site that has migrated on to adjacent City lands that would exceed the applicable Site Condition Standards and,

(b) that the land to be conveyed to the City meets either:

(I) the applicable MOE Generic Site Condition Standards (Tables 1, 2, 3, 6, 7, 6 and 9) for the most environmentally sensitive adjacent land use, or

(II) the Property Specific Standards (PSSs) as approved by the MOE for a Risk Assessment Risk Management Plan which was conducted in accordance with the City Policies and Conditions for the Acceptance of Risk Assessed Lands (Clause 18, of Works Committee Report 2, April 25, 26 and 27, 2006);

viii) The QP's statement, referenced in vii) above, will include a Reliance Letter that is stamped, dated and signed by the applicant's Qualified Person (the QP), as defined in O. Reg. 153/04, as amended confirming that both the City and the City's Peer Reviewer can rely on the environmental documentation submitted and the QP's opinion as to the conditions of the site.

- (6) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0040/16NY	Zoning	R4/RD (ZR)
Owner(s):	MANJIT KAUR BAGHA AJEET SINGH BAGHA	Ward:	Willowdale (24)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	205 NEWTON DR	Community:	North York
Legal Description:	PLAN 4855 LOT 117		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 16, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

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- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0551/16NY	Zoning	R4/RD (ZR)
Owner(s):	AJEET SINGH BAGHA AJEET SINGH BAGHA	Ward:	Willowdale (24)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	205 NEWTON DR (PART 1)	Community:	North York
Legal Description:	PLAN 4855 LOT 117		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of a portion of the east side exterior main wall facing a side lot line is 8.09 m.
- 2. Chapter 10.5.40.70.(1), Zoning By-law No. 569-2013**
The minimum required front yard setback is 9.23 m.
The proposed front yard setback is 5.6 m.
- 3. Chapter 900.3.10(5), Zoning By-law No. 569-2013**
The minimum required east side yard setback is 1.8 m.
The proposed east side yard setback is 0.9 m.
- 4. Chapter 900.3.10(5), Zoning By-law No. 569-2013**
The minimum required east side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.
- 5. Chapter 10.5.80.40.(3), Zoning By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front lot line.

6. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The minimum required lot area is 550 m².
The proposed lot area is 447.7 m².
7. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
8. **Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 13.56 m.
9. **Section 13.2.1 and 6(8), Zoning By-law No. 7625**
The minimum required lot frontage and lot width is 15m.
The proposed lot frontage is 14.6 m and the proposed lot width is 13.9 m.
10. **Section 13.2.3(a), Zoning By-law No. 7625**
The minimum required front yard setback is 6.5m.
The proposed front yard setback is 5.6m.
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 0.9 m.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.
13. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.13m.
14. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 447.7m².
15. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant to satisfy the requirements of the Engineering and Construction Services Division;
 - a) The driveway accesses on Maxome Avenue must be removed and restored to soft landscaping.
 - b) The applicant must apply for a Construction Access permit from Transportation Services' Right-of-Way Management for the required access approval and curb repairs.
 - c) Delineate and identify on the site plan drawings the following land as being conveyed to the City for a nominal sum:
 - (i) A 1.44 metre wide strips of land along the Maxome Avenue and Newton Drive frontage. Adjust location and/or modify proposed dwellings to achieve necessary setbacks from the widened right-of-way. No encroachments will be permitted within the widened tight-of-way area.
- 2) The requirements of the Urban Forestry, Ravine Protection Division.
 - i) The applicant shall obtain a ravine permit or clearance from RNFP. The permit or clearance may be subject to conditions.
 - ii) The applicant shall protect all ravine protected trees on the property and adjacent properties, not approved for removal or injury, to the satisfaction of RNFP.
 - iii) The applicant shall implement a stewardship plan across the two lots to the satisfaction of RNFP.
 - iv) The applicant shall plant native trees to the satisfaction of RNFP as compensation for any ravine protected trees removed or injured and for loss of protected area to permanent hard surface features.
- 3) The requirements of the Toronto and Region Conservation Authority;
 - i) A TRCA Permit under Ontario Regulation 166/06 be obtained;
 - ii) Approvals be obtained from Urban Forestry Ravine Protection Services; and
 - iii) TRCA's Planning Review Fee for Consent Applications in the amount of \$1,325.00 be received.
- 4) The requirements of the Heritage Preservation Services;
 - i) The applicant shall retain a consultant archaeologist, licensed by the Ministry of Tourism, Culture and Sport, under the provisions of the Ontario Heritage Act (R.S.O 1990 as amended) to carry out a Stage 1 - 2 archaeological assessment of the entire development property and follow through on recommendations to mitigate, through preservation or resource removal and documentation, adverse impacts to any significant archaeological resources found. The assessment is to be completed in accordance with the 2011 Standards and Guidelines for Consulting Archaeologists, Ministry of Tourism, Culture and Sport;
 - ii) The consultant archaeologist shall submit a copy of the relevant assessment report(s) to the Heritage Preservation Services Unit in both hard copy format and as an Acrobat PDF file

on CD; and

iii) No demolition, construction, grading or other soil disturbances shall take place on the subject property prior to the City's Planning Division (Heritage Preservation Services Unit) and the Ministry of Tourism, Culture and Sport (Heritage Operations Unit) confirming in writing that all archaeological licensing and technical review requirements have been satisfied.

SIGNATURE PAGE

File Number:	A0551/16NY	Zoning	R4/RD (ZR)
Owner:	AJEET SINGH BAGHA AJEET SINGH BAGHA	Ward:	Willowdale (24)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	205 NEWTON DR (PART 1)	Community:	North York
Legal Description:	PLAN 4855 LOT 117		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

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Manager & Deputy Secretary Treasurer
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File Number:	A0552/16NY	Zoning	R4/RD (ZR)
Owner(s):	AJEET SINGH BAGHA AJEET SINGH BAGHA	Ward:	Willowdale (24)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	205 NEWTON DR (PART 2)	Community:	North York
Legal Description:	PLAN 4855 LOT 117		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 13.09 m.
- 2. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of portions of the east side exterior main wall facing a side lot line is 7.9 m.
- 3. Chapter 10.20.40.20(1), Zoning By-law No. 569-2013**
The maximum permitted building length for a detached house is 17.0 m.
The proposed building length is 17.91 m.
- 4. Chapter 10.5.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 9.23 m.
The proposed front yard setback is 5.6 m.
- 5. Chapter 900.3.10(5), Zoning By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 0.9 m.

6. **Chapter 900.3.10(5), Zoning By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.2 m.
7. **Chapter 10.5.40.50(2), Zoning By-law No. 569-2013**
A platform without main walls such as a deck must comply with the required minimum building setbacks for the zone.
The proposed rear deck has a west side yard setback of 1.2 m whereas 1.8 m is required.
8. **Section 13.2.1 and 6(8), Zoning By-law No. 7625**
The minimum required lot frontage and lot width is 15 m.
The proposed lot frontage is 13.47 m and the proposed lot width is 13.4 m.
9. **Section 13.2.3(a), Zoning By-law No. 7625**
The minimum required front yard setback is 6.5m.
The proposed front yard setback is 5.6m.
10. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 0.9 m to the dwelling and 1.2 m to the rear deck.
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.2 m.
12. **Section 13.2.5A, Zoning By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 17.91 m.
13. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.34 m.
14. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.73 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant to satisfy the requirements of the Engineering and Construction Services Division;
 - a) The driveway accesses on Maxome Avenue must be removed and restored to soft landscaping.
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 - i) A TRCA Permit under Ontario Regulation 166/06 be obtained;
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 - iii) TRCA's Planning Review Fee for Consent Applications in the amount of \$1,325.00 be received.
- 4) The requirements of the Heritage Preservation Services;
 - i) The applicant shall retain a consultant archaeologist, licensed by the Ministry of Tourism, Culture and Sport, under the provisions of the Ontario Heritage Act (R.S.O 1990 as amended) to carry out a Stage 1- 2 archaeological assessment of the entire development property and follow through on recommendations to mitigate, through preservation or resource removal and documentation, adverse impacts to any significant archaeological resources found. The assessment is to be completed in accordance with the 2011 Standards and Guidelines for Consulting Archaeologists, Ministry of Tourism, Culture and Sport;
 - ii) The consultant archaeologist shall submit a copy of the relevant assessment report(s) to the Heritage Preservation Services Unit in both hard copy format and as an Acrobat PDF file on CD; and

iii) No demolition, construction, grading or other soil disturbances shall take place on the subject property prior to the City's Planning Division (Heritage Preservation Services Unit) and the Ministry of Tourism, Culture and Sport (Heritage Operations Unit) confirming in writing that all archaeological licensing and technical review requirements have been satisfied.

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Owner:	AJEET SINGH BAGHA AJEET SINGH BAGHA	Ward:	Willowdale (24)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
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NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0039/16NY	Zoning	R4/RD(ZR)
Owner(s):	BIN BIN LIAO	Ward:	Willowdale (23)
Agent:	D+R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	318 HOUNSLOW AVE	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 94		

Notice was given and the application considered on Wednesday, April 19, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Conveyed - Part 1 (B) west lot

Address to be assigned

The frontage is 10.11m and the lot area is 403.69m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s) as outlined in application file A0532/16NY.

Retained - Part 2 (A) east lot

Address to be assigned

The frontage is 10.11m and the lot area is 403.69m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s) as outlined in application file A0531/16NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number:	B0039/16NY	Zoning	R4/RD(ZR)
Owner(s):	BIN BIN LIAO	Ward:	Willowdale (23)
Agent:	D+R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	318 HOUNSLOW AVE	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 94		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 16, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0531/16NY	Zoning	R4/RD(ZR)
Owner(s):	MARGARET F FERRIS	Ward:	Willowdale (23)
Agent:	D+R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	318 HOUNSLOW AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 94		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10(5), Zoning By-law No. 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
An area of 4.5 m² of the first floor is within 4 m of the front main wall.
- 2. Chapter 900.3.10(5), Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 0.9 m.
- 3. Chapter 900.3.10(5), Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is 1.2 m.
- 4. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550 m².
The proposed lot area is 403.69 m².
- 5. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15 m.
The proposed lot frontage is 10.11 m.
- 6. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.7%

7. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The maximum permitted main wall height is 7.5 m.
The proposed main wall height is 7.63 m.
8. **Section 13.2.1 and 6(8), Zoning By-law No. 7625**
The minimum required lot frontage and lot width is 15m.
The proposed lot frontage and lot width is 10.11 m.
9. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 403.69 m²
10. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.7% of the lot area.
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required west side yard setback is 1.5m.
The proposed west side yard setback is 0.9m.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required east side yard setback is 1.5m.
The proposed east side yard setback is 1.2 m.
13. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.45m.
14. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.73m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0531/16NY	Zoning	R4/RD(ZR)
Owner:	MARGARET F FERRIS	Ward:	Willowdale (23)
Agent:	D+R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	318 HOUNSLOW AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 94		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0532/16NY	Zoning	R4/RD(ZR)
Owner(s):	MARGARET F FERRIS	Ward:	Willowdale (23)
Agent:	D+R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	318 HOUNSLOW AVE (PART 1)	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 94		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10(5), Zoning By-law No. 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
An area of 4.5 m² of the first floor is within 4 m of the front main wall.
- 2. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.7% of the lot area.
- 3. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the east side exterior main wall facing a side lot line is 7.88 m.
- 4. Chapter 900.3.10(5), Zoning By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.
- 5. Chapter 900.3.10(5), Zoning By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 0.9 m.

6. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 550 m².
The proposed lot area is 403.69 m².
7. **Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 15 m.
The proposed lot frontage is 10.11 m.
8. **Section 13.2.1 and 6(8), Zoning By-law No. 7625**
The minimum required lot frontage and lot width is 15m.
The proposed lot frontage and lot width is 10.11 m.
9. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 403.69m².
10. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required west side yard setback is 1.5 m.
The proposed west side yard setback is 1.2 m.
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required east side yard setback is 1.5 m.
The proposed east side yard setback is 0.9 m.
12. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.7% of the lot area.
13. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.38m.
14. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.77m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0532/16NY	Zoning	R4/RD(ZR)
Owner:	MARGARET F FERRIS	Ward:	Willowdale (23)
Agent:	D+R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	318 HOUNSLOW AVE (PART 1)	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 94		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, April 19, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0046/16NY	Zoning	R3/RD (f21.0; a600) (x1011)(ZR)
Owner(s):	BEATRICE SIU	Ward:	Willowdale (23)
Agent:	WALKER NOTT DRAGICEVIC ASSOC LTD	Heritage:	Not Applicable
Property Address:	359 SPRING GARDEN AVE	Community:	North York
Legal Description:	PLAN 3237 LOT 4 RP 64R5537 PARTS 1 & 2		

Notice was given and the application considered on Wednesday, April 19, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots (lot frontage only).

Retained - Part 1 (359 Spring Gardens)

Address to be assigned

The frontage is 15.27m and the lot area is 929.9m². The property will be redeveloped as the site of a new detached one-storey dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0627/16NY.

Conveyed - Part 2 (355 Spring Gardens)

Address to be assigned

The frontage is 15.27m and the lot area is 930m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0628/16NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

[illegible]

SIGNATURE PAGE

File Number:	B0046/16NY	Zoning	R3/RD (f21.0; a600) (x1011)(ZR)
Owner(s):	BEATRICE SIU	Ward:	Willowdale (23)
Agent:	WALKER NOTT DRAGICEVIC ASSOC LTD	Heritage:	Not Applicable
Property Address:	359 SPRING GARDEN AVE	Community:	North York
Legal Description:	PLAN 3237 LOT 4 RP 64R5537 PARTS 1 & 2		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 16, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, April 19, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0627/16NY	Zoning	R3/RD (f21.0; a600) (x1011)(ZR)
Owner(s):	BEATRICE SIU	Ward:	Willowdale (23)
Agent:	WALKER NOTT DRAGICEVIC ASSOC LTD	Heritage:	Not Applicable
Property Address:	359 SPRING GARDEN AVE (PART 1)	Community:	North York
Legal Description:	PLAN 3237 LOT 4 RP 64R5537 PARTS 1 & 2		

PURPOSE OF THE APPLICATION:

To construct a new detached one-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10(5), Zoning By-law No. 569-2013**
A minimum area of 10 m² of the first floor shall be located within 4 m of the front main wall.
It is proposed that 3.73 m² of the first floor be within 4 m of the front main wall.
- 2. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The minimum required lot frontage is 21 m.
The proposed lot frontage is 15.27 m.
- 3. Section 12.2.2.1 and 6(8), Zoning By-law No. 7625**
The minimum required lot frontage and lot width is 22 m.
The proposed lot frontage and lot width is 15.27m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0627/16NY	Zoning	R3/RD (f21.0; a600) (x1011)(ZR)
Owner:	BEATRICE SIU	Ward:	Willowdale (23)
Agent:	WALKER NOTT DRAGICEVIC ASSOC LTD	Heritage:	Not Applicable
Property Address:	359 SPRING GARDEN AVE (PART 1)	Community:	North York
Legal Description:	PLAN 3237 LOT 4 RP 64R5537 PARTS 1 & 2		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0628/16NY	Zoning	R3/RD (f21.0; a600) (x1011)(ZR)
Owner(s):	BEATRICE SIU	Ward:	Willowdale (23)
Agent:	WALKER NOTT DRAGICEVIC ASSOC LTD	Heritage:	Not Applicable
Property Address:	355 SPRING GARDEN AVE (PART 2)	Community:	North York
Legal Description:	PLAN 3237 LOT 4 RP 64R5537 PARTS 1 & 2		

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.4.40.10(5), Zoning By-law No. 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
An area of 3.05 m² of the first floor would be within 4 m of the front main wall.
- Chapter 10.20.40.10, Zoning By-law No. 569-2013**
The maximum permitted building height is 7.2 m.
The proposed building height is **8.06m to the top of the roof slab and 8.56m to the top of the skylight.**
- Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The minimum required lot frontage is 21 m.
The proposed lot frontage is 15.27 m.
- Section 12.2.2.1 and 6(8), Zoning By-law No. 7625**
The minimum required lot frontage and lot width is 22 m.
The proposed lot frontage and lot width is 15.27 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0628/16NY	Zoning	R3/RD (f21.0; a600) (x1011)(ZR)
Owner:	BEATRICE SIU	Ward:	Willowdale (23)
Agent:	WALKER NOTT DRAGICEVIC ASSOC LTD	Heritage:	Not Applicable
Property Address:	359 SPRING GARDEN AVE	Community:	North York
Legal Description:	PLAN 3237 LOT 4 RP 64R5537 PARTS 1 & 2		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0093/17NY	Zoning	R4(10)[ZONING]
Owner(s):	DAN MALAMET DAWN BENSON	Ward:	Willowdale (23)
Agent:	PROF & E CONSULTING ENGINEERS	Heritage:	Not Applicable
Property Address:	10 AUDUBON CRT	Community:	North York
Legal Description:	PLAN 5435 LOT 5		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To enclose the existing rear porch on the east side of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.8m.

The existing and proposed side yard setback is 1.25m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The requirements of the Toronto and Region Conservation Authority.
- 1) The requirements of the Urban Forestry, Ravine Protection Division.

- i) The applicant shall obtain a ravine permit or clearance from RNFP. The permit or clearance may be subject to conditions.
- ii) The applicant shall protect all ravine protected trees on the property and adjacent properties, not approved for removal or injury, to the satisfaction of RNFP.
- iii) The applicant shall plant native trees to the satisfaction of RNFP as compensation for any ravine protected trees removed or injured and for loss of protected area to permanent hard surface features.

SIGNATURE PAGE

File Number:	A0093/17NY	Zoning	R4(10)[ZONING]
Owner:	DAN MALAMET DAWN BENSON	Ward:	Willowdale (23)
Agent:	PROF & E CONSULTING ENGINEERS	Heritage:	Not Applicable
Property Address:	10 AUDUBON CRT	Community:	North York
Legal Description:	PLAN 5435 LOT 5		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Wednesday, April 19, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0094/17NY	Zoning	RD/R1B [ZZC]
Owner(s):	2539412 ONTARIO INC.	Ward:	Don Valley West (26)
Agent:	A & ARCHITECTS	Heritage:	Not Applicable
Property Address:	104 SOUTHALE DR	Community:	East York
Legal Description:	PLAN 2880 LOT 258		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear attached two-storey addition to the existing structure and interior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.20.40.10.(1) A), By-law No. 569-2013**
The maximum permitted height of a building is 8.50m.
The proposed height of the building is 8.80m.
2. **Chapter 10.20.40.20.(2) C), By-law No. 569-2013**
The maximum permitted building length is 19.0m provided the extension to the building is more than 3.00m from each side lot line.
The proposed east side yard setback is 1.67m.
3. **Chapter 10.20.40.40.(1) A), By-law No. 569-2013**
The maximum permitted floor space index is 0.600 times the area of the lot: 244.99m².
The proposed floor space index is 0.637 times the area of the lot: 260.01m².
4. **Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.90m provided they are no closer than 0.30m to a lot line.
The proposed eaves are 0.15m from the east lot line.
5. **Chapter 10.5.40.60.(4), By-law No. 569-2013**
Cladding added to the original exterior surface of the main wall of a building may encroach into a required building setback a maximum of 0.15m, if the added cladding is no closer to a lot line than 0.30m.
The proposed cladding is 0.15m at the chimney from the east lot line.

6. **Chapter 10.5.80.10.(3), By-law No. 569-2013**
A parking space may not be located in a front yard or a side yard abutting a street.
The proposed parking spot is located in the front yard.
7. **Section 6.3.3, By-law No. 1916**
The maximum permitted building height is 8.50m.
The proposed building height is 8.80m.
8. **Section 6.3.3, By-law No. 1916**
The maximum permitted floor space index is 0.60 times the area of the lot.
The proposed floor space index is 0.637 times the area of the lot.
9. **Section 6.3.3, By-law No. 1916**
The minimum required number of parking spaces is 1 space behind the main front wall.
The proposed number of parking spaces is 1 space in the front yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0094/17NY	Zoning	RD/R1B [ZZC]
Owner:	2539412 ONTARIOI INC.	Ward:	Don Valley West (26)
Agent:	A & ARCHITECTS	Heritage:	Not Applicable
Property Address:	104 SOUTHVALE DR	Community:	East York
Legal Description:	PLAN 2880 LOT 258		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0095/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner(s):	ROBERT GARETH SANKEY CAROLYN JAY SANKEY	Ward:	Don Valley West (25)
Agent:	LINDY CONSULTING LIMITED	Heritage:	Not Applicable
Property Address:	136 DINNICK CRES	Community:	Toronto
Legal Description:	PLAN 1534 LOT 199		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey addition to the rear of the existing two-storey dwelling. The existing rear one-storey addition would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.35 times the lot area.
The proposed floor space index is 0.42 times the lot area.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.50m.
The proposed north side yard setback is 0.94m.
- Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.35 times the lot area.
The proposed gross floor area is 0.42 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0095/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner:	ROBERT GARETH SANKEY CAROLYN JAY SANKEY	Ward:	Don Valley West (25)
Agent:	LINDY CONSULTING LIMITED	Heritage:	Not Applicable
Property Address:	136 DINNICK CRES	Community:	Toronto
Legal Description:	PLAN 1534 LOT 199		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL : Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Wednesday, April 19, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0096/17NY	Zoning	RD / R5 (ZR)
Owner(s):	RAHEL HABTE ESAYAS GEBRE	Ward:	Don Valley East (34)
Agent:	ANDRE GRISOLIA	Heritage:	Not Applicable
Property Address:	30 RUSCICA DR	Community:	North York
Legal Description:	PLAN M761 PT LOT 498		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To constructed a second storey addition over the existing detached house with attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.50.(2), By-law No. 569-2013**
The permitted maximum height of the exterior portion of main walls for a detached house is 7.5 m.
The proposed addition side main wall height is 7.66 m.
- 2. Chapter 10.20.40.10.(3), By-law No. 569-2013**
The permitted maximum number of storeys is 2.
The proposed addition number of storeys is 3.
- 3. Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second story of a detached house is 4.0 am².
The proposed area of each platform at or above the second storey (porch) is 4.76 am².
- 4. Section 14.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.47 m.
- 5. Section 14.2.6, By-law No. 7625**
The permitted maximum number of storeys is 2.
The proposed addition number of storeys is 3.
- 6. Section 14.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.8 m².
The proposed balcony area is 4.76 m².

7. Section 6(9), By-law No. 7625

The maximum permitted projection for eaves into a required yard setback is 0.5 m.
The proposed eaves project 0.68 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed dwelling be constructed substantially in accordance with the front elevation submitted to the City Planning division, date stamped received on April 7, 2017.
- 2) The applicant is to provide permanent opaque screening or fencing along the western edge of the proposed rear balcony/platform; with a minimum height of 1.5 metres from the floor of the balcony/platform.

APR 07 2017

**Toronto City Planning
North York District**



W1 1' EXISTING 18" FOUNDATION WALL
 2 1/2" X 8" WOOD STUDS @ 16" O.C.
 1/2" INSULATION
 3/4" VAPOR BARRIER TO BE SEaled
 1/2" DRYWALL

W2 PROPOSED 14" FOUNDATION WALL
 2 1/2" X 8" WOOD STUDS @ 16" O.C.
 1/2" INSULATION
 3/4" VAPOR BARRIER TO BE SEaled
 1/2" DRYWALL

W3 2" EXISTING EXTERIOR SYSTEM
 ON EXISTING 18" FOUNDATION WALL
 2 1/2" X 8" WOOD STUDS @ 16" O.C.
 1/2" INSULATION
 3/4" VAPOR BARRIER TO BE SEaled
 1/2" DRYWALL

W4 EXISTING EXTERIOR SYSTEM
 ON 2 1/2" X 8" WOOD STUDS @ 16" O.C.
 1/2" INSULATION
 3/4" VAPOR BARRIER TO BE SEaled
 1/2" DRYWALL

W5 EXTERIOR PARTITION WALLS
 2 1/2" X 8" WOOD STUDS @ 16" O.C.
 1/2" INSULATION
 3/4" VAPOR BARRIER TO BE SEaled
 1/2" DRYWALL

W6 EXTERIOR PARTITION WALLS
 2 1/2" X 8" WOOD STUDS @ 16" O.C.
 1/2" INSULATION
 3/4" VAPOR BARRIER TO BE SEaled
 1/2" DRYWALL

F1 PROPOSED 8" PARALLEL SLAB

- F2** - EXISTING F-BASMENT SLAB
- F3** - NEW FLOOR FINISH ON
8" THIN POLISHED GLEND
ON PROPOSED T x B
FLOOR JOINTS @ 16' O.C.
- F4** - NEW F-FLOOR FINISH ON
8" THIN 1/2" CORR STAIN COR GLEND
AND NAIL DS ON F-BASMENT T x B PLATE
JOINTS @ 16' O.C.
- F5** - NEW FLOOR FINISH ON
PROPOSED T x B SPS @ 16' O.C.
DO NOT RUN OVER DO AND HANG BOARD
AND OPTIMALLY GLEND BELOW @ 16' O.C.
- R1** - APPLY 1" BRICKS
SBS FELT PAPER
9" POLYURETHANE ON PROPOSED RAUP TRUSSES
R-10 INSULATION
5/8" VAPOR BARRIER
17" OPEN LL
DO NOT COVERED RAUP TRUSSES BY LARGER COMPOUND

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TITLE: PROPOSED SECOND STOREY ADDITION, REAR DECK WITH FRONT COVERED PORCH FOR 30 RUSCINA DRIVE

CLIENT: MR. AND MRS. GERBER

DATE: DEC. 2016

DRAWN BY: A. GRISOLIA

SCALE: 1/4" = 1'-0"

DRAWING NUMBER:

A-5

SIGNATURE PAGE

File Number:	A0096/17NY	Zoning	RD / R5 (ZR)
Owner:	RAHEL HABTE ESAYAS GEBRE	Ward:	Don Valley East (34)
Agent:	ANDRE GRISOLIA	Heritage:	Not Applicable
Property Address:	30 RUSCICA DR	Community:	North York
Legal Description:	PLAN M761 PT LOT 498		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0097/17NY	Zoning	R6/RD (f 12 ; a 370)[ZONING]
Owner(s):	DAVID KERRY FOOT DAVID FOOT	Ward:	Eglinton-Lawrence (16)
Agent:	MANARCH DESIGN INC	Heritage:	Not Applicable
Property Address:	391 GREER RD	Community:	North York
Legal Description:	PLAN 2992 LOT 1		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.66m.
The proposed front yard setback is 7m.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum lot coverage is 35% of the lot area.
The proposed lot coverage is **35.70%** of the lot area.
- 3. Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 1.22m **for the front 8.99m portion of the dwelling only.**
- 4. Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed south side yard setback is 1.22m.
- 5. Section 14-A(6), By-law No. 7625**
The maximum lot coverage is 35% of the lot area.
The proposed lot coverage is **35.70%** of the lot area.

6. Section 14-A(9), By-law No. 7625

The maximum permitted building length is 15.3m.

The proposed building length is 16.96m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

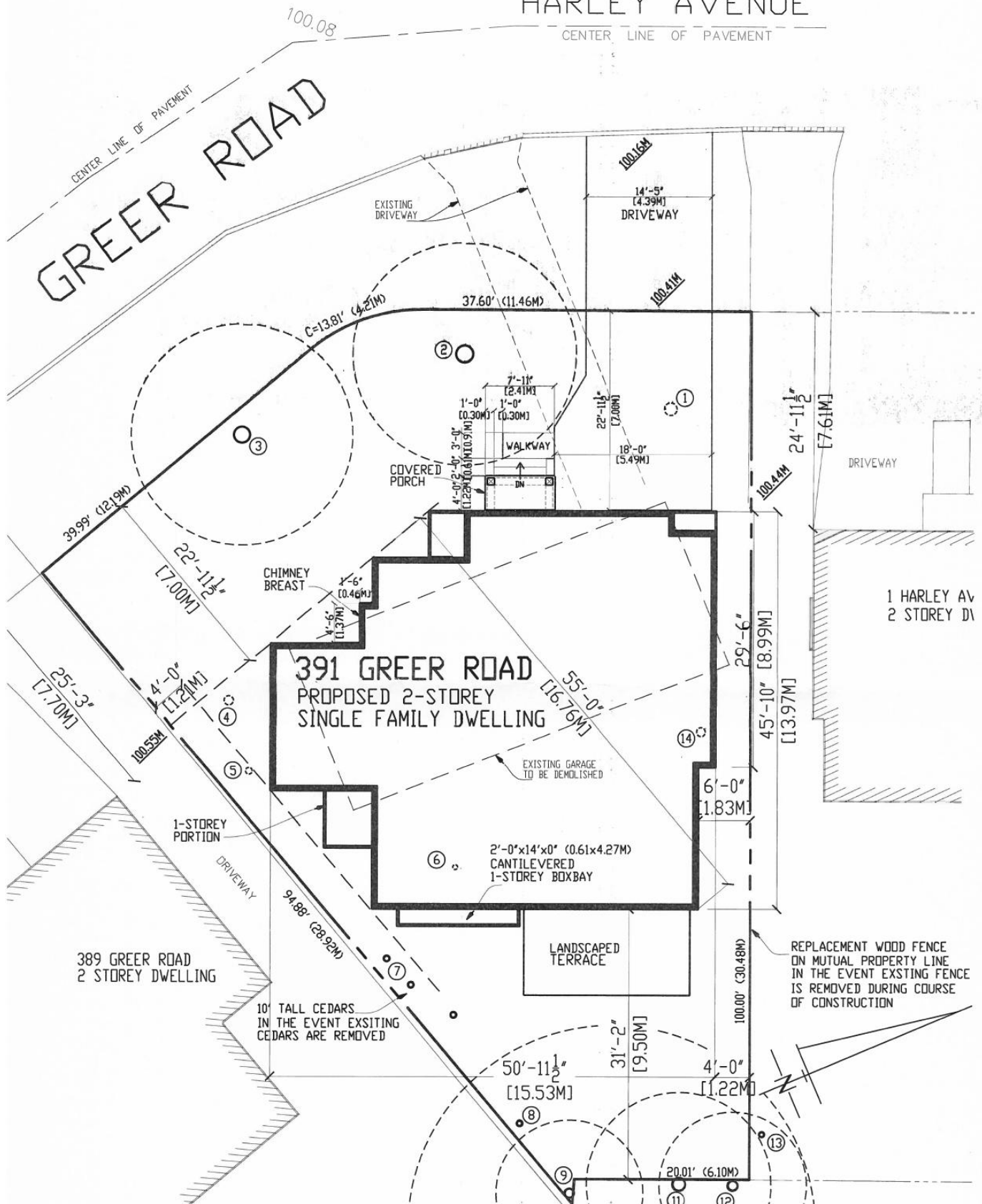
- 1) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
- 2) The property being developed essentially in accordance with the site plan, dated April 18, 2017, attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

CENTER LINE OF PAVEMENT

CENTER LINE OF PAVEMENT

CENTER LINE OF PAVEMENT

GREER ROAD

**Md**

1 Teakwood Grove
Toronto, Ont. M3B 2H9
Tel. (416) 414-2635
Fax. (416) 443-1582
Website: manarch.ca
Email: mahir@manarch.ca

SITE PLAN

APRIL 18 2017

$$3/32'' = 1'-0''$$

ZONING & CofA REVIEW

391 GREER ROAD
CRICKET CLUB

SIGNATURE PAGE

File Number:	A0097/17NY	Zoning	R6/RD (f 12 ; a 370)[ZONING]
Owner:	DAVID KERRY FOOT DAVID FOOT	Ward:	Eglinton-Lawrence (16)
Agent:	MANARCH DESIGN INC	Heritage:	Not Applicable
Property Address:	391 GREER RD	Community:	North York
Legal Description:	PLAN 2992 LOT 1		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL : Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, April 19, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0098/17NY	Zoning	RD(f15.0; d0.35)x1427 /R1 Z0.35 [ZZC]
Owner(s):	DANIEL WORBOYS	Ward:	Don Valley West (25)
Agent:	DANIEL WORBOYS	Heritage:	Not Applicable
Property Address:	52 TEDDINGTON PARK AVE	Community:	Toronto
Legal Description:	PLAN 1680 LOT 4		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey single family dwelling with finished basement and new detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.100.1.(2), By-law No. 569-2013**
For a detached house, a driveway that is not located in or does not pass through the front yard may be a maximum of 6.00m wide.
The proposed driveway is 7.53m wide.
- 2. Chapter 10.20.40.10.(4), by-law No. 569-2013**
The maximum permitted height is 7.20m.
The proposed height is 10.39m.
- 3. Chapter 10.20.40.10.(4), by-law No. 569-2013**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.
- 4. Chapter 10.20.40.20(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 19.54m.
- 5. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth for a detached house is 19.00m.
The proposed building depth is 19.54m.

6. **Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.35 times the area of the lot: 302.85m².
The proposed floor space index is 0.52 times the area of the lot: 446.68m².
7. **Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey is 4.00m².
The proposed area of the third storey platform is 12.75m².
8. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum permitted side yard setback is 1.50m.
The proposed west side yard setback is 1.20m.
9. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.35 times the area of the lot: 302.85m².
The proposed gross floor area exceeds the maximum permitted by approximately 143.83m².
10. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The proposed west side lot setback is 1.20m.
11. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The proposed east side lot setback is 7.31m.
12. **Section 6(3) Part IV 4(b), By-law No. 438-86**
For a detached house, a driveway that is not located in or does not pass through the front yard may be a maximum of 6.00m wide.
The proposed driveway is 7.53m wide.
13. **Section 4(2), By-law No. 438-86**
The maximum permitted height of a building is 10.00m.
The proposed building height is 10.84m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0098/17NY	Zoning	RD(f15.0; d0.35)x1427 /R1 Z0.35 [ZZC]
Owner:	DANIEL WORBOYS	Ward:	Don Valley West (25)
Agent:	DANIEL WORBOYS	Heritage:	Not Applicable
Property Address:	52 TEDDINGTON PARK AVE	Community:	Toronto
Legal Description:	PLAN 1680 LOT 4		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, April 19, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0099/17NY	Zoning	RD/R1B [ZZC]
Owner(s):	MARY CATHERINE FALZONE LUIGI MICHAEL FALZONE	Ward:	Don Valley West (26)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	6 BRENDAN RD	Community:	East York
Legal Description:	PLAN 2566 LOT 3		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 8.50m.
The proposed building height is 8.68m.
2. **Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 6.21m.
The proposed front yard setback is 4.69m.
3. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed northwest side yard setback is 0.76m.
4. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed southeast side yard setback is 0.90m.
5. **Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is 0.803 times the lot area.

6. Chapter 5.10.40.70.(6), By-law No. 569-2013

If the Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot, a building or structure on that lot must be set back a minimum of 10.00m from that shoreline hazard limit or stable top-of-bank.

The proposed building is set back 7.09m from that shoreline hazard limit or stable top-of-bank.

7. Section 7.3.3, By-law No. 6752

The maximum permitted building height is 8.50m.

The proposed building height is 8.68m.

8. Section 7.3.3, By-law No. 6752

The minimum required front yard setback is 6.00m.

The proposed front yard setback is 4.69m.

9. Section 7.3.3, By-law No. 6752

The minimum required side yard setback is 0.90m.

The proposed northwest side yard setback is 0.76m.

10. Section 7.3.3, By-law No. 6752

The maximum permitted floor space index is 0.60 times the lot area.

The proposed floor space index is 0.831 times the lot area.

11. Section 7.3.3, By-law No. 6752

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 47.90% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0099/17NY	Zoning	RD/R1B [ZZC]
Owner:	MARY CATHERINE FALZONE LUIGI MICHAEL FALZONE	Ward:	Don Valley West (26)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	6 BRENDAN RD	Community:	East York
Legal Description:	PLAN 2566 LOT 3		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0100/17NY	Zoning	Rd / R1B (ZR)
Owner(s):	HEATHER ANNE SHIPTON PETER BEN BOLT	Ward:	Don Valley West (26)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	61 CAMERON CRES	Community:	North York
Legal Description:	PLAN 2121 LOT 180		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second storey addition on the existing detached dwelling with attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.63 times the area of the lot.
- 2. Section 6.1.1(2), By-law No. 1916**
The maximum permitted floor space index is 0.6 times the lot area.
The proposed floor space index is 0.63 times the lot area.
- 3. Section 6.1.1(1), By-law No. 1916**
The minimum required south side yard setback is 0.45 m.
The proposed south side yard setback is 0.42 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0100/17NY	Zoning	Rd / R1B (ZR)
Owner:	HEATHER ANNE SHIPTON PETER BEN BOLT	Ward:	Don Valley West (26)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	61 CAMERON CRES	Community:	North York
Legal Description:	PLAN 2121 LOT 180		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0101/17NY	Zoning	RD(F12.0;a370)/R6[ZONIN G]
Owner(s):	SHIRIN KHOSRAVIANI JAHANGIR NEMATOLLAHI	Ward:	Willowdale (24)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	30 ABITIBI AVE	Community:	North York
Legal Description:	PLAN 2385 LOT 129		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the west side exterior main wall is **8.34m for 15.00% of width of the wall.**
- 2. Section 14-A(8), BY-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.14m.
- 3. Section 6(24), By-law No. 7625**
Decks greater than 1m in height may not project more than 2.1m from the wall and must be less than 0.5 times the width of the dwelling.
The proposed height of the deck is 2.5m and projects 3.05 m from the wall and is 0.38 times the width of the dwelling.
- 4. Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is **1.8m.**
- 5. Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 15.51m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0101/17NY	Zoning	RD(F12.0;a370)/R6[ZONIN G]
Owner:	SHIRIN KHOSRAVIANI JAHANGIR NEMATOLLAHI	Ward:	Willowdale (24)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	30 ABITIBI AVE	Community:	North York
Legal Description:	PLAN 2385 LOT 129		

Beth Levy (signed)

Denise Graham (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0102/17NY	Zoning	RM\RM [ZZC]
Owner(s):	ADRIANO MATOS CIDALIA MATOS	Ward:	Eglinton-Lawrence (15)
Agent:	TH DESIGN INC	Heritage:	Not Applicable
Property Address:	1042 ROSELAWN AVE	Community:	York
Legal Description:	PLAN 1775 E PT LOT 656		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear two-storey addition and a new second floor with interior alterations to an existing single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(1)(D), By-law No. 569-2013**
A minimum of 75.00% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping.
The proposed front yard soft landscaping area is **71.90%**.
- 2. Chapter 10.5.50.10.(3)(A), By-law No. 569-2013**
The minimum required rear yard soft landscaping is 50.00%.
The proposed rear yard soft landscaping area is **43.00%**.
- 3. Section 3.(a), By-law No. 1-83**
The minimum required side yard setback is 0.50m.
The existing and proposed west side yard setback is 0.28m.
- 4. Section 3.(d), By-law No. 1-83**
The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is **43.00%**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0102/17NY	Zoning	RM\RM [ZZC]
Owner:	ADRIANO MATOS CIDALIA MATOS	Ward:	Eglinton-Lawrence (15)
Agent:	TH DESIGN INC	Heritage:	Not Applicable
Property Address:	1042 ROSELAWN AVE	Community:	York
Legal Description:	PLAN 1775 E PT LOT 656		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Wednesday, April 19, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0103/17NY	Zoning	RM/RM [ZZC]
Owner(s):	MANUEL MAGALHAES	Ward:	Eglinton-Lawrence (15)
Agent:	TH DESIGN INC	Heritage:	Not Applicable
Property Address:	121 CLOVELLY AVE	Community:	York
Legal Description:	PLAN 1558 E PT LOT 38		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing one-storey dwelling, in conjunction with a one-storey addition to the front of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.80 times the lot area.
The proposed floor space index is **0.86** times the lot area.
- 2. Chapter 10.80.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 1.91m.
The proposed front yard setback is 1.88m.
- 3. Chapter 10.80.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The existing and proposed west side yard setback is 0.95m.
- 4. Chapter 10.80.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The existing and proposed east side yard setback is 0.39m.
- 5. Section 3(a), By-law No. 1-83**
The maximum permitted floor space index is 0.80 times the lot area.
The proposed floor space index is **0.86** times the lot area.
- 6. Section 3(a), By-law No. 1-83**
The minimum required side yard setback is 1.20m.
The existing and proposed west side yard setback is 0.95m.

7. Section 3(a), By-law No. 1-83

The minimum required side yard setback is 1.20m.

The existing and proposed east side yard setback is 0.39m.

8. Section 3(a), By-law No. 1-83

The minimum required rear yard setback is 7.50m.

The existing and proposed rear yard setback is 4.47m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0103/17NY	Zoning	RM/RM [ZZC]
Owner:	MANUEL MAGALHAES	Ward:	Eglinton-Lawrence (15)
Agent:	TH DESIGN INC	Heritage:	Not Applicable
Property Address:	121 CLOVELLY AVE	Community:	York
Legal Description:	PLAN 1558 E PT LOT 38		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Wednesday, April 19, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0104/17NY	Zoning	RD / R4 (ZR)
Owner(s):	WARA TONIM CHOUDHURY AHMED ZAVED CHOUDHURY	Ward:	Willowdale (23)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	23 VONDA AVE	Community:	North York
Legal Description:	PLAN 3896 LOT 102		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposed construction of a new two storey single family dwelling with attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m each side.
The proposed north side yard setback is **1.53m**.
- 3. Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 519 m².
- 4. Section 13.2.3(b), By-law No. 7625**
The minimum required north side yard setback is 1.8 m.
The proposed north side yard setback is **1.53m**.
- 5. Section 13.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5 m.
The proposed rear yard setback is **8.5 m**.

6. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0104/17NY	Zoning	RD / R4 (ZR)
Owner:	WARA TONIM CHOUDHURY AHMED ZAVED CHOUDHURY	Ward:	Willowdale (23)
Agent:	CANTAM GROUP	Heritage:	Not Applicable
Property Address:	23 VONDA AVE	Community:	North York
Legal Description:	PLAN 3896 LOT 102		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL : Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0105/17NY	Zoning	R2A/RD[ZONING]
Owner(s):	AMY TAIRA PHILIPPE LAVALLEE	Ward:	Don Valley West (26)
Agent:	JOE KNIGHT	Heritage:	Not Applicable
Property Address:	279 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 2120 PT LOT 383 PT LOT 384		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(3), By-law No. 569-2013**
The minimum required rear yard soft landscaping area is 50%.
The proposed rear yard soft landscaping area is **48.60%**.
- 2. Chapter 10.5.100.1.(2), By-law No. 569-2013**
The maximum permitted driveway width is 6m.
The proposed driveway width is 7.32m.
- 3. Chapter 10.80.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is **35.20% of the lot area, which is to be allocated to the dwelling and 9.10% of the lot area, to be for the garage.**
- 4. Chapter 10.80.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space Index is 0.66 times the area of the lot.
- 5. Chapter 900.6.10(263), By-law No. 569-2013**
The minimum required side yard setback is 0.9m.
The proposed north side yard setback is 0.83m.
- 6. Chapter 900.6.10(263), By-law No. 569-2013**
The minimum required side yard setback is 0.9m.

The proposed south side yard setback is 0.68m.

7. Chapter 10.5.40.60.(3), By-law No. 569-2013

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0m.

The proposed stairs are 2.9m wide.

8. Section 6.4.3, By-law No. 1916

The maximum permitted Floor Space Index is 0.6 times the lot area.

The proposed Floor Space Index is 0.66 times the lot area.

9. Section 6.4.3, By-law No. 1916

The maximum permitted lot coverage is 35% of the lot area.

The proposed lot coverage is **35.20% of the lot area, which is to be allocated to the dwelling and 9.10% of the lot area, to be for the garage.**

10. Section 6.4.3, By-law No. 1916

The minimum required side yard setback is 0.9m.

The proposed north side yard setback is 0.83m.

11. Section 6.4.3, By-law No. 1916

The minimum required side yard setback is 0.9m.

The proposed south side yard setback is 0.68m.

12. Section 5.13.4, By-law No. 1916

Where the entrance to a private garage is from a lane, such building shall be no closer than 7.5m from the opposite boundary of a lane.

The garage is located 7.4m from the opposite boundary of the lane.

13. By-law No. 974-2006

The maximum permitted driveway width is 6m.

The proposed driveway width is 7.32m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant shall submit an application for permits to injure or remove private trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- 2) Where no street tree exists, the owner shall provide payment in the amount of \$583 to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager, PFR.

SIGNATURE PAGE

File Number:	A0105/17NY	Zoning	R2A/RD[ZONING]
Owner:	AMY TAIRA PHILIPPE LAVALLEE	Ward:	Don Valley West (26)
Agent:	JOE KNIGHT	Heritage:	Not Applicable
Property Address:	279 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 2120 PT LOT 383 PT LOT 384		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, April 19, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0106/17NY	Zoning	RM(f21.0; a835) (x474)/ RM5 [ZR]
Owner(s):	DEEPA RANI SUNIL KUMAR SUKUMARAN SUNIL KUMAR	Ward:	York Centre (10)
Agent:	BG CONSTRUCTION DESIGN	Heritage:	Not Applicable
Property Address:	777 WILSON HEIGHTS BLVD	Community:	North York
Legal Description:	PLAN 5186 PT BLK C		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second-storey addition over the garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.60.(7), By-law No. 569-2013**
The eaves shall be no closer than 0.30m to the lot line.
The proposed eaves are 0.16m from the lot line.
- 2. Chapter 10.80.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 35.20% of the lot area.
- 3. Chapter 10.80.40.70.(3), By-law No. 569-2013**
The minimum permitted side yard setback is 1.50m.
The proposed side yard setback is 0.46m.
- 4. Section 20.2.4(b), By-law No. 7625**
The minimum permitted side yard setback is one half the building height: 3.90m
The proposed north side yard setback is 0.46m.
- 5. Section 20.2.2, By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 35.20% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The property being developed essentially in accordance with the site plan, dated October 2016, attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0106/17NY	Zoning	RM(f21.0; a835) (x474)/ RM5 [ZR]
Owner:	DEEPA RANI SUNIL KUMAR SUKUMARAN SUNIL KUMAR	Ward:	York Centre (10)
Agent:	BG CONSTRUCTION DESIGN	Heritage:	Not Applicable
Property Address:	777 WILSON HEIGHTS BLVD	Community:	North York
Legal Description:	PLAN 5186 PT BLK C		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0109/17NY	Zoning	R4/RD(x5)[ZONING]
Owner(s):	HEIDI MEIROVITZ	Ward:	York Centre (10)
Agent:	HEIDI MEIROVITZ	Heritage:	Not Applicable
Property Address:	206 MCALLISTER RD	Community:	North York
Legal Description:	PLAN 3553 LOT 52		

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.20.40.10.(4), By-law No. 569-2013**
The maximum permitted building height with a flat roof is 7.2m.
The proposed building height is 9.17m.
2. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 18.99m.
3. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 18.99m.
4. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height with a flat roof is 8.0m.
The proposed building height is 9.42m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 18.99m.

3. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 18.99m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 10.20.40.10.(4), By-law No. 569-2013**
The maximum permitted building height with a flat roof is 7.2m.
The proposed building height is 9.17m.

4. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height with a flat roof is 8.0m.
The proposed building height is 9.42m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0109/17NY	Zoning	R4/RD(x5)[ZONING]
Owner:	HEIDI MEIROVITZ	Ward:	York Centre (10)
Agent:	HEIDI MEIROVITZ	Heritage:	Not Applicable
Property Address:	206 MCALLISTER RD	Community:	North York
Legal Description:	PLAN 3553 LOT 52		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0110/17NY	Zoning	RD\R3 [ZZC]
Owner(s):	AMAR SINGH DHALIWAL MANBIR KAUR	Ward:	York Centre (10)
Agent:	EY1 INC	Heritage:	Not Applicable
Property Address:	4 FAITH AVE	Community:	North York
Legal Description:	PLAN 3293 PT LOTS 63 & 64		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey single family dwelling with integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length for a detached house is 17.00m.
The proposed building length is **17.37m**.
- 2. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m **for the front 6.75m portion of the dwelling only.**
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **35.80%** of the lot area.
- 4. Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.1m**.
- 5. Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is **17.37m**.
- 6. Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m **for the front 6.75m portion of the dwelling only.**

7. Section 12.6, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **35.80%** of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The property being developed essentially in accordance with the site plan dated, March 31, 2017, attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

DATE	NO	DESCRIPTION
JAN 14 11	1	AS RELOCATED
MAY 31 11	2	AS RELOCATED



EYI
DESIGN & BUILD
3705 BATHURST STREET
NORTH YORK,
ONTARIO M2A 8M4
TEL: 416-491-8800
eyi@eyiconsulting.com

Information for the client:
This drawing is prepared for the client's use only. It is not to be used for any other purpose without the written consent of the engineer.
The engineer is not responsible for the accuracy of the data provided by the client.
The engineer is not responsible for the accuracy of the data provided by the client.

OPTIMUM CONSULTING CORP.
14101 102A ST. 707
SCARBOROUGH, ONTARIO M1V 4Y4

SURVEYOR'S REAL PROPERTY REPORT
PART 1) PLAN AND TOPOGRAPHIC DETAIL
PART OF LOTS 63 AND 64
REGISTERED PLAN 3293
CITY OF TORONTO
(FORMERLY CITY OF NORTH YORK)
SCALE 1:200

VLADIMIR DOSEN SURVEYING, O.L.S.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS
PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
OF VLADIMIR DOSEN, O.L.S.

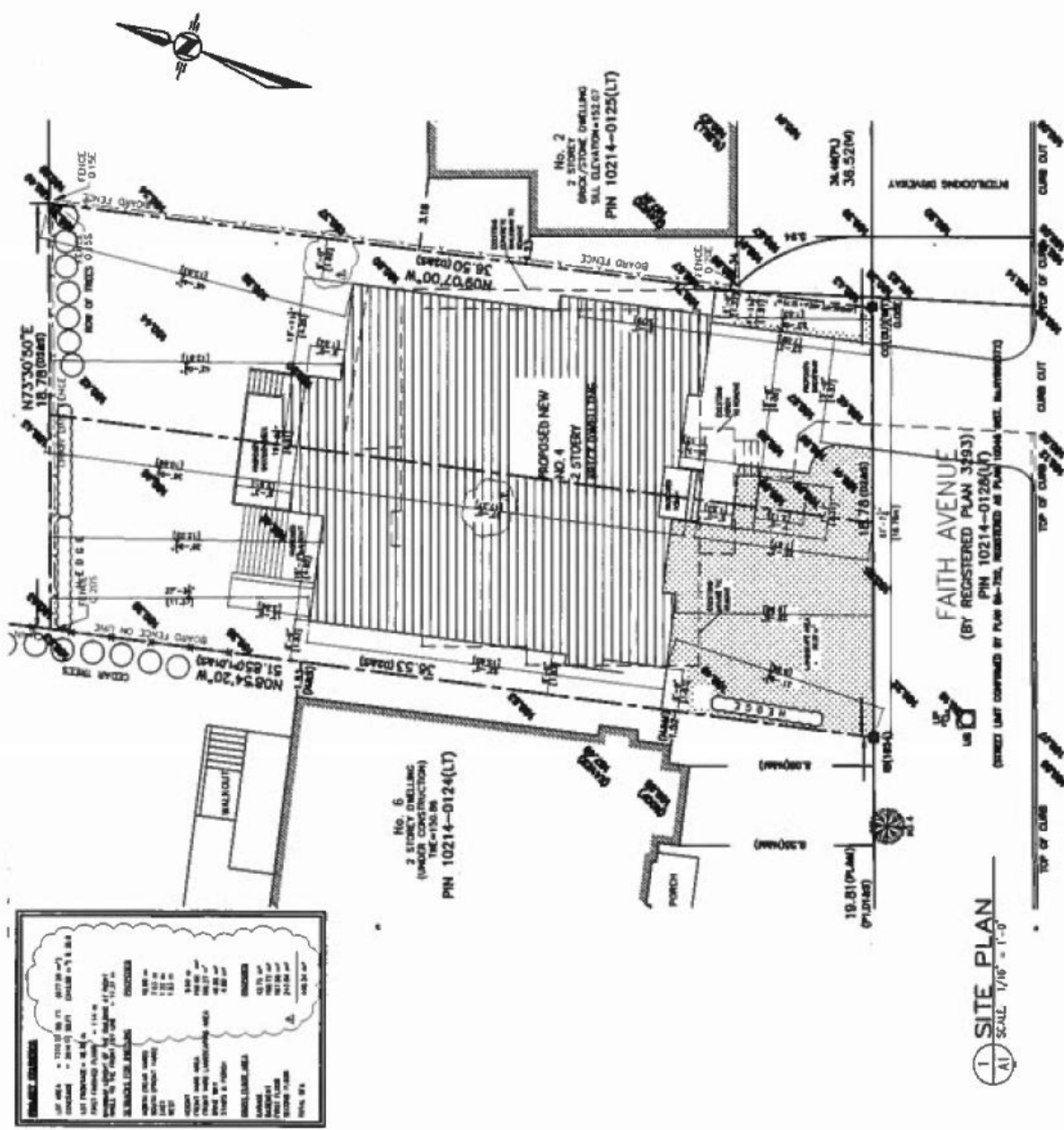
METRIC
DISTANCES SHOWN ON THIS PLAN ARE
IN METRES AND CAN BE CONVERTED
TO FEET BY DIVIDING BY 0.3048.

BENCHMARK NOTE:
ELEVATIONS ARE LOCAL

THIS REPORT WAS PREPARED FOR
MANDIEP DIALIWA
AND THE UNDERSIGNED ACCEPTS NO
RESPONSIBILITY FOR USE BY
OTHER PARTIES.

BEARING NOTE:
BEARINGS ARE ASTRONOMIC AND ARE
LIMITED TO THE NORTH
AS SHOWN ON PLAN BA-752
HAVING A BEARING OF N73°26'50"E

PART 2) SURVEY REPORT
REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
NO EASEMENTS OR RIGHT OF WAYS ARE REGISTERED.
LOCATION OF EASEMENTS ARE AS SHOWN
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
BY-LAWS.



1 SITE PLAN
A1 SCALE 1/16" = 1'-0"

FAITH AVENUE
(BY REGISTERED PLAN 3293)
PIN 10214-0124(LT)
(DISTRICT LINT CONFIRMED BY PLAN BA-752, REGISTERED AS PLAN 10214-0124(LT))

NEW
SINGLE FAMILY DWELLING

4 FAITH AVENUE
North York, Ontario

Scale As Shown
Drawn By H.E.
Date DECEMBER 2012
Project No. 160902

A1

SIGNATURE PAGE

File Number:	A0110/17NY	Zoning	RD\R3 [ZZC]
Owner:	AMAR SINGH DHALIWAL MANBIR KAUR	Ward:	York Centre (10)
Agent:	EY1 INC	Heritage:	Not Applicable
Property Address:	4 FAITH AVE	Community:	North York
Legal Description:	PLAN 3293 PT LOTS 63 & 64		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

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** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0111/17NY	Zoning	RD / R4 (ZW)
Owner(s):	UTOOR NAZAL FARIS NAZAL	Ward:	Willowdale (23)
Agent:	FARIS NAZAL	Heritage:	Not Applicable
Property Address:	301 MCKEE AVE	Community:	North York
Legal Description:	PLAN 3141 PT LOT 42		

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with attached garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.70, By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.
- Section 13.2.3, By-law No. 7625**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.
- Section 13.2.5(a), By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 17.4 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

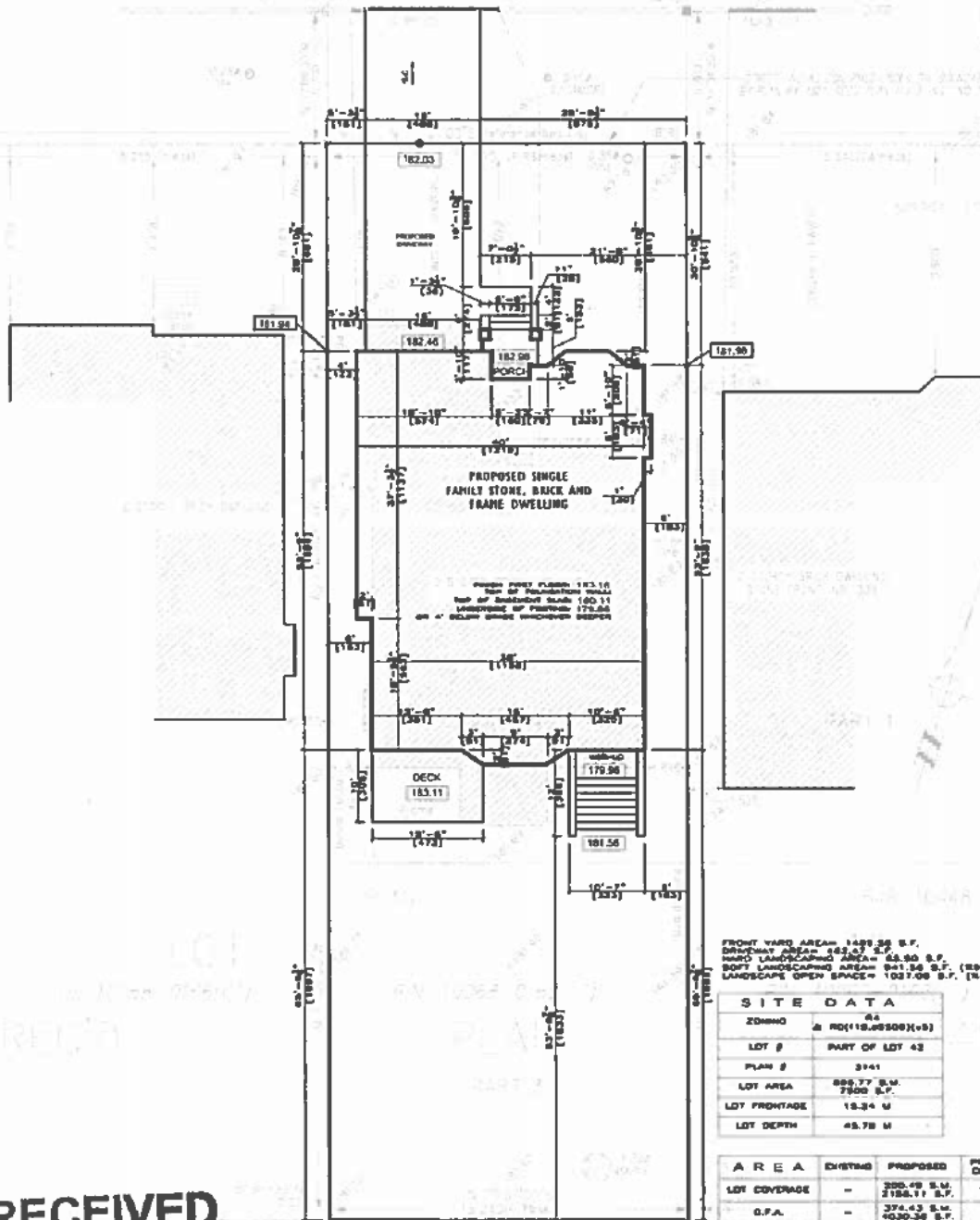
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the site plan, main floor plan, and second floor plan drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, April 10, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

MCKEE AVENUE



FRONT YARD AREA= 1489.36 S.F.
DRAINWAY AREA= 482.47 S.F.
HARD LANDSCAPING AREA= 62.90 S.F.
SOFT LANDSCAPING AREA= 941.34 S.F. (201.87)
LANDSCAPE OPEN SPACE= 1027.00 S.F. (148.95)

SITE DATA	
ZONING	44 RD(119.65308)(+0)
LOT #	PART OF LOT 43
PLAN #	3941
LOT AREA	889.77 S.W. 7500 S.F.
LOT FRONTAGE	15.34 M
LOT DEPTH	45.78 M

AREA	EXISTING	PROPOSED	PROPOSED COVERAGE
LOT COVERAGE	=	250.49 S.F. 2184.11 S.F.	2184.90
O.F.A.	=	374.43 S.F. 4030.36 S.F.	
NO. OF STORES PER LOT	=	AS SHOWN	
WIDTH LENGTH	=	AS SHOWN	
PARKING	=	AS SHOWN	

RECEIVED

APR 10 2017

**Toronto City Planning
North York District**

designed by:

ALI SHAKERI

T.418 8213000 F.418 2500000

ARCICA INC.

226 SHEPPARD AVE. EAST, M4N3B4
TORONTO, ONTARIO, CANADA.

Project

301 MCKEE AVENUE

Figure 1

SITE PLAN

0-2 000000

$$1/16''=1'$$

A1

revisi karna :

FEB OF 2017 • ISSUED FOR COA

THE UNDERSIGNED HAS REVIEWED & TAKES
RESPONSIBILITY FOR THIS DESIGN, & HAS THE
QUALIFICATIONS & MEETS THE REQUIREMENTS
SET OUT IN THE C.E.C. TO BE A DESIGNER
Ali Shakeri
BCIN#24574
F&A Associates Ltd.
BCIN#30888

1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
3. DO NOT SCALE DRAWINGS.
4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIATION FROM THE DRAWINGS MUST BE REPORTED TO F&B ASSOCIATES BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION FROM F&B ASSOCIATES.
5. USE ONLY LATEST REVISED DRAWINGS OF THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

STRUCTURAL MEMBERS:

J1: LPI 20 PLUS 11 @ 16"
J2: LPI 42 PLUS 11 @ 16"
J3: LPI 42 PLUS 11 @ 12"

B1: 1-LVL 11 @ 12"
B2: 2-LVL 11 @ 12"
B3: 3-LVL 11 @ 12"
B4: 4-LVL 11 @ 12"

C1: HSS 102X8
C2: HSS 127X127X8
C3: 3-2x6

L1: 3-2x10
L2: 2-2x10

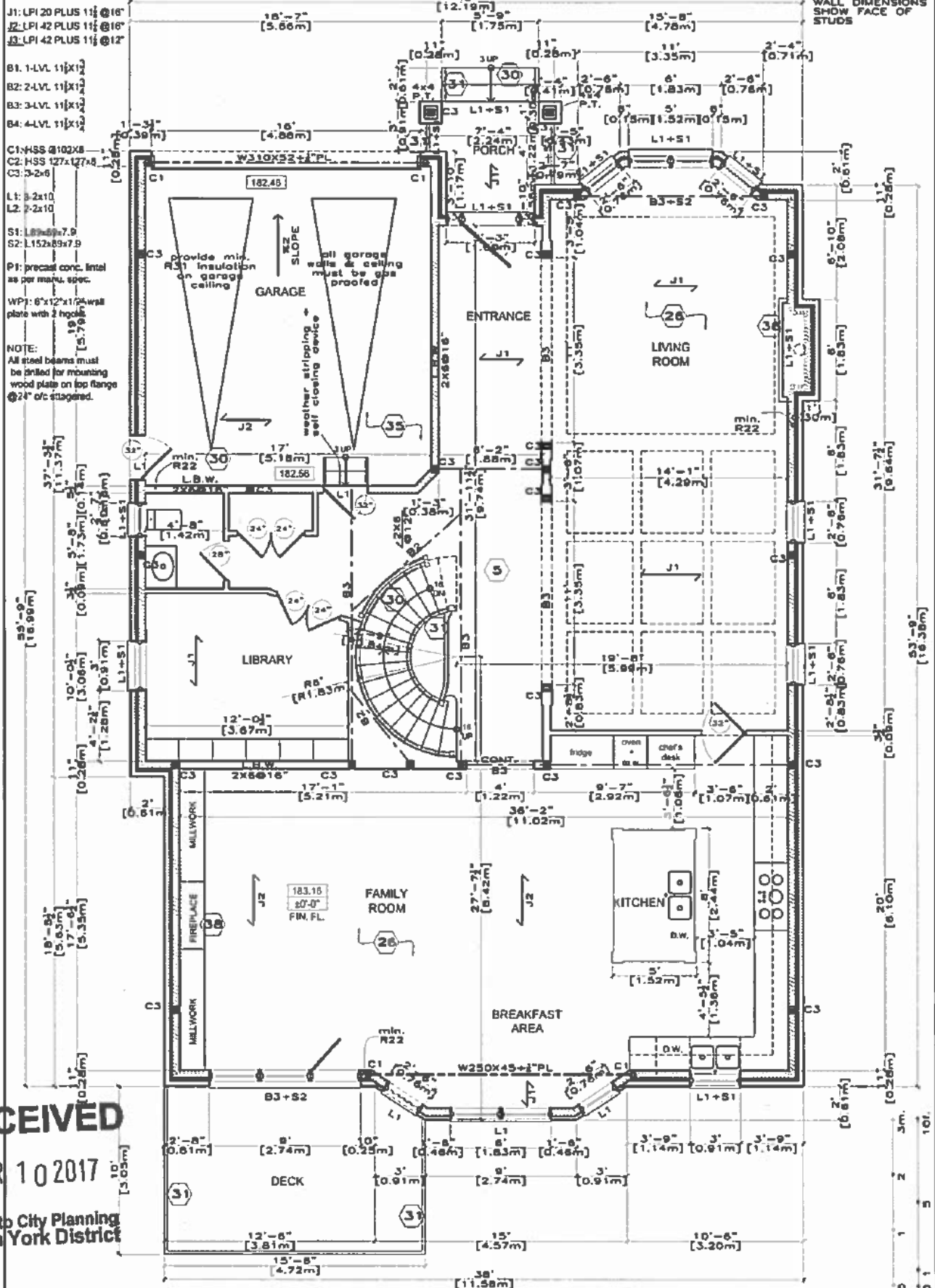
S1: L8x6x7.9
S2: L152x89x7.9

P1: precast conc. lintel
as per manu. spec.

WP1: 6"x12"x1/2" wall
plate with 2 holes

NOTE:
All steel beams must
be drilled for mounting
wood plate on top flange
@ 24" o/c staggered.

NOTE:
ALL INTERIOR
WALL DIMENSIONS
SHOW FACE OF
STUDS



RECEIVED
APR 10 2017
Toronto City Planning
North York District

designed by: ALI SHAKERI T.416 8213880 F.416 2308700 ARCICA INC. 338 SHEPPARD AVE. EAST, M3N3B4 TORONTO, ONTARIO, CANADA	project: 301 MCKEE AVENUE drawing: MAIN FLOOR PLAN scale: 3/16"=1' sheet: A3	revision: FEB 07, 2017 - ISSUED FOR CDA THIS UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THE DESIGN & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.C. TO BE A DESIGNER Ali Shakeri BCIN#24574 FAA Associates Ltd. BCIN#20990	1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE 2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION 3. DO NOT SCALE DRAWINGS 4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO FAA ASSOCIATES BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK 5. USE ONLY LATEST REVISED DRAWINGS OF THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION" 6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION
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STRUCTURAL MEMBERS:

J1: LPI 20 PLUS 11@16"
J2: LPI 42 PLUS 11@16"
J3: LPI 42 PLUS 11@12"

B1: 1-LVL 11@X1
B2: 2-LVL 11@X1
B3: 3-LVL 11@X1
B4: 4-LVL 11@X1

C1: HSS Ø102X8
C2: HSS 127X127X8
C3: 3-2-6

L1: 3-2-10
L2: 2-2-10

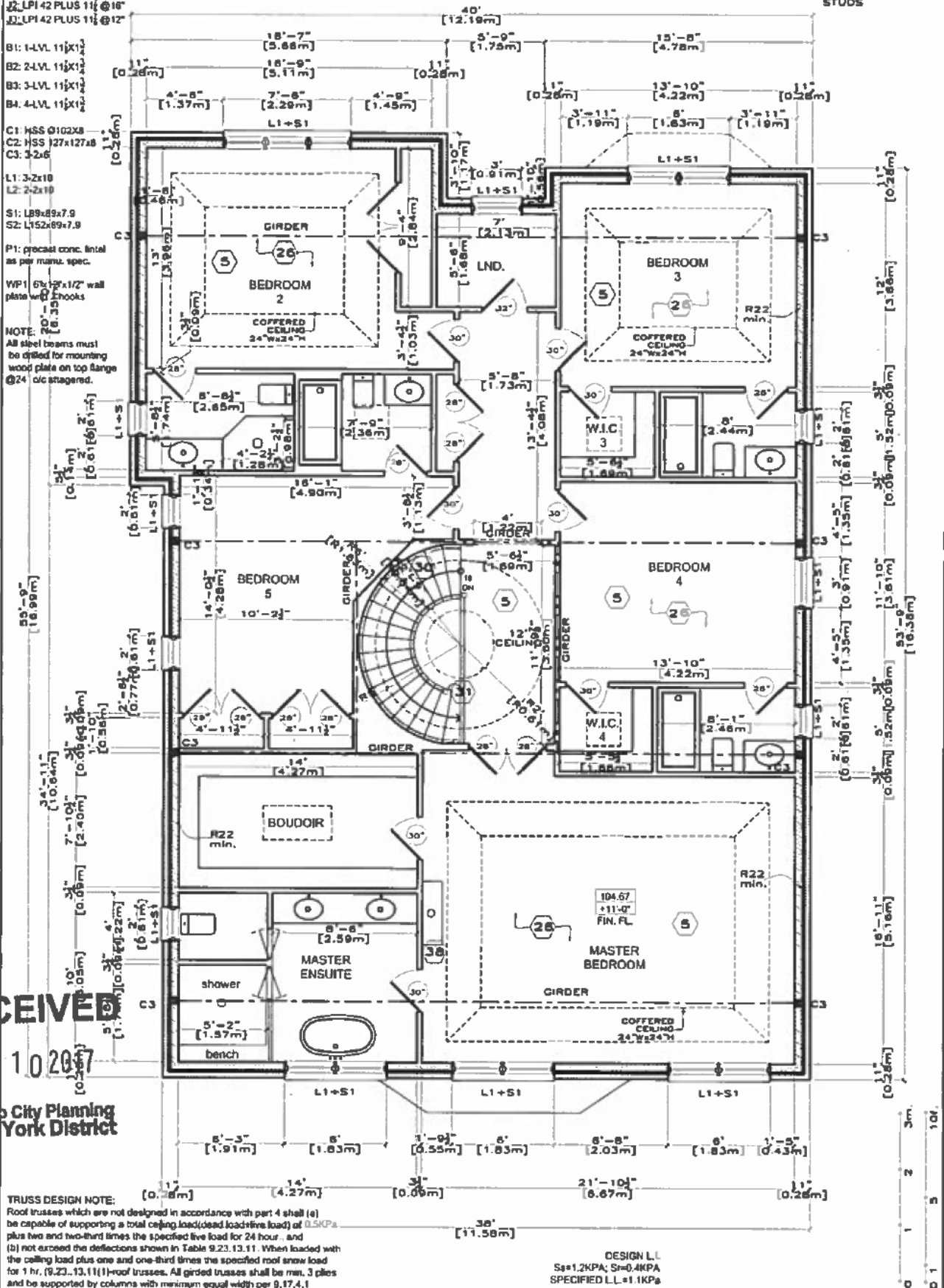
S1: LB9x89x7.9
S2: L152x89x7.9

P1: precast conc. lintel
as per manu. spec.

WVP1: 6x12x1/2" wall
plate w/ 35 hooks

NOTE:
All steel beams must
be drilled for mounting
wood plate on top flange
@24" o/c staggered.

NOTE:
ALL INTERIOR
WALL DIMENSIONS
SHOW FACE OF
STUDS



TRUSS DESIGN NOTE:

Roof trusses which are not designed in accordance with part 4 shall (a) be capable of supporting a total ceiling load (dead load + live load) of 0.5KPa, plus two and two-third times the specified live load for 24 hours, and (b) not exceed the deflections shown in Table 9.23.13.11. When loaded with the ceiling load plus one and one-third times the specified roof snow load for 1 hr, (9.23.13.11) roof trusses, All girded trusses shall be min. 3 plies and be supported by columns with minimum equal width per 9.17.4.1

designed by:

ALI SHAKERI

T:416 821-3880 F:416 250-8900

ARCICA INC.

238 SHEPPARD AVE. EAST, M2N3B4
TORONTO, ONTARIO, CANADA

301 MCKEE AVENUE

drawing:

SECOND FLOOR PLAN

sheet:

3/16"=1'

A4

revised:

FEB 07, 2017 - ISSUED FOR COA

THIS UNDERSIGNED HAS REVIEWED & TAKES
RESPONSIBILITY FOR THIS DESIGN. I HAVE THE
QUALIFICATIONS & MEETS THE REQUIREMENTS
SET OUT IN THE O.C. TO BE A DESIGNER
Ali Shakeri
BCIN524574
F&A Associates Ltd.
BCIN524574

1. ALL WORK SHALL BE CARRIED OUT IN
STRICT ACCORDANCE WITH THE REQUIREMENTS
OF THE LATEST REVISION OF THE ONTARIO
BUILDING CODE.
2. VERIFY ALL DIMENSIONS PRIOR TO
CONSTRUCTION.
3. DO NOT SCALE DRAWINGS.
4. ALL DIMENSIONS AND INFORMATION SHALL
BE CHECKED AND VERIFIED ON THE JOB AND
ANY VARIANCES OR DISCREPANCIES MUST BE
REPORTED TO F&A ASSOCIATES BY PHONE
AND SUBSEQUENT WRITTEN CONFIRMATION
PROVIDED TO THE CLIENT OF THE WORK.
5. USE ONLY LATEST REVISED DRAWINGS OF
THOSE THAT ARE MARKED "ISSUED FOR
CONSTRUCTION".
6. ALL STRUCTURAL DESIGN MUST BE
REVIEWED AND APPROVED BY CERTIFIED
STRUCTURAL ENGINEER PRIOR TO
CONSTRUCTION.

RECEIVED

APR 10 2017

Toronto City Planning
North York District

SIGNATURE PAGE

File Number: A0111/17NY
Owner: UTOOR NAZAL
FARIS NAZAL
Agent: FARIS NAZAL
Property Address: **301 MCKEE AVE**
Legal Description: PLAN 3141 PT LOT 42

Zoning: RD / R4 (ZW)
Ward: Willowdale (23)
Heritage: Not Applicable
Community: North York

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Wednesday, April 19, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0112/17NY	Zoning	R3/RD[WAIVER]
Owner(s):	WILLIAM WAI LAP CHENG WILLIAM CHENG	Ward:	Don Valley West (25)
Agent:	MAKOW ARCHITECTS ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	23 GREEN VALLEY RD	Community:	North York
Legal Description:	PLAN 4227 LOT 22		

PURPOSE OF THE APPLICATION:

To construct a third floor above the existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 12.7, By-law No.7625**
The maximum permitted number of storey is 2.
The proposed number of storey is 3.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

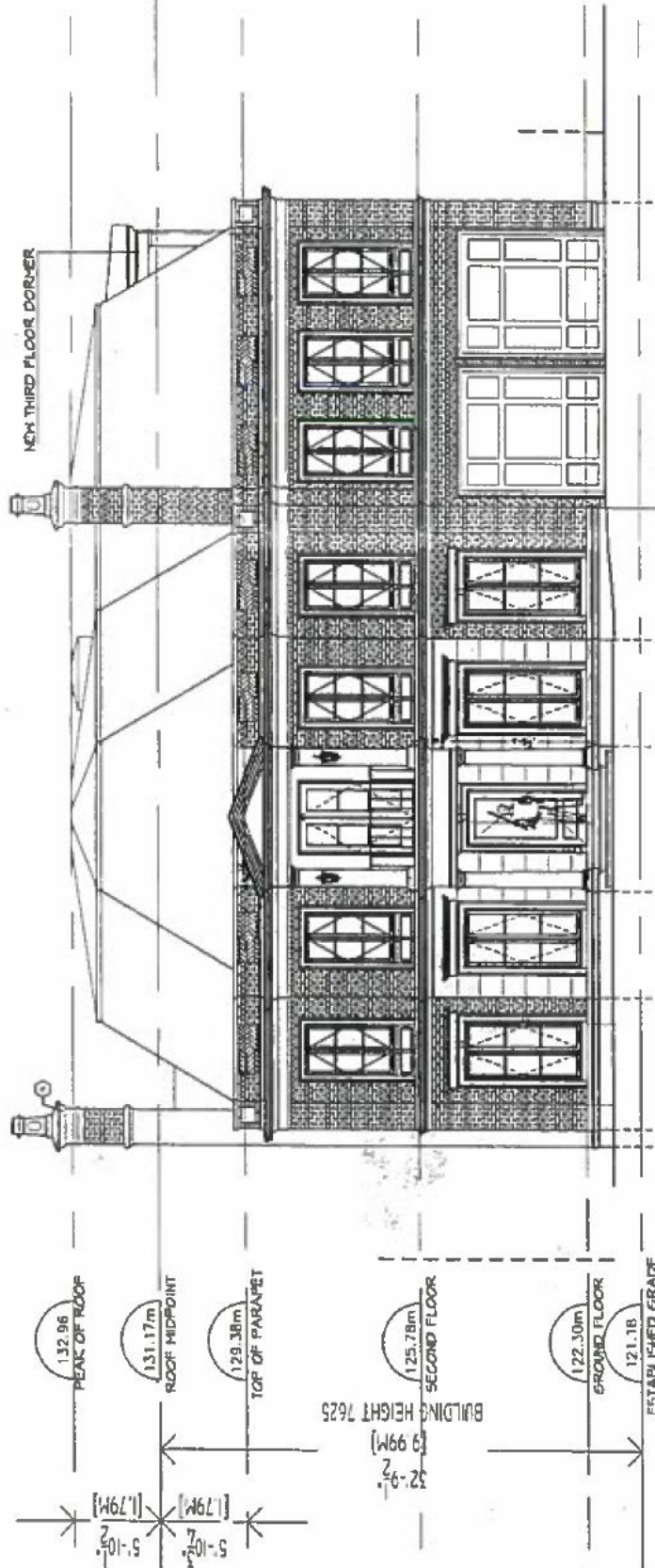
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the site plan and front elevation submitted to the Committee of Adjustment, date stamped received by the City Planning Division on April 7, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

- 2) That the third floor area not to exceed 33.00m², including the mechanical area.

RECEIVED
APR 07 2017
Toronto City Planning
North York District



RECEIVED

93 sqft
8.6 sqM

THIRD FLOOR PLAN

CHENG RESIDENCE

23 GREEN VALLEY
Toronto, Ontario

FEBRUARY 3rd, 2017
1/8" = 1'-0"MAKOW ASSOCIATES
ARCHITECT INC.

3 Bridgman Avenue, Suite 201, Toronto, Ontario Canada M5S 3M4

SIGNATURE PAGE

File Number:	A0112/17NY	Zoning	R3/RD[WAIVER]
Owner:	WILLIAM WAI LAP CHENG WILLIAM CHENG	Ward:	Don Valley West (25)
Agent:	MAKOW ARCHITECTS ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	23 GREEN VALLEY RD	Community:	North York
Legal Description:	PLAN 4227 LOT 22		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, April 19, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0113/17NY	Zoning	RD(F9, a275)\ R7(16) [WAIVER]
Owner(s):	MATTHEW CONTI ANGELO CONTI	Ward:	Eglinton-Lawrence (16)
Agent:	BRANDON BELL	Heritage:	Not Applicable
Property Address:	123 JOICEY BLVD	Community:	North York
Legal Description:	PLAN 2647 PT LOT 124		

PURPOSE OF THE APPLICATION:

To construct a new two-storey single family dwelling with integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area: 127.82m².
The proposed lot coverage is 38.00% of the lot area: 138.82m².
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of the exterior main walls is 7.50m.
The proposed height of all exterior main walls is 8.10m.
3. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is **17.69m**.
4. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 0.90m.
The proposed east side yard setback is **0.80m**.
5. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 0.90m.
The proposed west side yard setback is **0.80m**.
6. **Section 14-B(5)(b), By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is **0.80m**.

7. **Section 14-B(5)(b), By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed west side yard setback is **0.80m**.
8. **Section 14-B(6), By-law No. 7625**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 38.00% of the lot area.
9. **Section 14-B(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.35m.
10. **Section 14-B(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is **17.69m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0113/17NY	Zoning	RD(F9, a275)\ R7(16) [WAIVER]
Owner:	MATTHEW CONTI ANGELO CONTI	Ward:	Eglinton-Lawrence (16)
Agent:	BRANDON BELL	Heritage:	Not Applicable
Property Address:	123 JOICEY BLVD	Community:	North York
Legal Description:	PLAN 2647 PT LOT 124		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0169/16NY	Zoning	RD (f15.0; a550) (x5) / R4 [WAIVER]
Owner(s):	SYNAGOGUE CONGREGATION HABONIN OF TORONTO INCORPORATED	Ward:	Eglinton-Lawrence (15)
Agent:	EDWARD RECHTSHAFFEN	Heritage:	Not Applicable
Property Address:	5, 11, 15 GLEN PARK AVE	Community:	North York
Legal Description:	LOTS 253 AND 254, PART OF LOTS 252 AND 255 AND PART OF HOLLAMAN RD (CLOSED BY-LAW 30290) INST TB448436, REG PLAN 1911, CITY OF TORONTO, FORMERLY CITY OF NORTH YORK		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey place of worship building which will also include a day nursery, multipurpose rooms, and associated administration offices for both the congregation and day nursery. The existing place of worship and two adjacent residential dwellings would be demolished. This application was deferred from the April 7, 2016 Committee of Adjustment hearing. The proposal is currently the subject of Site Plan Application No.15 202581 NNY 15 SA.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 6(26)(e)(i) and 13.2.5.2, By-law No. 7625**
The maximum permitted gross floor area (G.F.A.) is 1,394.5m².
The proposed gross floor area (G.F.A.) is 2,446.2 m².
- Section 13.2.3, By-law No. 7625**
The minimum required front yard setback is 7.50m.
The proposed front yard setback is 2.40m.
- Section 6(26)(b)(i), By-law No. 7625**
The maximum permitted building height is 9.50m.
The proposed building height is 10.91m.
- Section 6A(2), By-law No. 7625**
Minimum number of parking spaces required is 107.
The proposed number of parking spaces is 26 on-site.

5. Section 6A(16)(a)(c), By-law No. 7625

The minimum number of loading spaces (11m x 3.6m x 4.2m) required is 2 .
The proposed number of loading space is 1 Type "C" loading space (7m x 3.5m).

6. Section 7.4A(i), By-law No. 7625

The maximum permitted front yard hard surface is 50%.
The proposed front yard hard surface is 63.6%.

7. Section 6(26)(f)(ii), By-law No. 7625

The minimum required distance between Place of Worship is 304.8m.
The proposed distance between Places of Worship is minimum 20.0m.

8. Section 6(9)(a), By-law No. 7625

Vertical architectural fins/screens are not permitted to project into any minimum yard setback.
Vertical architectural fins/screens shall be permitted to project into any minimum yard setback not more than 0.5m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0169/16NY	Zoning	RD (f15.0; a550) (x5) / R4 [WAIVER]
Owner:	SYNAGOGUE CONGREGATION HABONIN OF TORONTO INCORPORATED	Ward:	Eglinton-Lawrence (15)
Agent:	EDWARD RECHTSHAFFEN	Heritage:	Not Applicable
Property Address:	5, 11, 15 GLEN PARK AVE	Community:	North York
Legal Description:	LOTS 253 AND 254, PART OF LOTS 252 AND 255 AND PART OF HOLLAMAN RD (CLOSED BY-LAW 30290) INST TB448436, REG PLAN 1911, CITY OF TORONTO, FORMERLY CITY OF NORTH YORK		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0071/17NY	Zoning	E (ZR)
Owner(s):	BUSINESS STORAGE RENTAL SOLUTIONS INC	Ward:	York West (08)
Agent:	AUTO HOUSE USED CAR INC	Heritage:	Not Applicable
Property Address:	20 ALNESS ST	Community:	
Legal Description:	64R10672 PART 3		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter an existing warehouse for the purpose of a new use.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 60.20.20.10., By-law 569-2013

A vehicle dealership is not a permitted use in an E 1.0 zone.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0071/17NY	Zoning	E (ZR)
Owner:	BUSINESS STORAGE RENTAL SOLUTIONS INC	Ward:	York West (08)
Agent:	AUTO HOUSE USED CAR INC	Heritage:	Not Applicable
Property Address:	20 ALNESS ST	Community:	
Legal Description:	64R10672 PART 3		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Wednesday, April 19, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0015/17NY	Zoning	R6 (ZR)
Owner(s):	RAZZAGH INVESTMENTS LTD	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	18 GREENVIEW AVE	Community:	North York
Legal Description:	PLAN 2419 LOT 79		

Notice was given and a Public Hearing was held on Wednesday, April 19, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with rear deck and internal garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 14-A(6), Zoning By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 2. Section 14-A(8), Zoning By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.
- 3. Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required north side yard setback is 1.8m.
The proposed north side yard setback is 1.5m.
- 4. Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required south side yard setback is 1.8m.
The proposed south side yard setback is 1.5m.
- 5. Section 14-A(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 15.97m.
- 6. Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.79m.

7. Section 6(9), Zoning By-Law No. 7625

The maximum permitted size of a deck and stairs is 2.3m².

The proposed size of the deck and stairs is 4.56m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0015/17NY	Zoning	R6 (ZR)
Owner:	RAZZAGH INVESTMENTS LTD	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	18 GREENVIEW AVE	Community:	North York
Legal Description:	PLAN 2419 LOT 79		

Beth Levy (signed)

Denise Graham (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Wednesday, April 26, 2017

LAST DATE OF APPEAL: Tuesday, May 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Appeals filed prior to May 3, 2017: Please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

Appeals filed on or after May 3, 2017: Please submit your appeal in accordance with the **Toronto Local Appeal Body Appeal Information** below unless one of these exceptions apply:

- the Committee of Adjustment decision was already appealed before May 3, 2017*; or
- there is a related appeal to the OMB for the same matter. A related appeal is an appeal under section 114 of the City of Toronto Act, under sections 17, 22, 34, 36, 38, 41 or 51 of the Planning Act or under a regulation made under section 70.2 of the Planning Act.**

If either one of these exceptions apply, please submit your appeal in accordance with the **Ontario Municipal Board Appeal Information** below.

* To learn if this decision has already been appealed before May 3, 2017, please contact the Committee of Adjustment Case Manager.

** To learn if there is a related appeal to the OMB, search community planning applications in the [Application Information Centre](#) and contact the assigned planner if necessary.

Ontario Municipal Board Appeal Information: To appeal this decision to the Ontario Municipal Board (OMB), submit a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Toronto Local Appeal Body Appeal Information: To appeal this decision to the Toronto Local Appeal Body (TLAB), submit a completed TLAB Notice of Appeal (Form 1) in digital format on a CD/DVD to the Manager & Deputy Secretary Treasurer of the Committee of Adjustment with the required fee. The fee is \$300 for each appeal filed regardless if related and submitted by the same appellant. Fees are payable by cash, certified cheque or money order, in Canadian funds. A certified cheque or money order must be made payable to the City of Toronto. To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.