

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1293/16TEY	Zoning	R (d0.6)(x930) & R2 Z0.6 (ZZC)
Owner(s):	BAHAREH BAHARIAN	Ward:	St. Paul's (22)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	596 SOUDAN AVE	Community:	Toronto
Legal Description:	PLAN 722 BLK R PT LOT 15 & 16		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral below grade garage and a rear basement walkout.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (185.9 m²).

The new detached dwelling will have a floor space index equal to 0.72 times the area of the lot (224.42 m²).

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (185.9 m²).

The new detached dwelling will have a gross floor area equal to 0.72 times the area of the lot (224.42 m²).

2. Section 6(3) Part IV 3(II), By-law 438-86

An integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line is not permitted.

The new detached dwelling will have an integral below grade garage facing the front lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1293/16TEY	Zoning	R (d0.6)(x930) & R2 Z0.6 (ZZC)
Owner(s):	BAHAREH BAHARIAN	Ward:	St. Paul's (22)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	596 SOUDAN AVE	Community:	Toronto
Legal Description:	PLAN 722 BLK R PT LOT 15 & 16		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0231/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	CARLY EKSTEIN GILAD SILBERSTEIN	Ward:	Trinity-Spadina (20)
Agent:	FRANCO ROMANO	Heritage:	Not Applicable
Property Address:	95 OLIVE AVE	Community:	Toronto
Legal Description:	PLAN 1155 PT LOT 42 PT LOT 43		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the existing 2½-storey semi-detached dwelling into a duplex and to construct a rear two-storey addition, rear deck and front walkout.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.
In this case, the stairs will be located 0.0 m to the north lot line.
 - Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted building depth is 17.0 m.
The altered dwelling will have a building depth equal to 18.61 m.
 - Chapter 10.10.40.40.(2)(A), By-law 569-2013**
The maximum permitted floor space index for additions to the rear of a semi-detached house, erected before October 15, 1953 is 0.69 times the area of the lot (166.57 m²).
The altered dwelling will have a floor space index equal to 1.21 times the area of the lot (202.73 m²).
- Section 6(3) Part II 3(I), By-law 438-86**
The minimum required building setback to the side wall of an adjacent building that contains no openings is 0.9 m.
The altered dwelling will be located 0.15 m to the adjacent building to the west.

2. Section 6(3) Part VI 1(I), By-law 438-86

The by-law allows additions to the rear of a converted house, provided the residential gross floor area of the building as enlarged does not exceed 0.69 times the area of the lot (114.93 m²). The altered dwelling will have a residential gross floor area equal to 1.77 times the lot area (295.39 m²).

3. Section 6(3) Part VI 1(V), By-law 438-86

The maximum permitted building depth is 17.0 m.
The altered dwelling will have a building depth equal to 18.61 m.

4. Section 6(2) 1.(v), By-law 438-86

A converted house is a permitted use provided that there is no substantial change in the appearance of the dwelling house as the result of the conversion.
In this case, the additions will result in a change in the appearance of the dwelling.

5. Section 6(2)1.(iii)A, By-law 438-86

A converted house is a permitted use provided there is no exterior alteration of or addition to the house except an addition to a part of the exterior, provided the increase in residential gross floor area does not exceed 0.15 times the area of the lot (24.98 m²).
In this case, the conversion will include an addition to an exterior part of the building which will contain an additional residential gross floor area of 31.84 m², which is equal to 0.19 times the lot area.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0231/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	CARLY EKSTEIN GILAD SILBERSTEIN	Ward:	Trinity-Spadina (20)
Agent:	FRANCO ROMANO	Heritage:	Not Applicable
Property Address:	95 OLIVE AVE	Community:	Toronto
Legal Description:	PLAN 1155 PT LOT 42 PT LOT 43		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0234/17TEY	Zoning	R (d0.6)(x290) & R2 Z0.6 (ZZC)
Owner(s):	ANDREW HORNE SHEELAH FINLAYSON- BAKER	Ward:	Parkdale-High Park (14)
Agent:	DONALD PECKOVER	Heritage:	Not Applicable
Property Address:	105 MERRICK ST	Community:	Toronto
Legal Description:	PLAN D1378 PT LOTS 87 TO 92		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the two-storey detached dwelling into two residential units and to construct a rear detached shed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.60.70.(1), By-law 569-2013**
The maximum permitted lot coverage by an ancillary building or structure is 5% of the lot area (4.15 m²).
The lot coverage by the ancillary building will be 10% of the lot area (27.78 m²).
- Chapter 150.10.40.1.(1), By-law 569-2013**
A secondary suite is a permitted use provided that the entire building was constructed more than five years prior to the introduction of secondary suite.
In this case, the entire building was not constructed more than five years prior to the introduction of the secondary suite.
- Chapter 200.5.10.1.(1), By-law 569-2013**
A minimum of one parking space is required to be provided.
In this case, zero parking spaces will be provided.
- Section 6(2)(1)(ii), By-law 438-86**
A converted house is a permitted use provided the whole of the building or structure as it stands before conversion is at least five years old.
In this case, the converted house will not be at least five years old.

2. Section 6(2)(1)(iii)(A), By-law 438-86

A converted house is a permitted use provided an addition does not exceed a gross floor area of 0.15 times the area of the lot (42.45 m²).

The addition will have a gross floor area equal to 0.18 times the area of the lot (51.32 m²).

3. Section 6(2)(1)(v), By-law 438-86

A converted house is a permitted use provided there is no substantial change in the appearance of the dwelling as the result of the conversion.

The two-storey rear addition will substantially change the appearance of the dwelling.

4. Section 4(5)(B), By-law 438-86

A minimum of one parking space is required to be provided.

In this case, zero parking spaces will be provided.

5. Section 6(3) Part II 7(I), By-law 569-2013

An accessory structure is required to be setback a minimum of 3.0 m from all lot lines.

The rear detached storage shed will be located 0.30 m from the south rear lot line, 0.30 m from the east side lot line and 0.30 m from the west side lot line.

6. Section 6(3) Part I 2, By-law 438-86

An accessory structure is permitted a floor area of 5% of the area of the lot (14.15 m²).

The rear yard detached shed will be 10% of the area of the lot (27.78 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

No plumbing connection shall be provided to or within the rear accessory shed.

SIGNATURE PAGE

File Number:	A0234/17TEY	Zoning	R (d0.6)(x290) & R2 Z0.6 (ZZC)
Owner(s):	ANDREW HORNE SHEELAH FINLAYSON- BAKER	Ward:	Parkdale-High Park (14)
Agent:	DONALD PECKOVER	Heritage:	Not Applicable
Property Address:	105 MERRICK ST	Community:	Toronto
Legal Description:	PLAN D1378 PT LOTS 87 TO 92		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0235/17TEY	Zoning:	R(d1.0) & R3 Z1.0 (ZZC)
Owner(s):	ANTONIO TULLIO TANIA BORTOLOTTA	Ward:	Trinity-Spadina (20)
Agent:	TANIA BORTOLOTTA	Heritage:	Not Applicable
Property Address:	149 BRUNSWICK AVE	Community:	Toronto
Legal Description:	PLAN 87 PT LOT 28		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey semi-detached dwelling by constructing a rear two-storey addition, a rear third-storey addition and a rear third floor deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted depth of a semi-detached dwelling is 17.0 m.
The altered dwelling will have a depth of 20.82 m.
- 2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a semi-detached dwelling is 1.0 times the area of the lot (215.26 m²).
The altered dwelling will have a floor space index equal to 1.12 times the area of the lot (241.51 m²).
- 1. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area of a semi-detached dwelling is 1.0 times the area of the lot (215.26 m²).
The altered dwelling will have a gross floor area equal to 1.12 times the area of the lot (241.51 m²).
- 2. Section 6(3) Part II 5(II), By-law 438-86**
The maximum permitted depth of a semi-detached dwelling is 17.0 m.
The altered dwelling will have a depth of 20.82 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The alterations to the semi-detached dwelling be constructed such that the third floor of the dwelling shall have a maximum building length of 11.5 m exclusive of the rear deck, as per the third floor plan received by the Committee of Adjustment on March 13, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

BRUNSWICK HOUSE
140 Brunel Ave
Toronto, Ontario

CONSULTANT TEAM

ARCHITECTURE AND PRIME CONSULTANT
BORTOLOTTO DESIGN ARCHITECTS OF INC.
533 College Street Suite 401
Toronto ON Canada M5G 1A8
Tel: 416 324 9931
bortolotto.com

3	COMMITTEE OF ADJUSTMENT	17.03.10
2	ZONING REVIEW	17.02.24
1	ZONING CERTIFICATE	16.11.07
REV	DESCRIPTION	DATE

BORTOLOTTO
PROJECT NUMBER: 147065
DATE: 16.10.10
SCALE: 1/100
DRAWN BY: JLI

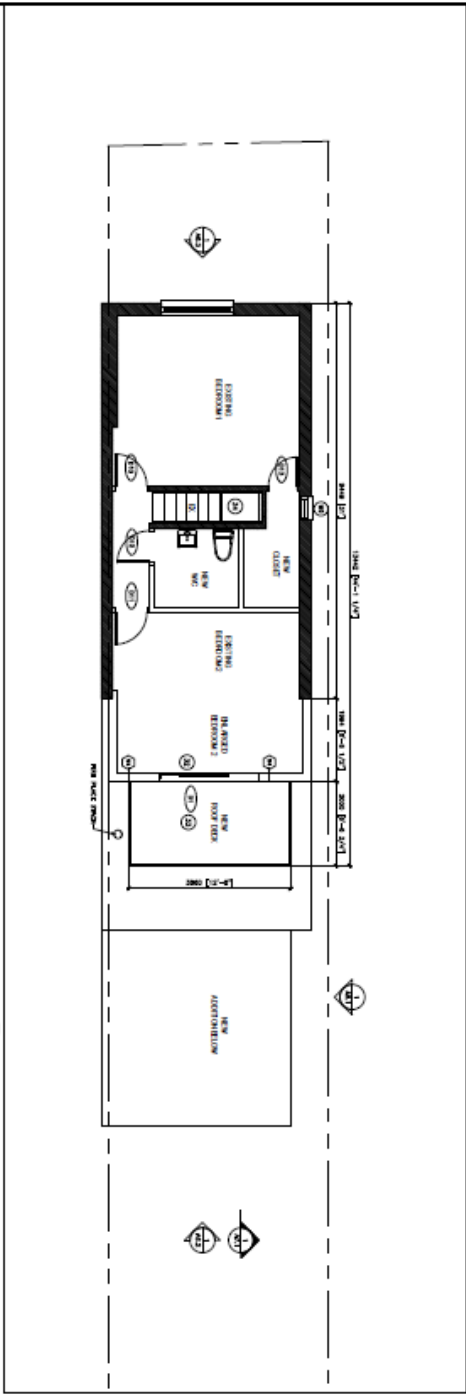
THIRD FLOOR PLAN

A3.4

FLOOR PLANS LEGEND

(NW)	DENIES WINDOW NUMBER
(DX)	DENIES DOOR NUMBER

- NEW**
- GROUND FLOOR:
 - 1. NEW STAIR
 - 2. OMITTED
 - 3. OMITTED
 - 4. OMITTED
 - 5. OMITTED
 - 6. FINISH FINISH AND BASE
 - 7. FINISH FINISH AND BASE
 - 8. STEPS DOWN
 - 9. STEPS DOWN, CUT INTO EXISTING FOUNDATION WALL.
 - 10. INFLOOR HEATING, FLOOR FINISH AND BASE.
 - 11. KITCHEN ISLAND
 - 12. FULL HEIGHT KITCHEN PANTRY
 - 13. REPLACE WOOD BURNING FIREPLACE AND CHIMNEY. CAN FIREPLACE BE IN CENTRE?
 - 14. EXTEND GAS LINE TO NEW KITCHEN
 - 15. NEW WOOD BURNING
 - 16. SEE LANDSCAPE PLAN
 - SECOND FLOOR:
 - 21. STAIR DOWN
 - 22. GUARDRAIL
 - 23. NEW DOOR AT EXISTING OPENING.
 - 24. WASHROOM (KEEP EXISTING SINK AND PILET, WC, LIGHT FIXTURE, MIRROR.)
 - 25. ENLARGE EXISTING WASHROOM, NEW SHOWER, OR TUB
 - THIRD FLOOR:
 - 31. OMITTED
 - 32. REUSE EXISTING WOOD SLIDING DOOR FROM GROUND FLOOR REAR DOOR.
 - 33. EXTERIOR ROOF TOP DECK
 - 34. SKYLIGHT ABOVE
- GENERAL NOTES**
- 1. PATCH AND MAKE GOOD, SMOOTH EXISTING DRYWALL AND PLASTER, PAINT ENTIRE HOUSE
 - 2. NEW WINDOWS, EXCEPT FRONT DOOR TO REMAIN AND BE PROTECTED AND EXISTING FAMILY ROOM BACK DOOR TO BE RELOCATED TO THIRD FLOOR.



1 THIRD FLOOR PLAN
A3.4 1:100

SIGNATURE PAGE

File Number:	A0235/17TEY	Zoning	R(d1.0) & R3 Z1.0 (ZZC)
Owner(s):	ANTONIO TULLIO TANIA BORTOLOTTA	Ward:	Trinity-Spadina (20)
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Property Address:	149 BRUNSWICK AVE	Community:	Toronto
Legal Description:	PLAN 87 PT LOT 28		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0243/17TEY	Zoning	RD (f112.0; a370; d0.4)(x1199) & R1 (ZZC)
Owner(s):	ROSYLIN B GOLDLIST	Ward:	St. Paul's (21)
Agent:	MONICA E KUHN	Heritage:	Not Applicable
Property Address:	139 STRATHEARN RD	Community:	York
Legal Description:	PLAN 2618 PT LOTS 77 & 78		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition and a stepped rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building depth for a detached dwelling is 17.0 m.
The altered dwelling will have a depth of 17.86 m.
- 2. Chapter 10.20.40.40(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.4 times the area of the lot (253.39 m²).
The altered dwelling will have a floor space index equal to 0.57 times the area of the lot (359.09 m²).
- 1. Section 7.3(i), By-law 1-83**
The maximum permitted floor space index is 0.4 times the area of the lot (253.39 m²).
The altered dwelling will have a floor space index equal to 0.57 times the area of the lot (359.09 m²).
- 2. Section 3.4.7 (a)(5), By-law 1-83**
An unenclosed rear platform is permitted provided the sum of the floor areas of all platforms, excluding the floor area within 2.4 m of the main walls of the house, plus the gross floor area of the house, when divided by the area of the lot, shall not exceed the maximum floor space index prescribed by the zone in which the property is located, which in this case is 0.4 times the area of the lot (253.39 m²).
In this case, the sum of the prescribed area of the rear platform plus the proposed gross floor area of the house will be 0.64 times the area of the lot (405.13 m²).

1. Section 7.3.(b), By-law 3623-97

The maximum permitted floor space index is equal to 0.51 times the area of the lot (319.9 m²).

The altered detached dwelling will have a floor space index equal to 0.57 times the area of the lot (359.09 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

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It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a demolition and/or building permit, the applicant shall satisfy all matters relating to Ravine and Natural Feature Protection By-law, to the satisfaction of the Supervisor, Ravine and Natural Feature Protection.

SIGNATURE PAGE

File Number:	A0243/17TEY	Zoning	RD (f112.0; a370; d0.4)(x1199) & R1 (ZZC)
Owner(s):	ROSYLIN B GOLDLIST	Ward:	St. Paul's (21)
Agent:	MONICA E KUHN	Heritage:	Not Applicable
Property Address:	139 STRATHEARN RD	Community:	York
Legal Description:	PLAN 2618 PT LOTS 77 & 78		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0245/17TEY	Zoning	CR T7.8 C2.0 R7.8 & CR T4.0 C4.0 R1.5 & Site Specific By-law 1725-2013 (ZPR)
Owner(s):	ATRIUM ON BAY PORTFOLIO INC	Ward:	Toronto Centre-Rosedale (27)
Agent:	PATRICK DEVINE	Heritage:	Not Applicable
Property Address:	595 BAY ST, 14-80 DUNDAS ST W & 304-316 YONGE ST	Community:	Toronto
Legal Description:	PLAN 243 LOTS 1 TO 11 PT LOT 12 PLAN 2A LOTS 4 24 TO 34 PT LOT 23 RP 63R14021 PARTS 1 TO 11 RP 66R17427 PART 1		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To modify the redevelopment plan approved under Site-specific By-law 1725-2013 by altering the existing non-residential building ("Atrium on Bay") by constructing a 6-storey addition plus mechanical penthouse above the west tower, a 5-storey addition plus mechanical penthouse above the east tower, a one-storey addition between the towers, a two-storey addition to the west/south elevation, and interior alterations creating additional floor area. A concurrent Site Plan Application (12 131388 STE) is being processed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 3.(b), Site-specific By-law 1725-2013**
The total aggregate non-residential gross floor area erected on the lot shall not exceed 132,825 m².
The altered building will have a total aggregate non-residential gross floor area of 138,822.8 m².
- Section 3.(c), Site-specific By-law 1725-2013**
No above grade portion of a building or structure on the lot shall be located other than wholly within the areas delineated by heavy lines on Map 2.
In this case, portions of the building on the lot will be located outside the areas delineated by heavy lines as shown on the attached revised Map 2.
- Section 3.(d), Site-specific By-law 1725-2013**
The height of any building or structure, or any portion thereof, including mechanical and elevator/stair overrun, shall not exceed the heights indicated by the numbers following the symbol H on Map 2.
In this case, the altered building will have heights exceeding the maximum permitted heights indicated by the numbers following the symbol H as shown on the attached revised Map 2.

4. Section 3.(e), Site-specific By-law 1725-2013

Parking spaces required by By-law 438-86 or By-law 522-79, both as amended or varied, shall be provided and maintained in a public garage, a private commercial garage, a private parking garage or a parking station, any and all of which shall be located on the lot or within a 200 m radius distance thereof, to the extent at least prescribed therein. Sub clause (e) requires a minimum of 922 parking spaces, as prescribed in By-law 522-79, be provided.

In this case, 525 parking spaces will be provided on the lot within a parking garage.

5. Section 3.(i)(j), Site-specific By-law 1725-2013

A minimum of 4 "Type B" loading spaces and 5 "Type C" loading spaces are required to be provided. Notwithstanding the provisions of section 1(i), the maximum number of loading spaces required to be provided and maintained on the lot shall not exceed in number and shall have the characteristics and dimensions set out below:

- 1 space, 18.3 m x 3.7 m x 4.3 m (vertical)
- 3 spaces, 12.2 m x 3.7 m x 4.3 m (vertical)
- 4 spaces, 6.1 m x 3.05 m x 2.44 m (vertical)

In this case, the 4 loading spaces required by sub clause (j) to be 6.1 m x 3.05 m x 2.44 m (vertical) are provided within the limits of the 4 larger loading spaces, rather than as distinct spaces occupying a separate area.

6. Section 3.(k), Site-specific By-law 1725-2013

A minimum of 4 bicycle parking-spaces visitor shall be provided at grade on the lot.

In this case, no bicycle parking spaces-visitor will be provided at grade on the lot.

7. Section (1), Site-specific By-law 1725-2013

A minimum of 1,555 m² shall be provided as common outdoor space on the lot.

In this case, 1394.4 m² of common outdoor space will be provided on the lot.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall provide written confirmation that the proposed building complies with the Minister's zoning order related to the helicopter flight path to the satisfaction of the Hospital for Sick Children and the Executive Director and Chief Planner, City Planning.

SIGNATURE PAGE

File Number:	A0245/17TEY	Zoning	CR T7.8 C2.0 R7.8 & CR T4.0 C4.0 R1.5 & Site Specific By- law 1725-2013 (ZPR)
Owner(s):	ATRIUM ON BAY PORTFOLIO INC	Ward:	Toronto Centre-Rosedale (27)
Agent:	PATRICK DEVINE	Heritage:	Not Applicable
Property Address:	595 BAY ST, 14-80 DUNDAS ST W & 304-316 YONGE ST	Community:	Toronto
Legal Description:	PLAN 243 LOTS 1 TO 11 PT LOT 12 PLAN 2A LOTS 4 24 TO 34 PT LOT 23 RP 63R14021 PARTS 1 TO 11 RP 66R17427 PART 1		

DECLARED AN INTEREST

Alex Bednar

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0247/17TEY	Zoning	R(d2.0) (x436) & I1 D3 & Site-Specific By-law 758- 2006 (BLD)
Owner(s):	BURNAC HOLDINGS LIMITED	Ward:	St. Paul's (22)
Agent:	JASON PARK	Heritage:	Not Applicable
Property Address:	377 MADISON AVE (TO BE KNOWN AS 381 & 383 MADISON AVE)	Community:	Toronto
Legal Description:	PLAN M2 LOTS 275 276 286 287 PT LOTS 273 274 277 278 285 288 AND 289 RP 66R27183 PARTS 7 TO 9		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the redevelopment plan approved by Site Specific By-law 758-2006 (OMB) for the second phase of a residential development consisting of a seven-storey building (Building B) and 10 townhouses located on Parcel B, by increasing the gross floor area, to facilitate the construction of a pair of three-storey townhouses (TH Block B1).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 6(ii), Site Specific By-law 758-2006 (OMB)

The total residential gross floor area of all the buildings on the lot shall not exceed 33,460 m², provided the residential gross floor area of the buildings erected on Parcel B does not exceed 13,152 m².

Committee of Adjustment decision A0480/15TEY approved a total residential gross floor area of 33,913 m², and a residential gross floor area on Parcel B of 13,220 m².

In this case, the total residential gross floor area of all buildings on the lot will be 34,054.46 m², and the residential gross floor area of the buildings on Parcel B will be 13,361.46 m².

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0247/17TEY	Zoning	R(d2.0) (x436) & I1 D3 & Site-Specific By-law 758-2006 (BLD)
Owner(s):	BURNAC HOLDINGS LIMITED	Ward:	St. Paul's (22)
Agent:	JASON PARK	Heritage:	Not Applicable
Property Address:	377 MADISON AVE (TO BE KNOWN AS 381 & 383 MADISON AVE)	Community:	Toronto
Legal Description:	PLAN M2 LOTS 275 276 286 287 PT LOTS 273 274 277 278 285 288 AND 289 RP 66R27183 PARTS 7 TO 9		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0250/17TEY	Zoning	R(f5.0 d1.0)(x860) & R3 Z1.0 (ZZC)
Owner(s):	JOHN DONALD	Ward:	Toronto Centre-Rosedale (27)
Agent:	WILLIAM DEWSON	Heritage:	Designated
Property Address:	75 HAZELTON AVE	Community:	Toronto
Legal Description:	PLAN 358 PT LOT 24		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter a three-storey townhouse by constructing a rear two-storey rear addition, a partial third storey addition including interior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.2.10 (860), By-law 569-2013

No person shall erect or use a building or structure on any lot within the Yorkville Triangle with a front lot line on Hazelton Avenue where the building or structure has a depth greater than 17.0 m; where the height of the building or structure is greater than 7.0 m
The building will have a depth of 20.60 m and the portion of the building exceeding a depth of 14 m will have a height of 9.64 m.

2. Chapter 10.10.40.40 (1)(A), By-law 569-2013

The maximum permitted floor space index is 1.0 times the area of the lot (237.77 m²).
The floor space index will be 1.121 times the area of the lot (266.52 m²).

3. Chapter 10.10.40.30 (1)(B), By-law 569-2013

The maximum permitted building depth for a townhouse is 14.0 m.
The altered building depth will be 20.60 m.

1. Section 6(3) Part II 3 C (I), By-law 438-86

The minimum required side lot line setback is 0.45 m where the side wall contains no openings.
The side lot line setback will be 0.00 m on the north side and 0.00 m on the south side.

2. Section 6(3) Part I 1, By-law 438-86

The maximum permitted residential gross floor area is 1.0 times the area of the lot (237.77 m²).
The residential gross floor area of the altered building will be 1.12 times the area of the lot (266.52 m²).

3. Section 6(3) Part II 5, By-law 438-86

The maximum permitted building depth is 14.0 m.
The altered building depth will be 20.60 m.

4. Section 12 (2) 322 (ii) (a) & (b), By-law 438-86

No person shall erect or use a building or structure on any lot within the Yorkville Triangle with a front lot line on Hazelton Avenue where the building or structure has a depth greater than 17.0 m; where the height of the building or structure is greater than 7.0 m
The building will have a depth of 20.60 m and the portion of the building exceeding a depth of 14 m will have a height of 9.64 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

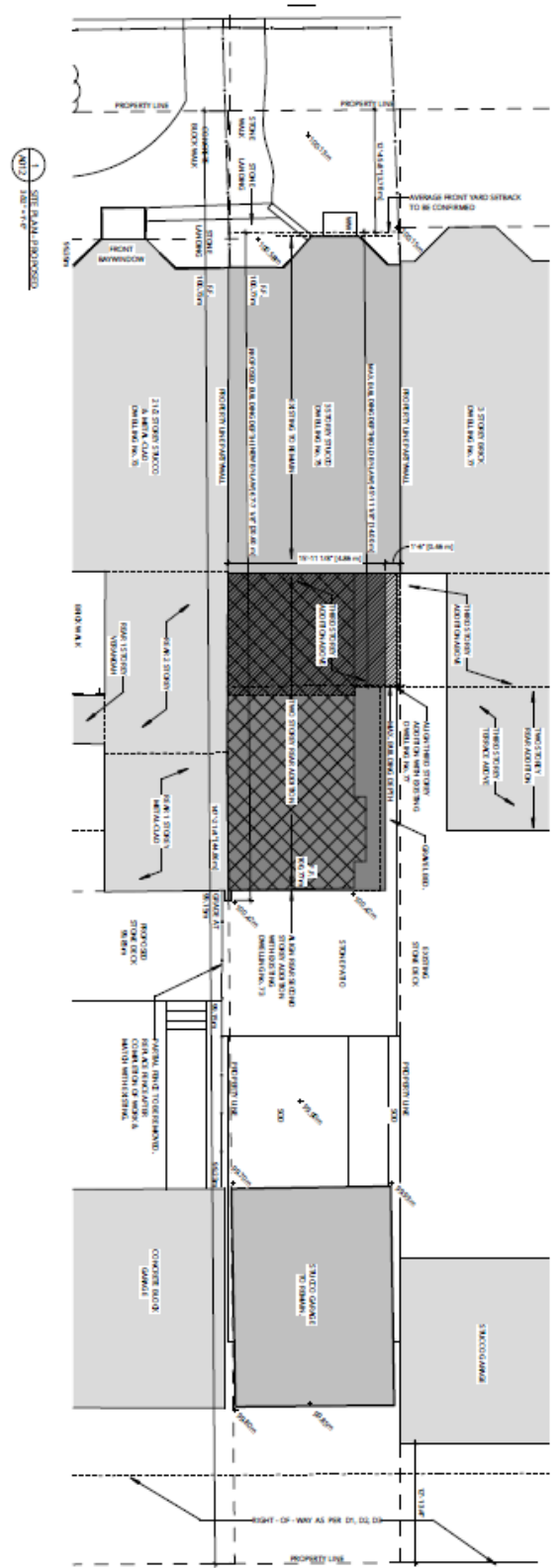
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The altered dwelling shall be substantially built in accordance with the plans dated March 1, 2017 for the Committee of Adjustment. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.



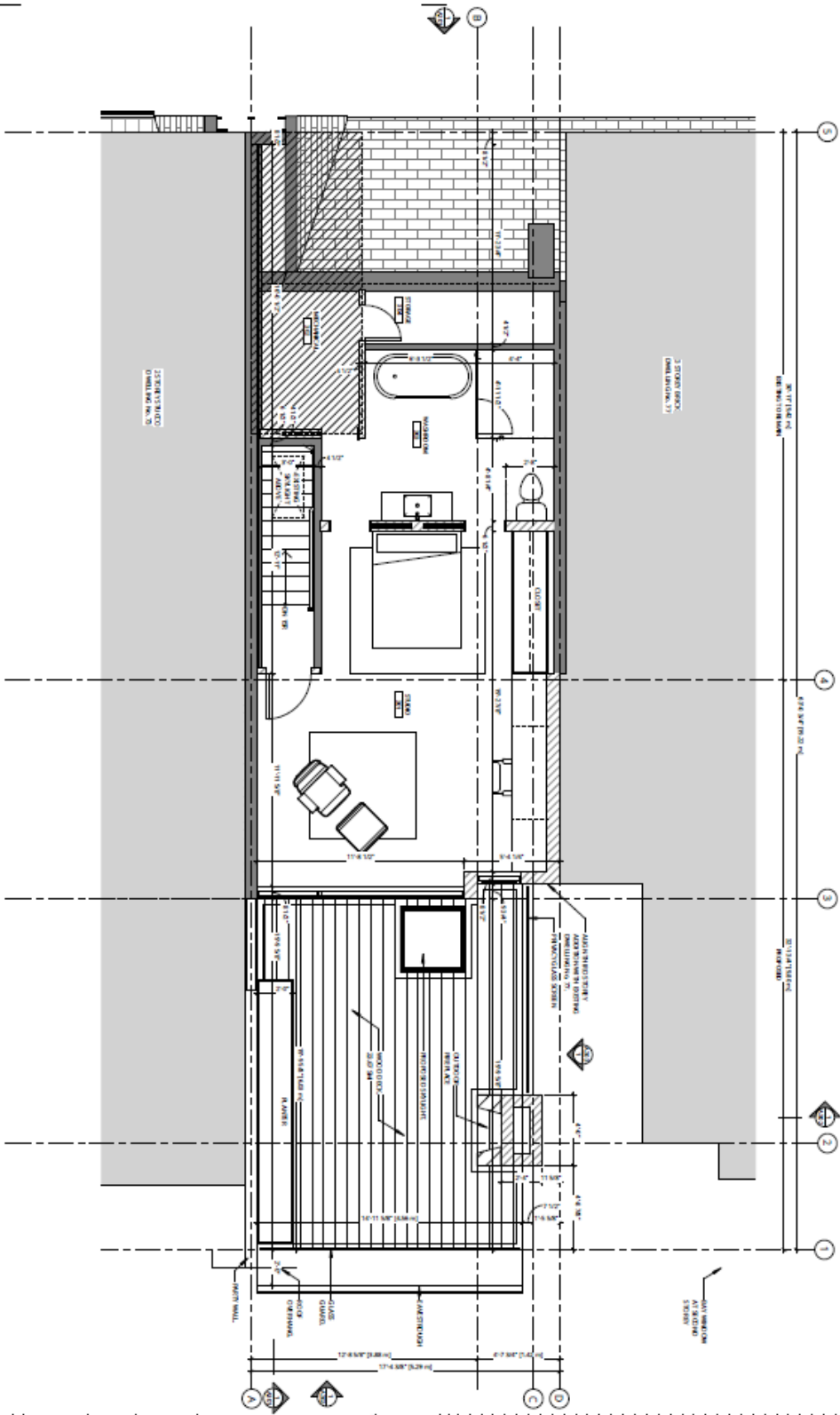
THIS PLAN IS A MEASUREMENT OF THE EXISTING CONDITIONS AND IS NOT A DESIGN. IT IS THE RESPONSIBILITY OF THE CLIENT TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT EXTEND TO ANY OTHER MATTER.

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	2017-01-10
2	REVISED PER COMMENTS	2017-01-15
3	REVISED PER COMMENTS	2017-01-20
4	REVISED PER COMMENTS	2017-01-25
5	REVISED PER COMMENTS	2017-02-01
6	REVISED PER COMMENTS	2017-02-05
7	REVISED PER COMMENTS	2017-02-10
8	REVISED PER COMMENTS	2017-02-15
9	REVISED PER COMMENTS	2017-02-20
10	REVISED PER COMMENTS	2017-02-25
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97	REVISED PER COMMENTS	2018-05-10
98	REVISED PER COMMENTS	2018-05-15
99	REVISED PER COMMENTS	2018-05-20
100	REVISED PER COMMENTS	2018-05-25

ONTARIO ASSOCIATION OF ARCHITECTS
 ARCHITECTS
 REGULATED PROFESSION
 LICENSE 4151

PROJECT NAME: [REDACTED]
 PROJECT ADDRESS: [REDACTED]
 PROJECT NO: 1012
 CLIENT: [REDACTED]
 SITE PLAN PURPOSE: [REDACTED]

A012



LEGEND
 CONCRETE
 GLASS
 LAMINATE
 COMPOSITE

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS SPECIFIED OTHERWISE.
 2. ALL FINISHES TO BE AS SHOWN OR APPROVED BY THE ARCHITECT.
 3. ALL WORK TO BE ACCORDING TO THE NATIONAL BUILDING CODE OF CANADA AND ALL APPLICABLE BY-LAWS.
 4. THE ARCHITECT ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED.
 5. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS OR FOR ANY OMISSIONS OR ERRORS IN ANY INFORMATION PROVIDED BY OTHER PROFESSIONALS.
 6. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.
 7. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.

A104

PROJECT: 10400 100th AVE
 LOCATION: 10400 100th AVE, UNIT 104
 CLIENT: [REDACTED]
 DATE: 2024-07-15

PROJECT: 10400 100th AVE
 LOCATION: 10400 100th AVE, UNIT 104
 CLIENT: [REDACTED]
 DATE: 2024-07-15

PROJECT: 10400 100th AVE
 LOCATION: 10400 100th AVE, UNIT 104
 CLIENT: [REDACTED]
 DATE: 2024-07-15

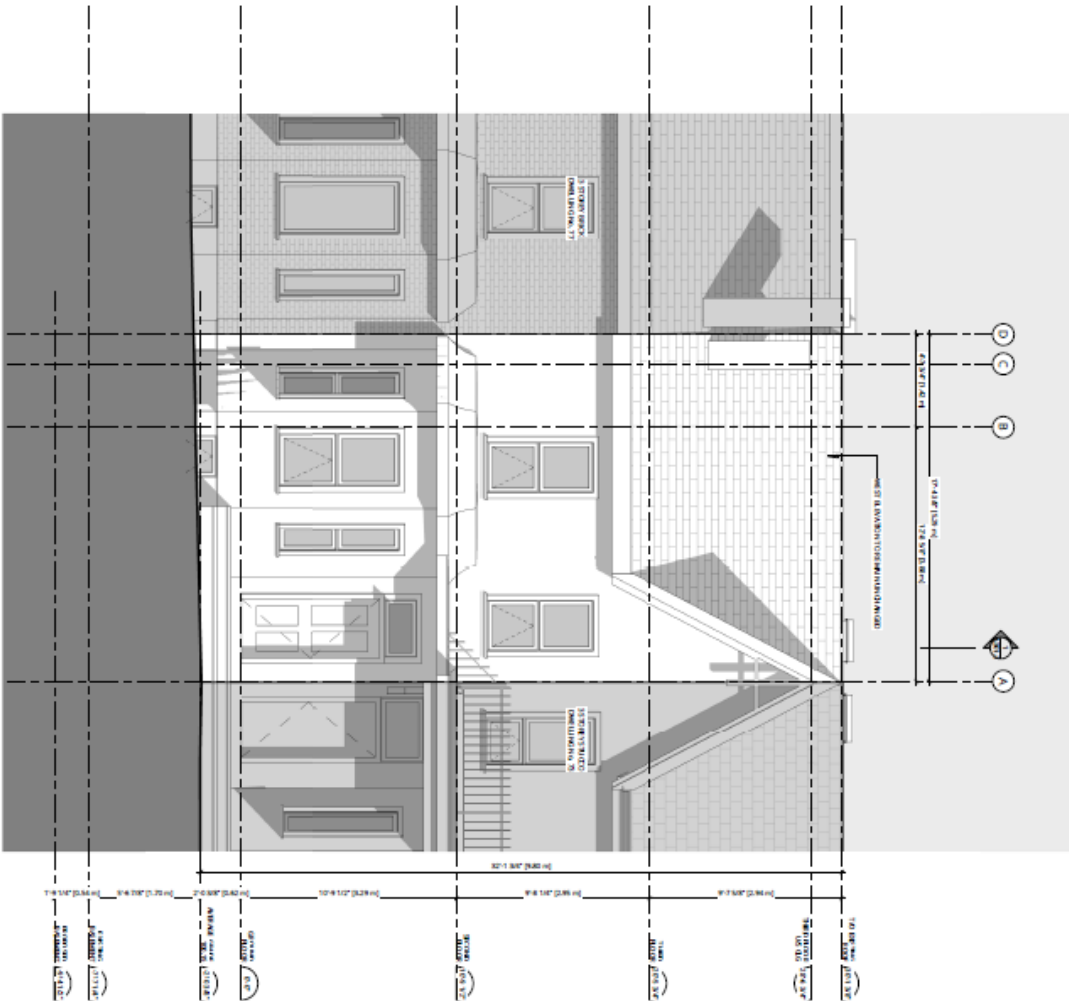
PROJECT: 10400 100th AVE
 LOCATION: 10400 100th AVE, UNIT 104
 CLIENT: [REDACTED]
 DATE: 2024-07-15

ONTARIO ASSOCIATION OF ARCHITECTS
 ARCHITECTS & INTERIORS
 LICENSE
 43131

REVISIONS:

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
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10		

PROJECT: 10400 100th AVE
 LOCATION: 10400 100th AVE, UNIT 104
 CLIENT: [REDACTED]
 DATE: 2024-07-15



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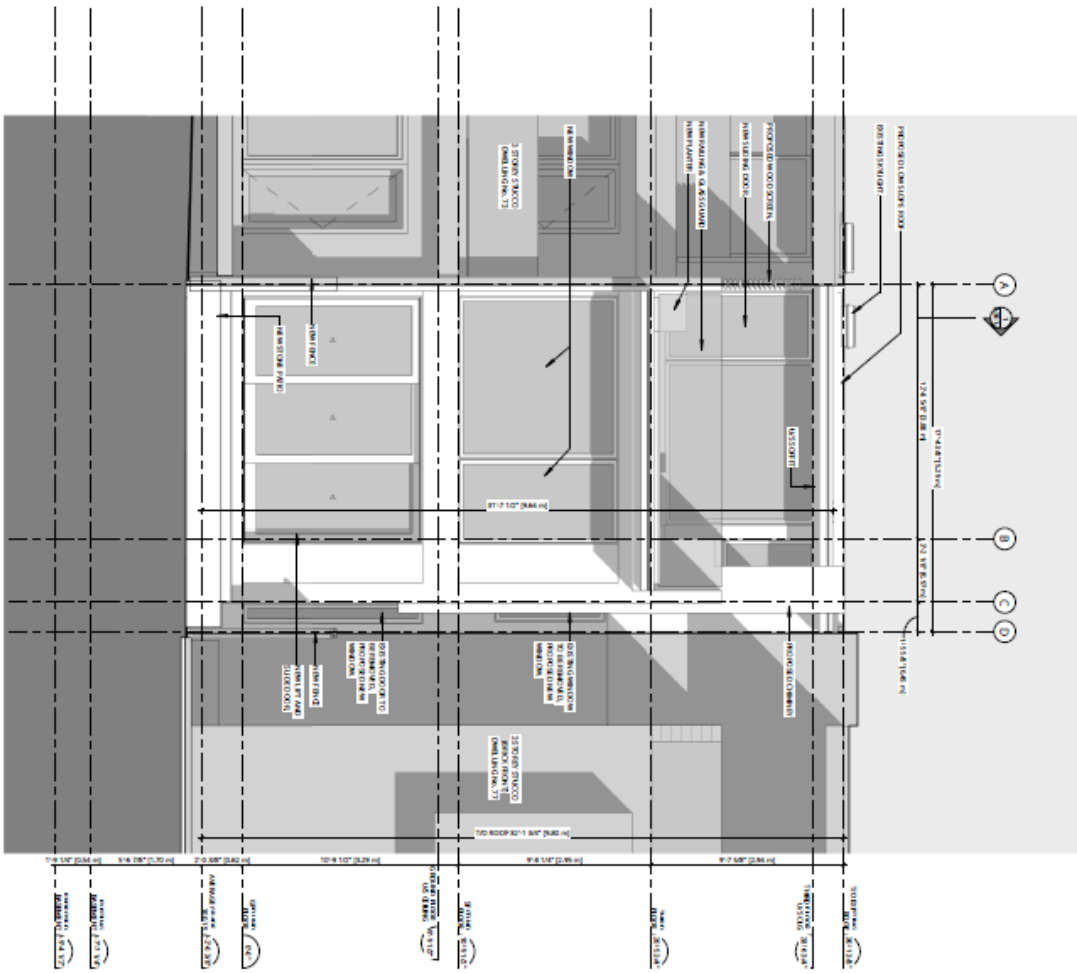
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ONTARIO ASSOCIATION OF ARCHITECTS
William Dewson
 LICENSE
 43151

WILLIAM DEWSON ARCHITECTS INC.
 174 BEDFORD RD., SUITE 206, TORONTO, ON M5R 2K3 T-416.966.6435 F-416.966.5371 dewson.com

PROJECT NAME: 2017-07-10
PROJECT NO.: 1017
CLIENT: LINDA CHIU (MINDO) LTD.
PROJECT ADDRESS: 1017-1018
PROJECT OWNER: LINDA CHIU (MINDO) LTD.
PROJECT OWNER'S ADDRESS: 1017-1018
PROJECT OWNER'S PHONE: 416-966-6435
PROJECT OWNER'S FAX: 416-966-5371
PROJECT OWNER'S EMAIL: linda@mindoltd.com

A201



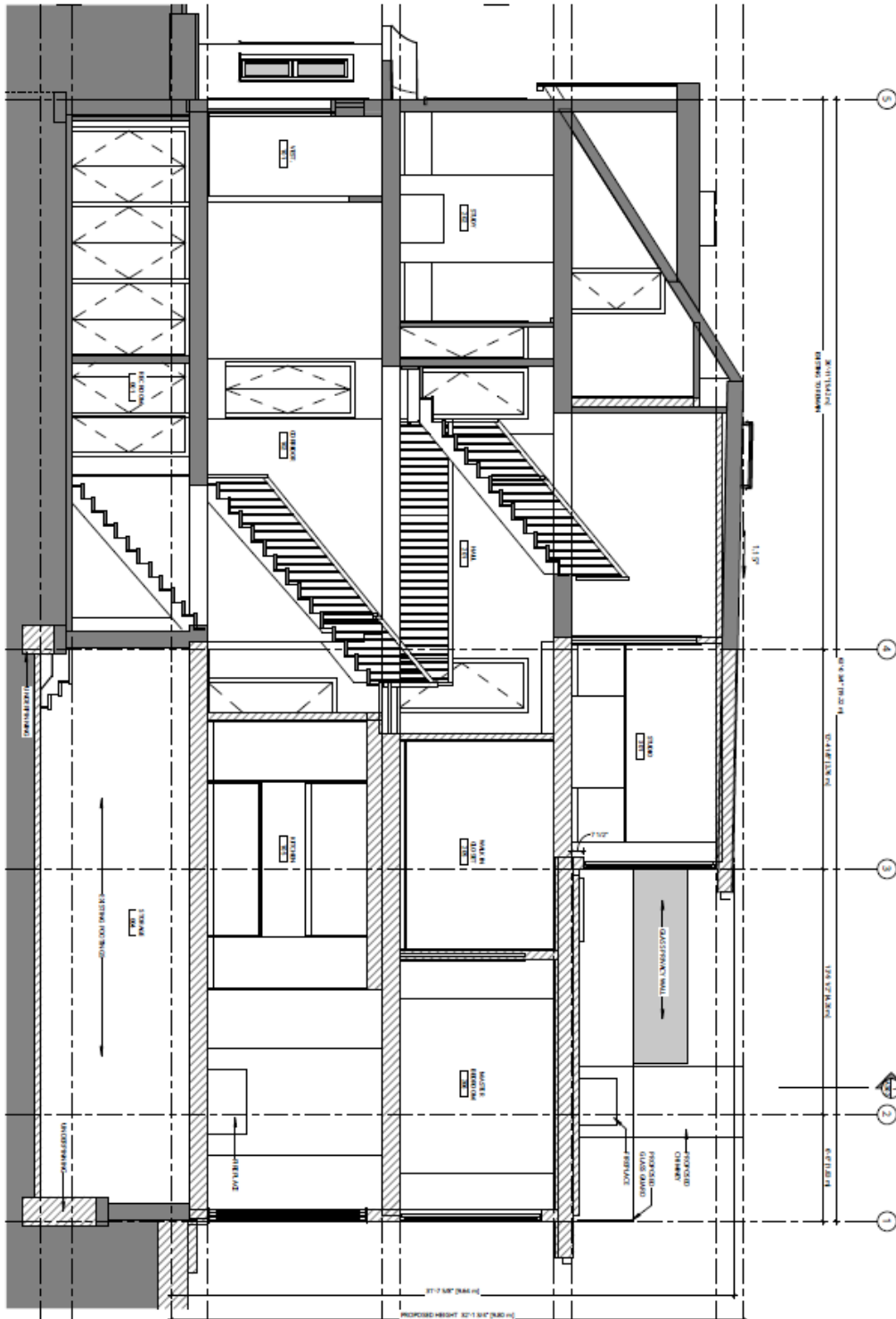
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ONTARIO ASSOCIATION OF ARCHITECTS
 ARCHITECTS
 License # 4151

PROJECT NO. 1087
 PROJECT NAME
 PROJECT ADDRESS
 PROJECT CONTACT
 PROJECT PHONE
 PROJECT EMAIL
 PROJECT DATE

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FINISH CONSTRUCTION
 CONSTRUCTION

ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 ALL MATERIALS AND FINISHES TO BE AS SHOWN OR APPROVED BY THE ARCHITECT.
 ALL WORK TO BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA AND ALL APPLICABLE BY-LAWS.
 ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN STANDARD FOR CONSTRUCTION DOCUMENTS (CSCD).
 ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN STANDARD FOR ARCHITECTURAL DRAWINGS (CSA S400).
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SIGNATURE PAGE

File Number:	A0250/17TEY	Zoning	R(f5.0 d1.0)(x860) & R3 Z1.0 (ZZC)
Owner(s):	JOHN DONALD	Ward:	Toronto Centre-Rosedale (27)
Agent:	WILLIAM DEWSON	Heritage:	Designated
Property Address:	75 HAZELTON AVE	Community:	Toronto
Legal Description:	PLAN 358 PT LOT 24		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0251/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	LAURA DOBROWOLSKI	Ward:	St. Paul's (22)
Agent:	IAN IZUKAWA	Heritage:	Not Applicable
Property Address:	26 BELCOURT RD	Community:	Toronto
Legal Description:	PLAN 1788 PT LOTS 179 180 RP 66R21812 PARTS 2 3 4 9		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear second storey addition and a ground floor front addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70.(1)(B), By-law 569-2013**
The minimum required front lot line setback is 5.77 m.
The altered dwelling will be located 4.24 m to the front lot line.
- 2. Chapter 200.5.10.1.(1), By-law 569-2013**
One parking space is required to be provided on the lot.
In this case, zero parking spaces will be provided.
- 3. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (173.91 m²).
Minor Variance Decision A0293/04TEY permitted a gross floor area of 0.65 times the area of the lot (187.09 m²).
The altered dwelling will have a floor space index equal to 0.64 times the area of the lot (184.78 m²).
- 1. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area is 0.6 times the area of the lot (173.91 m²).
Minor Variance Decision A0293/04TEY permitted a gross floor area of 0.65 times the area of the lot (187.09 m²).
The altered dwelling will have a gross floor area equal to 0.64 times the area of the lot (184.78 m²).
- 2. Section 6(3) Part II 2(II), By-law 438-86**
The minimum required front lot line setback is 5.77 m.
The altered dwelling will be located 4.24 m to the front lot line.

3. Section 4(4)(b), By-law 438-86

One parking space is required to be provided on the lot.
In this case, zero parking spaces will be provided.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

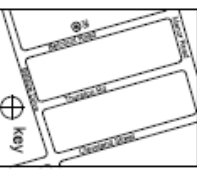
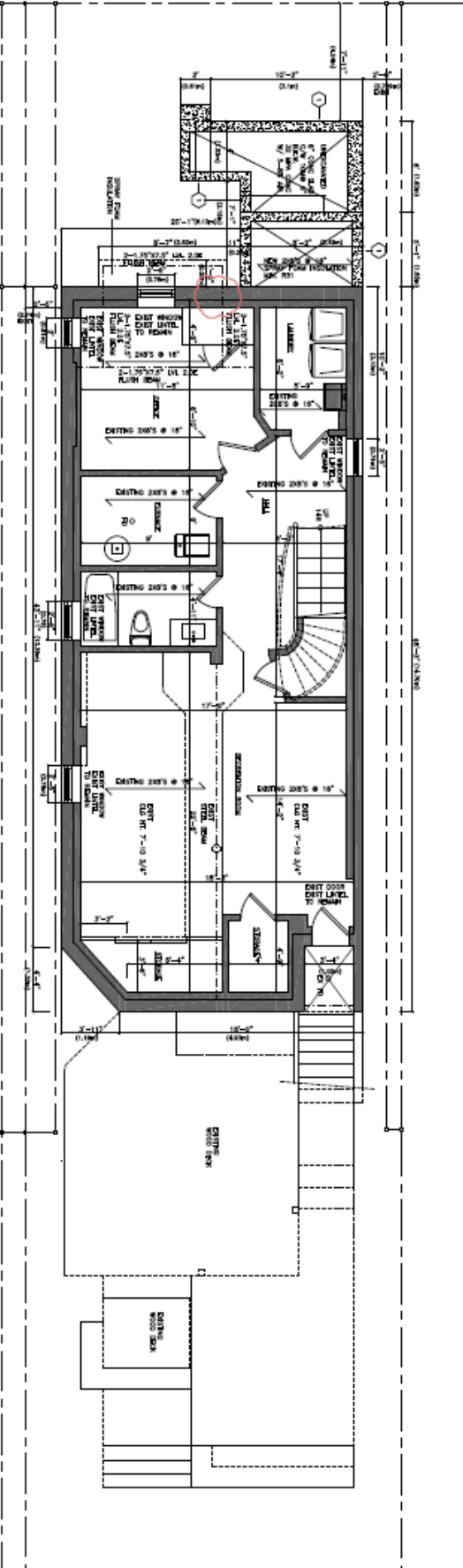
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (3) The reduced front yard setback of 4.24 m shall be limited to the front one-storey addition.
- (4) The altered detached dwelling shall be substantially in accordance with the plans dated March 3, 2017 issued for the Committee of Adjustment. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.



IZUKAWA DESIGN
 25 BELCOURT ROAD, TORONTO ON, M4S 2T8
 T: 416.921.2210 F: 416.488.8142
 ic@izukawadesign.com

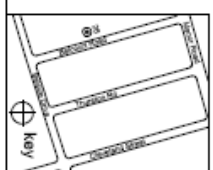
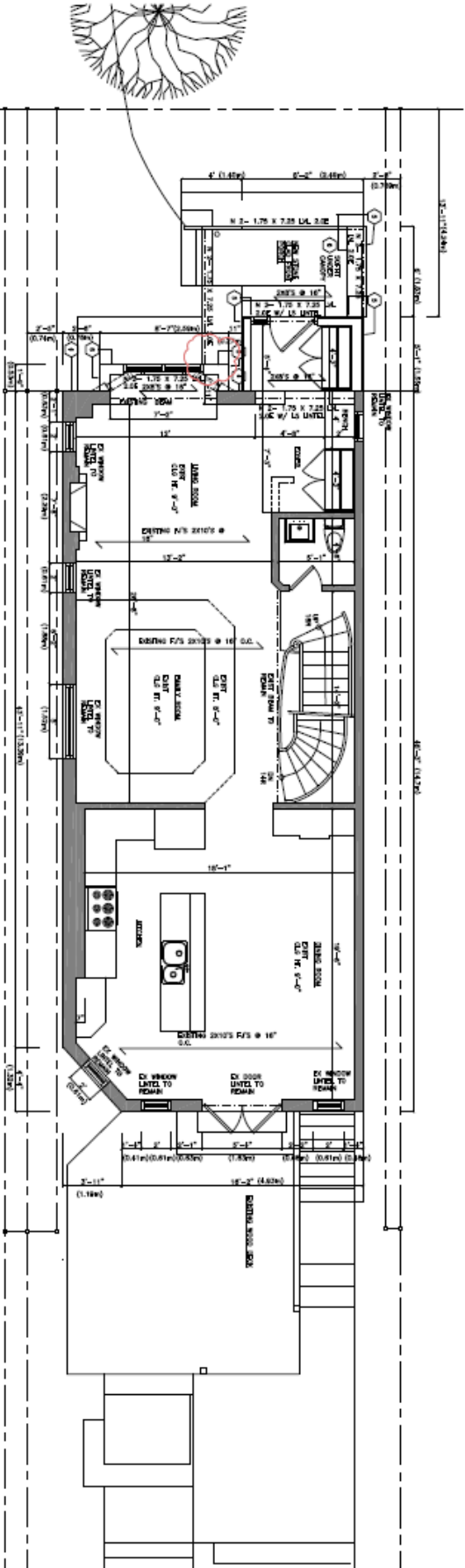
Project: DOBROWOLSKI RESIDENCE
DWG: 28 BELCOURT ROAD, TORONTO ON, M4S 2T8
PROPOSED BASEMENT FLOOR PLAN



The undersigned hereby certifies that the design and construction of the building and its use conform to the requirements set out in the ONTARIO BUILDING CODE as a condition of approval.
 IZUKAWA DESIGN
 PROJECT NO. 63-0513
 DATE: 17.02.16
 SCALE: 1/2" = 1'-0"

1	2017.03.03	ISSUED FOR COMMITTEE OF ADJUSTMENT
---	------------	------------------------------------

A4



IZUKAWA DESIGN
 25 BELCOURT ROAD, TORONTO ON, M4S 2T8
 T: +1(416)221-2210 F:+1(416)468-8142
 ic.izukawa@izukawadesign.com

Project: DOBROWOL SKI RESIDENCE
 26 BELCOURT ROAD, TORONTO ON, M4S 2T8
 DWG: PROPOSED GROUND FLOOR PLAN

DATE: 2017.03.03
 SCALE: 1:75
 PROJECT NO.: 63-0513

ISSUED FOR COMMITTEE OF ADJUSTMENT

Scale: 1:75
 Date: 17.02.05
 Project No.: 63-0513

A5

The undersigned has reviewed and has approved this plan for all applicable provisions of the Building Code and the Fire Code and has issued this certificate and makes the representations set out in the Certificate of Approval Code to be a reference.

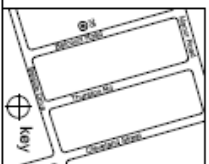
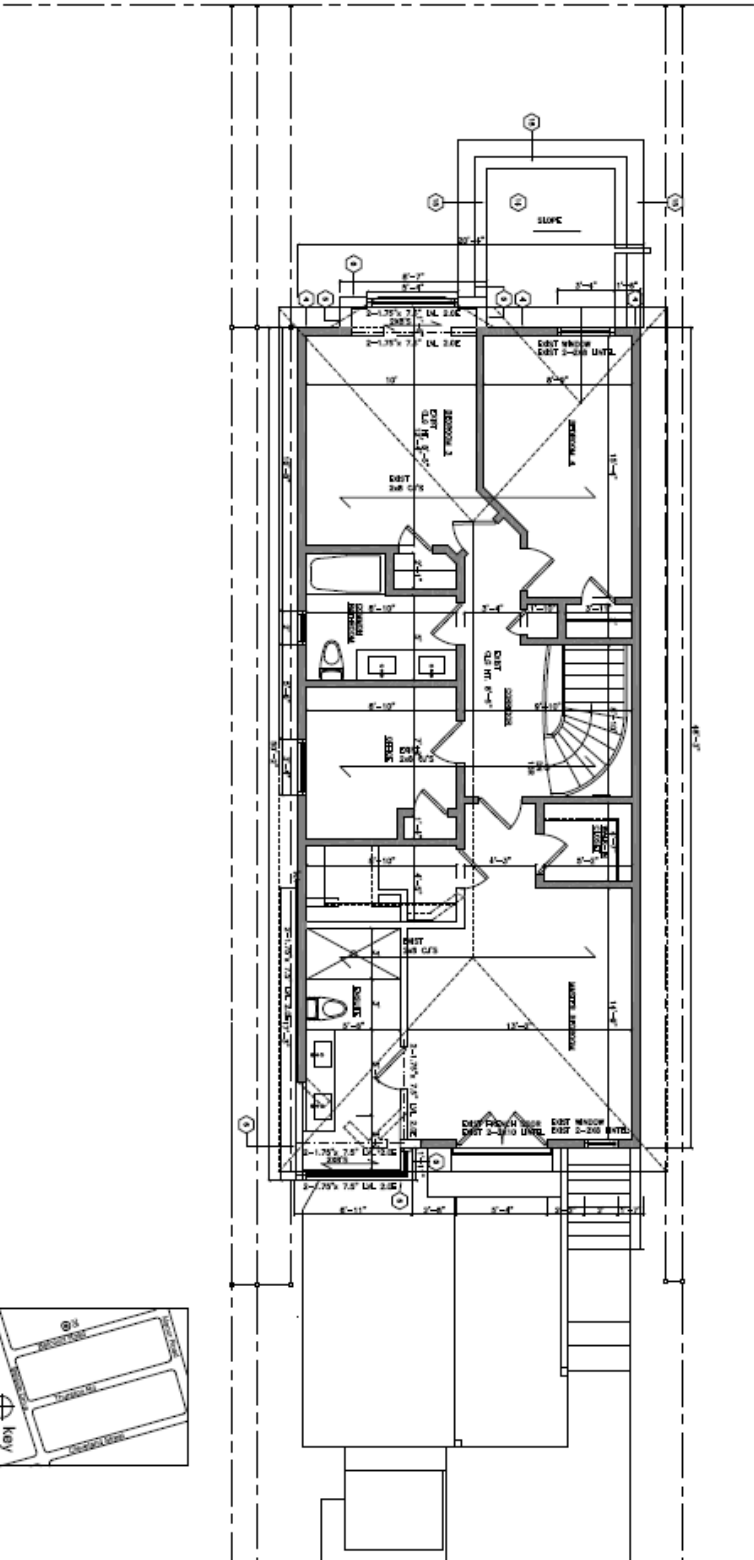
IZUKAWA DESIGN
 25 BELCOURT ROAD, TORONTO ON, M4S 2T8
 T: +1(416)221-2210 F:+1(416)468-8142
 ic.izukawa@izukawadesign.com

REPRESENTATION INFORMATION
 FULL NAME: IZUKAWA DESIGN
 REGISTRATION NO.: 28877

REPRESENTATION INFORMATION
 FULL NAME: IZUKAWA DESIGN
 REGISTRATION NO.: 28877

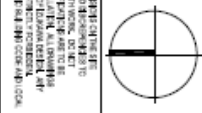
REPRESENTATION INFORMATION
 FULL NAME: IZUKAWA DESIGN
 REGISTRATION NO.: 28877

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES. ALL WORK SHALL CONFORM TO THE CANADIAN NATIONAL BUILDING CODE AND ALL APPLICABLE BY-LAWS.



IZUKAWA DESIGN
 25 BELCOURT ROAD, TORONTO ON, M4S 2T8
 T: 416.921.2210 F: 416.466.8142
 ic_bird@izukawadesign.com

Project: DOBROWOLSKI RESIDENCE
 26 BELCOURT ROAD, TORONTO ON, M4S 2T8
 DWG: PROPOSED SECOND FLOOR PLAN



1	2017.03.03	ISSUED FOR COMMITTEE OF ADJUSTMENT
Scale:	1:75	
Date:	17.02.04	
Project No.:	63-0513	

A6

The undersigned has reviewed and signs responsibility for the design and construction of the drawings and notes hereon and certifies that the drawings and notes comply with the Ontario Building Code as in effect.

IZUKAWA DESIGN INC.
 ARCHITECT
 2007

REVISION INFORMATION
 REVISION NO. REVISION DESCRIPTION
 2007

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF THE SITE AND REPORT ANY VARIATIONS TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES. ALL WORK SHALL COMPLY WITH THE CANADIAN NATIONAL BUILDING CODE.

IZUKAWA DESIGN

25 BELCOURT ROAD, TORONTO ON, M4S 2T8
 T: 416.821.2210 F: 416.468.8142
 ic_in@izukawadesign.com

DOBROWOLSKI RESIDENCE
 26 BELCOURT ROAD, TORONTO ON, M4S 2T9
 DWG: EAST ELEVATION

The undersigned has reviewed and plans to sign this drawing for the architect and to be a contractor and to ensure the requirements set out in the Ontario Building Code to be satisfied.

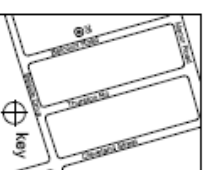
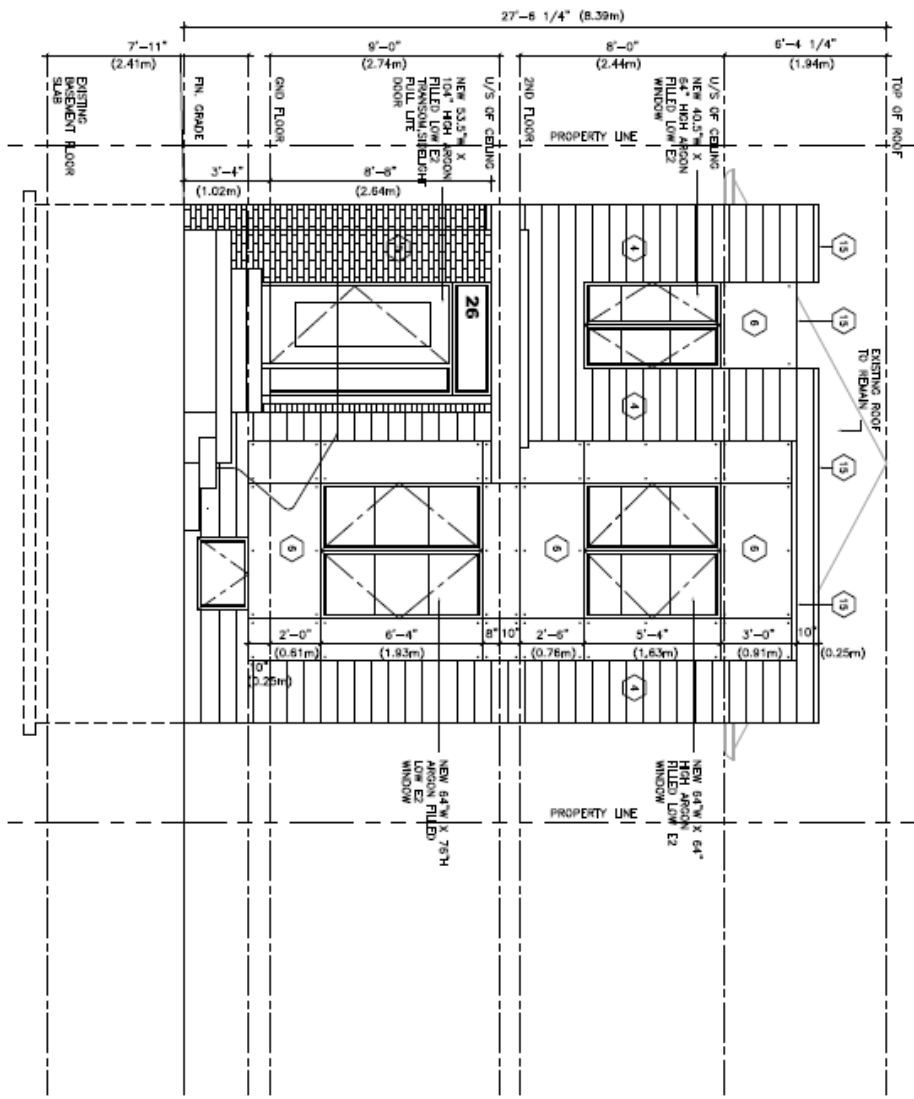
CONTRACTOR INFORMATION
 NAME: IZUKAWA DESIGN
 ADDRESS: 25 BELCOURT ROAD, TORONTO ON, M4S 2T8
 PHONE: 416.821.2210
 SIGNATURE: [Signature]

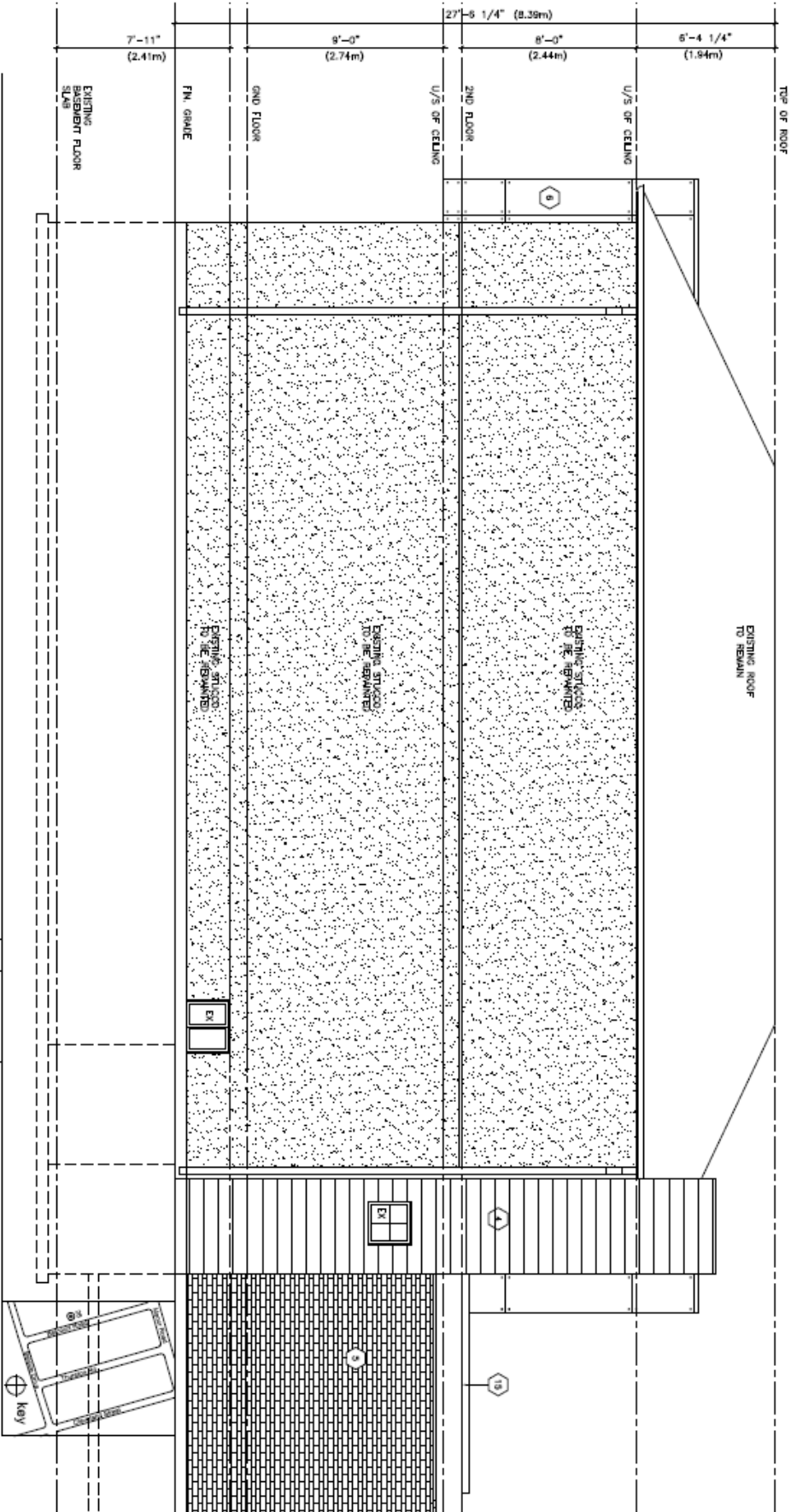
REVISION INFORMATION
 REVISION NO. 1
 REVISION DATE: 2017.03.03
 REVISION DESCRIPTION: ISSUED FOR COMMITTEE OF ADJUSTMENT

THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE DRAWING AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES. ALL WORK MUST CONFORM TO THE CANADIAN BLDG CODE AND OBC.

Scale: 1:50
 Date: 16.1.05
 Project No.: 63-0513

A8





IZUKAWA DESIGN
 25 BELCOURT ROAD, TORONTO ON, M4S 2T8
 T: 416.821.2210 F: 416.468.8142
 ic@izukawadesign.com

Project: DOBROWOLSKI RESIDENCE
 DWG: SOUTH ELEVATION

2017.03.03
 ISSUED FOR COMMITTEE OF ADJUSTMENT

Scale: 1:50
 Date: 16.11.04
 Project No.: 63-0513

A9

THE UNDERSIGNED HAS REVIEWED AND APPROVED THE DRAWING FOR THE CITY OF TORONTO AND HAS NOTED THAT THE DRAWING IS IN ACCORDANCE WITH THE CITY OF TORONTO ZONING BY-LAW AND THE CITY OF TORONTO BUILDING BY-LAW AND HAS NOTED THAT THE DRAWING IS IN ACCORDANCE WITH THE CITY OF TORONTO ZONING BY-LAW AND THE CITY OF TORONTO BUILDING BY-LAW AND HAS NOTED THAT THE DRAWING IS IN ACCORDANCE WITH THE CITY OF TORONTO ZONING BY-LAW AND THE CITY OF TORONTO BUILDING BY-LAW.

IZUKAWA DESIGN

25 BELCOURT ROAD, TORONTO ON, M4S 2T8
 T: +1(416)212-2110 F: +1(416)468-8142
 ic_bird@izukawadesign.com

DOBROWOLSKI RESIDENCE
 Project: 26 BELCOURT ROAD, TORONTO ON, M4S 2T9
 DWG: WEST ELEVATION

The undersigned has reviewed and has approved the architectural drawings and notes for the purposes set out in the Ontario Building Code as a professional architect.
 IZUKAWA DESIGN
 ARCHITECT
 2687
 2687

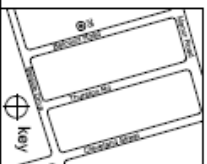
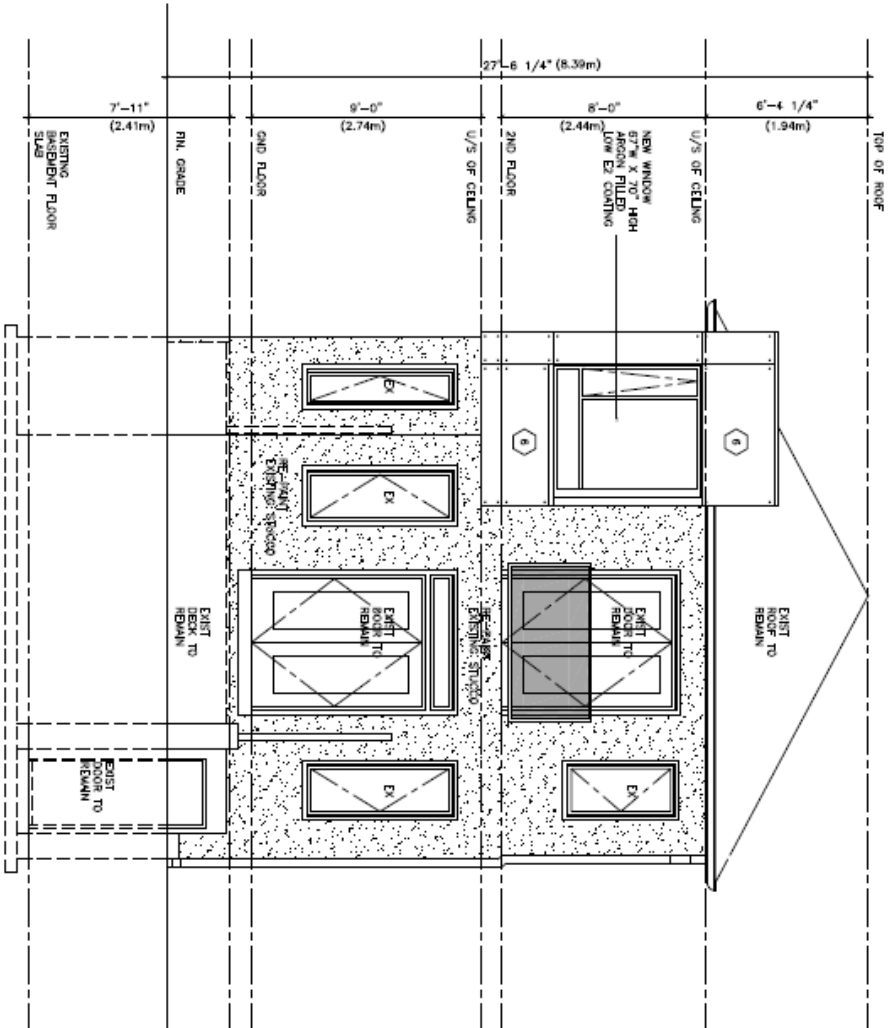
REVISIONS INFORMATION
 REVISION NO. REVISION DATE REVISION BY
 1 2687 IZUKAWA DESIGN

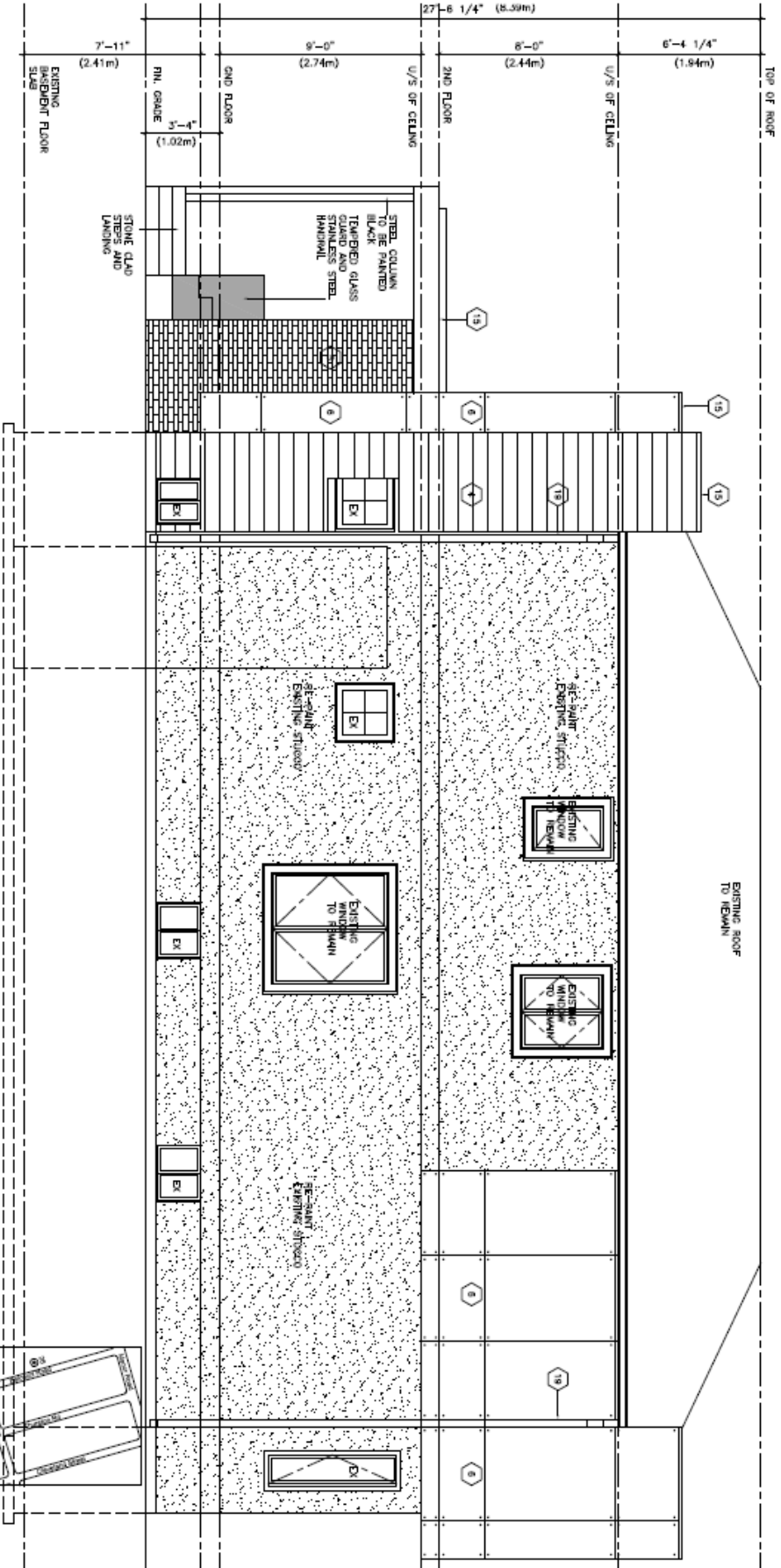
THIS CONTRACT DOCUMENT SET, including all specifications, shall be read in conjunction with the drawings and notes. It is the responsibility of the contractor to ensure that all work is done in accordance with the Ontario Building Code and all applicable laws and regulations. ALL WORK MUST COMPLY WITH THE CANADIAN NATIONAL BUILDING CODE.

1	2017.03.03	ISSUED FOR COMMITTEE OF ADJUSTMENT
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Scale: 1:50
 Date: 16.11.04
 Project No.: 63-0513

A10





IZUKAWA DESIGN
 25 BELCOURT ROAD, TORONTO ON, M4S 2T8
 T: 416.821.2210 F: 416.468.8142
 ic@izukawadesign.com

DOBROWOLSKI RESIDENCE
 26 BELCOURT ROAD, TORONTO ON, M4S 2T9
 DWG: NORTH ELEVATION

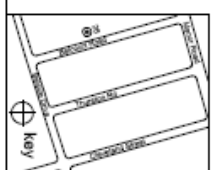
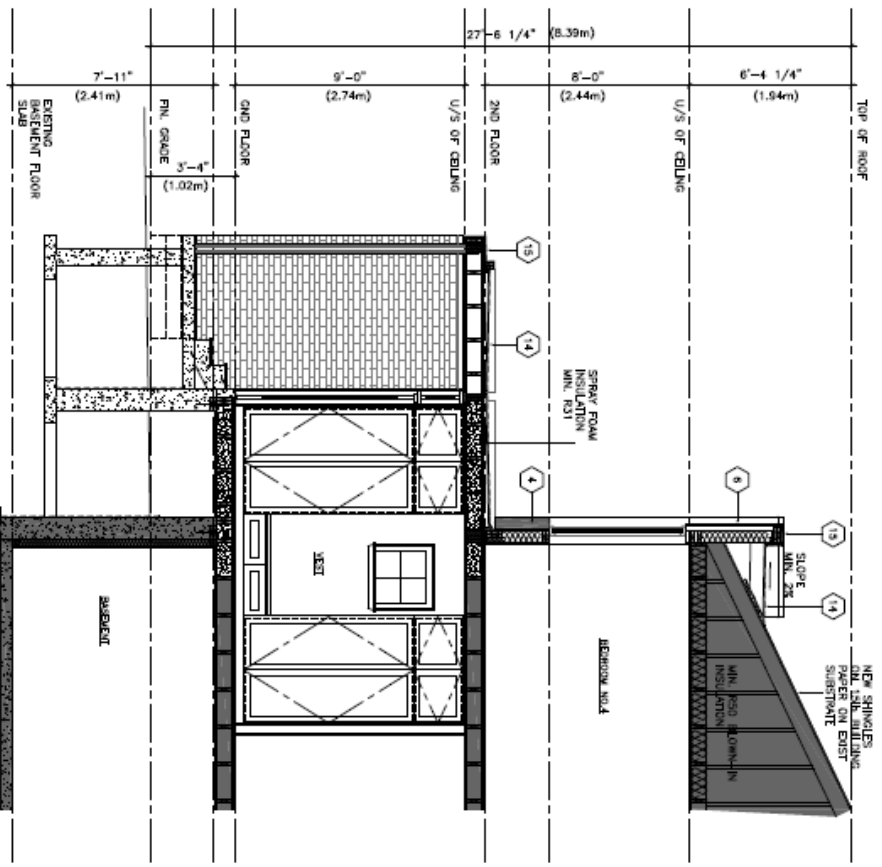
THE UNDERSIGNED HAS REVIEWED AND APPROVES THE PRESENTATION OF THIS DRAWING AND ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED THEREIN. THE UNDERSIGNED HAS REVIEWED THE DRAWING FOR CONFORMANCE WITH THE CANADIAN CODE OF BEST PRACTICES AND ASSURES THAT THE DRAWING IS IN ACCORDANCE WITH THE CANADIAN CODE OF BEST PRACTICES.

DATE: 16.11.04
 PROJECT NO.: 63-0513

Scale: 1:50
 Date: 16.11.04
 Project No.: 63-0513

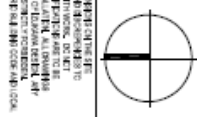
ISSUED FOR COMMITTEE OF ADJUSTMENT

A11



IZUKAWA DESIGN
 25 BELCOURT ROAD, TORONTO ON, M4S 2T8
 T: +1(416)212-2110 F:+1(416)466-8142
 ic_in@izukawadesign.com

Project: DOBROWOLSKI RESIDENCE
 28 BELCOURT ROAD, TORONTO ON, M4S 2T8
 DWG: SECTION THROUGH FRONT PORCH



1	2017.03.03	ISSUED FOR COMMITTEE OF ADJUSTMENT
Scale:	1:50	
Date:	16.1.05	
Project No.:	63-0513	

A12

The undersigned has reviewed and signs this report in accordance with the provisions of the Ontario Building Code Act and the Ontario Building Code and certifies that the information contained herein is true and correct to the best of his knowledge and belief.

IAN IZUKAWA
 ARCHITECT
 2587
 IZUKAWA DESIGN

REVISIONS
 REVISION NO. 1
 REVISION DESCRIPTION
 2887

THIS CONTRACT DOCUMENT IS THE PROPERTY OF IZUKAWA DESIGN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DOCUMENT WITHOUT THE WRITTEN CONSENT OF IZUKAWA DESIGN IS STRICTLY PROHIBITED.

SIGNATURE PAGE

File Number:	A0251/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	LAURA DOBROWOLSKI	Ward:	St. Paul's (22)
Agent:	IAN IZUKAWA	Heritage:	Not Applicable
Property Address:	26 BELCOURT RD	Community:	Toronto
Legal Description:	PLAN 1788 PT LOTS 179 180 RP 66R21812 PARTS 2 3 4 9		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0252/17TEY	Zoning	R (d0.6)(x809) & R3 Z0.6 (ZZC)
Owner(s):	ANDREW KEA ASHLEY KEA	Ward:	Toronto-Danforth (30)
Agent:	ASHLEY KEA	Heritage:	Not Applicable
Property Address:	168 PAPE AVE	Community:	Toronto
Legal Description:	PLAN 718 LOT 31		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition and a complete third storey addition with a rear third storey deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (160.44 m²).

The altered detached dwelling will have a floor space index equal to 0.82 times the area of the lot (219.3 m²).

2. Chapter 10.5.40.60.(7), By-law 569-2013

Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line. The roof eaves will be located 0 m from the north side lot line.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (160.44 m²).

The altered detached dwelling will have a gross floor area equal to 0.82 times the area of the lot (219.3 m²).

2. Section 6(3) Part II 3.B(I), By-law 438-86

The minimum required side lot line setback for a detached dwelling is 0.45 m for a depth not exceeding 17 m and where the side walls contain no openings.

The altered detached dwelling will be located 0.045 m from the north side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0252/17TEY	Zoning	R (d0.6)(x809) & R3 Z0.6 (ZZC)
Owner(s):	ANDREW KEA ASHLEY KEA	Ward:	Toronto-Danforth (30)
Agent:	ASHLEY KEA	Heritage:	Not Applicable
Property Address:	168 PAPE AVE	Community:	Toronto
Legal Description:	PLAN 718 LOT 31		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0253/17TEY	Zoning	RD (f12.0; d0.6) (x1397) & R1 Z0.6 (BLD)
Owner(s):	GRACE BUGG KENNETH BUGG	Ward:	Toronto Centre-Rosedale (27)
Agent:	KENNETH BUGG	Heritage:	Not Applicable
Property Address:	460 ST CLAIR AVE E	Community:	Toronto
Legal Description:	PLAN 277 PT LOT 8		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain an extension to the rear ground floor deck, and an enclosure under the deck that were constructed beyond the building permit.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law 569-2013

A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
In this case, 0.0 m² of the first floor will be within 4.0 m of the front main wall.

1. Section 6(3) Part VI 1(iv), By-law 438-86

Additions to the rear of semi-detached houses erected before October 15, 1953, or to a converted house are permitted provided no part of the addition is located closer to the east side lot line than 1.96 m.
The rear deck and enclosure addition will be located 0.91 m from the east side lot line.

2. Section 6(3) Part VI 1(v), By-law 438-86

Additions to the rear of a semi-detached house erected before October 15, 1953, or to a converted house, are permitted provided the depth of the residential building including the addition or additions does not exceed 17.0 m.
The altered dwelling will have a depth of 17.68 m.

3. Section 6(3) Part VI 1(vi), By-law 438-86

Additions to the rear of detached house erected before October 15, 1953, or to a converted house, are permitted provided the residential building including any prior additions erected after October 15, 1953 is at least five years old.
The prior building addition is not five years old.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0253/17TEY	Zoning	RD (f12.0; d0.6) (x1397) & R1 Z0.6 (BLD)
Owner(s):	GRACE BUGG KENNETH BUGG	Ward:	Toronto Centre-Rosedale (27)
Agent:	KENNETH BUGG	Heritage:	Not Applicable
Property Address:	460 ST CLAIR AVE E	Community:	Toronto
Legal Description:	PLAN 277 PT LOT 8		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0254/17TEY	Zoning	R (d0.6)(x905) & R2 Z0.6 (ZZC)
Owner(s):	PATRICIA WENTA	Ward:	St. Paul's (22)
Agent:	JAY SMITH	Heritage:	Not Applicable
Property Address:	48 ORIOLE GDNS	Community:	Toronto
Legal Description:	PLAN 546E PT LOT 2 PT LOT 3		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling and to maintain the existing rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.60.(4), By-law 569-2013**
No above-ground part of an ancillary building or structure may be erected prior to the erection of the main walls and completion of the roof of the residential building on the same lot.
The existing rear detached garage will remain before the construction of the new detached dwelling.
- Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted depth for a detached house is 17.0 m.
The new detached dwelling will have a building depth of 21.74 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (316.90 m²).
The new detached dwelling will have a floor space index equal to 0.91 times the area of the lot (480.92 m²).
- Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.
The stairs will be located 0.16 m to the north side lot line.
- Chapter 10.10.40.10.(2)(A)(i) & (ii), By-law 569-2013**
The maximum permitted height of all front and rear exterior main walls is 8.5 m.
The height of the front exterior main walls will be 9.56 m and the height of the rear exterior main walls will be 9.75 m.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted residential gross floor area is 0.6 times the area of the lot (316.90 m²). The new detached dwelling will have a residential gross floor area equal to 0.91 times the area of the lot (480.92 m²).

2. Section 6(3) Part II 3.B(II), By-law 438-86

The portion of the dwelling exceeding a building depth of 17.0 m is required a minimum side lot line setback of 7.5 m.

The portion of the dwelling exceeding a building depth of 17.0 m will be located 1.33 m from the east side lot line and 2.63 m from the west side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

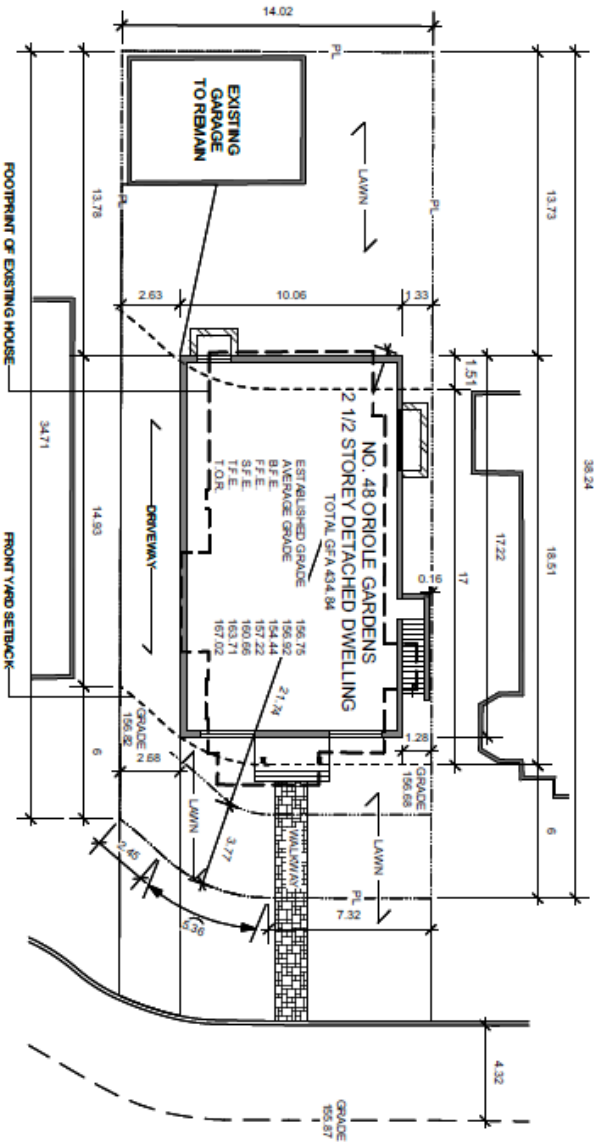
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The proposed front exterior main wall height of 9.56 m, shall apply only to the front dormer, in accordance with the front elevation plan dated January 12, 2017.
- (2) The proposed rear exterior main wall height of 9.75 m, shall apply only to the rear dormer, in accordance with the rear elevation plan dated January 12, 2017.
- (3) The new dwelling shall be constructed substantially in accordance with the plans dated January 12, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.



Site Statistics		
Lot Area	528.16 sq/m	
Zoning	R (00) (R) (M) - R2 Z0.6	
Height	11.00 m	
Allowable Height	10.27 m	
Existing Height	10.27 m	
Lot Density	0.60	
Allowable	0.91	
Proposed	316.90 sq/m	
Building Length	480.92 sq/m	
Allowable	17.00 m	
Proposed	21.74 m	
Setbacks	Allowable	Proposed
Front	6.0 m	6.0 m
East Side	0.9 m	1.28 m
West Side	0.9 m	2.63 m
Rear	7.5 m	13.73 m
Body and Landscaping Coverage		
Rear Yard Area	100%	192.24 sq/m
Allowable Landscaping Area	50%	96.12 sq/m
Existing Garage	23.8%	45.81 sq/m
Proposed Driveway	13.9%	26.81 sq/m
Proposed Landscaping Area	62.3%	120.22 sq/m
Front Yard Landscaping Coverage		
Front Yard Area	13.9%	63.38 sq/m
Existing Driveway	100%	41.02 sq/m
Allowable Landscaping Area	75%	80.27 sq/m
Porch & Walkway	18.3%	14.69 sq/m
Proposed Landscaping Area	81.7%	65.67 sq/m

Sketchworks
Permits & Design

No.	Date	Issue/Notes



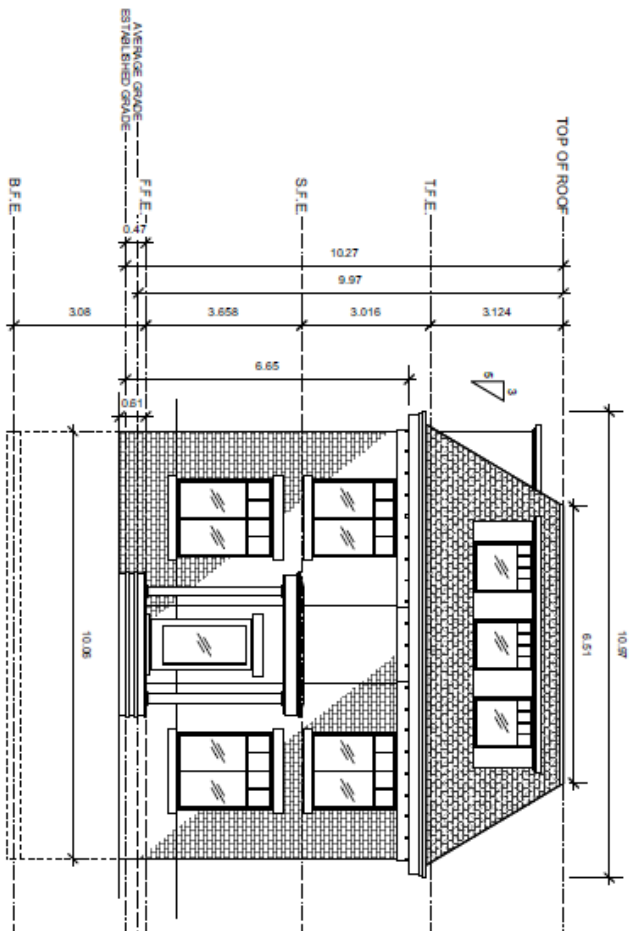
Sketchworks Inc.
2814 Hydrogen Cars
Mississauga, ON
L4R 1E9

FUOCO RESIDENCE
48 Oriole Gardens
Toronto, ON

Site Plan

Project Name	Project No.	Scale
2814 Hydrogen Cars	1200	1:100
01/29/17	1	1:100
01/29/17	9	1:100

FRONT ELEVATION



Sketchworks
Permits & Design

No.	DATE	ISSUED BY/DATE

Sketchworks Inc.
2914 Hydrogen Cars
Mississauga, ON
L4R 1S9

FUOCO RESIDENCE
48 Oriole Gardens
Toronto, ON

Project Name: FUOCO RESIDENCE
Project No.: 01/2017
Project Date: 01/2017
Project Location: Oriole Gardens C/A

2 of 9

REAR ELEVATION



Sketchworks
Permits & Design

No.	DATE	ISSUED BY

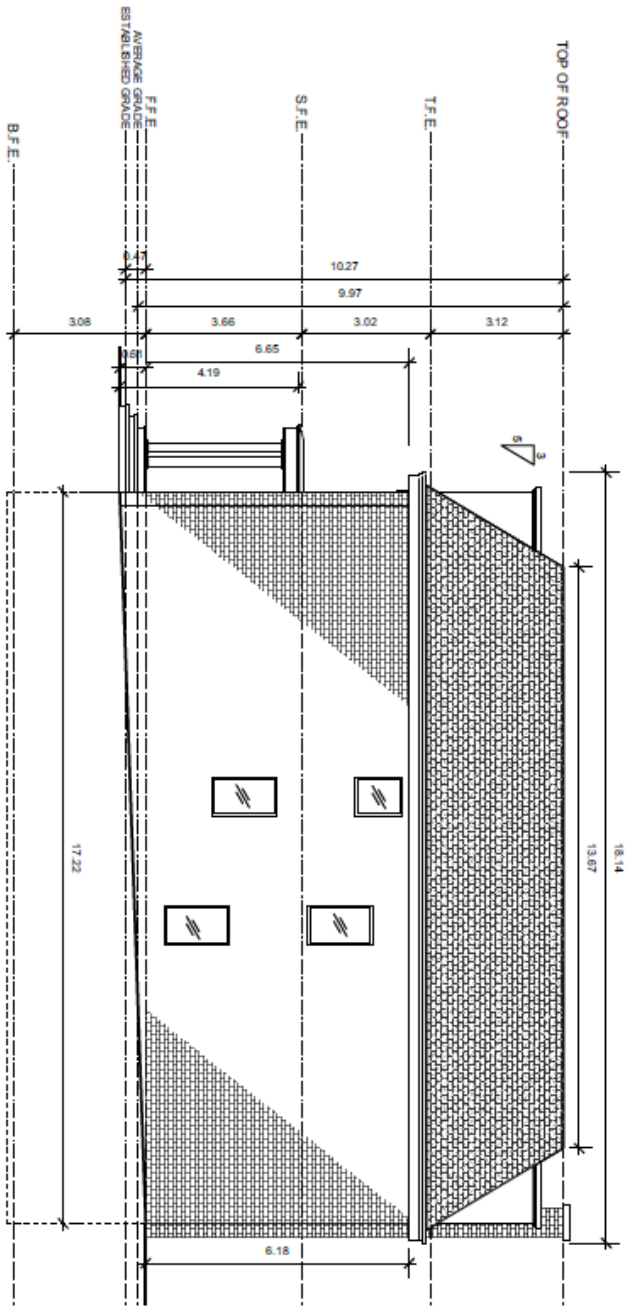
Sketchworks Inc.
2914 Hodgson Cres.
Mississauga, ON
L4R 1B9

FUOCO RESIDENCE
48 Oriole Gardens
Toronto, ON

Project Name: FUOCO RESIDENCE
Project No: 88
Date: 01/29/17
Client: Oriole Gardens C/A

Sheet No: 3
Of: 9

EAST SIDE ELEVATION



Sketchworks
Permits & Design

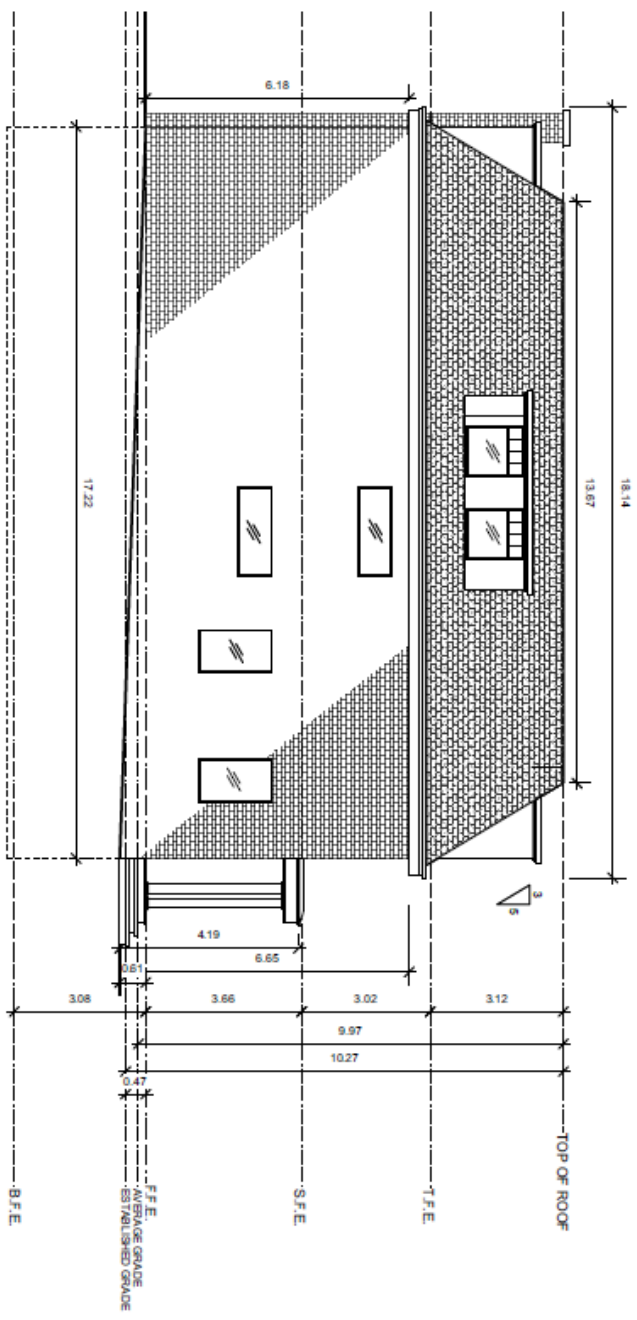
No.	DATE	ISSUED FOR

Sketchworks Inc.
2914 Hydrogen Cars
Mississauga, ON
L4X 1S9

FUOCO RESIDENCE
48 Oriole Gardens
Toronto, ON

Project Name: FUOCO RESIDENCE
Drawing No: 01-2017
Drawing Title: East Side Elevation
Scale: 1/8" = 1'-0"
Sheet No: 4 of 9

WEST SIDE ELEVATION



Sketchworks
Permits & Design

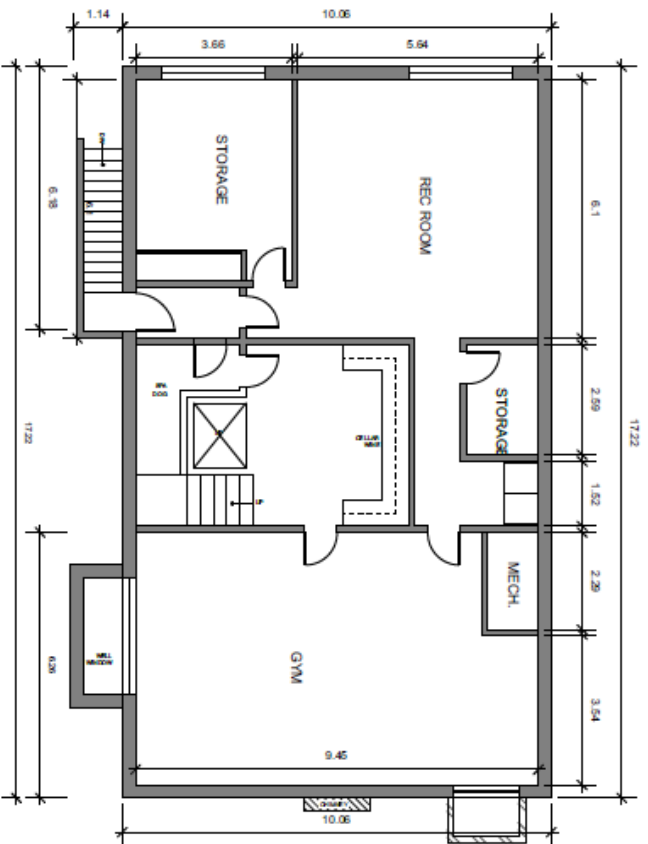
No.	DATE	ISSUED BY/DATE

Sketchworks Inc.
2914 Hodgson Cres.
Mississauga, ON
L4X 1S9

FUOCO RESIDENCE
48 Oriole Gardens
Toronto, ON

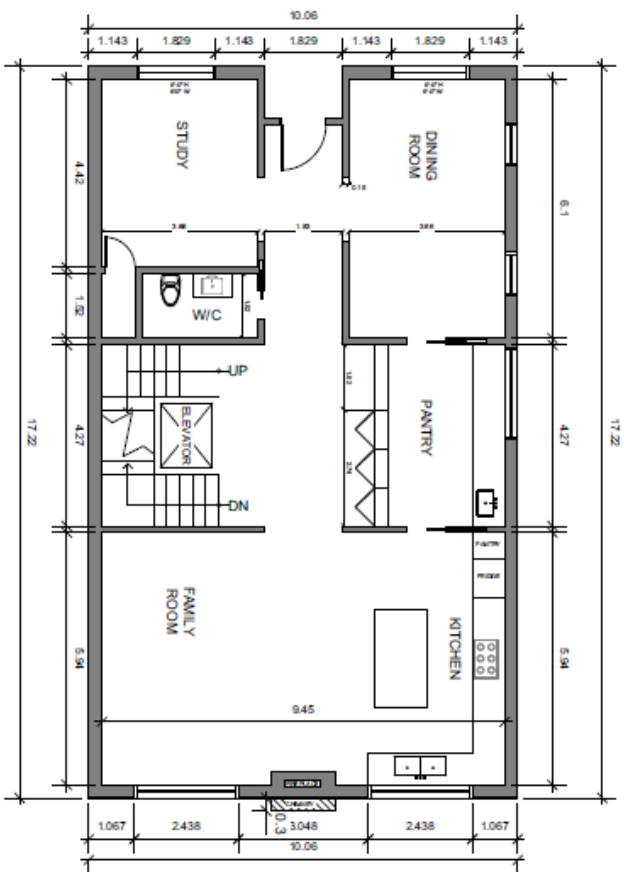
Project Name	Drawn By	Scale
FUOCO RESIDENCE	J.S.	1:100
West Side Elevation	01/29/17	5 of 9

BASEMENT FLOOR PLAN 173.22 SQ/M



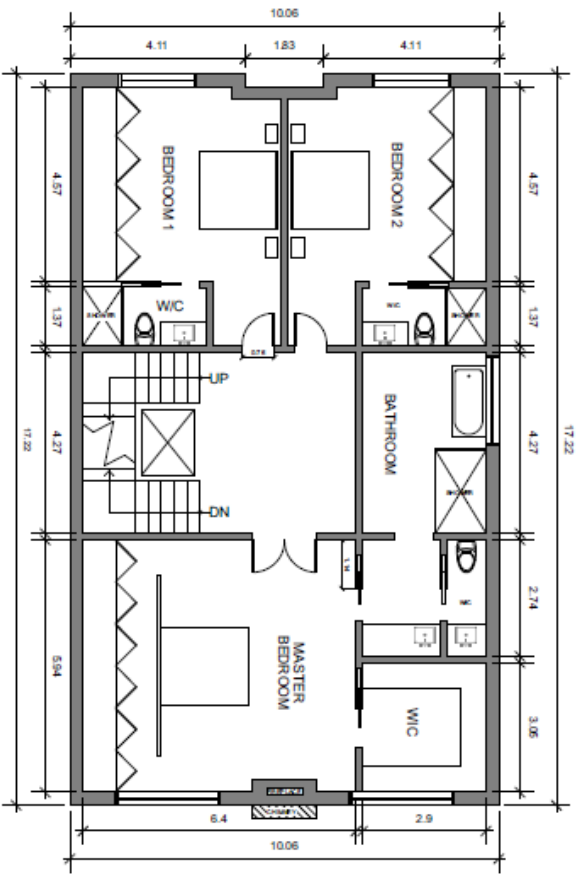
		No. _____ Date _____ Issued By: _____				Project No. _____ Sketchworks Inc. 2914 Hydrogen Cres. Mississauga, ON L4X 1S9		Project Name FUOCO RESIDENCE 48 Oriole Gardens Toronto, ON		Project No. _____ Title: _____ Author: _____ Date: _____		Project No. _____ Title: _____ Author: _____ Date: _____	
						Basement Floor Plan		Project No. _____ Title: _____ Author: _____ Date: _____		Project No. _____ Title: _____ Author: _____ Date: _____		Project No. _____ Title: _____ Author: _____ Date: _____	

GROUND FLOOR PLAN 170.99 SQ/M



		No. _____ Date _____ (Issue Number)	
THE ARCHITECTS OF SKETCHWORKS INC. 2014 HURONTARIO ST. TORONTO, ONT. M5S 1A5 TEL: 416-593-1111 FAX: 416-593-1112 WWW.SKETCHWORKS.COM		Sketchworks Inc. 2014 Hurontario Cans Mississauga, ON L5K 1S9	
PROJECT NAME FUOCO RESIDENCE 48 Oriole Gardens Toronto, ON		PROJECT NO. Ground Floor Plan	
DRAWN BY J.S.		PROJECT NO. 01-2017	
CHECKED BY OVER GARDENS C.F.A.		DATE 7/9	

SECOND FLOOR PLAN 172.66 SQ/M



Sketchworks
Permits & Design

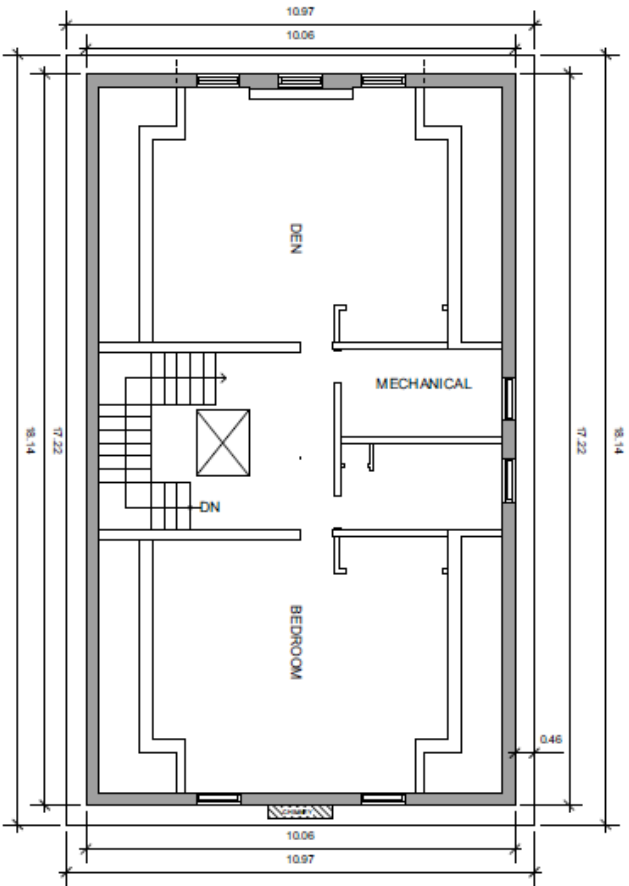
No.	DATE	ISSUED BY/DATE

Sketchworks Inc.
2014 Hydrogen Cres
Mississauga, ON
L5K 1S9

FUOCO RESIDENCE
48 Oriole Gardens
Toronto, ON

Project Name	1710-001-WH1	1710-001
Project No.	JS	17100
Client	01-2017	8
Client Name	Oriole Gardens C/A	9

THIRD FLOOR PLAN 137.27 SQ/M



Sketchworks
Permits & Design

No.	DATE	ISSUED BY/DATE

Sketchworks Inc.
2014 Hodgson Cres
Mississauga, ON
L5K 1E9

FUOCO RESIDENCE
48 Oriole Gardens
Toronto, ON

Third Floor Plan

Project No. 2024-01-2817
Client: Oriole Gardens C/A

SIGNATURE PAGE

File Number:	A0254/17TEY	Zoning	R (d0.6)(x905) & R2 Z0.6 (ZZC)
Owner(s):	PATRICIA WENTA	Ward:	St. Paul's (22)
Agent:	JAY SMITH	Heritage:	Not Applicable
Property Address:	48 ORIOLE GDNS	Community:	Toronto
Legal Description:	PLAN 546E PT LOT 2 PT LOT 3		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0255/17TEY	Zoning	CR3.0(c2.0; r2.5) SS2 & MCR T3.0 C2.0 R2.5 (BLD)
Owner(s):	PS DANFORTH INC	Ward:	Beaches-East York (32)
Agent:	MAX MERCHASIN	Heritage:	Not Applicable
Property Address:	1775 DANFORTH AVE	Community:	Toronto
Legal Description:	PLAN 1409 LOT 79 PT LOT 80		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert a portion of the ground floor from office space to nightclub.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 200.5.10.1, By-law 569-2013**
A minimum of 14 parking spaces are required to be provided.
In this case, zero parking spaces will be provided.
- Chapter 200.15.10.(A), By-law 569-2013**
A minimum of one accessible parking space is required to be provided.
In this case, zero accessible parking spaces will be provided.
- Chapter 40.10.20.100.(2)(A), By-law 569-2013**
A nightclub is a permitted use provided that it has a zone label with a "c" value of 4.0 or greater.
The zone label of the nightclub will have "c" value of 2.0.
- Chapter 40.10.20.100.(2)(C), By-law 569-2013**
A nightclub is a permitted use provided that it is on a lot that does not abut a lot in the Residential Zone category or Residential Apartment Zone category.
The night club will be on a lot that abuts a lot in a Residential Zone category.
- Chapter 40.10.20.100.(2)(D), By-law 569-2013**
A nightclub is a permitted use provided that it is the only nightclub in the building.
The nightclub will not be the only nightclub in the building.

1. Section 8(1)(f), By-law 438-86

An entertainment facility is not a permitted use.

The building will be used as an entertainment facility.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0255/17TEY	Zoning	CR3.0(c2.0; r2.5) SS2 & MCR T3.0 C2.0 R2.5 (BLD)
Owner(s):	PS DANFORTH INC	Ward:	Beaches-East York (32)
Agent:	MAX MERCHASIN	Heritage:	Not Applicable
Property Address:	1775 DANFORTH AVE	Community:	Toronto
Legal Description:	PLAN 1409 LOT 79 PT LOT 80		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0256/17TEY	Zoning	(R d1.0 H10.0m x804). & (R4 Z1.0 H10.0m)
Owner(s):	ALBINA LINHARES-HUANG	Ward:	Davenport (18)
Agent:	PAUL MARQUES	Heritage:	Not Applicable
Property Address:	234 BROCK AVE	Community:	Toronto
Legal Description:	PLAN 450 PT LOT 15 WITH ROW		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter a two-storey semi-detached mixed use building by converting the third floor attic space into habitable space and constructing a third floor addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(1)(A), By-law 569-2013**
The maximum permitted height of a building is 10.0 m.
The altered building height will be 10.36 m.
 - 2. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing the south side lot line will be 10.16 m.
 - 3. Chapter 10.10.40.10.(5) , By-law 569-2013**
The maximum permitted width of dormers is 40% or 6.82 m of the total width of the building's main walls.
In this case, the dormer width will be 50% or 8.53 m.
 - 4. Chapter 10.10.40.30.(1) (B), By-law 569-2013**
The maximum permitted building depth is 14.0 m.
The altered building depth will be 17.05 m.
- 1. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted residential gross floor area is 1.00 times the area of the lot (141.14 m²).
The residential gross floor area will be 1.53 times the area of the lot (217.0 m²).

2. **Section 4(2)(a), By-law 438-86**
The maximum permitted building height is 10.00 m.
The altered building height will be 10.36 m.
3. **Section 6(3) Part II 5(I), By-law 438-86**
The maximum permitted building depth is 14.0 m.
The building depth will be 17.05 m.
4. **Section 6(3) Part II 3.F(I)(1)(A), By-law 438-86**
The minimum required side lot line setback is 0.45 m where the side wall contains no openings.
The north side lot line setback will be 0.0 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

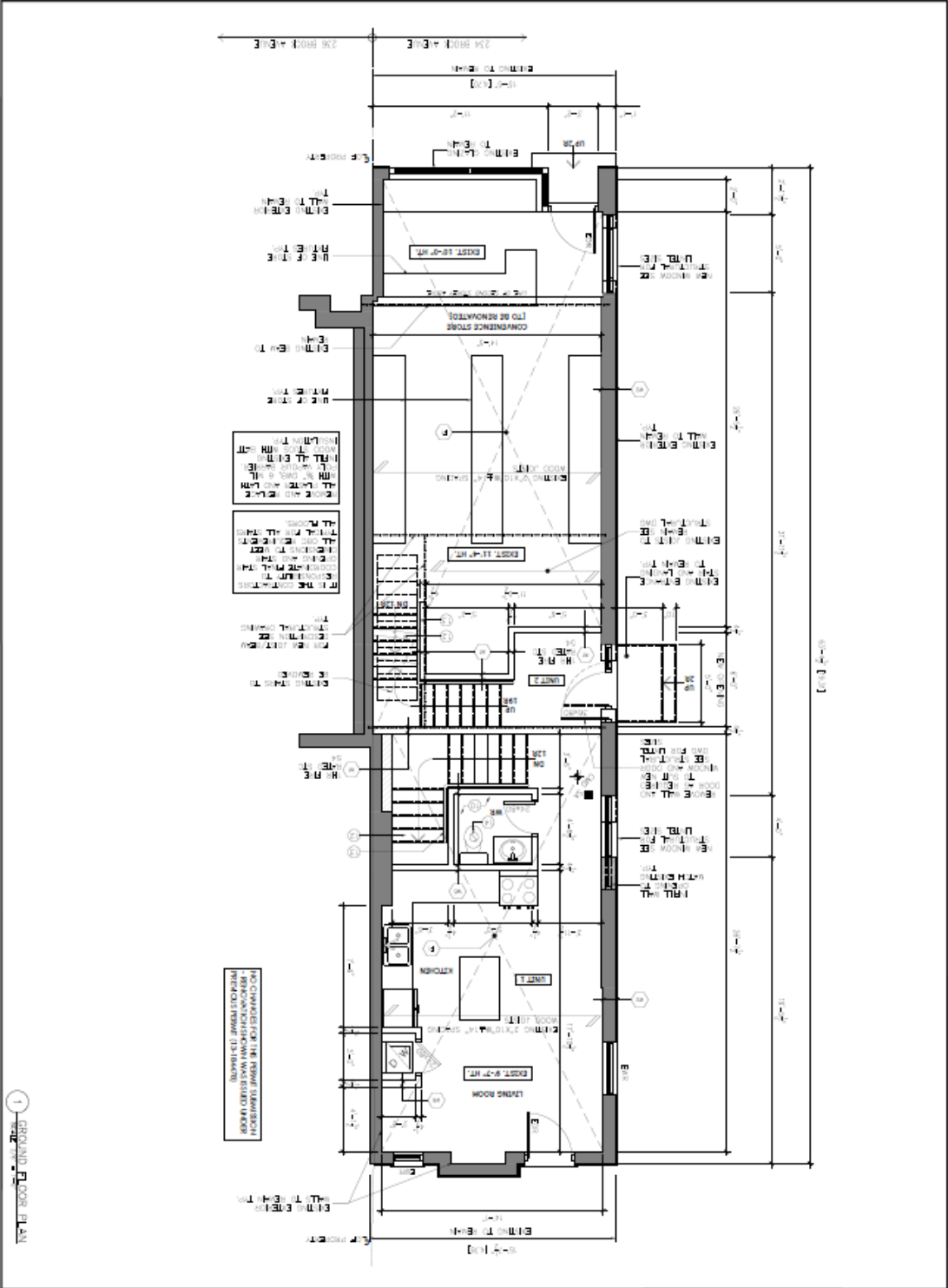
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The building alterations shall be constructed substantially in accordance with the plans received by the Committee of Adjustment on March 14, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.



1 GROUND FLOOR PLAN

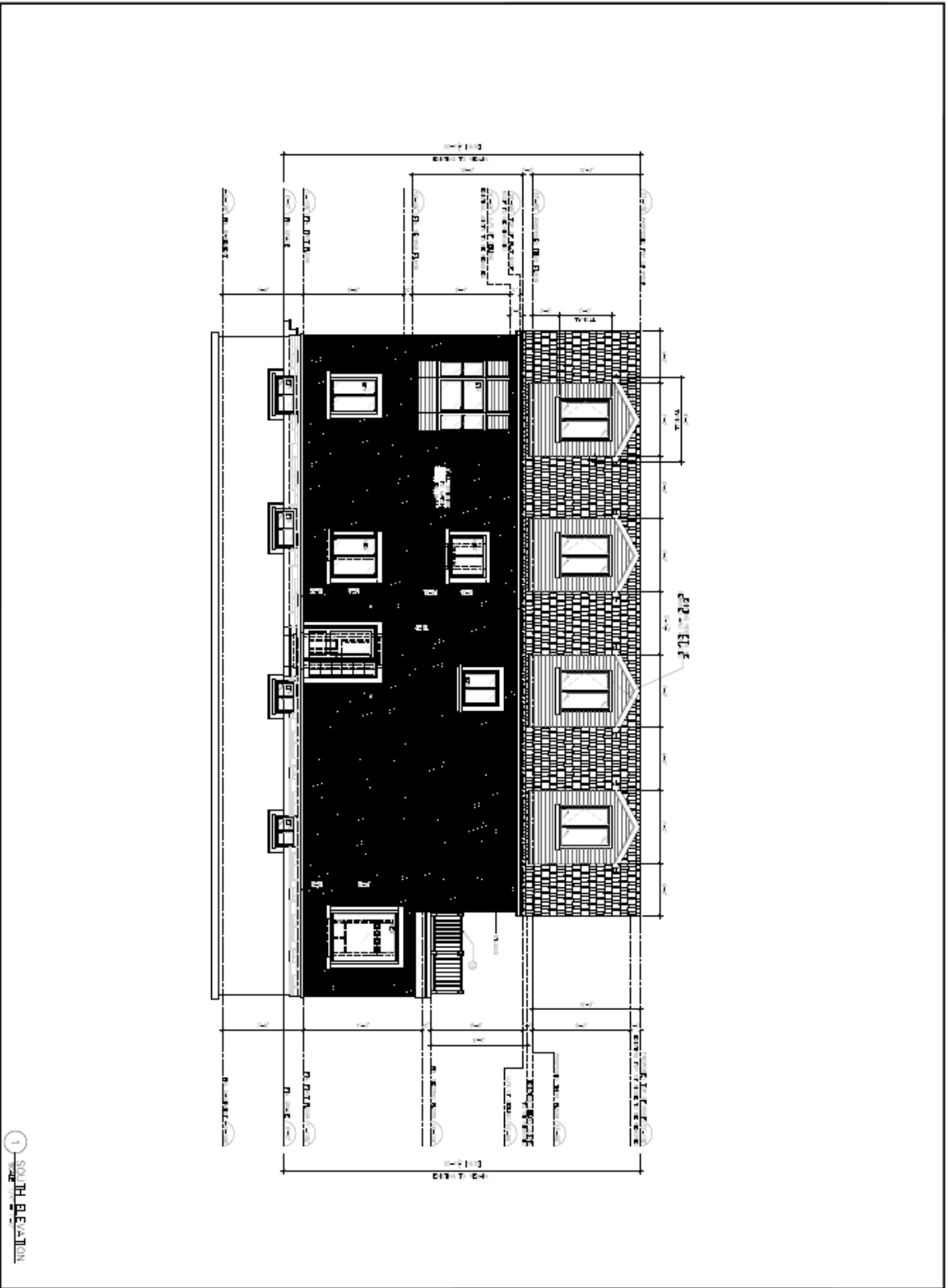
INSUROR ALTERATIONS
 234 BRACK AVE
 TORONTO, ONTARIO

GROUND FLOOR PLAN

paal marques
 5411 BRIMLEY RD. #100
 TORONTO, ONTARIO M3J 1K5
 TEL: 416-291-1111
 WWW.PAALMARQUES.COM

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024-08-28
2	ISSUED FOR PERMIT	2024-08-28
3	ISSUED FOR PERMIT	2024-08-28
4	ISSUED FOR PERMIT	2024-08-28
5	ISSUED FOR PERMIT	2024-08-28
6	ISSUED FOR PERMIT	2024-08-28
7	ISSUED FOR PERMIT	2024-08-28
8	ISSUED FOR PERMIT	2024-08-28
9	ISSUED FOR PERMIT	2024-08-28
10	ISSUED FOR PERMIT	2024-08-28

A3



1 SOUTH ELEVATION

THIS DRAWING IS THE PROPERTY OF PAUL MARQUES ARCHITECTURE INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF PAUL MARQUES ARCHITECTURE INC. IS STRICTLY PROHIBITED. THE CLIENT ACCEPTS THAT THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED AND THAT THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEES PAID TO THE ARCHITECT. THE ARCHITECT'S WORK IS SUBJECT TO THE TERMS AND CONDITIONS OF THE ARCHITECT'S STANDARD CONDITIONS OF CONTRACT, WHICH ARE AVAILABLE UPON REQUEST.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITTING	2024-03-15
2	ISSUED FOR CONSTRUCTION	2024-03-15
3	ISSUED FOR CONSTRUCTION	2024-03-15
4	ISSUED FOR CONSTRUCTION	2024-03-15
5	ISSUED FOR CONSTRUCTION	2024-03-15

paul marques
 ARCHITECTURE INC.
 1412 BAYVIEW AVE. SUITE 200
 SCARBOROUGH, ONTARIO M1S 5R7
 TEL: (416) 291-1111
 WWW.PAULMARQUESARCHITECTURE.COM

PROJECT:
 INTERIOR ALTERATIONS
 234 BUCK AVE
 TORONTO, ONTARIO

CLIENT:
 EVMATION

DATE	BY	DESCRIPTION
2024-03-15	SM	ISSUED FOR PERMITTING
2024-03-15	SM	ISSUED FOR CONSTRUCTION
2024-03-15	SM	ISSUED FOR CONSTRUCTION
2024-03-15	SM	ISSUED FOR CONSTRUCTION

A9

SIGNATURE PAGE

File Number:	A0256/17TEY	Zoning	(R d1.0 H10.0m x804). & (R4 Z1.0 H10.0m)
Owner(s):	ALBINA LINHARES-HUANG	Ward:	Davenport (18)
Agent:	PAUL MARQUES	Heritage:	Not Applicable
Property Address:	234 BROCK AVE	Community:	Toronto
Legal Description:	PLAN 450 PT LOT 15 WITH ROW		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

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15. 354 MAIN ST

File Number:	A0510/17TEY	Zoning	R(d0.6) & R2 Z0.6 (ZZC)
Owner(s):	GARY NORMAN MCCALLUM KAREN MARIE MCCALLUM	Ward:	Beaches-East York (31)
Agent:	ROBERT MCFADDEN	Heritage:	Not Applicable
Property Address:	354 MAIN ST	Community:	Toronto
Legal Description:	PLAN 1801 LOT 69 PT LOT 70 S 27FT OF LOT 70		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one-storey rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.80.40.(2), By-law 569-2013**
On a lot abutting a lane, vehicle access to any parking space on the lot must be from the flanking street or from the lane.
In this case, access to main parking will be from Main Street, and one parking space will be accessed from the lane abutting the rear of the property.
 - 2. Chapter 10.5.50.10.(3), By-law 569-2013**
A minimum of 50% (123.4 m²) of the rear yard must be maintained as soft landscaping.
In this case, 33% (80.2 m²) of the rear yard will be maintained as soft landscaping.
 - 3. Chapter 10.5.60.40.(2), By-law 569-2013**
The maximum permitted height of an ancillary building is 4.0 m.
The rear detached garage will have a height of 6.5 m.
- 1. Section 4(2)(d)(i), By-law 438-86**
The maximum permitted height of an accessory structure is 4.0 m.
The rear detached garage will have a height of 6.5 m.
 - 2. Section 6(3) Part IV 2, By-law 438-86**
On a lot that abuts a flanking street or public lane, vehicle access to any parking space on the lot must be from the flanking street or public lane.
In this case, access to main parking will be from Main Street, and one parking space will be accessed from the lane abutting the rear of the property.

MOTION

It was moved by Carl Knipfel, seconded by Alex Bednar and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide an opportunity to give notice based on the new zoning examiner's notice. The application would be rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0257/17TEY	Zoning	R & R2 (ZZC)
Owner(s):	MARGARET MACDOUGALL ADAM SPENCER	Ward:	Toronto-Danforth (30)
Agent:	MIKE SHIRZADFAR	Heritage:	Not Applicable
Property Address:	93 EARL GREY RD	Community:	Toronto
Legal Description:	PLAN 443E PT LOT 42		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey semi-detached dwelling by constructing front and rear third floor additions and to maintain the existing enclosed front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7.5 m.
In this case, the height of the front exterior main wall of the altered semi-detached dwelling will be 8.69 m.
- Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 7.5 m.
In this case, the height of rear exterior main wall of the altered semi-detached dwelling will be 9.46 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (100.56 m²).
Minor Variance Decision A0545/13TEY permits a floor space index of 0.97 times the area of the lot (162.85 m²).
In this case, the altered semi-detached dwelling will have a floor space index of 1.22 times the area of the lot (203.84 m²).
- Chapter 10.10.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 3.07 m.
The altered semi-detached dwelling will be located 1.07 m from the front lot line.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area is 0.6 times the area of the lot (100.56 m²).

Minor Variance Decision A0545/13TEY permits a floor space index of 0.97 times the area of the lot (162.85 m²).

In this case, the altered semi-detached dwelling will have a residential gross floor area equal to 1.16 times the area of the lot (194.39 m²).

2. Section 6(3) Part II 3.C(I), By-law 438-86

The minimum required side lot line setback of a semi-detached or row house dwelling is 0.45 m where the side wall contains no openings.

Minor Variance Decision A0545/13TEY permits a 0.0 m north side lot line setback.

In this case, the altered semi-detached dwelling will be located 0.42 m from the north side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0257/17TEY	Zoning	R & R2 (ZZC)
Owner(s):	MARGARET MACDOUGALL ADAM SPENCER	Ward:	Toronto-Danforth (30)
Agent:	MIKE SHIRZADFAR	Heritage:	Not Applicable
Property Address:	93 EARL GREY RD	Community:	Toronto
Legal Description:	PLAN 443E PT LOT 42		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0258/17TEY	Zoning	R (d0.6)(x736) & R2 Z0.6 (BLD)
Owner(s):	THOMAS MCKEAG FRANCESCA MILAN	Ward:	Toronto-Danforth (30)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	25 SPARKHALL AVE	Community:	Toronto
Legal Description:	PLAN 764 PT LOT 6		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear second-storey addition, rear one-storey addition and rear basement walk-out.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.10.40.40.(2)(A), By-law 569-2013

The maximum permitted floor space index for additions to the rear of a detached house erected before October 15, 1953 is 0.69 times the area of the lot (164 m²).

The altered dwelling will have a floor space index equal to 0.85 times the area of the lot (203.8 m²).

Section 6(3) Part VI 1(I), By-law 569-2013

The by-law allows additions to the rear of detached house erected before October 15, 1953, or to a converted house, provided the residential gross floor area of the building as enlarged does not exceed 0.69 times the area of the lot (164 m²).

The altered dwelling will have a residential gross floor area equal to 0.85 times the area of the lot (203.8 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

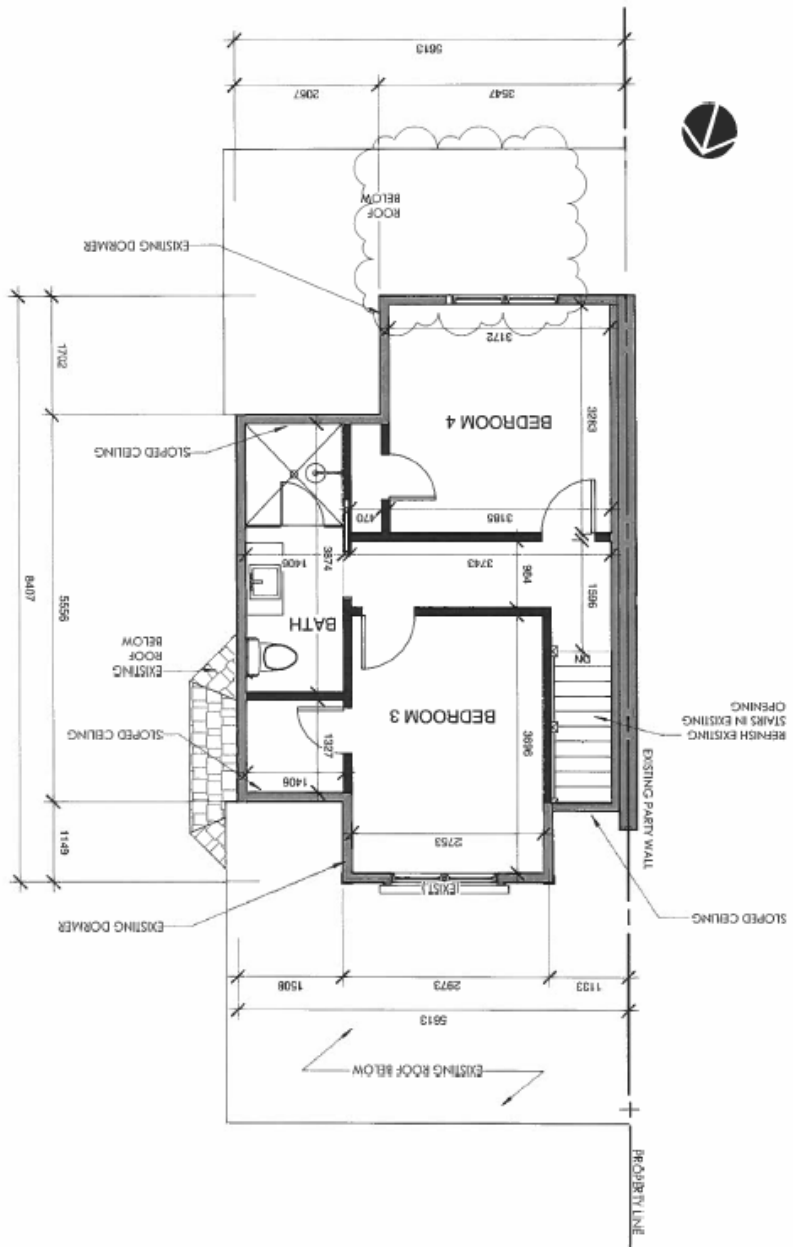
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The building alterations shall be constructed substantially in accordance with the south elevation plan and third floor plan received by the Committee of Adjustment on July 12, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

PRIVATE RESIDENCE
 25 SPARKHALL AVE

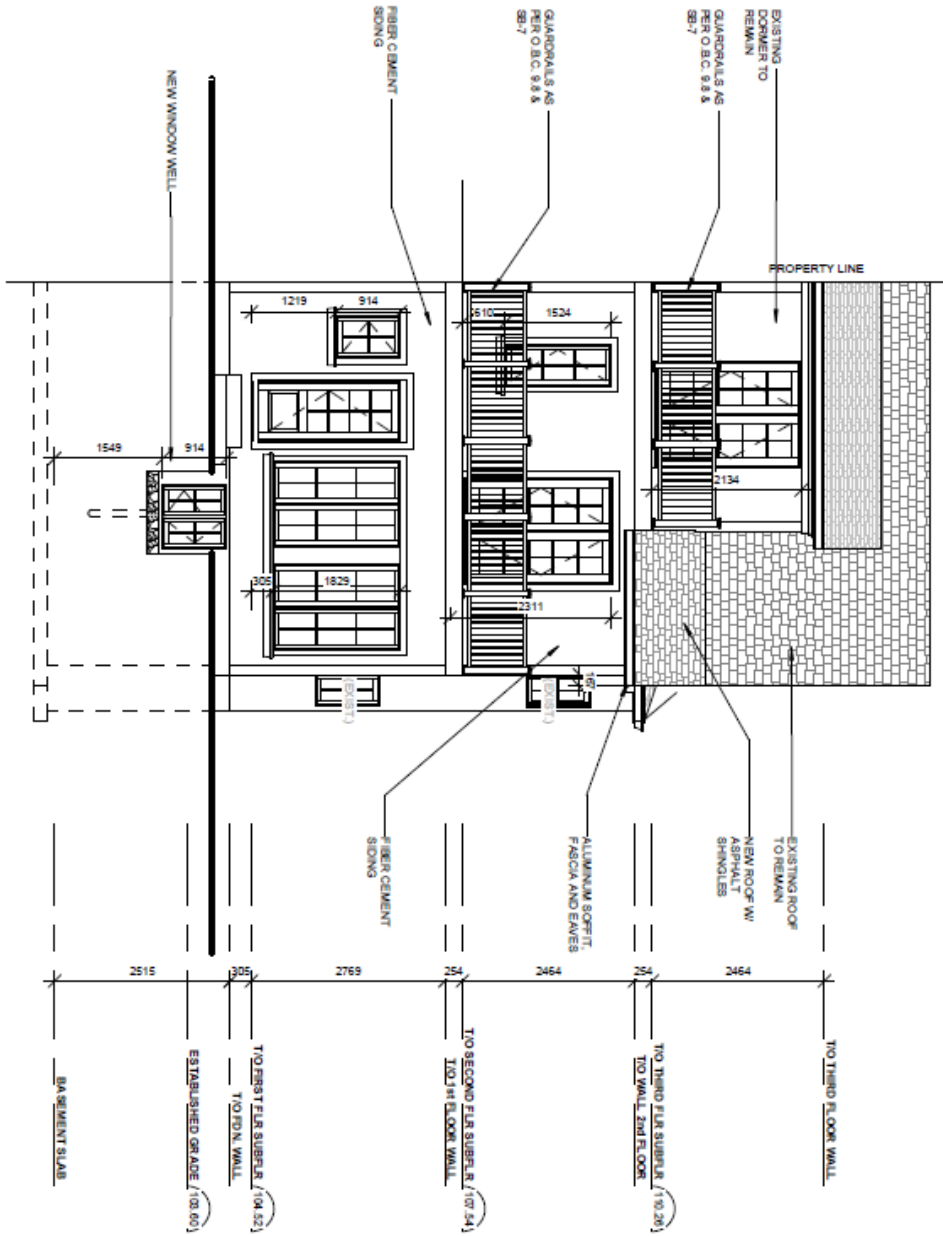
3rd FLOOR PLAN



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SOUTH ELEVATION
PRIVATE RESIDENCE
 25 SPARKHALL AVE



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5/17/2017 8:16:04 PM

SIGNATURE PAGE

File Number:	A0258/17TEY	Zoning	R (d0.6)(x736) & R2 Z0.6 (BLD)
Owner(s):	THOMAS MCKEAG FRANCESCA MILAN	Ward:	Toronto-Danforth (30)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	25 SPARKHALL AVE	Community:	Toronto
Legal Description:	PLAN 764 PT LOT 6		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0259/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (BLD)
Owner(s):	URSULA DIANA S WILLIAMS DENNIS TYRONE WILLIAMS	Ward:	Parkdale-High Park (14)
Agent:	LENNY SIMONELLI	Heritage:	Not Applicable
Property Address:	202 INDIAN RD	Community:	Toronto
Legal Description:	PLAN 1286 PT LOT 19		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey detached dwelling by reconstructing front and rear portions of the ground floor including a new side ground floor deck; by reconstructing the front, rear and side portions of the second storey; and by reconstructing the front portion of the third storey and dormers including a new side third storey deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 10 m.
The altered detached dwelling will have a height of 10.1 m.
- 2. Chapter 10.10.40.30.(1)(A), By-law 569-2013**
The maximum permitted depth of a detached dwelling is 17 m.
The altered detached dwelling will have a depth of 18.29 m.
- 3. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (191.73 m²).
The altered detached dwelling will have a floor space index equal to 1.05 times the area of the lot (335.86 m²).
- 4. Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.
The roof eaves will be located 0 m from the north and south side lot lines.
- 5. Chapter 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% (76.73 m²) of the rear yard must be maintained as soft landscaping.
In this case, 43.9% (67.4 m²) of the rear yard has been maintained as soft landscaping.

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (191.73 m²).

The altered detached dwelling will have a gross floor area equal to 1.05 times the area of the lot (335.86 m²).

2. Section 6(3) Part II 3.A(I), By-law 438-86

The minimum required setback from a flanking street is 4.55 m.

The altered detached dwelling will be located 0.61 m from the north flanking street, Grenadier Road.

3. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17 m is 7.5 m.

The portion of the detached dwelling exceeding the 17 m depth will be located 0.61 m from the north side lot line and 0.57 m from the south side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0259/17TEY	Zoning	R (d0.6) & R2 Z0.6 (BLD)
Owner(s):	URSULA DIANA S WILLIAMS DENNIS TYRONE WILLIAMS	Ward:	Parkdale-High Park (14)
Agent:	LENNY SIMONELLI	Heritage:	Not Applicable
Property Address:	202 INDIAN RD	Community:	Toronto
Legal Description:	PLAN 1286 PT LOT 19		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0260/17TEY	Zoning	RD (d0.35) & R1 Z0.35 (ZZC)
Owner(s):	VLADIMIR BREGMAN	Ward:	Toronto-Danforth (29)
Agent:	JONATHAN BENCZKOWSKI	Heritage:	Not Applicable
Property Address:	15 BAYFIELD CRES	Community:	Toronto
Legal Description:	PLAN 549E PT BLK C NOW RP 64R16373 PART 2,3		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the detached garage into a cabana/garden shed and to reconstruct the roof.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.60.20.(2)(B), By-law 569-2013**
The minimum required setback for an ancillary building or structure is 2.0 m.
The ancillary building will be located 0.0 m from the east rear lot line.
 - Chapter 10.5.60.20.(3)(C)(iii), By-law 569-2013**
The minimum side yard setback for an ancillary building or structure in a rear yard and 1.8 m or more from the residential building on the lot is 0.3 m.
The ancillary building will be located 0.0 m from the north side lot line, 0.0 m from the east side lot line and 0.0 m from the west side lot line.
 - Chapter 10.5.60.50.(2)(A), By-law 569-2013**
The maximum permitted total floor area of all ancillary buildings or structures on the lot is 60.0 m².
The total floor area of all ancillary buildings is 74.32 m².
 - Chapter 10.5.60.60.(1), By-law 569-2013²**
The eaves of a roof on an ancillary building or structure may encroach into a building setback a maximum of 0.3 m, if the eaves are no closer to a lot line than 0.15 m.
The roof eaves will be located 0.0 m from the west lot line.
- Section 6(3) Part II 7(I), By-law 438-86**
An accessory structure is required to have a minimum lot line setback of 3.0 m from all lot lines.
The altered garage will be located 0.0 m from the north side lot line, 0.0 m from the east side lot line and 0.0 m from the west side lot line.

2. Section 6(3) Part I 2, By-law 438-86

The maximum permitted floor area of an accessory building or structure is 5% of the area of the lot (64. m²).

The converted detached garage will have be 6% of the area of the lot (74.32 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

No water and sewage connections shall be permitted to or within the detached cabana/garden shed.

SIGNATURE PAGE

File Number:	A0260/17TEY	Zoning	RD (d0.35) & R1 Z0.35 (ZZC)
Owner(s):	VLADIMIR BREGMAN	Ward:	Toronto-Danforth (29)
Agent:	JONATHAN BENCZKOWSKI	Heritage:	Not Applicable
Property Address:	15 BAYFIELD CRES	Community:	Toronto
Legal Description:	PLAN 549E PT BLK C NOW RP 64R16373 PART 2,3		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0261/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	MARIANNE FENTON GREGORY MONTAGUE FENTON	Ward:	Toronto-Danforth (30)
Agent:	GREGORY MONTAGUE FENTON	Heritage:	Not Applicable
Property Address:	151 WITHROW AVE	Community:	Toronto
Legal Description:	PLAN M34 PT LOT 2		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a front covered porch, a front basement addition, a front basement walkout, and a rear detached storage shed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 3.69 m.
The altered dwelling will be located 1.9 m from the north front lot line.
- Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.
The front porch stairs will be located 0.12 m from the north front lot line, and 0.51 m from the west side lot line.
- Chapter 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% (7.18 m²) of the front yard must be maintained as soft landscaping.
In this case, 33% (3.18 m²) of the front yard will be maintained as soft landscaping.
- Chapter 10.10.60.70.(1), By-law 569-2013**
The area of the lot covered by all ancillary buildings and structures may not exceed 5% of the lot area (10.62 m²).
The rear detached storage shed will have a lot coverage of 11% (24.16 m²).

1. **Section 6(3) Part II 2 (II), By-law 438-86**
The minimum required front yard setback of a building on an inside lot is 3.69 m.
The altered dwelling will be located 1.9 m from the north front lot line.
2. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area of a semi-detached dwelling is 0.6 times the area of the lot (127.42 m²).
The altered dwelling will have a gross floor area equal to 0.81 times the area of the lot (172.13 m²).
3. **Section 6(3) Part III, By-law 438-86**
A minimum of 75% (7.18 m²) of the front yard must be maintained as soft landscaping.
In this case, 33% (3.16 m²) of the front yard will be maintained as soft landscaping.
4. **Section 6(3) Part II 7(I), By-law 438-86**
The minimum required setback of an accessory structure to all lot lines is 3.0 m.
The rear detached storage shed will be located 0.3 m from the east side lot line, 0.3 m from the west side lot line, and 0.3 m from the south rear lot line.
5. **Section 6(3) Part I 2, By-law 438-86**
An accessory building is permitted a maximum floor area no greater than 5% of the lot area (10.62 m²).
The rear detached storage shed will have a gross floor area equal to 11% of the lot area (24.16 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The owner shall provide three foot (0.9 m) high coniferous plantings in the area between the front basement walkout and the front property line.

SIGNATURE PAGE

File Number:	A0261/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	MARIANNE FENTON GREGORY MONTAGUE FENTON	Ward:	Toronto-Danforth (30)
Agent:	GREGORY MONTAGUE FENTON	Heritage:	Not Applicable
Property Address:	151 WITHROW AVE	Community:	Toronto
Legal Description:	PLAN M34 PT LOT 2		

DECLARED AN INTEREST

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0262/17TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	SUSAN CARINA HUSOLO	Ward:	Toronto-Danforth (30)
Agent:	GREGORY MONTAGUE FENTON	Heritage:	Not Applicable
Property Address:	153 WITHROW AVE	Community:	Toronto
Legal Description:	PLAN M34 PT LOT 2		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new covered front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.60.(2)(A), By-law 569-2013**
A canopy, awning, or similar structure above a platform is permitted to encroach into a required building setback to the same extent as the platform it is covering.
The front canopy will encroach 0.37 m beyond the porch it is covering.
- Chapter 10.5.40.60.(3)(A)(iii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.
The front stairs will be located 0.13 m from the front lot line.
- Section 6(3) Part II 8 D (I), By-law 438-86**
The maximum permitted height of an uncovered platform which projects into the required setbacks is 1.2 m above grade.
The front porch will have a height of 1.61 m above grade.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0262/17TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	SUSAN CARINA HUSOLO	Ward:	Toronto-Danforth (30)
Agent:	GREGORY MONTAGUE FENTON	Heritage:	Not Applicable
Property Address:	153 WITHROW AVE	Community:	Toronto
Legal Description:	PLAN M34 PT LOT 2		

DECLARED AN INTEREST

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0263/17TEY	Zoning	RD (f12.0; a370; d0.4) & R1 (ZZC)
Owner(s):	MICHAEL SHEDLEYSKY	Ward:	St. Paul's (21)
Agent:	CORY BALBOUL	Heritage:	Not Applicable
Property Address:	100 AVA RD	Community:	Toronto
Legal Description:	PLAN M511 LOT 110		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal to demolish the existing SFD dwelling and construct a new 2 storey SFD-detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.40.(1) (A), By-law 569-2013**
The maximum permitted floor space index is 0.40 times the area of the lot (185.48 m²).
The floor space index will be 0.65 times the area of the lot (302.5 m²).
- 2. Chapter 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length for a detached house is 17.0 m.
The building length will be 17.71 m.
- 3. Chapter 10.20.40.10.(6) (6), By-law 569-2013**
The permitted maximum height of the first floor above established grade is 1.2 m.
The height of the first floor above established grade will be 1.38 m.
- 1. Section 8 (3) (b), By-law 1-83**
The maximum permitted floor space index is 0.40 times the area of the lot (185.84 m²).
The floor space index will be 0.65 times the area of the lot (302.5 m²).
- 2. Section 7 (3) (b), By-law 3623-97**
The maximum permitted floor space index is 0.56 times the area of the lot (259.48 m²).
The floor space index will be 0.65 times the area of the lot (302.5 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0263/17TEY	Zoning	RD (f12.0; a370; d0.4) & R1 (ZZC)
Owner(s):	MICHAEL SHEDLEYSKY	Ward:	St. Paul's (21)
Agent:	CORY BALBOUL	Heritage:	Not Applicable
Property Address:	100 AVA RD	Community:	Toronto
Legal Description:	PLAN M511 LOT 110		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0264/17TEY	Zoning	CR 5.0 (c0.5; r5.0) SS1 (x1391) & CR T5.0 C0.5 R5.0 (WAIVER)
Owner(s):	QUEEN DEVELOPMENTS INC.	Ward:	Toronto Centre-Rosedale (27)
Agent:	PATRICK J DEVINE	Heritage:	Not Applicable
Property Address:	30-50 MUTUAL ST & 88 QUEEN ST E	Community:	Toronto
Legal Description:	PLAN D26 LOTS 4&5 PLAN 22A LOTS 6 TO 12 PLAN E73 LOTS 1 TO 8		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the re-development plan of the 28-storey mixed-use building, approved under Site-Specific By-law 180-2005, by reducing the length of all parking spaces, and by clarifying the bicycle parking space requirements to be provided for occupants and visitors.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 4(17)(f)(ii), By-law 438-86

Where a site-specific amendment to By-law 438-86, as amended, has been passed by Council between January 1, 2003 and April 30, 2007 (in this case, 180-2005), or is the result of an Order of the Ontario Municipal Board respecting an appeal filed between January 1, 2003 and April 30, 2007, which does not specify parking space dimensions, the minimum parking space dimension shall be 5.9 m in length and 2.6 m in width.

In this case, all of the parking spaces will have a length of 5.6 m.

2. Section 1(j), Site-Specific By-law 180-2005

A minimum of 275 bicycle parking spaces shall be provided and maintained on the lot, and of the total number of bicycle parking spaces provided, 80% shall be designated bicycle parking space – occupant, and 20% shall be designated bicycle parking space – visitor.

In this case a minimum of 275 bicycle parking spaces will be provided and maintained on the lot, and of the total number of bicycle spaces provided, 90% will be designated bicycle parking space – occupant, and 10% will be designated bicycle parking space – visitor.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0264/17TEY	Zoning	CR 5.0 (c0.5; r5.0) SS1 (x1391) & CR T5.0 C0.5 R5.0 (WAIVER)
Owner(s):	QUEEN DEVELOPMENTS INC.	Ward:	Toronto Centre-Rosedale (27)
Agent:	PATRICK J DEVINE	Heritage:	Not Applicable
Property Address:	30-50 MUTUAL ST & 88 QUEEN ST E	Community:	Toronto
Legal Description:	PLAN D26 LOTS 4&5 PLAN 22A LOTS 6 TO 12 PLAN E73 LOTS 1 TO 8		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

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Committee of Adjustment, Toronto and East York District

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0265/17TEY	Zoning	R (d1.0)(x804) & R4 Z1.0 (ZZC)
Owner(s):	NATHALIE SATO BENJAMIN EDWARDS	Ward:	Davenport (18)
Agent:	DAVID FOOTMAN	Heritage:	Not Applicable
Property Address:	25 NORTHERN PL	Community:	Toronto
Legal Description:	PLAN 525 PT LOT 5		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½ -storey townhouse by constructing a front ground floor addition, front and rear additions to the second and third storeys, and a rear third storey balcony.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 1.4 m.
The front ground floor addition of the altered townhouse will be located 0 m from the west front lot line.
- 2. Chapter 10.5.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 1.4 m.
The front second and third storey additions of the altered townhouse will be located 0.79 m from the west front lot line.
- 3. Chapter 10.10.40.70.(4)(C), By-law 569-2013**
The minimum required side yard setback is 0.45 m.
The front ground floor, front third storey, and rear third storey additions of the altered townhouse will be located 0 m from the north and south side lot lines.
- 4. Chapter 10.10.40.80.(1)(A), By-law 569-2013**
The minimum required distance between main walls for a townhouse is 2 m where there are no openings to dwelling units in those main walls.
The distance between main walls for the front ground floor addition, front third storey addition, and rear third storey addition will be 0 m on the north side and 0 m on the south side.

5. **Chapter 10.10.40.80.(1)(A), By-law 569-2013**

The minimum required distance between main walls for a townhouse is 2 m where there are no openings to dwelling units in those main walls.
The distance between main walls for the front second storey addition will be 0.59 m on the north side and 0.61 m on the south side.
6. **Chapter 10.10.40.80.(1)(A), By-law 569-2013**

The minimum required distance between main walls for a townhouse is 2 m where there are no openings to dwelling units in those main walls.
The distance between main walls for the rear second storey addition will be 0.9 m on the north side and 0.92 m on the south side.
7. **Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a townhouse is 1.0 times the area of the lot (65.53 m²).
The altered townhouse will have a floor space index equal to 1.71 times the area of the lot (112.37 m²).
8. **Chapter 10.5.50.10.(1)(A), By-law 569-2013**

On a lot with a townhouse, with a lot frontage less than 6 m, the entire front yard, excluding a permitted driveway, must be landscaping. A minimum of 5.08 m² landscaping is required to be maintained.
In this case, 0 m² of the front yard will be maintained as landscaping.
9. **Chapter 10.5.50.10.(1)(D), By-law 569-2013**

A minimum of 75% (3.81 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.
In this case, 0% (0 m²) of the required front yard landscaped open space will be in the form of soft landscaping.
10. **Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**

The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing a side lot line will be 8.42 m.
1. **Section 6(3) Part II 2(II), By-law 438-86**

The minimum required front yard setback is 1.4 m.
The front ground floor addition of the altered townhouse will be located 0 m from the west front lot line.
2. **Section 6(3) Part II 2(II), By-law 438-86**

The minimum required front yard setback is 1.4 m.
The front second and third storey additions of the altered townhouse will be located 0.79 m from the west front lot line.
3. **Section 6(3) Part II 3.C(I), By-law 438-86**

The minimum required side lot line setback of a townhouse is 0.45 m where the side wall contains no openings.
The front ground floor, front third storey, and rear third storey additions of the altered townhouse will be located 0 m from the north side lot line and 0 m from the south side lot line.

4. Section 6(3) Part II 3(I), By-law 438-86

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.

The front ground floor addition, front third storey addition, and rear third storey addition of the altered townhouse will be located 0 m from the side wall of the north adjacent building and 0 m from the side wall of the south adjacent building.

5. Section 6(3) Part II 3(I), By-law 438-86

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.

The front second storey addition of the altered townhouse will be located 0.59 m from the side wall of the north adjacent building and 0.61 m from the side wall of the south adjacent building.

6. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a townhouse is 1.0 times the area of the lot (65.53 m²).

The altered townhouse will have a gross floor area equal to 1.71 times the area of the lot (112.37 m²).

7. Section 6(3) Part III 3(A), By-law 438-86

A minimum of 100% (5.08 m²) of the front yard area shall be maintained as landscaped open space. In this case, 0% (0 m²) of the front yard area will be landscaped open space.

8. Section 6(3) Part III 3(B), By-law 438-86

A minimum of 75% (3.81 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 0% (0 m²) of the required front yard landscaped open space will be in the form of soft landscaping.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The alterations to the third floor of the dwelling shall have a maximum building depth of 10.5 m exclusive of the rear balcony, as per the third floor plan received by the Committee of Adjustment on March 16, 2017. Any other variances that may appear on the plan but are not listed in the written decision are NOT authorized.
- (2) There shall be no windows on the north and south sides of the rear second floor addition.

RECEIVED
By TEY Co/FA at 11:45 am, Mar 16, 2017

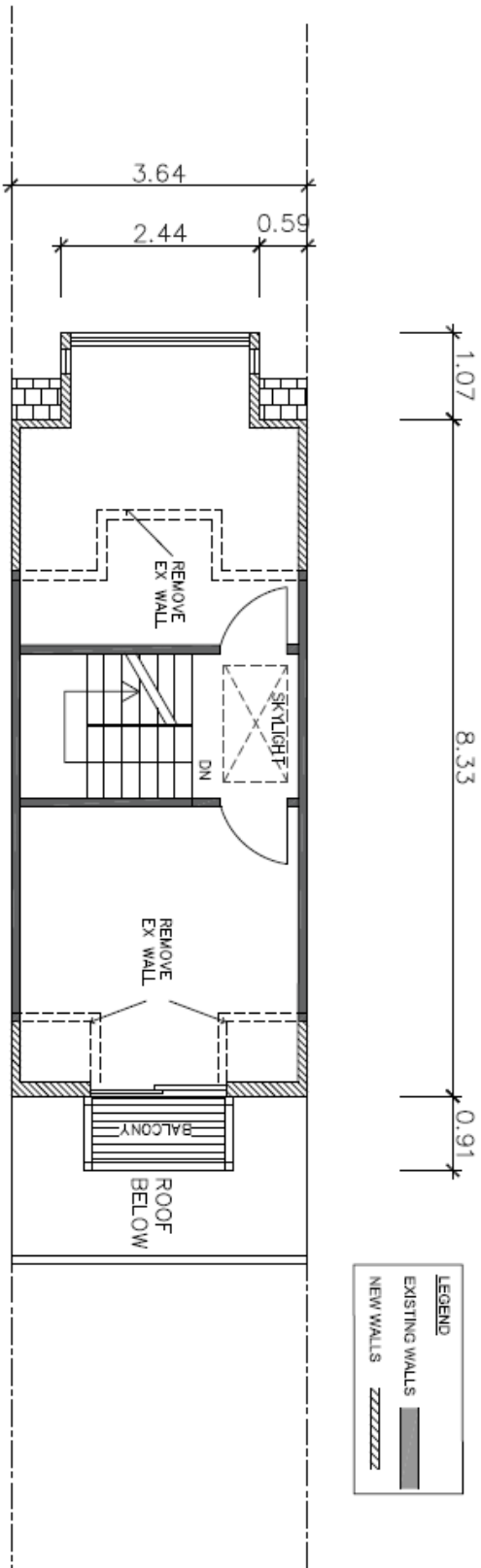


David Footman Architect
321 Manning Avenue
Toronto, Ontario
M6J 2K8
phone: (416) 460-0441
e-mail: david@footman.com

3RD-FLOOR-ADDITION
2540 SHEPPARD AVE. E.
TORONTO, ONT.
DEC-02-2016

3RD FLOOR PLAN
DRAWING SCALE 1/8"

A5.0



SIGNATURE PAGE

File Number:	A0265/17TEY	Zoning	R (d1.0)(x804) & R4 Z1.0 (ZZC)
Owner(s):	NATHALIE SATO BENJAMIN EDWARDS	Ward:	Davenport (18)
Agent:	DAVID FOOTMAN	Heritage:	Not Applicable
Property Address:	25 NORTHERN PL	Community:	Toronto
Legal Description:	PLAN 525 PT LOT 5		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

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Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

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25. 142 EMERSON AVE

File Number:	A0266/17TEY	Zoning	R (d0.6)(x740) & R2 Z0.6 (ZZC)
Owner(s):	ZARMINA MIRZA MAHVASH MIRZA	Ward:	Davenport (18)
Agent:	NADEEM IRFAN	Heritage:	Not Applicable
Property Address:	142 EMERSON AVE	Community:	Toronto
Legal Description:	PLAN M88 BLK R PT LT 18		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling and to maintain the rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index is 0.6 times the area of the lot (167.20 m²).
The new three-storey detached dwelling will have a floor space index equal to 1.23 times the area of the lot (342.57 m²).

2. Chapter 10.5.50.10.(3)(A), By-law 569-2013

A minimum of 50% (60.89 m²) of the rear yard shall be maintained as soft landscaping.
In this case, 37% (45.16 m²), of the rear yard will be maintained as soft landscaping.

1. Section 6(3) Part II 2(II), By-law 438-86

The minimum required front lot line setback is 3.67 m.
The new three-storey detached dwelling will be located 2.46 m from the east front lot line, measured from the front second-storey balcony and 2.67 m, measured from the third floor front balcony.

2. Section 6(3) Part II 3(I), By-law 438-86

A building is required to be no closer than 0.9 m from the side wall of an adjacent building that contains no openings.
The new three-storey detached dwelling will be located 0.46 m from the north adjacent building at, 144 Emerson Avenue, which contains no openings.

3. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of the dwelling exceeding a building depth of 17.0 m is 7.5 m.
The 2.44 m portion of the dwelling exceeding a building depth of 17.0 m will be located

4. Section 6(3) Part I 1, By-law 438-86

The maximum permitted residential gross floor area is 0.6 times the area of the lot (167.20 m²).
The new three-storey detached dwelling will have a residential gross floor area equal to 1.23 times the area of the lot (342.57 m²).

5. Section 6(3) Part III 1(A), By-law 438-86

A minimum of 30% (83.66 m²), of the lot shall be landscaped open space.
In this case, 29% (28.29 m²), of the lot will be maintained as landscaped open space.

MOTION

It was moved by Carl Knipfel, seconded by Lisa Valentini and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to revise the proposal and to discuss the proposal in more detail area residents. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.



City Planning Division

Committee of Adjustment
Toronto and East York District

100 Queen Street West, 1st Floor
Toronto, Ontario M5H 2N2
Tel: 416-392-7565
Fax: 416-392-0580

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0267/17TEY	Zoning	RA & Site-Specific 1412-2007 (Waiver)
Owner(s):	400 ADELAIDE RESIDENCES CORP.	Ward:	Toronto Centre-Rosedale (28)
Agent:	CYNTHIA MACDOUGALL	Heritage:	Not Applicable
Property Address:	400 ADELAIDE ST E	Community:	Toronto
Legal Description:	PLAN D39 PT BLK A		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To modify the redevelopment plan approved under Site Specific By-law 1412-2007 for a 22-storey residential building with 354 dwelling units and retail space at grade, by allowing an office (inclusive of a medical/dental office) at grade, and reducing the requirement for office use parking.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 1(c), Site Specific By-law 1412-2007

An office use, including a "medical/dental office," is not listed as a permitted non-residential use under By-law 1412-2007.

In this case, an office or a medical/dental office will be located at grade.

Section 4(5)(c), By-law 438-86

A minimum of one parking space is required to be provided for the office use.

In this case, there will be zero parking spaces provided for the office use.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0267/17TEY	Zoning	RA & Site-Specific 1412-2007 (Waiver)
Owner(s):	400 ADELAIDE RESIDENCES CORP.	Ward:	Toronto Centre-Rosedale (28)
Agent:	CYNTHIA MACDOUGALL	Heritage:	Not Applicable
Property Address:	400 ADELAIDE ST E	Community:	Toronto
Legal Description:	PLAN D39 PT BLK A		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0268/17TEY	Zoning	RD(f12.0; d0.6)(x1430) & R1 Z0.6 (WAIVER)
Owner(s):	RYAN DOERSAM	Ward:	Toronto Centre-Rosedale (27)
Agent:	BRIAN ABBEY	Heritage:	Not Applicable
Property Address:	125 GARFIELD AVE	Community:	Toronto
Legal Description:	PLAN E586 LOT 23		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one-storey rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.60.20.(3)(C), By-law 569-2013**
The minimum required side yard setback for an ancillary building or structure located in the rear yard is 0.3 m.
The rear detached garage will be located 0.12 m from the west side lot line.
- Chapter 10.5.60.60.(1), By-law 569-2013**
The permitted maximum projection of the roof eaves of an ancillary building into the minimum building setback is 0.3 m if the eaves are no closer to a lot line than 0.15 m.
The eaves of the rear detached garage will be located 0.05 m from the west side lot line.
- Section 6(3) Part II 8 A, By-law 438-86**
The maximum permitted projection of the eaves or cornices into the required setbacks is 0.45 m.
The eaves or cornices will project 0.40 m into the west side yard setback.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0268/17TEY	Zoning	RD(f12.0; d0.6)(x1430) & R1 Z0.6 (WAIVER)
Owner(s):	RYAN DOERSAM	Ward:	Toronto Centre-Rosedale (27)
Agent:	BRIAN ABBEY	Heritage:	Not Applicable
Property Address:	125 GARFIELD AVE	Community:	Toronto
Legal Description:	PLAN E586 LOT 23		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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28. 72 CRESCENT RD

File Number:	A0269/17TEY	Zoning	RD (f13.5 d0.6)(x1436) & R1 Z0.6 (Waiver)
Owner(s):	JENNIFER KUZYK	Ward:	Toronto Centre-Rosedale (27)
Agent:	VICTOR GUITBERG	Heritage:	Designated
Property Address:	72 CRESCENT RD	Community:	Toronto
Legal Description:	PLAN 84E PT LOTS 57 & 58		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter a two-storey detached dwelling by constructing a two-storey rear addition and a finished basement.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.100.1 (2) (B), , By-law 569-2013**
A driveway that is not located in or does not pass through the front yard may be a maximum of 6.0 m wide.
The driveway will be 7.87 m wide.
- 2. Chapter 10.5.50.10 (3) (A), By-law 569-2013**
A minimum of 50% of the rear yard is required to be soft landscaping (230.21 m²).
The rear yard landscaping area will be 45.66% (210.22 m²).
- 3. Chapter 10.20.40.30 (1), By-law 569-2013**
The maximum permitted building depth for a detached house is 19.0 m.
The building depth will be 23.38 m.
- 4. Chapter 10.20.40.10 (2) (A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 7.5 m.
The height of the rear exterior main wall will be 7.62 m.
- 5. Chapter 10.20.40.20 (1), By-law 569-2013**
The maximum permitted building length for a detached house is 17.0 m.
The building length will be 23.96 m.
- 1. Section 6 (3) PART IV 4 (ii) C, By-law 438-86**
The maximum permitted driveway width is 2.6 m.
The driveway width will be 7.87 m.
- 2. Section 6(3) Part II 3 B (II) 2, By-law 438-86**
The minimum required side lot line setback is 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.
The east side lot line setback will be 1.20 m.
The west side lot line setback will be 3.60 m.

MOTION

It was moved by Carl Knipfel, seconded by Alex Bednar and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide for new notice and posting of the Notice of Public Hearing sign on the property. The matter would be rescheduled to a Committee of Adjustment Toronto & East York, **Panel B**.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0270/17TEY	Zoning	RS (d0.75) & R2A (ZZC)
Owner(s):	GORDON BRUCE CHAPMAN	Ward:	Toronto-Danforth (29)
Agent:	GORDON BRUCE CHAPMAN	Heritage:	Not Applicable
Property Address:	62 WESTWOOD AVE	Community:	East York
Legal Description:	PLAN 1517 LOT 13		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a new unenclosed front porch and to legalize and maintain the existing enclosed porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.40.40.20.(1), By-law 569-2013**
The maximum permitted length for a detached or semi-detached dwelling is 17.0 m.
The altered detached dwelling will be 17.68 m.
 - 2. Chapter 10.40.40.30.(1), By-law 569-2013**
The maximum permitted building depth for a detached or semi-detached dwelling is 19.0 m.
The altered detached dwelling will have a depth of 19.67 m.
 - 3. Chapter 10.40.30.40.(1), By-law 569-2013**
The maximum permitted lot coverage is 35% of the area of the lot (107.43 m²).
The lot coverage will be equal to 36.2% of the area of the lot (111.08 m²).
 - 4. Chapter 10.40.40.70.(3), By-law 569-2013**
The minimum required side yard setback for a detached dwelling is 0.9 m
The altered detached dwelling will be located 0.486 m from the east side lot line.
-
- 1. Section 7.5.3, By-law 6752**
The minimum required front yard setback is 6 m.
The altered detached dwelling will be located 3.26 m from the front lot line.
 - 2. Section 7.5.3, By-law 6752**
The minimum required side yard setback is 0.6 m.
The altered detached dwelling will be located 0.486 m from the east side lot line.

3. Section 7.5.3, By-law 6752

The maximum permitted lot coverage of a dwelling is 35% of the lot area (107.43 m²).
The altered detached dwelling will have a coverage equal to 36.2% of the lot area (111.08 m²).

4. Section 7.5.3, By-law 6752

The maximum permitted building length is 16.75 m.
The altered detached dwelling will have a length of 17.68 m.

5. Section 5.6 (b)(iii), By-law 6752

Stairs required for access to the first storey of a permitted building may encroach into the front yard, provided the stairs are set back a minimum of 1.5 m from the front lot line.
In this case, the front stairs will be located 0.65 m from the front lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

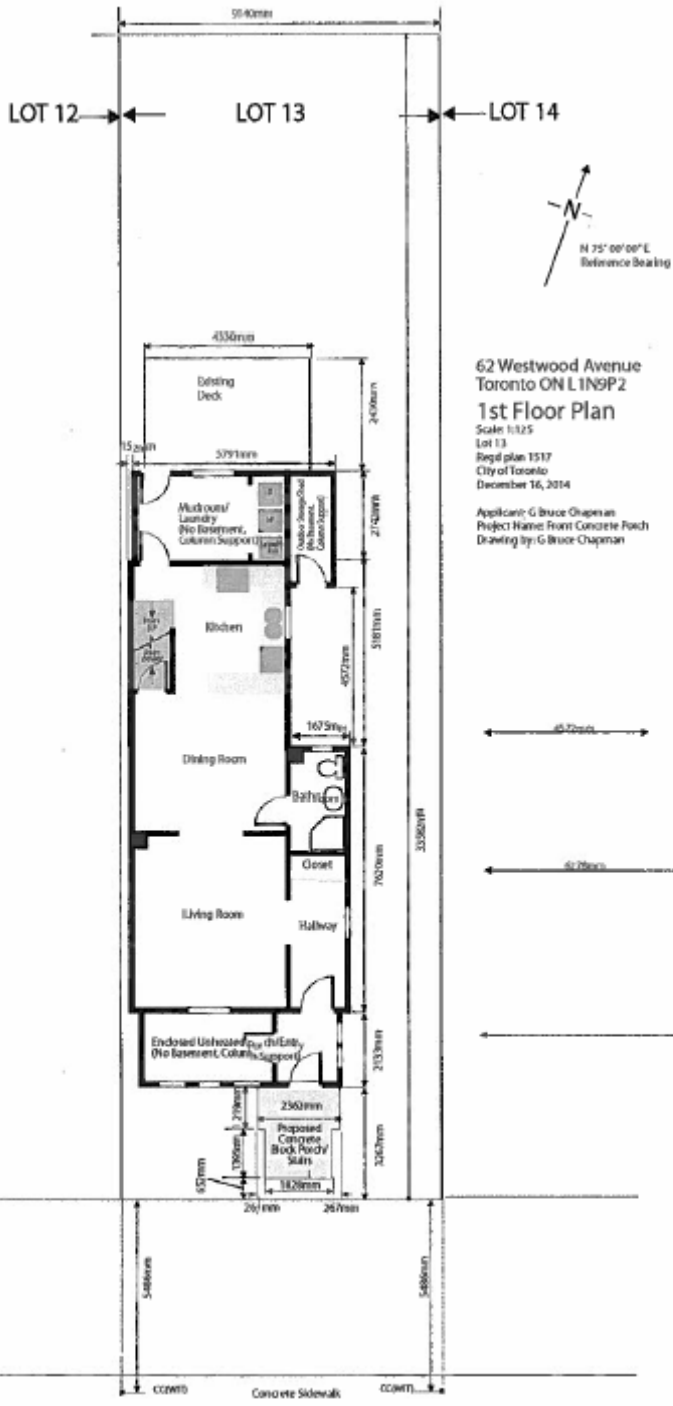
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The existing enclosed front porch shall remain one storey only. The setback from the front property line for the second floor, excluding window projections, shall be 5.4 m as shown on the first floor plans.
- (2) Excluding the existing enclosed front porch, the length of the building shall not exceed 16.75 m in length under By-law 6752 or 17.00 m under By-law 569-2013.



WESTWOOD AVENUE

SIGNATURE PAGE

File Number:	A0270/17TEY	Zoning	RS (d0.75) & R2A (ZZC)
Owner(s):	GORDON BRUCE CHAPMAN	Ward:	Toronto-Danforth (29)
Agent:	GORDON BRUCE CHAPMAN	Heritage:	Not Applicable
Property Address:	62 WESTWOOD AVE	Community:	East York
Legal Description:	PLAN 1517 LOT 13		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0271/17TEY	Zoning:	RD & R1A (ZZC)
Owner(s):	SIROUS BOZORG GRAYELI SIROUS BOZORG GRAYELI	Ward:	Beaches-East York (31)
Agent:	SAIED MAHBOUBI	Heritage:	Not Applicable
Property Address:	105 BINSWOOD AVE	Community:	East York
Legal Description:	PLAN 3284 PT LOT 91 PT LOT 92		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (129.91 m²).
The lot coverage will be equal to 36.9% of the lot area (137.06 m²).
- 2. Chapter 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted height is 7.2 m.
The new dwelling will have a height of 8.2 m.
- 3. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the area of the lot (167.02 m²).
The new dwelling will have a floor space index equal to 0.72 times the area of the lot (268.76 m²).
- 1. Section 7.2.3, By-law 6752**
The maximum permitted floor space index is 0.45 times the area of the lot (167.02 m²).
The new dwelling will have a floor space index equal to 0.70 times the area of the lot (261.04 m²).
- 2. Section 7.2.3, By-law 6752**
The minimum required front yard setback is 6.0 m.
The new dwelling will be located 3.66 m from the front lot line.
- 3. Section 7.2.3, By-law 6752**
The maximum permitted lot coverage is 35% of the lot area (129.91 m²).
The lot coverage will be equal to 36.9% of the lot area (137.06 m²).

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0271/17TEY	Zoning	RD & R1A (ZZC)
Owner(s):	SIROUS BOZORG GRAYELI SIROUS BOZORG GRAYELI	Ward:	Beaches-East York (31)
Agent:	SAIED MAHBOUBI	Heritage:	Not Applicable
Property Address:	105 BINSWOOD AVE	Community:	East York
Legal Description:	PLAN 3284 PT LOT 91 PT LOT 92		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0272/17TEY	Zoning	R (d0.1)(x803) & R4 Z1.0 (ZZC)
Owner(s):	KIMBELL INVESTMENTS INC	Ward:	Parkdale-High Park (14)
Agent:	PETER TREEN	Heritage:	Not Applicable
Property Address:	155 LANSDOWNE AVE	Community:	Toronto
Legal Description:	PLAN 444 PT LOT 21		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain three dwelling units within the existing 2½-storey semi-detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 200.5.10.1, By-law 569-2013

A minimum of one parking space is required to be provided for the third dwelling unit.
In this case, zero parking spaces will be provided.

2. Chapter 150.10.40.40.(3), By-law 569-2013

The average floor area of the dwelling units in a building containing more than two dwelling units shall not be less than 65 m².
In this case, the average floor area of the three dwelling units in the building will be 55.8 m².

1. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a semi-detached dwelling is 1.0 times the area of the lot (229.14 m²).
The altered semi-detached dwelling will have a gross floor area equal to 1.07 times the area of the lot (245.2 m²).

2. Section 6(3) Part II 3(II), By-law 438-86

The minimum required setback from the side wall of an adjacent building that contains openings is 1.2 m.
The altered semi-detached dwelling will be located 0.9 m from the side wall of the south adjacent building, 153 Lansdowne Avenue.

3. Section 6(3) Part II 3.F(I)(2), By-law 438-86

A converted house must have a minimum side lot line setback of 1.2 m where the side wall contains openings.

The altered semi-detached dwelling will be located 0.46 m from the south side lot line.

4. Section 6(3) Part II 5(I), By-law 438-86

The maximum permitted depth of a semi-detached dwelling is 14 m.

The altered semi-detached dwelling will have a depth of 20.06 m.

5. Section 6(3) 1, By-law 438-86

The minimum required average of the floor areas of the dwelling units in a building being altered, converted or used as a converted house containing more than two dwelling units is 65 m².

In this case, the average floor area of the three dwelling units in the building will be 55.8 m².

6. Section 4(4)b, By-law 438-86

A minimum of one parking space is required to be provided for on-site for the third dwelling unit.

In this case, there will be zero parking spaces provided for on-site.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0272/17TEY	Zoning	R (d0.1)(x803) & R4 Z1.0 (ZZC)
Owner(s):	KIMBELL INVESTMENTS INC	Ward:	Parkdale-High Park (14)
Agent:	PETER TREEN	Heritage:	Not Applicable
Property Address:	155 LANSDOWNE AVE	Community:	Toronto
Legal Description:	PLAN 444 PT LOT 21		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0273/17TEY	Zoning	RA (ZPR)
Owner(s):	271 FRONT INC	Ward:	Toronto Centre-Rosedale (28)
Agent:	JASSIE KHURANA	Heritage:	Not Applicable
Property Address:	43 A PARLIAMENT ST	Community:	Toronto
Legal Description:	PLAN 108 PT LOT 1 E PARLIAMENT ST PT LOT 3A S FRONT ST PT LOTS 1 TO 3 N MILL ST 66R26445 PARTS 3 AND 4		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing five-storey building by constructing accessory cooling towers with silencers and generator exhaust stacks on the roof.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 4(2)(a)(i)A, By-law 438-86

The maximum permitted height by which a stair tower, elevator shaft, chimney stack or other heating, cooling or ventilating equipment or window washing equipment on the roof, may exceed the permitted height for that building is 5.0 m.

The mechanical elements on the roof will exceed the maximum permitted height by 8.0 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

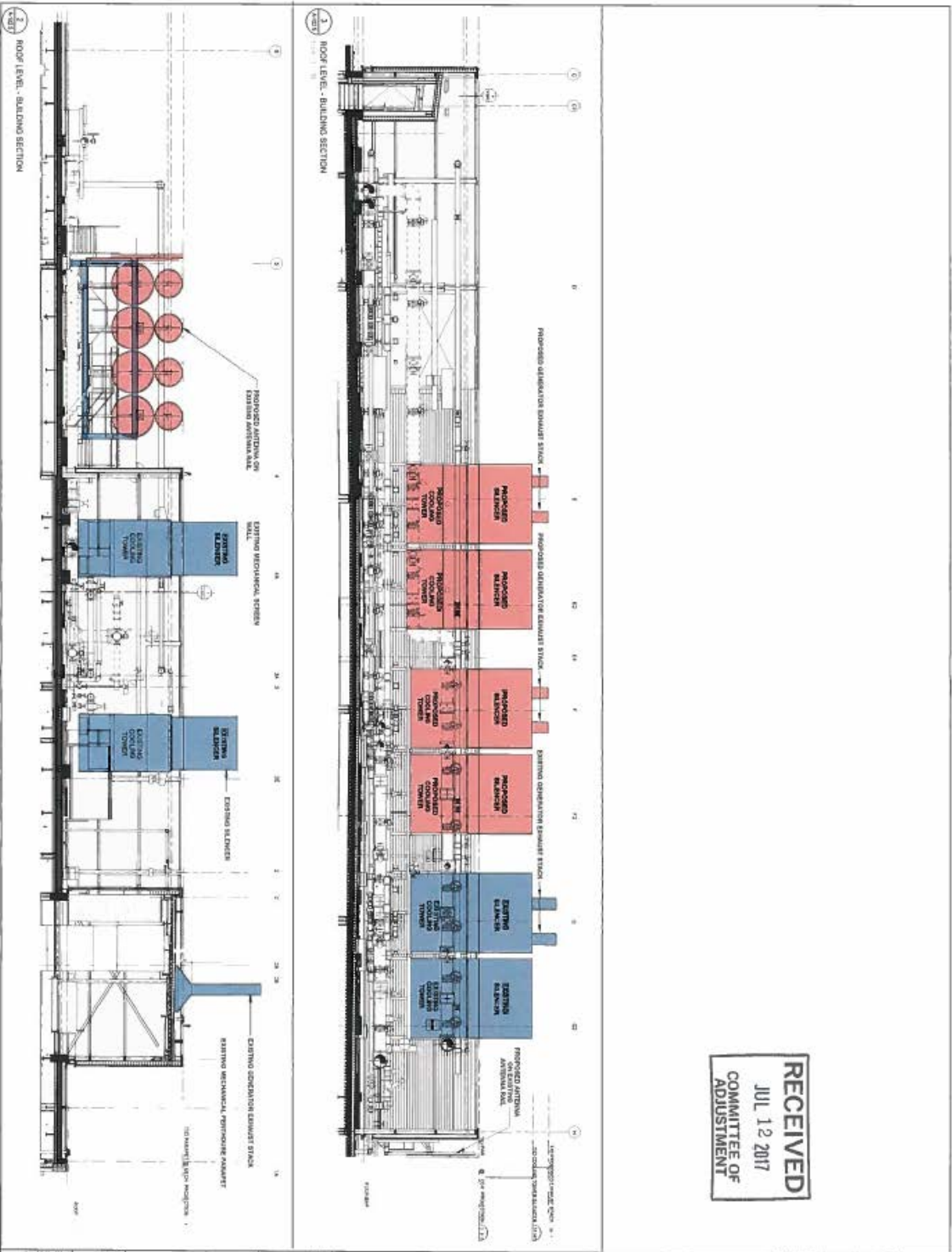
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The rooftop mechanical equipment be built substantially in accordance with the revised plan, Building Section Details Plan, A-405.1, filed at the public hearing on July 12, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.



RECEIVED
 JUL 12 2017
 COMMITTEE OF
 ADJUSTMENT

RECEIVED
 JUL 12 2017
 COMMITTEE OF
 ADJUSTMENT

<p>DATE: 07/12/2017</p> <p>PROJECT: A-405.1</p> <p>REVISION: 1</p> <p>DESCRIPTION: ROOF LEVEL - BUILDING SECTION</p>	<p>WZMH ARCHITECTS</p> <p>1000 15th St NW</p> <p>Seattle, WA 98101</p> <p>PH: 206.461.1000</p> <p>WWW.WZMHARCHITECTS.COM</p>	<p>PROJECT: A-405.1</p> <p>DATE: 07/12/2017</p> <p>REVISION: 1</p> <p>DESCRIPTION: ROOF LEVEL - BUILDING SECTION</p>
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SIGNATURE PAGE

File Number:	A0273/17TEY	Zoning	RA (ZPR)
Owner(s):	271 FRONT INC	Ward:	Toronto Centre-Rosedale (28)
Agent:	JASSIE KHURANA	Heritage:	Not Applicable
Property Address:	43 A PARLIAMENT ST	Community:	Toronto
Legal Description:	PLAN 108 PT LOT 1 E PARLIAMENT ST PT LOT 3A S FRONT ST PT LOTS 1 TO 3 N MILL ST 66R26445 PARTS 3 AND 4		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

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33. 169 ROSEDALE HEIGHTS DR

File Number:	A0274/17TEY	Zoning	RD (f12.0;d0.6)(x1430) & R1 Z0.6 (ZZC)
Owner(s):	KELSEY NG PATRICK LANG MING CHIU	Ward:	Toronto Centre-Rosedale (27)
Agent:	WILLIAM OUGHTRED	Heritage:	Not Applicable
Property Address:	169 ROSEDALE HEIGHTS DR	Community:	Toronto
Legal Description:	PLAN E 641 PT LOT 1		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2)(A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 8.5 m.
The height of the rear exterior main walls will be 10.99 m.
- 2. Chapter 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17.0 m.
The new three-storey detached dwelling will have a building length of 21.13 m.
- 3. Chapter 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19.0 m.
The new detached dwelling will have a building depth of 21.95 m.
- 4. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (442.01 m²).
The new detached dwelling will have a floor space index equal to 0.625 times the area of the lot (460.44 m²).
- 5. Chapter 10.5.40.60.(2)(A), By-law 569-2013**
A canopy, awning, or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering.
The canopies over the front and rear platform will encroach beyond the platforms they are covering.
- 6. Chapter 10.5.60.20.(10)(B), By-law 569-2013**
A heating or air conditioning device that is mounted on the ground in a side yard may be no closer to the side lot line than 0.9 m.
The air-conditioning device will be located 0.40 m from the east lot line.
- 7. Chapter 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of each platform at or above the second-storey of a detached house is 4.0 m².
The area of the third floor platform will be 10.68 m².

- 8. Chapter 10.20.40.10.(1)(A), By-law 569-2013**
The maximum permitted height of a building or structure is 11.0 m.
The new detached dwelling will have a building height of 11.02 m.
- 1. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted floor space index is 0.6 times the area of the lot (442.01 m²).
The new detached dwelling will have a floor space index equal to 0.625 times the area of the lot (460.44 m²).
- 2. Section 6(3) Part II 3B (II) 2, By-law 438-86**
The minimum required side lot line setback for the portion of the dwelling exceeding a building depth of 17.0 m is 7.5 m.
The portion of the dwelling exceeding a building depth of 17.0 m will be located 1.22 m from the west side lot line and 1.25 m from the east side lot line.
- 3. Section 6(3) Part II 8 F(III), By-law 438-86**
A roof over a platform or terrace is permitted to project a maximum of 2.5 m from the wall to which it is attached and into the required setback provided it does not extend beyond the side walls of the building as projected.
The roof extends beyond the side walls as project and is to project 3.21 m from the wall to which it is attached.
- 4. Section 6(3) Part III 4, by-law 438-86**
The maximum permitted width of a walkway located between the front lot line and any wall of the building facing the front lot line is 1.06 m.
The walkway will be 1.98 m measured wide.

MOTION

It was moved by Alex Bednar, seconded by Carl Knipfel and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to discuss the proposal in more detail area residents and the Moore Park Residents' Association. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0275/17TEY	Zoning	RD(f12.0; d0.6)(x1397) & R1 Z0.6 (ZZC)
Owner(s):	BRENDA ELLEN DIDYK GEOFFREY MERCER MARSHALL	Ward:	Toronto Centre-Rosedale (27)
Agent:	DOUGLAS LAWRENCE	Heritage:	Not Applicable
Property Address:	104 HEATH ST E	Community:	Toronto
Legal Description:	PLAN 524E PT BLK B		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition, a third storey addition, front two-storey bay window, and new front and rear porches.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted building height is 7.2 m for a detached dwelling with a flat or shallow roof. The altered detached dwelling will have a height of 9.8 m.
- 2. Chapter 10.20.40.10.(4)(C), By-law 569-2013**
The maximum permitted number of storeys for a detached dwelling with a flat or shallow roof is two.
In this case, the altered detached dwelling will be three storeys.
- 3. Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (202.08 m²).
The altered detached dwelling will have a floor space index equal to 0.76 times the area of the lot (256.27 m²).
- 4. Chapter 10.5.40.60.(3)(A)(ii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0 m.
The front stairs will be 3.4 m wide.

5. **Chapter 10.5.40.60.(7), By-law 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The roof eaves will be located 0.0 m from the east side lot line.
6. **Chapter 200.5.10.1.(1), By-law 569-2013**
A minimum of one parking space is required to be provided.
In this case, zero parking spaces will be provided.
1. **Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (202.08 m²).
The altered detached dwelling will have a gross floor area equal to 0.76 times the area of the lot (256.27 m²).
2. **Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.
The portion of the altered detached dwelling, not exceeding a depth of 17 m will be located 0.27 m from the east side lot line.
3. **Section 6(3) Part II 3(II), By-law 438-86**
The minimum required setback from the side wall of an adjacent building that contains openings is 1.2 m.
The altered detached dwelling will be located 0.56 m from the side wall of the east adjacent building.
4. **Section 4(4)(b), By-law 438-86**
A minimum of one parking space is required to be provided.
In this case, there will be zero parking spaces provided.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0275/17TEY	Zoning	RD(f12.0; d0.6)(x1397) & R1 Z0.6 (ZZC)
Owner(s):	BRENDA ELLEN DIDYK GEOFFREY MERCER MARSHALL	Ward:	Toronto Centre-Rosedale (27)
Agent:	DOUGLAS LAWRENCE	Heritage:	Not Applicable
Property Address:	104 HEATH ST E	Community:	Toronto
Legal Description:	PLAN 524E PT BLK B		

DECLARED AN INTEREST

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

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35. 717 HILLSDALE AVE E

File Number:	A0277/17TEY	Zoning	R(d0.6) &R2 Z0.6 (ZZC)
Owner(s):	TONY CORNACCHIA	Ward:	St. Paul's (22)
Agent:	SAM WU	Heritage:	Not Applicable
Property Address:	717 HILLSDALE AVE E	Community:	Toronto
Legal Description:	PLAN 866 PT LOT 233 RP 66R21737 PART 1		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To build a new three-storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.10.(2) (A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7.0 m.
The height of the front exterior main walls will be 8.76 m.
- Chapter 10.10.40.10.(2) (A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 7.0 m.
The height of the rear exterior main walls will be 8.76 m.
- Chapter 10.10.40.10.(2) (B)(i), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.0 m.
The height of the side exterior main walls facing a side lot line will be 8.16 m.
- Chapter 10.10.40.30.(1) (A), By-law 569-2013**
The maximum permitted building depth for a detached house is 17.0 m.
The building depth is 20.07 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (144.20 m²).
The floor space index is 0.81 times the area of the lot (194.76 m²).
- Chapter 10.5.50.10.(1) (D), By-law 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping (17.18 m²).
The front yard soft landscaping area will be 50% (11.4 m²).
- Chapter 200.5.1.10.(2)(A), By-law 569-2013**
The minimum required parking space must have minimum required dimensions of (i) 3.2 m in width and (ii) 5.6 m in length.
The parking space will be 2.99 m in width and 5.6 m in length.
- Section 6(3) Part I 1, By-law 438-86**
The maximum permitted residential gross floor area is 0.6 times the area of the lot (144.20 m²).
The residential gross floor area will be 0.81 times the area of the lot (194.76 m²).

2. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback is 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.

The side lot line setback will be 0.81 m on the west and east sides for the rear 1.22 m and 0.45 m on the west and east sides for the next rear 3.07 m.

3. Section 6(3) Part III 3(B), By-law 438-86

The minimum required soft front yard landscaping is 75% (17.18 m²).

The soft landscaped open space in the front yard will be 11.4 m² which is deficient by approximately 5.78 m².

4. Section 2(1), By-law 438-86

The minimum required unobstructed parking space dimension is 5.6 m in length by 3.2 m in width.

The parking space will be 5.6 m in length by 2.99 m in width.

MOTION

It was moved by Alex Bednar, seconded by Carl Knipfel and carried unanimously that the application be **deferred, for a maximum of 3 months**. The deferral would provide the applicant with an opportunity to clarify the existence of an easement, to discuss the proposal in more detail area residents and the South Eglinton Ratepayers' and Residents' Association. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel B**.



**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0278/17TEY	Zoning	R(d0.6) & R2 Z0.6 (ZZC)
Owner(s):	ERIKA RANGLESOME	Ward:	St. Paul's (21)
Agent:	MARK JOBLING	Heritage:	Not Applicable
Property Address:	74 ALCINA AVE	Community:	Toronto
Legal Description:	PLAN M54 LOT 144 PT LOT 145		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a garage at the rear of the subject property.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.60.50.(2), By-law 569-2013**
The maximum total floor area of all ancillary buildings or structures on a lot is 40.0 m².
The total floor area of all ancillary buildings will be 51.93 m².
- 2. Chapter 10.5.60.40.(2), By-law 569-2013**
The maximum permitted height of an ancillary building or structure is 4.0 m.
The height of the ancillary structure will be 4.07 m.
- 3. Chapter 10.5.50.10.(3), By-law 569-2013**
The minimum required rear yard soft landscaping is 50% (71.39 m²).
The rear yard soft landscaping area will be 13% (18.65 m²).
- 1. Section 4(2)(d), By-law 438-86**
The maximum permitted height of an accessory building or structure is 4.0 m.
The height of the accessory building will be 4.38 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0278/17TEY	Zoning	R(d0.6) & R2 Z0.6 (ZZC)
Owner(s):	ERIKA RANDELSOME	Ward:	St. Paul's (21)
Agent:	MARK JOBLING	Heritage:	Not Applicable
Property Address:	74 ALCINA AVE	Community:	Toronto
Legal Description:	PLAN M54 LOT 144 PT LOT 145		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0279/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	ALTHEA PRESCOD	Ward:	Toronto-Danforth (30)
Agent:	MELANA JANZEN	Heritage:	Not Applicable
Property Address:	85 ALTON AVE	Community:	Toronto
Legal Description:	PLAN 381M PT LOTS 38 & 39		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition, a complete third storey addition, a rear ground floor deck, and a basement secondary suite.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7.5 m.
The height of the front exterior main walls will be 8.71 m.
- 2. Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 7.5 m.
The height of the rear exterior main walls will be 8.54 m.
- 3. Chapter 10.10.40.10.(2)(B)(i), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The height of the side exterior main walls facing a side lot line will be 8.71 m.
- 4. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a semi-detached dwelling is 0.6 times the area of the lot (87 m²).
The altered semi-detached dwelling will have a floor space index equal to 1.14 times the area of the lot (165.15 m²).
- 5. Chapter 150.10.40.1.(3)(A), By-law 569-2013**
A secondary suite is a permitted use provided that an exterior alteration to a building to accommodate a secondary suite does not alter a main wall or roof that faces a street.
The addition to the building will alter a main wall that faces the street.

1. Section 6(2), 1(iii)A, By-law 438-86

The maximum permitted floor space of an addition to a converted house is 0.15 times the area of the lot (21.75 m²).

The additions will have an area equal to 0.6 times the area of the lot (87.51 m²).

2. Section 6(2) 1(v), By-law 438-86

A converted dwelling is permitted provided that there is no substantial change in the appearance of the dwelling as the result of the conversion.

In this case, substantial change will occur in the appearance of the dwelling.

3. Section 6(3) Part I 1, By-law 438-86

The maximum permitted gross floor area of a semi-detached dwelling is 0.6 times the area of the lot (87 m²).

The altered semi-detached dwelling will have a gross floor area equal to 1.14 times the area of the lot (165.15 m²).

4. Section 6(3) Part II 3.C(I), By-law 438-86

The minimum required side lot line setback of a semi-detached dwelling is 0.45 m where the side wall contains no openings.

The altered semi-detached dwelling will be located 0.37 m from the south side lot line and 0 m from the north side lot line.

5. Section 6(3) Part II 3(I), By-law 438-86

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.

The altered semi-detached dwelling will be located 0.74 m from the side wall of the south adjacent building and 0 m from the north adjacent dwelling.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

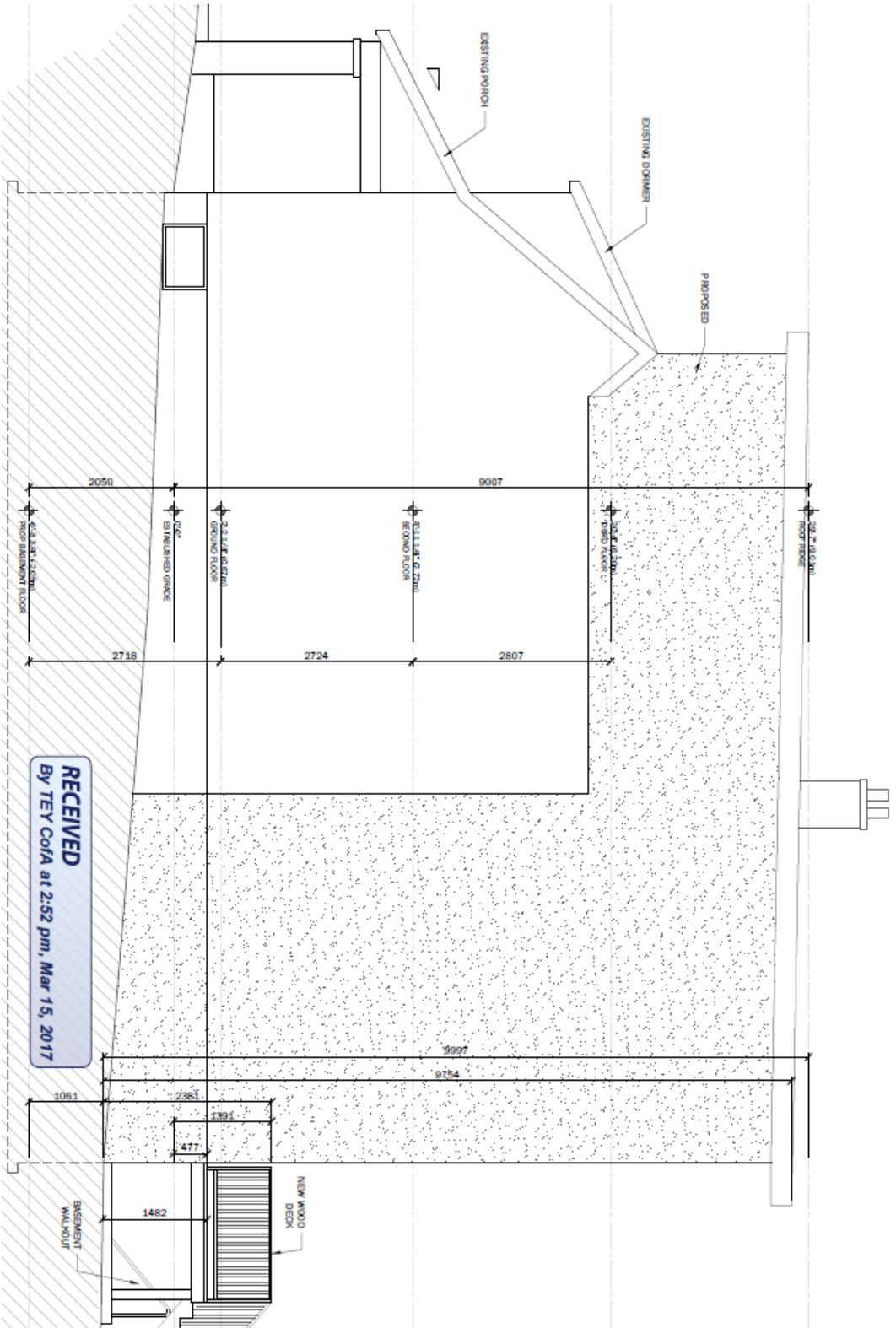
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The alterations shall be constructed substantially in accordance with the plan A2.2 received by the Committee of Adjustment on March 15, 2017 Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.



M2J | architecture
 405 SHEPPARD AV. E. SUITE 101
 SCARBOROUGH, ONTARIO M1S 1T6

NO.	DESCRIPTION
1	FOUNDATION
2	CONCRETE
3	BRICK
4	WOOD
5	GLASS
6	STEEL
7	ASBESTOS
8	LEAD
9	MOULD
10	ROOFING
11	MECHANICAL
12	ELECTRICAL
13	PLUMBING
14	PAINT
15	LANDSCAPE
16	OTHER

ALTON RESIDENCE
 81 Alton Avenue
 Toronto, Ontario

A2.2

PROPOSED
 SIDE ELEVATION
 (SOUTH)

DATE: 02/08/2017
 DRAWN: LSP

SIGNATURE PAGE

File Number:	A0279/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	ALTHEA PRESCOD	Ward:	Toronto-Danforth (30)
Agent:	MELANA JANZEN	Heritage:	Not Applicable
Property Address:	85 ALTON AVE	Community:	Toronto
Legal Description:	PLAN 381M PT LOTS 38 & 39		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0280/17TEY	Zoning	R (d0.6) & R2 Z0.6 (BLD)
Owner(s):	PALM 593 LTD	Ward:	Trinity-Spadina (20)
Agent:	MICHAEL CHILELLI	Heritage:	Not Applicable
Property Address:	593 PALMERSTON AVE	Community:	Toronto
Legal Description:	PLAN 219 PT LOT 125		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey detached dwelling by rebuilding the front porch, rebuilding the rear deck and to enlarge the third floor dormers.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.10.(2), By-law 569-2013

The maximum permitted height of all front exterior main walls is 7.5 m.

The height of the front exterior main walls will be 9.1 m.

The maximum permitted height of all rear exterior main walls is 7.5 m.

The height of the rear exterior main walls will be 9.1 m.

2. Chapter 10.10.40.40.(1), By-law 569-2013

The maximum permitted floor space index is 0.6 times the area of the lot (108.69 m²).

The altered dwelling will have a floor space index equal to 1.14 times the area of the lot (207.07 m²).

1. Section 6(3) Part I(1), By-law 438-86

The maximum permitted residential gross floor area is 0.6 times the area of the lot (108.69 m²).

The altered dwelling will have a residential gross floor area equal to 1.14 times the area of the lot (207.07 m²).

2. Section 6(3) Part II 3.A(II), By-law 438-86

A building is required a minimum setback of 6.0 m from a flanking street.

The altered dwelling will be located 0.35 m from the flanking street.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

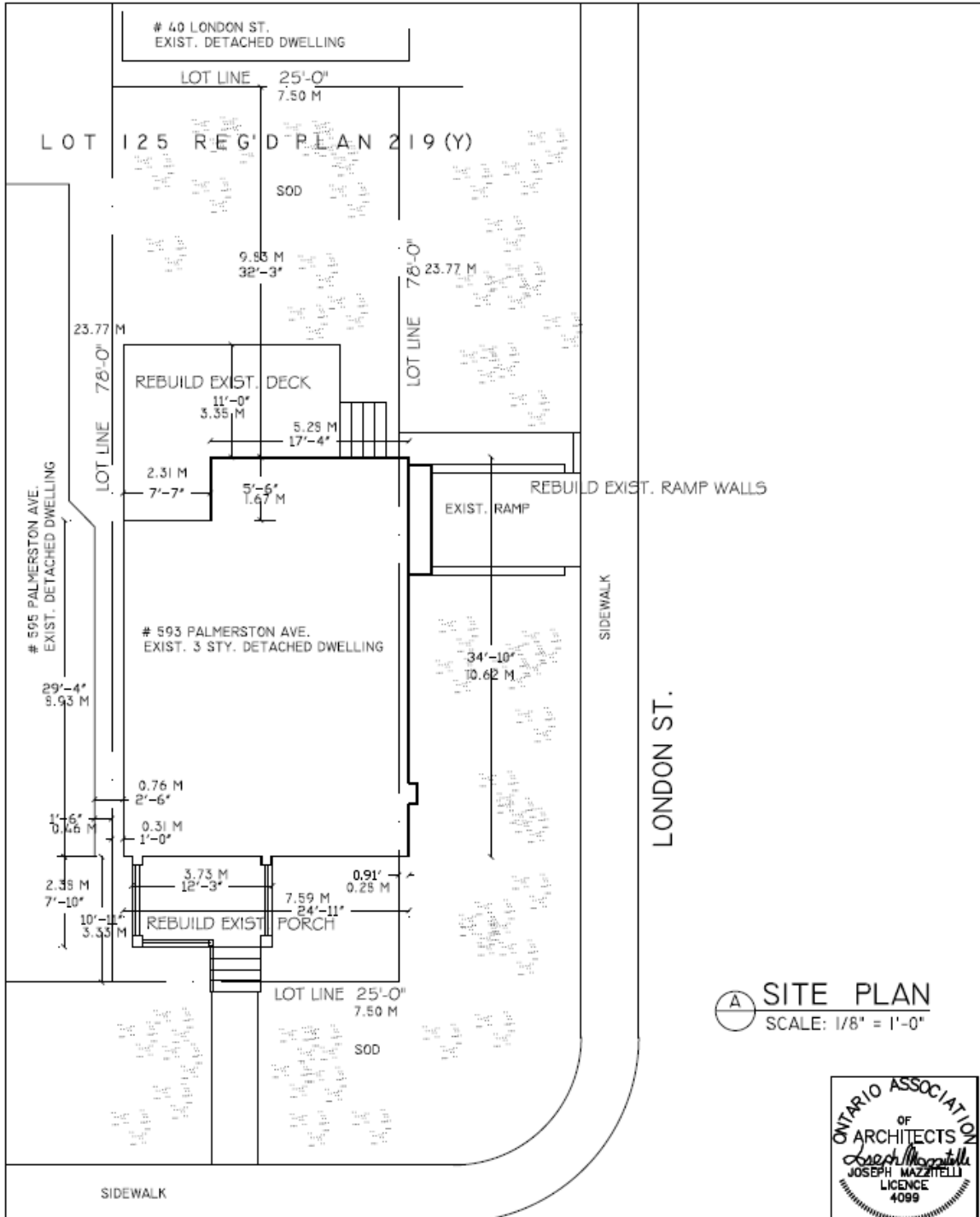
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The proposed front and rear exterior main wall height of 9.1 m, apply only to the front and rear dormers, in accordance with the front and rear elevation plans dated February 7, 2017.
- (3) The altered building be revised substantially in accordance with the site plan and floor plans dated September 11, 2016, and the front, rear, north and south elevations dated February 7, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.



A SITE PLAN
SCALE: 1/8" = 1'-0"



PALMERSTON AVE.	
ZONING	R (0.6) HEIGHT MAX. 10 M
GROUND FL. GFA	= 826 SF 76.74 SM
SECOND FL. GFA	= 833 SF 77.38 SM
THIRD FL. EXIST. GFA	= 460 SF 42.73 SM
PROP. THIRD FL. ADD. GFA	= 110 SF 10.22 SM = 0.06 X COV.
PROP. THIRD FL. GFA	= 570 SF 52.95 SM
TOTAL EXIST. GFA	= 2,039 SF 189.42 SM = 1.05 X COV.
TOTAL PROP. GFA	= 2,229 SF 207.07 SM = 1.11 X COV.
LOT AREA	= 1,950 SF 181.15 SM

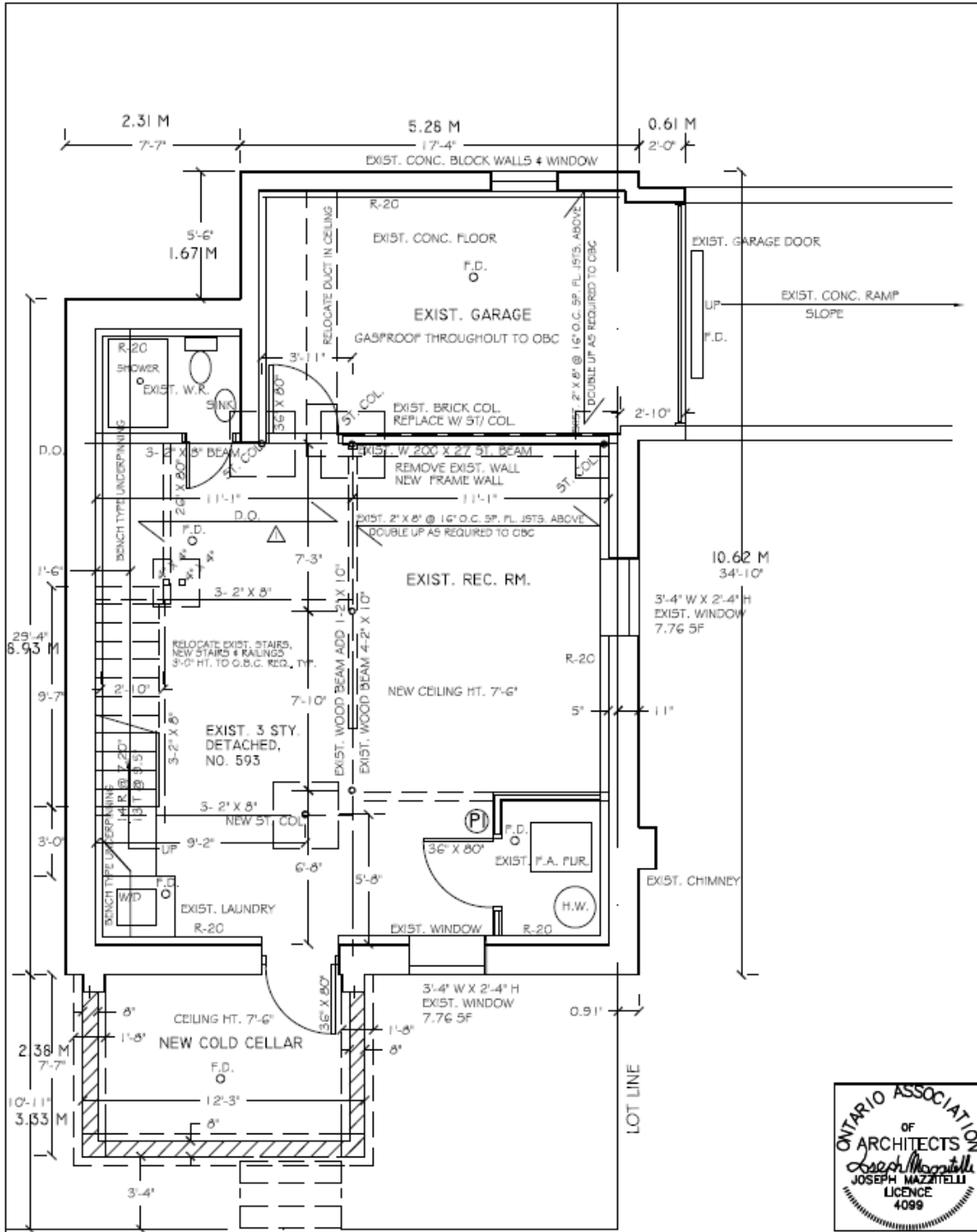


RENOVATIONS DWELLING
593 PALMERSTON AVE.
TORONTO, ONT.
SITE PLAN



608 ORIOLE PARKWAY
TORONTO, ONT.
M4R 2C3
TEL. 416 520-0552
FAX 416 545-1421

AI
DATE: SEP. 11/16 SCALE: 1/4" = 1'-0"



A BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"



RENOVATIONS
DWELLING

593 PALMERSTON AVE.
TORONTO, ONT.

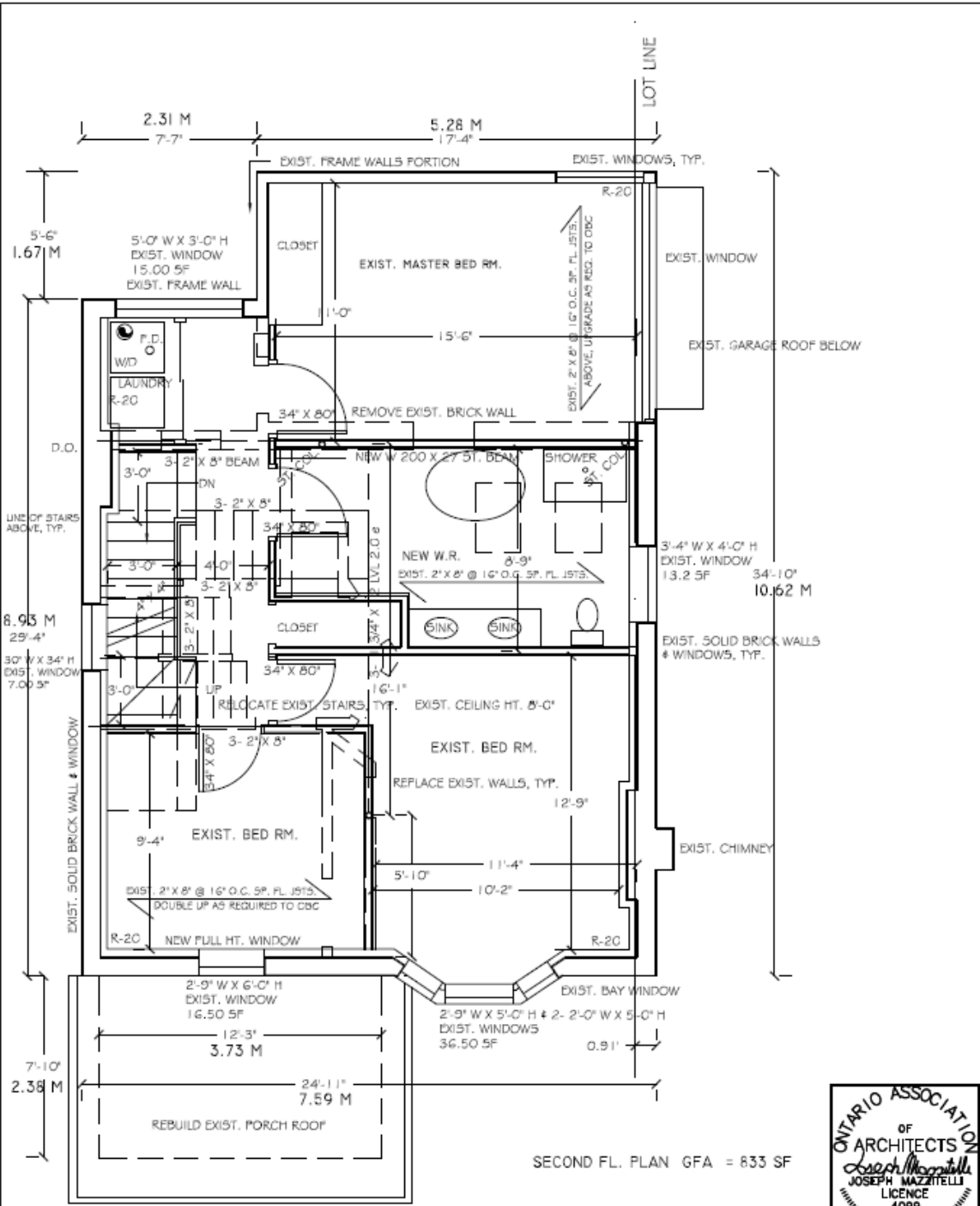
BASEMENT FL. PLAN



A 2

DATE: SEP. 11/16 SCALE: 1/4"=1'-0"

608 ORIOLE PARKWAY
TORONTO, ONT.
M4R 2C3
TEL. 416 520-0552
FAX 416 545-1421



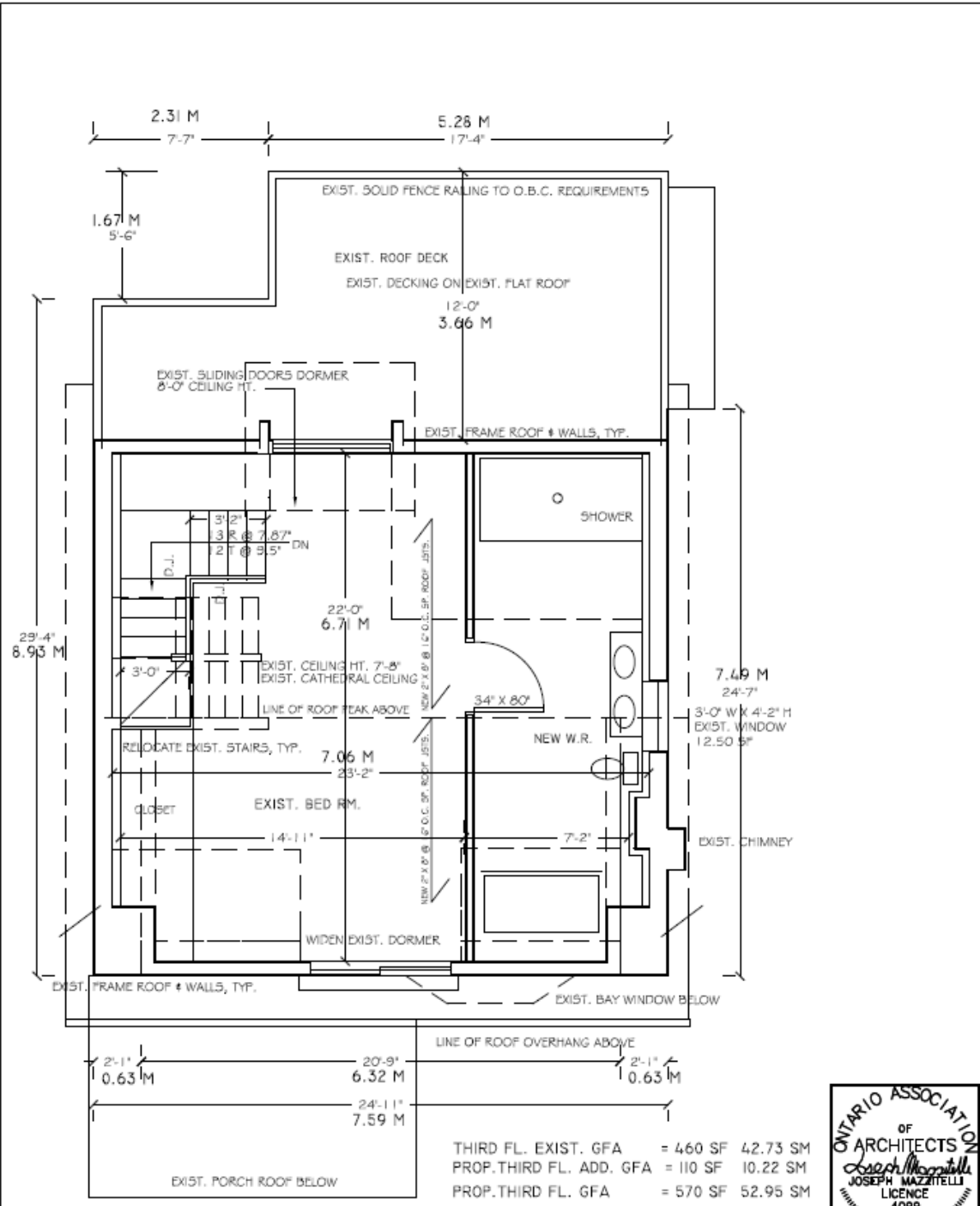
A SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

SECOND FL. PLAN GFA = 833 SF



RENOVATIONS DWELLING
593 PALMERSTON AVE.
TORONTO, ONT.
SECOND FL. PLAN
A 4
DATE: SEP. 11/16 SCALE: 1/4"=1'-0"

META FORM ARCHITECTS INC.
608 ORIOLE PARKWAY
TORONTO, ONT.
M4R 2C3
TEL. 416 520-0552
FAX 416 545-1421



A THIRD FLOOR PLAN
 SCALE: 1/4"=1'-0"



RENOVATIONS
 DWELLING

593 PALMERSTON AVE.
 TORONTO, ONT.

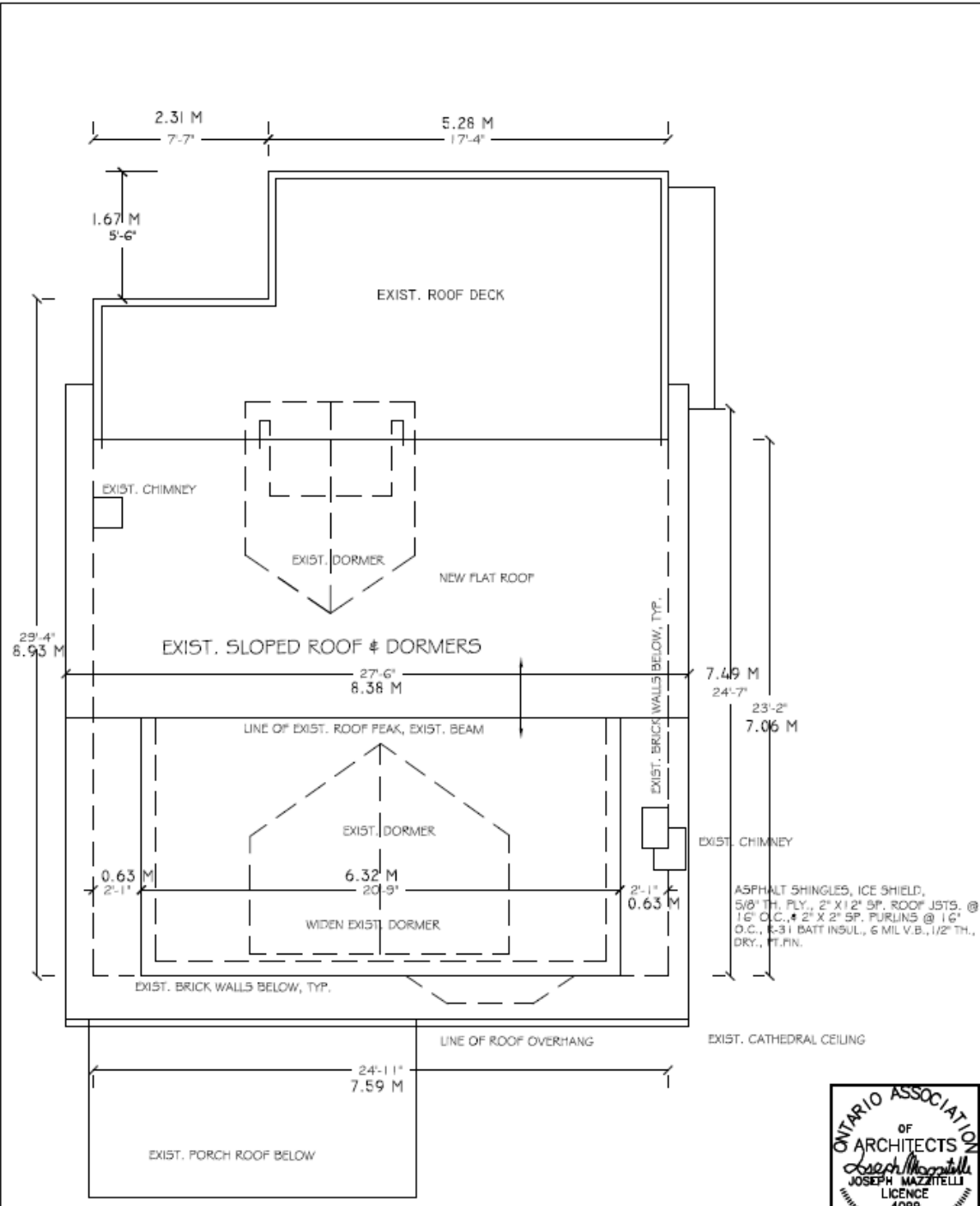
THIRD FL. PLAN



A 5

DATE: SEP. 11/16 SCALE: 1/4"=1'-0"

608 ORIOLE PARKWAY
 TORONTO, ONT.
 M4R 2C3
 TEL. 416 520-0552
 FAX 416 545-1421



A ROOF PLAN
SCALE: 1/4"=1'-0"



RENOVATIONS
DWELLING

593 PALMERSTON AVE.
TORONTO, ONT.

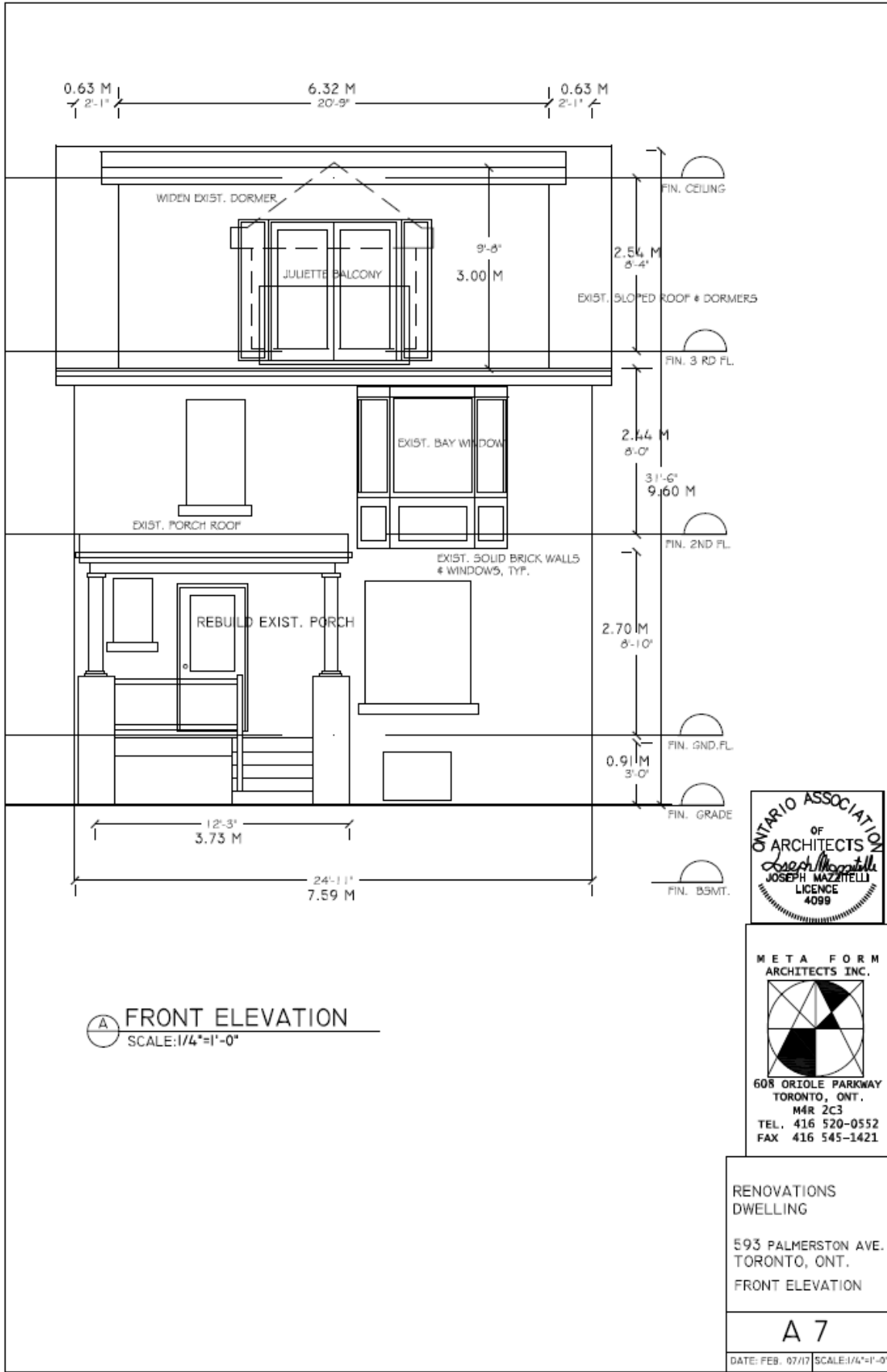
ROOF PLAN



A 6

DATE: SEP. 11/16

608 ORIOLE PARKWAY
TORONTO, ONT.
M4R 2C3
TEL. 416 520-0552
FAX 416 545-1421



Ⓐ FRONT ELEVATION
SCALE: 1/4"=1'-0"

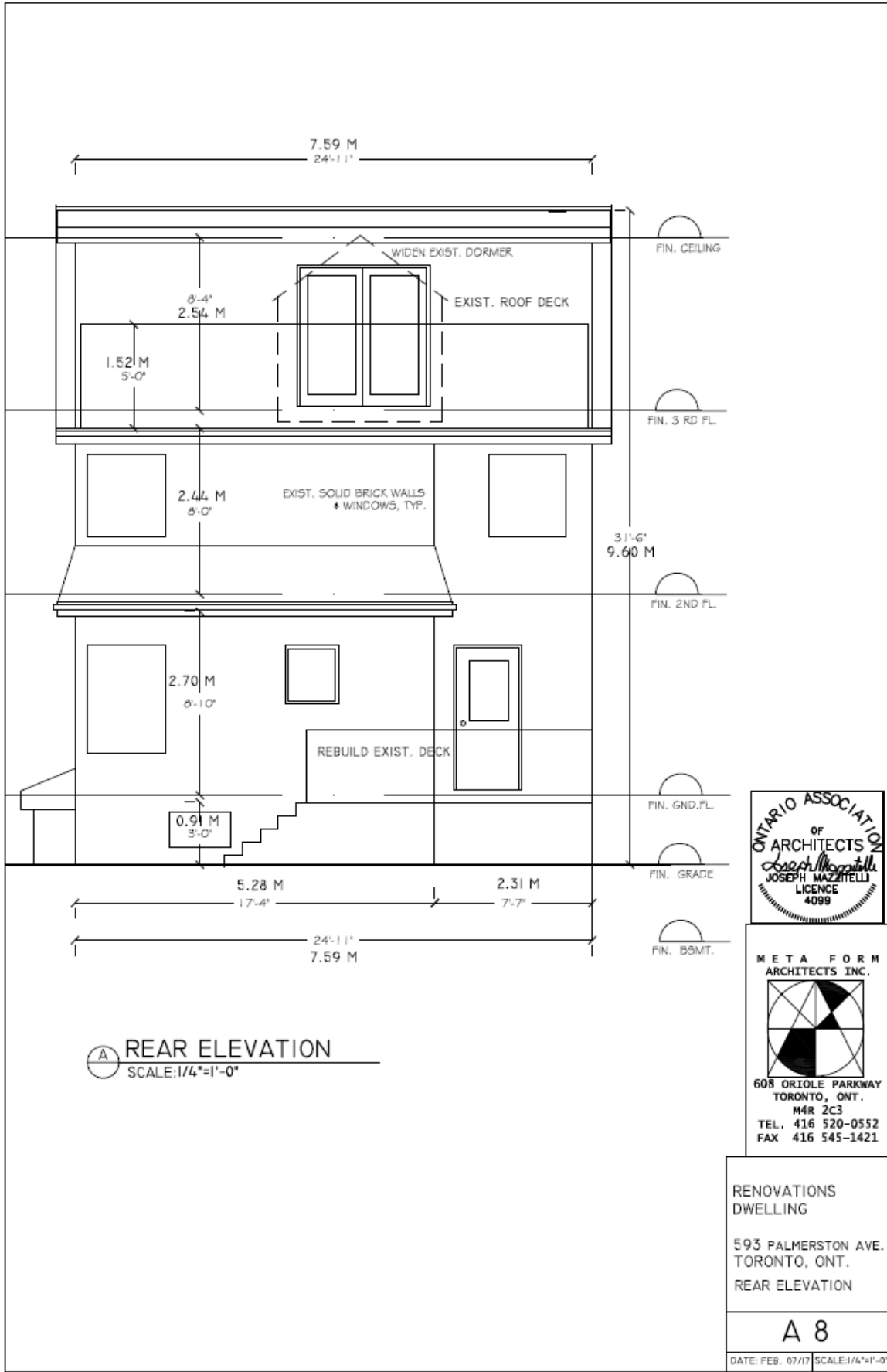
ONTARIO ASSOCIATION
OF
ARCHITECTS
Joseph Mazzitelli
JOSEPH MAZZITELLI
LICENCE
4099

META FORM
ARCHITECTS INC.

608 ORIOLE PARKWAY
TORONTO, ONT.
M4R 2C3
TEL. 416 520-0552
FAX 416 545-1421

RENOVATIONS
DWELLING
593 PALMERSTON AVE.
TORONTO, ONT.
FRONT ELEVATION

Ⓐ 7
DATE: FEB. 07/17 SCALE: 1/4"=1'-0"



META FORM ARCHITECTS INC.

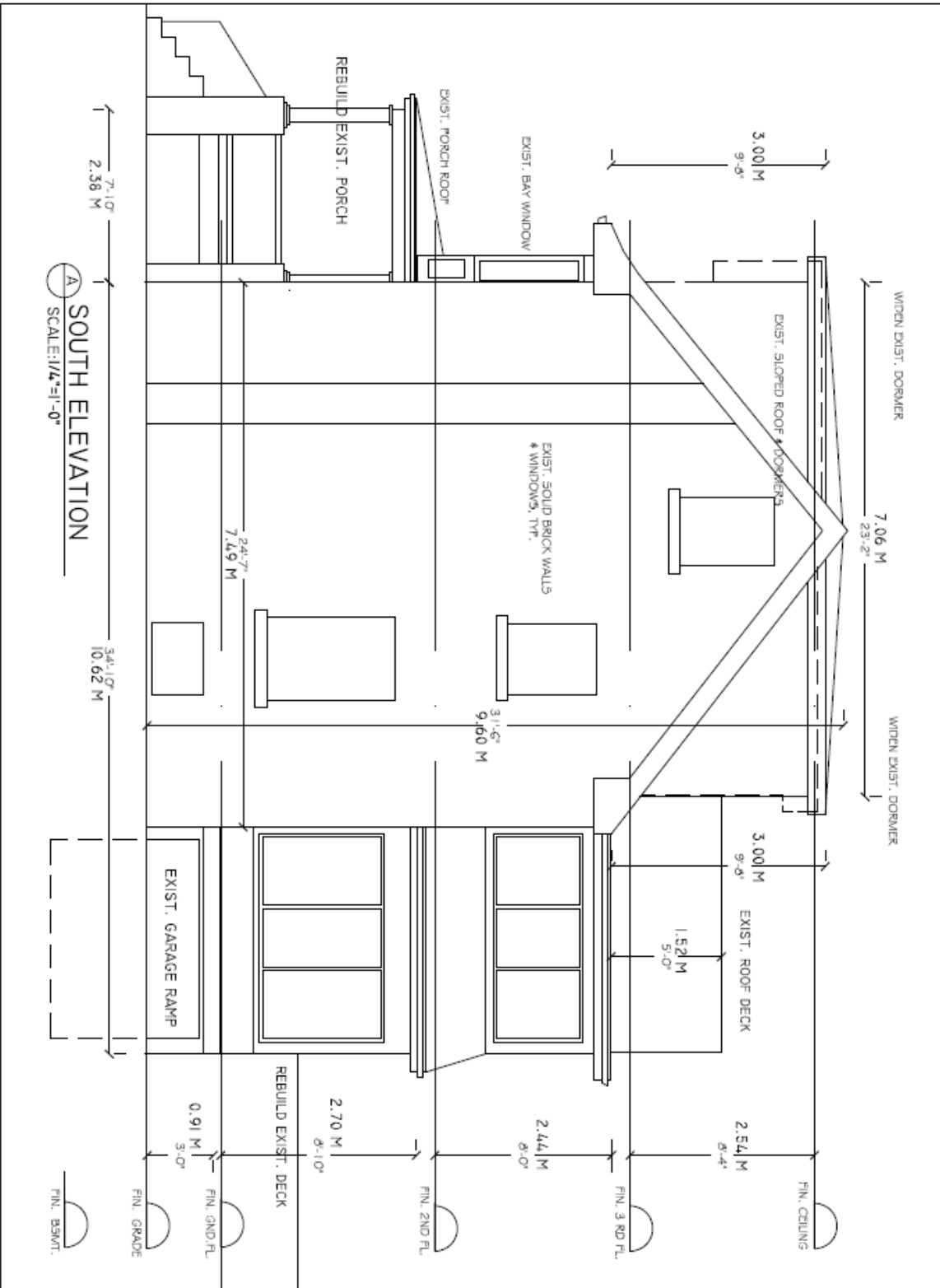
608 ORIOLE PARKWAY
TORONTO, ONT.
M4R 2C3
TEL. 416 520-0552
FAX 416 545-1421

RENOVATIONS DWELLING

593 PALMERSTON AVE.
TORONTO, ONT.
REAR ELEVATION

A 8

DATE: FEB. 07/17 SCALE: 1/4"=1'-0"

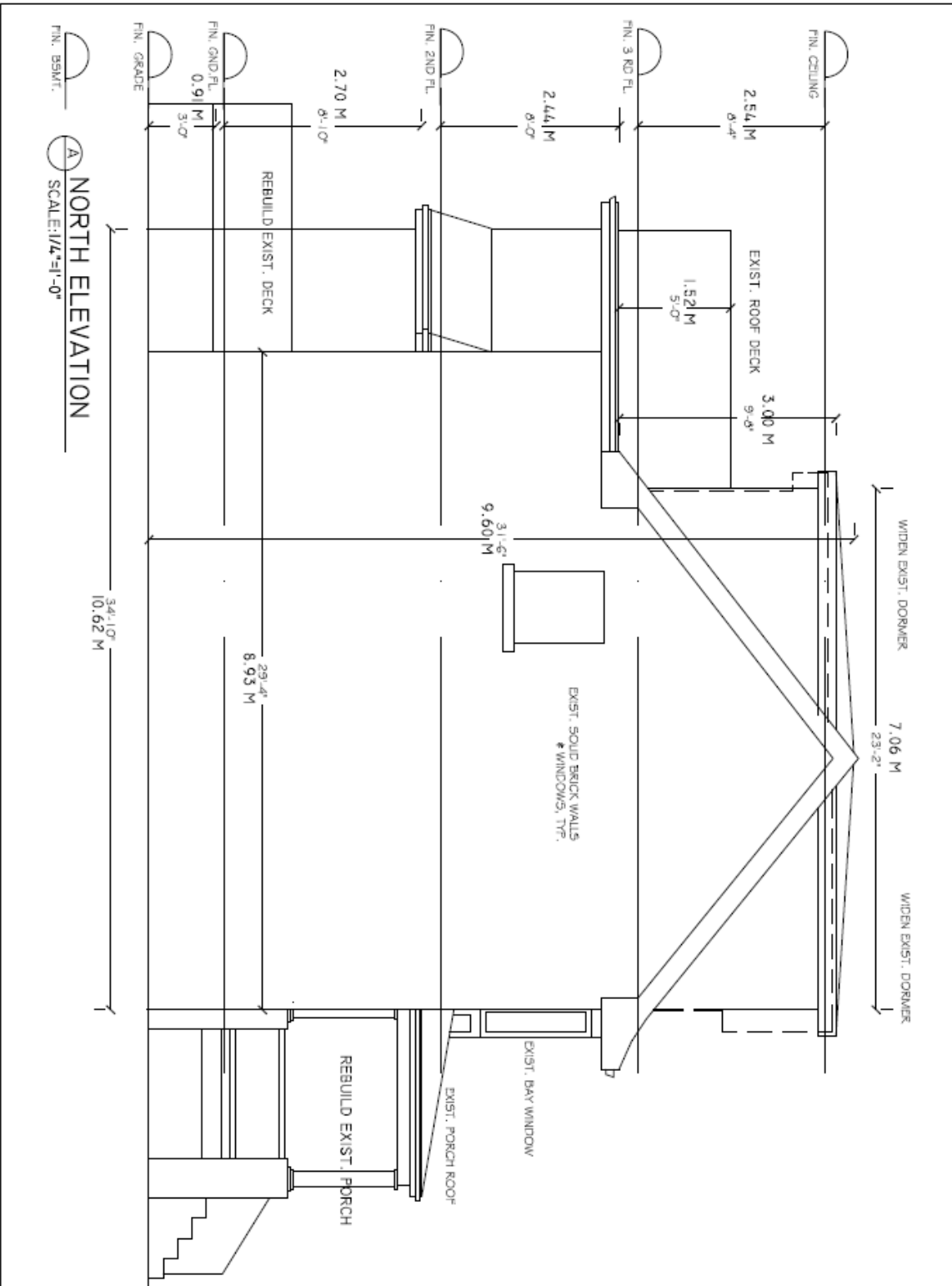


M E T A F O R M
ARCHITECTS INC.
608 ORTILE PARKWAY
TORONTO, ONT.
M4R 2E3
TEL. 416 520-0552
FAX 416 545-1421

RENOVATIONS
DWELLING
593 PALMERSTON AVE.
TORONTO, ONT.
SOUTH ELEVATION

A 9

DATE: FEB. 07/07 SCALE: 1/4" = 1'-0"



<p>ONTARIO ASSOCIATION OF ARCHITECTS <i>Joseph Mazzarella</i> JOSEPH MAZZARELLA LICENCE 4099</p>	<p>M.E.T.A.F.O.R.M. ARCHITECTS INC. 608 ORTLE PARKWAY TORONTO, ONT. M4R 2C3 TEL. 416 520-0552 FAX 416 545-1421</p>	<p>RENOVATIONS DWELLING 593 PALKERSTON AVE. TORONTO, ONT. NORTH ELEVATION</p> <p>A 10</p> <p>DATE: FEB. 07/07 SCALE: 1/4"=1'-0"</p>
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SIGNATURE PAGE

File Number:	A0280/17TEY	Zoning	R (d0.6) & R2 Z0.6 (BLD)
Owner(s):	PALM 593 LTD	Ward:	Trinity-Spadina (20)
Agent:	MICHAEL CHILELLI	Heritage:	Not Applicable
Property Address:	593 PALMERSTON AVE	Community:	Toronto
Legal Description:	PLAN 219 PT LOT 125		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0281/17TEY	Zoning	RD (f15.0; d0.6) (x961) & R1 Z0.6 (ZZC)
Owner(s):	NESARUDDIN MOHAMMED OLI ULLAH	Ward:	St. Paul's (21)
Agent:	ERIK CALHOUN	Heritage:	Not Applicable
Property Address:	7 FOREST RIDGE DR	Community:	Toronto
Legal Description:	PLAN 1769 LOT 41 PT LOT 40 PT LOT 42		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing one-storey detached dwelling by constructing: a second-storey addition, a front covered porch, a rear ground floor deck, a rear basement walkout and an east side one-storey addition and deck to the rear of the existing attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length for a detached dwelling is 17.0 m.
The altered dwelling will have a building length of 17.61 m.
- Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.60 times the area of the lot (337.24 m²).
The altered dwelling will have a floor space index equal to 0.84 times the area of the lot (472.49 m²).
- Chapter 10.20.40.70.(3)(D), By-law 569-2013**
The minimum required side yard setback is 1.5 m.
The altered dwelling will be located 0.79 m from the east side lot line, and 1.09 m from the west side lot line.
- Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area of a detached dwelling is 0.60 times the area of the lot (337.24 m²).
The altered dwelling will have a gross floor area equal to 0.69 times the area of the lot (386.88 m²).

2. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.

The portion of the altered dwelling, not exceeding a depth of 17 m will be located 0.79 m from the east side lot line.

3. Section 6(3) Part II 3.B(II), By-law 438-86

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.

The portion of the altered dwelling, exceeding the 17.0 m depth, will be located 0.79 m from the east side lot line, and 1.09 m from the west side lot line.

4. Section 6(3) Part III 3(d)(i)D, By-law 438-86

A minimum of 75% (76.02 m²) of the front yard must be maintained as soft landscaping.

In this case, 60% (60.81 m²) of the front yard will be maintained as soft landscaping.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees.
- (2) Tree Protection, retention and replacement shall be undertaken to the satisfaction of Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A0281/17TEY	Zoning	RD (f15.0; d0.6) (x961) & R1 Z0.6 (ZZC)
Owner(s):	NESARUDDIN MOHAMMED OLI ULLAH	Ward:	St. Paul's (21)
Agent:	ERIK CALHOUN	Heritage:	Not Applicable
Property Address:	7 FOREST RIDGE DR	Community:	Toronto
Legal Description:	PLAN 1769 LOT 41 PT LOT 40 PT LOT 42		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0282/17TEY	Zoning	R (u2; d0.6) (x5) & R1S Z0.6 (ZZC)
Owner(s):	MARK DAVID GRIFFITHS	Ward:	St. Paul's (22)
Agent:	VANESSA FONG	Heritage:	Not Applicable
Property Address:	256 COTTINGHAM ST	Community:	Toronto
Legal Description:	PLAN M18 PT LOT 135 PT LOT 136		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing 2½-storey semi-detached dwelling by constructing a rear one-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.40.(2)(A), By-law 569-2013

Additions to the rear of a semi-detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (127.28 m²).

The altered semi-detached dwelling will have a floor space index equal to 1.07 times the area of the lot (198.14 m²).

2. Chapter 10.10.40.30.(1)(A), By-law 569-2013

The maximum permitted depth of a semi-detached dwelling is 17.0 m.

The altered semi-detached dwelling will have a depth of 18.08 m.

1. Section 6(3) Part VI 1(I), By-law 438-86

Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (127.28 m²).

The altered semi-detached dwelling will have a gross floor area equal to 1.07 times the area of the lot (198.14 m²).

2. Section 6(3) Part II 5(II), By-law 438-86

The maximum permitted depth of a semi-detached dwelling is 17.0 m.

The altered semi-detached dwelling will have a depth of 18.08 m.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0282/17TEY	Zoning	R (u2; d0.6) (x5) & R1S Z0.6 (ZZC)
Owner(s):	MARK DAVID GRIFFITHS	Ward:	St. Paul's (22)
Agent:	VANESSA FONG	Heritage:	Not Applicable
Property Address:	256 COTTINGHAM ST	Community:	Toronto
Legal Description:	PLAN M18 PT LOT 135 PT LOT 136		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0030/17TEY	Zoning	R (f7.5;d0.6) & R2 Z0.6 (ZZC)
Owner(s):	PARVIZ BOZORGMANESH	Ward:	Beaches-East York (32)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	7 MAUGHAN CRES	Community:	Toronto
Legal Description:	PLAN 481E LOT 30 PT LOTS 29 & 31		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain a consent to sever the property into two residential lots.

Conveyed – Part 2, Draft R-Plan

Address to be assigned

The lot frontage is 7.63 m and the lot area is 227.24 m².

A new three-storey detached dwelling with an integral garage will be constructed and requires variances to the Zoning By-law as outlined in application A0437/17TEY.

Retained – Part 1, Draft R-Plan

Address to be assigned

The lot frontage is 7.63 m and the lot area is 231.37 m².

A new three-storey detached dwelling with an integral garage will be constructed and requires variances to the Zoning By-law as outlined in application A0438/17TEY.

File Numbers B0030/17TEY, A0437/17TEY, A0438/17TEY are considered jointly.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.

SIGNATURE PAGE

File Number:	B0030/17TEY	Zoning	R (f7.5;d0.6) & R2 Z0.6 (ZZC)
Owner(s):	PARVIZ BOZORGMANESH	Ward:	Beaches-East York (32)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	7 MAUGHAN CRES 7	Community:	Toronto
	MAUGHAN CRES		
Legal Description:	PLAN 481E LOT 30 PT LOTS 29 & 31		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 8, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0437/17TEY	Zoning	R (f7.5;d0.6) & R2 Z0.6 (ZZC)
Owner(s):	PARVIZ BOZORGMANESH	Ward:	Beaches-East York (32)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	7 MAUGHAN CRES (PART 2)	Community:	Toronto
Legal Description:	PLAN 481E LOT 30 PT LOTS 29 & 31		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral garage as described in Consent Application B0030/17TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7.5 m.
In this case, the height of the front exterior main wall of the new dwelling will be 9.11 m.
- 2. Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 7.5 m.
In this case, the height of rear exterior main wall of the new dwelling will be 9.11 m.
- 3. Chapter 10.10.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor of a dwelling above established grade is 1.2 m and a minimum of 10 m² of the first floor must be within 4.0 m of the front main wall.
In this case, the first floor of the new dwelling will be located 1.2 m above established grade and 2.5 m² of the first floor will be within 4.0 m of the front main wall.
- 4. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (136.34 m²).
The new three-storey detached dwelling will have a floor space index equal to 0.86 times the area of the lot (195.22 m²).
- 1. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area is 0.6 times the area of the lot (136.34 m²).
The new dwelling will have a residential gross floor area equal to 0.86 times the area of the lot (195.22 m²).

2. Section 6(3) Part II 2 (II), By-law 438-86

The minimum required front yard setback of a building on an inside lot is 3.0 m.

The new dwelling will be located 2.79 m from the front lot line, measured to the front projection.

3. Section 6(3) Part II 8 D (I), By-law 438-86

The maximum permitted height of an uncovered platform which projects into the required setbacks is 1.2 m above grade.

The rear deck will have a height of 2.4 m above grade.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0437/17TEY	Zoning	R (f7.5;d0.6) & R2 Z0.6 (ZZC)
Owner(s):	PARVIZ BOZORGMANESH	Ward:	Beaches-East York (32)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	7 MAUGHAN CRES (PART 2)	Community:	Toronto
Legal Description:	PLAN 481E LOT 30 PT LOTS 29 & 31		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0438/17TEY	Zoning	R (f7.5;d0.6) & R2 Z0.6 (ZZC)
Owner(s):	PARVIZ BOZORGMANESH	Ward:	Beaches-East York (32)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	7 MAUGHAN CRES (PART 1)	Community:	Toronto
Legal Description:	PLAN 481E LOT 30 PT LOTS 29 & 31		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey detached dwelling with an integral garage as described in Consent Application B0030/17TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7.5 m.
In this case, the height of the front exterior main wall of the new dwelling will be 9.11 m.
- 2. Chapter 10.10.40.10.(2)(A)(ii), By-law 569-2013**
The maximum permitted height of all rear exterior main walls is 7.5 m.
In this case, the height of rear exterior main wall of the new dwelling will be 9.11 m.
- 3. Chapter 10.10.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor of a dwelling above established grade is 1.2 m and a minimum of 10 m² of the first floor must be within 4.0 m of the front main wall.
In this case, the first floor of the new dwelling will be located 1.2 m above established grade and 2.5 m² of the first floor will be within 4.0 m of the front main wall.
- 4. Chapter 10.10.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot (138.82 m²).
The new three-storey detached dwelling will have a floor space index equal to 0.84 times the area of the lot (195.22 m²).
- 1. Section 6(3) Part I 1, By-law 438-86**
The maximum permitted gross floor area is 0.6 times the area of the lot (138.82 m²).
The new dwelling will have a residential gross floor area equal to 0.84 times the area of the lot (195.22 m²).

2. Section 6(3) Part II 3(II), By-law 438-86

The minimum required side lot line setback from the side wall of an adjacent building that contains openings is 1.2 m.

The new dwelling will be located 1.07 m from the side wall of the adjacent building to the west (9 Maughan Crescent).

3. Section 6(3) Part II 8 D (I), By-law 438-86

The maximum permitted height of an uncovered platform which projects into the required setbacks is 1.2 m above grade.

The rear deck will have a height of 2.4 m above grade.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0438/17TEY	Zoning	R (f7.5;d0.6) & R2 Z0.6 (ZZC)
Owner(s):	PARVIZ BOZORGMANESH	Ward:	Beaches-East York (32)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	7 MAUGHAN CRES (PART 1)	Community:	Toronto
Legal Description:	PLAN 481E LOT 30 PT LOTS 29 & 31		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

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NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0035/17TEY	Zoning	RD & R1B (ZZC)
Owner(s):	TENZIN PALDON JAMYANG JALSO	Ward:	Beaches-East York (31)
Agent:	TATJANA PEJOVIC CVIJOVIC	Heritage:	Not Applicable
Property Address:	77 GALBRAITH AVE	Community:	East York
Legal Description:	PLAN 1826 LOT 344		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two lots.

Retained- Part 1, Draft R-Plan

77 Galbraith Avenue

The lot frontage is 7.63 m and the lot area is 232.26 m².

A new two-storey detached dwelling with an integral garage will be constructed and requires variances to the Zoning By-law as outlined in application A0445/17TEY.

Conveyed- Part 2, Draft R-Plan

Address to be assigned

The lot frontage is 7.63 m and the lot area is 232.26 m².

A new two-storey detached dwelling with an integral garage will be constructed and requires variances to the Zoning By-law as outlined in application A0470/17TEY.

File Numbers B0035/17TEY, A0445/17TEY, A0470/17TEY are considered jointly.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the transaction as shown on the plan filed with the Committee of Adjustment on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (3) The owner shall make satisfactory arrangements with Bell Canada, Right-of-Way for any utility easements and cable locates, and any documents that give effect to the easement.
- (4) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (5) **One electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (6) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0035/17TEY	Zoning	RD & R1B (ZZC)
Owner(s):	TENZIN PALDON JAMYANG JALSO	Ward:	Beaches-East York (31)
Agent:	TATJANA PEJOVIC CVIJOVIC	Heritage:	Not Applicable
Property Address:	77 GALBRAITH AVE	Community:	East York
Legal Description:	PLAN 1826 LOT 344		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 8, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0445/17TEY	Zoning:	RD & R1B (ZZC)
Owner(s):	TENZIN PALDON JAMYANG JALSO	Ward:	Beaches-East York (31)
Agent:	TATJANA PEJOVIC CVIJOVIC	Heritage:	Not Applicable
Property Address:	77 GALBRAITH AVE - PART 1	Community:	East York
Legal Description:	PLAN 1826 LOT 344		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage, a rear first floor deck and a rear basement walkout, as described in Consent Application B0035/17TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 370 m².
The area of the retained lot will be 232.10 m².
- Chapter 10.20.30.20.(1)(A), By-law 569-2013**
The minimum required lot frontage is 12 m.
The frontage of the retained lot will be 7.63 m.
- Chapter 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (81.23 m²).
The lot coverage will be equal to 41.21% of the lot area (95.66 m²).
- Chapter 10.20.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 8.5 m.
The new detached dwelling will have a height of 8.93 m.
- Chapter 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor of a detached dwelling above established grade is 1.2 m.
The first floor of the new detached dwelling will have a height of 1.98 m above established grade.

6. **Chapter 10.20.40.40.(1)(A), By-law 569-2013**
 The maximum permitted floor space index of a detached dwelling is 0.60 times the area of the lot (139.26 m²).
 The new detached dwelling will have a floor space index equal to 0.89 times the area of the lot (206.80 m²).
7. **Chapter 10.20.40.70.(3)(B), By-law 569-2013**
 The minimum required side yard setback is 0.9 m.
 The new detached dwelling will be located 0.41 m from the east side lot line.
8. **Chapter 10.5.40.60.(1)(C) By-law 569-2013**
 A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.50 m if it is no closer to a side lot line than 1.93 m.
 The rear first floor deck will encroach 1.24 m into the required rear yard setback, and will be located 0.41 m from the east side lot line.
1. **Section 7.3.3, By-law 6752**
 The maximum permitted building height is 8.5 m.
 The new detached dwelling will have a height of 8.93 m.
2. **Section 7.3.3, By-law 6752**
 The maximum permitted floor space index of a detached dwelling is 0.60 times the area of the lot (139.26 m²).
 The new detached dwelling will have a floor space index equal to 0.89 times the area of the lot (206.80 m²).
3. **Section 7.3.3, By-law 6752**
 The minimum required lot area is 370 m².
 The area of the retained lot will be 232.10 m².
4. **Section 7.3.3, By-law 6752**
 The maximum permitted lot coverage is 35% of the lot area (81.23 m²).
 The lot coverage will be equal to 41.21% of the lot area (95.66 m²).
5. **Section 7.3.3, By-law 6752**
 The minimum required lot frontage is 12 m.
 The frontage of the retained lot will be 7.63 m.
6. **Section 7.3.3, By-law 6752**
 The minimum required east side yard setback is 0.90 m.
 The new detached dwelling will be located 0.41 m from the east side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A0445/17TEY	Zoning:	RD & R1B (ZZC)
Owner(s):	TENZIN PALDON JAMYANG JALSO	Ward:	Beaches-East York (31)
Agent:	TATJANA PEJOVIC CVIJOVIC	Heritage:	Not Applicable
Property Address:	77 GALBRAITH AVE - PART 1	Community:	East York
Legal Description:	PLAN 1826 LOT 344		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0470/17TEY	Zoning:	RD & R1B (ZZC)
Owner(s):	TENZIN PALDON JAMYANG JALSO	Ward:	Beaches-East York (31)
Agent:	TATJANA PEJOVIC CVIJOVIC	Heritage:	Not Applicable
Property Address:	77 GALBRAITH AVE - PART 2	Community:	East York
Legal Description:	PLAN 1826 LOT 344		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling with an integral garage, a rear first floor deck and a rear basement walkout, as described in Consent Application B0035/17TEY.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.60.(1)(C) By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.50 m if it is no closer to a side lot line than 1.93 m.
The rear first floor deck will encroach 1.24 m into the required rear yard setback, and will be located 0.41 m from the west side lot line.
- Chapter 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 370 m².
The area of the conveyed lot will be 232.10 m².
- Chapter 10.20.30.20.(1)(A), By-law 569-2013**
The minimum required lot frontage is 12 m.
The frontage of the conveyed lot will be 7.63 m.
- Chapter 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 35% of the lot area (81.23 m²).
The lot coverage will be equal to 41.21% of the lot area (95.66 m²).
- Chapter 10.20.40.10.(1)(A), By-law 569-2013**
The maximum permitted building height is 8.5 m.
The new detached dwelling will have a height of 8.93 m.

6. **Chapter 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor of a detached dwelling above established grade is 1.2 m.
The first floor of the new detached dwelling will have a height of 1.98 m above established grade.
7. **Chapter 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index of a detached dwelling is 0.60 times the area of the lot (139.26 m²).
The new detached dwelling will have a floor space index equal to 0.89 times the area of the lot (206.80 m²).
8. **Chapter 10.20.40.70.(3)(B), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The new detached dwelling will be located 0.41 m from the west side lot line.
1. **Section 7.3.3, By-law 6752**
The maximum permitted building height is 8.5 m.
The new detached dwelling will have a height of 8.93 m.
2. **Section 7.3.3, By-law 6752**
The maximum permitted floor space index of a detached dwelling is 0.60 times the area of the lot (139.26 m²).
The new detached dwelling will have a floor space index equal to 0.89 times the area of the lot (206.80 m²).
3. **Section 7.3.3, By-law 6752**
The minimum required lot area is 370 m².
The area of the conveyed lot will be 232.10 m².
4. **Section 7.3.3, By-law 6752**
The maximum permitted lot coverage is 35% of the lot area (81.23 m²).
The lot coverage will be equal to 41.21% of the lot area (95.66 m²).
5. **Section 7.3.3, By-law 6752**
The minimum required lot frontage is 12 m.
The frontage of the conveyed lot will be 7.63 m.
6. **Section 7.3.3, By-law 6752**
The minimum required west side yard setback is 0.90 m.
The new detached dwelling will be located 0.41 m from the west side lot line.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

SIGNATURE PAGE

File Number:	A0470/17TEY	Zoning:	RD & R1B (ZZC)
Owner(s):	TENZIN PALDON JAMYANG JALSO	Ward:	Beaches-East York (31)
Agent:	TATJANA PEJOVIC CVIJOVIC	Heritage:	Not Applicable
Property Address:	77 GALBRAITH AVE - PART 2	Community:	East York
Legal Description:	PLAN 1826 LOT 344		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0037/17TEY	Zoning:	RA (Waiver)
Owner(s):	WOODCLIFFE MOD DEVELOPMENTS(ST ANDREWS) INC	Ward:	Trinity-Spadina (20)
Agent:	MICHAEL STEWART	Heritage:	Designated
Property Address:	497, 505 & 511 RICHMOND ST W	Community:	Toronto
Legal Description:	MILITARY RESERVE PLAN PT RICHMOND ST W PT MAUD ST PT BRANT ST PT WEST MARKET RP 66R27056 PARTS 1 TO 3 ST ANDREWS MARKET		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain a consent to sever the property into two lots and to create various easements/rights-of-way.

Conveyed – Parts 5, 6 and 7, Draft R-Plan Address to be assigned

The lot frontage is 12.88 m on Richmond Street West (at grade) and has a lot area of 204.8 m² (at grade). The lot will contain a YMCA or a non-profit organization within a 13-storey mixed use building.

Easements/Rights-of-Way

Part 5 will be subject to easements/rights-of-way for installing, operating, maintaining and replacing services, equipment and structures, including any life safety and other essential devices; constructing, maintaining and replacing exterior portion of Part 5, including the building façade; constructing, maintaining and altering the retained lot Parts 1, 2, 3, 4, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18 and 19 or its improvements, in favour of Parts 1, 2, 3, 4, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18 and 19.

Upon building completion, the easement will be limited to the exterior surface of Parts 5, 6 and 7, and inspecting, maintaining and repairing support structures built within the conveyed lot Parts 5, 6 and 7, in favour of Parts 1, 2, 3, 4, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18 and 19.

Parts 6 and 7 will be subject to easements/rights-of-way for constructing, maintaining, and altering in favour of the retained lot Parts 1, 2, 3, 4, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18 and 19 or its improvements.

Upon building completion, the easement will be limited to the exterior surface of the Parts 5, 6 and 7; and inspecting and maintaining support structures built within the conveyed lot, Parts 5, 6 and 7 in favour of Parts 1, 2, 3, 4, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18 and 19.

Retained – Parts 1, 2, 3, 4, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18 and 19, Draft R-Plan**Address to be assigned**

The lot frontage is 60.28 m on Richmond Street West (at grade) and has a lot area of 4968.4 m² (at grade). The lot will contain a 13-storey mixed-use building containing a food hall, retail and residential uses.

Easements/Rights-of-Way

Parts 1, 8 and 12 will be subject to an easement/right-of-way for installing, operating, maintaining, and replacing services, and related equipment and structures, including any life safety and other essential devices located within or on Parts 1, 8 and 12, but excludes any portions of Parts 1, 8 and 12 used for residential dwellings and ancillary uses, parking units, locker units and outdoor amenities spaces, in favour of Parts 5, 6 and 7.

Upon condominium registration, the easement will be released against all units in the condominium.

Part 9 will be subject to an easement/right-of-way for pedestrian and vehicular access in favour of the conveyed lot, Parts 5, 6 and 7.

Part 12 will be subject to an easement/right-of-way for pedestrian and vehicular access to a shared loading facility in favour the conveyed lot, Parts 5, 6 and 7.

Parts 13 and 14 will be subject to an easement/right-of-way for pedestrian access, including roof access in favour of the conveyed lot, Parts 5, 6 and 7.

Part 16 will be subject to an easement/right-of-way for pedestrian access in favour of the conveyed lot, Parts 5, 6 and 7.

Part 17 will be subject to an easement/right-of-way for pedestrian access in favour of the conveyed lot, Parts 5, 6 and 7.

Part 18 will be subject to an easement for installing, operating, maintaining and replacing rooftop equipment (including mechanical, electrical and HVAC) in favour of the conveyed lot, Parts 5, 6 and 7.

Part 19 will be subject to an easement for elevator use to Part 18 in favour of the conveyed lot, Parts 5, 6 and 7.

Parts 1, 2, 3, 4, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18 and 19 will be subject to an easement for constructing, maintaining, removing or altering the conveyed lot, Parts 5, 6 and 7, in favour of Parts 5, 6 and 7.

Parts 1, 2, 3, 4, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18 and 19 will be subject to a support easement limited to structural components in favour of Parts 5, 6 and 7.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the transaction as shown on the plan filed with the Committee of Adjustment on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (4) **One electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0037/17TEY	Zoning	RA (Waiver)
Owner(s):	WOODCLIFFE MOD DEVELOPMENTS(ST ANDREWS) INC	Ward:	Trinity-Spadina (20)
Agent:	MICHAEL STEWART	Heritage:	Designated
Property Address:	497, 505 & 511 RICHMOND ST W	Community:	Toronto
Legal Description:	MILITARY RESERVE PLAN PT RICHMOND ST W PT MAUD ST PT BRANT ST PT WEST MARKET RP 66R27056 PARTS 1 TO 3 ST ANDREWS MARKET		

DECLARED AN INTEREST

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 8, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0181/17TEY	Zoning	CR 2.5(c2.0; r2.0) SS2 (x2294) & MCR T2.5 C2.0 R2.0 (ZPR)
Owner(s):	HULLMARK (635 QUEEN) LTD.	Ward:	Toronto-Danforth (30)
Agent:	KENDRA FITZRANDOLPH	Heritage:	Not Applicable
Property Address:	635 QUEEN ST E	Community:	Toronto
Legal Description:	BFC PT LOT 15 RP 63R3789 PART 1		

Notice was given and a Public Hearing was held on **Wednesday, July 12, 2017**, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing three-storey office building by converting the ground floor to retail, constructing a rooftop terrace with access area and and performing interior and exterior modifications to the building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 40.10.40.40.(B), By-law 569-2013**
The maximum permitted non-residential gross floor area is 2.0 times the area of the lot (2030.8 m²).
The altered building will have a non-residential gross floor area equal to 2.51 times the area of the lot (2539.2 m²).
- Chapter 200.5.10.1.(1), By-law 569-2013**
One additional parking space is required to be provided on the lot.
In this case, zero parking spaces will be provided on the lot.
- Chapter 200.15.10.(A), By-law 569-2013**
The minimum required number of accessible parking spaces is one.
In this case, zero accessible parking spaces will be provided.
- Chapter 220.5.10.1.(3), By-law 569-2013**
A minimum of one Type B loading space is required to be provided on the lot.
In this case, zero Type B loading spaces will be provided.
- Chapter 230.5.1.10.(7), By-law 569-2013**
A minimum of one shower and change facilities for each gender are required to be provided.
In this case, no shower and change facilities will be provided.

- 6. Chapter 230.5.10.1.(1)(A), By-law 569-2013**
A minimum of 7 short term and 4 long term bicycle parking spaces are required to be provided for the office use and a minimum of 6 short term and 1 long term bicycle parking spaces are required to be provided for the retail use.
The total bicycle parking required on the lot is 18 spaces.
In this case, no bicycle parking will be provided on the lot.
- 7. Chapter 40.10.40.1.(2)(A), By-law 569-2013**
For any non-residential use the floor level of the first storey must be within 0.2 m of grade measured at the lot line abutting the street directly opposite each pedestrian entrance.
In this case, the first floor level will be 0.45 m from grade.
- 8. Chapter 40.10.40.1.(2)(B), By-law 569-2013**
For any non-residential use the floor level of the first storey must have a pedestrian access by a ramp which rises no more than 0.04 m vertically for every 1.0 m horizontally.
In this case, the access does not provide a ramp or level entrance.
- 9. Chapter 40.10.40.70.(2)(B)(i), By-law 569-2013**
The minimum required building setback from the rear lot line is 7.5 m.
The altered building will be setback 2.985 m from the rear lot line.
- 1. Section 4(2)(a)(ii)(B), By-law 438-86**
A structure on the roof of a building, used for the outside open air recreation, safety or wind protection purposes is permitted provided no part of the structure is less than 2.0 m from an adjacent outside wall or vertical projection of the wall.
In this case, the guard is located 0 m from an adjacent outside wall.
- 2. Section 4(6)(B), By-law 438-86**
A minimum of one Type B loading space is required to be provided on the lot.
In this case, zero Type B loading spaces will be provided.
- 3. Section 8(3) Part I 1, By-law 438-86**
The maximum permitted combined residential and non-residential gross floor area is 2.5 times the area of the lot (2538.5 m²).
The altered building will have a combined residential and non-residential gross floor area equal to 2.72 times the area of the lot (2758.61 m²).
- 4. Section 8(3) Part I 2, By-law 438-86**
The maximum permitted non-residential gross floor area is 2.0 times the area of the lot (2020.8 m²).
The altered building will have a non-residential gross floor area equal to 2.72 times the area of the lot (2758.61 m²).
- 5. Section 8(3) part XI 2(1), By-law 438-86**
The main floor level of every commercial use must be within 0.2 m of the level of the sidewalk opposite the door to such commercial use.
In this case, the level of the floor of the commercial use will be within 0.45 m of the level of the sidewalk.
- 6. Section 8(3) Part VI 2(3), By-law 438-86**
All exterior commercial entrance doors shall be directly accessible from the sidewalk by a level surface or a ramp having a slope not greater than 1 in 25 (4%).
In this case, the entrances are not accessible by a level surface or ramp.

7. Section 4(4)(b), By-law 438-86

One additional parking space is required to be provided on the lot.

In this case, zero parking spaces will be provided on the lot.

The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0181/17TEY	Zoning	CR 2.5(c2.0; r2.0) SS2 (x2294) & MCR T2.5 C2.0 R2.0 (ZPR)
Owner(s):	HULLMARK (635 QUEEN) LTD.	Ward:	Toronto-Danforth (30)
Agent:	KENDRA FITZRANDOLPH	Heritage:	Not Applicable
Property Address:	635 QUEEN ST E	Community:	Toronto
Legal Description:	BFC PT LOT 15 RP 63R3789 PART 1		

Alex Bednar (signed)

Michael Clark (signed)

Lisa Valentini (signed)

Carl Knipfel (signed)

DATE DECISION MAILED ON: **TUESDAY JULY 18, 2017**

LAST DATE OF APPEAL: **TUESDAY AUGUST 1, 2017**

CERTIFIED TRUE COPY

Anita M. MacLeod
Manager & Deputy Secretary-Treasurer
Committee of Adjustment, Toronto and East York District

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.