

6. **Section 10.20.40.50.(1)(B), By-law 569-2013**  
The maximum permitted area of a platform at or above a second storey is 4 m<sup>2</sup>.  
The proposed second storey rear platform will have an area of 13.9 m<sup>2</sup> and the proposed second storey front platform will have an area of 5 m<sup>2</sup>.
7. **Section 900.3.10.(1249)(B), By-law 569-2013**  
A platform with a floor higher than the first floor of the building above established grade may not encroach into the required yard setback.  
The proposed rear yard deck will encroach into the required rear yard.
8. **Section 6(3) Part II.8.D, By-law 438-86**  
The maximum permitted projection of an uncovered platform into the required setback is a maximum of 2.5 m from the front or rear wall.  
The proposed uncovered platform will project 3.05 m from the rear wall.
9. **Section 6(3) Part II 8 D(I), By-law 438-86**  
The maximum permitted height of an uncovered platform which projects into the required setbacks a maximum of 1.2 m above grade.  
The proposed deck will have a height of 2.11 m above grade.
10. **Section 6(3) Part III 3(B), By-law 438-86**  
A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (34.84 m<sup>2</sup>).  
A total of 65.26 of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (30.32 m<sup>2</sup>).
11. **Section 10.5.100.1.(1)(C), By-law 569-2013 and Section 6(3) Part IV 4(I), By-law 438-86**  
The maximum permitted driveway width is 3.23 m.  
The proposed driveway will have a width of 5.22 m.
12. **Section 10.5.80.40.(2), By-law 569-2013**  
The elevation of the lowest point of a vehicle entrance in a main wall of the building must be higher than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street (80.39).  
The proposed elevation of the lowest point of a vehicle entrance in a main wall of the building is 79.54.
13. **Section 6(3) Part IV 3(II), By-law 438-86**  
An integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line is not permitted.  
The proposed integral garage is below grade

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at [www.toronto.ca/trees/pdfs/contractor\\_services\\_agreement\\_information.pdf](http://www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf).  
  
Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
3. The dwelling shall be constructed substantially in accordance with the plans date stamped January 20, 2017 and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
4. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
  - 4.1 Illustrate an appropriate gradient portion for a portion of the new driveway that is located within the Innisfree Court municipal boulevard;
  - 4.2 Insert a notation on the site plan stating, "The applicant is required to reinstate the redundant portion of the existing driveway with poured raised concrete curb and sod within the Innisfree Court municipal boulevard according to City of Toronto Design Standard Drawing No.T-600.11-1";
  - 4.3 Insert a notation on the site plan stating, "The applicant shall obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance. The applicant shall also submit a Municipal Road Damage Deposit prior to obtaining a Building Permit". The applicant shall contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section, at (416) 338-1045, regarding the municipal road damage deposit requirements; and,

- 4.4 The applicant shall submit a revised site plan either in 1:200 or 1:250 metric units illustrating the above-noted condition No.'s 4.1 through 4.5, to the satisfaction of Transportation Services, and at no cost to the City, no later than December 31, 2018.

## SIGNATURE PAGE

|                    |                         |            |                         |
|--------------------|-------------------------|------------|-------------------------|
| File Number:       | A0917/16EYK             | Zoning     | RD & R1 Z0.6            |
| Owner:             | ELIZABETH LOPATNIKOW    | Ward:      | Parkdale-High Park (13) |
| Agent:             | DAVID BROWN             | Heritage:  | Not Applicable          |
| Property Address:  | <b>24 INNISFREE CRT</b> | Community: |                         |
| Legal Description: | PLAN M1240 LOT 41       |            |                         |

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Allan Smithies (signed)

---

Dominic Gulli (signed)

---

Edwin (Ted) Shepherd  
(signed)

---

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

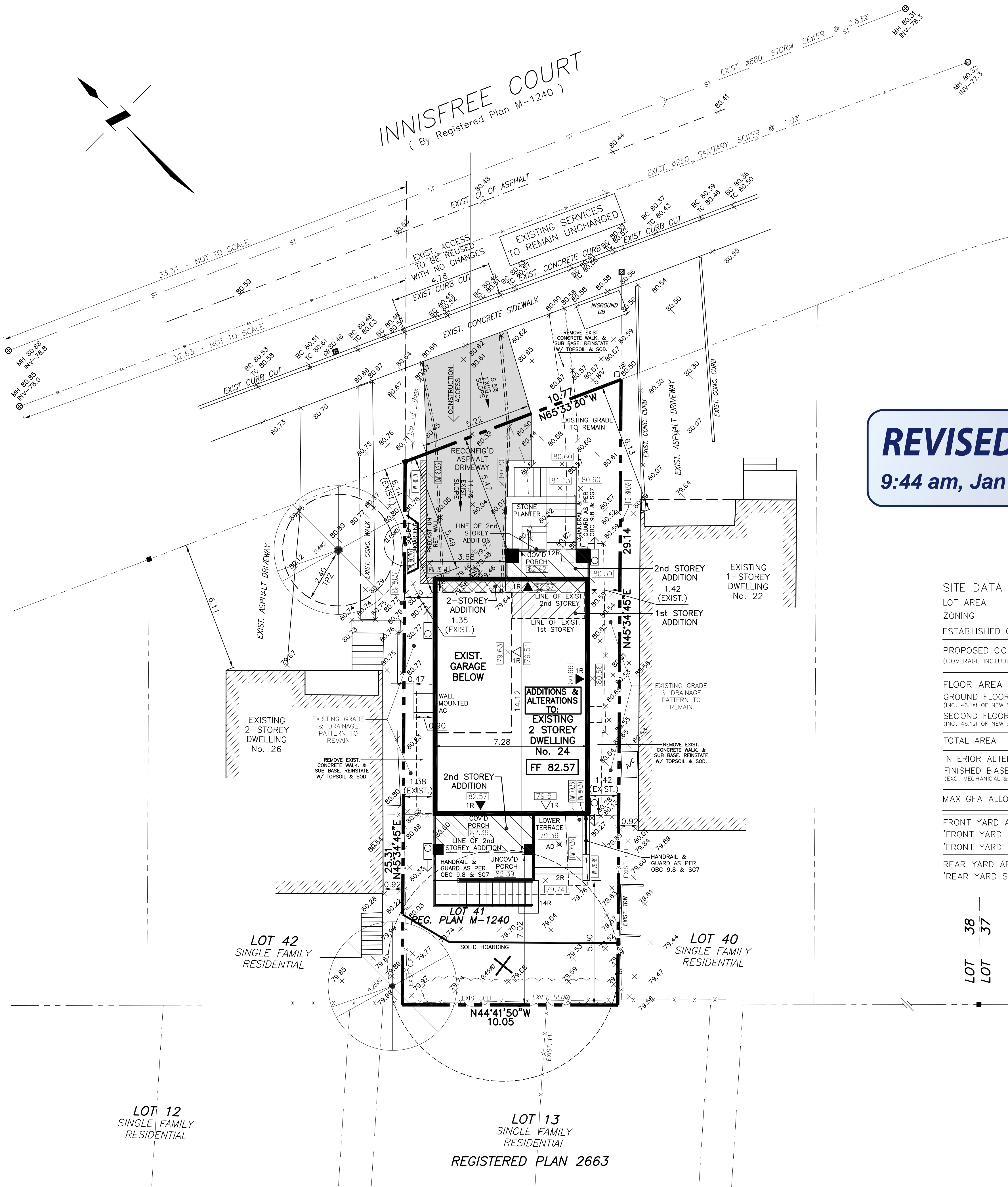
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle  
Manager & Deputy Secretary Treasurer  
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).





**REVISED**  
9:44 am, Jan 20, 2017

| LEGEND |   |
|--------|---|
|        | MAIN LEVEL ENTRY POINT                                  |
|        | PROPERTY LINE   |
|        | EXISTING SPOT ELEVATION                                 |
|        | PROPOSED SPOT ELEVATION                                 |
|        | RAINWATER DOWNSPOUTS                                    |
|        | AIR CONDITIONER   |
|        | TREE PROTECTION ZONE                                    |
|        | DENOTES CONIFEROUS TREE (WITH TRUNK DIAMETER) TO REMAIN |
|        | DENOTES DECIDUOUS TREE (WITH TRUNK DIAMETER) TO REMAIN  |
|        | DENOTES TREE (WITH TRUNK DIAMETER) TO BE REMOVED        |

**Tree Protection Barriers**

- Tree protection barriers must be a plywood or plastic web hoarding or equivalent as approved by Urban Forestry.
- Tree protection barriers for trees situated on the City road allowance where visibility must be maintained can be 1.5m (4ft 9 in) high and consist of orange plastic web snow fencing on a wood frame made of 2" x 4"s.
- Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.
- Sediment control fencing shall be installed in locations indicated in an Urban Forestry approved Tree Protection Plan. The sediment control fencing must be installed to Ontario Provincial Standards (OPS-219.116) and to the satisfaction of Urban Forestry.

Parks, Forestry and Recreation  
Sept 2008  
Detail TP-1

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.

|   |       |
|---|-------|
| Peter Giordano  | 25061 |
| NAME  | BCIN  |
| REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE. |       |
| DAVID W. SMALL DESIGNS INC.   | 29999 |
| FIRM NAME   | BCIN  |

| SITE DATA   |   |                        |                        |                        |
|---|---|------------------------|------------------------|------------------------|
| LOT AREA  | 273.51 sm (0.027 ha)                        |                        |                        |                        |
| ZONING  | RD - X, 1249 (NEW BY-LAW) / R2 (OLD BY-LAW) |                        |                        |                        |
| ESTABLISHED GRADE (NEW - RD)  | 80.65 m (80.77 + 80.52 m /2)                |                        |                        |                        |
| PROPOSED COVERAGE (COVERAGE INCLUDES HOUSE, GARAGE, REAR PORCH & FRONT PORCH) | 103.07 sm (37.68%)                          |                        |                        |                        |
| FLOOR AREA  | EXISTING                                    | REMOVED                | PROPOSED               | TOTAL                  |
| GROUND FLOOR (INC. 46.1sf OF NEW STAIRS & 3.5sf OF OTB)                       | 764.3 sf ( 71.00 sm)                        | 764.3 sf ( 71.00 sm)   | 868.5 sf ( 80.68 sm)   | 868.5 sf ( 80.68 sm)   |
| SECOND FLOOR (INC. 46.1sf OF NEW STAIRS & 3.5sf OF OTB)                       | 813.8 sf ( 75.60 sm)                        | 813.8 sf ( 75.60 sm)   | 978.8 sf ( 90.93 sm)   | 978.8 sf ( 90.93 sm)   |
| TOTAL AREA  | 1578.1 sf ( 146.61 sm)                      | 1578.1 sf ( 146.61 sm) | 1847.3 sf ( 171.61 sm) | 1847.3 sf ( 171.61 sm) |
| INTERIOR ALTERATIONS AREA   | 503.0 sf ( 46.73 sm)                        |                        |                        |                        |
| FINISHED BASEMENT AREA (EXC. MECHANICAL & 43.8sf OF STAIRS)                   | 434.2 sf ( 40.34 sm)                        |                        |                        |                        |
| MAX GFA ALLOWED   | 2031.4 sf ( 188.72 sm)                      |                        |                        |                        |
| FRONT YARD AREA   | 73.26 sm                                    |                        |                        |                        |
| 'FRONT YARD LANDSCAPING'  | 41.39 % ( 30.32 sm)                         |                        |                        |                        |
| 'FRONT YARD SOFT LANDSCAPING'   | 100.00 % ( 30.32 sm)                        |                        |                        |                        |
| REAR YARD AREA  | 88.87 sm                                    |                        |                        |                        |
| 'REAR YARD SOFT LANDSCAPING'  | 68.75 % ( 61.1 sm)                          |                        |                        |                        |

KEY PLAN nts

**BASE INFORMATION**

BASE INFORMATION TAKEN FROM PLAN OF SURVEY BY YOUNG & YOUNG SURVEYING (OLS) DATED MAY 2, 2016

**LOCATION**

LOT 41  
REGISTERED PLAN M-1240  
CITY OF TORONTO  
REGIONAL MUNICIPALITY OF YORK

**CITY BENCHMARK**

ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE CITY OF TORONTO BENCHMARK NUMBER SW21, HAVING A PUBLISHED ELEVATION OF 82.88 METRES.

**DO NOT SCALE DRAWINGS**

**NOTE:**

- Contractor to check all dimensions, specifications, etc. on site and shall be responsible for reporting any discrepancy to the engineer and/ or designer.
- These plans are to remain the property of the designer and must be returned upon request. These plans must not be used in any other location without the written approval of the designer.
- All works to be in accordance with the ONTARIO BUILDING CODE.

|     |           |                             |
|-----|-----------|-----------------------------|
| 4   |           |                             |
| 3   |           |                             |
| 2   | JAN 18/17 | REVISED AS PER CITY COMMENT |
| 1   | AUG 31/16 | ISSUED FOR APPROVALS        |
| no. | date      | revision / comment          |

**project:**

Additions & Alterations to:  
**24 Innisfree Court**

LOT 41  
REGISTERED PLAN M-1240  
CITY OF TORONTO, REGION OF YORK

**drawing:**

**Site Plan**

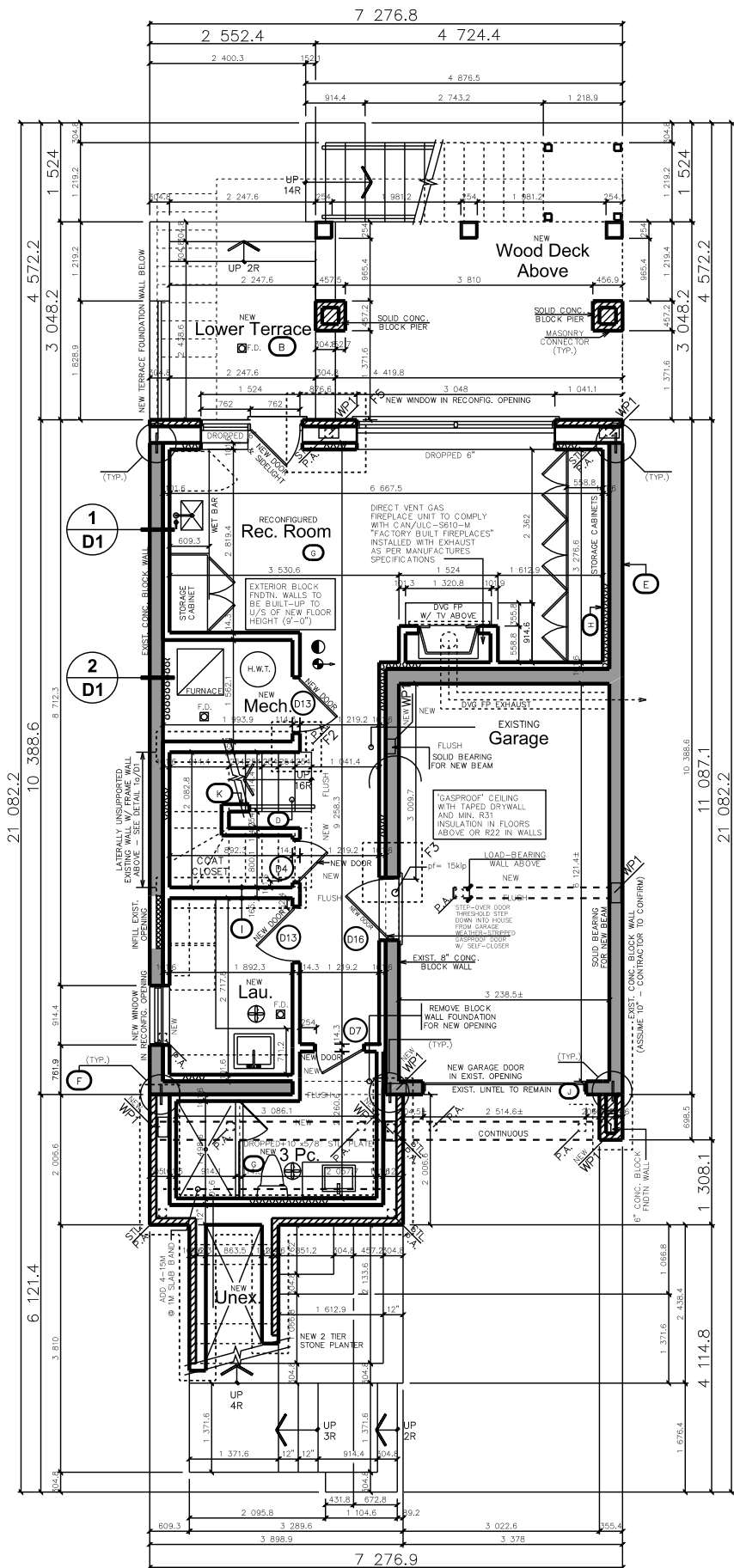
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date: AUG 2016  
dwn by: DO  
proj. no.: 16-1362-40

**DAVID SMALL DESIGNS**.COM



REVISED

9:43 am, Jan 20, 2017



| Drawing Legend |                                   |
|----------------|-----------------------------------|
|                | EXISTING JOIST DIRECTION          |
|                | CO DETECTOR                       |
|                | INTERCONNECTED SMOKE ALARM        |
|                | FAN                               |
|                | FLOOR DRAIN                       |
|                | ROOF VENT PER OBC 9.19            |
|                | DIRECT VENT GAS FIREPLACE EXHAUST |
|                | COLD ROOM VENT                    |
|                | 20"x28" ATTIC ACCESS HATCH        |

| Construction Legend |                              |
|---------------------|------------------------------|
|                     | EXISTING WALLS TO REMAIN     |
|                     | EXISTING WALLS TO BE REMOVED |
|                     | NEW WALLS                    |
|                     | INFILL EXISTING OPENING      |

24 Innisfree Court

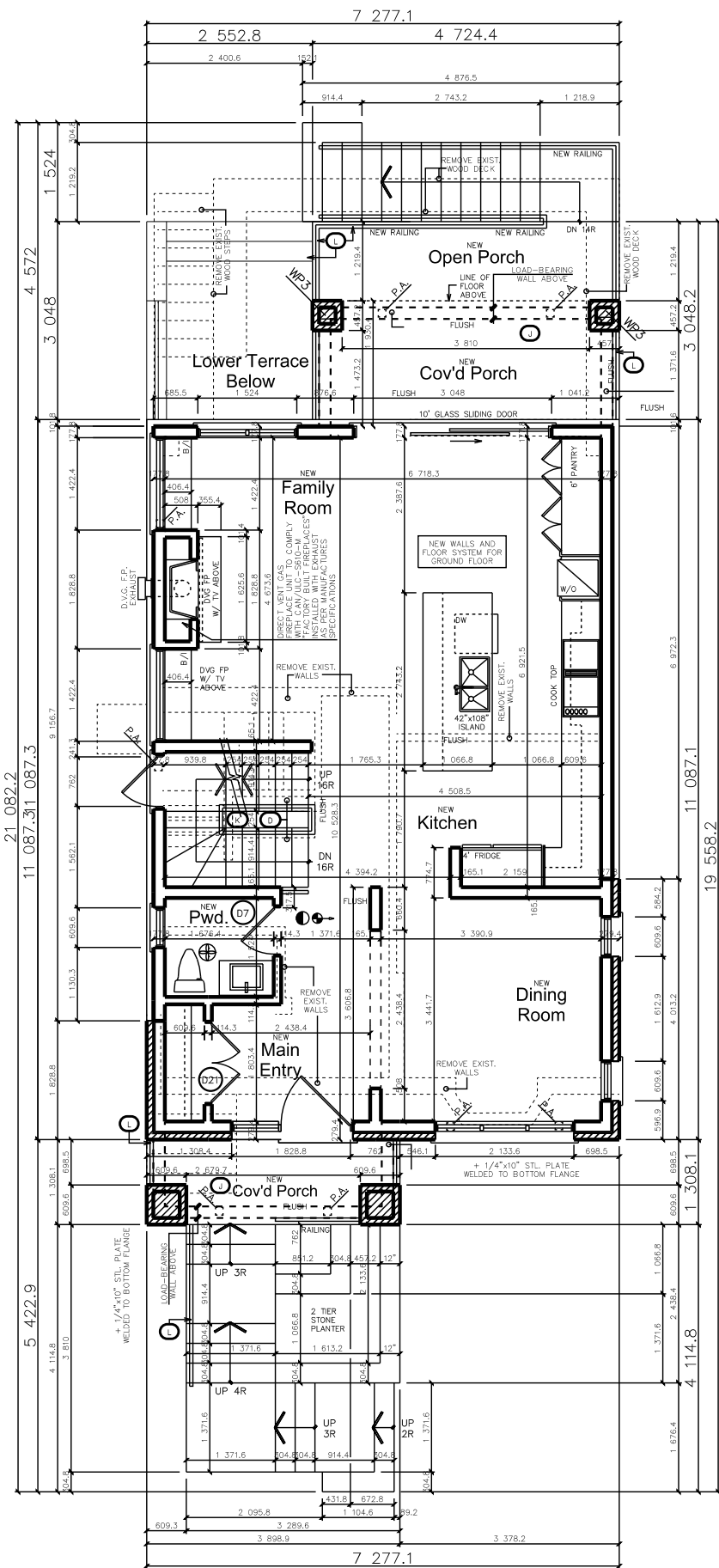
24 Innisfree Court Cr, Region of York

Basement Plan

SCALE: 1:100  
JANUARY 19, 2017

1440 Hurontario Street, Suite 200, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109

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SMALL  
DESIGNS  
.COM



| Drawing Legend |                                   |
|----------------|-----------------------------------|
|                | EXISTING JOIST DIRECTION          |
|                | CO DETECTOR                       |
|                | INTERCONNECTED SMOKE ALARM        |
|                | FAN                               |
|                | FLOOR DRAIN                       |
|                | ROOF VENT PER OBC 9.19            |
|                | DIRECT VENT GAS FIREPLACE EXHAUST |
|                | COLD ROOM VENT                    |
|                | 20" X 28" ATTIC ACCESS HATCH      |

| Construction Legend |                              |
|---------------------|------------------------------|
|                     | EXISTING WALLS TO REMAIN     |
|                     | EXISTING WALLS TO BE REMOVED |
|                     | NEW WALLS                    |
|                     | INFILL EXISTING OPENING      |

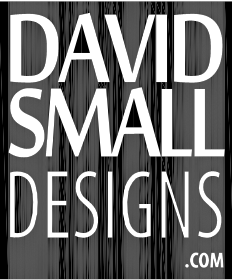
24 Innisfree Court

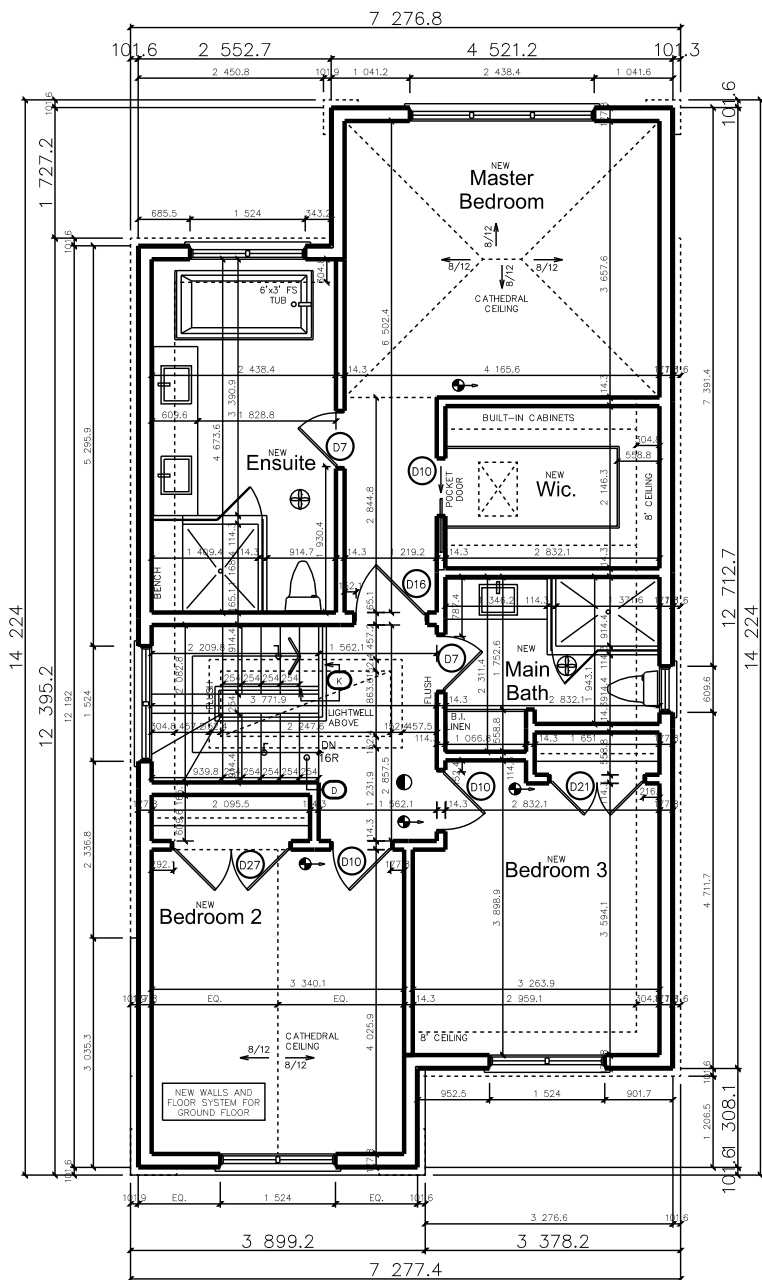
24 Innisfree Court Cr, Region of York

# First Floor Plan

SCALE: 1:100  
JANUARY 19, 2017

1440 Hurontario Street, Suite 200, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109





**Drawing Legend**

- EXISTING JOIST DIRECTION
- CO DETECTOR
- INTERCONNECTED SMOKE ALARM
- FAN
- FLOOR DRAIN
- ROOF VENT PER OBC 9.19
- DIRECT VENT GAS FIREPLACE EXHAUST
- COLD ROOM VENT
- 20"x28" ATTIC ACCESS HATCH

**Construction Legend**

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW WALLS
- INFILL EXISTING OPENING

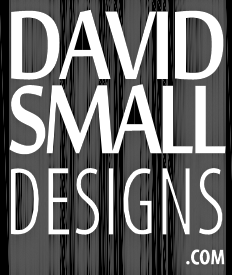
24 Innisfree Court

24 Innisfree Court Cr, Region of York

## Second Floor Plan

SCALE: 1:100  
JANUARY 19, 2017

1440 Hurontario Street, Suite 200, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109





24 Innisfree Court

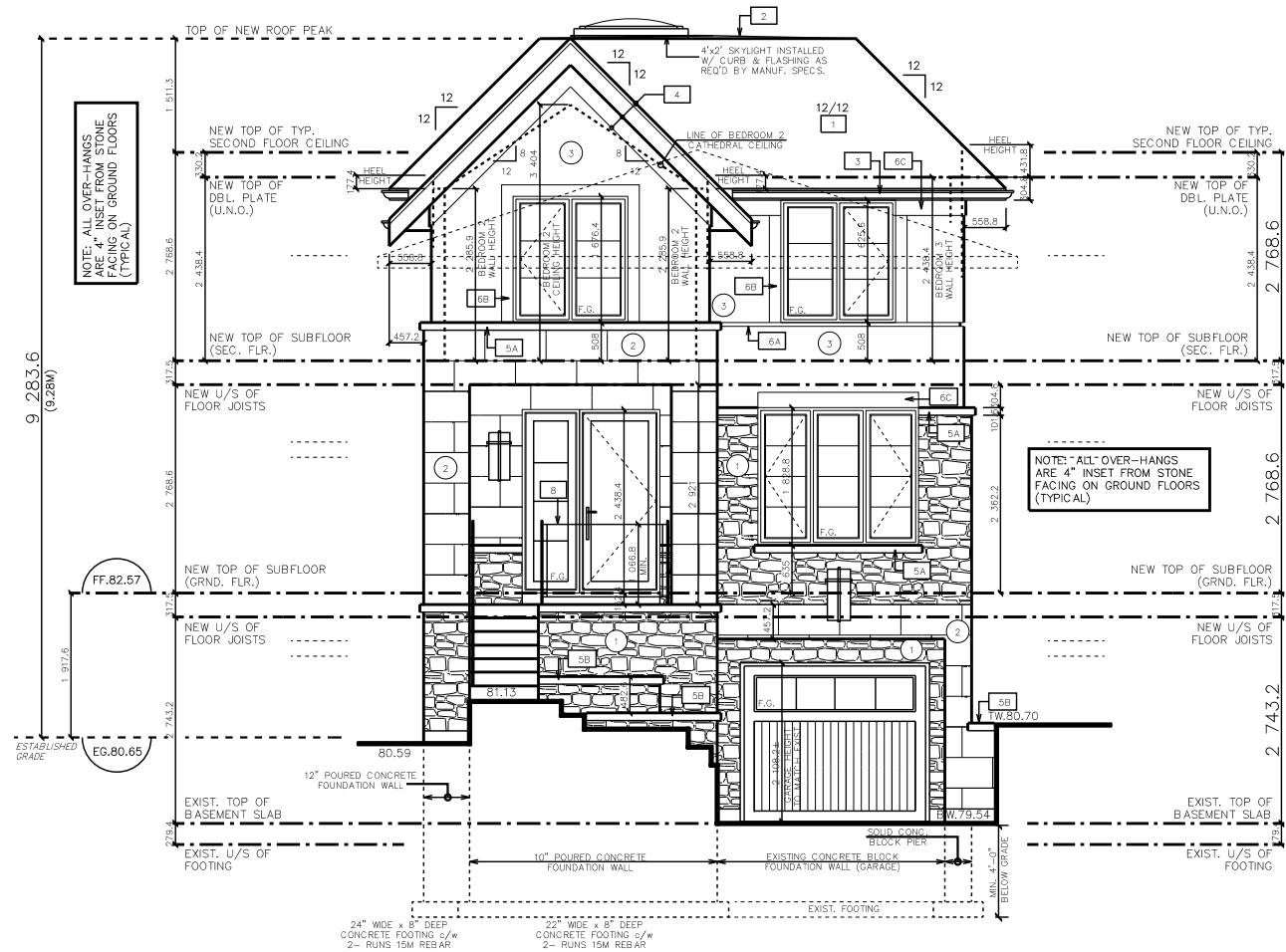
Innisfree Cr, Region of York

## Front Elevation

SCALE: 1:100  
JANUARY 19, 2017

1440 Hurontario Street, Suite 200, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109

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### DRAWING LEGEND

#### 1.0 MATERIALS

- 1 NATURAL STONE
- 2 BOARD & BATTEN
- 3 WOOD SHINGLE SIDING
- 4 PAINTED WOOD PANEL

#### 2.0 ROOFING & GUTTERS

- 1 40 YEAR ASPHALT SHINGLES
- 2 2-PLY TORCHED ON RUBBER MEMBRANE ROOF SLOPED TO 2% TO OUTSIDE EDGE ON 1/2" PLYWOOD ROOF SHEATHING ON ROOF TRUSSES
- 3 PREFIN. ALUM. GUTTER ON 6" PREFINISHED ALUMINUM FASCIA

#### 3.0 TRIM, CORNICE

##### MOULDING, & GUTTER NOTES

- 4A TYPICAL CORNICE TRIM
- 4" WD. CROWN MOULD ON CREZON FLAT STOCK W/ 2" HIGH X 4" - 1-1/4" DEEP BOTTOM TRIM (TOTAL 12" HIGH)
- 4B 4" WD. CROWN MOULD ON CREZON FLAT STOCK (TOTAL 6" HIGH)
- 4C 4" WD. CROWN MOULD ON CREZON FLAT STOCK
- 5A 12" STEPPED ALUMINUM FASCIA W/2" TOP-EDGE REVEAL 12" PRE-FIN. WOOD FRIEZE TRIM W/4" WD. CROWN MOULD
- 5B 12" STEPPED ALUMINUM FASCIA W/2" TOP-EDGE REVEAL 14" PRE-FIN. WOOD FRIEZE TRIM W/4" WD. CROWN MOULD
- 6A STONE SOLDIER
- 6B STONE SOLDIER ARCH
- 6C CUT STONE LINTEL
- 7 4" PRECAST CONCRETE SILL C/W 2" PROJECTION
- 7A 4" PRECAST CONCRETE COPING CAP C/W 2" PROJECTION
- 8A 6" PREFINISHED WOOD TRIM
- 8B 6" PREFINISHED WOOD SILL PROJECTED 2" W/ 2" TOP EDGE REVEAL
- 8C 6" PREFINISHED WOOD TRIM W/ 2" TOP EDGE REVEAL
- 9 DECORATIVE PLYWOOD FRONT ENTRANCE

#### 4.0 RAILING, POST

- 10 10"x10" WD POST CLAD W/ 1X WD TRIM AS SHOWN

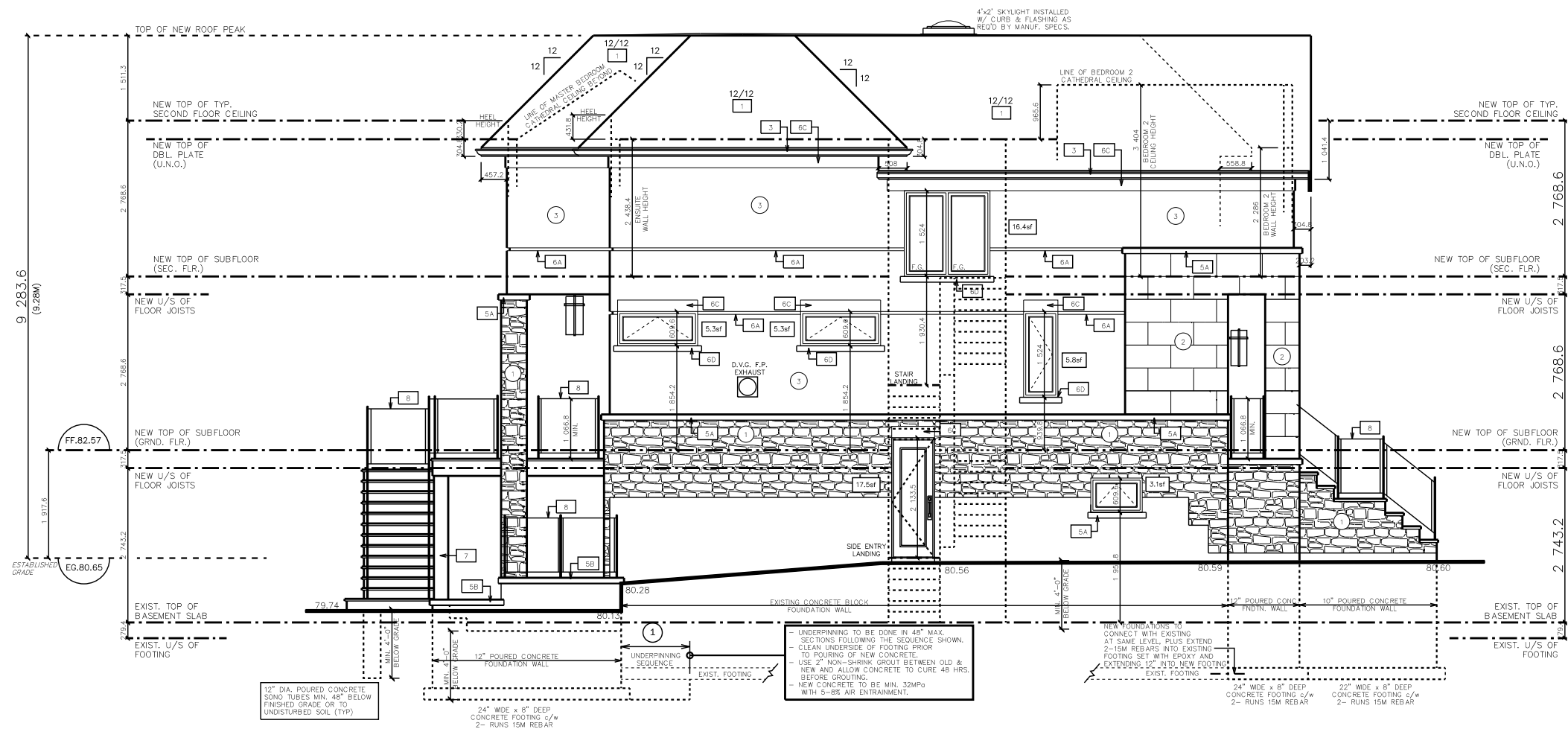
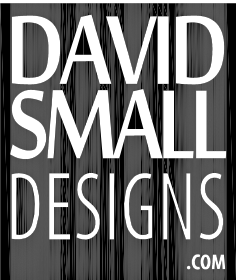
24 Innisfree Court

Innisfree Cr, Region of York

Left-Side Elevation

SCALE: 1:100  
JANUARY 19, 2017

1440 Hurontario Street, Suite 200, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109



DRAWING LEGEND

1.0 MATERIALS

- 1 NATURAL STONE
- 2 BOARD & BATTEN
- 3 WOOD SHINGLE SIDING
- 4 PAINTED WOOD PANEL

2.0 ROOFING & GUTTERS

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- 3 PREFIN. ALUM. GUTTER ON 6" PREFINISHED ALUMINUM FASCIA

3.0 TRIM, CORNICE, MOULDING, & GUTTER NOTES

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- 4" WD. CROWN MOLD ON CREZON FLAT STOCK W/ 2" HIGH X 1/4" 1-1/4" DEEP BOTTOM TRIM (TOTAL 12" HIGH)
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- 8C 6" PREFINISHED WOOD TRIM W/ 2" TOP EDGE REVEAL
- 9 DECORATIVE PLYWOOD FRONT ENTRANCE

4.0 RAILING POST

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DRAWING LEGEND

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- 4 PAINTED WOOD PANEL

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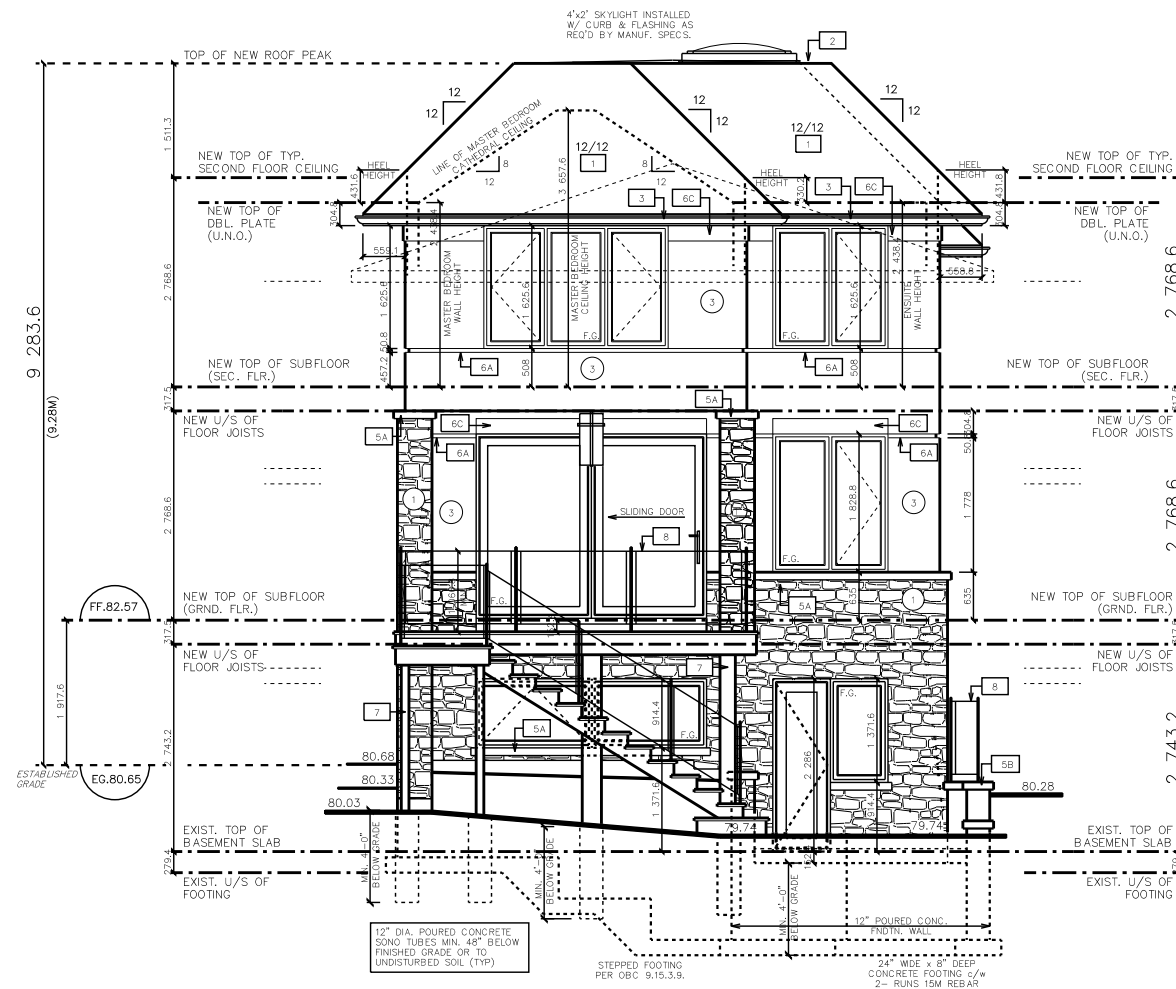
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MOULDING, & GUTTER NOTES

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- 8C 6" PREFINISHED WOOD TRIM W/ 2" TOP EDGE REVEAL
- 9 DECORATIVE PLYWOOD FRONT ENTRANCE

4.0 RAILING, POST

- 10 10"x10" WD POST CLAD W/ 1X WD TRIM AS SHOWN



24 Innisfree Court

Innisfree Cr, Region of York

Rear Elevation

SCALE: 1:100  
JANUARY 19, 2017

1440 Hurontario Street, Suite 200, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109

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24 Innisfree Court

Innisfree Cr, Region of York

## Right-Side Elevation

SCALE: 1:100  
JANUARY 19, 2017

1440 Hurontario Street, Suite 200, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109

### DRAWING LEGEND

#### 1.0 MATERIALS

- 1 NATURAL STONE
- 2 BOARD & BATTEN
- 3 WOOD SHINGLE SIDING
- 4 PAINTED WOOD PANEL

#### 2.0 ROOFING & GUTTERS

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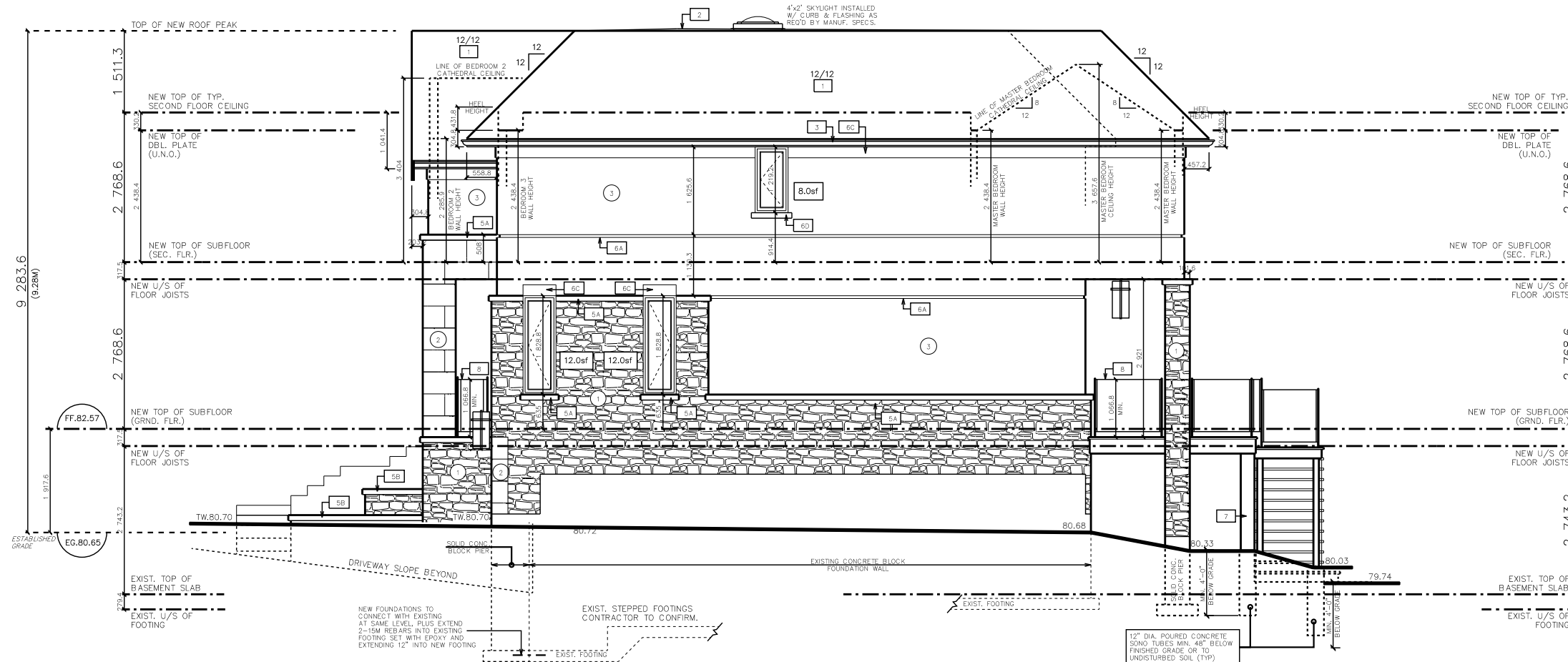
#### 3.0 TRIM, CORNICE,

#### MOULDING, & GUTTER NOTES

- 4A TYPICAL CORNICE TRIM
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- 8B 6" PREFINISHED WOOD SILL PROJECTED 2" W/ 2" TOP EDGE REVEAL
- 8C 6" PREFINISHED WOOD TRIM W/ 2" TOP EDGE REVEAL
- 9 DECORATIVE PLYWOOD FRONT ENTRANCE

#### 4.0 RAILING, POST

- 10 10"x10" WD POST CLAD W/ 1/4" WD TRIM AS SHOWN



Thursday, January 26, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

|                    |                                     |            |                        |
|--------------------|-------------------------------------|------------|------------------------|
| File Number:       | A0925/16EYK                         | Zoning     | RD & R1                |
| Owner(s):          | CARLOS TAVORA<br>ISABEL TAVORA      | Ward:      | York South-Weston (12) |
| Agent:             | LIRO STUDIO                         | Heritage:  | Not Applicable         |
| Property Address:  | <b>64 GREENBROOK DR</b>             | Community: |                        |
| Legal Description: | PLAN 3960 W PT LOT H AT RIGHT ANGLE |            |                        |

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a second storey addition above of the existing one-storey portion of the dwelling and to extend the existing detached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.4 times the area of the lot.  
The altered dwelling will have a floor space index of 0.75 times the lot area.
- Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 7.(3)(f), By-law 1-83**  
The minimum required front yard setback is 18.95 m.  
**Section 7.(3)(a), By-law 3623-97**  
The minimum required front yard setback is 17.95 m.  
**Section 10.5.40.70.(1)(B), By-law 569-2013, Section 7.(3)(f), By-law 1-83 and Section 7.(3)(a), By-law 3623-97**  
The altered dwelling will be located 7.38 m from the front lot line.
- Section 10.20.40.70.(3)(E), By-law 569-2013**  
The minimum required side yard setback is 1.8 m.  
The altered dwelling will be located 1.45 m from the east side lot line and 1.67 m from the west side lot line.
- Section 10.5.40.60.(3)(A)(iii), By-law 569-2013**  
Exterior stairs providing access to a building or structure may encroach into a required minimum building setback provided that they are not closer to a lot line than 0.6 m.  
The proposed stairs will be located 0.25 m from the east side lot line.
- Section 10.5.60.10.(1), By-law 569-2013, Section 3.4.11.(a), By-law 1-83 and By-law 3623-97**  
An ancillary building or structure may not be located in the front yard.  
The altered ancillary building (detached garage) is located in the front yard.



The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Urban Forestry Ravine and Natural Feature Protection:

1. The applicant re-construct the garage in such a way to retain the existing 79cm and 93cm red oak to the satisfaction of RNFP.
2. Prior to the issuance of a demolition and/or building permit, the applicant must obtain an Injury Permit under Chapter 658 – Ravine and Natural Feature Protection. The permit will be subject to conditions including tree protection.
3. Prior to the issuance of a demolition and/or building permit, all trees not approved for removal must be protected according to the “City of Toronto Tree Protection Policy and Specifications for Construction near Trees” (<http://www.toronto.ca/trees/pdfs/TreeProtSpecs.pdf>) and to the satisfaction of Urban Forestry RNFP. The tree protection measures must be installed on site and approved by Urban Forestry RNFP prior to beginning any demolition or construction activities on the subject property.
4. Prior to the issuance of a demolition and/or building permit the applicant must install sediment control fencing to the satisfaction of RNFP. The installed sediment control fencing would have to remain in place and in good condition during construction and must not be altered or moved until authorised by RNFP.

## SIGNATURE PAGE

|                    |                                     |            |                        |
|--------------------|-------------------------------------|------------|------------------------|
| File Number:       | A0925/16EYK                         | Zoning     | RD & R1                |
| Owner:             | CARLOS TAVORA                       | Ward:      | York South-Weston (12) |
|                    | ISABEL TAVORA                       |            |                        |
| Agent:             | LIRO STUDIO                         | Heritage:  | Not Applicable         |
| Property Address:  | <b>64 GREENBROOK DR</b>             | Community: |                        |
| Legal Description: | PLAN 3960 W PT LOT H AT RIGHT ANGLE |            |                        |

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Allan Smithies (signed)

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Dominic Gulli (signed)

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Edwin (Ted) Shepherd  
(signed)

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Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle  
Manager & Deputy Secretary Treasurer  
Etobicoke York Panel

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Thursday, January 26, 2017

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

|                    |   |            |                |
|--------------------|---|------------|----------------|
| File Number:       | B0059/16EYK                                       | Zoning     | RM & R2        |
| Owner(s):          | HALTRO HOLDINGS INC.                              | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN                                    | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE</b>   | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1 |            |                |

Notice was given and the application considered on Thursday, January 26, 2017, as required by the Planning Act.

### THE CONSENT REQUESTED:

To obtain consent to sever the lot into six residential lots and to create various reciprocal easements/right-of-ways.

#### Retained - Part 1

##### Address to be assigned

The lot frontage along Harvie Avenue will be 6.7 m and the lot area will be 154.1 m<sup>2</sup>. The property will be developed as the site of a detached dwelling with an attached garage and will require variances to the Zoning By-law, as outlined in Application A0653/16EYK.

#### Conveyed - Parts 2 & 3

##### Address to be assigned

Parts 2 & 3 will have a combined lot frontage along Harvie Avenue of 6.2 m and a combined lot area of 142.4 m<sup>2</sup>.

The property will be developed as the site of a detached dwelling with an attached garage and will require variances to the Zoning By-law, as outlined in Application A0654/16EYK.

Part 3 has a lot area of 10.3 m<sup>2</sup> and will be subject to a reciprocal easement/right-of-way for the purpose of pedestrian access in favour of Parts 4 & 5.

#### Conveyed - Parts 4 & 5

##### Address to be assigned

Parts 4 & 5 will have a combined lot frontage along Harvie Avenue of 6.2 m and a combined lot area of 142.2 m<sup>2</sup>.

The property will be developed as the site of a detached dwelling with an attached garage and will require variances to the Zoning By-law, as outlined in Application A0655/16EYK.

Part 4 has a lot area of 10.3 m<sup>2</sup> and will be subject to a reciprocal easement/right-of-way for the purpose of pedestrian access in favour of Parts 2 & 3.

**Conveyed - Parts 6 & 7**

**Address to be assigned**

Parts 6 & 7 will have a combined lot frontage along Harvie Avenue of 6.2 m and a combined lot area of 142 m<sup>2</sup>.

The property will be developed as the site of a detached dwelling with an attached garage and will require variances to the Zoning By-law, as outlined in Application A0656/16EYK.

Part 7 has a lot area of 10.3 m<sup>2</sup> and will be subject to a reciprocal easement/right-of-way for the purpose of pedestrian access in favour of Parts 8 & 9.

**Conveyed - Parts 8 & 9**

**Address to be assigned**

Parts 8 & 9 will have a combined lot frontage along Harvie Avenue of 6.2 m and a combined lot area of 141.9 m<sup>2</sup>.

The property will be developed as the site of a detached dwelling with an attached garage and will require variances to the Zoning By-law, as outlined in Application A0657/16EYK.

Part 8 has a lot area of 10.3 m<sup>2</sup> and will be subject to a reciprocal easement/right-of-way for the purpose of pedestrian access in favour of Parts 6 & 7.

**Conveyed - Part 10**

**Address to be assigned**

The lot frontage along Harvie Avenue will be 6.56 m and the lot area will be 152 m<sup>2</sup>. The property will be developed as the site of a detached dwelling with an attached garage and will require variances to the Zoning By-law, as outlined in Application A0658/16EYK.

**File Numbers B0059/16EYK, A0653/16EYK, A0654/16EYK, A0655/16EYK, A0656/16EYK, A0657/16EYK & A0658/16EYK will be considered jointly.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Refused**

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division is premature.
- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

## SIGNATURE PAGE

|                    |   |            |                |
|--------------------|---|------------|----------------|
| File Number:       | B0059/16EYK                                       | Zoning     | RM & R2        |
| Owner(s):          | HALTRO HOLDINGS INC.                              | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN                                    | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE</b>   | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1 |            |                |

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Allan Smithies (signed)

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Dominic Gulli (signed)

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Edwin (Ted) Shepherd (signed)

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Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Thursday, February 23, 2017

CERTIFIED TRUE COPY

Susanne Pringle  
Manager & Deputy Secretary Treasurer  
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

**NOTE:** Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



Thursday, January 26, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

|                    |  |            |                |
|--------------------|--|------------|----------------|
| File Number:       | A0653/16EYK  | Zoning     | RM & R2        |
| Owner(s):          | HALTRO HOLDINGS INC.                                     | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN   | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE - PART 1</b> | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1        |            |                |

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with an attached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

1. **Section 900.6.10.(252)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The minimum required lot frontage is 8 m.  
The new lot frontage will be 6.7 m.
2. **Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The maximum permitted floor space index is 0.8 times the area of the lot (121.52 m<sup>2</sup>).  
The new dwelling will have a floor space index of 1.08 times the area of the lot (166.6 m<sup>2</sup>).
3. **Section 8.3.(a), By-law 1-83**  
The minimum required rear yard setback is 7.5 m.  
The new dwelling will be located 6.9 m from the rear lot line.
4. **Section 10.80.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback is 1.2 m.  
**Section 8.3.(a), By-law 1-83**  
The minimum required side yard setback is 1.2 m on one side and 0.5 m on the other side.  
**Section 10.80.40.70.(3)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The new dwelling will be located 0.88 m from the south side lot line and 0.6 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

|                    |  |            |                |
|--------------------|--|------------|----------------|
| File Number:       | A0653/16EYK  | Zoning     | RM & R2        |
| Owner:             | HALTRO HOLDINGS INC.                                     | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN   | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE - PART 1</b> | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1        |            |                |

\_\_\_\_\_  
Allan Smithies (signed)

\_\_\_\_\_  
Dominic Gulli (signed)

\_\_\_\_\_  
Edwin (Ted) Shepherd  
(signed)

\_\_\_\_\_  
Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle  
Manager & Deputy Secretary Treasurer  
Etobicoke York Panel

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Thursday, January 26, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

|                    |   |            |                |
|--------------------|---|------------|----------------|
| File Number:       | A0654/16EYK   | Zoning     | RM & R2        |
| Owner(s):          | HALTRO HOLDINGS INC.  | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN  | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE –<br/>PARTS 2 &amp; 3</b> | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1                     |            |                |

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with an attached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 900.6.10.(252)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The minimum required lot frontage is 8 m.  
The new lot frontage will be 6.2 m.
- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The maximum permitted floor space index is 0.8 times the area of the lot (113.36 m<sup>2</sup>).  
The new dwelling will have a floor space index of 1.09 times the area of the lot (155.1 m<sup>2</sup>).
- Section 10.80.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 6 m.  
The new dwelling will be located 3.1 m from the front lot line
- Section 8.3.(a), By-law 1-83**  
The minimum required rear yard setback is 7.5 m.  
The new dwelling will be located 7.2 m from the rear lot line.
- Section 10.80.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback is 1.2 m.  
**Section 8.3.(a), By-law 1-83**  
The minimum required side yard setback is 1.2 m on one side and 0.5 m on the other side.  
**Section 10.80.40.70.(3)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The new dwelling will be located 0.5 m from the south side lot line and 0.6 from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.



## SIGNATURE PAGE

|                    |   |            |                |
|--------------------|---|------------|----------------|
| File Number:       | A0654/16EYK   | Zoning     | RM & R2        |
| Owner:             | HALTRO HOLDINGS INC.  | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN  | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE –<br/>PARTS 2 &amp; 3</b> | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1                     |            |                |

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Allan Smithies (signed)

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Dominic Gulli (signed)

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Edwin (Ted) Shepherd  
(signed)

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Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle  
Manager & Deputy Secretary Treasurer  
Etobicoke York Panel

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Thursday, January 26, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

|                    |   |            |                |
|--------------------|---|------------|----------------|
| File Number:       | A0655/16EYK   | Zoning     | RM & R2        |
| Owner(s):          | HALTRO HOLDINGS INC.  | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN  | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE –<br/>PARTS 4 &amp; 5</b> | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1                     |            |                |

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with an attached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 900.6.10.(252)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The minimum required lot frontage is 8 m.  
The new lot frontage will be 6.2 m.
- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The maximum permitted floor space index is 0.8 times the area of the lot (113.36 m<sup>2</sup>).  
The new dwelling will have a floor space index of 1.09 times the area of the lot (155.1 m<sup>2</sup>).
- Section 10.80.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 6 m.  
The new dwelling will be located 3.1 m from the front lot line
- Section 8.3.(a), By-law 1-83**  
The minimum required rear yard setback is 7.5 m.  
The new dwelling will be located 7.2 m from the rear lot line.
- Section 10.80.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback is 1.2 m.  
**Section 8.3.(a), By-law 1-83**  
The minimum required side yard setback is 1.2 m on one side and 0.5 m on the other side.  
**Section 10.80.40.70.(3)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The new dwelling will be located 0.6 m from the south side lot line and 0.5 from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

|                    |   |            |                |
|--------------------|---|------------|----------------|
| File Number:       | A0655/16EYK   | Zoning     | RM & R2        |
| Owner:             | HALTRO HOLDINGS INC.  | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN  | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE –<br/>PARTS 4 &amp; 5</b> | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1                     |            |                |

\_\_\_\_\_  
Allan Smithies (signed)

\_\_\_\_\_  
Dominic Gulli (signed)

\_\_\_\_\_  
Edwin (Ted) Shepherd  
(signed)

\_\_\_\_\_  
Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle  
Manager & Deputy Secretary Treasurer  
Etobicoke York Panel

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Thursday, January 26, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

|                    |   |            |                |
|--------------------|---|------------|----------------|
| File Number:       | A0656/16EYK   | Zoning     | RM & R2        |
| Owner(s):          | HALTRO HOLDINGS INC.  | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN  | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE –<br/>PARTS 6 &amp; 7</b> | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1                     |            |                |

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with an attached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 900.6.10.(252)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The minimum required lot frontage is 8 m.  
The new lot frontage will be 6.2 m.
- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The maximum permitted floor space index is 0.8 times the area of the lot (113.36 m<sup>2</sup>).  
The new dwelling will have a floor space index of 1.09 times the area of the lot (155.1 m<sup>2</sup>).
- Section 10.80.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 6 m.  
The new dwelling will be located 3.1 m from the front lot line.
- Section 8.3.(a), By-law 1-83**  
The minimum required rear yard setback is 7.5 m.  
The new dwelling will be located 7.2 m from the rear lot line.
- Section 10.80.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback is 1.2 m.  
**Section 8.3.(a), By-law 1-83**  
The minimum required side yard setback is 1.2 m on one side and 0.5 m on the other side.  
**Section 10.80.40.70.(3)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The new dwelling will be located 0.5 m from the south side lot line and 0.6 from the north side lot line.



The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

|                    |   |            |                |
|--------------------|---|------------|----------------|
| File Number:       | A0656/16EYK   | Zoning     | RM & R2        |
| Owner:             | HALTRO HOLDINGS INC.  | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN  | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE –<br/>PARTS 6 &amp; 7</b> | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1                     |            |                |

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Allan Smithies (signed)

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Dominic Gulli (signed)

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Edwin (Ted) Shepherd  
(signed)

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Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle  
Manager & Deputy Secretary Treasurer  
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

Thursday, January 26, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

|                    |   |            |                |
|--------------------|---|------------|----------------|
| File Number:       | A0657/16EYK   | Zoning     | RM & R2        |
| Owner(s):          | HALTRO HOLDINGS INC.  | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN  | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE –<br/>PARTS 8 &amp; 9</b> | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1                     |            |                |

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with an attached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 900.6.10.(252)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The minimum required lot frontage is 8 m.  
The new lot frontage will be 6.2 m.
- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The maximum permitted floor space index is 0.8 times the area of the lot (113.36 m<sup>2</sup>).  
The new dwelling will have a floor space index of 1.09 times the area of the lot (155.1 m<sup>2</sup>).
- Section 10.80.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 6 m.  
The new dwelling will be located 3.1 m from the front lot line.
- Section 8.3.(a), By-law 1-83**  
The minimum required rear yard setback is 7.5 m.  
The new dwelling will be located 7.2 m from the rear lot line.
- Section 10.80.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback is 1.2 m.  
**Section 8.3.(a), By-law 1-83**  
The minimum required side yard setback is 1.2 m on one side and 0.5 m on the other side.  
**Section 10.80.40.70.(3)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The new dwelling will be located 0.6 m from the south side lot line and 0.5 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

|                    |   |            |                |
|--------------------|---|------------|----------------|
| File Number:       | A0657/16EYK   | Zoning     | RM & R2        |
| Owner:             | HALTRO HOLDINGS INC.  | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN  | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE –<br/>PARTS 8 &amp; 9</b> | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1                     |            |                |

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Allan Smithies (signed)

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Dominic Gulli (signed)

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Edwin (Ted) Shepherd  
(signed)

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Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle  
Manager & Deputy Secretary Treasurer  
Etobicoke York Panel

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Thursday, January 26, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

|                    |   |            |                |
|--------------------|---|------------|----------------|
| File Number:       | A0658/16EYK   | Zoning     | RM & R2        |
| Owner(s):          | HALTRO HOLDINGS INC.                                      | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN  | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE – PART 10</b> | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1         |            |                |

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling with an attached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 900.6.10.(252)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The minimum required lot frontage is 8 m.  
The new lot frontage will be 6.56 m.
- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The maximum permitted floor space index is 0.8 times the area of the lot (121.28 m<sup>2</sup>).  
The new dwelling will have a floor space index of 1.09 times the area of the lot (165.6 m<sup>2</sup>).
- Section 10.80.40.70.(1), By-law 569-2013 and Section 8.3.(b), By-law 1-83**  
The minimum required front yard setback is 6 m.  
**Section 10.80.40.70.(1), By-law 569-2013**  
The new dwelling will be located 3.1 m from the front lot line  
**Section 8.3.(b), By-law 1-83**  
The new dwelling will be located 2.35 m from the front lot line
- Section 10.80.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback is 1.2 m.  
**Section 8.3.(a), By-law 1-83**  
The minimum required side yard setback is 1.2 m on one side and 0.5 m on the other side.  
**Section 10.80.40.70.(3)(A), By-law 569-2013 and Section 8.3.(a), By-law 1-83**  
The new dwelling will be located 0.6 m from the south side lot line and 0.65 m from the north side lot line.
- Section 8.3.(a), By-law 1-83**  
The minimum required rear yard setback is 7.5 m.  
The new dwelling will be located 6.75 m from the rear lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

|                    |   |            |                |
|--------------------|---|------------|----------------|
| File Number:       | A0658/16EYK   | Zoning     | RM & R2        |
| Owner:             | HALTRO HOLDINGS INC.                                      | Ward:      | Davenport (17) |
| Agent:             | WILLIAM HOLMAN  | Heritage:  | Not Applicable |
| Property Address:  | <b>609 HARVIE AVE &amp; 25<br/>THORNTON AVE – PART 10</b> | Community: |                |
| Legal Description: | PLAN 1530 LOTS 306 AND 307 AND RP 66R22139 PART 1         |            |                |

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Allan Smithies (signed)

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Dominic Gulli (signed)

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Edwin (Ted) Shepherd  
(signed)

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Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle  
Manager & Deputy Secretary Treasurer  
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).



Thursday, January 26, 2017

**NOTICE OF DECISION**  
**CONSENT**  
**(Section 53 of the Planning Act)**

|                    |  |            |                        |
|--------------------|--|------------|------------------------|
| File Number:       | B0079/16EYK                                  | Zoning     | I2 & D1                |
| Owner(s):          | LAN CHI LE                                   | Ward:      | York South-Weston (11) |
| Agent:             | MINA R KHALIL GARFINKLE,<br>BIDERMANN LLP    | Heritage:  | Not Applicable         |
| Property Address:  | <b>58 JUNCTION RD &amp; 453<br/>KEELE ST</b> | Community: |                        |
| Legal Description: | PLAN 840 PT LOT 29                           |            |                        |

Notice was given and the application considered on Thursday, January 26, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

To obtain consent to the technical severance of the property for the purpose of re-establishing two separate lots.

**Retained - Part 1**

**453 Keele Street**

Part 1 has a lot frontage of 10.97 m and a lot area of 234 m<sup>2</sup>. The existing industrial building will be maintained.

**Conveyed - Part 2**

**58 Junction Road**

Part 2 has a lot frontage of 15.24 m and a lot area of 167.1 m<sup>2</sup>. The existing industrial building will be maintained.

The Deputy Secretary-Treasurer, considered the written submissions relating to the application prior to making the decision. In so doing, **IT WAS THE DECISION OF THE SECRETARY TREASURER THAT:**

**The Consent Application is Approved on Condition**

The Deputy Secretary-Treasurer has considered the provisions of Section 51(24) of the Planning Act, is satisfied that a plan of subdivision is not necessary for the proper and orderly development of the municipality and therefore consents to the requested transaction, pursuant to subsection 53(42) of the Planning Act, **subject to the following conditions:**

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.

2. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
3. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
4. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
5. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
  - 5.1 Submit a revised Survey Plan illustrating the following conditions:
    - a. Provide curb lines of Keele Street and Junction Road including the existing sidewalk location adjacent to the existing northeast signalized intersection of Keele Street and Junction Road;
    - b. Illustrate the existing iron fence that is located along the Junction Road frontage for the existing 453 Keele Street property, which will be removed;
    - c. Relocate the existing waste bins that are located on the 58 Junction Road municipal boulevard within private property; and
    - d. Illustrate the existing canopy of the 453 Keele Street's window well that extends into the Keele Street right-of-way, which will be removed
  - 5.2 The applicant shall submit a revised scalable drawing in metric unit that illustrates the above Conditions, a through d above, at no expense to the City
6. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

## SIGNATURE PAGE

|                    |  |            |                        |
|--------------------|--|------------|------------------------|
| File Number:       | B0079/16EYK                                  | Zoning     | I2 & D1                |
| Owner(s):          | LAN CHI LE                                   | Ward:      | York South-Weston (11) |
| Agent:             | MINA R KHALIL GARFINKLE,<br>BIDERMAN LLP     | Heritage:  | Not Applicable         |
| Property Address:  | <b>58 JUNCTION RD &amp; 453<br/>KEELE ST</b> | Community: |                        |
| Legal Description: | PLAN 840 PT LOT 29                           |            |                        |

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Thursday, February 23, 2017

CERTIFIED TRUE COPY

Susanne Pringle  
Manager & Deputy Secretary Treasurer  
Etobicoke York Panel

This ..... day of ....., 2017

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**NOTE:** Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.