

Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0322/17EYK	Zoning	RD & R2
Owner(s):	YUJIE BI	Ward:	Etobicoke Centre (03)
Agent:	HVACR ENGINEERING CO	Heritage:	Not Applicable
Property Address:	29 MILLBURN DR	Community:	

Legal Description: PLAN 5057 LOT 13

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing the following: a one-storey east side garage addition, a second storey addition with front and rear balconies, a partial third floor addition, a front yard porch, and a rear yard deck with a basement walk-out.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 320-59.(C)**
The maximum permitted lot coverage is 33% of the lot area.
The altered dwelling will cover 35% of the lot area.
- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (250.84 m²).
Section 10.20.40.40.(1)(A), By-law 569-2013
The altered dwelling will have a floor space index of 0.63 times the area of the lot (352.75 m²).
Section 320-42.1.A.(1)
The altered dwelling will have a floor space index of 0.68 times the area of the lot.
- Section 320-42.1.B.(2)**
The maximum permitted height for a flat roofed dwelling is 6.5 m.
The altered dwelling will have flat roof height of 9.06 m.
- Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey of a detached house is 4 m².
The proposed second storey front balcony will have an area of 8.92 m² and the proposed second storey rear balcony will have an area of 13.4 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. A privacy screen measuring 1.8 m in height above the surface of the deck, shall be provided along the east and west sides of the deck, to the satisfaction of the Director, Community Planning, Etobicoke-York District.

SIGNATURE PAGE

File Number:	A0322/17EYK	Zoning	RD & R2
Owner:	YUJIE BI	Ward:	Etobicoke Centre (03)
Agent:	HVACR ENGINEERING CO	Heritage:	Not Applicable
Property Address:	29 MILLBURN DR	Community:	
Legal Description:	PLAN 5057 LOT 13		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, June 29, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0365/17EYK	Zoning	RM & RM1
Owner(s):	DEANNE ELIZABETH DECKER MICHAEL SAUNDERS FONG	Ward:	Etobicoke-Lakeshore (06)
Agent:	SIMON WEST	Heritage:	Not Applicable
Property Address:	31 FAIRFIELD AVE	Community:	

Legal Description: PLAN 1571 PT LOT 163

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10(2)(D)(i), By-law 569-2013**
The maximum permitted floor space index is 0.35 times the lot area (91.85 m²).
The altered dwelling will have a floor space index of 0.63 times the lot area (166.35 m²).
- Section 900.6.10(2)(F), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.73 m from the east side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0365/17EYK	Zoning	RM & RM1
Owner:	DEANNE ELIZABETH DECKER	Ward:	Etobicoke-Lakeshore (06)
Agent:	MICHAEL SAUNDERS FONG SIMON WEST	Heritage:	Not Applicable
Property Address:	31 FAIRFIELD AVE	Community:	
Legal Description:	PLAN 1571 PT LOT 163		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0368/17EYK	Zoning	RD
Owner(s):	VERA KOSTUK	Ward:	Etobicoke-Lakeshore (05)
Agent:	CULMONE AND ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	76 DUNEDIN DR	Community:	

Legal Description: PLAN 1733 N PT LOT 44 PT BLK B

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with a detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 33% of the lot area (140.83 m²).
The new dwelling will cover 37.64% of the lot area (160.65 m²).
- Section 900.3.10.(35)(A), By-law 569-2013**
The maximum permitted gross floor area of a detached dwelling, including an attached or detached garage, is 150 m² plus 25% of the lot area (256.68 m²) up to a maximum floor space index of 0.5 (213.38 m²).
The new dwelling will have a gross floor area of 150 m² plus 30% of the lot area (278.98 m²) with a floor space index of 0.65 (278.98 m²).
- Section 10.5.100.1.(1)(C), By-law 569-2013**
The maximum permitted driveway width is 2.6 m.
The proposed driveway will have a width of 4.1 m at its widest point.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The site plan must be revised to illustrate the proposed driveway and curb cut within the abutting Dunedin Drive municipal boulevard, and any removal of the redundant portions of the existing driveway and restoration of the redundant curb cut with raised concrete curb in accordance to City of Toronto Design Standard No. T-310.050-1 and T-310.010-4;
 - 3.2 The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 3.3 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;
 - 3.4 The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits for work within the public road allowance from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0368/17EYK	Zoning	RD
Owner:	VERA KOSTUK	Ward:	Etobicoke-Lakeshore (05)
Agent:	CULMONE AND ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	76 DUNEDIN DR	Community:	
Legal Description:	PLAN 1733 N PT LOT 44 PT BLK B		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

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Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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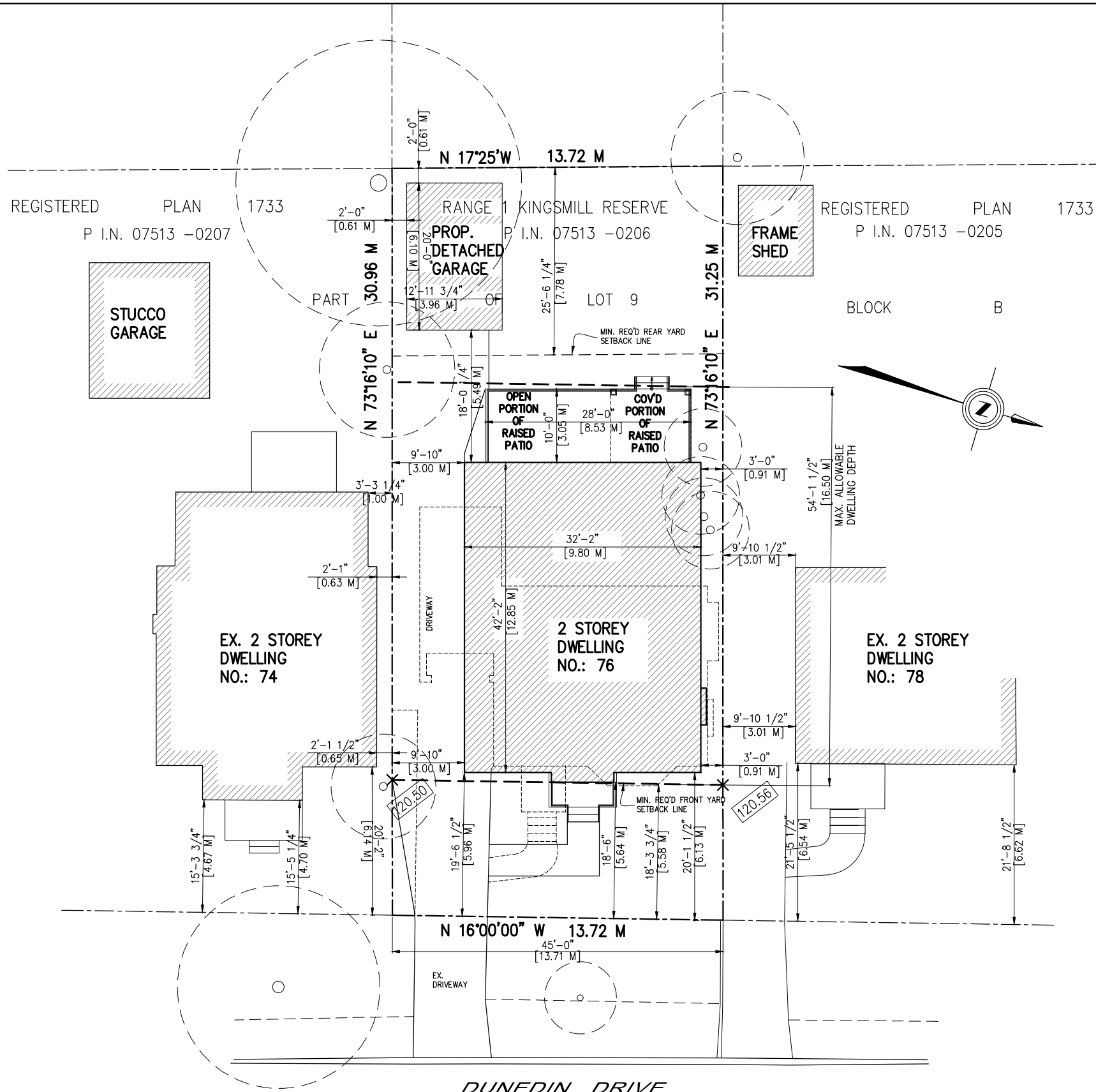
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M:\2017\76 DUNEDIN DRIVE\PRELIMINARY DESIGN\76 DUNEDIN DRIVE-C66A-APR. 18.2017.dwg, 20/04/2017 3:41:47 PM, DWG To PDF.pc3



1 SITE PLAN
A1 SCALE: 1:200

ZONING

ZONING BY-LAW	RD (f13.5; a510; d0.45) (x35)
CITY WIDE ZONING	4592.87 SQ.FT (426.7 SQ.M.)
LOT AREA	33.0% OF LOT=140.8 SQ.M.
MAX. COVERAGE	150+25.00% OF LOT AREA
ALLOWABLE G.F.A.	2762.97 SQ.FT (256.68 SQ.M.)
	[INCLUDING GARAGE]
	MAXIMUM FLOOR SPACE INDEX OF 0.5
ETOBICOKE ZONING	R2, 1993-108
LOT AREA	4592.87 SQ.FT (426.7 SQ.M.)
MAX. COVERAGE	33.0% OF LOT=140.8 SQ.M.
ALLOWABLE G.F.A.	150+25.00% OF LOT AREA
	2762.97 SQ.FT (256.68 SQ.M.)
	[INCLUDING GARAGE]
	MAXIMUM FLOOR SPACE INDEX OF 0.5

SITE STATISTICS

LOT COVERAGE:	
MAIN HOUSE:	32.25%, 1481.34 SQ.FT. [137.62 SQ.M.]
GARAGE AREA:	5.66%, 260.00 SQ.FT. [24.15 SQ.M.]
TOTAL COVERAGE:	37.91%, 1741.34 SQ.FT. [161.77 SQ.M.]
G.F.A.:	
GROUND FLOOR AREA:	1371.44 SQ.FT. [127.41 SQ.M.]
SECOND FLOOR AREA:	1371.44 SQ.FT. [127.41 SQ.M.]
GARAGE AREA:	260.00 SQ.FT. [24.15 SQ.M.]
TOTAL G.F.A.:	3002.88 SQ.FT. [278.97 SQ.M.]
	[150 SQ.M. + 30.23% OF LOT AREA]
	[F.S.I. OF 0.65]

FRONT YARD AREA CALCULATION:

FRONT YARD AREA:	876.91 SQ.FT. [81.47 SQ.M.]	100.00%
FRONT YARD LANDSCAPE AREA:	607.34 SQ.FT. [56.42 SQ.M.]	69.25%
HARD LANDSCAPED AREA:	77.96 SQ.FT. [7.24 SQ.M.]	12.83%
SOFT LANDSCAPED AREA:	529.38 SQ.FT. [49.18 SQ.M.]	87.17%
DRIVEWAY:	228.80 SQ.FT. [21.26 SQ.M.]	26.10%
PORCH:	40.77 SQ.FT. [3.79 SQ.M.]	4.65%

REAR YARD AREA CALCULATION:

REAR YARD AREA:	1807.17 SQ.FT. [167.89 SQ.M.]	100.00%
REAR YARD LANDSCAPED AREA:	1052.67 SQ.FT. [99.87 SQ.M.]	57.71%
HARD LANDSCAPED AREA:	0.00 SQ.FT. [0.00 SQ.M.]	0.00%
SOFT LANDSCAPED AREA:	1052.67 SQ.FT. [99.87 SQ.M.]	100.00%
GARAGE AREA:	260.00 SQ.FT. [24.15 SQ.M.]	14.38%
RAISED PATIO AREA:	287.91 SQ.FT. [26.75 SQ.M.]	15.93%
DRIVEWAY AREA:	216.59 SQ.FT. [20.12 SQ.M.]	11.98%

SCOPE OF WORK:

NEW CONSTRUCTION:	
PROPOSED NEW TWO-STORY DWELLING	2995.38 SQ.FT. [278.27 SQ.M.]
W/DETACHED GARAGE	

SITE INFO. TAKEN FROM:

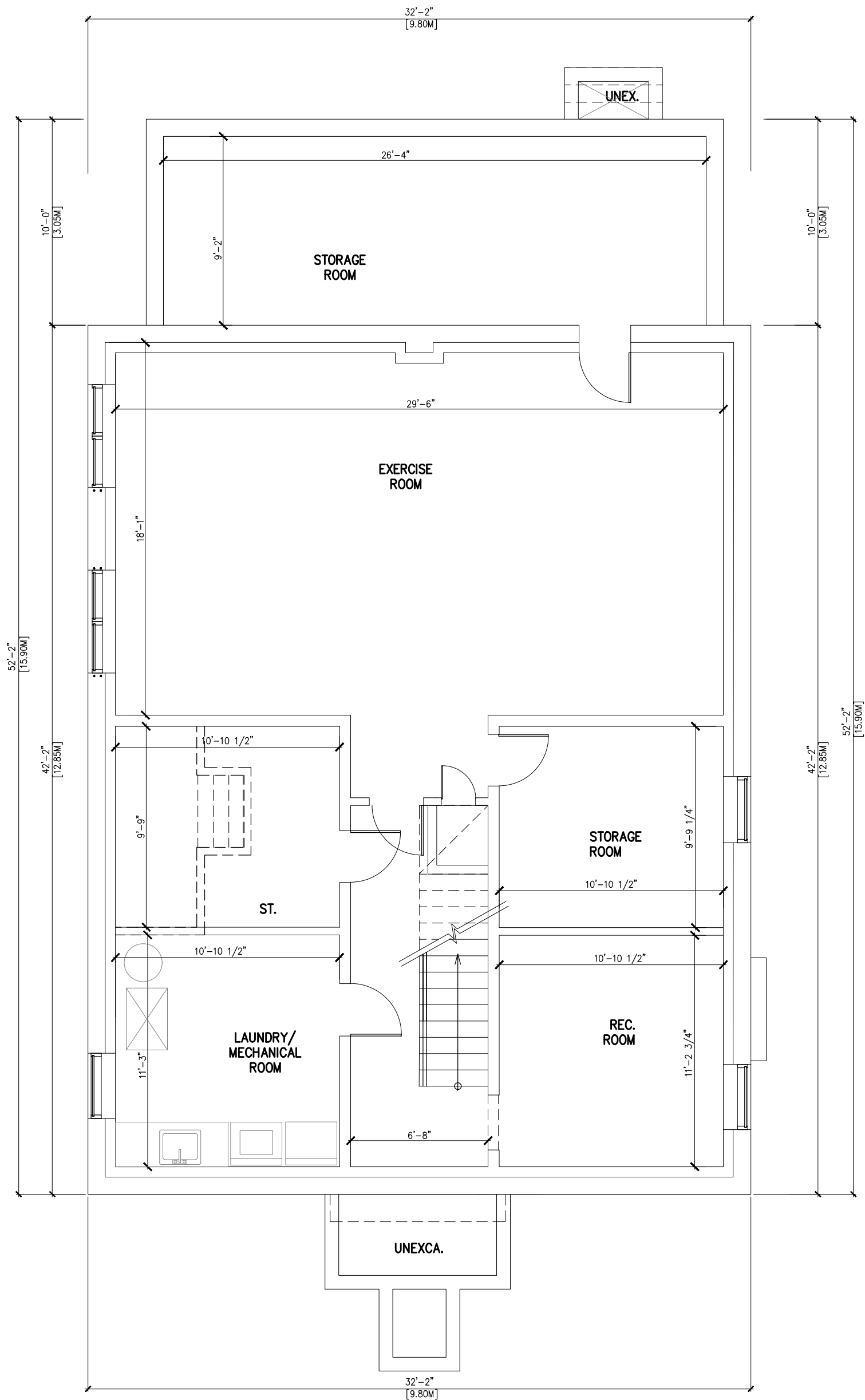
PLAN OF PART OF LOT 44 AND PART OF BLOCK B, REGISTERED PLAN 1733 & PART OF LOT 9, RANGE 1 KINGSMILL RESERVE, CITY OF TORONTO(FORMERLY CITY OF ETOBICOKE) PREPARED BY: GTA SURVEYING INC., O.L.S. DATED: DECEMBER 23, 2010.

4	ISSUED FOR ZC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

CHECKED BY:	JC
DRAWN BY:	PL
DATE:	JAN 24/2017
SCALE:	AS SHOWN
PROJECT NO.:	17-10
DRAWING NO.:	A1

PROJECT:
NEW HOUSE
76 DUNEDIN DRIVE
TORONTO, ONTARIO

CULMONE
& ASSOCIATES LTD.
200 EVANS AVE., SUITE 102, ETOBICOKE, ONTARIO
TEL: (416) 252-9861 or (416) 252-9867
FAX: (416) 252-1578, EMAIL: culmone@on.aibn.com



1 BASEMENT PLAN
A2 SCALE: 1:75

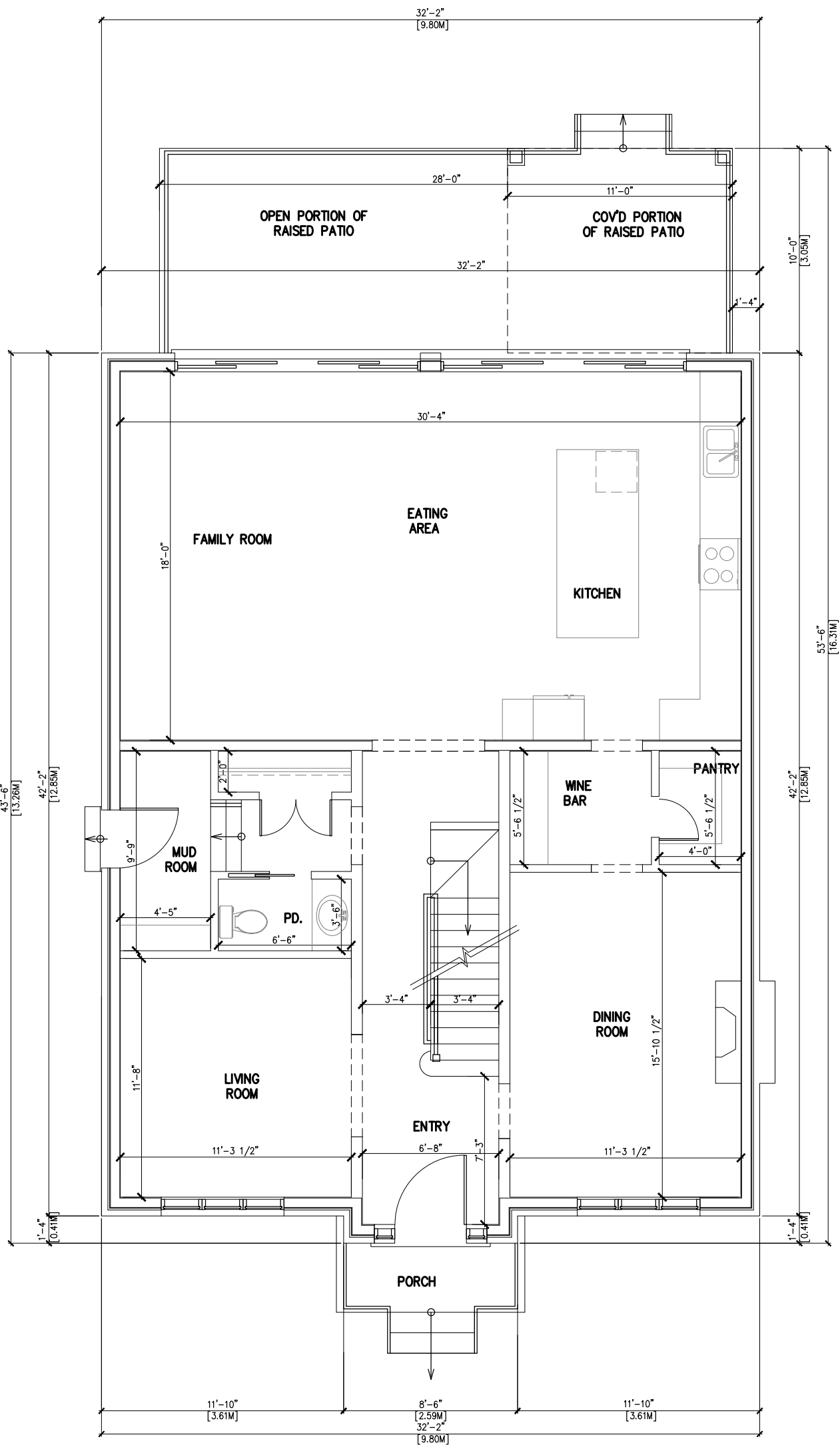
4	ISSUED FOR ZCC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

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PROJECT:
NEW HOUSE
76 DUNEDIN DRIVE
TORONTO, ONTARIO

DRAWN BY: PL	CHECKED BY: JC
DATE: JAN 24/2017	SCALE: AS SHOWN
PROJECT NO.: 17-10	DRAWING NO.: A2



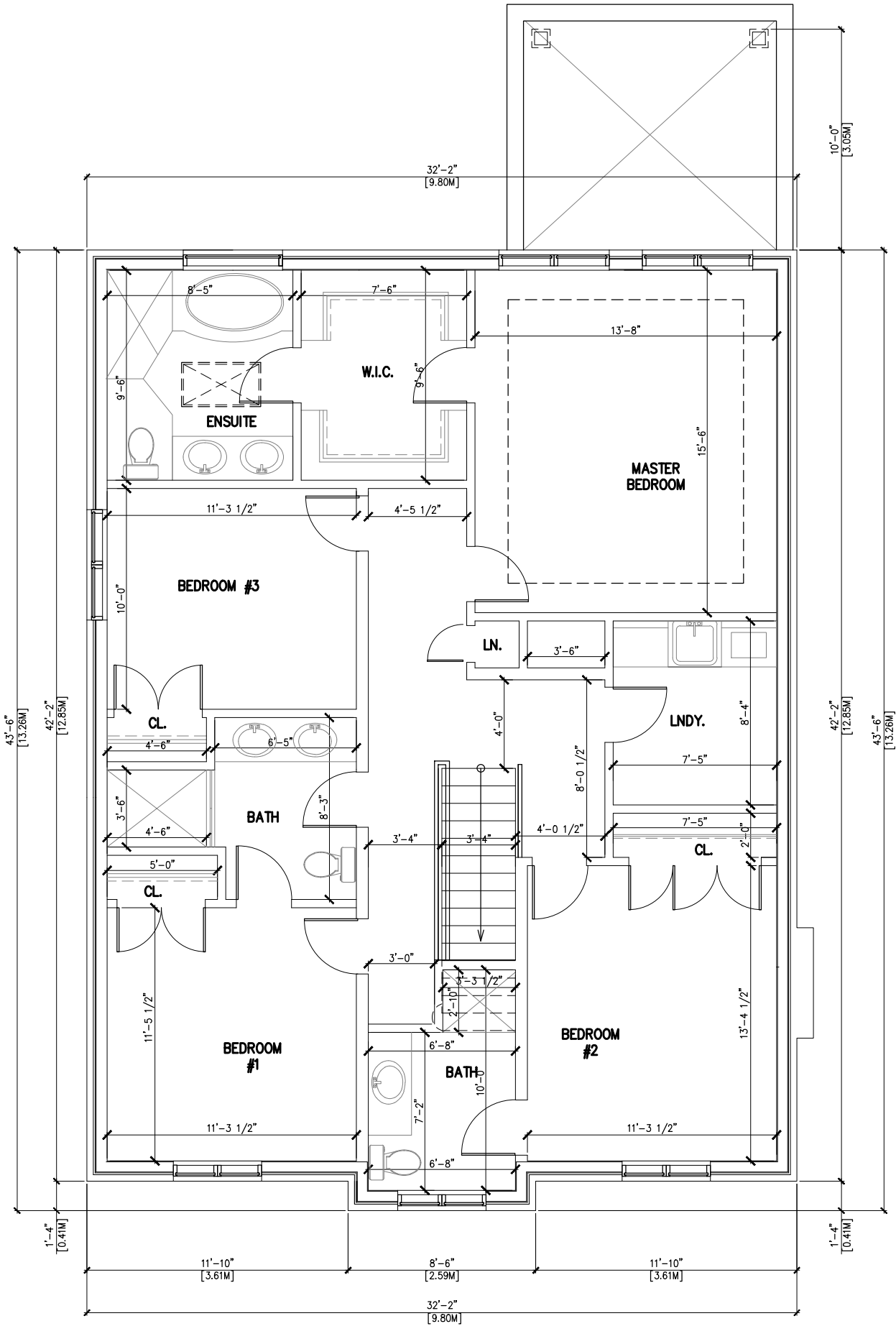
1 GROUND FLOOR PLAN
A3 SCALE: 1:75

4	ISSUED FOR ZCC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

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PROJECT:
NEW HOUSE
76 DUNEDIN DRIVE
TORONTO, ONTARIO

DRAWN BY: PL	CHECKED BY: JC
DATE: JAN 24/2017	SCALE: AS SHOWN
PROJECT NO.: 17-10	DRAWING NO.: A3



1 SECOND FLOOR PLAN
A4 SCALE: 1:75

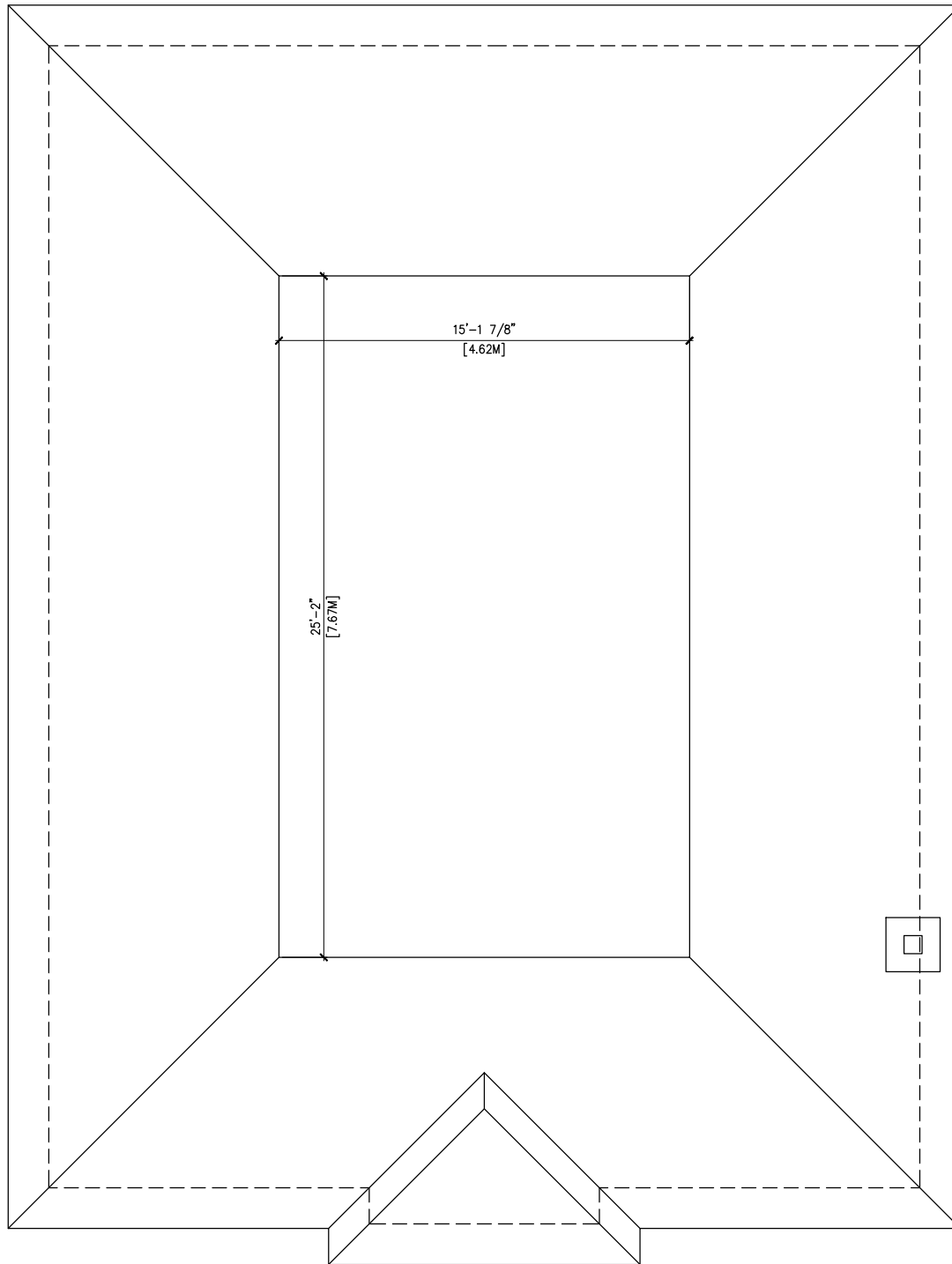
4	ISSUED FOR ZCC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

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PROJECT:
NEW HOUSE
76 DUNEDIN DRIVE
TORONTO, ONTARIO

DRAWN BY: PL	CHECKED BY: JC
DATE: JAN 24/2017	SCALE: AS SHOWN
PROJECT NO.: 17-10	DRAWING NO.: A4



FLAT ROOF AREA: 381.46 SQ.FT. [35.44 SQ.M.]
 SECOND FLOOR AREA: 1371.44 SQ.FT. [127.41 SQ.M.]
 PERCENTAGE OF FLAT ROOF AREA: 27.82%

1 ROOF PLAN
A5 SCALE: 1:75

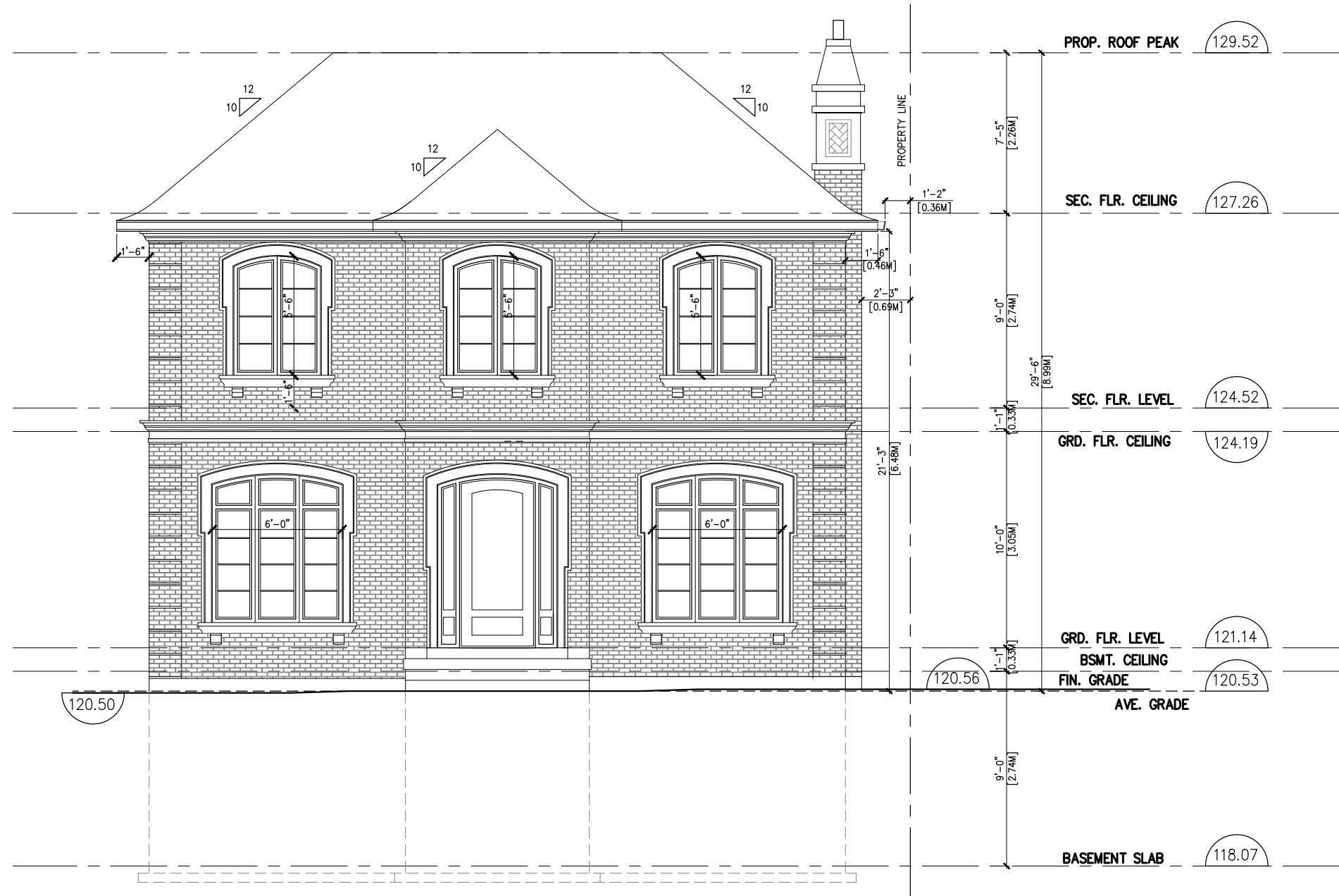
4	ISSUED FOR ZZC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

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PROJECT:
NEW HOUSE
76 DUNEDIN DRIVE
TORONTO, ONTARIO

DRAWN BY: PL	CHECKED BY: JC
DATE: JAN 24/2017	SCALE: AS SHOWN
PROJECT NO.: 17-10	DRAWING NO.: A5

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1 EAST ELEVATION
A6 SCALE: 1:75

4	ISSUED FOR ZC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

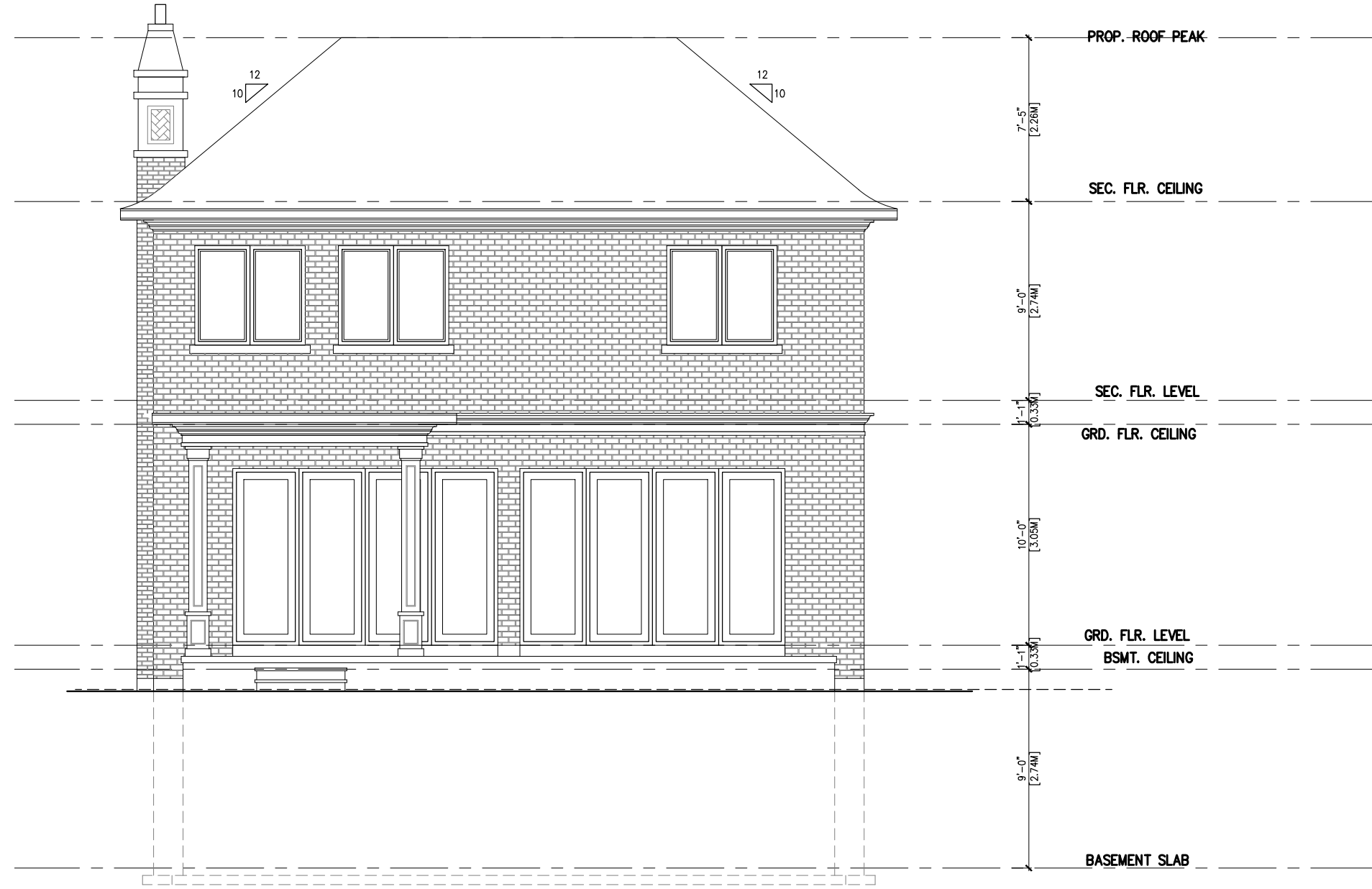
DRAWN BY:	PL	CHECKED BY:	JC
DATE:	JAN 24/2017	SCALE:	AS SHOWN
PROJECT NO.:	17-10	DRAWING NO.:	A6

PROJECT:
NEW HOUSE
76 DUNEDIN DRIVE
TORONTO, ONTARIO

CULMONE
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1 WEST ELEVATION
A7 SCALE: 1:75

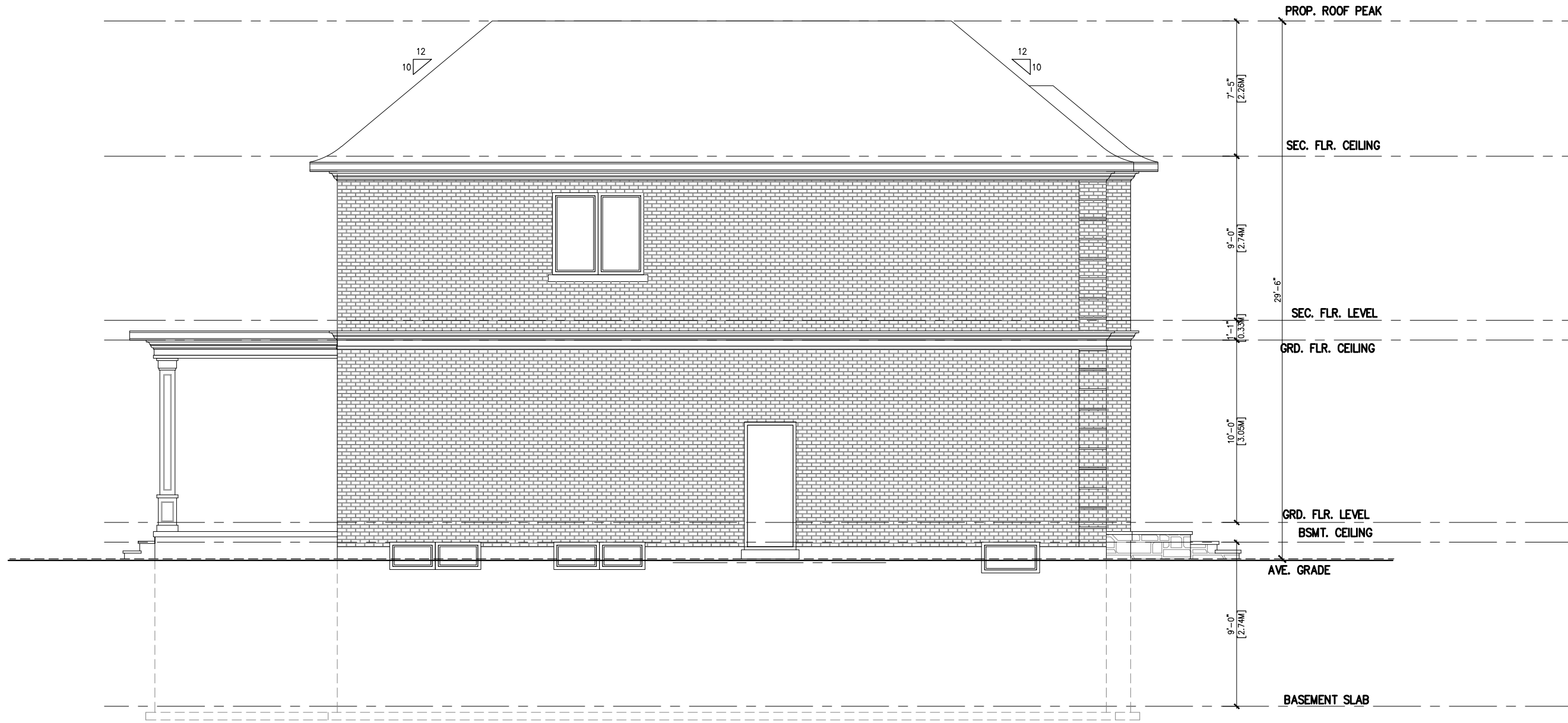
4	ISSUED FOR ZC	03/27/2017
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2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

DRAWN BY: PL	CHECKED BY: JC
DATE: JAN 24/2017	SCALE: AS SHOWN
PROJECT NO.: 17-10	DRAWING NO.: A7

PROJECT:
NEW HOUSE
76 DUNEDIN DRIVE
TORONTO, ONTARIO

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1 SOUTH ELEVATION
A8 SCALE: 1:75

4	ISSUED FOR ZC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

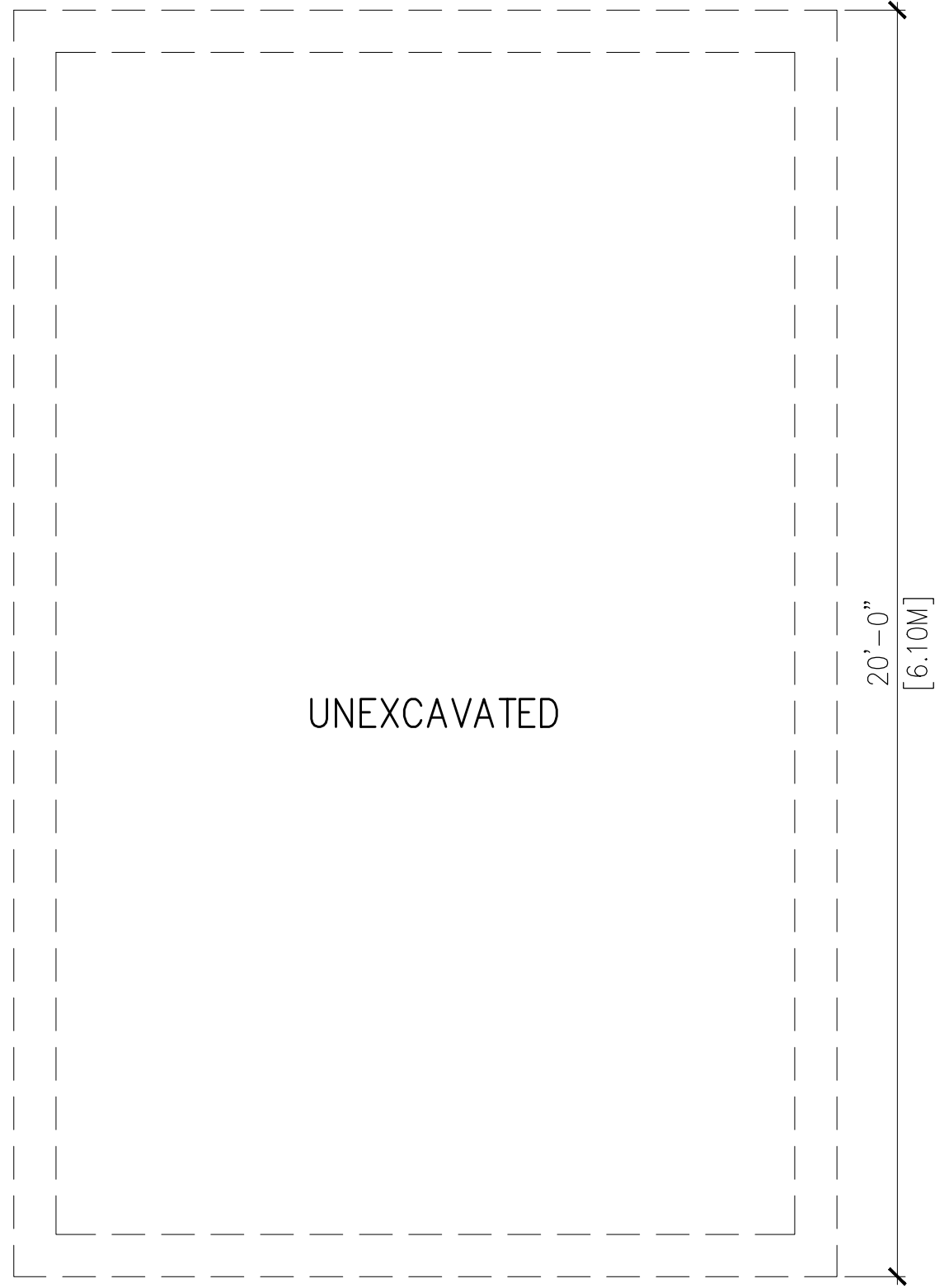
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DATE:	JAN 24/2017	SCALE:	AS SHOWN
PROJECT NO.:	17-10	DRAWING NO.:	A8

PROJECT:
NEW HOUSE
76 DUNEDIN DRIVE
TORONTO, ONTARIO

CULMONE
& ASSOCIATES LTD.

200 EVANS AVE., SUITE 102, ETOBICOKE, ONTARIO
TEL: (416) 252-9861 or (416) 252-9867
FAX: (416) 252-1578, EMAIL: culmone@on.aibn.com

1 GARAGE: FOUNDATION PLAN
A12 SCALE: 1:30



4	ISSUED FOR ZC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

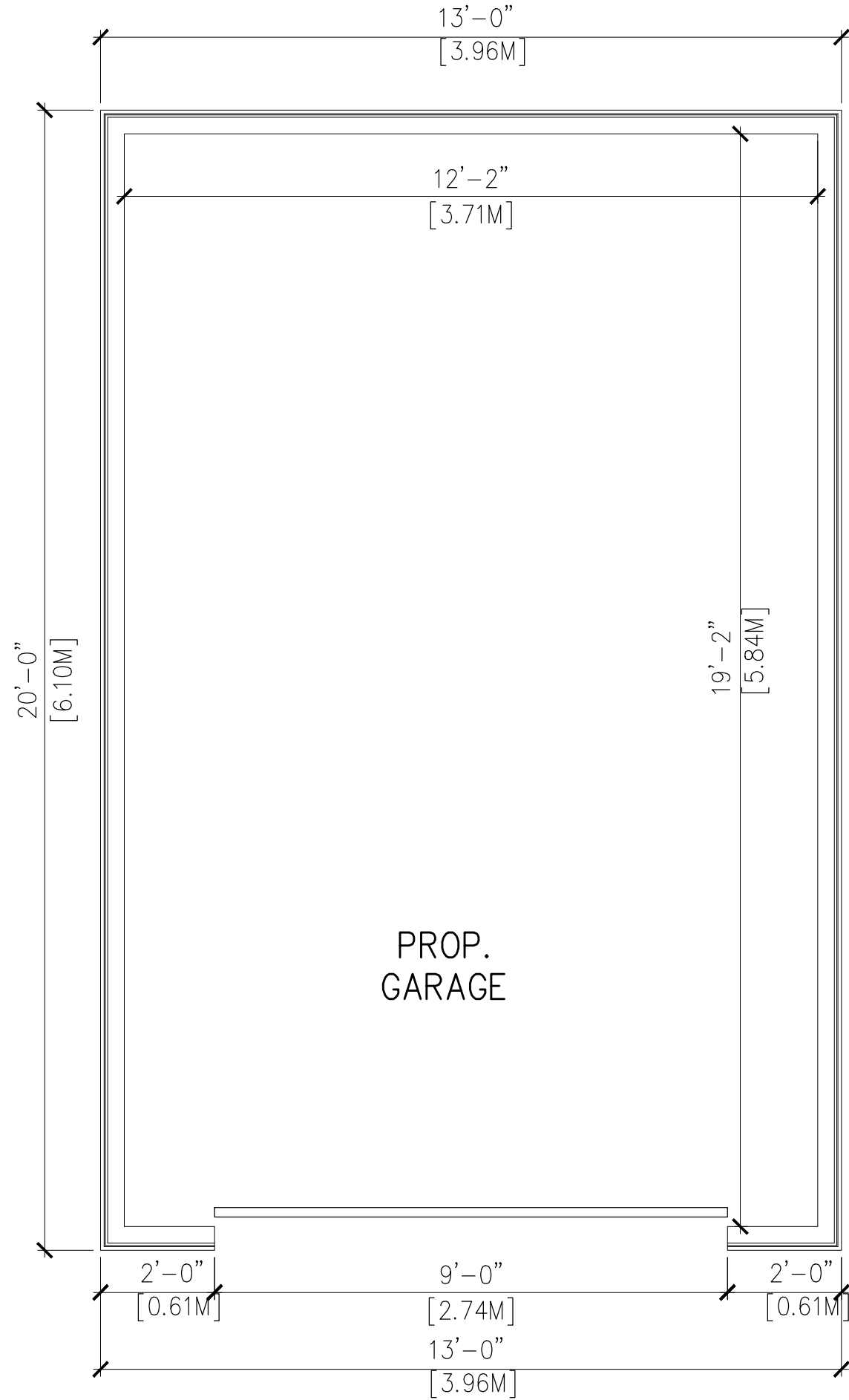
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PROJECT:
NEW HOUSE
76 DUNEDIN DRIVE
TORONTO, ONTARIO

DRAWN BY: PL	CHECKED BY: JC
DATE: JAN 24/2017	SCALE: AS SHOWN
PROJECT NO.: 17-10	DRAWING NO.: A12

1 GARAGE: GROUND FLOOR
A13 SCALE: 1:30



4	ISSUED FOR ZC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

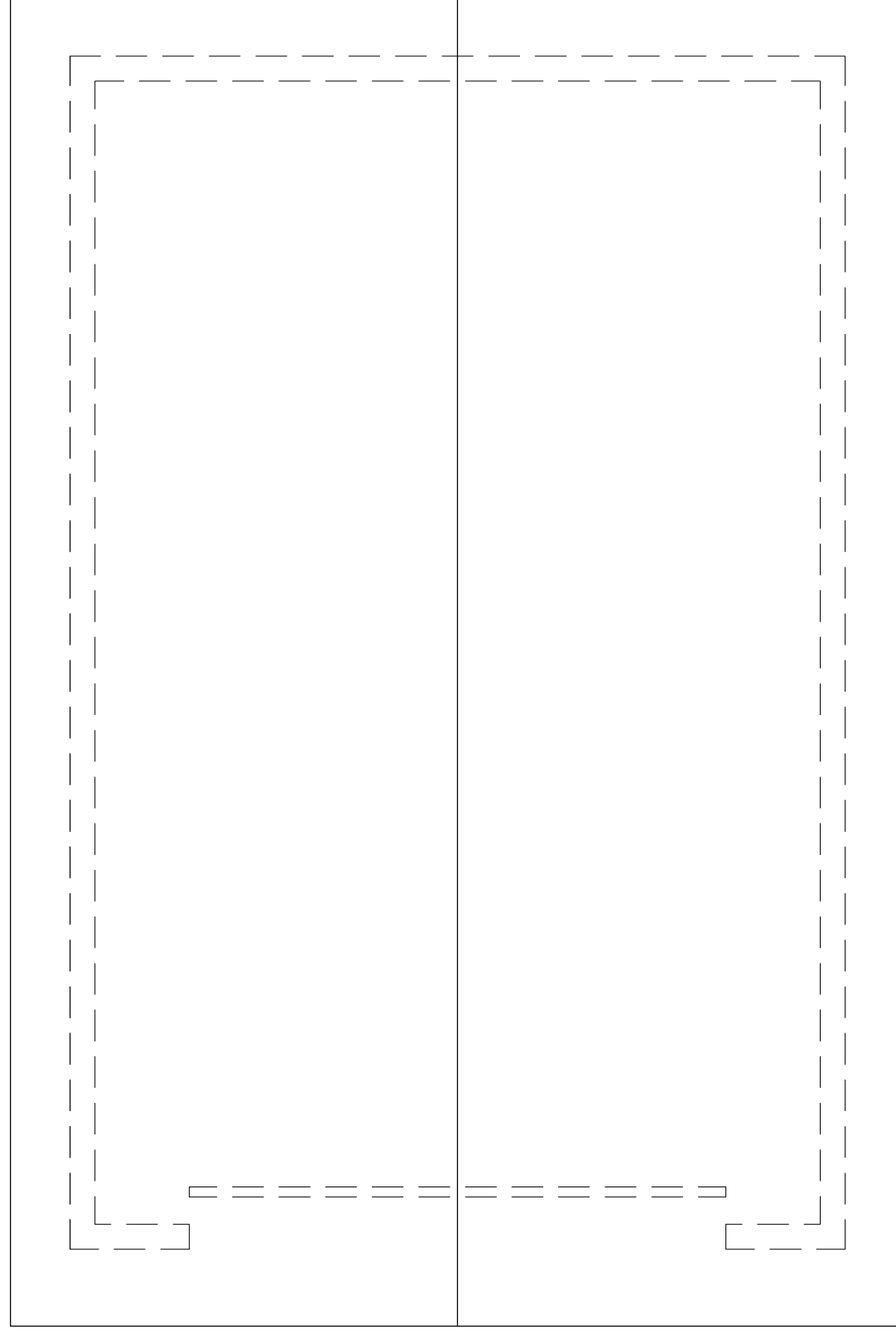
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 FAX: (416) 252-1578, EMAIL: culmone@on.aibn.com

PROJECT:
**NEW HOUSE
 76 DUNEDIN DRIVE
 TORONTO, ONTARIO**

DRAWN BY: PL
 DATE: JAN 24/2017
 PROJECT NO.: 17-10

CHECKED BY: JC
 SCALE: AS SHOWN
 DRAWING NO.: A13

1 GARAGE: ROOF PLAN
A14 SCALE: 1:30



4	ISSUED FOR ZC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

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& ASSOCIATES LTD.

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PROJECT:

NEW HOUSE
76 DUNEDIN DRIVE
TORONTO, ONTARIO

DRAWN BY: PL

DATE: JAN 24/2017

PROJECT NO.:

17-10

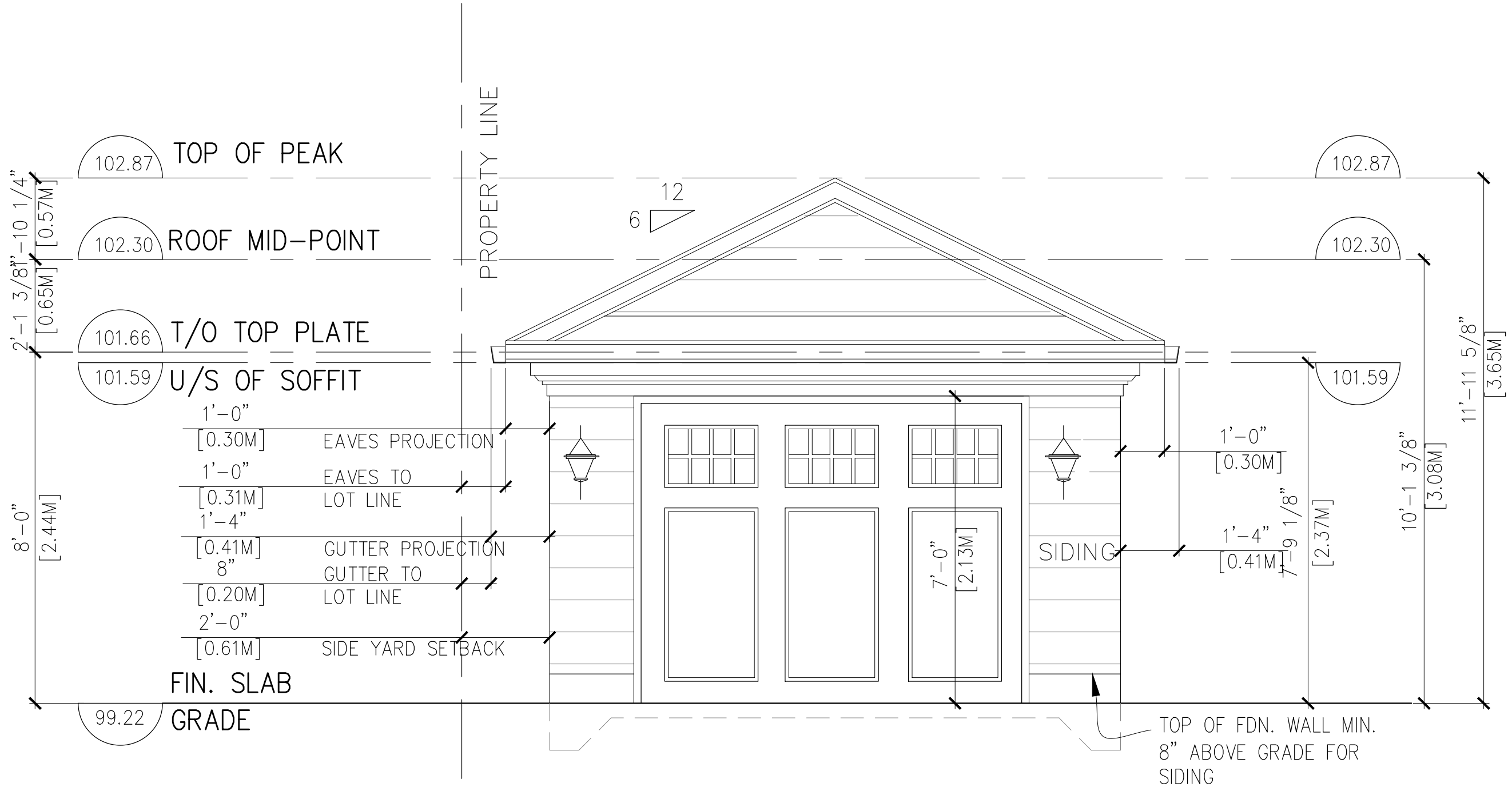
CHECKED BY: JC

SCALE: AS SHOWN

DRAWING NO.:

A14

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1 GARAGE: EAST ELEVATION
A15 SCALE: 1:30

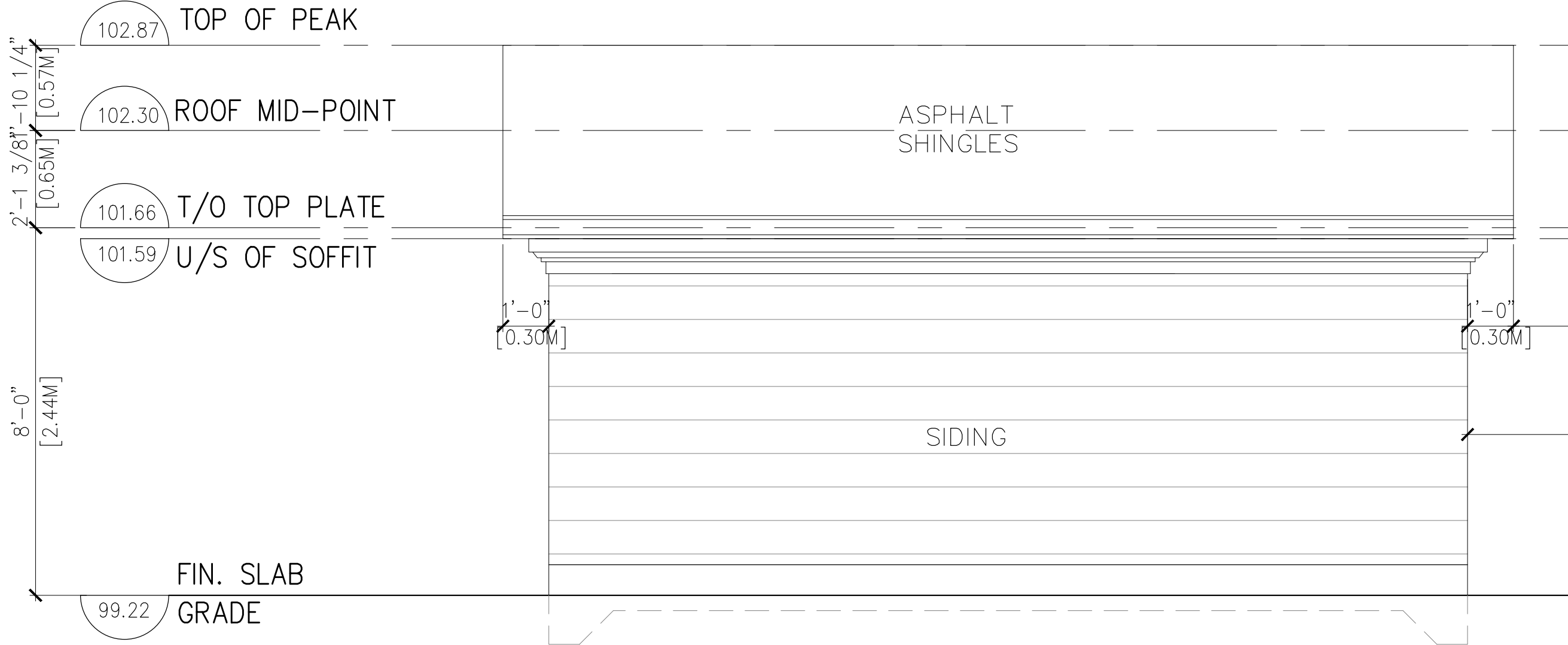
4	ISSUED FOR ZC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

DRAWN BY: PL	CHECKED BY: JC
DATE: JAN 24/2017	SCALE: AS SHOWN
PROJECT NO.: 17-10	DRAWING NO.: A15

PROJECT:
NEW HOUSE
76 DUNEDIN DRIVE
TORONTO, ONTARIO

CULMONE & ASSOCIATES LTD.
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1 GARAGE: NORTH ELEVATION
A16 SCALE: 1:30

4	ISSUED FOR ZC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

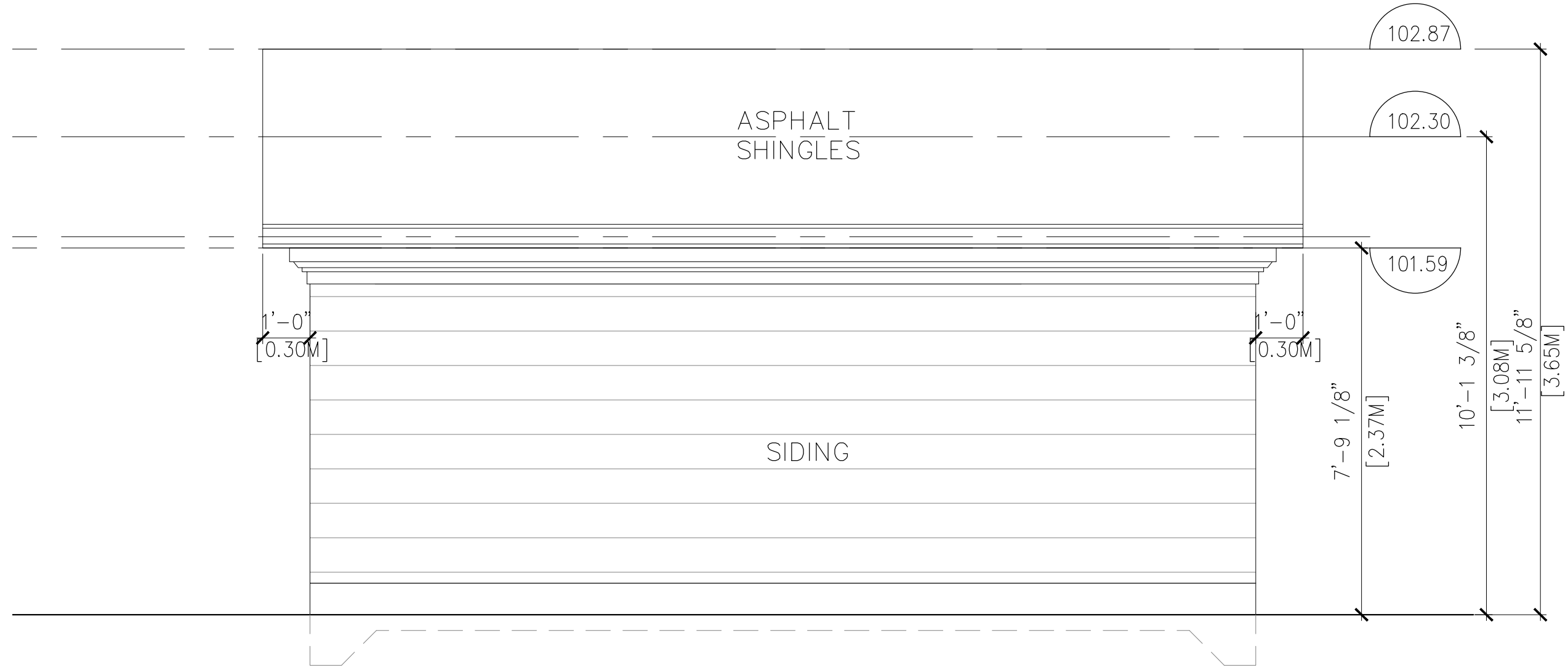
DRAWN BY: PL	CHECKED BY: JC
DATE: JAN 24/2017	SCALE: AS SHOWN
PROJECT NO.: 17-10	DRAWING NO.: A16

PROJECT:
 NEW HOUSE
 76 DUNEDIN DRIVE
 TORONTO, ONTARIO

CULMONE & ASSOCIATES LTD.
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 TEL: (416) 252-9861 or (416) 252-9867
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1 GARAGE: SOUTH ELEVATION
A17 SCALE: 1:30



4	ISSUED FOR ZC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

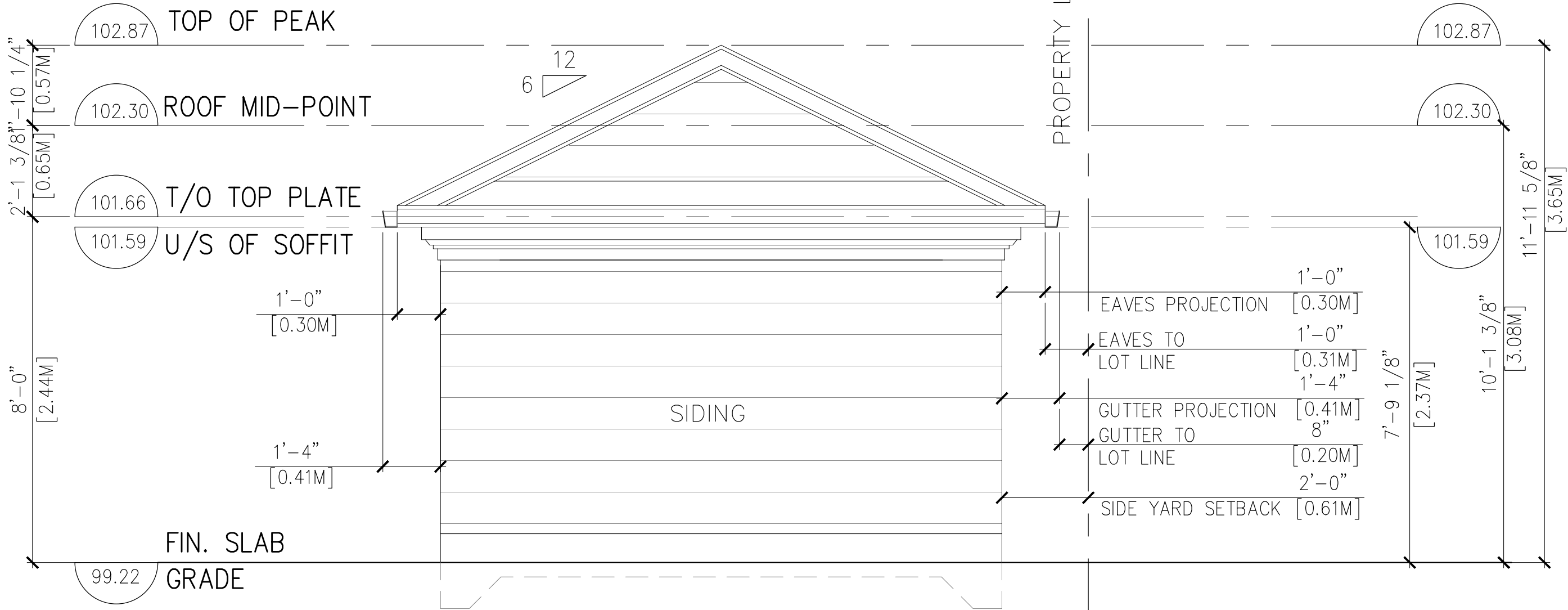
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PROJECT: NEW HOUSE
 76 DUNEDIN DRIVE
 TORONTO, ONTARIO

DRAWN BY: PL
 DATE: JAN 24/2017
 PROJECT NO.: 17-10

CHECKED BY: JC
 SCALE: AS SHOWN
 DRAWING NO.: A17

M:\2017\76 DUNEDIN DRIVE\PRELIMINARY DESIGN\76 DUNEDIN DRIVE-CofA-APR. 18 2017.dwg, 21/04/2017 2:43:39 PM, DWG To PDF.pcs3



1 GARAGE: WEST ELEVATION
A18 SCALE: 1:30

4	ISSUED FOR ZC	03/27/2017
3	ISSUED FOR REVIEW	02/28/2017
2	ISSUED FOR REVIEW	02/23/2017
1	ISSUED FOR REVIEW	01/24/2017

DRAWN BY:	PL	CHECKED BY:	JC
DATE:	JAN 24/2017	SCALE:	AS SHOWN
PROJECT NO.:	17-10	DRAWING NO.:	A18

PROJECT:
NEW HOUSE
76 DUNEDIN DRIVE
TORONTO, ONTARIO

CULMONE & ASSOCIATES LTD.
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 TEL: (416) 252-9861 or (416) 252-9867
 FAX: (416) 252-1578, EMAIL: culmone@on.aibn.com

Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0371/17EYK	Zoning	RD & R2
Owner(s):	TACCON INC	Ward:	Etobicoke-Lakeshore (05)
Agent:	TACCON INC	Heritage:	Not Applicable
Property Address:	82 GOVERNMENT RD	Community:	

Legal Description: PLAN 1326 PT BLK A

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To expand the existing second floor, to construct a new covered front porch and a two- storey rear addition which will include an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59(C)**
The maximum permitted lot coverage is 33% of the lot area (126.58 m²).
Section 10.20.30.40.(1)(A), By-law 569-2013
The altered dwelling will cover 36.8% of the lot area (141.08 m²).
Section 320-59(C)
The altered dwelling will cover 38.82% of the lot area (148.9 m²).
- Section 900.3.10.(35)(A), By-law 569-2013**
The maximum permitted gross floor area of a detached dwelling, including an attached or detached garage, is 150 m² plus 25% of the lot area (245.9 m²), with a floor space index of 0.5 (191.8 m²).
Section 1.a), By-law 1993-108
The maximum permitted gross floor area of a detached dwelling, including an attached or detached garage, is 150 m² plus 25% of the lot area (245.9 m²).
Section 900.3.10.(35)(A), By-law 569-2013 and Section 1.a), By-law 1993-108
The altered dwelling, including the attached garage, will have a gross floor area of 150 m² plus 28.74% of the lot area (260.25 m²), with a floor space index of 0.68 (260.85 m²).
- Section 10.5.40.70.(1)(A), By-law 569-2013 and Section 320-40.A(1)**
The minimum required front yard setback is 6.59 m.
The altered dwelling will be located 5.9 m from the front lot line.

4. **Section 320-40.D.(2)**
The maximum permitted projection of a porch into the required front yard is 0.91 m.
The proposed porch will project 0.95 m into the required front yard.
5. **Section 320-42.1.D.(1)**
The maximum permitted dwelling depth is 16.5 m. One-storey extensions beyond this limit may be permitted up to a maximum depth of 1.8 m, provided that the width of the extension is no more than 50% of the width of the dwelling and that it maintains the minimum required setback of 3 m.
The altered dwelling (one-storey extension) will be located 1.11 m from the east side lot line.
6. **Section 320-41.B.**
The minimum required side yard setback from a side lot line abutting a street is 5.39 m.
Section 10.20.40.70.(6)(A), By-law 569-2013 and Section 320-41.B.
The altered dwelling will be located 3.52 m from the west side lot line along Prince Edward Drive.
7. **Section 10.20.40.70.(2)(B), By-law 569-2013 and Section 320-42.A.**
The minimum required rear yard setback is 7.56 m.
The altered dwelling will be located 5.67 m from the rear lot line.
8. **Section 320-42.E**
The maximum permitted projection from the required rear yard is 1.6 m.
The proposed steps will encroach 2.65 m into the required rear yard setback.
9. **Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.B.(1)**
The maximum permitted building height is 9.5 m.
The altered dwelling will have a height of 9.82 m.
10. **Section 320-42.1.B.(2)**
The maximum permitted soffit/ eaves overhang height for a peaked roof dwelling is 6.5 m.
The altered dwelling will have a soffit/eaves overhang height of 6.97 m.
11. **Section 10.20.40.20.(2)(C), By-law 569-2013**
A detached house may extend beyond the permitted maximum building length by a maximum of 2 m if the extension is at least 3 m from each side lot line.
The proposed extension to the existing building will be located 1.11 m from the east side lot line.
12. **Section 10.5.80.10.(3), By-law 569-2013 and Section 320-44.A.**
A parking space may not be in a front or side yard abutting a street.
The proposed parking space is located in the side yard abutting Prince Edward Drive.
13. **Section 200.5.1.(3)(A), By-law 569-2013 and Section 320-18.A.(4)**
The minimum required access driveway width is 6 m in front of a parking space.
The proposed access driveway will have a width of 3.82 m in front of the proposed parking space.
14. **Section 320-41.F.(1)**
A minimum of 6 m must be provided in front of a garage door/wall facing a flanking street.
The garage door/wall will be located 3.82 m from the flanking street (Prince Edward Drive).
15. **Section 10.5.50.10.(2)(A), By-law 569-2013**
A minimum of 60% of the side yard abutting a street shall be maintained as landscaping.
A total of 54% of the side yard abutting a street will be maintained as landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0371/17EYK	Zoning	RD & R2
Owner:	TACCON INC	Ward:	Etobicoke-Lakeshore (05)
Agent:	TACCON INC	Heritage:	Not Applicable
Property Address:	82 GOVERNMENT RD	Community:	
Legal Description:	PLAN 1326 PT BLK A		

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0372/17EYK	Zoning	RD & R2
Owner(s):	SNEZANA PETROVIC VLADIMIR PETROVIC	Ward:	Etobicoke-Lakeshore (05)
Agent:	HUIS DESIGN STUDIO	Heritage:	Not Applicable
Property Address:	79 CRONIN DR	Community:	

Legal Description: PLAN 5614 LOT 42

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the existing carport into an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**Section 900.3.10.(21)(C), By-law 569-2013 and Section 1.b)(1), By-law 1992-23**

The maximum permitted gross floor area, including an attached or detached garage, is 135 m² plus 25% of the lot area (270.54 m²) provided that the maximum floor space index for the dwelling does not otherwise exceed 0.5 (271.08 m²).

The altered dwelling, including the attached garage, will have a gross floor area equal to 135 m² plus 30% of the lot area (300.05 m²) and will have a floor space index equal to 0.55 (300.05 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0372/17EYK	Zoning	RD & R2
Owner:	SNEZANA PETROVIC VLADIMIR PETROVIC	Ward:	Etobicoke-Lakeshore (05)
Agent:	HUIS DESIGN STUDIO	Heritage:	Not Applicable
Property Address:	79 CRONIN DR	Community:	
Legal Description:	PLAN 5614 LOT 42		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0379/17EYK	Zoning	RD & R2
Owner(s):	GIUSEPPE RODA	Ward:	Etobicoke-Lakeshore (05)
Agent:	GIUSEPPE RODA	Heritage:	Not Applicable
Property Address:	57 RENOWN RD	Community:	

Legal Description: PLAN 1602 LOT 117

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage and a new detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(37)(C), By-law 569-2013 and Section 1.(b)(1), By-law 1992-25**
The maximum permitted gross floor area, including an attached and/or detached garage is 150 m² plus 25% of the lot area (370.57 m²) with a maximum floor space index of 0.5 times the area of the lot (441.15 m²).
The proposed dwelling, including the attached and detached garage, will have a gross floor area of 150 m² plus 31% of the lot area (423.54 m²).
- Section 10.5.50.10.(1)(C), By-law 569-2013 and Section 320-42.9.C**
A minimum of 60% of the front yard shall be maintained as landscaping.
A total of 51.11% of the front yard will be maintained as landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0379/17EYK	Zoning	RD & R2
Owner:	GIUSEPPE RODA	Ward:	Etobicoke-Lakeshore (05)
Agent:	GIUSEPPE RODA	Heritage:	Not Applicable
Property Address:	57 RENOWN RD	Community:	
Legal Description:	PLAN 1602 LOT 117		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0382/17EYK	Zoning	RD & R1
Owner(s):	ELENI V K ALVES JOHN A P ALVES	Ward:	Etobicoke North (02)
Agent:	ESCALA DESIGNS INC	Heritage:	Not Applicable
Property Address:	25 WATERCLIFFE RD	Community:	

Legal Description: PLAN M673 LOT 258

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the area of the lot (257.01 m²)
The altered dwelling will have a floor space index of 0.46 times the area of the lot (260.69 m²)
- Section 10.20.40.70.(3)(D), By-law 569-2013**
The minimum required side yard setback is 1.5 m.
Section 320-42.1.C.(3)
The minimum required side yard setback is 1.5 m provided that the aggregate width of both side yards is 3.79 m.
Section 10.20.40.70.(3)(D), By-law 569-2013 & Section 320-42.1.C.(3)
The altered dwelling will be located 1.27 m from the east side lot line and 1.23 m from the west side lot line, and will have a total aggregate side yard width of 2.5 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0382/17EYK	Zoning	RD & R1
Owner:	ELENI V K ALVES JOHN A P ALVES	Ward:	Etobicoke North (02)
Agent:	ESCALA DESIGNS INC	Heritage:	Not Applicable
Property Address:	25 WATERCLIFFE RD	Community:	
Legal Description:	PLAN M673 LOT 258		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 29, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0385/17EYK	Zoning	RD & R2
Owner(s):	PAMELA ELIZABETH LEIPER MAURIZIO BATTISTUZZI	Ward:	Etobicoke-Lakeshore (05)
Agent:	CASALDOM ARCHITECT	Heritage:	Not Applicable
Property Address:	2 SUNNYLEA AVE E	Community:	

Legal Description: PLAN 1978 W PT LOT 7 W PT LOT 5

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey east side addition, a second storey addition above the existing dwelling and a new covered rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(42)(A)(i), By-law 569-2013**
The maximum permitted floor space index, including an attached or detached garage, is 0.5 times the lot area (232.2 m²).
The altered dwelling, including the attached garage, will have a floor space index of 0.58 times the lot area (267.3 m).
- Section 10.20.40.10.(1)(A), By-law 569-2013 & Section 320-42.1B(1)**
The maximum permitted height is 9.5 m.
The altered dwelling will have a height of 10 m.
- Section 320-42.1B(2)**
The maximum permitted soffit height is 6.5 m.
The soffit height of the proposed dwelling will be 7 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0385/17EYK	Zoning	RD & R2
Owner:	PAMELA ELIZABETH LEIPER MAURIZIO BATTISTUZZI	Ward:	Etobicoke-Lakeshore (05)
Agent:	CASALDOM ARCHITECT	Heritage:	Not Applicable
Property Address:	2 SUNNYLEA AVE E	Community:	
Legal Description:	PLAN 1978 W PT LOT 7 W PT LOT 5		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0391/17EYK	Zoning	RD & R2
Owner(s):	JIE PAN SHENG YE	Ward:	Etobicoke-Lakeshore (05)
Agent:	JIE PAN	Heritage:	Not Applicable
Property Address:	31 SAYBROOK AVE	Community:	

Legal Description: PLAN 4469 LOT 30

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C**
The maximum permitted lot coverage is 33% of the lot area (203.03 m²).
Section 10.20.30.40.(1)(A), By-law 569-2013
The new dwelling will cover 36.02% of the lot area (221.58 m²).
Section 320-59.C
The new dwelling will cover 38.7% of the lot area (238.09 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (276.85 m²).
Section 10.20.40.40.(1)(A), By-law 569-2013
The new dwelling will have a floor space index of 0.65 times the area of the lot (401.75 m²).
Section 320-42.1.A.(1)
The new dwelling will have a floor space index of 0.65 times the area of the lot (401.28 m²).

3. **Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9 m, providing the aggregate is not less than 2.1 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 320-42.1.C.(1)
The new dwelling will be located 0.91 m from the east and west side lot lines and will have a total aggregate side yard width of 1.82 m.
4. **Section 320-42.1.D.(1)**
The maximum permitted dwelling depth is 16.5 m.
The new dwelling will have a depth of 17.72 m.
5. **Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 7.24 m.
6. **Section 10.20.40.10.(2)(A), By-law 569-2013**
The maximum permitted height of the exterior portion of the main walls is 7 m.
The exterior portion of the main walls of the new dwelling will have a height of 7.24 m.
7. **Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey of a detached house is 4 m².
The proposed second storey front balcony will have an area of 4.22 m² and the proposed second storey rear balcony will have an area of 13.4 m².
8. **Section 10.5.50.10.(1)(C), By-law 569-2013 and Section 320-24.9.C.**
A minimum of 60% of the front yard shall be maintained as landscaping.
A total of 56.58% of the front yard will be maintained as landscaping.
9. **Section 320-41.C**
The minimum required distance for windows on the first storey to the side lot line is 1.2 m.
The proposed living room and kitchen/breakfast/dining (habitable rooms) have windows where the side yard for both sides will be located 0.91 m from the lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0391/17EYK	Zoning	RD & R2
Owner:	JIE PAN SHENG YE	Ward:	Etobicoke-Lakeshore (05)
Agent:	JIE PAN	Heritage:	Not Applicable
Property Address:	31 SAYBROOK AVE	Community:	
Legal Description:	PLAN 4469 LOT 30		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, June 29, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0395/17EYK	Zoning	CL
Owner(s):	2444536 ONTARIO INC.	Ward:	Etobicoke-Lakeshore (05)
Agent:	ALAN TREGEBOV	Heritage:	Not Applicable
Property Address:	324 PRINCE EDWARD DR S	Community:	

Legal Description: PLAN 2318 LOTS 1 & 2

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To make interior alterations to the existing mixed-use building to permit medical use on the first floor and to expand the existing dental use on the third floor. A previous Committee of Adjustment application approved the conversion from office use to medical use on the second floor and a parking deficiency was approved.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.10.10.(181)(A), By-law 569-2013 and Section 1, By-law 12933 and Section 1, By-law 13582**
The proposed expansion of medical offices is not listed as a permitted use in a CL zone.
- Section 200.5.10.1, By-law 569-2013**
A total of 21 on-site parking spaces are required.
Section 320-18.C.(3)(f)(1) and (2)
A total of 42 on-site parking spaces are required.
Section 200.5.10.1, By-law 569-2013 and Section 320-18.C.(3)(f)(1) and (2)
A total of 17 on-site parking spaces will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0395/17EYK	Zoning	CL
Owner:	2444536 ONTARIO INC.	Ward:	Etobicoke-Lakeshore (05)
Agent:	ALAN TREGBOV	Heritage:	Not Applicable
Property Address:	324 PRINCE EDWARD DR S	Community:	
Legal Description:	PLAN 2318 LOTS 1 & 2		

Edwin (Ted) Shepherd
(signed)

Douglas Colbourne (signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0396/17EYK	Zoning	RD & R2
Owner(s):	LAURA MINICHILLO JOHN MINICHILLO	Ward:	Etobicoke Centre (04)
Agent:	C A R DESIGN STUDIO INC	Heritage:	Not Applicable
Property Address:	3 DOWNPATRICK CRES	Community:	

Legal Description: PLAN 5852 LOT 93

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 33% of the lot area (168.6 m²).
The proposed dwelling will have a lot coverage of 37.2% of the lot area (189.9 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the lot area (229.9 m²).
The proposed dwelling will have a floor space index of 0.59 times the lot area (300.3 m²).
- Section 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 7.95 m.
The proposed dwelling will be located 6 m from the front lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.

SIGNATURE PAGE

File Number:	A0396/17EYK	Zoning	RD & R2
Owner:	LAURA MINICHILLO JOHN MINICHILLO	Ward:	Etobicoke Centre (04)
Agent:	C A R DESIGN STUDIO INC	Heritage:	Not Applicable
Property Address:	3 DOWNPATRICK CRES	Community:	
Legal Description:	PLAN 5852 LOT 93		

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 29, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0397/17EYK	Zoning	E & I.C2
Owner(s):	NANDA PARUINDER KAUR AIRVIEW MOTORS	Ward:	Etobicoke North (02)
Agent:	W E OUGHTRED & ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	52 AIRVIEW RD	Community:	

Legal Description: METRO TORONTO CONDO PLAN 786 LEVEL 1 UNIT 10

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain a vehicle-related use in a multiple occupancy building. A previous Committee of Adjustment application (A497/11EYK) approved a vehicle related use in a multiple-occupancy building for a period of five years, expiring November 10, 2016.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 304-32.

The existing vehicle related use (public garage with automotive sales) is not permitted in a multiple occupancy building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

The Committee of Adjustment's decision of approval shall be valid for a period of seven years, expiring on July 28, 2024.

SIGNATURE PAGE

File Number:	A0397/17EYK	Zoning	E & I.C2
Owner:	NANDA PARUINDER KAUR AIRVIEW MOTORS	Ward:	Etobicoke North (02)
Agent:	W E OUGHTRED & ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	52 AIRVIEW RD	Community:	
Legal Description:			

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0399/17EYK	Zoning	RD & R2
Owner(s):	JOANN ROSE PERCHARD ALEXIS RAMON DURAN	Ward:	Etobicoke North (02)
Agent:	KEITH O'BRIEN	Heritage:	Not Applicable
Property Address:	46 ROXALINE ST	Community:	

Legal Description: PLAN M441 LOT 93

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling including a two-storey addition on the rear and north side of the dwelling and a rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1), By-law 569-2013**
The maximum permitted coverage is 33% of the lot area (103.1 m²).
The altered dwelling will cover 37% of the lot area (114.62 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the area of the lot (140.59 m²).
The altered dwelling will have a floor space index equal to 0.95 times the area of the lot (297 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 302-42.1.(C)(1)
The minimum required side yard setback is 0.9 m and a minimum aggregate side yard setback of 2.1 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 302-42.1.(C)(1)
The altered dwelling will be located 0.82 m from the north side lot line and 0.96 m from the south side lot line, with an aggregate side yard setback of 1.78 m.

4. **Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted height is 7.2 m.
The altered dwelling will have a height of 7.6 m
Section 320-42.1.B.(2)
The maximum permitted height of a flat roofed dwelling is 6.5 m.
The altered flat roofed dwelling will have a height of 8 m.
5. **Section 10.20.40.10.(4)(C), By-law 569-2013**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.
6. **Section 10.20.40.10.(5), By-law 569-2013**
The maximum permitted height of a parapet is 0.3 m.
The altered dwelling height of the parapet will be 0.4 m.
7. **Section 200.5.1.10.(2)(A)(iv), By-law 569-2013 and Section 320-18.A.(1)**
The minimum required width of a parking space is 3.2 m.
The altered parking space will have a width of 2.83 m.
8. **Section 320-18.B.(1)**
The required parking shall be provided by a rear yard parking space.
The altered parking will be provided by a side yard parking space.
9. **Section 320-18.A.(4)**
A minimum access driveway width of 6 m shall be provided in front of all parking spaces.
The access in front of the altered side yard parking space will be 4.72 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0399/17EYK	Zoning	RD & R2
Owner:	JOANN ROSE PERCHARD ALEXIS RAMON DURAN	Ward:	Etobicoke North (02)
Agent:	KEITH O'BRIEN	Heritage:	Not Applicable
Property Address:	46 ROXALINE ST	Community:	
Legal Description:	PLAN M441 LOT 93		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0401/17EYK	Zoning	RD & R2
Owner(s):	CCS NATIONAL INC.	Ward:	Etobicoke-Lakeshore (05)
Agent:	COLLINEAR DESIGN AND TECHNICAL SERVICES	Heritage:	Not Applicable
Property Address:	30 TRUEMAN AVE	Community:	

Legal Description: PLAN 2032 S PT LOT 137 N PT LOT 138

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey south side addition which will include an attached garage, a second storey addition above the existing dwelling and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1), By-law 569-2013 & Section 320-42.1(A)(1)**
The maximum permitted floor space index/ gross floor area is 0.45 times the lot area (209.5 m²).
The altered dwelling will have a floor space index of 0.47 times the lot area (216.5 m²).
- Section 10.20.40.70.(3), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1(C)(1)
The minimum required side yard setback is 0.9 m, provided the aggregate side yard setback is not less than 2.1 m.
Section 10.20.40.70.(3), By-law 569-2013 & Section 320-42.1(C)(1)
The altered dwelling will be located 0.77 m from the south side lot line and will have an aggregate side yard setback of 1.98 m.
- Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor is 1.2 m above established grade.
The altered dwelling will have a first floor height of 1.29 m above established grade.
- Section 320-42.1(B)(2)**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 7 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0401/17EYK	Zoning	RD & R2
Owner:	CCS NATIONAL INC.	Ward:	Etobicoke-Lakeshore (05)
Agent:	COLLINEAR DESIGN AND TECHNICAL SERVICES	Heritage:	Not Applicable
Property Address:	30 TRUEMAN AVE	Community:	
Legal Description:	PLAN 2032 S PT LOT 137 N PT LOT 138		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0406/17EYK	Zoning	RD & R2
Owner(s):	ELZBIETA TOMASZEWSKI JERZY TOMASZEWSKI	Ward:	Etobicoke-Lakeshore (05)
Agent:	RYSZARD DOBOSZ	Heritage:	Not Applicable
Property Address:	120 ASHBOURNE DR	Community:	

Legal Description: PLAN 3273 LOT 26

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition, a second storey addition, a covered rear yard platform, and a front yard porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(21)(C), By-law 569-2013**
The maximum permitted gross floor area, including an attached or detached garage, is 135 m² plus 25% of the lot area (356.3 m²) provided that the maximum floor space index for the dwelling does not otherwise exceed 0.5 (442.61 m²).
The altered dwelling, including the attached garage, will have a gross floor area equal to 135 m² plus 48% of the lot area (565.02 m²) and will have a floor space index equal to 0.64 (565.02 m²).
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 18.5 m.
- Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 1.a)(1), By-law 1992-23**
The maximum permitted building height is 9.5 m.
The altered dwelling will have a height of 10.2 m.
- Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The altered dwelling will have a front exterior main wall height of 7.43 m.
- Section 1.a)(2), By-law 1992-23**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 7.43 m.

6. Section 10.20.40.50.(1)(B), By-law 569-2013

The maximum permitted area of a platform at or above the second storey of a detached house is 4 m².

The proposed second storey front platform will have an area of 14.54 m² and the proposed second storey rear platform will have an area of 39.69 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0406/17EYK	Zoning	RD & R2
Owner:	ELZBIETA TOMASZEWSKI JERZY TOMASZEWSKI	Ward:	Etobicoke-Lakeshore (05)
Agent:	RYSZARD DOBOSZ	Heritage:	Not Applicable
Property Address:	120 ASHBOURNE DR	Community:	
Legal Description:	PLAN 3273 LOT 26		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0408/17EYK	Zoning	CR & C
Owner(s):	GODFREY CORE INC	Ward:	Etobicoke-Lakeshore (06)
Agent:	PROWISE ENGINEERING INC	Heritage:	Not Applicable
Property Address:	2873 LAKE SHORE BLVD W	Community:	

Legal Description: PLAN 1592 LOT 391

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a fitness centre on the ground floor of the existing commercial building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 40.10.20.20(1)(A), By-law 569-2013

A Fitness Centre (Recreation Use) is a permitted use on a lot within 6.1 m of a residential lot if the maximum interior floor area is 400 m².

The proposed Fitness Centre (Recreation Use) is within 6.1 m of a residential lot with an interior floor area of 572.15 m².

Section 350-38 A

A Fitness Centre is not a permitted use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0408/17EYK	Zoning	CR & C
Owner:	GODFREY CORE INC	Ward:	Etobicoke-Lakeshore (06)
Agent:	PROWISE ENGINEERING INC	Heritage:	Not Applicable
Property Address:	2873 LAKE SHORE BLVD W	Community:	
Legal Description:	PLAN 1592 LOT 391		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0413/17EYK	Zoning	RD & R2
Owner(s):	SONIA DI GIACOMO MARCELLO MICHIEZI	Ward:	Etobicoke-Lakeshore (05)
Agent:	DAVID SMALL DESIGNS	Heritage:	Not Applicable
Property Address:	18 GLENADEN AVE W	Community:	

Legal Description: PLAN 3143 W PT LOT 29 E PT LOT 30

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (114.44 m²).
Section 10.20.30.40.(1)(A), By-law 569-2013
The new dwelling will cover 37.92% of the lot area (131.49 m²).
Section 320-59.C.
The new dwelling will cover 44.75% of the lot area (155.19 m²).
- Section 900.3.10.(42)(A)(i), By-law 569-2013 and Section 1.a), By-law 1993-109**
The maximum permitted gross floor area, including an attached garage, is 118 m² plus 25% of the lot area (204.7 m²), up to a maximum floor space index of 0.5 (173.4 m²).
The new dwelling, including the attached garage, will have a gross floor area of 118 m² plus 39.47% of the lot area (254.89 m²), with a floor space index of 0.74 (254.89 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The new dwelling will be located 0.91 m from the west side lot line.
- Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted dwelling height is 7.2 m.
Section 320-42.1.B.(2)
The maximum permitted flat roofed dwelling height is 6.5 m.
Section 10.20.40.10.(4)(A), By-law 569-2013 and Section 320-42.1.B.(2)
The new dwelling will have a flat roof height of 7.39 m.

5. **Section 10.5.60.20.(10)(B)(i), By-law 569-2013**
The minimum required side yard setback for an air conditioning unit is 0.9 m.
Section 320-43.N
The minimum required side yard setback for an air conditioning unit is 1.5 m.
Section 10.5.60.20.(10)(B)(i), By-law 569-2013 and Section 320-43.N
The proposed air conditioning unit will be located 0.3 m from the west side lot line.
6. **Section 320-42.E**
The maximum permitted encroachment for a platform into the required rear yard setback is 1.6 m.
The proposed rear porch will project 3.3 m into the rear yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.

SIGNATURE PAGE

File Number:	A0413/17EYK	Zoning	RD & R2
Owner:	SONIA DI GIACOMO MARCELLO MICHIZENZI	Ward:	Etobicoke-Lakeshore (05)
Agent:	DAVID SMALL DESIGNS	Heritage:	Not Applicable
Property Address:	18 GLENADEN AVE W	Community:	
Legal Description:	PLAN 3143 W PT LOT 29 E PT LOT 30		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0416/17EYK	Zoning	RD & R2
Owner(s):	BRIAN ANDREW WELLS COLLINSON CRYSTAL HELEAN COLLINSON	Ward:	Etobicoke Centre (03)
Agent:	POST ARCHITECTURE	Heritage:	Not Applicable
Property Address:	18 BEARBURY DR	Community:	

Legal Description: PLAN M854 E PT LOT 106 W PT LOT 107 RP R683 PART 2

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a front one-storey garage addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.70.(1), By-law 569-2013 and Section 320-40(C)(1)**
The minimum required front yard setback is 11.97 m.
The altered dwelling will be located 9.38 m from the front lot line.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The altered dwelling will have a length of 19.18 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0416/17EYK	Zoning	RD & R2
Owner:	BRIAN ANDREW WELLS COLLINSON CRYSTAL HELEAN COLLINSON	Ward:	Etobicoke Centre (03)
Agent:	POST ARCHITECTURE	Heritage:	Not Applicable
Property Address:	18 BEARBURY DR	Community:	
Legal Description:	PLAN M854 E PT LOT 106 W PT LOT 107 RP R683 PART 2		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

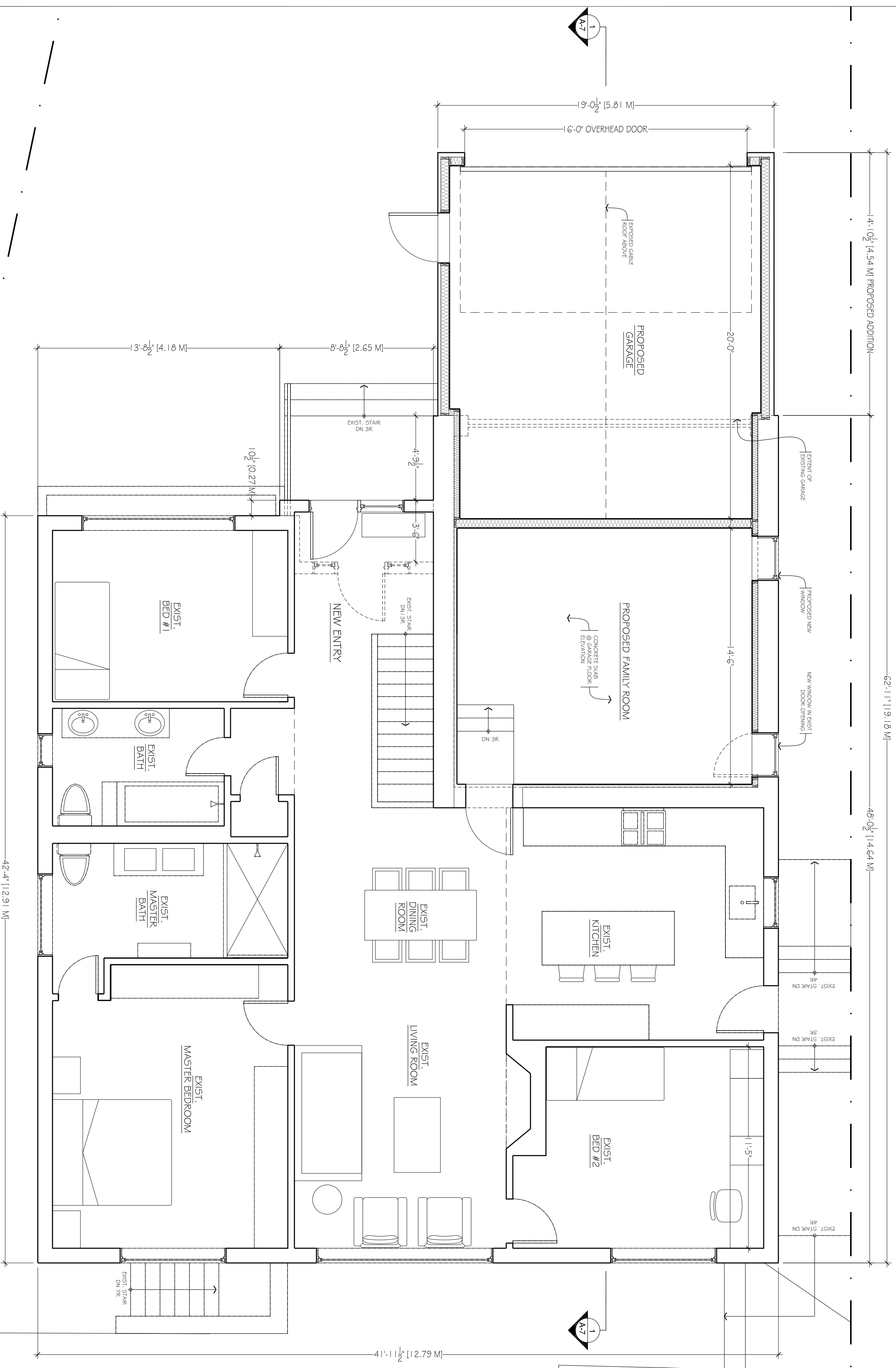
ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

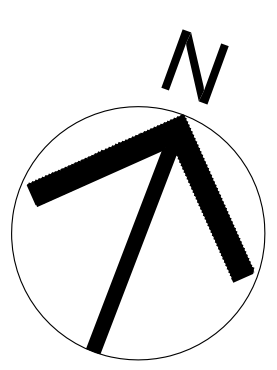
- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



1 PROPOSED GROUND FLOOR PLAN
1/4" = 1'-0"



THE ARCHITECT NOTED BELOW HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BODN.

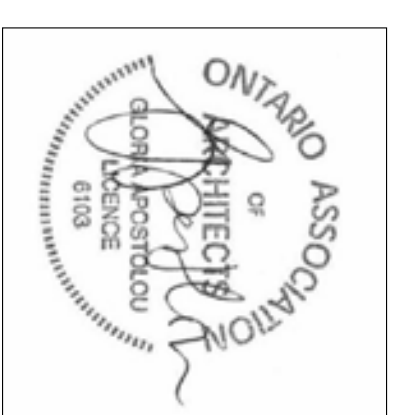
IF THERE ARE ANY DIMENSIONS, DETAILS OR DESIGN INTENT THAT CANNOT BE DETERMINED FROM THE DRAWINGS, THE ARCHITECT SHALL BE NOTIFIED PRIOR TO PROCEED WITH FABRICATION AND/OR CONSTRUCTION.

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ISSUED FOR CADA	03 MAY 17
ISSUED FOR ZLG	03 APRIL 17
ISSUED FOR REVIEW	07 MAR 17
REVISION	

post architecture

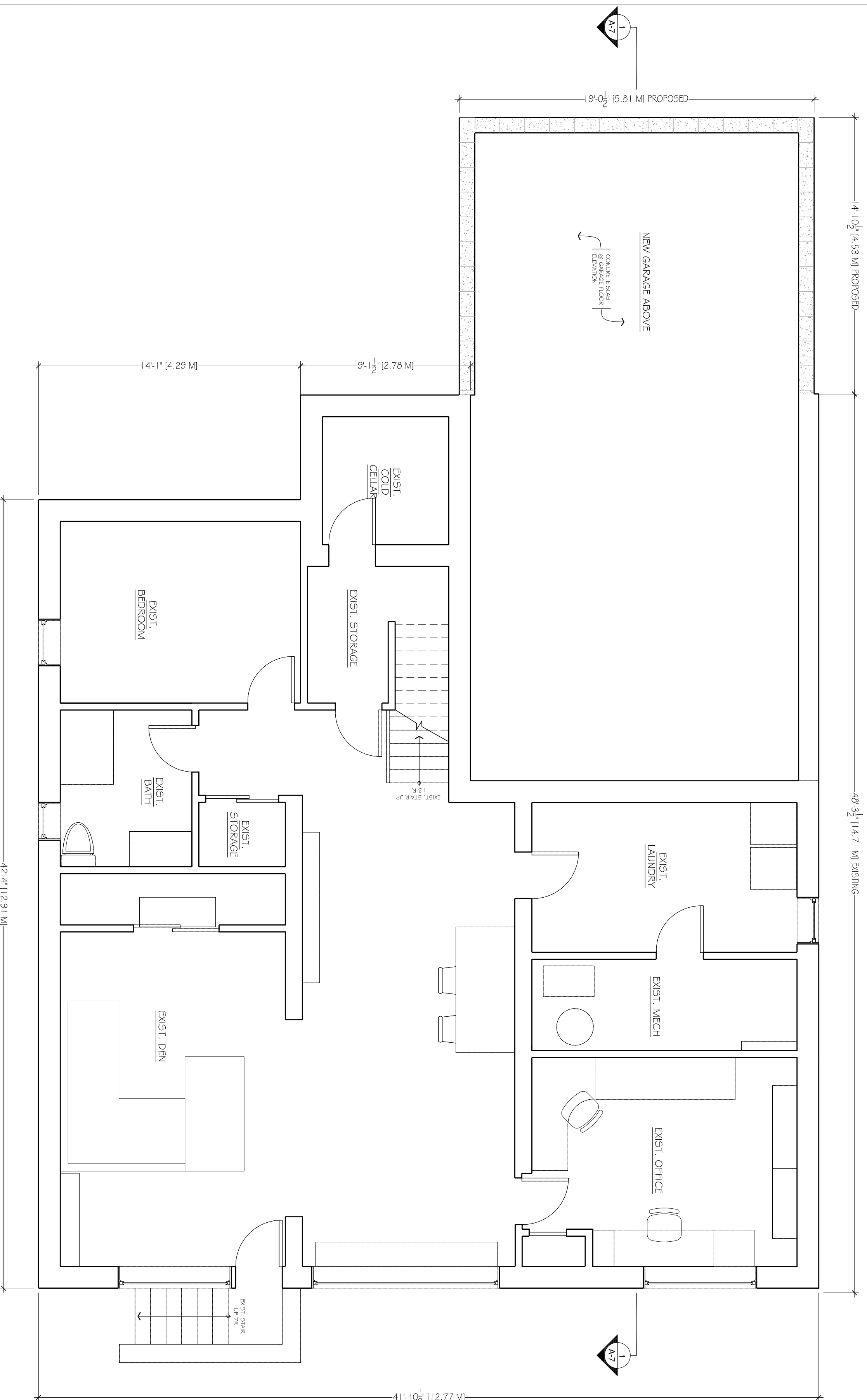
32 Albany Ave.
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416.516.6064



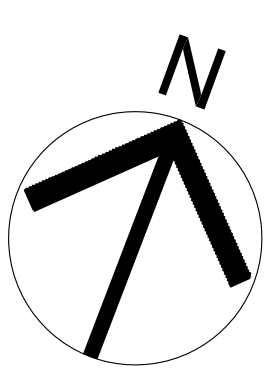
18 BEARBURY DRIVE
Addition & Interior Alterations
Toronto, ON
PROPOSED FLOOR PLANS

project no.:
scale: 1/4" = 1'-0"
date: 30 MAR 17
drawn by: TC
drawing no.:

A-1



1 PROPOSED BASEMENT PLAN
1/4" = 1'-0"



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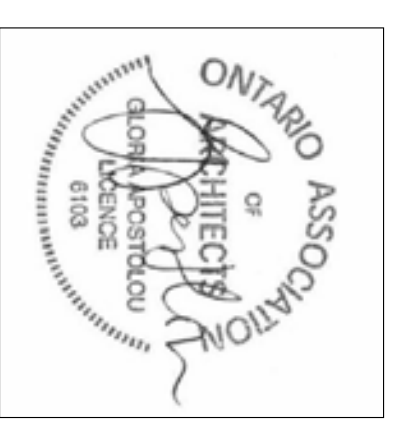
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ISSUED FOR CGLA	03 MAY 17
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ISSUED FOR REVIEW	7 MAR 17
REVISION	

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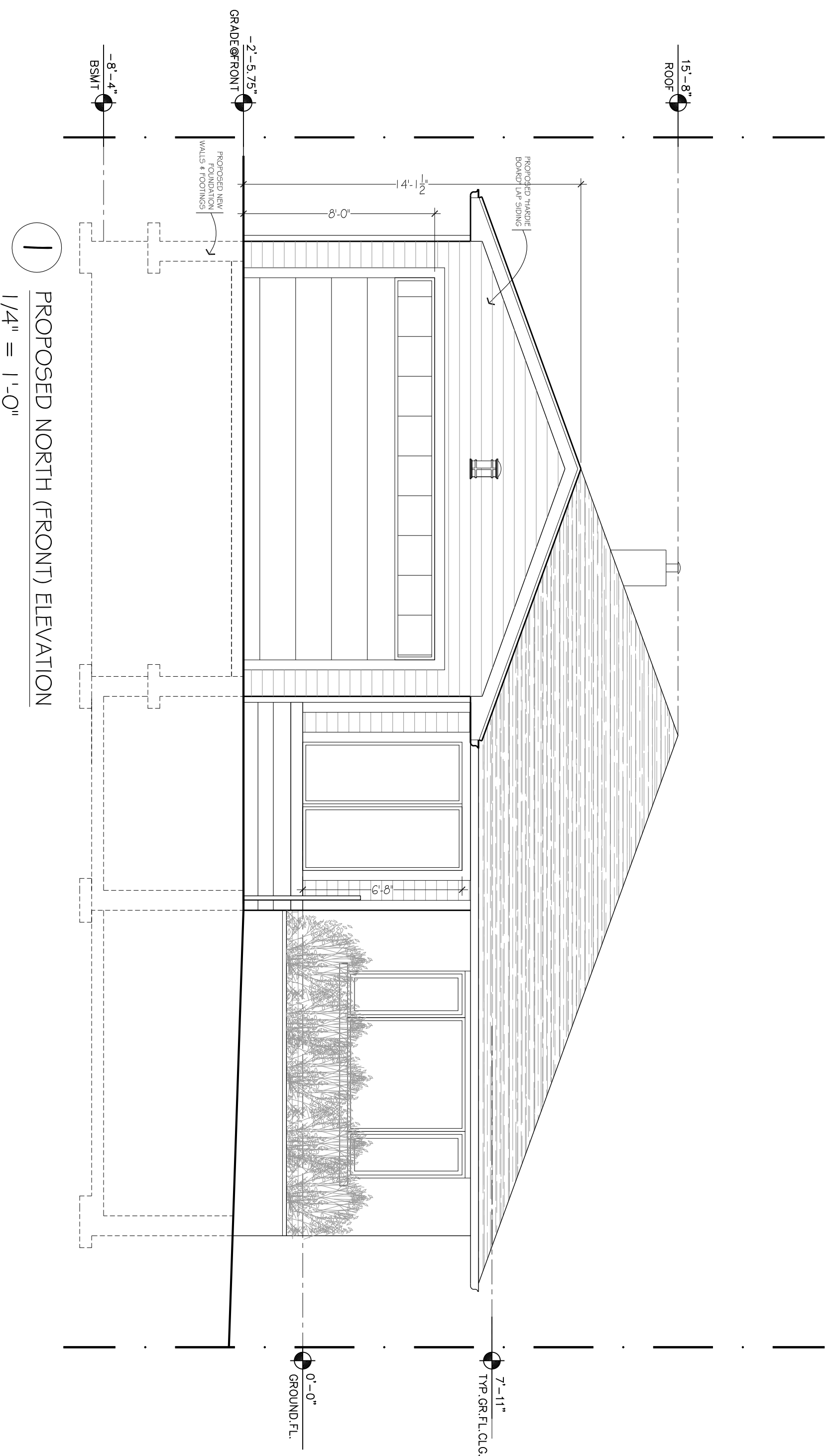
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18 BEARBURY DRIVE
Addition & Interior Alterations
Toronto, ON
PROPOSED FLOOR PLANS

project no.:
scale: 1/4" = 1'-0"
date: 30 MAR 17
drawn by: TC
drawing no.:

A-2



1 PROPOSED NORTH (FRONT) ELEVATION
1/4" = 1'-0"

THE ARCHITECT NOTED BELOW HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BODN.

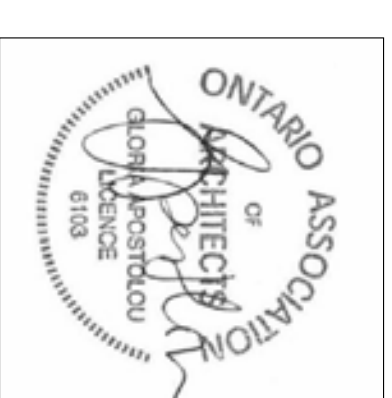
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 REVISION

post architecture

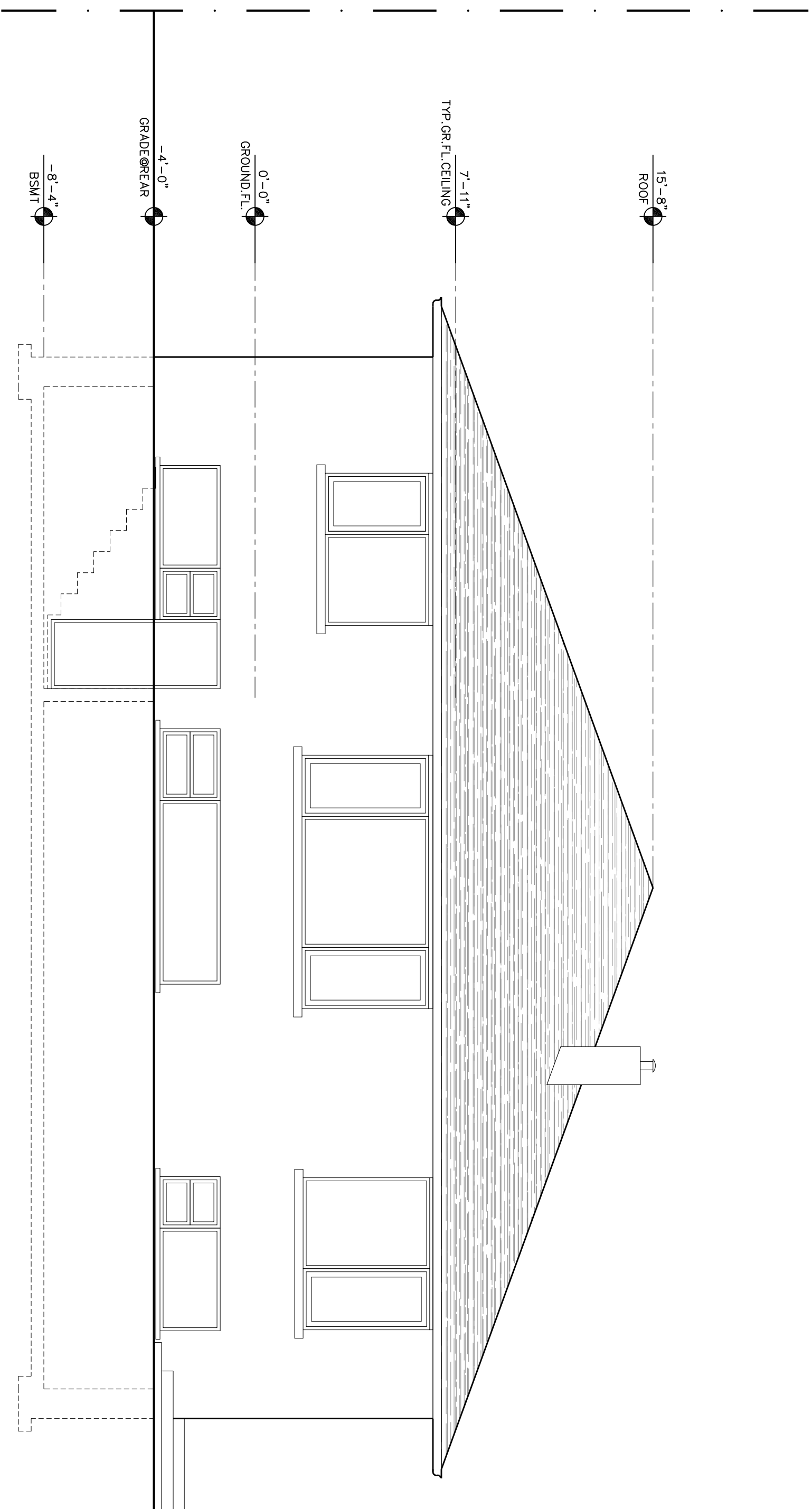
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18 BEARBURY DRIVE
 Addition & Interior Alterations
 Toronto, ON
PROPOSED ELEVATIONS

project no. :
 scale : 1/4" = 1'-0"
 date : 30 MAR 17
 drawn by : TC
 drawing no. :

A-3



1 PROPOSED SOUTH (REAR) ELEVATION (NO WORK)
 1/4" = 1'-0"

THE ARCHITECT NOTED BELOW HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BODN.

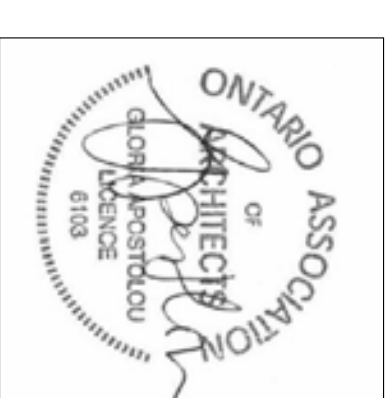
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ISSUED FOR ZLG	03 APR 17
ISSUED FOR REVIEW	7 MAR 17
Revision	

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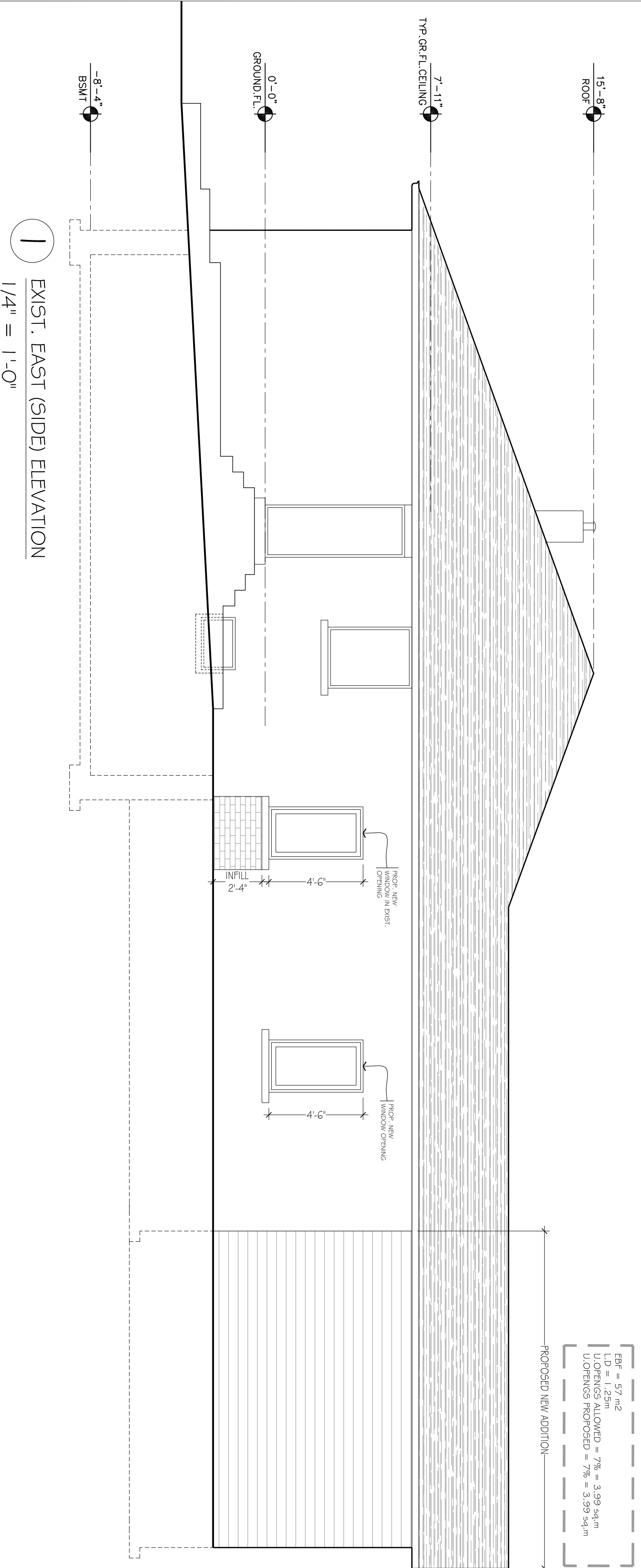
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18 BEARBURY DRIVE
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 Toronto, ON
PROPOSED ELEVATIONS

project no.:
 scale: 1/4" = 1'-0"
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 drawing no.:

A-4



EFG = 57 m²

LD = 1.25%

U/OPENGS ALLOWED = 7% = 3.99 sq.m

U/OPENGS PROPOSED = 7% = 3.99 sq.m

PROPOSED NEW ADDITION

1 EXIST. EAST (SIDE) ELEVATION
1/4" = 1'-0"

THE ARCHITECT NOTED BELOW HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BODN.

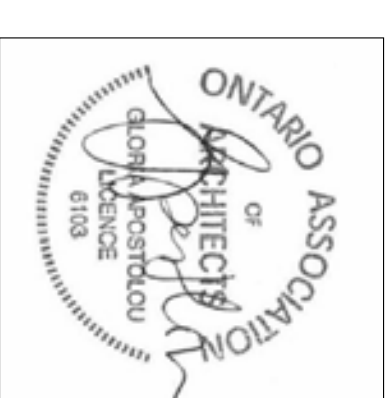
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Δ ISSUED FOR Z&C	03 APR 17
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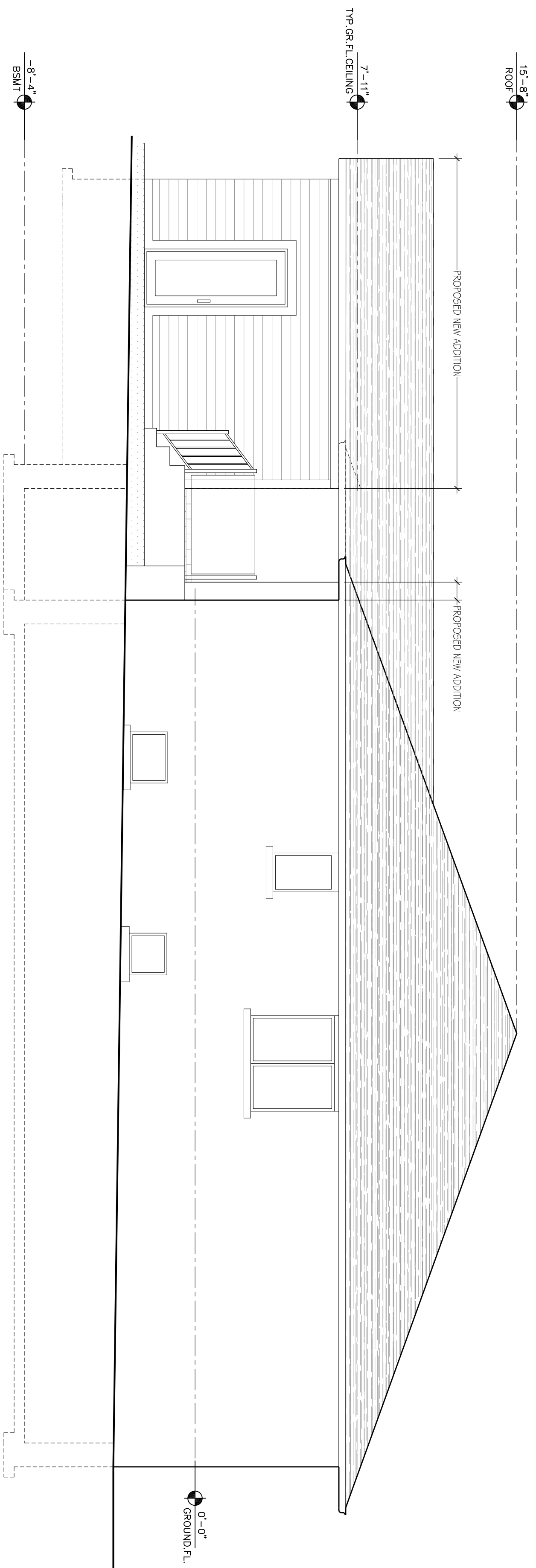


18 BEARBURY DRIVE
Addition & Interior Alterations
Toronto, ON
PROPOSED ELEVATIONS

project no. :
scale :
date :
drawn by :
drawing no. :

1/4" = 1'-0"
30 MAR 17
TC

A-5



1 PROPOSED WEST (SIDE) ELEVATION
1/4" = 1'-0"

THE ARCHITECT NOTED BELOW HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BODN.

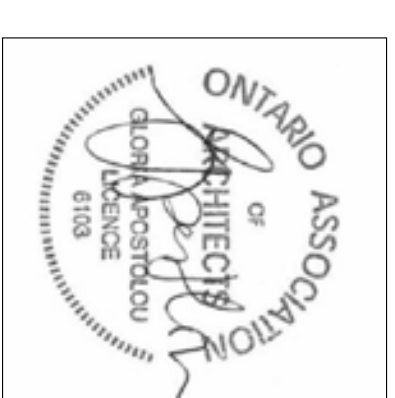
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ISSUED FOR CADA 03 MAY 17
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18 BEARBURY DRIVE
 Addition & Interior Alterations
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PROPOSED ELEVATIONS

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 scale : 1/4" = 1'-0"
 date : 10 APR 14
 drawn by : TC
 drawing no. :

A-6

THE ARCHITECT NOTED BELOW HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BODN.

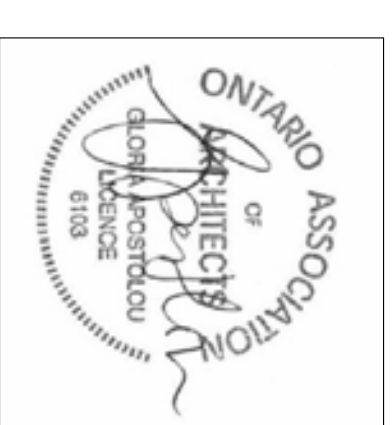
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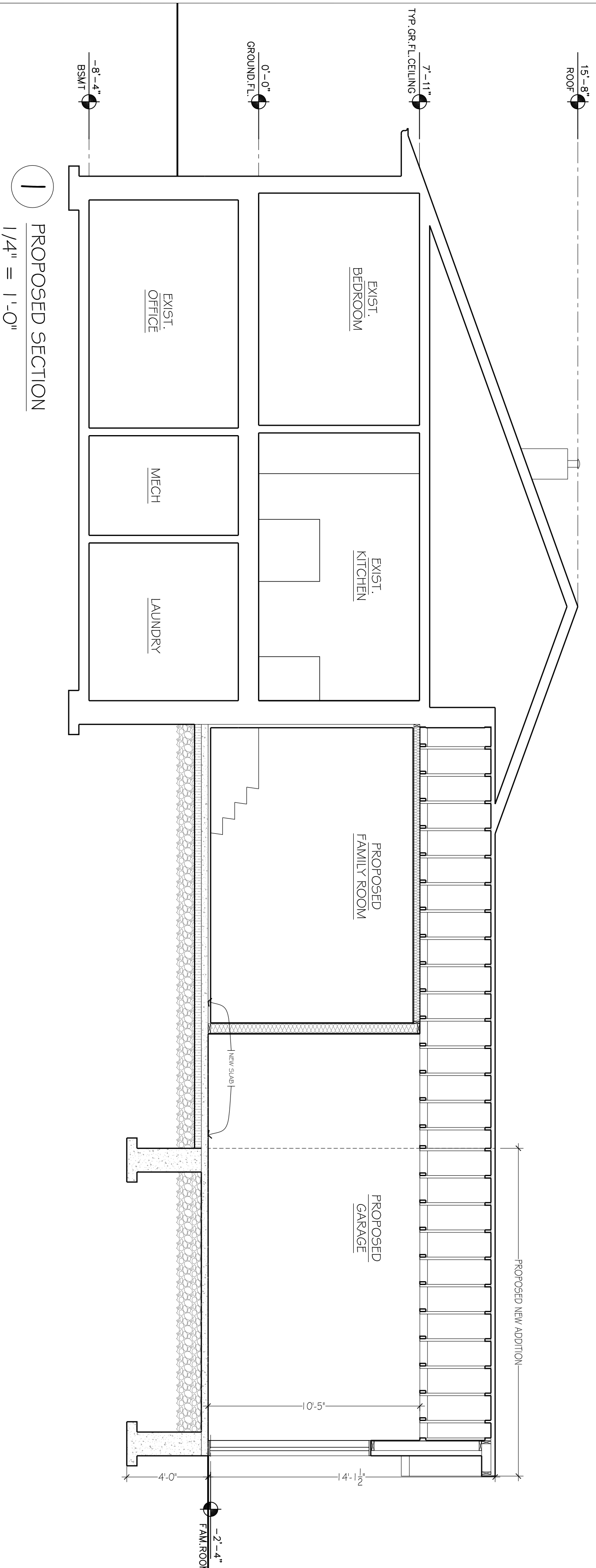
32 Albany Ave.
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 416.516.6064

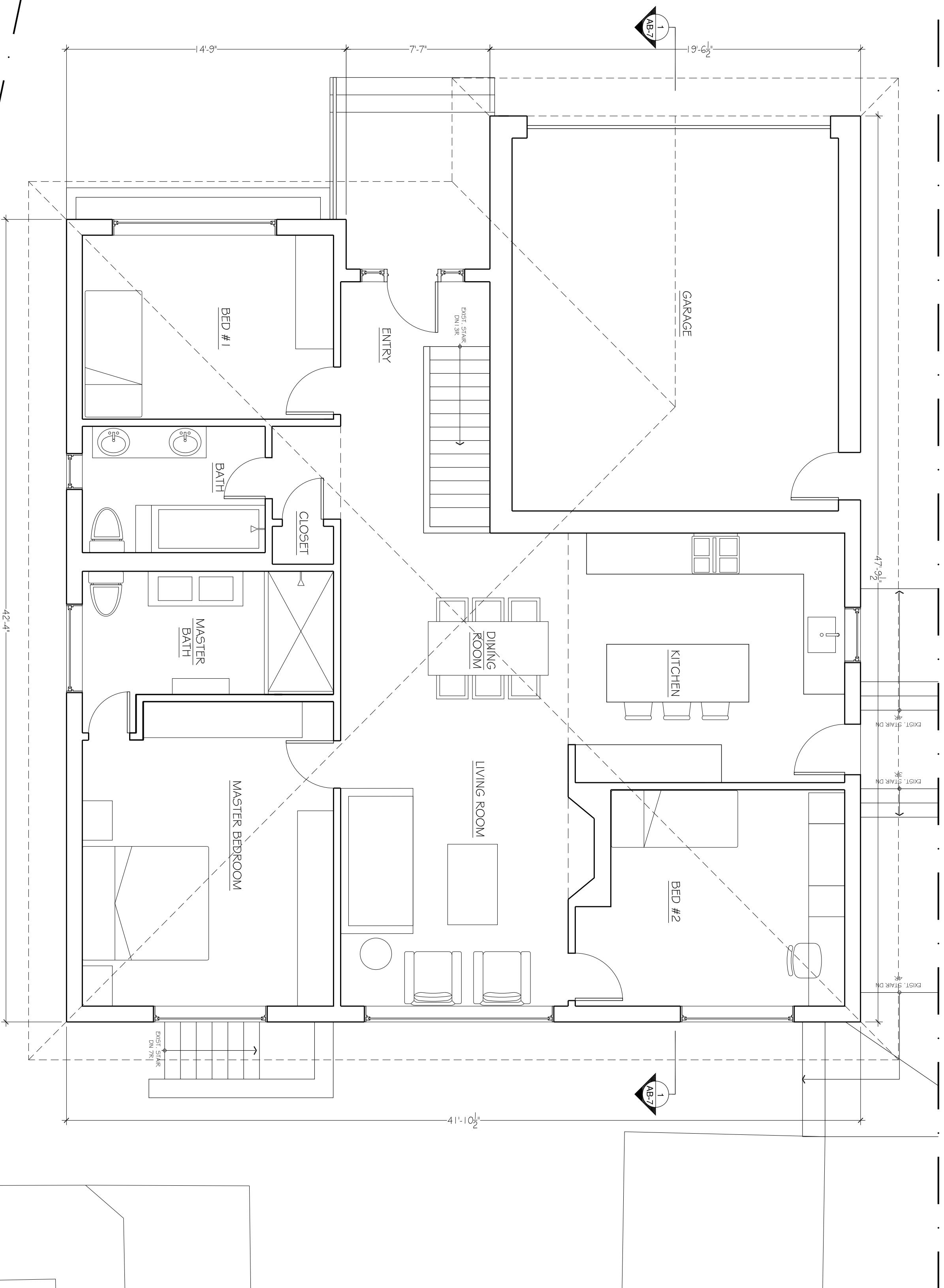


18 BEARBURY DRIVE
 Addition & Interior Alterations
 Toronto, ON
PROPOSED SECTION

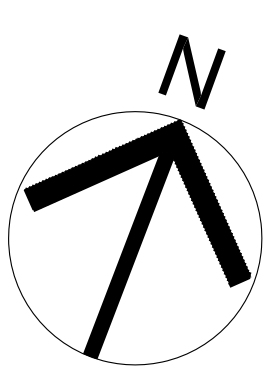
project no. :
 scale : 1/4" = 1'-0"
 date : 30 MAR 17
 drawn by : TC
 drawing no. :

A-7





1 EXIST. GROUND FLOOR PLAN
1/4" = 1'-0"



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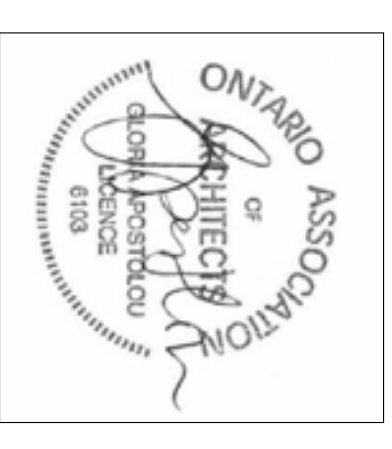
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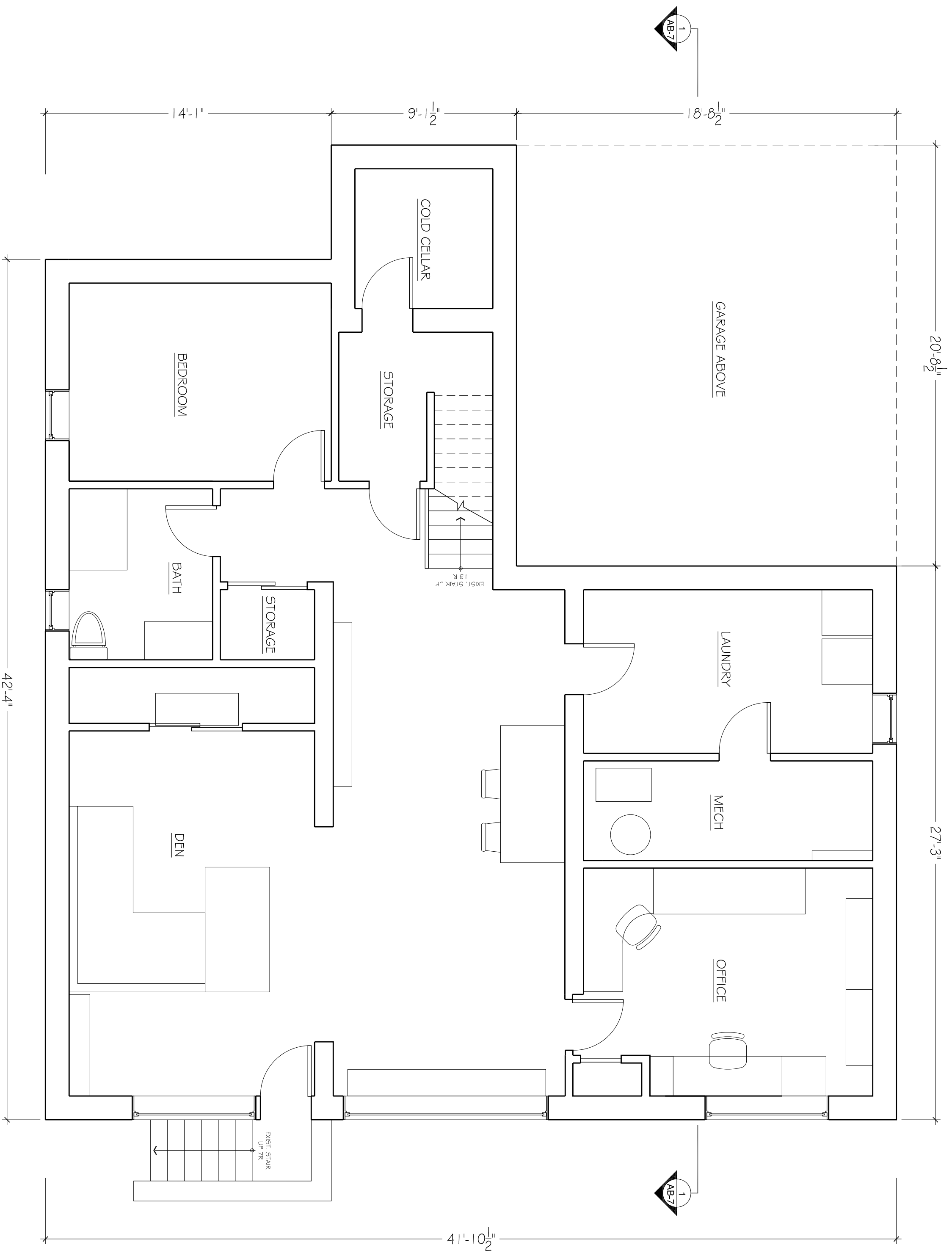
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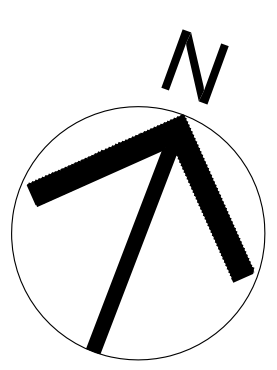
18 BEARBURY DRIVE
 Addition & Interior Alterations
 Toronto, ON
AS-BUILT
FLOOR PLANS

project no.:
 scale: 1/4" = 1'-0"
 date: 10 APR 14
 drawn by: TC
 drawing no.:

AB-1



1 EXIST. BASEMENT PLAN
1/4" = 1'-0"



THE ARCHITECT NOTED BELOW HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BODY.

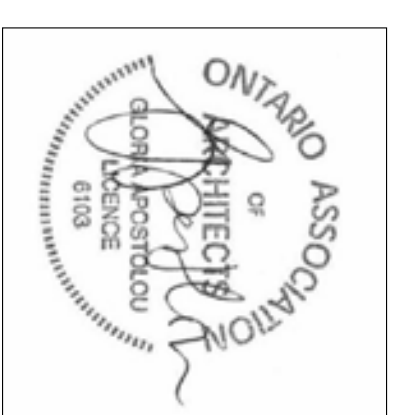
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ISSUED FOR ZLG	03 APR 17
ISSUED FOR REVIEW	7 MAR 17
Revision	

post architecture

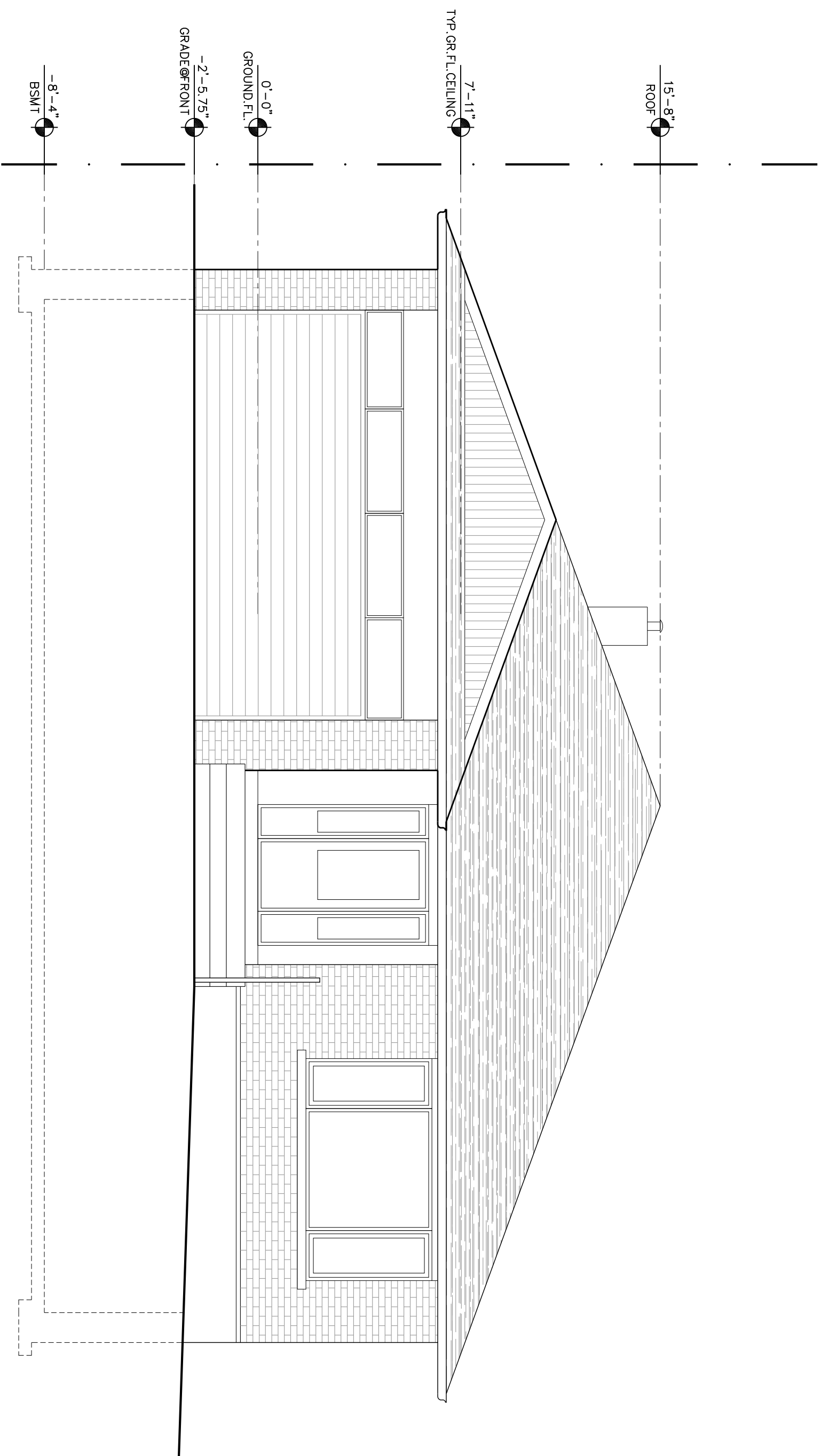
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18 BEARBURY DRIVE
Addition & Interior Alterations
Toronto, ON
AS-BUILT
FLOOR PLANS

project no.:
scale: 1/4" = 1'-0"
date: 10 APR 14
drawn by: TC
drawing no.:

AB-2



1 EXIST. FRONT (NORTH) ELEVATION
1/4" = 1'-0"

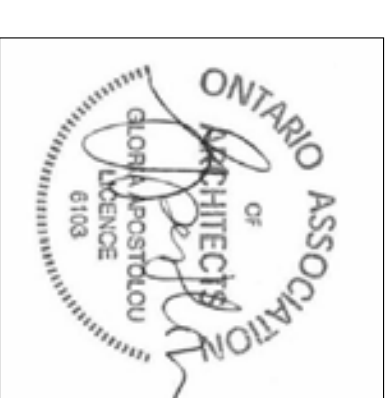
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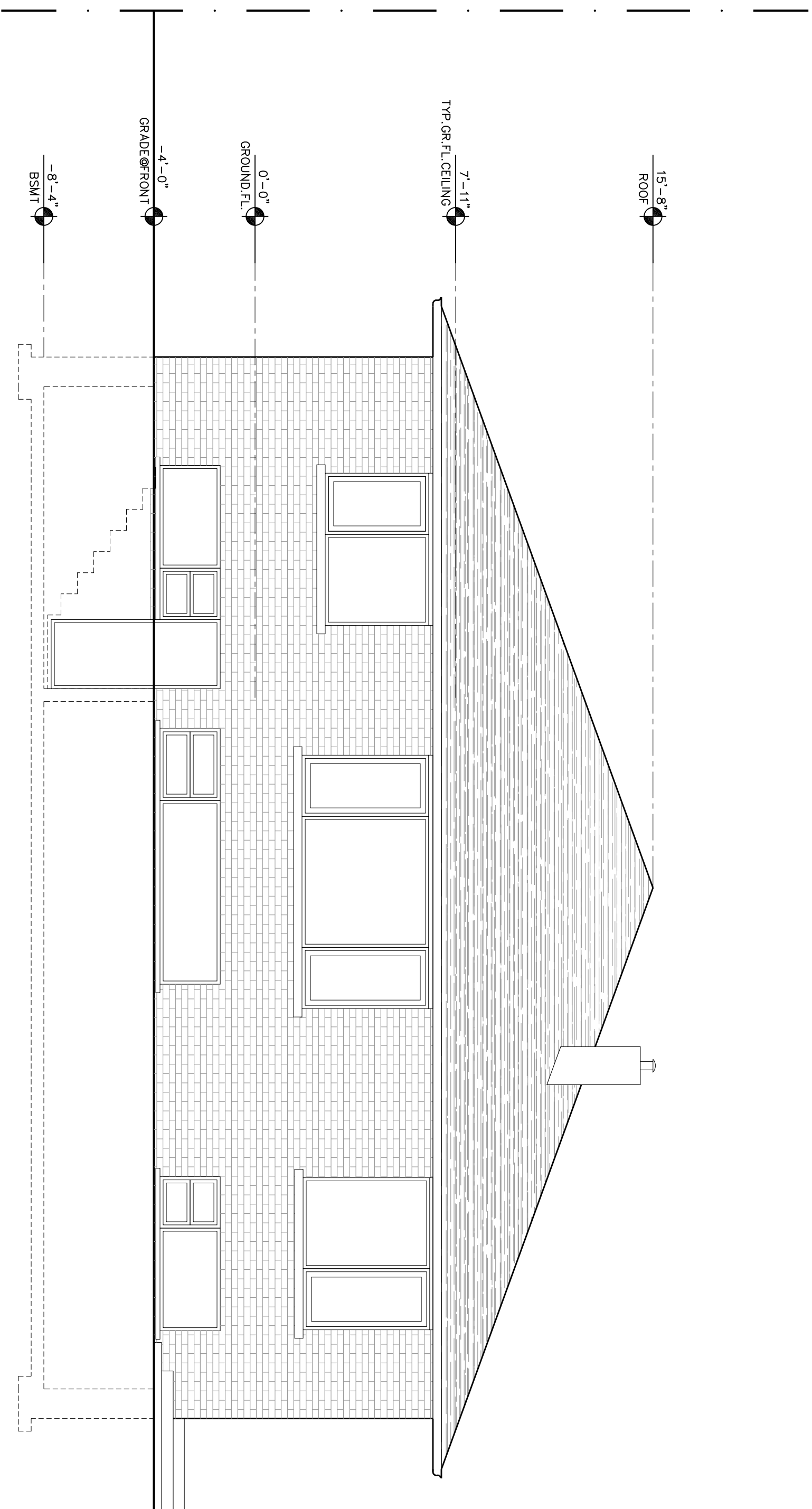
18 BEARBURY DRIVE
Addition & Interior Alterations

Toronto, ON
AS-BUILT
ELEVATIONS

project no. :
scale : 1/4" = 1'-0"
date : 10 APR 14
drawn by : TC

drawing no. :

AB-3



1 EXIST. REAR (SOUTH) ELEVATION
1/4" = 1'-0"

THE ARCHITECT NOTED BELOW HAS EXERCISED RESPONSIBLE CONTROL WITH RESPECT TO DESIGN ACTIVITIES. THE ARCHITECT'S SEAL NUMBER IS THE ARCHITECT'S BODN.

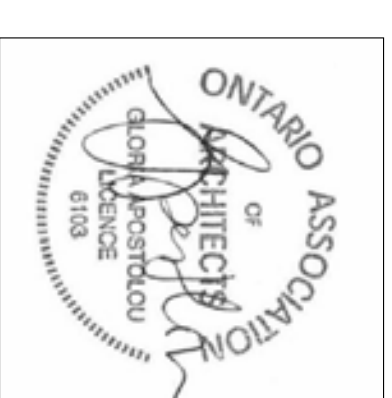
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AB-4

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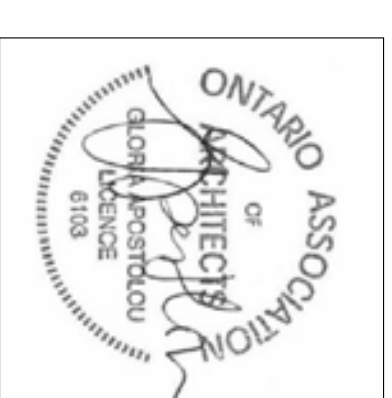
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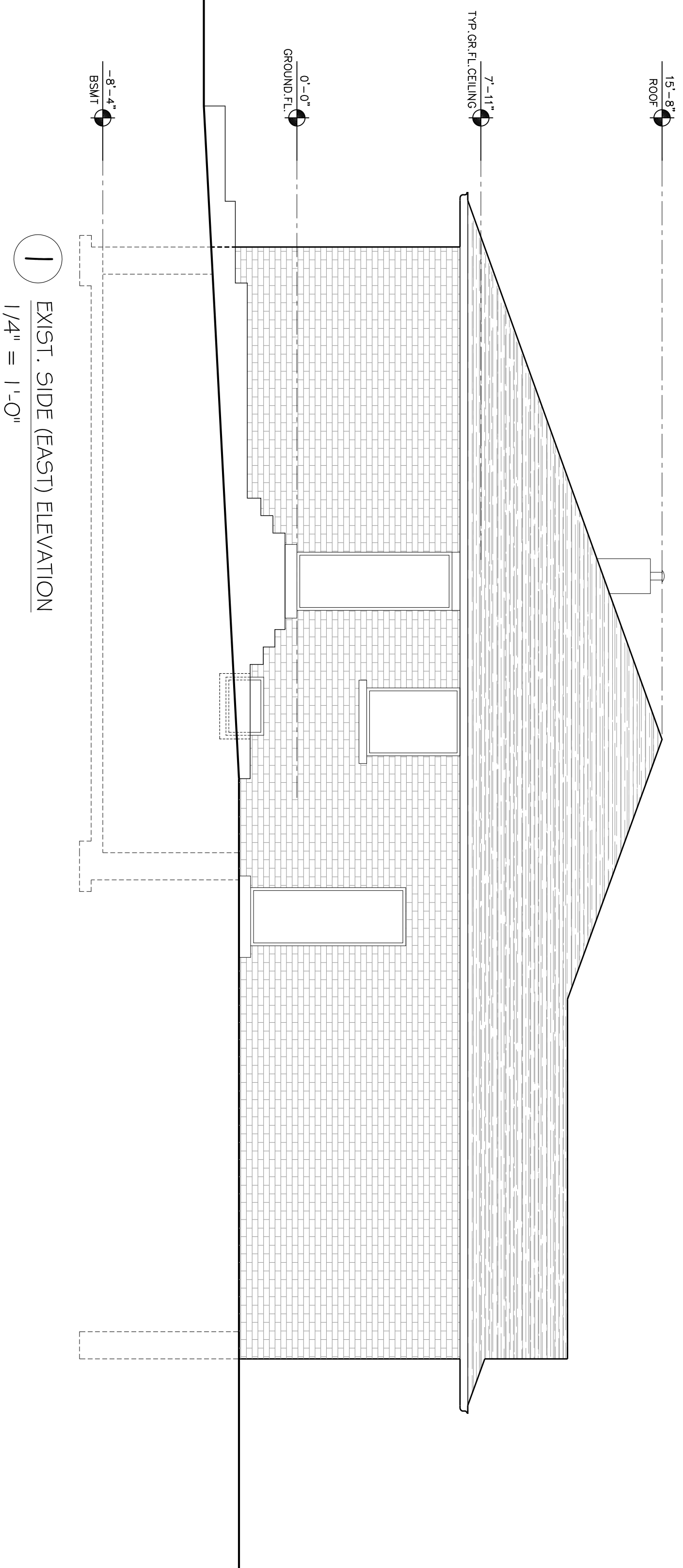


18 BEARBURY DRIVE
Addition & Interior Alterations

Toronto, ON
AS-BUILT
ELEVATIONS

project no. :
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drawing no. :

AB-5



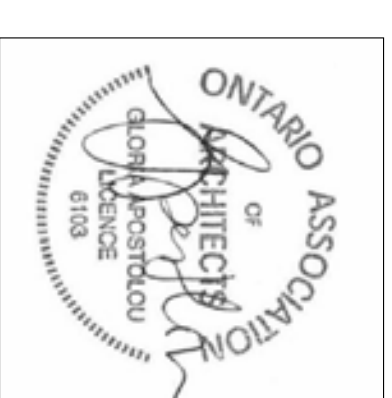
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Δ ISSUED FOR C&A 03 MAY 17
 Δ ISSUED FOR 2/26 03 APR 17
 Δ ISSUED FOR REVIEW 7 MAR 17
 Revision

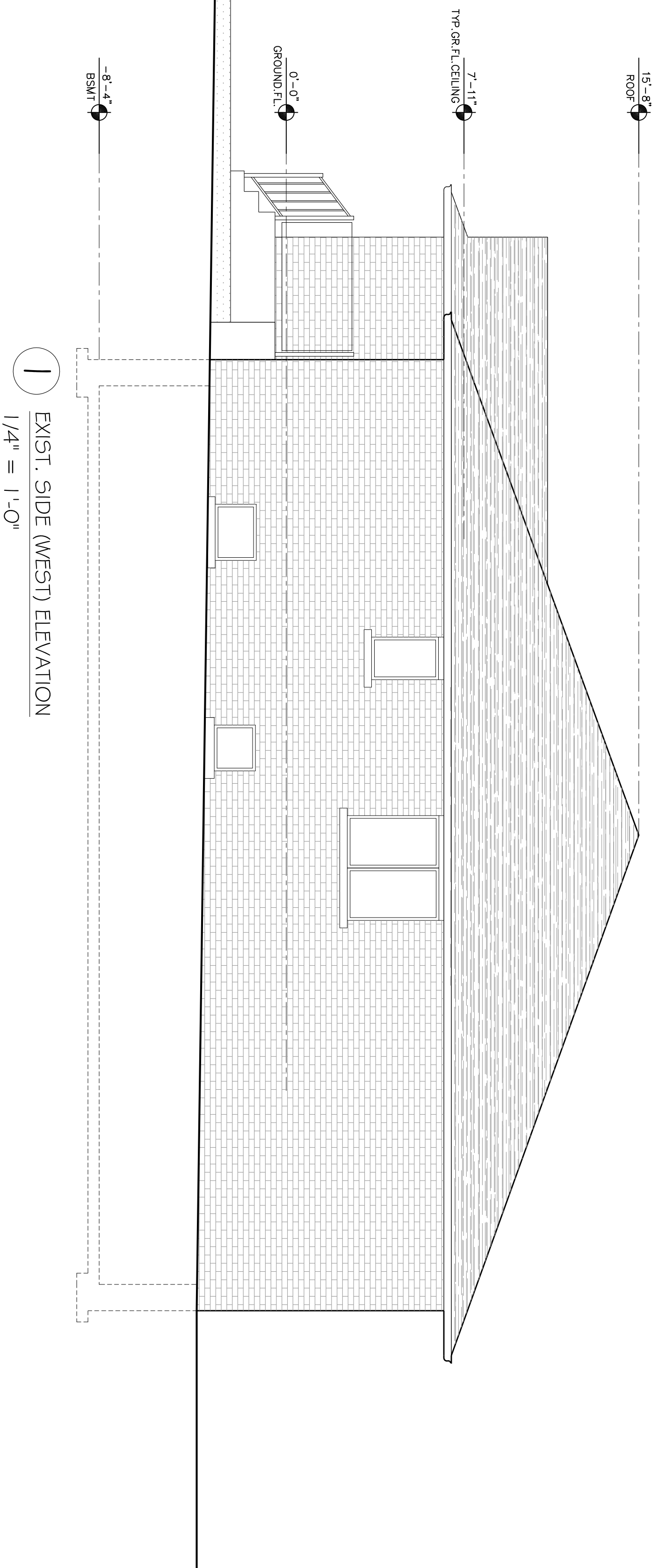
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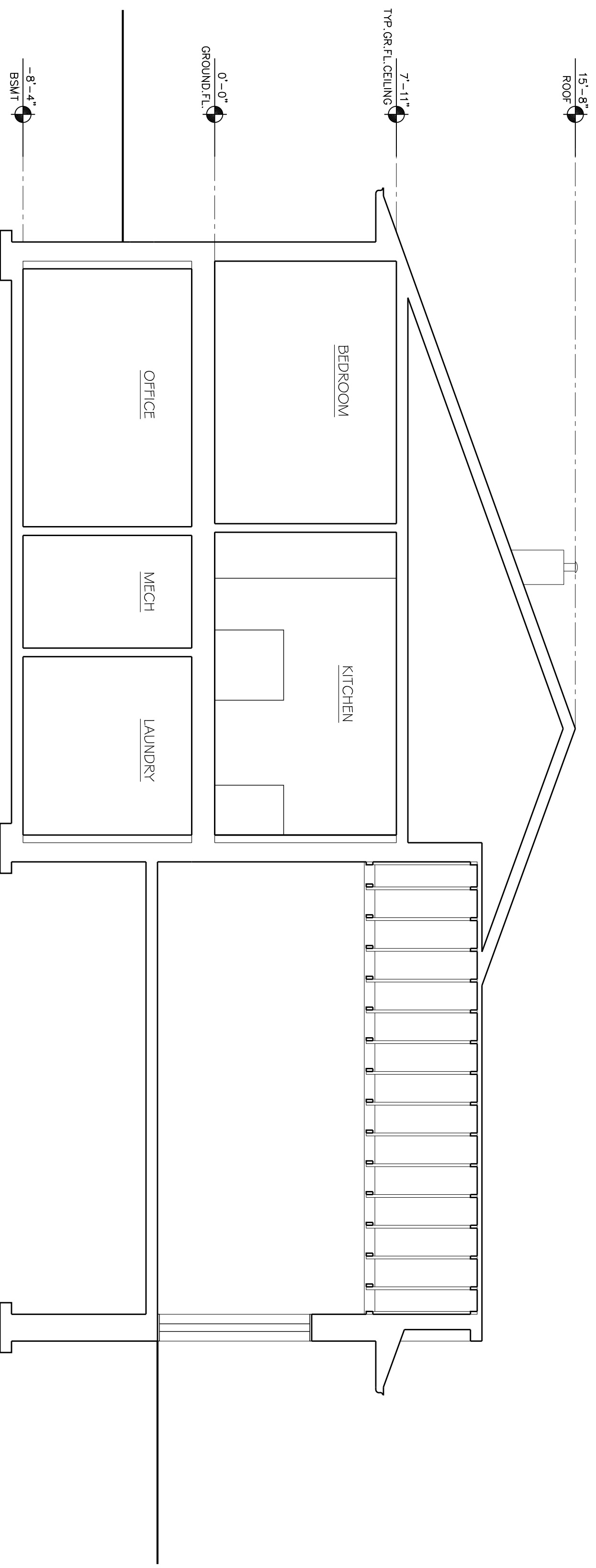


18 BEARBURY DRIVE
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 Toronto, ON
AS-BUILT
ELEVATIONS

project no. :
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AB-6





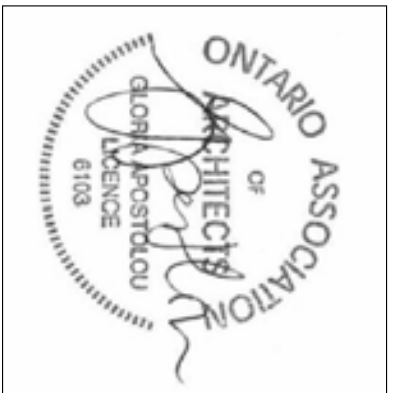
1 EXIST. SECTION
1/4" = 1'-0"

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ELEVATIONS

project no. :
scale : 1/4" = 1'-0"
date : 10 APR 14
drawn by : TC
drawing no. :
TC

AB-7

Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0381/17EYK	Zoning	RD & R2
Owner(s):	YUECHUN WANG	Ward:	Etobicoke-Lakeshore (05)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	82 AVONHURST RD	Community:	

Legal Description: PLAN 2312 LOT 134

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with a attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59C**
The maximum permitted lot coverage is 33% of the lot area (183.7 m²).
Section 10.20.30.40.(1)(A), By-law 569-2013
The proposed dwelling will have a lot coverage of 35.3% of the lot area (196.2 m²).
Section 320-59C
The proposed dwelling will have a lot coverage of 35.8% of the lot area (199 m²).
- Section 900.3.10(37)(c), By-law 569-2013 & Section 1(b)(1), By-law 1992-25**
The maximum permitted floor space index, including the attached or detached garage, is 0.5 times the lot area (278.3 m²).
Section 900.3.10(37)(c), By-law 569-2013
The proposed dwelling, including the attached garage, will have a floor space index of 0.67 times the lot area (370.7 m²).
Section 1(b)(1), By-law 1992-25
The proposed dwelling, including the attached garage, will have a floor space index of 0.75 times the lot area (416.8 m²).
- Section 900.3.10(37)(D)(ii), By-law 569-2013**
The minimum required aggregate side yard setback is 3.05 m.
The proposed dwelling will have an aggregate side yard setback of 2.44 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0381/17EYK	Zoning	RD & R2
Owner:	YUECHUN WANG	Ward:	Etobicoke-Lakeshore (05)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	82 AVONHURST RD	Community:	
Legal Description:	PLAN 2312 LOT 134		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0405/17EYK	Zoning	RD & R1
Owner(s):	HAO MING NANCY SUN	Ward:	Etobicoke-Lakeshore (06)
Agent:	HAO MING NANCY SUN	Heritage:	Not Applicable
Property Address:	82 LAKE SHORE DR	Community:	

Legal Description: PLAN 1592 PT LOT 312 PT LOT 313

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct second and third storey additions above the existing dwelling, a one-storey rear addition and a new detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.4 times the area of the lot (121.27 m²).
The altered dwelling will have a floor space index of 0.87 times the area of the lot (264.8 m²).
Section 350-31.F(1)
The maximum permitted gross floor area is 0.4 times the area of the lot (121.27 m²).
The altered dwelling will have a gross floor area of 0.87 times the area of the lot (264.8 m²).
- Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 350-31.K**
The minimum required front yard setback is 5.73 m.
The altered dwelling will be located 3.89 m from the front lot line.
- Section 350-31.A(4)**
The minimum required side yard setback is 0.6 m.
The altered dwelling will be located 0.37 m from the west side lot line.

4. **Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 350-13.B
The minimum required side yard setback for eaves is 0.5 m.
Section 10.5.40.60.(7), By-law 569-2013 and Section 350-13.B
The eaves of the altered dwelling will be located 0.22 m from the west side lot line.
5. **Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted height of a flat or shallow roofed building is 7.2 m.
Section 350-31.(A)(8)
The maximum permitted height is 9.5 m.
Section 10.20.40.10.(4)(A), By-law 569-2013 & Section 350-31.(A)(8)
The proposed dwelling will have a height of 10.47 m.
6. **Section 350-14.D**
The maximum height for an accessory building is 2.5 m.
The proposed accessory building (detached garage) will have a height of 3.66 m.
7. **Section 10.20.40.10.(4)(C), By-law 569-2013**
The maximum permitted number of storeys is 2.
The altered dwelling will have a total of 3 storeys.
8. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 19.17 m.
9. **Section 10.20.40.50.(1)(A), By-law 569-2013**
The maximum permitted number of platforms at or above the second storey, located on the front, side or rear walls is 1.
The altered dwelling will have 2 front platforms.
10. **Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of each platform at or above the second storey is 4 m².
The proposed second storey front balcony will have an area of 13.6 m² and the proposed third storey rear terrace will have an area of 24.84 m².
11. **Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping.
A total of 29.15% of the rear yard will be maintained as soft landscaping.
12. **Section 350-31.(7)**
The minimum required landscaped open space is 40% of the lot area.
The altered dwelling will have a landscaped open space of 30.22% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0405/17EYK	Zoning	RD & R1
Owner:	HAO MING NANCY SUN	Ward:	Etobicoke-Lakeshore (06)
Agent:	HAO MING NANCY SUN	Heritage:	Not Applicable
Property Address:	82 LAKE SHORE DR	Community:	
Legal Description:	PLAN 1592 PT LOT 312 PT LOT 313		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0409/17EYK	Zoning	RM & RM1
Owner(s):	CONTIHOMES INC.	Ward:	Etobicoke-Lakeshore (06)
Agent:	CONTIHOMES INC.	Heritage:	Not Applicable
Property Address:	22 THIRTY THIRD ST – PART 2	Community:	

Legal Description: PLAN M9 LOT 3 BLK G

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new semi-detached dwelling with an attached garage. A previous Committee of Adjustment application for a consent to sever the lot (B0057/16EYK) was refused and has been appealed to the Ontario Municipal Board (PL170413).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10.(2)(B)(ii), By-law 569-2013 & Section 330-26.B.(4)**
The minimum required lot frontage is 10.5 m.
The lot frontage will be 7.7 m.
- Section 900.6.10.(2)(D)(ii), By-law 569-2013 & Section 330-26.B.(8)**
The maximum permitted floor space index is 0.6 times the lot area (206.06 m²).
Section 900.6.10.(2)(D)(ii), By-law 569-2013
The proposed dwelling will have a floor space index of 0.68 times the lot area (232.7 m²).
Section 330-26.B.(8)
The proposed dwelling will have a floor space index of 0.7 times the lot area (239.63 m²).
- Section 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
A total of 5.96 m² of the first floor will be located within 4 m of the front main wall.
- Section 10.80.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 18.15 m.
- Section 10.80.40.10.(4), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The proposed dwelling will have a first floor height of 1.85 m above established grade.

6. Section 10.80.40.10.(2)(B)(ii), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 8.5 m.

The proposed dwelling will have a side exterior main wall height of 8.73 m facing a side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0409/17EYK	Zoning	RM & RM1
Owner:	CONTIHOMES INC.	Ward:	Etobicoke-Lakeshore (06)
Agent:	CONTIHOMES INC.	Heritage:	Not Applicable
Property Address:	22 THIRTY THIRD ST – PART 2	Community:	
Legal Description:	PLAN M9 LOT 3 BLK G		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0410/17EYK	Zoning	RM & RM1
Owner(s):	CONTIHOMES INC.	Ward:	Etobicoke-Lakeshore (06)
Agent:	CONTIHOMES INC.	Heritage:	Not Applicable
Property Address:	22 THIRTY THIRD ST – PART 1	Community:	

Legal Description: PLAN M9 LOT 3 BLK G

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new semi-detached dwelling with an attached garage. A previous Committee of Adjustment application for a consent to sever the lot (B0057/16EYK) was refused and has been appealed to the Ontario Municipal Board (PL170413).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10.(2)(B)(ii), By-law 569-2013 & Section 330-26.B.(4)**
The minimum required lot frontage is 10.5 m.
The lot frontage will be 7.7 m.
- Section 900.6.10.(2)(D)(ii), By-law 569-2013 & Section 330-26.B.(8)**
The maximum permitted floor space index is 0.6 times the lot area (206.06 m²).
Section 900.6.10.(2)(D)(ii), By-law 569-2013
The proposed dwelling will have a floor space index of 0.68 times the lot area (232.7 m²).
Section 330-26.B.(8)
The proposed dwelling will have a floor space index of 0.7 times the lot area (239.63 m²).
- Section 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
A total of 5.96 m² of the first floor will be located within 4 m of the front main wall.
- Section 10.80.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 18.15 m.
- Section 10.80.40.10.(4), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The proposed dwelling will have a first floor height of 1.85 m above established grade.

6. Section 10.80.40.10.(2)(B)(ii), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 8.5 m.

The proposed dwelling will have a side exterior main wall height of 8.73 m facing a side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0410/17EYK	Zoning	RM & RM1
Owner:	CONTIHOMES INC.	Ward:	Etobicoke-Lakeshore (06)
Agent:	CONTIHOMES INC.	Heritage:	Not Applicable
Property Address:	22 THIRTY THIRD ST – PART 1	Community:	
Legal Description:	PLAN M9 LOT 3 BLK G		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0414/17EYK	Zoning	RD & R2
Owner(s):	ANISH KIRPALANI	Ward:	Etobicoke-Lakeshore (05)
Agent:	ORANG YAZDANI	Heritage:	Not Applicable
Property Address:	39 SUNNYLEA AVE W	Community:	

Legal Description: PLAN 3038 LOT 1

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 33% of the lot area (136.63 m²).
The proposed dwelling will have a lot coverage of 34.62% of the lot area (143.35 m²).
- Section 900.3.10.(42)(A)(i), By-law 569-2013 & Section 1.a, By-law 1993-109**
The maximum permitted gross floor area is 118 m² plus 25% of the lot area (221.51 m²), up to a maximum floor space index of 0.5 (207.02 m²).
The proposed dwelling will have a gross floor area of 118 m² plus 39.36% of the lot area (280.97 m²), with a floor space index of 0.68 (280.97 m²).
- Section 10.20.40.70.(1)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The proposed dwelling will be located 0.9 m from the west side lot line.
- Section 320-42.1.B.(2)**
The maximum permitted flat roof height is 6.5 m.
The proposed dwelling will have a flat roof height of 6.92 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

2. Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0414/17EYK	Zoning	RD & R2
Owner:	ANISH KIRPALANI	Ward:	Etobicoke-Lakeshore (05)
Agent:	ORANG YAZDANI	Heritage:	Not Applicable
Property Address:	39 SUNNYLEA AVE W	Community:	
Legal Description:	PLAN 3038 LOT 1		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0423/17EYK	Zoning	RD & R2
Owner(s):	ANNE KIRK MICHAEL D'HOLLANDER	Ward:	Etobicoke-Lakeshore (05)
Agent:	PAUL DA CUNHA	Heritage:	Not Applicable
Property Address:	25 INVERLEIGH DR	Community:	

Legal Description: PLAN M101 S PT LOT 170 N PT LOT 171

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a second storey addition above the existing dwelling and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 33% of the lot area (189.07 m²).
The altered dwelling will have a lot coverage of 33.75% of the lot area (193.35 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the lot area (257.83 m²).
The altered dwelling will have a floor space index of 0.51 times the lot area (291.62 m²).
- Section 10.5.40.70.(1)(B), By-law 569-2013 & Section 320-40.C.(1)**
The minimum required front yard setback is 6.11 m.
The altered dwelling will be located 5.75 m from the front lot line.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 18.89 m.
- Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 6.55 m.
- Section 10.5.50.10.(1)(D), By-law 569-2013**
A minimum of 75% of the front yard, not covered by the permitted driveway, shall be maintained as soft landscaping (29.54 m²)
A total of 72.89% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (28.71 m²).

7. **Section 10.5.100.1.(1)(C), By-law 569-2013**
The maximum permitted driveway width is 2.41 m.
The proposed driveway will have a width of 5.22 m.
8. **Section 200.5.1.10.(2)(A)(ii), By-law 569-2013 & Section 320-18.A.(1)**
The minimum required parking space dimensions are 5.6 m in length and 3.2 m in width.
The proposed parking space within the garage will have a length of 5.52 m and a width of 2.41 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 Insert the following notations on the site plan:
 - a) "The Owner shall obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance."; and
 - b) "The Owner shall submit a Municipal Road Damage Deposit prior to obtaining a Building Permit". The applicant shall contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section, at (416) 338-1045, regarding the municipal road damage deposit requirements;
 - 2.2. The applicant shall submit a revised site plan either in 1:200 or 1:250 metric units illustrating the above-noted condition, to the satisfaction of Transportation Services, and at no cost to the City, no later than 31 July 2018.

SIGNATURE PAGE

File Number:	A0423/17EYK	Zoning	RD & R2
Owner:	ANNE KIRK MICHAEL D'HOLLANDER	Ward:	Etobicoke-Lakeshore (05)
Agent:	PAUL DA CUNHA	Heritage:	Not Applicable
Property Address:	25 INVERLEIGH DR	Community:	
Legal Description:	PLAN M101 S PT LOT 170 N PT LOT 171		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0420/17EYK	Zoning	RD & R1
Owner(s):	MARK CARNEVALE ALANNA CARNEVALE	Ward:	Etobicoke Centre (04)
Agent:	MARK CARNEVALE	Heritage:	Not Applicable
Property Address:	37 OLDHAM RD	Community:	

Legal Description: PLAN 5116 LOT 147 WDS PT

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a front garage extension.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 320-40.C.(3)**
The minimum required front yard setback is 8.43 m.
The altered dwelling will be located 6.7 m from the front lot line.
- Section 10.20.40.70.(3)(F), By-law 569-2013**
The minimum required side yard setback is 2.4 m.
Section 320-41.A
The minimum required side yard setback is 1.2 m.
Section 10.20.40.70.(3)(F), By-law 569-2013 and Section 320-41.A.
The altered dwelling will be located 0.99 m from the west side lot line.
- Section 10.5.40.60.(7)(B), By-law 569-2013**
The eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 m.
The eaves of the altered attached garage will project 1.91 m into the required west side setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0420/17EYK	Zoning	RD & R1
Owner:	MARK CARNEVALE ALANNA CARNEVALE	Ward:	Etobicoke Centre (04)
Agent:	MARK CARNEVALE	Heritage:	Not Applicable
Property Address:	37 OLDHAM RD	Community:	
Legal Description:	PLAN 5116 LOT 147 WDS PT		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0427/17EYK	Zoning	RD & R2
Owner(s):	AJAY SHARMA SONA SHARMA	Ward:	Etobicoke North (01)
Agent:	AJAY SHARMA	Heritage:	Not Applicable
Property Address:	43 HARLOW CRES	Community:	

Legal Description: PLAN 4022 N PT LOT 21

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(1299)(A), By-law 569-2013 and Section 1.(c), By-law 1981-360**
The maximum permitted floor space index, including an attached garage, is 38% of the lot area (273.63 m²).
The new dwelling, including the attached garage, will have a floor space index equal to 47% of the lot area (337.89 m²).
- Section 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 18.87 m.
The new dwelling will be located 12.24 m from the front lot line.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new dwelling will have a length of 18.9 m.
- Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.B.(1)**
The maximum permitted dwelling height is 9.5 m.
The new dwelling will have a height of 9.7 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0427/17EYK	Zoning	RD & R2
Owner:	AJAY SHARMA SONA SHARMA	Ward:	Etobicoke North (01)
Agent:	AJAY SHARMA	Heritage:	Not Applicable
Property Address:	43 HARLOW CRES	Community:	
Legal Description:	PLAN 4022 N PT LOT 21		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0429/17EYK	Zoning	RD & R2
Owner(s):	EDWARD GIL CHANG JENNIFER ANN ROBERTSHAW	Ward:	Etobicoke-Lakeshore (06)
Agent:	JACK KONIECZNY	Heritage:	Not Applicable
Property Address:	43 WESTHEAD RD	Community:	

Legal Description: PLAN 4079 LOT 76

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the area of the lot (219.10 m²).
The proposed dwelling will have a floor space index equal to 0.54 times the area of the lot (262.35 m²).
- Section 10.5.40.70(1)(B), By-law 569-2013 and Section 320-40 C (1)**
The minimum required front yard setback is 9.13 m.
The proposed dwelling will be located 8.45 m from the front lot line.
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The proposed dwelling will be located 1 m from the north side lot line.
- Section 320-42.1 B (2)**
The maximum permitted soffit height of the eaves is 6.5 m.
The proposed dwelling will have a soffit height of 6.91 m.
- Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey of a detached house is 4 m².
The proposed second storey platform will have an area of 7.67 m².
- Section 10.5.40.60.(2)(A), By-law 569-2013**
A canopy, awning or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering.
The proposed front canopy will encroach 0.3 m beyond the platform it is covering on the south side.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0429/17EYK	Zoning	RD & R2
Owner:	EDWARD GIL CHANG JENNIFER ANN ROBERTSHAW	Ward:	Etobicoke-Lakeshore (06)
Agent:	JACK KONIECZNY	Heritage:	Not Applicable
Property Address:	43 WESTHEAD RD	Community:	
Legal Description:	PLAN 4079 LOT 76		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0431/17EYK	Zoning	RD & R2
Owner(s):	MICHAEL CONTENTO	Ward:	Etobicoke-Lakeshore (05)
Agent:	CUNHA DESIGN CONSULTANTS LTD	Heritage:	Not Applicable
Property Address:	152 THE KINGSWAY	Community:	

Legal Description: PLAN 1727 PT LOT 34

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 33% of the lot area (160.04 m²).
The proposed dwelling will cover 37.5% of the lot (182.12 m²).
- Section 900.3.10(35)(A), By-law 569-2013**
The maximum permitted gross floor area, including an attached or detached garage, is 150 m² plus 25% of the lot area (271.25 m²), upto a maximum floor space index of 0.5 (242.49 m²).
The proposed dwelling, including the attached garage, will have a gross floor area of 150 m² plus 31% of the lot area (308 m²), with a floor space index of 0.64 (308 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9 m and the aggregate width of both yards shall not equal less than 2.1 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 320-42.1.C.(1)
The proposed dwelling will be located 0.91 m from the north and south side lot lines with an aggregate side yard setback of 1.82 m.

4. **Section 10.5.40.50(2) to 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback of a deck is 1.2 m.
The proposed rear deck will be located 0.91 m from the south side lot line.
5. **Section 10.20.40.20(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 17.52 m.
6. **Section 10.5.40.60.(5)(B)(i), By-law 569-2013**
A chimney breast may encroach a maximum of 0.6 m into the building setback if it is no wider than 2 m.
The proposed chimney will be 2.44 m wide.
7. **Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The proposed dwelling will have a soffit height of 7 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 The site plan must be revised to illustrate the proposed new driveway and curb cut within the abutting The Kingsway municipal boulevard, the removal of the redundant portions of the existing driveway and restoration of the redundant curb cut with raised concrete curb in accordance to City of Toronto Design Standard No. T-310.050-1 and T-310.010-4;
 - 2.2 The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 2.3 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;

- 2.4 The site plan must be revised to include a notation on the drawing stating: “The applicant must obtain all required permits for work within the public road allowance from the Right-of-Way Management Section of Transportation Services”.

SIGNATURE PAGE

File Number:	A0431/17EYK	Zoning	RD & R2
Owner:	MICHAEL CONTENTO	Ward:	Etobicoke-Lakeshore (05)
Agent:	CUNHA DESIGN CONSULTANTS LTD	Heritage:	Not Applicable
Property Address:	152 THE KINGSWAY	Community:	
Legal Description:	PLAN 1727 PT LOT 34		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0444/17EYK	Zoning	RD & R1
Owner(s):	STEFCON INC	Ward:	Etobicoke Centre (04)
Agent:	STEFCON INC	Heritage:	Not Applicable
Property Address:	81 WIMBLETON RD	Community:	

Legal Description: PLAN 3692 LOT 150

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To enlarge the existing second storey.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40(1)(A), By-law 569-2013**
The maximum permitted coverage is 33% of the lot area (227.44 m²).
The altered dwelling will cover 38.6% of the lot area (266 m²).
- Section 10.20.40.10.(1), By-law 569-2013 and Section 1(a)(1), By-law 1992-24**
The maximum permitted height is 9.5 m.
The altered dwelling will have a height of 10.17 m.
- Section 900.3.10(28)(C), By-law 569-2013 and Section 1(b)(1), By-law 1992-24**
The maximum permitted gross floor area is 165 m² plus 25% of the lot area (337.3 m²) to a maximum of 50% of the lot area (344.6 m²).
The altered dwelling will have a gross floor area equal to 165 m² plus 35.5% of the lot area (409.66 m²) with a floor space index of 0.59 (409.7 m²).
- Section 900.3.10(28)(D), By-law 569-2013 and Section 1(c)(2), By-law 1992-24**
The minimum required aggregate side yard setback for a second floor addition shall not equal less than 20% of the lot frontage (3.66 m).
The altered dwelling with the second floor addition will be located 1.23 m from the east side lot line, 1.21 m from the west side lot line with an aggregate side yard setback of 2.44 m (13.34%).
- Section 10.5.100.1(1)(c)(i), By-law 569-2013**
The maximum permitted driveway width is 6 m.
The proposed driveway will have a width of 7.23 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 The site plan must include the following Notations:
 - a. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - b. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";
 - 2.2 The above-mentioned design revision shall be illustrated to the satisfaction of Transportation Services.

SIGNATURE PAGE

File Number:	A0444/17EYK	Zoning	RD & R1
Owner:	STEFCON INC	Ward:	Etobicoke Centre (04)
Agent:	STEFCON INC	Heritage:	Not Applicable
Property Address:	81 WIMBLETON RD	Community:	
Legal Description:	PLAN 3692 LOT 150		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0445/17EYK	Zoning	RM & R3
Owner(s):	J0-ANN HELENA BANISCH PAUL CARMINE VENNERI	Ward:	Etobicoke-Lakeshore (06)
Agent:	MODULAR HOME ADDITIONS	Heritage:	Not Applicable
Property Address:	438 RIMILTON AVE	Community:	

Legal Description: PLAN 2195 E PT LOT 256 WPT 257

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling and a partial cantilevered front addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section (1)(a), By-law 1979-67**
The maximum permitted gross floor area is 0.4 times the lot area (147 m²).
The altered dwelling will have a gross floor area of 0.41 times the lot area (151.9 m²).
- Section 320-42.1(C)(1)**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.44 m from the east side lot line.
- Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for the eaves is 0.3 m.
The eaves of the altered dwelling will be located 0.15 m from the east side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0445/17EYK	Zoning	RM & R3
Owner:	J0-ANN HELENA BANISCH PAUL CARMINE VENNERI	Ward:	Etobicoke-Lakeshore (06)
Agent:	MODULAR HOME ADDITIONS	Heritage:	Not Applicable
Property Address:	438 RIMILTON AVE	Community:	
Legal Description:	PLAN 2195 E PT LOT 256 WPT 257		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, June 29, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0005/17EYK	Zoning	RD & R2
Owner(s):	SHEJE MANSAKU SHPETIM MANSAKU	Ward:	Etobicoke-Lakeshore (05)
Agent:	BG CONSTRUCTION DESIGN	Heritage:	Not Applicable
Property Address:	978 KIPLING AVE	Community:	
Legal Description:	PLAN 1893 LOT 29		

Notice was given and the application considered on Thursday, June 29, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Conveyed - Part 1

Address to be assigned

The lot frontage is 7.62 m and the lot area is 311 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0044/17EYK.

Retained - Part 2

Address to be assigned

The lot frontage is 7.62 m and the lot area is 311 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0043/17EYK.

Dedication - Parts 3 & 4

Parts 3 & 4 will have a combined lot area of 42 m² and will be conveyed to the City of Toronto for the purpose of a road dedication.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

B0005/17EYK

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown

on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - 7.1 Illustrate and label the existing structures (i.e. house, garage, driveway, etc.) to be demolished; and,
 - 7.2 Show existing Kipling Ave right of way (i.e. boulevard and sidewalk); and,
 - 7.3 Explicitly dimension and identify a 2.76 metre widestrip of land along the Kipling Avenue frontage of the site as lands that are to be conveyed to the City for a nominal sum; and,

- 7.4 The applicant must convey the lands identified in Condition 1 in accordance with the following:
- a. With the exception of utility poles, the applicant must ensure that the required conveyance is free of all encumbrances and is subject to a right-of-way for access purposes in favour of the grantor until the required land(s) are laid out and dedicated as public highway(s); and,
 - b. The applicant shall submit a draft Reference Plan of Survey to the Executive Director of Engineering and Construction Services, for review and approval, prior to depositing it in the Land Registry Office. The Reference plan shall:
 - i. be drawn in metric units and integrated to the 1983 North American Datum (Canadian Spatial Reference System and the 3 degree Modified Transverse Mercator Projection); and,
 - ii. delineate by separate PARTS the lands to be conveyed to the City, the remainder of the site, and any appurtenant rights-of-way and easements; and,
 - iii. show the co-ordinate values of the main comers of the subject lands in a schedule on the face of the plan;
 - c. The applicant is financially responsible for all costs associated with preparing and registering thereference plans. We advise theapplicant to contact Mr. John House, Supervisor of Property Records, at(416)392-8338toobtain an exact description of the required conveyance; and,

7.5 The site plan must be revised to include the following notations:

- a. "The proposed new driveways shall be constructed to the applicable City of Toronto Design Standards"; and,
- b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards"; and,
- c. "All existing curb cuts, or portions thereof, which are no longer required must be closed and restored to the satisfaction of Transportation Services"; and,
- d. "The Owner must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of- Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and,
- e. "The Owner must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services".

8. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0005/17EYK	Zoning	RD & R2
Owner(s):	SHEJE MANSAKU SHPETIM MANSAKU	Ward:	Etobicoke-Lakeshore (05)
Agent:	BG CONSTRUCTION DESIGN	Heritage:	Not Applicable
Property Address:	978 KIPLING AVE	Community:	
Legal Description:	PLAN 1893 LOT 29		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Thursday, July 27, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, June 29, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0044/17EYK	Zoning	RD & R2
Owner(s):	SHEJE MANSAKU SHPETIM MANSAKU	Ward:	Etobicoke-Lakeshore (05)
Agent:	BG CONSTRUCTION DESIGN	Heritage:	Not Applicable
Property Address:	978 KIPLING AVE – PART 1	Community:	

Legal Description: PLAN 1893 LOT 29

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.20.(1)(A), By-law 569-2013 and Section 320-59.A.(1)**
The minimum required lot frontage is 13.5 m.
The new lot frontage will be 7.62 m.
- 2. Section 10.20.30.10.(1)(A), By-law 569-2013 and Section 320-59.B.(1)**
The minimum required lot area is 510 m².
The new lot area will be 311.12 m².
- 3. Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (102.67 m²).
The new dwelling will cover 33.93% of the lot area (105.55 m²).
- 4. Section 900.3.10.(21)(C), By-law 569-2013 and Section 1.B)(1), By-law 1992-23**
The maximum permitted gross floor area (including an attached or detached garage) shall be 135 m² plus 25% of the lot area (212.78 m²), up to a maximum floor space index of 0.5 (155.56 m²).
The new dwelling (including the attached garage) will have a gross floor area equal to 135 m² plus 30% of the lot area (228.15 m²) with a floor space index of 0.73 (228.05 m²).
- 5. Section 900.3.10.(21)(D)(i), By-law 569-2013 and Section 1.c)(1), By-law 1992-23**
The minimum required side yard setback is 0.9 m, providing the aggregate of both side yards is not less than 2.1 m.
The new dwelling will be located 0.6 m from the north side lot line and will have a total aggregate side yard setback of 1.8 m.
- 6. Section 320-41.(D)**
The minimum required side yard setback for eaves is 0.4 m.
The eaves of the new dwelling will be located 0.3 m from the north side lot line.

7. **Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The new dwelling will have a front exterior main wall height of 7.36 m.
8. **Section 1.a)(2), By-law 1992-23**
The maximum permitted height of the eaves overhang for a peaked roofed dwelling is 6.5 m.
The proposed height of the eaves overhang is 7.36 m.
9. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new dwelling will have a building length of 17.83 m.
10. **Section 1.d)(1), By-law 1992-23**
The maximum permitted dwelling depth is 16.5 m.
The new dwelling will have a depth of 17.83 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

- The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0005/17EYK**
 1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
 2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III

SIGNATURE PAGE

File Number:	A0044/17EYK	Zoning	RD & R2
Owner:	SHEJE MANSAKU SHPETIM MANSAKU	Ward:	Etobicoke-Lakeshore (05)
Agent:	BG CONSTRUCTION DESIGN	Heritage:	Not Applicable
Property Address:	978 KIPLING AVE – PART 1	Community:	
Legal Description:	PLAN 1893 LOT 29		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0043/17EYK	Zoning	RD & R2
Owner(s):	SHEJE MANSAKU SHPETIM MANSAKU	Ward:	Etobicoke-Lakeshore (05)
Agent:	BG CONSTRUCTION DESIGN	Heritage:	Not Applicable
Property Address:	978 KIPLING AVE – PART 2	Community:	

Legal Description: PLAN 1893 LOT 29

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 and Section 320-59.A.(1)**
The minimum required lot frontage is 13.5 m.
The new lot frontage will be 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013 and Section 320-59.B.(1)**
The minimum required lot area is 510 m².
The new lot area will be 311.12 m².
- Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (102.67 m²).
The new dwelling will cover 33.93% of the lot area (105.55 m²).
- Section 900.3.10.(21)(C), By-law 569-2013 and Section 1.B(1), By-law 1992-23**
The maximum permitted gross floor area (including an attached or detached garage) shall be 135 m² plus 25% of the lot area (212.78 m²), up to a maximum floor space index of 0.5 (155.56 m²).
The new dwelling (including the attached garage) will have a gross floor area equal to 135 m² plus 30% of the lot area (228.15 m²) with a floor space index of 0.73 (228.05 m²).

5. **Section 900.3.10.(21)(D)(i), By-law 569-2013 and Section 1.c)(1), By-law 1992-23**
The minimum required side yard setback is 0.9 m, providing the aggregate of both side yards is not less than 2.1 m.
The new dwelling will be located 0.6 m from the south side lot line and will have a total aggregate side yard setback of 1.8 m.
6. **Section 320-41.(D)**
The minimum required side yard setback for eaves is 0.4 m.
The eaves of the new dwelling will be located 0.3 m from the south side lot line.
7. **Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The new dwelling will have a front exterior main wall height of 7.5 m.
8. **Section 1.a)(2), By-law 1992-23**
The maximum permitted height of the eaves overhang for a peaked roofed dwelling is 6.5 m.
The proposed height of the eaves overhang is 7.5 m.
9. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new dwelling will have a building length of 17.83 m.
10. **Section 1.d)(1), By-law 1992-23**
The maximum permitted dwelling depth is 16.5 m.
The new dwelling will have a depth of 17.83 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

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- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0005/17EYK**
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III

SIGNATURE PAGE

File Number:	A0043/17EYK	Zoning	RD & R2
Owner:	SHEJE MANSAKU SHPETIM MANSAKU	Ward:	Etobicoke-Lakeshore (05)
Agent:	BG CONSTRUCTION DESIGN	Heritage:	Not Applicable
Property Address:	978 KIPLING AVE – PART 2	Community:	
Legal Description:	PLAN 1893 LOT 29		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, June 29, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0017/17EYK	Zoning	E & IC2
Owner(s):	REG-DON LTD	Ward:	Etobicoke North (02)
Agent:	LEW ASSOCIATES LIMITED	Heritage:	Not Applicable
Property Address:	25 TABER RD	Community:	
Legal Description:	PLAN 4630 LOT 55 PT LOT 56		

Notice was given and the application considered on Thursday, June 29, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two industrial lots and to create an easement/right-of-way for the purpose of a mutual driveway.

Conveyed - Parts 1 & 4

Address to be assigned

Parts 1 & 4 will have a combined lot frontage of 19.65 m and a combined lot area of 1553 m². The property is currently vacant and will be redeveloped as the site of a new industrial building and will require variances to the Zoning By-law, as outlined in Application Number A0216/17EYK.

Easement/Right-of-Way - Part 4

Part 4 has an area of 195 m² and will be subject to an easement/right-of-way in favour of Parts 2 & 3 for the purpose of a mutual driveway.

Conveyed - Parts 2 and 3

Address to be assigned

Parts 2 & 3 will have a combined lot frontage of 20 m and a combined lot area of 1659 m². The existing industrial building will be maintained and will require variances to the Zoning By-law, as outlined in Application Number A0217/17EYK.

Easement/Right-of-Way - Part 3

Part 3 has an area of 195 m² and will be subject to an easement/right-of-way in favour of Parts 1 & 4 for the purpose of a mutual driveway.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0017/17EYK	Zoning	E & IC2
Owner(s):	REG-DON LTD	Ward:	Etobicoke North (02)
Agent:	LEW ASSOCIATES LIMITED	Heritage:	Not Applicable
Property Address:	25 TABER RD	Community:	
Legal Description:	PLAN 4630 LOT 55 PT LOT 56		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Thursday, July 27, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, June 29, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0216/17EYK	Zoning	E & IC2
Owner(s):	REG-DON LTD	Ward:	Etobicoke North (02)
Agent:	LEW ASSOCIATES LIMITED	Heritage:	Not Applicable
Property Address:	25 TABER RD – PARTS 1 & 4	Community:	

Legal Description: PLAN 4630 LOT 55 PT LOT 56

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new industrial building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 60.20.30.20.(1), By-law 569-2013**
The minimum required lot frontage is 20 m.
The new lot frontage will be 19.65 m.
- Section 60.5.100.1.(1)(A), By-law 569-2013**
The minimum required driveway width is 6 m.
The proposed driveway will have a width of 3.75 m.
- Section 304-36.G.(2)**
The maximum permitted driveway access width is 10.5 m, excluding corner radii. No two such means of access on any said properties shall be less than 5 m apart.
The proposed mutual driveway separation along the side lot line will be 0 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
 - The general intent and purpose of the Zoning By-law is maintained.
 - The variance(s) is considered desirable for the appropriate development of the land.
 - In the opinion of the Committee, the variance(s) is minor.
1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0017/17EYK**
 2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
 3. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 3.1 The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Engineering and Construction Services and Transportation Services, at no cost to the City;
 - a. Show existing driveway entrances, curbs, landscaped areas and sidewalk on the plan including the area within the municipal boulevard.
 - b. Demonstrate how groundwater is discharged from the existing basement and how such discharge complies with the Sewer Use By-Law.
 - c. In the event the groundwater discharge in b) above does not comply with the Sewer Use By law, the applicant shall:
 - i. Undertake all necessary onsite work required to comply with said Sewer By-Law

OR

- ii. Submit an application to Toronto Water (Environmental Monitoring & Protection) for any permanent dewatering system that is required for the building, and enter into an agreement and/or permit to discharge groundwater as required by the General Manager, Toronto Water.

- d. Show all existing storm drainage on the site including catch basins, storm sewers, & the ditch and culvert (with size, slope and inverts) at the front of the property and storm sewer in the right of way. Label flow directions.
- e. The owner shall file with the Director, Community Planning, Etobicoke York District in consultation with the Executive Director, Engineering & Construction Services, fully executed copies of the following certificates satisfactory to the said Director:
 - i. From the applicant's solicitor with respect to the creation of necessary easements;
 - ii. From the applicant's surveyor with respect to the identification of necessary easements;
 - iii. From the applicant's engineer with respect to the identification of necessary easements.
- f. The Owner shall file with the Director of Community Planning, Etobicoke York District, a fully executed copy of Certification from the applicant's solicitor that:
 - i. Upon conveyance of the first lot the Parties will enter into a Cost Sharing Agreement with respect to the shared stormwater services; and
 - ii. The Cost Sharing Agreement designates an owner who will be the person responsible in the case of any issue regarding the shared stormwater services, including but not limited to issues arising with respect to the City of Toronto Municipal Code Chapter 681 (the Person of Responsibility). The Certification shall further indicate:
 - Who the Person of Responsibility is;
 - The contact information for the Person of Responsibility; and
 - That the Cost-Sharing Agreement contains a clause requiring the Person of Responsibility to maintain up-to-date contact information with the General Manager, Toronto Water.
- g. Place the following note on the Site Plan: It is the responsibility of the applicant to comply with the Sewer Use By-Law and obtain all approvals/ permits from Toronto Water - Environmental Monitoring & Protection Unit for any proposed temporary or permanent discharging of groundwater into municipal sewer systems and watercourses. The applicant is also responsible for complying with all the applicable Provincial requirements and obtaining the necessary approvals and/or permits from the Ministry of the Environment & Climate Change with regard to any proposed dewatering.

SIGNATURE PAGE

File Number:	A0216/17EYK	Zoning	E & IC2
Owner:	REG-DON LTD	Ward:	Etobicoke North (02)
Agent:	LEW ASSOCIATES LIMITED	Heritage:	Not Applicable
Property Address:	25 TABER RD – PARTS 1 & 4	Community:	
Legal Description:	PLAN 4630 LOT 55 PT LOT 56		

Allan Smithies (signed) _____
Dominic Gulli (signed) _____
Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 29, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0217/17EYK	Zoning	E & IC2
Owner(s):	REG-DON LTD	Ward:	Etobicoke North (02)
Agent:	LEW ASSOCIATES LIMITED	Heritage:	Not Applicable
Property Address:	25 TABER RD – PARTS 2 & 3	Community:	

Legal Description: PLAN 4630 LOT 55 PT LOT 56

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the existing industrial building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 60.5.100.1.(1)(A), By-law 569-2013**
The minimum required driveway width is 6 m.
The proposed driveway will have a width of 3.75 m.
- Section 304-36.G.(2)**
The maximum permitted driveway access width is 10.5 m, excluding corner radii. No two such means of access on any said properties shall be less than 5 m apart.
The proposed mutual driveway separation along the side lot line will be 0 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
 - The general intent and purpose of the Zoning By-law is maintained.
 - The variance(s) is considered desirable for the appropriate development of the land.
 - In the opinion of the Committee, the variance(s) is minor.
1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0017/17EYK**
 2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
 3. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 3.1 The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Engineering and Construction Services and Transportation Services, at no cost to the City;
 - a. Show existing driveway entrances, curbs, landscaped areas and sidewalk on the plan including the area within the municipal boulevard.
 - b. Demonstrate how groundwater is discharged from the existing basement and how such discharge complies with the Sewer Use By-Law.
 - c. In the event the groundwater discharge in b) above does not comply with the Sewer Use By law, the applicant shall:
 - i. Undertake all necessary onsite work required to comply with said Sewer By-Law

OR

- ii. Submit an application to Toronto Water (Environmental Monitoring & Protection) for any permanent dewatering system that is required for the building, and enter into an agreement and/or permit to discharge groundwater as required by the General Manager, Toronto Water.

- d. Show all existing storm drainage on the site including catch basins, storm sewers, & the ditch and culvert (with size, slope and inverts) at the front of the property and storm sewer in the right of way. Label flow directions.
- e. The owner shall file with the Director, Community Planning, Etobicoke York District in consultation with the Executive Director, Engineering & Construction Services, fully executed copies of the following certificates satisfactory to the said Director:
 - i. From the applicant's solicitor with respect to the creation of necessary easements;
 - ii. From the applicant's surveyor with respect to the identification of necessary easements;
 - iii. From the applicant's engineer with respect to the identification of necessary easements.
- f. The Owner shall file with the Director of Community Planning, Etobicoke York District, a fully executed copy of Certification from the applicant's solicitor that:
 - i. Upon conveyance of the first lot the Parties will enter into a Cost Sharing Agreement with respect to the shared stormwater services; and
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 - Who the Person of Responsibility is;
 - The contact information for the Person of Responsibility; and
 - That the Cost-Sharing Agreement contains a clause requiring the Person of Responsibility to maintain up-to-date contact information with the General Manager, Toronto Water.
- g. Place the following note on the Site Plan: It is the responsibility of the applicant to comply with the Sewer Use By-Law and obtain all approvals/ permits from Toronto Water - Environmental Monitoring & Protection Unit for any proposed temporary or permanent discharging of groundwater into municipal sewer systems and watercourses. The applicant is also responsible for complying with all the applicable Provincial requirements and obtaining the necessary approvals and/or permits from the Ministry of the Environment & Climate Change with regard to any proposed dewatering.

SIGNATURE PAGE

File Number:	A0217/17EYK	Zoning	E & IC2
Owner:	REG-DON LTD	Ward:	Etobicoke North (02)
Agent:	LEW ASSOCIATES LIMITED	Heritage:	Not Applicable
Property Address:	25 TABER RD – PARTS 2 & 3	Community:	
Legal Description:	PLAN 4630 LOT 55 PT LOT 56		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 29, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0018/17EYK	Zoning	RD & RS
Owner(s):	JULIEN SEBASTIAN NEMA	Ward:	Etobicoke-Lakeshore (06)
Agent:	GABRIELE GUIDUCCI	Heritage:	Not Applicable
Property Address:	38 THIRTY SIXTH ST	Community:	
Legal Description:	PLAN 2180 LOT 124		

Notice was given and the application considered on Thursday, June 29, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 1

Address to be assigned

The lot frontage will be 7.62 m and the lot area will be 306.59 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0234/17EYK.

Conveyed - Part 2

Address to be assigned

The lot frontage will be 7.62 m and the lot area will be 306.59 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0233/17EYK.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division is premature.
- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number:	B0018/17EYK	Zoning	RD & RS
Owner(s):	JULIEN SEBASTIAN NEMA	Ward:	Etobicoke-Lakeshore (06)
Agent:	GABRIELE GUIDUCCI	Heritage:	Not Applicable
Property Address:	38 THIRTY SIXTH ST	Community:	
Legal Description:	PLAN 2180 LOT 124		

Allan Smithies (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd (signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Thursday, July 27, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0233/17EYK	Zoning	RD & RS
Owner(s):	JULIEN SEBASTIAN NEMA	Ward:	Etobicoke-Lakeshore (06)
Agent:	GABRIELE GUIDUCCI	Heritage:	Not Applicable
Property Address:	38 THIRTY SIXTH ST – PART	Community:	
	2		

Legal Description: PLAN 2180 LOT 124

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 and Section 330-23 (A)(2)**
The minimum required lot frontage is 12 m.
The lot will have a frontage of 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 370 m².
Section 330-23(A)(1)
The minimum required lot area is 371 m².
Section 10.20.30.10.(1)(A), By-law 569-2013 and Section 330-23(A)(1)
The lot will have an area of 306.6 m².
- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 330-23(A)(9)**
The maximum permitted floor space index/gross floor area is 0.35 times the area of the lot (107.3 m²).
The proposed floor space index/gross floor area will be 0.69 times the area of the lot (210.6 m²).

4. **Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 330-23(A)(7)
The minimum required side yard setback is 0.9 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 330-23(A)(7)
The proposed dwelling will be located 0.61 m from the south side lot line and 0.91 m from the north side lot line.
5. **Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m from a lot line.
Section 330-13(A)(2)
The minimum required side yard setback for eaves is 0.5 m from a lot line.
Section 10.5.40.60.(7), By-law 569-2013 and Section 330-13(A)(2)
The proposed eaves will be located 0.2 from the south side lot line.
6. **Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted front exterior main wall height is 7 m.
The proposed dwelling will have a front exterior main wall height of 8.13 m.
7. **Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The new dwelling will have a first floor height of 2.9 m above established grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0233/17EYK	Zoning	RD & RS
Owner:	JULIEN SEBASTIAN NEMA	Ward:	Etobicoke-Lakeshore (06)
Agent:	GABRIELE GUIDUCCI	Heritage:	Not Applicable
Property Address:	38 THIRTY SIXTH ST – PART 2	Community:	
Legal Description:	PLAN 2180 LOT 124		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0234/17EYK	Zoning	RD & RS
Owner(s):	JULIEN SEBASTIAN NEMA	Ward:	Etobicoke-Lakeshore (06)
Agent:	GABRIELE GUIDUCCI	Heritage:	Not Applicable
Property Address:	38 THIRTY SIXTH ST – PART	Community:	
	1		

Legal Description: PLAN 2180 LOT 124

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 and Section 330-23 (A)(2)**
The minimum required lot frontage is 12 m.
The lot will have a frontage of 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 370 m².
Section 330-23(A)(1)
The minimum required lot area is 371 m².
Section 10.20.30.10.(1)(A), By-law 569-2013 and Section 330-23(A)(1)
The lot will have an area of 306.6 m².
- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 330-23(A)(9)**
The maximum permitted floor space index/gross floor area is 0.35 times the area of the lot (107.3 m²).
The proposed floor space index/gross floor area will be 0.69 times the area of the lot (210.1 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 330-23(A)(7)
The minimum required side yard setback is 0.9 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 330-23(A)(7)
The proposed dwelling will be located 0.61 m from the north side lot line and 0.91 m from the south side lot line.

5. **Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m from a lot line.
Section 330-13(A)(2)
The minimum required side yard setback for eaves is 0.5 m from a lot line.
Section 10.5.40.60.(7), By-law 569-2013 and Section 330-13(A)(2)
The proposed eaves will be located 0.2 m from the north side lot line.
6. **Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted front exterior main wall height is 7 m.
The proposed dwelling will have a front exterior main wall height of 8 m.
7. **Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The new dwelling will have a first floor height of 2.77 m above established grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0234/17EYK	Zoning	RD & RS
Owner:	JULIEN SEBASTIAN NEMA	Ward:	Etobicoke-Lakeshore (06)
Agent:	GABRIELE GUIDUCCI	Heritage:	Not Applicable
Property Address:	38 THIRTY SIXTH ST – PART 1	Community:	
Legal Description:	PLAN 2180 LOT 124		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0255/17EYK	Zoning	RD & R1
Owner(s):	BARBARA JANE ROSCOE	Ward:	Etobicoke-Lakeshore (05)
Agent:	JOHN CULMONE	Heritage:	Not Applicable
Property Address:	105 THE KINGSWAY (PART 1)	Community:	

Legal Description: PLAN 2540 LOT 87 LOT 88

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with a detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-55.C.**
The maximum permitted lot coverage is 33% of the lot area (182.79 m²).
The new dwelling will cover 39.33% of the lot area (217.82 m²).
- Section 900.3.10.(35)(A), By-law 569-2013 and Section 1.a), By-law 1993-108**
The maximum permitted gross floor area of a detached dwelling, including an attached or detached garage, is 150 m² plus 25% of the lot area (288.48 m²) up to a maximum floor space index of 0.5 (276.95 m²).
The new dwelling will have a gross floor area of 150 m² plus 30.31% of the lot area (317.89 m²) with a floor space index of 0.57 (317.89 m²).
- Section 10.20.40.70.(3)(D), By-law 569-2013**
The minimum required side yard setback is 1.5 m.
The new dwelling will be located 0.91 m from the west side lot line.

4. **Section 10.5.40.60.(7), By-law 569-2013**
The eaves of the roof may encroach 0.9 m into the side yard setback, if it is no closer than 0.3 m to the lot line.
Section 320-41.D.
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7), By-law 569-2013 and Section 320-41.D.
The proposed eaves of the roof will encroach 1.14 m into the side yard setback and will be located 0.36 m from the west side lot line.
5. **Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping (125.09 m²).
A total of 41.34% of the rear yard is being maintained as soft landscaping (65.85 m²).
6. **Section 320-55.C**
The maximum permitted encroachment into the required front yard for an open porch is 1.6 m.
The proposed front porch will encroach 2.13 m into the required front yard setback.
7. **Section 10.5.60.40.(2)(B), By-law 569-2013**
The maximum permitted height of an ancillary building is 4 m.
Section 320-43.D.
The maximum permitted wall height for an accessory building is 2.7 m and a maximum permitted height of 3.7 m to the mid-roof.
Section 10.5.60.40.(2)(B), By-law 569-2013 and Section 320-43.D.
The proposed ancillary building (detached garage) will have a height of 4.3 m and the wall height will be 2.7 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0255/17EYK	Zoning	RD & R1
Owner:	BARBARA JANE ROSCOE	Ward:	Etobicoke-Lakeshore (05)
Agent:	JOHN CULMONE	Heritage:	Not Applicable
Property Address:	105 THE KINGSWAY (PART 1)	Community:	
Legal Description:	PLAN 2540 LOT 87 LOT 88		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0256/17EYK	Zoning	RD & R1
Owner(s):	BARBARA JANE ROSCOE	Ward:	Etobicoke-Lakeshore (05)
Agent:	JOHN CULMONE	Heritage:	Not Applicable
Property Address:	103 THE KINGSWAY (PART 2)	Community:	

Legal Description: PLAN 2540 LOT 87 LOT 88

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the existing dwelling and to construct an attached garage and a parking pad along the east side of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-55.C.**
The maximum permitted lot coverage is 33% of the lot area (178.12 m²).
The altered dwelling will cover 36.65% of the lot area (245.34 m²).
- Section 900.3.10.(35)(A), By-law 569-2013 and Section 1.a), By-law 1993-108**
The maximum permitted gross floor area of a detached dwelling, including an attached or detached garage, is 150 m² plus 25% of the lot area (284.94 m²) up to a maximum floor space index of 0.5 (269.88 m²).
The altered dwelling, including the attached garage, will have a gross floor area of 150 m² plus 52.55% of the lot area (433.62 m²) with a floor space index of 0.8 (433.62 m²).
- Section 10.20.40.70.(3)(D), By-law 569-2013**
The minimum required side yard setback is 1.5 m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9 m, providing the aggregate is not less than 2.1 m.
Section 10.20.40.70.(4), By-law 569-2013 and Section 320-42.1.C.(1)
The altered dwelling will be located 0.98 m from the east side lot line and 0.51 m from the west side lot line and will have a total aggregate side yard width of 1.49 m.

4. **Section 320-41.B.**
In the case of a corner lot, the minimum required side yard setback is 3 m.
The proposed garage will be located 0.98 m from the east side lot line.
5. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 21.08 m.
6. **Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19 m.
Section 320-42.1.D.(1)
The maximum permitted building depth is 16.5 m.
Section 10.20.40.30.(1), By-law 569-2013 and Section 320-42.1.D.(1)
The altered dwelling will have a depth of 21.08 m.
7. **Section 10.5.40.60.(7), By-law 569-2013**
The eaves of the roof may encroach 0.9 m into the side yard setback, if it is no closer than 0.3 m to the lot line.
Section 320-41.D.
The minimum required side yard setback for eaves/roof projection is 0.4 m.
Section 10.5.40.60.(7), By-law 569-2013 and Section 320-41.D.
The proposed eaves of the roof will encroach 1.5 m into the west side yard setback and will be located 0 m from the lot line.
8. **Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping (80.64 m²).
A total of 48.13% of the rear yard is being maintained as soft landscaping (77.62 m²).
9. **Section 320-18.F.(1)**
No wall containing a vehicular garage door fronting on a street flanking the lot shall be located within 6 m of such a flanking street.
The proposed garage will be located 0.98 m from the east side lot line.
10. **Section 200.5.1.10.(2)(iv), By-law 569-2013**
The minimum required dimensions of a parking space is 3.5 m in width and 5.6 m in length.
The proposed parking pad will be 3.3 m in width and 6.96 m in length.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0256/17EYK	Zoning	RD & R1
Owner:	BARBARA JANE ROSCOE	Ward:	Etobicoke-Lakeshore (05)
Agent:	JOHN CULMONE	Heritage:	Not Applicable
Property Address:	103 THE KINGSWAY (PART 2)	Community:	
Legal Description:	PLAN 2540 LOT 87 LOT 88		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0049/17EYK	Zoning:	RM & R2
Owner(s):	SUZAN SAAB	Ward:	Etobicoke-Lakeshore (06)
Agent:	GORAL DESIGN	Heritage:	Not Applicable
Property Address:	163 LAKE SHORE DR	Community:	

Legal Description: PLAN 1592 PT LOT 22

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 & Section 350-31(F)(2)**
The maximum permitted floor space index/ gross floor area is 0.6 times the lot area (224.7 m²).
The proposed dwelling will have a floor space index/ gross floor area of 0.68 times the lot area (256 m²).
- Section 10.80.40.70.(1), By-law 569-2013 & Section 350-31(K)**
The minimum required front yard setback is 5.44 m.
The proposed dwelling will be located 3.5 m from the front lot line.
- Section 350-13(B)**
The minimum required eaves side yard setback is 0.5 m.
The eaves of the proposed dwelling will be located 0.33 m from the south side lot line.
- Section 10.80.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 18.9 m.
- Section 10.80.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The front exterior main walls of the proposed dwelling will have a height of 7.49 m.
- Section 10.80.40.50.(1)(A), By-law 569-2013**
The maximum permitted number of platforms at or above the second storey located on the rear wall is 1.
The proposed dwelling will have 2 platforms at or above the second storey located on the rear wall.
- Section 10.80.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of platform at or above the second storey is 4 m².
The proposed rear platforms at or above the second storey will have an area of 13.6 m².

- 8. Section 10.5.50.10.(1)(D), By-law 569-2013 & Section 350-30.9(A)(D)**
 A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (22.1 m²).
 A total of 30.7% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (9.1 m²).
- 9. Section 10.5.50.10.(1)(C), By-law 569-2013 & Section 350-30.8(c)**
 A minimum of 60% of the front yard shall be maintained landscaping (17.8 m²).
 A total of 34.5% of the front yard will be maintained as landscaping (10.2 m²).
- 10. Section 350-26(A)(4)**
 A minimum of 6 m of access is required in front of a parking space.
 A total of 3.5 m of access will be provided in front of the parking space.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 The site plan must include the following notations:
 - a. "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality";
 - c. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveway and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - d. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

3. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on April 27, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0049/17EYK	Zoning	RM & R2
Owner:	SUZAN SAAB	Ward:	Etobicoke-Lakeshore (06)
Agent:	GORAL DESIGN	Heritage:	Not Applicable
Property Address:	163 LAKE SHORE DR	Community:	
Legal Description:	PLAN 1592 PT LOT 22		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

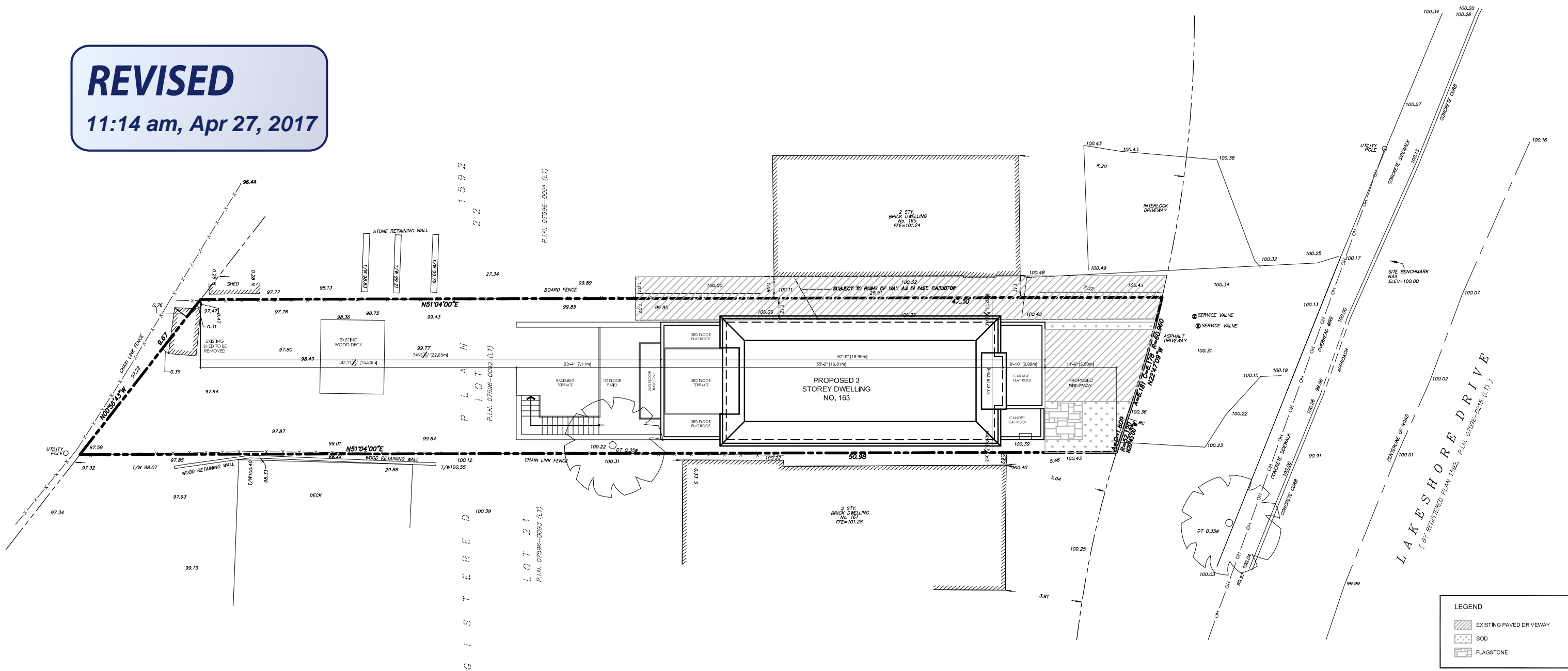
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- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

REVISED
11:14 am, Apr 27, 2017



LEGEND

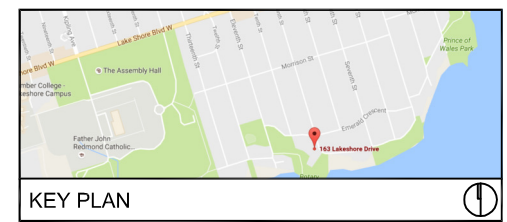
- EXISTING PAVED DRIVEWAY
- SOD
- FLAGSTONE

PROJECT STATISTICS 163 LAKE SHORE DRIVE TORONTO, ONTARIO

ZONING	RM - RESIDENTIAL MULTIPLE DWELLING ZONE	
	BYLAW	EXISTING
SITE AREA	230m ² (2,475.7 ft ²)	374.47m ² (4,030.71 ft ²)
GROSS FLOOR AREA		
FIRST FLOOR		78.92 m ² (849.48 ft ²)
SECOND FLOOR		96.02 m ² (1,033.50 ft ²)
THIRD FLOOR		77.41 m ² (833.20 ft ²)
TOTAL		252.35 m ² (2,716.18 ft ²)
BUILDING SETBACKS		
FRONT (NORTH)	6 m	3.50m (11' - 0")
SIDE (EAST)	0.6 m	0.63 m (2' - 0-3/4")
REAR (SOUTH)	12.19 m (25% LOT DEPTH)	22.65 m (74' - 3-1/2")
SIDE (WEST)	0.6 m	1.20 m (3' - 11-1/4")
BUILDING DENSITY	0.6	0.67
FRONTAGE	7.5 m	
BUILDING LENGTH	17 m (55' - 9")	18.90 m (62' - 0")
BUILDING HEIGHT	9.5m (31' - 2")	9.44 m (30' - 11-1/2")

PROJECT NORTH
TRUE NORTH

SITE PLAN INFORMATION TAKEN FROM:
PART 1 PLAN OF LOT 240
REGISTERED PLAN 1880
CITY OF TORONTO
FORMERLY IN THE CITY OF NORTH YORK
BY: GTA SURVEYING INC - 22 APR 2016



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3.	15.DEC.2016	ISSUED FOR CoA	TG
2.	24.NOV.2016	RE-ISSUED FOR ZC	TG
1.	09.SEP.2016	ISSUED FOR ZC	TG

LAKE SHORE RESIDENCE

163 Lake Shore Drive, Toronto, Ontario M8V 2A1

LAKE SHORE RESIDENCE

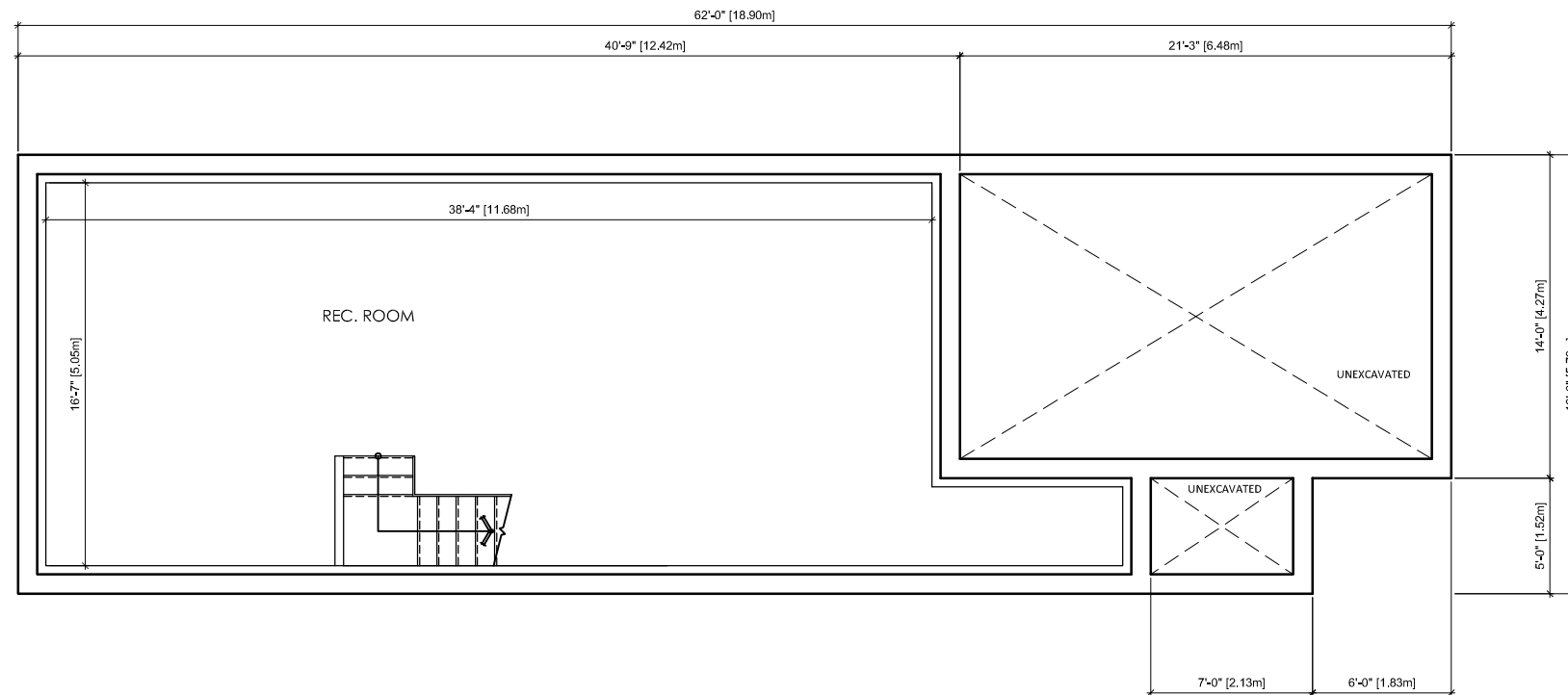
163 Lake Shore Drive, Toronto, Ontario M8V 2A1

SITE PLAN

14 JULY 2016

PROJECT NUMBER 1636

SCALE	DRAWN BY	CHECKED BY
1/16" = 1'-0"	TG	FS
DATE	DRAWING NUMBER	
14 JULY 2016	A-1	
PROJECT NUMBER	1636	



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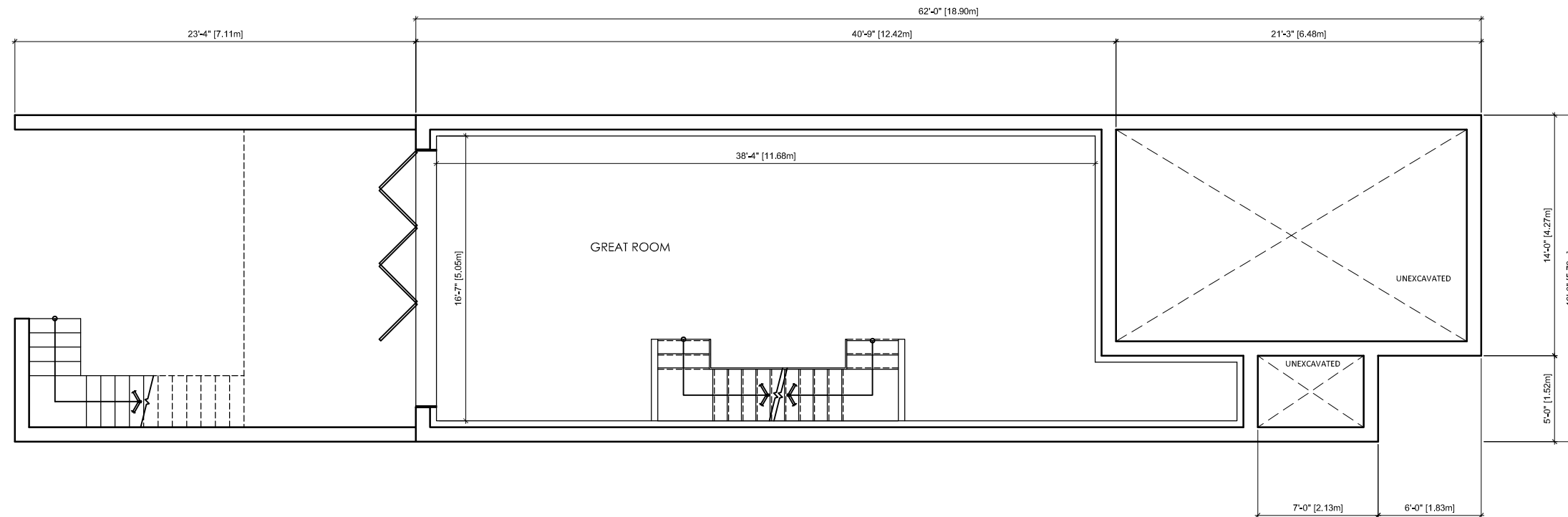
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1.	09.SEPT.2016	ISSUED FOR ZC	TG

LAKE SHORE RESIDENCE

163 Lake Shore Drive, Toronto, Ontario M8V 2A1

2ND BASEMENT FLOOR PLAN

SCALE	DRAWN BY	CHECKED BY
1/8" = 1'-0"	TG	FS
DATE	DRAWING NUMBER	
14 JULY 2016	A-3.1	
PROJECT NUMBER		
1636		



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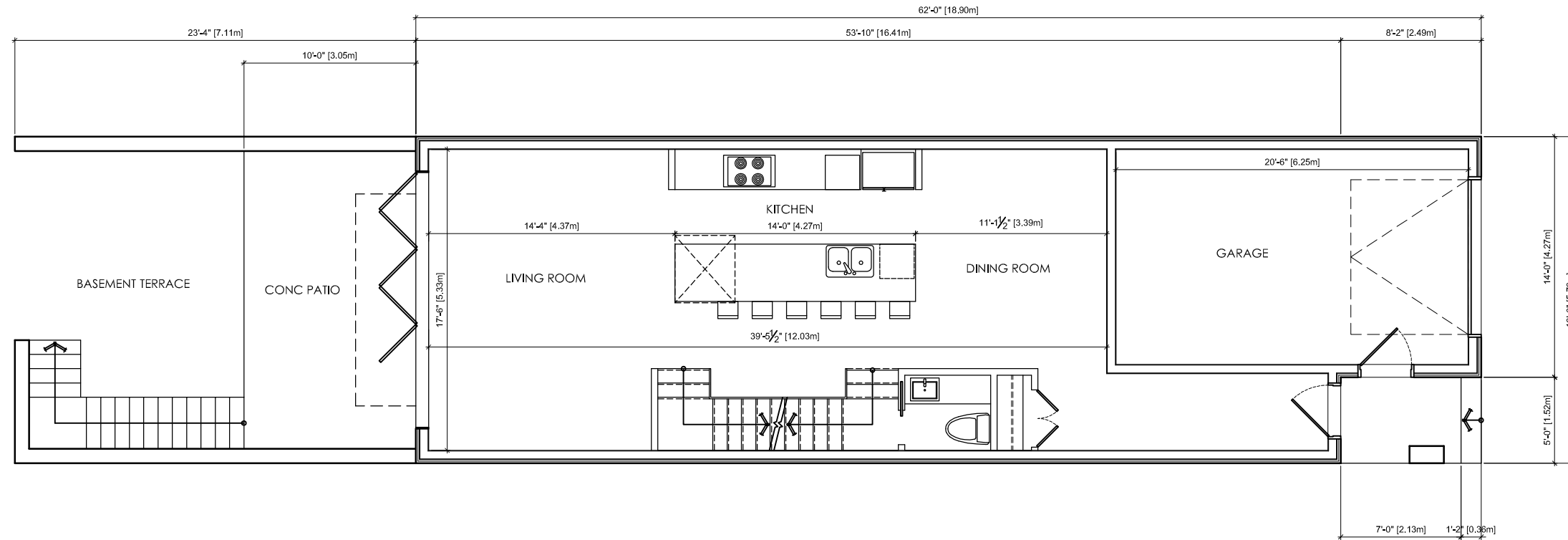
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LAKE SHORE RESIDENCE
163 Lake Shore Drive, Toronto, Ontario M8V 2A1

BASEMENT FLOOR PLAN

SCALE	DRAWN BY	CHECKED BY
1/8" = 1'-0"	TG	FS
DATE	DRAWING NUMBER	
14 JULY 2016	A-3.2	
PROJECT NUMBER	1636	



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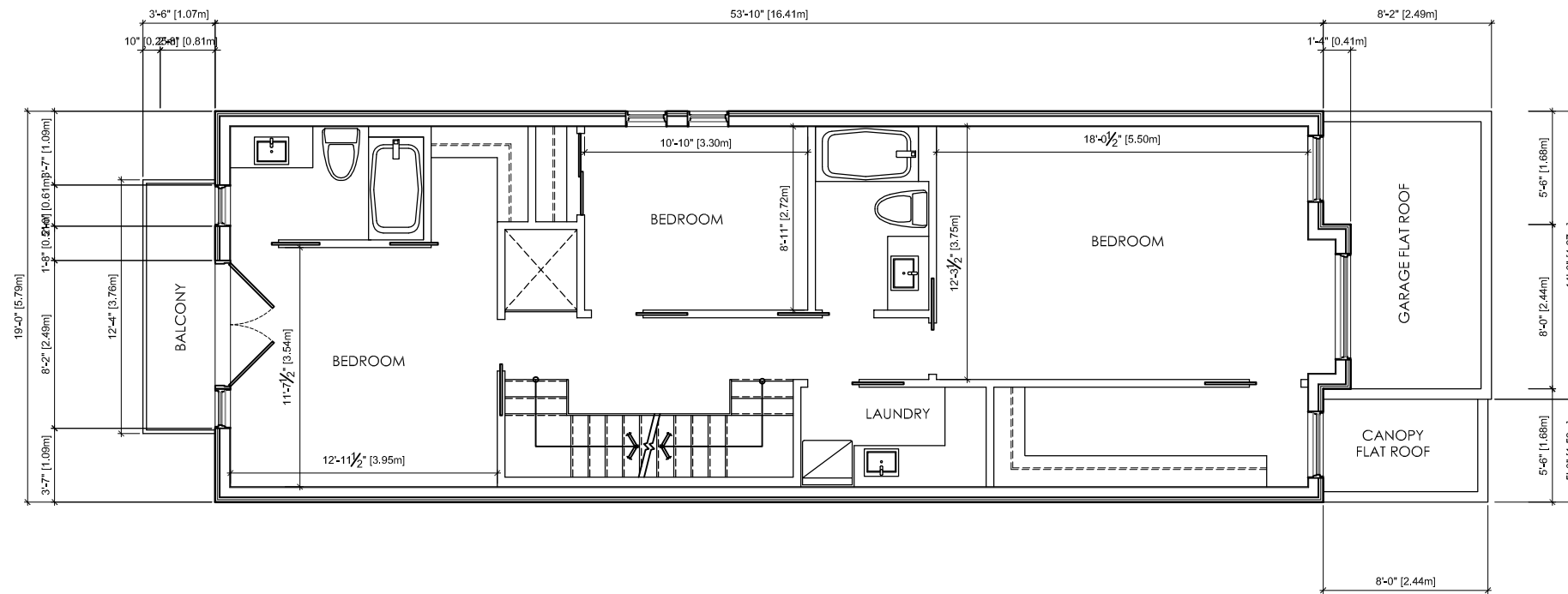
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2.	24.NOV.2016	RE-ISSUED FOR ZC	TG
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LAKE SHORE RESIDENCE
163 Lake Shore Drive, Toronto, Ontario M8V 2A1

GROUND FLOOR PLAN

SCALE	DRAWN BY	CHECKED BY
1/8" = 1'-0"	TG	FS
DATE	DRAWING NUMBER	
14 JULY 2016	A-3.3	
PROJECT NUMBER	1636	



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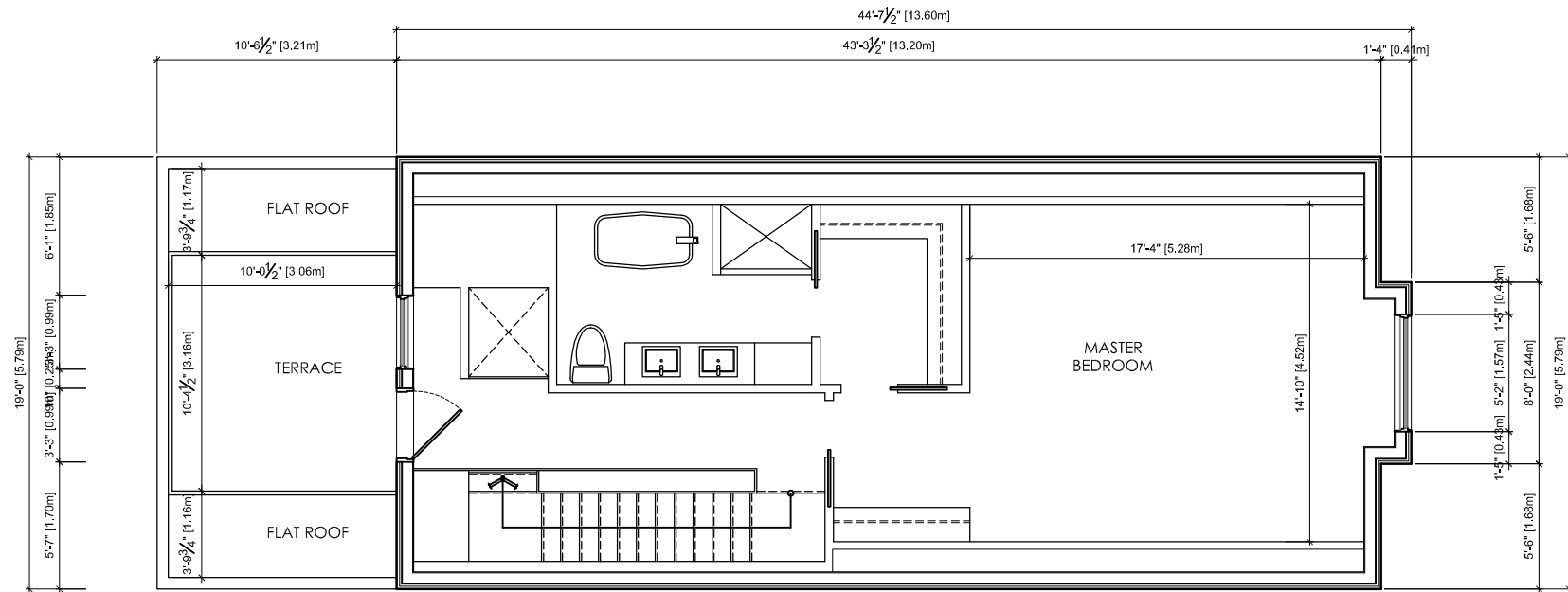
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2.	24.NOV.2016	RE-ISSUED FOR ZC	TG
1.	09.SEP.2016	ISSUED FOR ZC	TG

LAKE SHORE RESIDENCE

163 Lake Shore Drive, Toronto, Ontario M8V 2A1

2nd FLOOR PLAN

SCALE	DRAWN BY	CHECKED BY
1/8" = 1'-0"	TG	FS
DATE	DRAWING NUMBER	
14 JULY 2016	A-3.4	
PROJECT NUMBER	1636	



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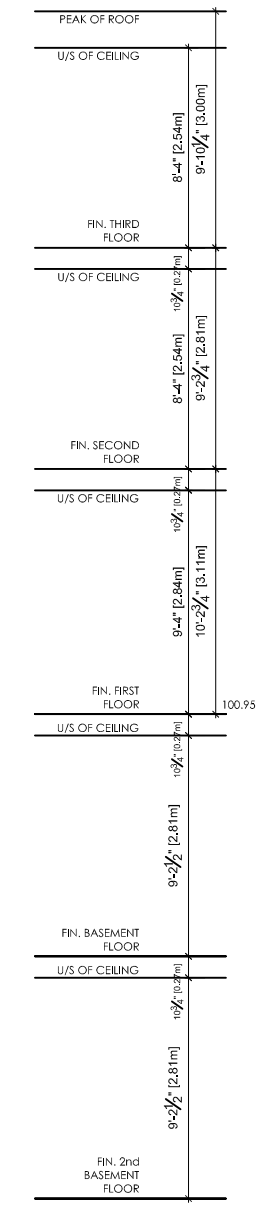
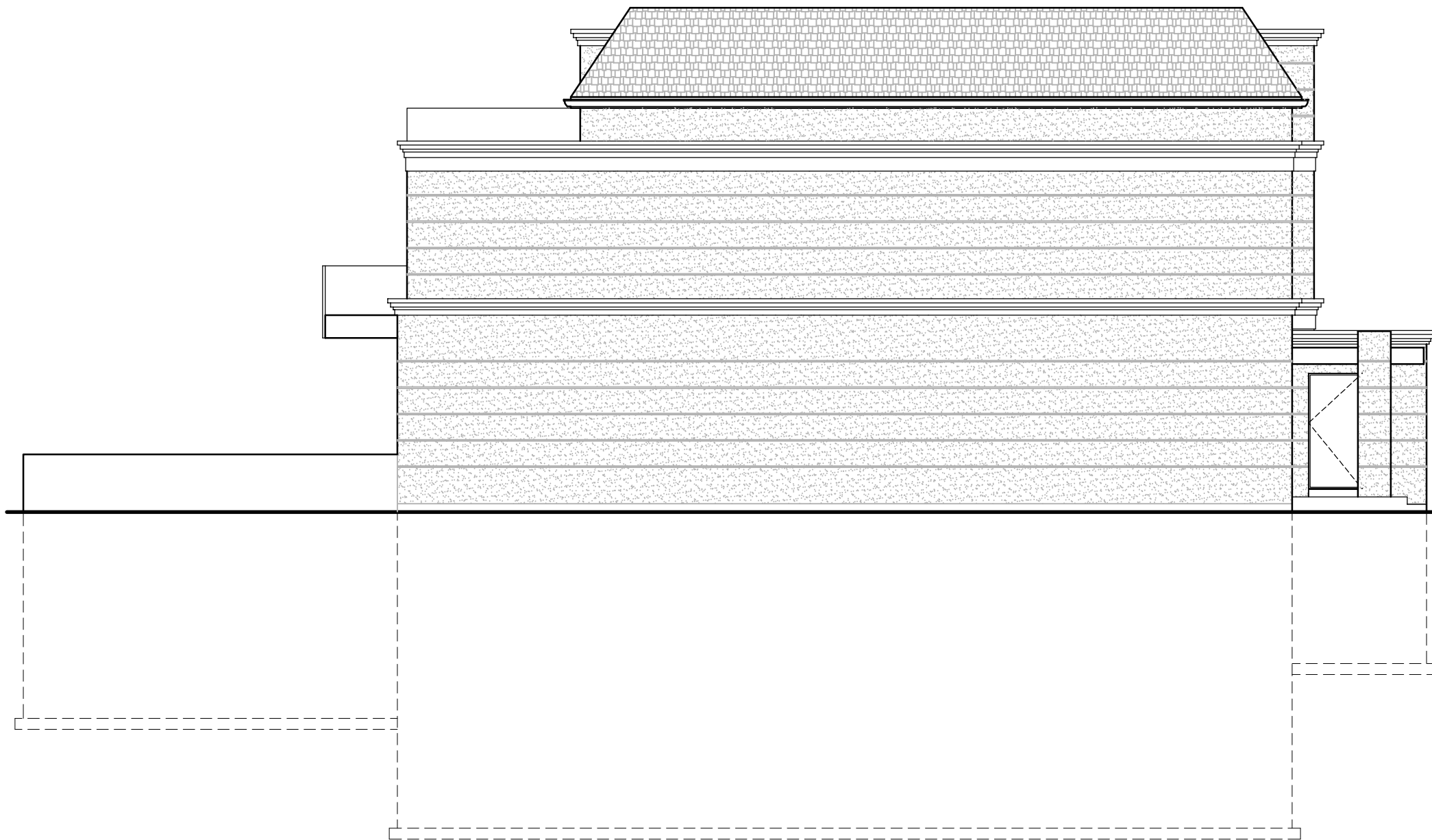
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LAKE SHORE RESIDENCE
163 Lake Shore Drive, Toronto, Ontario M8V 2A1

3rd FLOOR PLAN

SCALE	DRAWN BY	CHECKED BY
1/8" = 1'-0"	TG	FS
DATE	DRAWING NUMBER	
14 JULY 2016	A-3.5	
PROJECT NUMBER	1636	



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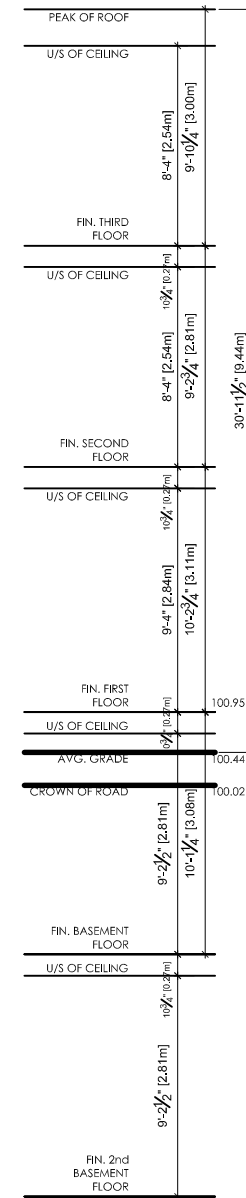
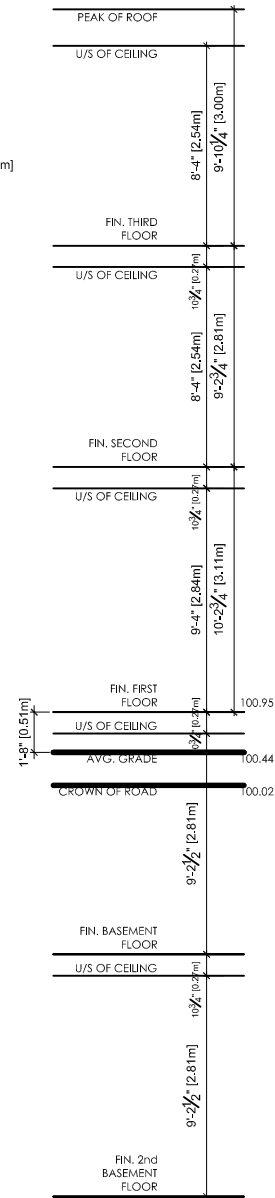
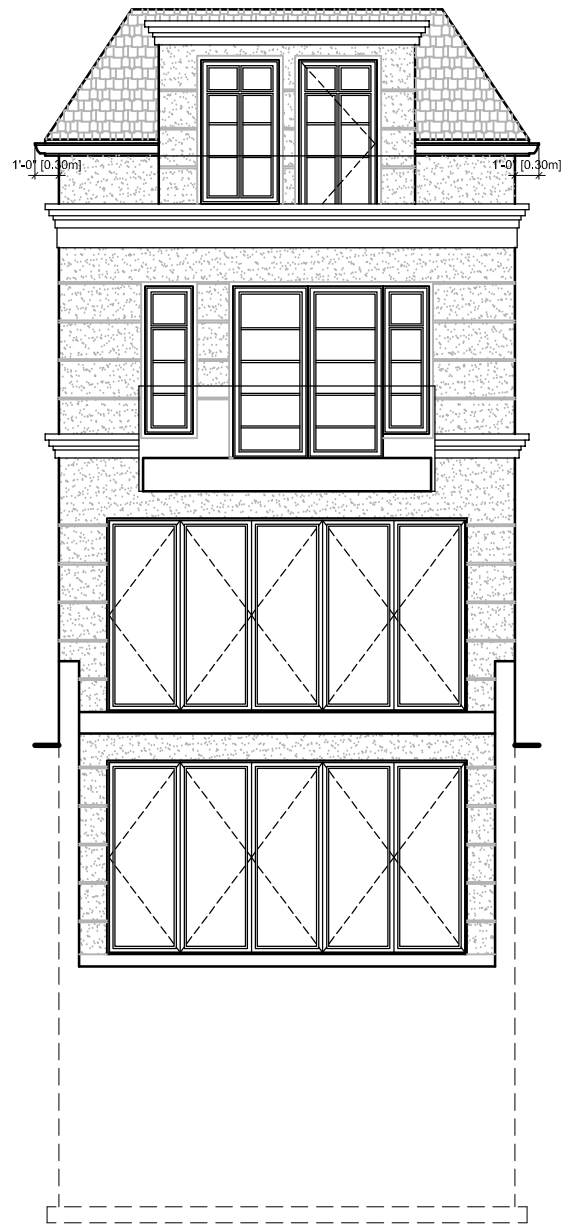
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LAKE SHORE RESIDENCE
163 Lake Shore Drive, Toronto, Ontario M8V 2A1

LEFT SIDE ELEVATION

SCALE	DRAWN BY	CHECKED BY
1/8" = 1'-0"	TG	FS
DATE	DRAWING NUMBER	
14 JULY 2016	A-4.1	
PROJECT NUMBER	1636	



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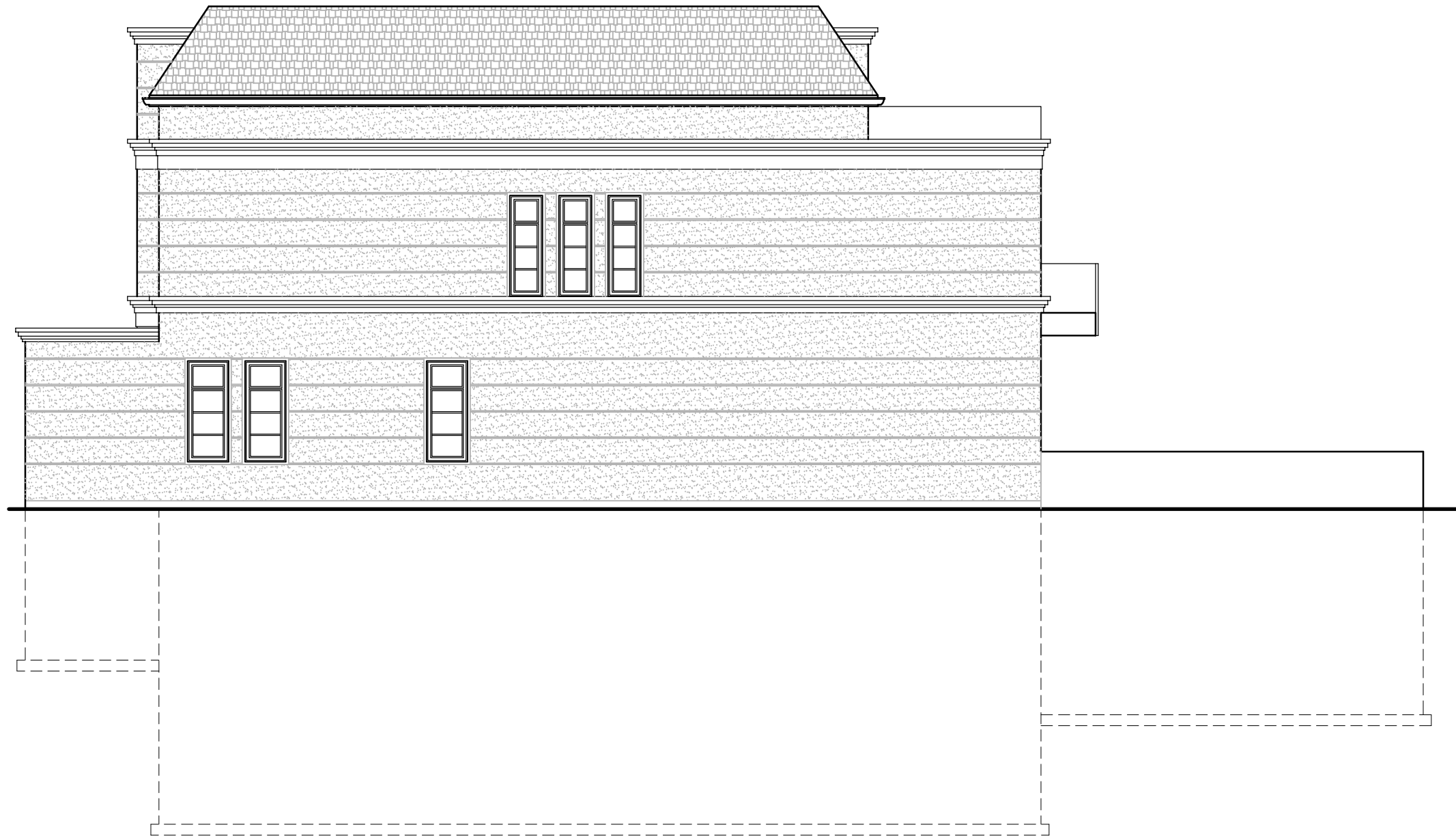
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LAKE SHORE RESIDENCE
163 Lake Shore Drive, Toronto, Ontario M8V 2A1

FRONT AND REAR ELEVATIONS

SCALE	DRAWN BY	CHECKED BY
1/8" = 1'-0"	TG	FS
DATE	DRAWING NUMBER	
14 JULY 2016	A-4.2	
PROJECT NUMBER	1636	



PEAK OF ROOF	
U/S OF CEILING	
8'-4" (2.54m)	9'-10 1/4" (3.00m)
FIN. THIRD FLOOR	
U/S OF CEILING	
10'-2 3/4" (3.11m)	8'-4" (2.54m)
9'-2 3/4" (2.81m)	
FIN. SECOND FLOOR	
U/S OF CEILING	
10'-2 3/4" (3.11m)	9'-4" (2.84m)
10'-2 3/4" (3.11m)	
FIN. FIRST FLOOR	100.95
U/S OF CEILING	
10'-2 3/4" (3.11m)	9'-2 1/2" (2.81m)
FIN. BASEMENT FLOOR	
U/S OF CEILING	
10'-2 3/4" (3.11m)	9'-2 1/2" (2.81m)
FIN. 2nd BASEMENT FLOOR	

THIS DRAWING IS NOT TO BE SCALED. REFER TO APPROPRIATE SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, LANDSCAPE, ETC. CONSULTANT DRAWINGS BEFORE PROCEEDING WITH THE WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED "FOR PERMIT/CONSTRUCTION" MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM THEIR WORK. THIS DRAWING, AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF THE DESIGNER AND ENGINEER. THE CONTRACTOR SHALL VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND SHALL NOTIFY THE APPROPRIATE CONSULTANT OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE AS-BUILT INFORMATION PROVIDED IN THESE DRAWINGS IS FOR INFORMATION PURPOSES ONLY. ALL DIMENSIONS ARE CALCULATED FROM ON-SITE OBSERVATIONS REPRESENTING EXISTING CONDITIONS. THE INFORMATION PROVIDED MUST BE CONFIRMED PRIOR TO CONSTRUCTION, ENLARGEMENT OR ALTERATION OF ANY PART, OR IN WHOLE, OF THE EXISTING BUILDING. THE OWNER OF THE PROPERTY WILL NOT HOLD THE DESIGNER AND ENGINEER LIABLE FOR THE WORK DONE BY OTHERS.

THESE DRAWINGS HAVE BEEN PREPARED FOR BUILDING PERMIT PURPOSES ONLY. THE DESIGNER AND ENGINEER ARE NOT RESPONSIBLE FOR GENERAL REVIEW DURING CONSTRUCTION UNLESS A SEPARATE AGREEMENT IS MADE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING AND ASSUMED STRUCTURAL CONDITIONS. IN THE EVENT THAT THE CONTRACTOR FINDS A DISCREPANCY WITH THE APPROVED PERMIT CONSTRUCTION DRAWINGS AND/OR THE ASSUMED CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER OF THE PROJECT AND/OR THE APPROPRIATE CONTRACTED CONSULTANT(S) WHO ARE RESPONSIBLE FOR GENERAL REVIEW DURING CONSTRUCTION. THE DESIGNER AND THE ENGINEER WHO HAVE SEALED THESE DRAWINGS ARE NOT RESPONSIBLE FOR GENERAL REVIEW DURING CONSTRUCTION.

No.	DATE	REVISION/SUBMISSION	ISSUED BY
4.	19.APR.2017	RE-ISSUED FOR CoIA	TG
3.	15.DEC.2016	ISSUED FOR CoIA	TG
2.	24.NOV.2016	RE-ISSUED FOR ZC	TG
1.	09.SEP.2016	ISSUED FOR ZC	TG

LAKE SHORE RESIDENCE

163 Lake Shore Drive, Toronto, Ontario M8V 2A1

RIGHT SIDE ELEVATION

SCALE	DRAWN BY	CHECKED BY
1/8" = 1'-0"	TG	FS
DATE	DRAWING NUMBER	
14 JULY 2016	A-4.3	
PROJECT NUMBER		
1636		

Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0182/17EYK	Zoning	E1.0 & I.C1
Owner(s):	21 CANMOTOR INC	Ward:	Etobicoke-Lakeshore (05)
Agent:	ANDY STRETCH	Heritage:	Not Applicable
Property Address:	21 CANMOTOR AVE	Community:	

Legal Description: PLAN 1926 LOT 30 PT LOT 31

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey south side addition and a second storey addition above the existing building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 304-36.E.(1)**
The maximum permitted floor space index for offices is 0.6 times the lot area (517.7 m²).
The altered building will have a floor space index of 1 times the area of the lot (862.8 m²).
- Section 60.20.40.70.(2), By-law 569-2013 and Section 304-36.D.(1)**
The minimum required side yard setback is 3 m.
The altered building will be located 1.88 m from the south side lot line.
- Section 60.5.80.10.(1)(A), By-law 569-2013**
A parking space must be a minimum of 3 m from a side lot line adjacent to a street.
Section 304-36.G.(1)
A parking area must be a minimum of 4.5 m from the front lot line and a parking area is required to be a minimum of 3 m from the street line.
Section 60.5.80.10.(1)(A), By-law 569-2013 and Section 304-36.G.(1)
The proposed parking spaces will be located 0 m from the Canmotor Avenue front lot line and 0 m from the Caven Street side lot line.
- Section 60.5.80.10.(2)(B), By-law 569-2013**
Vehicle parking may be in a side yard that does not abut a street.
The proposed parking will be located in the side yard adjacent to Caven Street.
- Section 304-36.G.(2)**
Vehicle access onto all properties shall not exceed 10.5 m.
The vehicular access along the Caven Street frontage will be 29.9 m along the Caven Street flankage to provide access to parking spaces.

6. **Section 200.5.10.1, By-law 569-2013**
A total of 13 legal on-site parking spaces are required.
Section 320-18.F.(2)
A total of 28 legal on-site parking spaces are required.
Section 200.5.10.1, By-law 569-2013 and Section 320-18.F.(2)
A total of 14 parking spaces are required, of which non are legal.
7. **Section 304-36.B.(1)**
A minimum 4.5 m landscaped strip is required along the entirety of the front lot line.
No landscaping is proposed at the front parking area.
8. **Section 304-36.D.(4)**
A landscaped strip, at least 3 m wide, shall be provided along a side lot line abutting a street.
No landscaping is proposed along the Caven Street lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.
2. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office (Drawing No. ID-0c), to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
3. The applicant must apply for and successfully obtain a commercial boulevard parking license for the 14 proposed parking spaces that partially encroach into the Caven Street and Canmotor Avenue municipal boulevards. The applicant is required to contact Mr. Nino Pellegrini, Supervisor, Off-Street Parking Sub-Unit of Right-of-Way Management at 416-392-7564 in this regard.

SIGNATURE PAGE

File Number:	A0182/17EYK	Zoning	E1.0 & I.C1
Owner:	21 CANMOTOR INC	Ward:	Etobicoke-Lakeshore (05)
Agent:	ANDY STRETCH	Heritage:	Not Applicable
Property Address:	21 CANMOTOR AVE	Community:	
Legal Description:	PLAN 1926 LOT 30 PT LOT 31		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0443/17EYK	Zoning	RD & R2
Owner(s):	S M OMAR FARUK	Ward:	Etobicoke-Lakeshore (05)
Agent:	KBK STUDIOS INC	Heritage:	Not Applicable
Property Address:	39 GUTHRIE AVE	Community:	

Legal Description: PLAN M428 PT LOT 75

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain a new detached dwelling with an attached garage. A previous Committee of Adjustment application (A0778/16EYK) approved variances related to lot coverage, floor space index, side yard setbacks, height, side yard setback to the eaves, and driveway width.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 33% of the lot area (90.7 m²).
The new dwelling will cover 37% of the lot area (105.8 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the area of the lot (123.8 m²).
The new dwelling will have a floor space index of 0.76 times the area of the lot (210.3 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1.(C)(1)
The minimum required side yard setback is 0.9 m and the aggregate width of the side yards shall not equal less than 2.1 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 320-42.1.(C)(1)
The new dwelling will be located 0.14 m from the north side lot line and 0.4 m from the south side lot line and will have an aggregate side yard width of 0.54 m.
- Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The new dwelling will have a front exterior main wall height of 7.55 m.
- Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The new dwelling will have a first floor height of 1.6 m above established grade.

6. **Section 320-42.1.(B)(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 7.55 m.
7. **Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
The eaves of the new dwelling will be located 0 m from the north side lot line and 0.3 m from the south side lot line.
8. **Section 320-18.(A)**
A minimum of 6 m shall be provided in front of a parking space.
A total of 5.51 m will be provided in front of the parking space.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

2. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on May 05, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 Illustrate the City of Toronto Design Standard No. T-600.11-1 and a maximum width of 5.21m depressed curb cut, as measured along the Guthrie Avenue right-of-way limit;
 - 3.2 The applicant shall submit a revised site plan (1:200 or 1:250 in metric scale) illustrating the above-noted Condition to the satisfaction of Transportation Services Division and at no cost to the City, no later than July 31, 2018.

SIGNATURE PAGE

File Number:	A0443/17EYK	Zoning	RD & R2
Owner:	S M OMAR FARUK	Ward:	Etobicoke-Lakeshore (05)
Agent:	KBK STUDIOS INC	Heritage:	Not Applicable
Property Address:	39 GUTHRIE AVE	Community:	
Legal Description:	PLAN M428 PT LOT 75		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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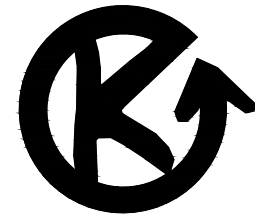
39

GUTHRY AVE. ETOBICOKE

KBK STUDIOS

T: (647) -867-3210 | 800-203-7010

INFO@KBKSTUDIOS.CA



SCOPE

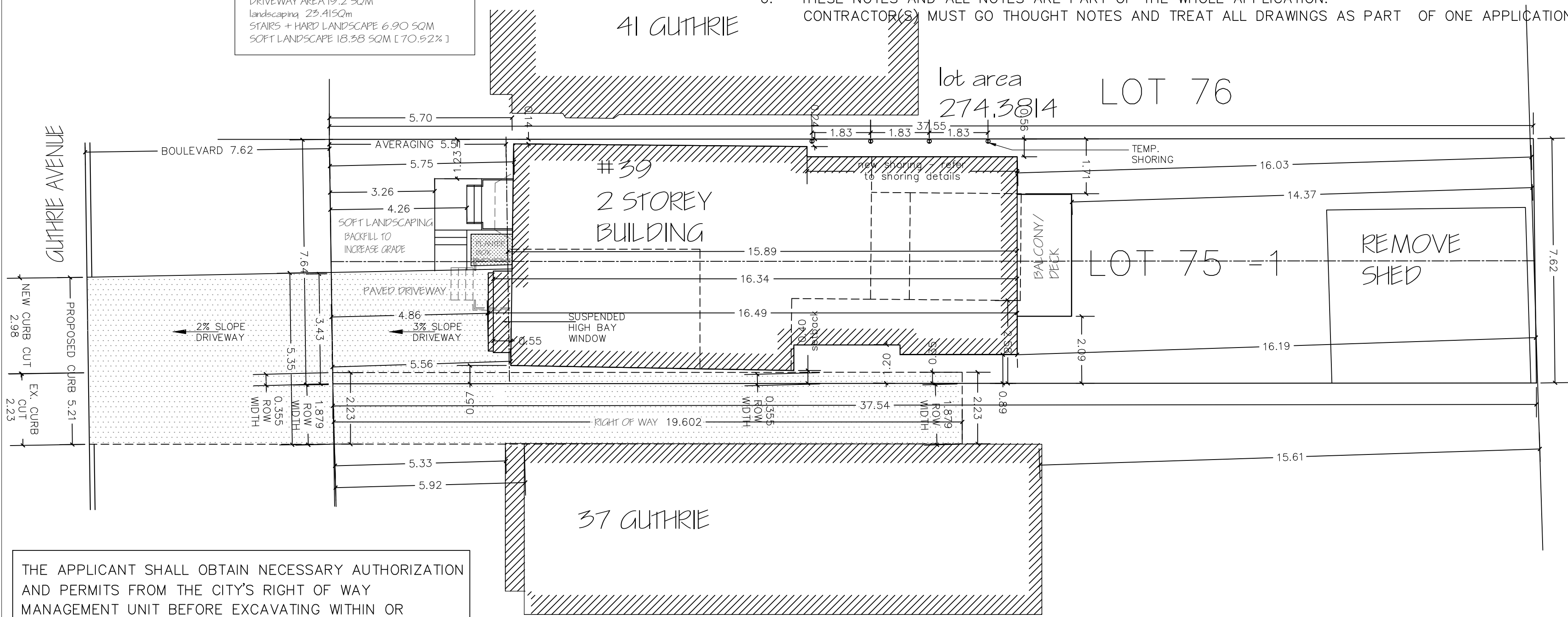
ADDITION TO EXISTING, RENOVATION, BASEMENT ALTERATIONS.

GENERAL NOTES

1. CONTRACTOR MUST VISIT SITE TO FAMILIARIZE WITH EXISTING CONDITIONS BEFORE QUOTING FOR THE JOB.
2. VERIFY ALL EXISTING MEMBER SIZES, ELEVATIONS, AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS.
REPORT ANY DISCREPANCIES TO ENGINEER IMMEDIATELY FOR ADVISE.
3. CONTRACTOR TO SUBMIT DETAIL SHOP DRAWINGS PRIOR TO FABRICATION.
4. REFER TO NOTES AND SCHEDULES FOR SPECIFICATIONS & GENERAL NOTES.
5. DIMENSIONS MARKED ON STRUCTURAL DRAWINGS ARE FOR DESIGN ONLY. CONTRACTOR IS REQUIRED TO FOLLOW MEASURE ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE. DISCREPANCY BETWEEN STRUCTURAL & ON SITE CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF ENGINEER & OWNER PRIOR TO COMMENCING ANY CONSTRUCTION AND FABRICATION.
6. THESE NOTES AND ALL NOTES ARE PART OF THE WHOLE APPLICATION.
CONTRACTOR(S) MUST GO THOUGHT NOTES AND TREAT ALL DRAWINGS AS PART OF ONE APPLICATION.



FRONT YARD 43.13 SQM
DRIVEWAY AREA 19.2 SQM
Landscaping 25.415Qm
STAIRS + HARD LANDSCAPE 6.90 SQM
SOFT LANDSCAPE 18.38 SQM [70.52%]



THE APPLICANT SHALL OBTAIN NECESSARY AUTHORIZATION AND PERMITS FROM THE CITY'S RIGHT OF WAY MANAGEMENT UNIT BEFORE EXCAVATING WITHIN OR ENCROACHING INTO MUNICIPAL ROAD ALLOWANCES. THE APPLICANT SHALL ALSO SUBMIT A MUNICIPAL ROAD DAMAGE DEPOSIT (MRDD) PRIOR TO OBTAINING A BUILDING PERMIT.



SL NO	ITEM	DESCRIPTION
1	MIN. LOT FRONTAGE	13.5 M
2	LOT COVERAGE	33% OF LOT AREA = 33 % OF 274.38 SQM = 90.54 SQM
3	MAXIMUM HEIGHT	9.5 M
4	MAXIMUM STOREY	NOT LIMITED
5	MAXIMUM HEIGHT OF THE 1ST FLOOR ABOVE ESTABLISHED GRID	1.2 M
6	PERMITTED MAX. LENGTH	17.0 M
7	FSI	0.45
8	MIN. FRONT YARD SET BACK	6.0 M
9	MIN. REAR YARD SET BACK	LESS THAN 7.5 M OR 25% OF LOT DEPTH
10	MIN. EXTERIOR SIDE YARD SET BACK	NOT APPLICABLE
11	MIN. INTERIOR SIDE YARD SET BACK	1.2 M

	EXISTING		ADDITION		TOTAL	
	SQM	SQFT	SQM	SQFT	SQM	SQFT
GROUND			83.68	900.7	83.68	900.7
FIRST	69.6	749.2	35.6	383.2	105.2	1,132.4
SECOND	34	366.0	70.83	762.4	104.83	1,128.4
GFA			213.53	2,298.4	213.53	2,298.4
BASEMENT	52	559.7	15.44	166.2	67.44	725.9
TOTAL	155.6	1,674.9	205.55	2,212.5	361.15	3,887.4
LOT AREA	286.1	3,079.1				
FSI					0.746	
COVERAGE					36.9%	

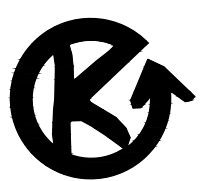
TO	ISSUED	DATE

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK STUDIOS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK STUDIOS

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK STUDIOS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.



PROJECT MANAGEMENT:
KBK STUDIOS - T: (647) -867-3210 | 800-203-7010
INFO@KBKSTUDIOS.CA

ENGINEERING REVIEW BY: BE, M.SC., P.ENG. TBM ENGINEERS (905)893-9070, 133 ADRIANA LOUISE DR. WOODBRIDGE, ON

PROJECT

39 GUTHRIE AVE.
ETOBICOKE

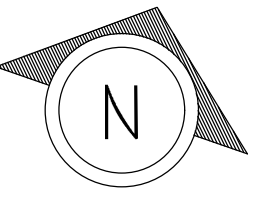
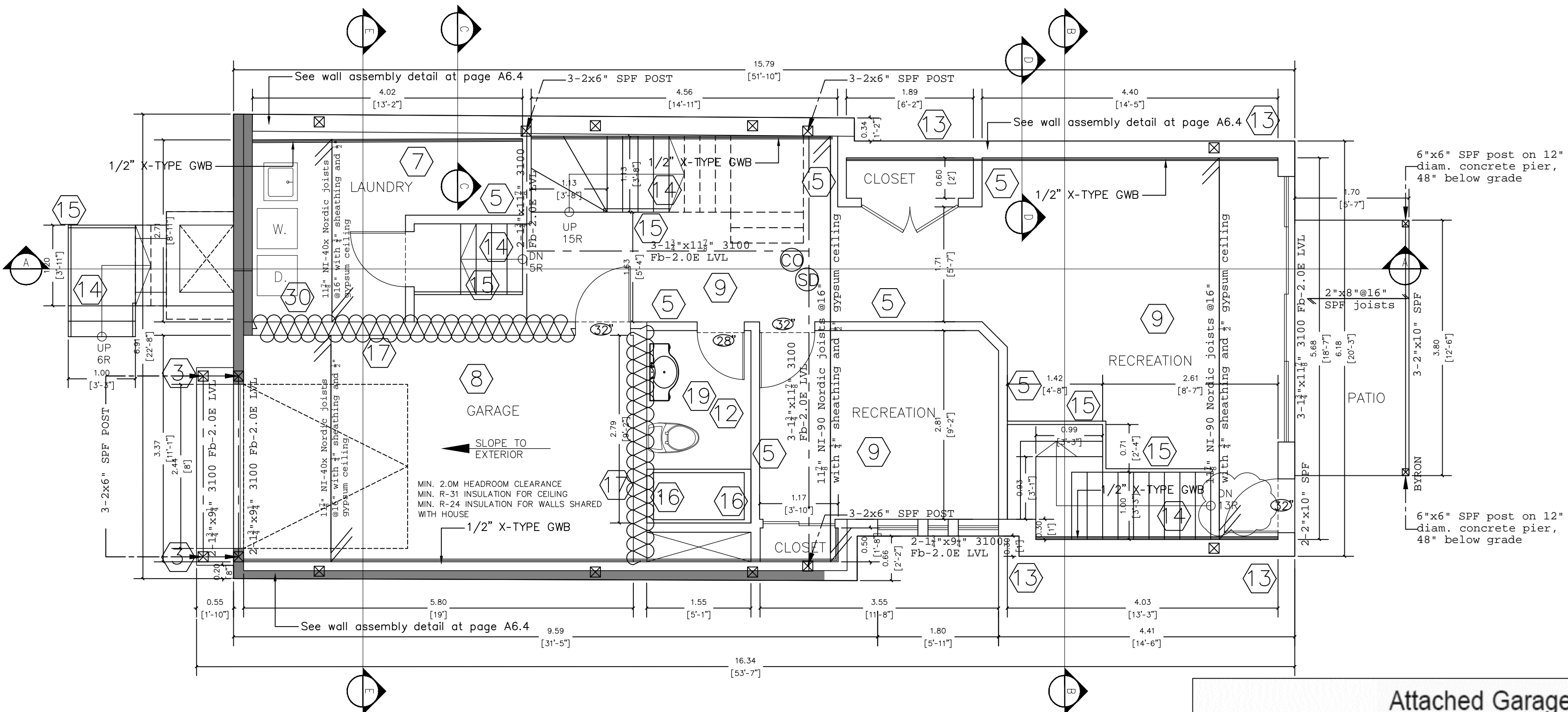
DRAWING

SITE PLAN

DRAWN I.K.	PROJECT NO 2012-07
PLOTTED DATE May 05- 2017	DRAWING NO
SCALE 1:100@22x17"	A0.1
CHECKED	



☒ 3-2X6 POSTS (GIRDER SUPPORT)



PROPOSED GROUND FLOOR PLAN
 $103.17 - 19.48 = 83.68 \text{ SQM}$

Attached Garage

Attached garages must be completely sealed to prevent the infiltration of carbon monoxide & gasoline fumes into the dwelling.

- Provide 12.7 mm drywall w/ min 2 coats of joint compound at all walls adjacent to dwelling.
- Caulk between gypsum board and other surfaces w/ acoustic sealant.
- Caulk all penetrations such as hose bibs w/ flexible caulking
- Doors between garage & dwelling shall be tight fitting & weatherstripped & provided w/ a self closing device. Door must not open directly into a room intended for sleeping.
- Garage slab shall be sloped to drain outdoors
- Where an attached garage is adjacent to an attic space carry drywall up to roof sheathing & caulk w/ flexible caulking
- Unit masonry walls forming the separation between the dwelling & attached garage shall be provided w/ 2 coats of a sealer or covered w/ plaster or gypsum board on the garage side.
- A lighting outlet with fixture shall be provided in the garage

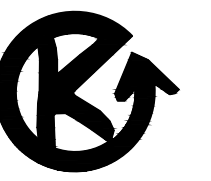
TO	ISSUED	DATE

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK STUDIOS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK STUDIOS

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK STUDIOS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.



PROJECT MANAGEMENT:
 KBK STUDIOS - T: (647) 867-3210 | 800-203-7010
 INFO@KBKSTUDIOS.CA

ENGINEERING REVIEW BY: BE, M.Sc., P.ENG.
 TBM ENGINEERS
 (905) 893-9070, 133 ADRIANA LOUISE DR, WOODBRIDGE, ON

PROJECT

39 GUTHRIE AVE.
 ETOBICOKE

DRAWING

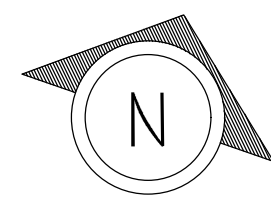
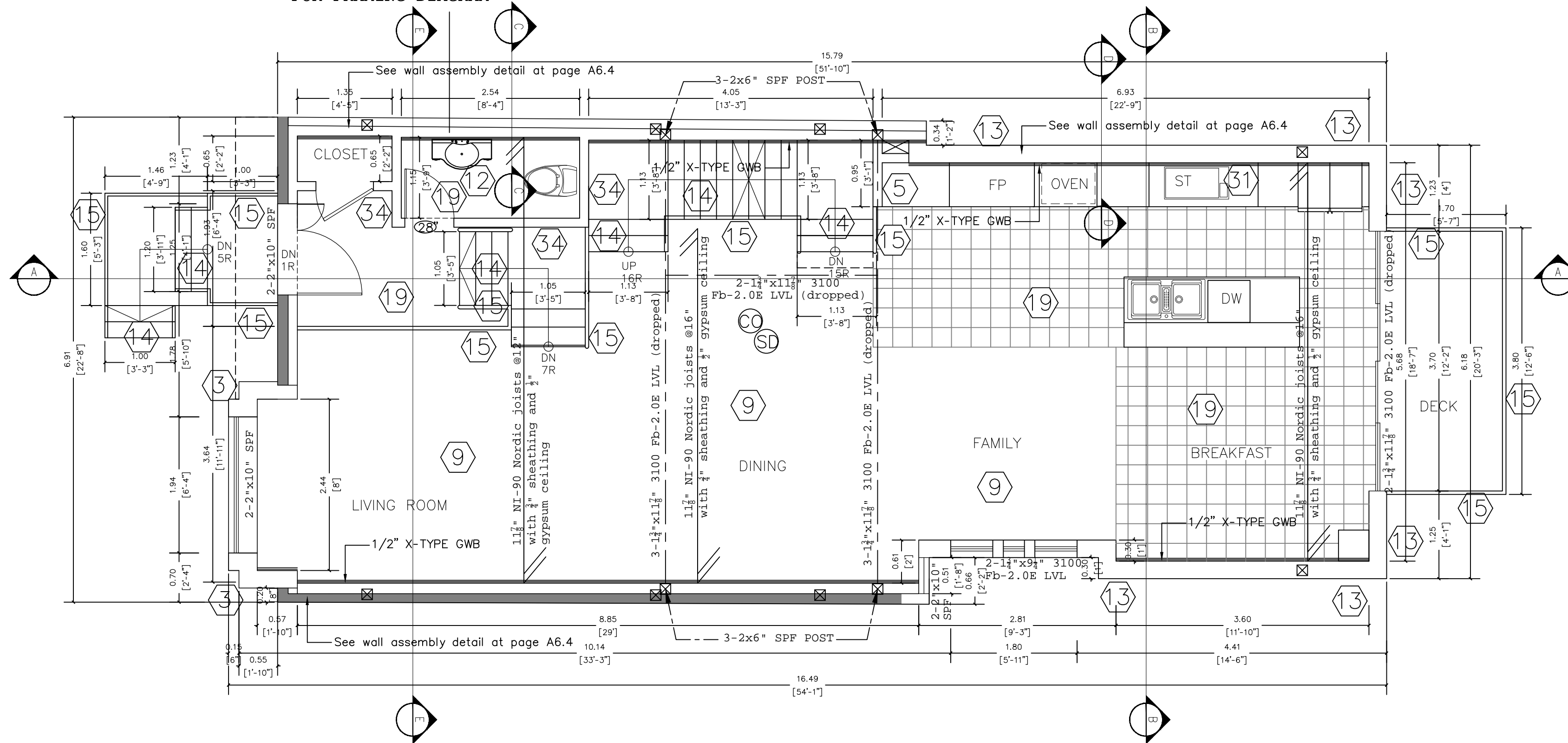
PROPOSED PLANS

DRAWN I.K.	PROJECT NO 2012-07
PLOTTED DATE May 05-2017	DRAWING NO
SCALE 1:50@22x17"	A3.2
CHECKED	



☒ 3-2X6 POSTS (GIRDER SUPPORT)

REFER TO DF1 (A5.3)
FOR FRAMING DIAGRAM



PROPOSED FIRST FLOOR PLAN
105.2 - 0.37 = 104.83 SQM

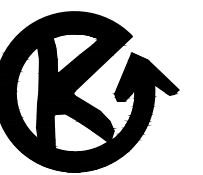
TO	ISSUED	DATE

GENERAL NOTES

ALL DRAWINGS ARE THE PROPERTY OF KBK STUDIOS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK STUDIOS

CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK STUDIOS

ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.



PROJECT MANAGEMENT:
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INFO@KBKSTUDIOS.CA

ENGINEERING REVIEW BY: BE, M.Sc., P.ENG. TBM ENGINEERS (905) 893-9070, 133 ADRIANA LOUISE DR, WOODBRIDGE, ON

PROJECT

39 GUTHRIE AVE.
ETOBICOKE

DRAWING

PROPOSED PLANS

DRAWN I.K.	PROJECT NO 2012-07
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PLOTTED DATE May 05-2017	DRAWING NO
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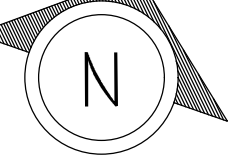
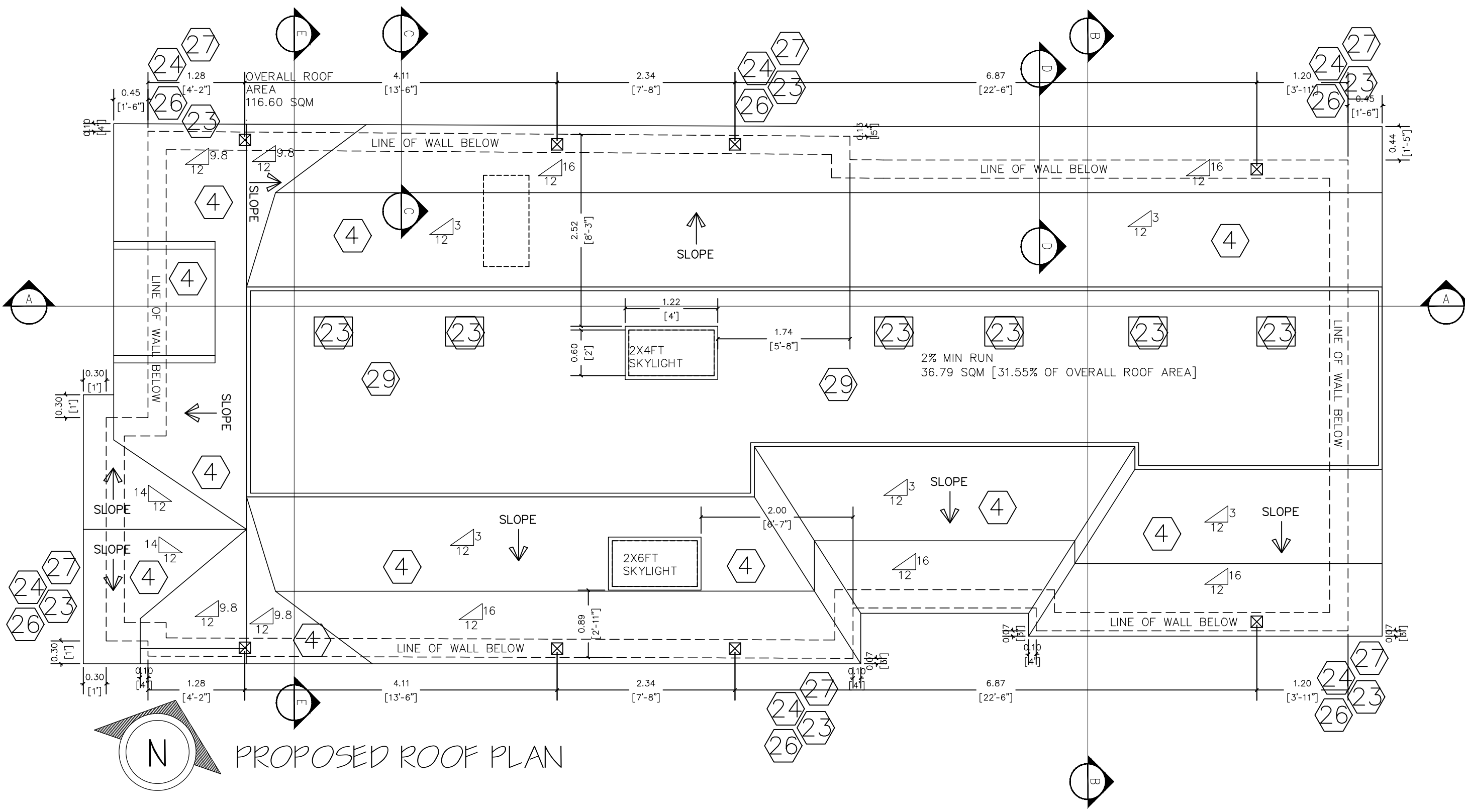
SCALE 1:50@22x17"

CHECKED

A3.3



☒ 3-2X6 POSTS (GIRDER SUPPORT)



PROPOSED ROOF PLAN

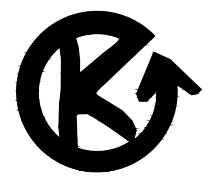
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 TBM ENGINEERS
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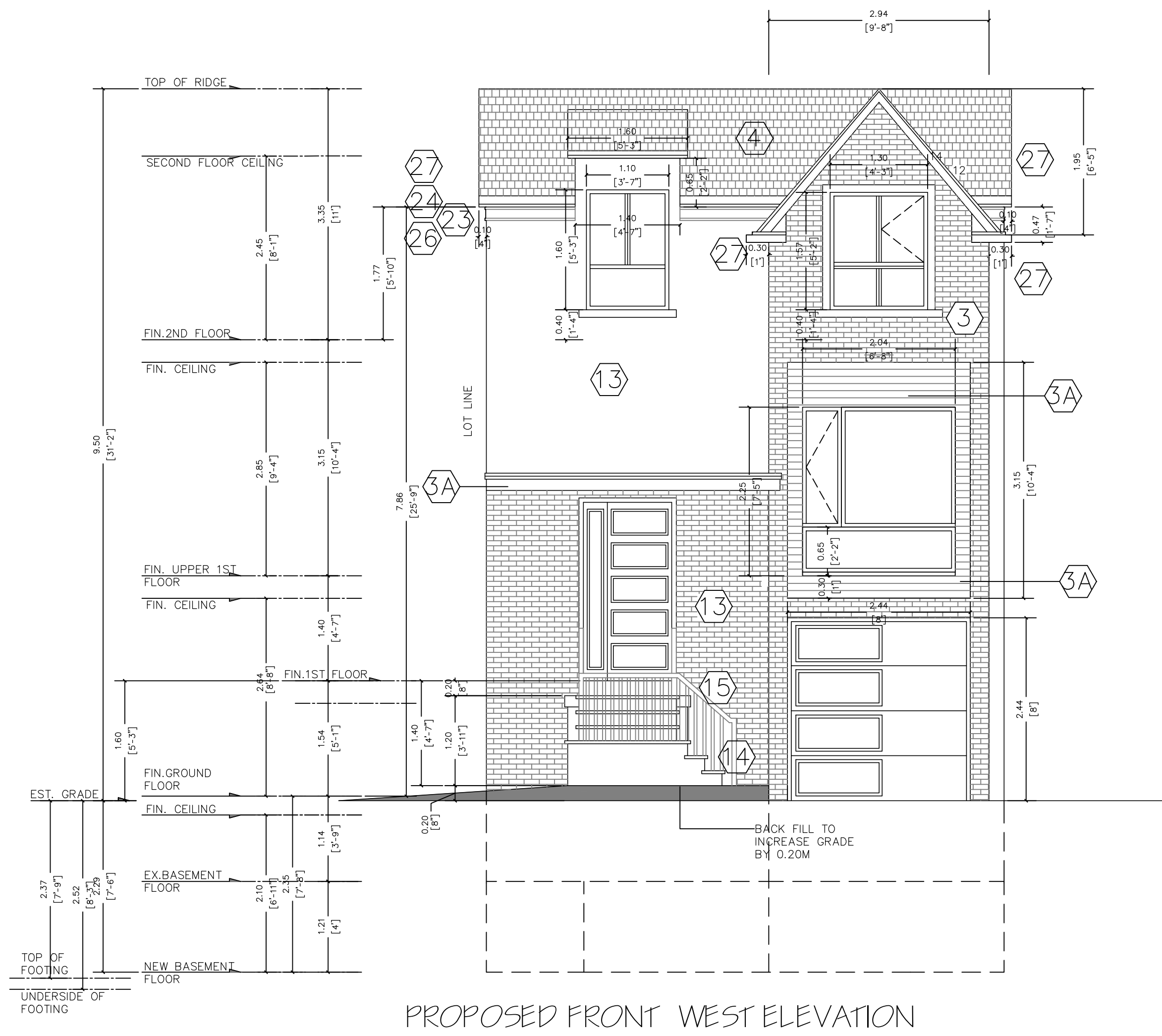
PROJECT

39 GUTHRIE AVE.
 ETOBICOKE

DRAWING

PROPOSED ROOF

DRAWN I.K.	PROJECT NO 2012-07
PLOTTED DATE May 05-2017	DRAWING NO
SCALE 1:50@22x17"	A3.5
CHECKED	



PROPOSED FRONT WEST ELEVATION

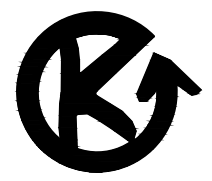
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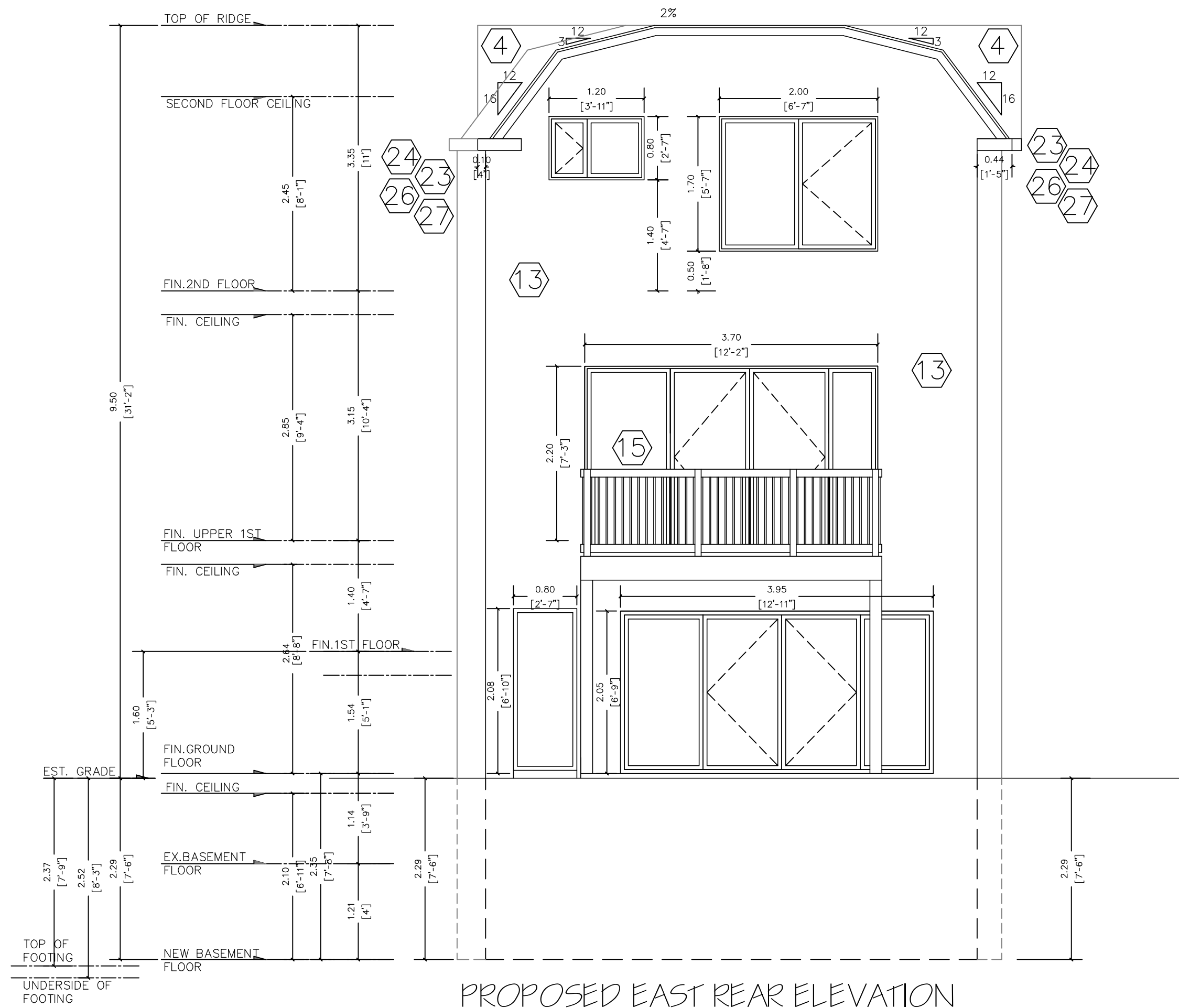
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PROJECT

39 GUTHRIE AVE.
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DRAWING	
PROPOSED ELEVATIONS	
DRAWN I.K.	PROJECT NO 2012-07
PLOTTED DATE May 05-2017	DRAWING NO
SCALE 1:50@22x17"	4.1
CHECKED	



PROPOSED EAST REAR ELEVATION

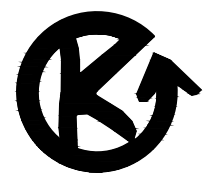
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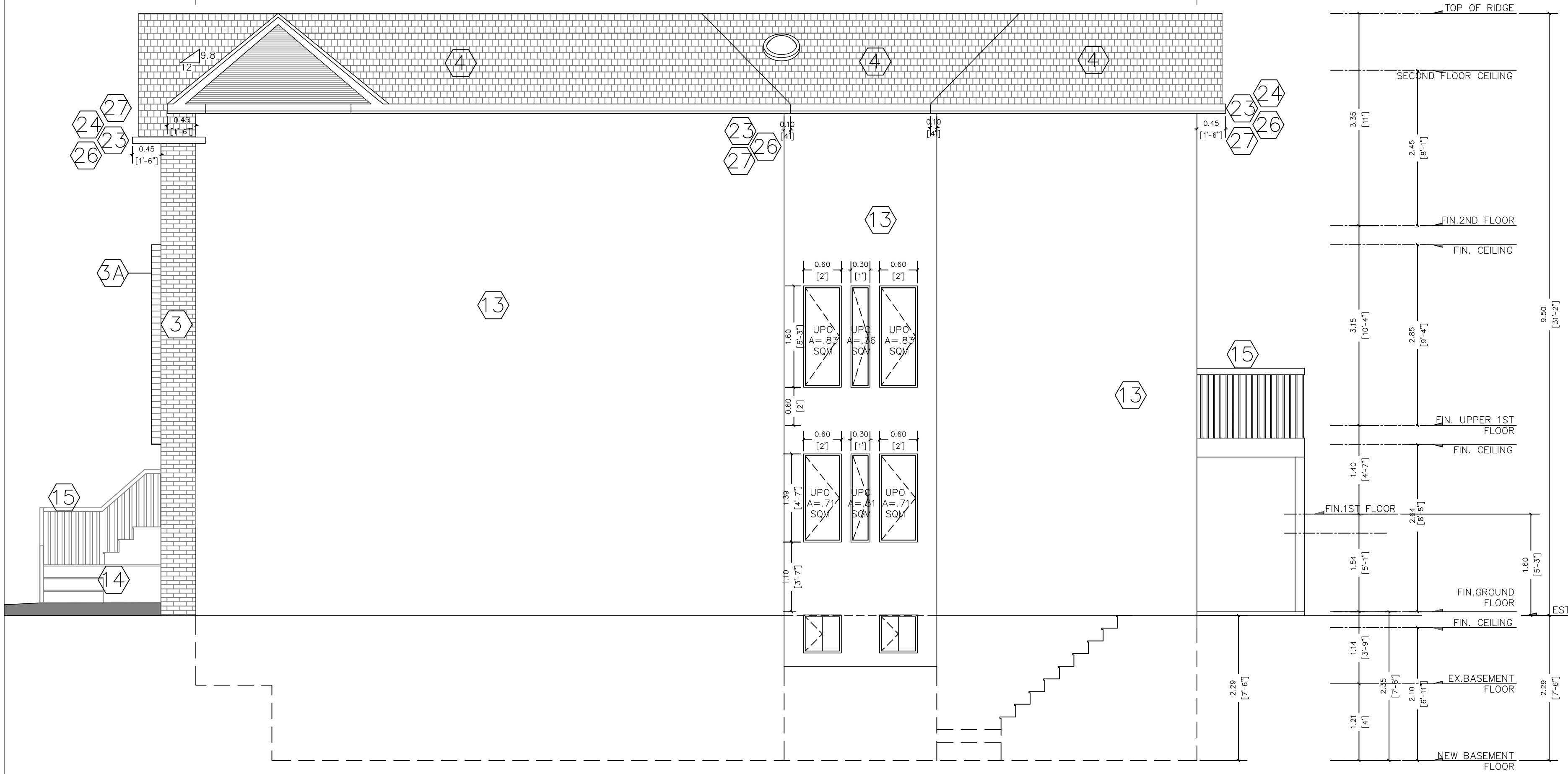
PROJECT

39 GUTHRIE AVE.
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DRAWING	
PROPOSED ELEVATIONS	
DRAWN I.K.	PROJECT NO 2012-07
PLOTTED DATE May 05-2017	DRAWING NO
SCALE 1:50@22x17"	A4.2
CHECKED	



FACE AREA 125.10 SQM
 SEPARATING DISTANCE 1.20 m
 UNPROTECTED OPENING 3.75 SQM
 [2.99%]



PROPOSED SOUTH SIDE ELEVATION

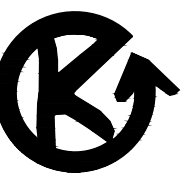
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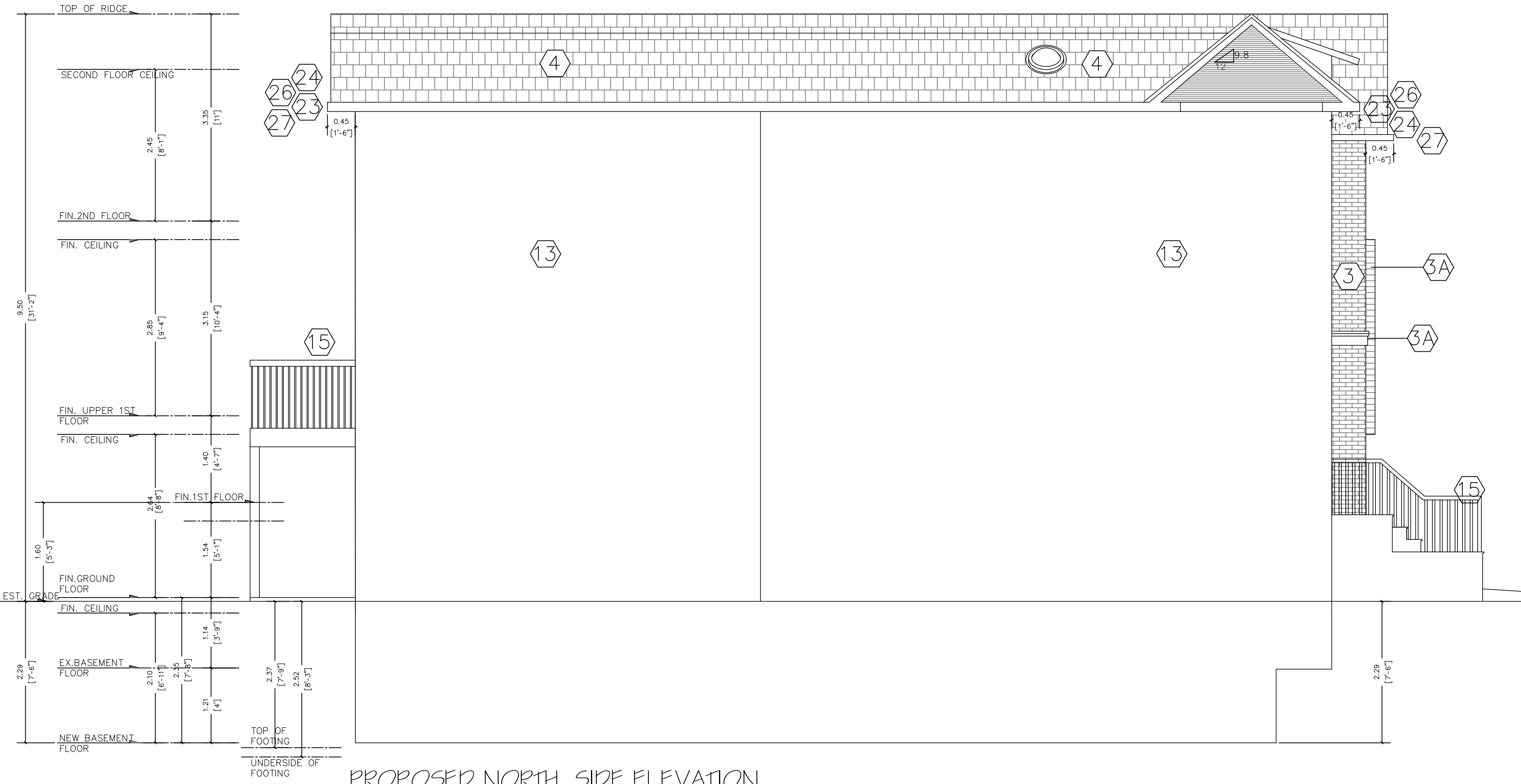
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39 GUTHRIE AVE.
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DRAWING PROPOSED ELEVATIONS	
DRAWN I.K.	PROJECT NO 2012-07
PLOTTED DATE May 05- 2017	DRAWING NO
SCALE 1:50@22x17"	A4.3
CHECKED	



PROPOSED NORTH SIDE ELEVATION

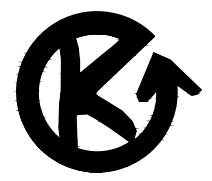
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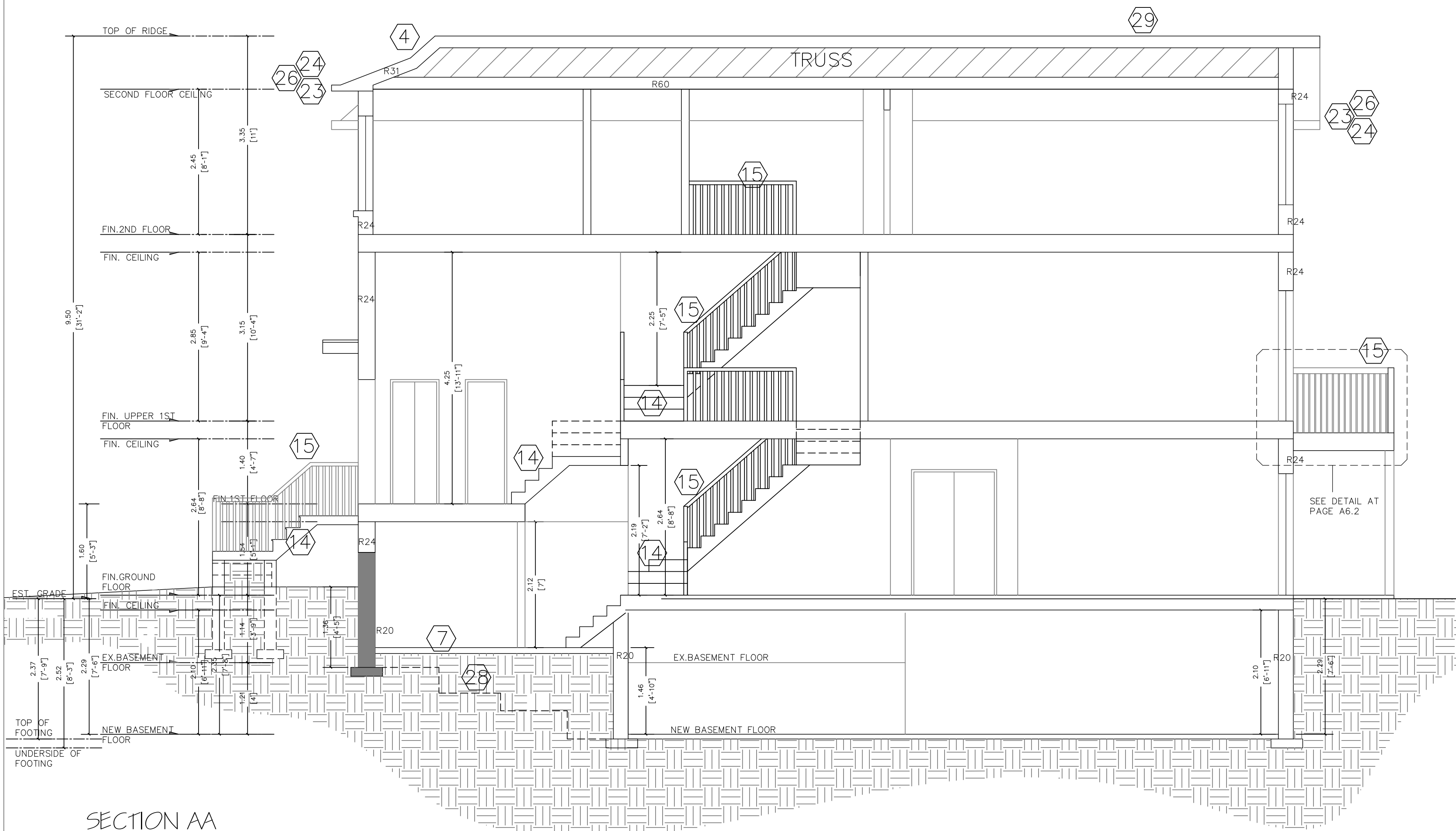
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PROJECT

39 GUTHRIE AVE.
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DRAWING
PROPOSED ELEVATIONS

DRAWN I.K.	PROJECT NO 2012-07
PLOTTED DATE May 05-2017	DRAWING NO
SCALE 1:50@22x17"	A4.4
CHECKED	



SECTION AA

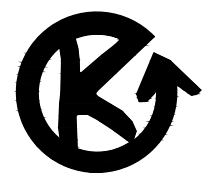
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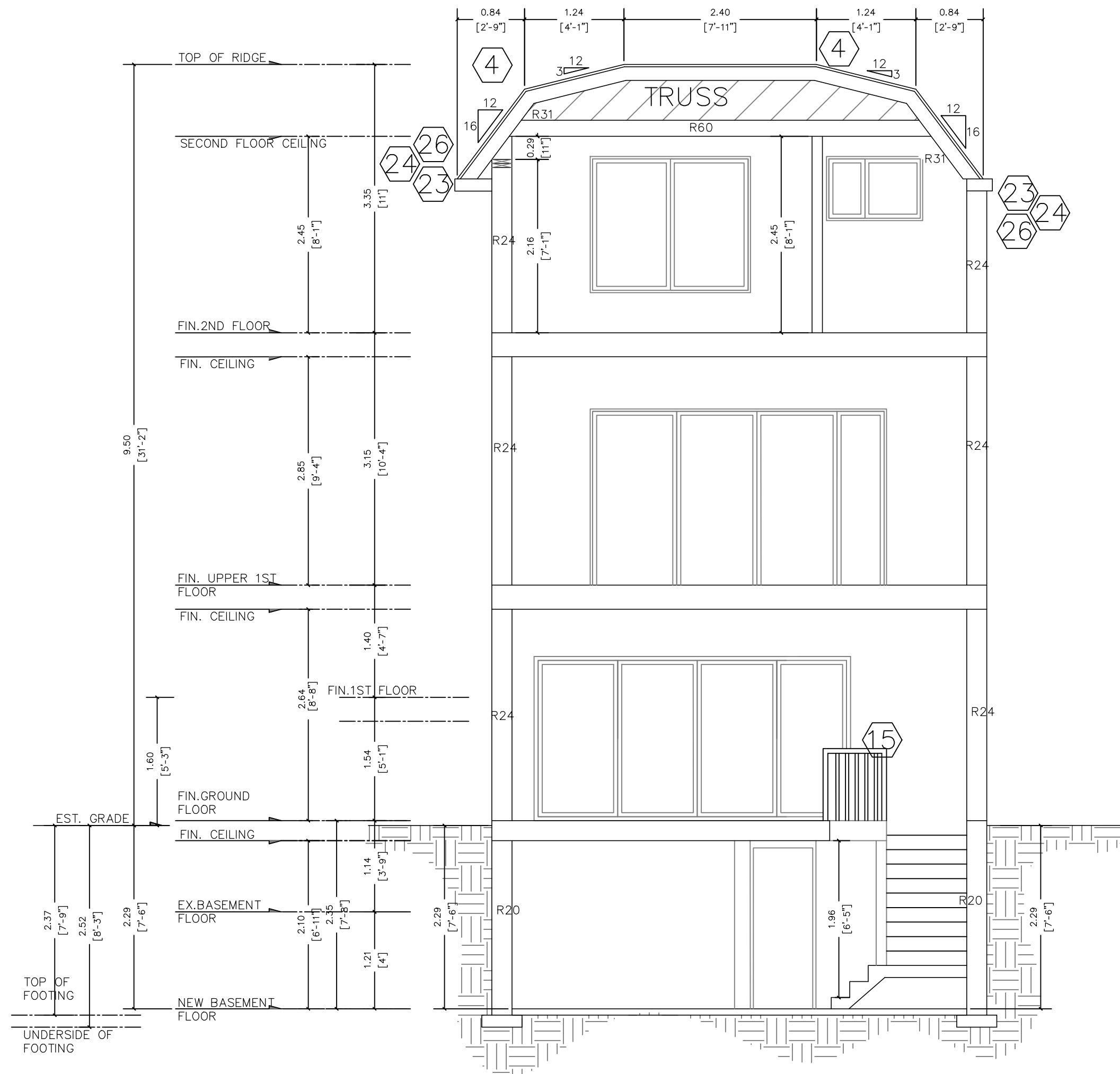
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DRAWING
 PROPOSED SECTION

DRAWN I.K.	PROJECT NO 2012-07
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SCALE 1:50@22x17"	A5.1
CHECKED	



SECTION BB

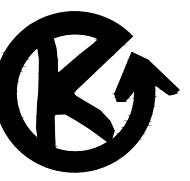
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PROPOSED SECTION	
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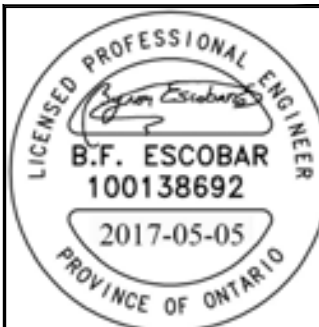
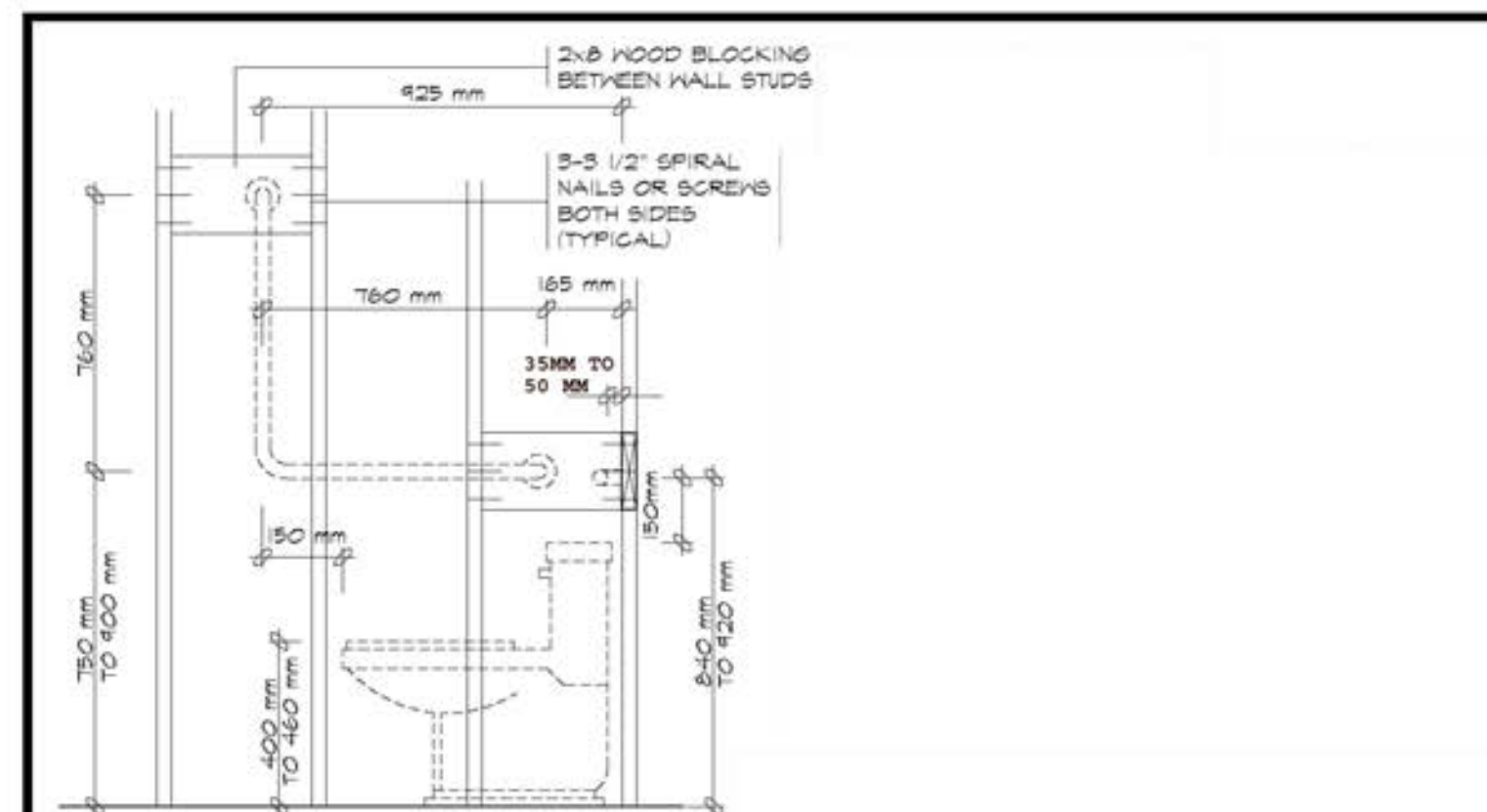
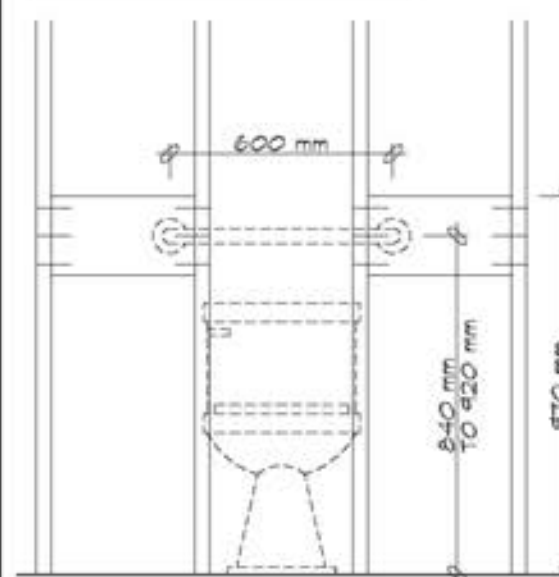


Table 3.1.1.11. (IP)
Thermal Performance Requirements for Additions to Existing Buildings⁽³⁾
 Forming Part of Sentence 3.1.1.11.(2)

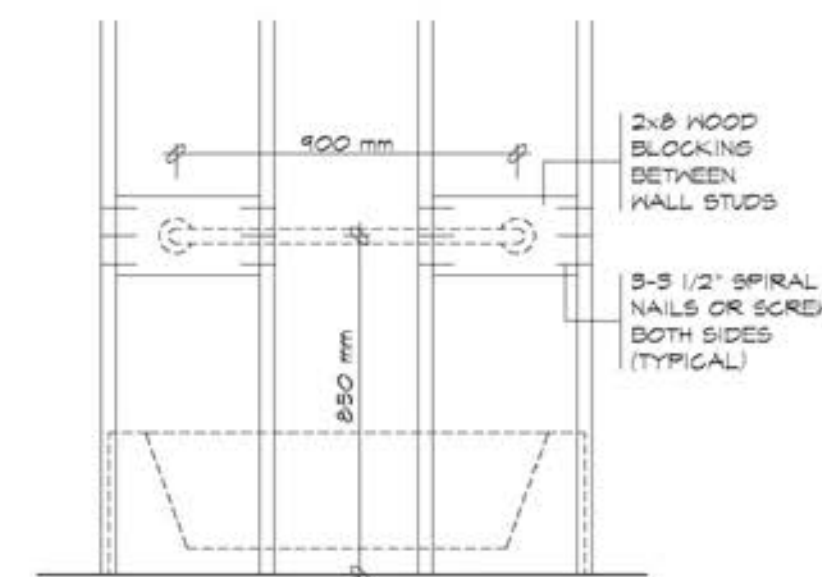
Component	Thermal Values ⁽⁷⁾	Compliance Package
		Zone 1 Less than 5000 Degree Days
Ceiling with Attic Space	Min. Nominal R ⁽¹⁾	60
	Max. U ⁽²⁾	0.017
	Min. Effective R ⁽²⁾	59.22
Ceiling Without Attic Space	Min. Nominal R ⁽¹⁾	31
	Max. U ⁽²⁾	0.036
	Min. Effective R ⁽²⁾	27.65
Exposed Floor	Min. Nominal R ⁽¹⁾	31
	Max. U ⁽³⁾	0.034
	Min. Effective R ⁽³⁾	29.80
Walls Above Grade	Min. Nominal R ⁽¹⁾	19 + 5 ci
	Max. U ⁽³⁾	0.049
	Min. Effective R ⁽³⁾	20.32
Basement Walls ⁽⁶⁾	Min. Nominal R ⁽¹⁾	20 ci
	Max. U ⁽⁴⁾	0.047
	Min. Effective R ⁽⁴⁾	21.12
Heated Slab or Slab ≤ 600 mm Below Grade	Min. Nominal R ⁽¹⁾	10
	Max. U ⁽⁴⁾	0.090
	Min. Effective R ⁽⁴⁾	11.13
Edge of Below Grade Slab ≤ 600 mm Below Grade	Min. Nominal R ⁽¹⁾	10
Windows and Sliding Glass Doors	Max. U ⁽⁵⁾	0.28
	Energy Rating	25
Column 1	2	3



OPTION 1
W.C. SIDE ELEVATION



W.C. FRONT ELEVATION



SHOWER/TUB WALL SIDE ELEVATION

GRAB BAR REINFORCEMENT

REINFORCEMENT SHALL BE INSTALLED TO PERMIT THE FUTURE INSTALLATION OF A GRAB BAR IN THE MAIN BATHROOM OF A DWELLING UNIT. IF GRAB BAR IS NOT INSTALLED AT TIME OF CONSTRUCTION, BLOCKING FOR BOTH CONFIGURATIONS AT SIDE OF WATER CLOSET IS REQUIRED.

GRAB BAR INSTALLATION SPECIFICATION

1. BESIDE WATER CLOSET

OPTION 1
 L-SHAPED GRAB BAR WITH 760mm LONG HORIZ. AND VERT. COMPONENTS MOUNTED W/ HORIZ. COMPONENT 750mm TO 900mm A.F.F. AND THE VERTICAL COMPONENT 150mm IN FRONT OF TOILET BOWL.

OPTION 2
 MIN. 760mm LONG GRAB BAR MOUNTED AT A 30° TO 50° ANGLE SLOPING UPWARDS AWAY FROM WATER CLOSET W/ LOWER END OF BAR MOUNTED 750mm TO 900mm A.F.F. AND 50mm IN FRONT OF TOILET BOWL.

2. BEHIND WATER CLOSET

MIN. 600mm LONG GRAB BAR MOUNTED HORIZONTALLY ON WALL 840mm TO 920mm ABOVE THE FLOOR AND 150mm ABOVE THE WATER TANK IF APPLICABLE.

3a BEHIND SHOWER

L-SHAPED GRAB BAR PER OPTION 1 BESIDE WATER CLOSET MOUNTED NOT MORE THAN 850 ABOVE FINISHED FLOOR AND LOCATED SO THAT THE END OF THE HORIZONTAL COMPONENT IS WITHIN 100MM FROM THE EDGE OF THE SHOWER SEAT

3. BEHIND BATHTUB OR SHOWER

MIN. 900mm LONG GRAB BAR MOUNTED HORIZONTALLY ON WALL APPROXIMATELY 850mm ABOVE FINISHED FLOOR

4. GRAB BAR ATTACHMENT

GRAB BAR MUST BE ATTACHED WITH SCREWS WHICH PENETRATE AT LEAST 32mm INTO THE SOLID BLOCKING.



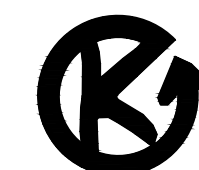
TITLE
BARRIER FREE WASHROOM
 GRAB BAR WALL REINFORCING

DWG. NO.
HO1
 2007

TO ISSUED DATE

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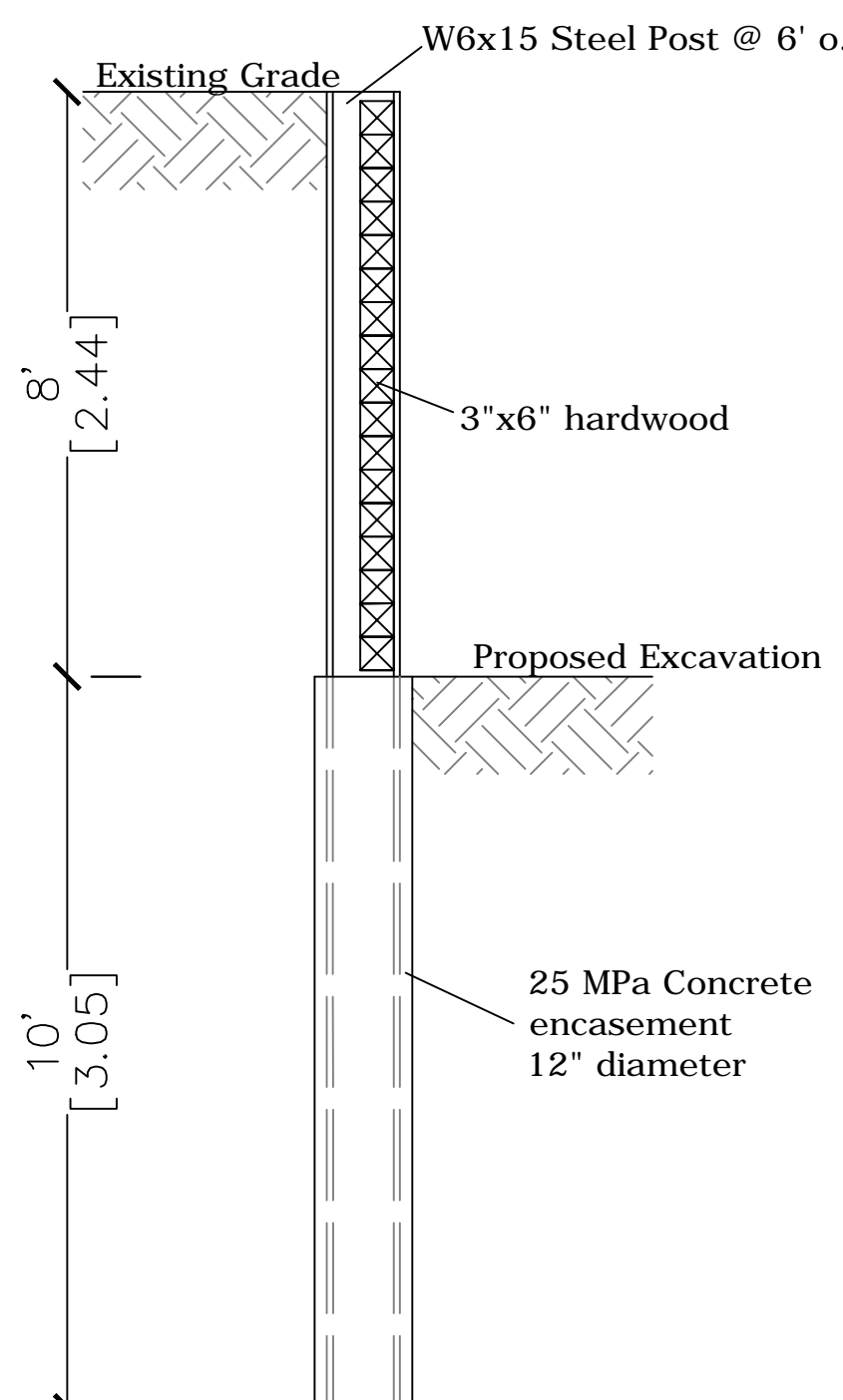
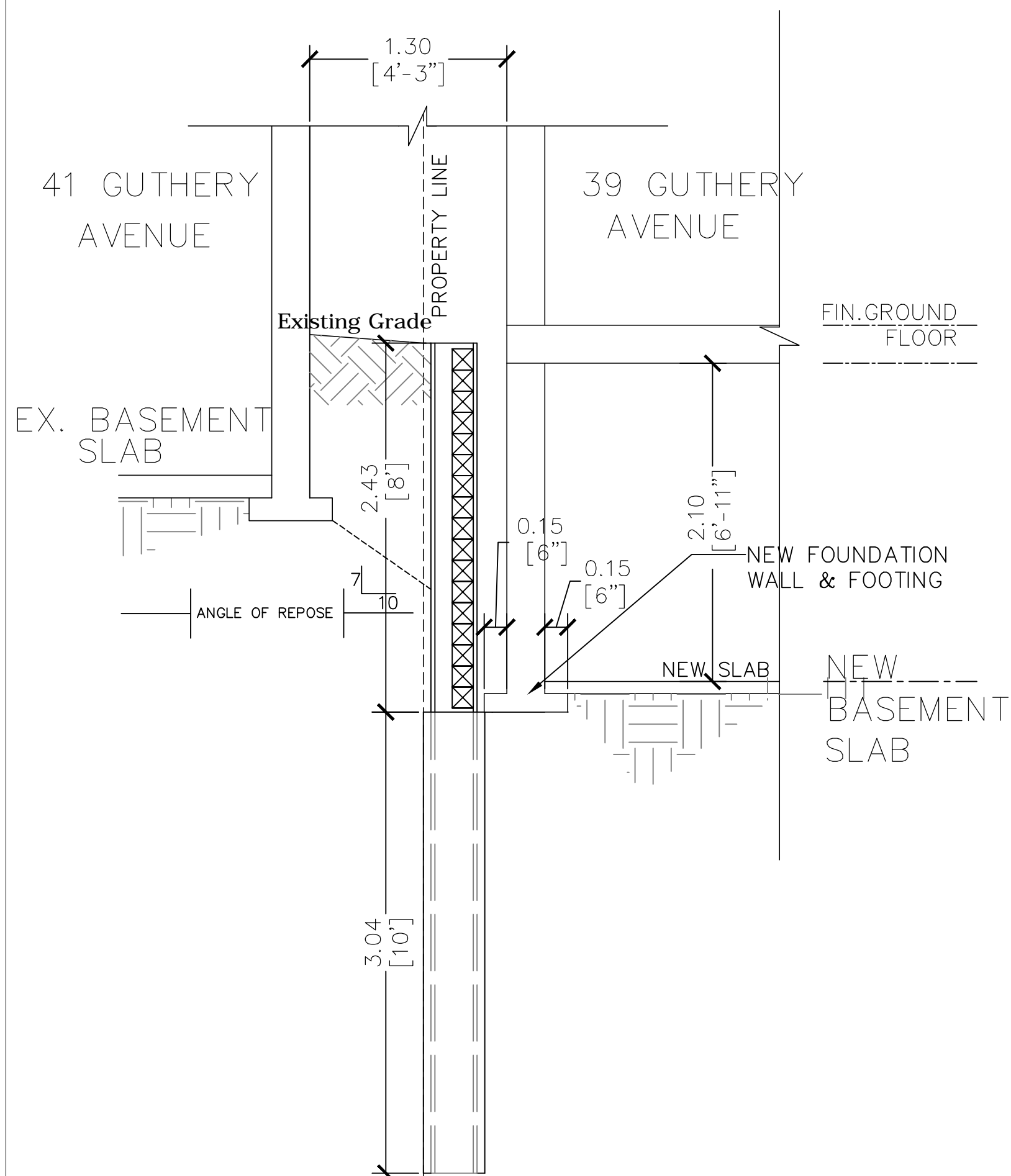
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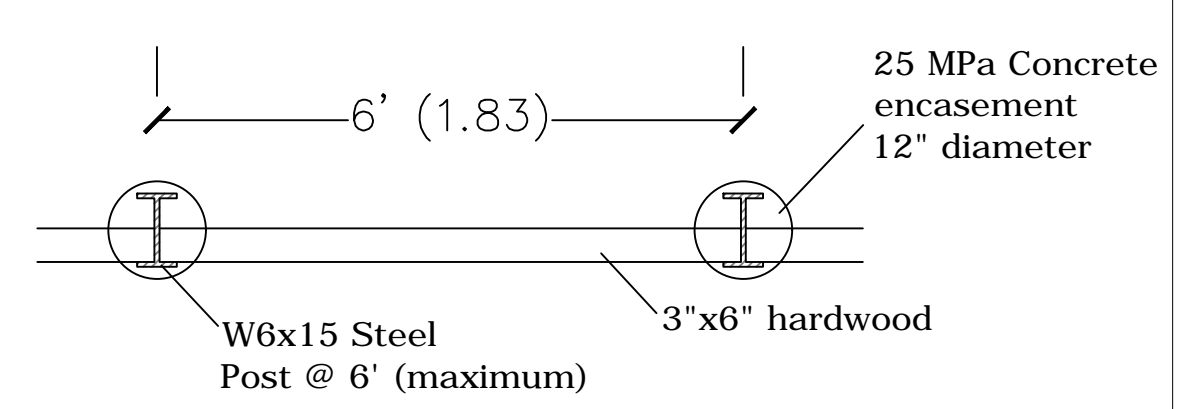
DRAWING
 DETAIL

DRAWN I.K. PROJECT NO 2012-07

PLOTTED DATE May 05-2017 DRAWING NO
 SCALE 1:50@22x17" **A6.3**
 CHECKED



Design Parameters:
 $\phi = 32^\circ$
 $K_a = 0.307$
 $\rho = 1800 \text{ kg/m}^3$
 $H = 2.44 \text{ m}$
 $P_a = 1645 \text{ kg/m}$
 $\text{Surcharge} = 4780 \text{ kg/m}$



Temporary Shoring Plan

- CONSTRUCTION NOTES**
- All work according to Ontario Building Code and Municipal by-laws and standards.
 - Excavation shall be undertaken in such a manner as to prevent movement that would cause damage to adjacent buildings at all phases of construction.
 - Material shall not be placed nor shall equipment be operated or placed in or adjacent to an excavation in a manner that may endanger the integrity of the excavation or its supports.
 - Surface water, all groundwater, perched ground water and in particular artesian water shall be kept under control at all phases of excavation and construction.
 - All sides of excavation shall be continuously maintained and protected from possible deterioration by construction activity or by the action of frost, rain and wind.
 - Shoring system shall be monitored for horizontal and vertical movement.
 - Shoring and excavation shall not encroach on adjacent properties.

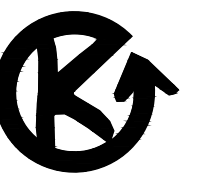
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DETAIL	
DRAWN I.K.	PROJECT NO 2012-07
PLOTTED DATE May 05-2017	DRAWING NO
SCALE 1:30@22x17"	A6.5
CHECKED	

CONSTRUCTION NOTES :

1 FOUNDATION WALL:  Foundation Wall: 250mm (10") 20 MPa poured concrete, max. 2500 mm (98") from finished floor FOR LIVABLE SPACES IN BASEMENT [ALL SPACES BUT COLD CELLAR] ADD 2x4" STUDS @ 16" OC FROM INSIDE AND BATT INSULATION, SEE WALL ASSEMBLY SECTION FOR R VALUES , AND 1/2" GWB. MAXIMUM 2500mm FOR Laterally supported walls

1s SAME AS (1) WITH THE EXCEPTION OF BEING 200mm (8" WIDE)

2 FOUNDATION WALL - REINFORCED:  REINFORCED Foundation Wall: 250mm (10") 20 MPa poured concrete, with 15M Rebars @ 16" O.C IN BOTH DIRECTIONS, MAXIMUM 2500mm FROM BSEMENT SLAB TO GRADE FOR Laterally unsupported walls WITH WALL STUDS AND BATT INSULATION - REFER TO (1)

2s SAME AS (2) WITH THE EXCEPTION OF BEING 300mm (12" WIDE)

3 LIGHT WEIGHT BRICK VENEER CONST.
1 1/2" LIGHT WEIGHT BRICK VEENER W REINFORCING MESH OR REINFORCING METAL LATH/MESH, INSULATION BOARD 1.5" OR 2" PER REQUIREMENTS, ADHESIVE/ ATTACHMENT ON EXTERNAL WALLS AIR AND WATER BARRIER, LAYERS TO OVERLAP EACH OTHER, 3/8" EXTERIOR TYPE SHEATHING, 38 X 140 (2x6") WOOD STUDS @ 400mm (14:) O.C, BATT INSULATION IN CONTINUOUS CONTACT WITH EXTERIOR SHEATHING (REFER TO WALL SECTION FOR R VALUE), CONTINUOUS AIR / VAPOR BARRIER, 12.7MM (1/2") GYPSUM BOARD (OR 5/8" X TYPE GWB FOR WALLS LESS THAN 1.2 M FROM PROPERTY LINE), JOINTS TAPED AND SEALED. DOUBLE PLATE AT TOP, SOLE PLATE AT BOTTOM

3A CEDAR
CEDAR FINISH AS PER ELEVATIONS, SHEATHING PAPER, LAYERS TO OVERLAP EACH OTHER EXTERIOR TYPE SHEATHING 2X6 WOOD STUDS @ 16" O.C. BATT INSULATION IN CONTINUOUS CONTACT W/ SHEATHING (REFER TO WALL SECTION FOR R VALUE)& CONTINUOUS VAPOUR/AIR BARRIER, DOUBLE PLATE @ TOP, SOLE PLATE @ BOTTOM INTERIOR WALL FINISH

4 ROOF CONSTRUCTION
SLOPED SHINGLE WHERE APPLICABLE
NO. 210 ASPHALT SHINGLES (SELF-SEALING)
ASTME - 108-58 CLASS "C" ON 3/8" PLYWOOD SHEATHING ON PRE ENGINEERED WOOD TRUSSES
ROOF INSULATION [SEE WALL ASSEMBLY SECTION FOR R VALUES] AND VAPOR BARRIER.
CONTINUOUS AIR BARRIER AS PER O.B.C. 9.25.5.
1/2" INTERIOR DRYWALL FINISH.
PRE-FINISHED ALUMINUM OR PAINTED GALVANIZED METAL EAVESTROUGH ON PRE-FINISHED ALUMINUM FASCIA.
PREFINISHED ALUMINUM VENTED SOFFIT.

5 INTERIOR STUD PARTITIONS:
2"x 4" (OR 2x6" WHERE INDICATED) STUDS AT 16" O.C.
TOP PLATE AND SINGLE BOTTOM PLATE WITH 1/2" INTERIOR DRYWALL ON BOTH SIDES TAPED AND SEALED.
USE MOISTURE RESISTANT GWB IN BATHROOM AROUND SHOWERS, AND BACKSPLASH

6 WEEPING TILE:
4" Dia. WEEPING TILE AROUND ALL FOOTINGS INCLUDING GARAGE FOOTINGS. WEEPING TILE TO BE COVERED WITH 6" OF CRUSHED STONE.

7 BASEMENT SLAB:
3" 25 mpa Poured concrete, 5" CRUSHED STONE MAY BE REQUIRED ONLY IF SOIL QUALITY IS NOT SUFFICIENT.
PROVIDE 4" RIGID INSULATION UNDER Poured SLAB (OPTIONAL) FOR BETTER ENERGY EFFECIENCY

8 GARAGE SLAB:
5" SLAB ON GROUND Poured concrete 32mpa W/5-8% AIR ENTRAPMENT. REINFORCED WITH 6x6x6/6 W.W.MESH NEAR MID DEPTH OF SLAB, PROVIDE 5" CRUSHED STONE IF SOIL CONDITION REQUIRES. SLOPED TO FRONT OF GARAGE, MIN DEPTH OF SLAB ON EDGED 8"

9 FLOORS (UNDERFLOORING):
FLOOR FINISH ON 5/8" SUBFLOOR ON FLOOR JOISTS AS NOTED ON PLANS

10 INTERIOR LOAD BEARING STUD PARTITIONS:
2x6" STUDS AT 16" O.C. DOUBLE TOP PLATE AND SINGLE BOTTOM PLATE WITH 1/2" INTERIOR DRYWALL ON BOTH SIDES TAPED AND SEALED.

11 FOUNDATION INSULATION:
6 MIL. VAPOUR BARRIER ON 2"x4"
WOOD STRAPPING WITH MIN. R-12 FIBRE INSULATION [SEE WALL ASSEMBLY SECTION FOR R VALUES] ON CONCRETE FOUNDATION WALL DAMP-PROOFED WITH 0.05 mm POLY OR NO. 15 ASPHALT - SATURATED FELT OR PAPER LAPPED 4" AT JOINTS. DAMP-PROOFING SHALL EXTEND FROM THE LOWEST LEVEL OF FOUNDATION INSULATION AND SHALL TERMINATE AT GRADE LEVEL. NO MEMBRANE SHALL BE APPLIED ABOVE GRADE LEVEL BETWEEN THE INSULATION AND THE FOUNDATION WALL. FOUNDATION INSULATION TO EXTEND FROM CEILING TO MINIMUM 2'-0" BELOW FINISHED GRADE LEVEL EXCEPT AT COLD STORAGE (IF ANY) WHERE INSULATION SHALL EXTEND FROM CEILING TO FINISHED BASEMENT FLOOR.

12 INTERIOR WASHROOM VENTS
11 CFM EXHAUST FAN WITH 6" INSULATED FLEX PIPE TO SIDE OF HOUSE FOR ALL BATHROOMS OR AS SPECIFIED ON HVAC LAYOUTS

13 STUCCO / EIFS
STUCCO FINISH COAT, BASECOAT W REINFORCING MESH OR REINFORCING METAL LATH/MESH, INSULATION BOARD, ADHESIVE/ ATTACHMENT ON EXTERNAL WALLS, AIR BARRIER, LAYERS TO OVERLAP EACH OTHER, 3/8" EXTERIOR TYPE SHEATHING, 38 X 140 (2x6") WOOD STUDS @ 400mm (14:) O.C, BATT INSULATION IN CONTINUOUS CONTACT WITH EXTERIOR SHEATHING, CONTINUOUS AIR / VAPOR BARRIER 12.7MM (1/2") GYPSUM BOARD, JOINTS TAPED AND SEALED. DOUBLE PLATE AT TOP, SOLE PLATE AT BOTTOM
* DUROCK EIFS SYSTEM OR EQUAL. MANUFACTURER MUST BE APPROVED BY THE CCMC (CANADIAN CONSTRUCTION MATERIAL CENTRE)

14 STAIRS:
SEE O.B.C 9.8.4
MAXIMUM RISE 200mm, MINIMUM RISE 125mm
MAXIMUM RUN 355mm, MINIMUM RUN 230mm
RECTANGULAR MAXIMUM TREAD 355mm, MINIMUM TREAD 325mm
MAXIMUM TOLERANCE FOR DIFFERENCE IN STEPS 6mm
MINIMUM WIDTH OF FLIGHT 860mm
EXTERIOR STAIRS:
AN EQUIVALENT BACK SLOPE ON THE RISE MAY BE ADDED TO OBTAIN THE MINIMUM TREAD WIDTH. ALL STAIRS NOT ENCLOSED BY WALLS WITH MORE THAN 2 RISERS MUST HAVE RAILING, MIN 900MM

15 EXTERIOR/INTERIOR HAND RAIL AND GUARDS:
SEE OBC 9.8.7
FINISHED NATURAL WOOD HANDRAIL ON WOOD OR METAL PICKETS (UNLESS OTHERWISE SHOWN) MAX. 100mm O.C. SPACING. IF HANDRAIL IS USED AGAINST AN INTERIOR WALL THE GAP FROM WALL MUST BE 2" (5CM) HANDRAIL / GUARD HEIGHT = 950 mm [37.5"] MEASURED VERTICALLY FROM OUTSIDE EDGE OF STAIR NOSING GUARDS AT LANDINGS. REFER TO OBC 3.4.6.4, FOR LOADS ON HANDRAIL, ALL INSTALLATION MUST COMPLY WITH 3.4.6.4.(9). ANY OTHER INTERIOR AREAS REQUIRING GUARDS SHALL BE MINIMUM 36" [900mm] EXTERIOR HANDRAILS/ GUARDS SHALL BE MINIMUM 42" UNLESS OTHERWISE SHOWN. CONTINUOUS BEAM ON RAILING AND GUARDS IS 38X140MM ON ALL EXTERIOR STAIRS AND DECKS UNLESS SHOWN OTHERWISE. All loads and specs to comply with OBC 9.4.1.1 and OBC 4.1.5.15

16 WET WALL PROTECTION:
CERAMICS AND PLASTIC TILE INSTALLED ON WALL AROUND BATHTUBS AND SHOWERS SHALL BE APPLIED OVER MOISTURE RESISTANT BACKING. JOINTS BETWEEN WALL TILES AND BATHTUB SHALL BE CAULKED WITH MATERIAL CONFORMING TO CGSB 19-GP-22M "SEALING COMPOUND MILDEW RESISTANT, FOR TUBS AND TILE".

17 GAS PROOFING
GASPROOFED WALLS (2X6" STUDS) AND CEILING OF GARAGE ADJACENT TO INTERIOR SPACE: 1/2" GYPSUM BOARD, TAPED AND SEAL ALL JOINTS GAS TIGHT. WITH 6 MIL VAPOUR BARRIER ON THE WARM SIDE. CONTINUOUS AIR BARRIER AS PER O.B.C. 9.25.5. ALL DUCTWORK IN CEILING TO BE INSULATED MIN. R-12 AND GASPROOFED. DOOR FROM GARAGE TO HOUSE EQUIPPED WITH SELF CLOSER AND WEATHERSTRIPPING.
GARAGE CEILING INSULATION R31, AND GARAGE WALLS R24

18 DAMP-PROOFING STAIRS
DAMPROOF UNDERSIDE OF STAIR STRINGER WITH 45# ROLL ROOFING OR WITH 2 MIL. POLY. WHEN STAIR STRINGER IS IN CONTACT WITH A CONCRETE SLAB ON GRADE SUCH AS BASEMENT.

19 PORCELAIN FINISHED FLOORS:
PORCELAIN/ CERAMIC FLOOR TILES ON 1 1/2" MORTAR BASE REINFORCED WITH WIRE MESH ON 5/8" SUBFLOOR- ALL EDGES SUPPORTED BY MINIMUM 2"x 2" BLOCKING (OPTIONAL), MAY BE REPLACED WITH OTHER APPROVED FINISH

20 FOOTINGS (STRIP FOOTING)
ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF (100 kPa). CONCRETE FOR FOOTINGS SHALL BE MIN. 20 MPa AT 28 DAYS. MINIMUM FOOTING FOR TWO 2 STOREY BRICK VENEER CONSTRUCTION 18"x6" IF NOT SPECIFIED ON PLANS. BACKFILL REQUIRED WITH NON-FROST SUSCEPTIBLE SOIL.. FOOTING TO CONTINUE UNDER GARAGE DOOR

21 SILL PLATE
2"x 6" (OR AS SHOWN) PLATE WITH 1/2" Dia. ANCHOR BOLTS x 12" LONG MIN. 4" IN CONCRETE @ 8'-0" O.C. (ABOVE FOUNDATION WALL) SEE ASSEMBLY WALL SECTION

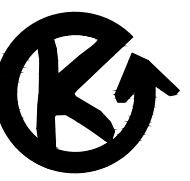
22 BEAM POCKET OR CONCRETE PILASTER:
BEAM POCKET IN Poured concrete WALL OR 4"x 12" CONCRETE PILASTER (UNLESS SHOWN OTHERWISE) TO BE PROVIDED FOR STEEL BEAMS. STEEL BEAMS TO BE LEVELLED WITH STEEL PLATES OR STEEL SADDLES.

23 ROOF VENTILATION
FOR TYPICAL ROOF - 1: 300 OF INSULATED CEILING AREA WITH 50 % AT EAVES. FOR CATHEDRAL ROOF - 1: 150 OF INSULATED CEILING AREA WITH 50 % AT EAVES.



TO	ISSUED	DATE

GENERAL NOTES
ALL DRAWINGS ARE THE PROPERTY OF KBK STUDIOS AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT FROM KBK STUDIOS
CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS BEFORE COMMENCING WORK AND TO REPORT ANY DISCREPANCIES TO THE ENGINEER OR KBK STUDIOS
ALL CONSTRUCTION TO BE ACCORDING TO BEST COMMON PRACTICE AND CONFORM TO THE ONTARIO BUILDING CODE.



PROJECT MANAGEMENT:
KBK STUDIOS - T: (647) -867-3210 | 800-203-7010
INFO@KBKSTUDIOS.CA

ENGINEERING REVIEW BY: BE, M.Sc., P.Eng. TBM ENGINEERS (905) 893-9070, 133 ADRIANA LOUISE DR, WOODBRIDGE, ON

PROJECT
39 GUTHRIE AVE. ETOBICOKE

DRAWING CONSTRUCTION NOTE	
DRAWN I.K.	PROJECT NO 2012-07
PLOTTED DATE May 05- 2017	DRAWING NO
SCALE 1:50@22x17"	A7.1
CHECKED	

Thursday, June 29, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0037/17EYK	Zoning	RD & R2
Owner(s):	2406390 ONTARIO LIMITED SEVEN OAKS HOMES INC	Ward:	Etobicoke Centre (03)
Agent:	DAN HORNIBROOK	Heritage:	Not Applicable
Property Address:	40 GLEN AGAR DR	Community:	
Legal Description:	PLAN 4665 LOT 2		

Notice was given and the application considered on Thursday, June 29, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two residential lots.

Conveyed - Part 1

Address to be assigned

The lot frontage is 16.83 m measured along Glen Agar Drive and the lot area is 515.25 m². The vacant lot will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0388/17EYK.

Retained - Part 2

Address to be assigned

The lot frontage is 14.96 m measured along Burwood Road and the lot area is 697.21 m². The existing detached dwelling will be maintained, requiring variances to the Zoning By-law, as outlined in Application A0387/17EYK.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.

2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0037/17EYK	Zoning	RD & R2
Owner(s):	2406390 ONTARIO LIMITED SEVEN OAKS HOMES INC	Ward:	Etobicoke Centre (03)
Agent:	DAN HORNIBROOK	Heritage:	Not Applicable
Property Address:	40 GLEN AGAR DR	Community:	
Legal Description:	PLAN 4665 LOT 2		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Thursday, July 27, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0388/17EYK	Zoning	RD & R2
Owner(s):	2406390 ONTARIO LIMITED SEVEN OAKS HOMES INC	Ward:	Etobicoke Centre (03)
Agent:	DAN HORNIBROOK	Heritage:	Not Applicable
Property Address:	40 GLEN AGAR DR – PART 1	Community:	

Legal Description: PLAN 4665 LOT 2

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 33% of the lot area (170.03 m²).
The new dwelling will have a lot coverage of 39% of the lot area (200.7 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the area of the lot (231.86 m²).
The new dwelling will have a floor space index equal to 0.59 times the area of the lot (301.45 m²).
- Section 320-42(E)**
The maximum projection for a roofed porch into the required rear yard setback is 1.6 m.
The proposed roofed porch will project 2.16 m into the required rear yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0037/17EYK**
2. Submission of a complete application for permit to injure or destroy privately owned trees.
3. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 3.1 The applicant shall submit one revised site plan (scale of 1:200 or I:250) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - a. Illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b. Illustrate proposed and existing culverts under driveways including the invert at both sides of the culvert to match existing; and,
 - c. Buildings on neighbouring lots to be shown and show distance of buildings from the property lines; and,
 - d. Each lot requires a separate sanitary and water service connection; and,
 - e. Clearly indicate the restoration of the redundant portion of curb cuts for the former driveway and new curb cuts for the proposed dwellings, all of which shall be designed to municipal standards; and,
 - f. The site plan must include the following notations:

- i. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality"; and,
- ii. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and,
- iii. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0388/17EYK	Zoning	RD & R2
Owner:	2406390 ONTARIO LIMITED SEVEN OAKS HOMES INC	Ward:	Etobicoke Centre (03)
Agent:	DAN HORNIBROOK	Heritage:	Not Applicable
Property Address:	40 GLEN AGAR DR – PART 1	Community:	
Legal Description:	PLAN 4665 LOT 2		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 29, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0387/17EYK	Zoning	RD & R2
Owner(s):	2406390 ONTARIO LIMITED SEVEN OAKS HOMES INC	Ward:	Etobicoke Centre (03)
Agent:	DAN HORNIBROOK	Heritage:	Not Applicable
Property Address:	40 GLEN AGAR DR – PART 2	Community:	

Legal Description: PLAN 4665 LOT 2

Notice was given and a Public Hearing was held on Thursday, June 29, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the existing detached dwelling with a rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.40.70.(2)(B), By-law 569-2013**
The minimum required rear yard setback is 9.92 m.
The existing dwelling will be located 5.13 m from the rear lot line.
- 2. Section 320-42(E)**
The maximum projection for a roofed porch into the required rear yard setback is 1.6 m.
The proposed roofed porch will project 8.77 m into the required rear yard setback.
- 3. Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The existing dwelling will have a length of 17.63 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0037/17EYK**
2. Submission of a complete application for permit to injure or destroy privately owned trees.
3. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 3.1 The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - a. Illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b. Illustrate proposed and existing culverts under driveways including the invert at both sides of the culvert to match existing; and,
 - c. Buildings on neighbouring lots to be shown and show distance of buildings from the property lines; and,
 - d. Each lot requires a separate sanitary and water service connection; and,
 - e. Clearly indicate the restoration of the redundant portion of curb cuts for the former driveway and new curb cuts for the proposed dwellings, all of which shall be designed to municipal standards; and,
 - f. The site plan must include the following notations:

- i. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality"; and,
- ii. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and,
- iii. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0387/17EYK	Zoning	RD & R2
Owner:	2406390 ONTARIO LIMITED SEVEN OAKS HOMES INC	Ward:	Etobicoke Centre (03)
Agent:	DAN HORNIBROOK	Heritage:	Not Applicable
Property Address:	40 GLEN AGAR DR – PART 2	Community:	
Legal Description:	PLAN 4665 LOT 2		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, July 7, 2017

LAST DATE OF APPEAL: Wednesday, July 19, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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