

Thursday, July 20, 2017

NOTICE OF DECISION CONSENT (Section 53 of the Planning Act)

File Number:	B0053/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	JOHN WHITE ELIZABETH WHITE	Ward:	Eglinton-Lawrence (15)
Agent:	EVAN ABRHAM	Heritage:	Not Applicable
Property Address:	40 FAIRHOLME AVE	Community:	North York
Legal Description:	PLAN 3203 LOT 70		

Notice was given and the application considered on Thursday, July 20, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever a portion of the land for the purpose of a lot addition.

CONVEYED - Part 3



Part 3 has a lot area of 159.3 m². Part 3 will be added to the Part 2 (severed from B0003/17NY) to create a new building lot with a frontage of 10.16m and a lot area of 318.6m². Parts 2 and 3 will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning By-law(s).

RETAINED - Part 4

Part 4 has a lot frontage of 10.16m and a lot area of 318.6m². The lot will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning By-law(s).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

<p>PLAN OF SURVEY OF LOTS 69 and 70 REGISTERED PLAN 3203 CITY of TORONTO Formerly In The City of North York SCALE 1 : 150  AVANTI SURVEYING INC.</p> <div style="text-align: center;">  </div> <div style="text-align: center; margin-top: 20px;"> <div style="border: 1px solid black; background-color: #e0e0e0; padding: 5px; display: inline-block;"> RECEIVED By slam at 12:59 pm, May 24, 2017 </div> </div> <p style="text-align: center; margin-top: 20px;">LAWRENCE AVENUE WEST ROAD ALLOWANCE BETWEEN LOTS 5 AND 6, CONCESSION 2, WEST OF YONGE STREET</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%; padding: 5px;"> I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT DATE : _____ CHRIS BERESNEWICZ ONTARIO LAND SURVEYOR </td> <td style="width: 40%; padding: 5px;"> PLAN 66R- RECEIVED AND DEPOSITED DATE : _____ REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND TITLES DIVISION OF THE TORONTO REGISTRY OFFICE. (No.66) </td> </tr> <tr> <td colspan="2" style="text-align: center; padding: 5px;"> SCHEDULE </td> </tr> <tr> <td style="text-align: center; padding: 5px;"> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">PART</th> <th style="width: 15%;">ALL OF LOT</th> <th style="width: 15%;">PLAN</th> <th style="width: 20%;">ALL OF P.I.N.</th> <th style="width: 40%;">AREA</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">69</td> <td></td> <td style="text-align: center;">10221-0029</td> <td style="text-align: center;">318.6 m²</td> </tr> <tr> <td style="text-align: center;">2</td> <td></td> <td style="text-align: center;">3203</td> <td></td> <td style="text-align: center;">159.3 m²</td> </tr> <tr> <td style="text-align: center;">3</td> <td></td> <td></td> <td style="text-align: center;">10221-0028</td> <td style="text-align: center;">159.3 m²</td> </tr> <tr> <td style="text-align: center;">4</td> <td style="text-align: center;">70</td> <td></td> <td></td> <td style="text-align: center;">318.6 m²</td> </tr> </tbody> </table> </td> <td></td> </tr> </table>	I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT DATE : _____ CHRIS BERESNEWICZ ONTARIO LAND SURVEYOR	PLAN 66R- RECEIVED AND DEPOSITED DATE : _____ REPRESENTATIVE FOR THE LAND REGISTRAR FOR THE LAND TITLES DIVISION OF THE TORONTO REGISTRY OFFICE. (No.66)	SCHEDULE		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 10%;">PART</th> <th style="width: 15%;">ALL OF LOT</th> <th style="width: 15%;">PLAN</th> <th style="width: 20%;">ALL OF P.I.N.</th> <th style="width: 40%;">AREA</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">69</td> <td></td> <td style="text-align: center;">10221-0029</td> <td style="text-align: center;">318.6 m²</td> </tr> <tr> <td style="text-align: center;">2</td> <td></td> <td style="text-align: center;">3203</td> <td></td> <td style="text-align: center;">159.3 m²</td> </tr> <tr> <td style="text-align: center;">3</td> <td></td> <td></td> <td style="text-align: center;">10221-0028</td> <td style="text-align: center;">159.3 m²</td> </tr> <tr> <td style="text-align: center;">4</td> <td style="text-align: center;">70</td> <td></td> <td></td> <td style="text-align: center;">318.6 m²</td> </tr> </tbody> </table>	PART	ALL OF LOT	PLAN	ALL OF P.I.N.	AREA	1	69		10221-0029	318.6 m ²	2		3203		159.3 m ²	3			10221-0028	159.3 m ²	4	70			318.6 m ²	
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SIGNATURE PAGE

File Number:	B0053/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	JOHN WHITE ELIZABETH WHITE	Ward:	Eglinton-Lawrence (15)
Agent:	EVAN ABRHAM	Heritage:	Not Applicable
Property Address:	40 FAIRHOLME AVE	Community:	North York
Legal Description:	PLAN 3203 LOT 70		

Bruce Mullock (signed) Isaac Lallouz (signed) Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 16, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, July 20, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0003/17NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	FATEMEH KOMEILINEJAD	Ward:	Eglinton-Lawrence (15)
Agent:	EVAN ABRAHAM	Heritage:	Not Applicable
Property Address:	42 FAIRHOLME AVE	Community:	North York
Legal Description:	PLAN 3203 LOT 69		

Notice was given and the application considered on Thursday, July 20, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever a portion of the land for the purpose of a lot addition.

CONVEYED - Part 2

Part 2 has a lot area of 159.3 m². Part 2 will be added to the Part 3 (severed from B0053/16NY) to create a new building lot with a frontage of 10.16m and a lot area of 318.6m². Parts 2 and 3 will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning By-law(s).

CONVEYED - Part 1

Part 1 has a lot frontage of 10.16m and a lot area of 318.6m². The lot will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning By-law(s).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number:	B0003/17NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	FATEMEH KOMEILINEJAD	Ward:	Eglinton-Lawrence (15)
Agent:	EVAN ABRAHAM	Heritage:	Not Applicable
Property Address:	42 FAIRHOLME AVE	Community:	North York
Legal Description:	PLAN 3203 LOT 69		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 16, 2017

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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0726/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	JOHN WHITE ELIZABETH WHITE	Ward:	Eglinton-Lawrence (15)
Agent:	EVAN ABRHAM	Heritage:	Not Applicable
Property Address:	40 FAIRHOLME AVE (PART 4)	Community:	North York
Legal Description:	PLAN 3203 LOT 70		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013

A minimum of 10 m² of the First Floor area must be within 4 m of the front wall.
There is 6.96 m² proposed within 4 m of the front wall.

2. Chapter 10.5.40.60.(1), Zoning By-law No. 569-2013

(C) A platform without main walls, attached to or less than 0.3 metres from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 1.85 m.

The proposed platform encroaches 2.08 m into the required rear yard setback and is 1.6 m from the side lot line.

3. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

A) The required minimum lot area is 550 m².
The proposed lot area is 316.8 m².

4. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15 m.
The proposed lot frontage is 10.16 m.

5. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 35 percent of the lot area: 110.8 m².
The proposed lot coverage is 44.4 percent of the lot area: 140.6 m².

6. Chapter 10.20.40.10.(4), Zoning By-law No. 569-2013

A) The permitted maximum height is 7.2 m.
The proposed height is 9.25 m.
NOTE: Height includes decorative column

7. Chapter 10.5.50.10.(1)(B)(D), Zoning By-law No. 569-2013

(B) A minimum of 50 percent of the front yard must be landscaping: 30.85 m².
The proposed front yard landscaping area is 45.9 percent: 28.4 m².
(D) A minimum of 75 percent of the required front yard landscaping must be soft landscaping; 23.13 m².
The proposed front yard soft landscaping area is 70 percent: 21.6 m².

8. Chapter 200.5.1.10.(2), Zoning By-law No. 569-2013

(A) (i)The minimum required parking space must have a minimum width of 5.8 m.
The proposed parking space (s) will have a width of 5.56 m.

9. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The required minimum side yard setbacks are 1.8 m each side.
The proposed west side yard setback is 1.22 m.

10. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The required minimum side yard setbacks are 1.8 m each side.
The proposed east side yard setback is 0.61 m.

11. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15m.
The proposed lot frontage is 10.16 m.

12. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550m².
The proposed lot area is 316.8m².

13. Section 13.2.3(a), Zoning By-law No. 7625

The minimum required front yard setback is 7.5m.
The proposed front yard setback is 6.07m.

14. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.8m.
The proposed side yard setback is 0.61m (east).

15. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.8m.
The proposed side yard setback is 1.22 m (west).

16. Section 13.2.3c, Zoning By-law No. 7625

The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 8.32m.

17. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 44.4% of the lot area.

18. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8m.
The proposed building height is 10.26m.
NOTE: Height includes decorative column

19. Section 6(30)a, Zoning By-law No. 7625

The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 2.26m.

20. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

21. Section 6A(3), Zoning By-law No. 7625

The minimum required parking space size is 5.6m x 5.8m.
The proposed parking space size is 7m x 5.5m.

22. Section 6(24), Zoning By-law No. 7625

The maximum width of an unexcavated deck in the rear that projects less than 2.1m from the wall and is greater than 1m above all points of the adjacent ground is 50% of the width of the dwelling.
The proposed deck is 65% of the width of the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0726/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner:	JOHN WHITE ELIZABETH WHITE	Ward:	Eglinton-Lawrence (15)
Agent:	EVAN ABRHAM	Heritage:	Not Applicable
Property Address:	40 FAIRHOLME AVE (PART 4)	Community:	North York
Legal Description:	PLAN 3203 LOT 70		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0727/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	JOHN WHITE ELIZABETH WHITE	Ward:	Eglinton-Lawrence (15)
Agent:	EVAN ABRHAM	Heritage:	Not Applicable
Property Address:	40 FAIRHOLME AVE (PARTS 2 & 3)	Community:	North York
Legal Description:	PLAN 3203 LOT 70		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013

A minimum of 10 m² of the First Floor area must be within 4 m of the front wall.

There is 6.96 m² proposed within 4 m of the front wall.

2. Chapter 10.5.40.60.(1), Zoning By-law No. 569-2013

C) A platform without main walls, attached to or less than 0.3 metres from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 metres if it is no closer to a side lot line than 2.36 m.

The proposed platform encroaches 2.08 m into the required rear yard setback and is 1.54 m from the west side lot line.

3. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

A) The required minimum lot area is 550 m².

The proposed lot area is 316.8 m².

4. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15 m.

The proposed lot frontage is 10.16 m.

5. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 35 percent of the lot area: 110.88 m².
The proposed lot coverage is 44.4 percent of the lot area: 140.6 m².

6. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013

(B) A minimum of 50 percent of the front yard must be landscaping: 32 m².
The proposed front yard landscaping area is 45.9 percent: 29 m².
(D) A minimum of 75 percent of the required front yard landscaping must be soft landscaping: 23 m².
The proposed front yard soft landscaping area is 70 percent: 21.6 m².

7. Chapter 10.20.40.10.(2)(A)(B), Zoning By-law No. 569-2013

The permitted maximum height of the exterior portion of main walls for a detached house is 7.5m.
The proposed front exterior main wall is 8.25m, AND the proposed rear exterior wall is 8.25m.

8. Chapter 200.5.1.10.(2), Zoning By-law No. 569-2013

(A) (i) The minimum required parking space must have a minimum width of 5.8 m.
The proposed parking space (s) will have a width of 5.56 m.

9. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The required minimum side yard setbacks are 1.8 m on each side.
The proposed east side yard setback is 0.61 m.

10. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The required minimum side yard setbacks are 1.8 m on each side.
The proposed west side yard setback is 1.22 m.

11. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15m.
The proposed lot frontage is 10.16m.

12. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550m².
The proposed lot area is 316.8m².

13. Section 13.2.3(a), Zoning By-law No. 7625

The minimum required front yard setback is 7.5m.
The proposed front yard setback is 6.07m.

14. Section 13.2.3(b), Zoning By-law No. 7625

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The proposed east side yard setback is 0.61m.

15. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.22m.

16. Section 13.2.3c, Zoning By-law No. 7625

The minimum required rear yard setback is 9.5m.

The proposed rear yard setback is 8.32m.

17. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 35% of the lot area.

The proposed lot coverage is 44.4% of the lot area.

18. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is 9.41m.

19. Section 6(30)a, Zoning By-law No. 7625

The maximum finished first floor height is 1.5m.

The proposed finished first floor height is 2.21m.

20. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

21. Section 6A(3), Zoning By-law No. 7625

The minimum required parking space size is 5.6m x 5.8m.

The proposed parking space size is 7m x 5.56m.

22. Section 7.4A, Zoning By-law No. 7625

The minimum required landscaping is 50% and the minimum required soft landscaping is 75%.

The proposed landscaping is 45.9% and the proposed soft landscaping is 70%.

23. Section 6(24), Zoning By-law No. 7625

The maximum width of an unexcavated deck in the rear that projects less than 2.1m from the wall and is greater than 1m above all points of the adjacent ground is 50% of the width of the dwelling.

The proposed deck is 64% of the width of the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0727/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner:	JOHN WHITE ELIZABETH WHITE	Ward:	Eglinton-Lawrence (15)
Agent:	EVAN ABRHAM	Heritage:	Not Applicable
Property Address:	40 FAIRHOLME AVE (PARTS 2 & 3)	Community:	North York
Legal Description:	PLAN 3203 LOT 70		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0013/17NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	FATEMEH KOMEILINEJAD	Ward:	Eglinton-Lawrence (15)
Agent:	EVAN ABRAHAM	Heritage:	Not Applicable
Property Address:	42 FAIRHOLME AVE (PART 1)	Community:	North York
Legal Description:	PLAN 3203 LOT 69		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013

A minimum of 10 m² of the First Floor area must be within 4 m of the front wall.

There is 4.1 m² proposed within 4 m of the front wall.

2. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

A) The required minimum lot area is 550 m².

The proposed lot area is 316.8 m².

3. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15 m.

The proposed lot frontage is 10.16 m.

4. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 35 percent of the lot area: 110.88 m².

The proposed lot coverage is 44.4 percent of the lot area: 140.65 m².

5. Chapter 10.5.40.60.(1), Zoning By-law No. 569-2013

(C) A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 1.94 m.

The proposed platform encroaches 2.08 m into the required rear yard setback and is 1.54 m from the side lot line.

6. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013

(B) A minimum of 50 percent of the front yard must be landscaping: 31 m².

The proposed front yard landscaping area is 45.9 percent: 29 m².

(D) A minimum of 75 percent of the required front yard landscaping must be soft landscaping; 23.1m².

The proposed front yard soft landscaping area is 70 percent: 21.6m².

7. Chapter 10.20.40.10.(2)(A)(B), Zoning By-law No. 569-2013

The permitted maximum height of the exterior portion of main walls for a detached house is 7.5m

The proposed front exterior wall is 8.38m and the proposed rear exterior wall is 8.15m.

8. Chapter 200.5.1.10.(2), Zoning By-law No. 569-2013

(A) The minimum required parking space must have minimum required dimensions of (i) 5.8 m in width (ii) 5.6 m in length and 2.0 m in vertical clearance.

(A) (i)The minimum required parking space must have a minimum width of 5.8 m for 2 parking spaces.

The proposed parking space (s) will have a width of 5.56 m.

9. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The required minimum side yard setbacks are 1.8 m each side.

The proposed east side yard setback is 0.6 m.

10. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The required minimum side yard setbacks are 1.8 m each side.

The proposed west side yard setback is 1.22 m.

11. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15 m.

The proposed lot frontage is 10.16 m.

12. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550m².

The proposed lot area is 316.8m².

13. Section 13.2.3(a), Zoning By-law No. 7625

The minimum required front yard setback is 7.5m.

The proposed front yard setback is 6.07m.

14. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setbacks are 1.8m.

The proposed side yard setback is 0.6m (east side).

15. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setbacks are 1.8m.

The proposed side yard setback is 1.22m (west side).

16. Section 13.2.3c, Zoning By-law No. 7625

The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 8.32m.

17. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 44.4% of the lot area.

18. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8m.
The proposed building height is 9.64m.

19. Section 6(30)a, Zoning By-law No. 7625

The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 2.19m.

20. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

21 Section 6A(3), Zoning By-law No. 7625

The minimum required parking space size is 5.6m x 5.8m.
The proposed parking space size is 7m x 5.56m.

22. Section 7.4A, Zoning By-law No. 7625

The minimum required landscaping is 50% and the required soft landscaping is 75%.
The proposed landscaping is 45.9% and the proposed soft landscaping is 70%.

22. Section 6(24), Zoning By-law No. 7625

The maximum width of an unexcavated deck in the rear that projects less than 2.1m from the wall and is greater than 1m above all points of the adjacent ground is 50% of the width of the dwelling.
The proposed deck is 64% of the width of the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0013/17NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner:	FATEMEH KOMEILINEJAD	Ward:	Eglinton-Lawrence (15)
Agent:	EVAN ABRAHAM	Heritage:	Not Applicable
Property Address:	42 FAIRHOLME AVE (PART 1)	Community:	North York
Legal Description:	PLAN 3203 LOT 69		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, July 20, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0007/17NY	Zoning	R4/RD(x5)
Owner(s):	SAMSOO CHARLES KIM AE RYUN ANNA KIM	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	29 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 1743 LOTS 174 & 175 PT LOT 176		

Notice was given and the application considered on Thursday, July 20, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained lot - PART 1

Address to be assigned

The proposed lot frontage is 7.91m. The proposed lot area is 313.39m². The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0073/17NY.

Conveyed - PART 2

Address to be assigned

The proposed lot frontage is 7.91m. The proposed lot area is 313.39m². The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0074/17NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) **The applicant to satisfy the requirements of the Heritage Preservation Services Division;**
 1. The applicant shall retain a consultant archaeologist, licensed by the Ministry of Tourism, Culture and Sport, under the provisions of the Ontario Heritage Act (R.S.O 1990 as amended) to carry out a Stage 1 - 2 archaeological assessment of the entire development property and follow through on recommendations to mitigate, through preservation or resource removal and documentation, adverse impacts to any significant archaeological resources found. The assessment is to be completed in accordance with the 2011 Standards and Guidelines for Consulting Archaeologists, Ministry of Tourism, Culture and Sport.
 2. The consultant archaeologist shall submit a copy of the relevant assessment report(s) to the Heritage Preservation Services Unit in both hard copy format and as an Acrobat PDF file on CD.
 3. No demolition, construction, grading or other soil disturbances shall take place on the subject property prior to the City's Planning Division (Heritage Preservation Services Unit) and the Ministry of Tourism, Culture and Sport (Heritage Operations Unit) confirming in writing that all archaeological licensing and technical review requirements have been satisfied.
- (6) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0007/17NY	Zoning	R4/RD(x5)
Owner(s):	SAMSOO CHARLES KIM AE RYUN ANNA KIM	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	29 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 1743 LOTS 174 & 175 PT LOT 176		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 16, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0073/17NY	Zoning	R4/RD(x5)
Owner(s):	SAMSOO CHARLES KIM AE RYUN ANNA KIM	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	29 JOHNSTON AVE (PART 1)	Community:	North York
Legal Description:	PLAN 1743 LOTS 174 & 175 PT LOT 176		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed west side yard setback is 0.61m.

2. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed east side yard setback is 1.20m.

3. Chapter 10.5.40.50, Zoning By-law No. 569-2013

(2) In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3 m of a building, must comply with the required minimum building setbacks for the zone.

The proposed deck is 1.2 m from the side yard setback, whereas 1.8 m is required.

4. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

A) The required minimum lot area is 550 m².
The proposed lot area is 313.39 m².

5. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15.0 m.

The proposed lot frontage is 7.91 m.

6. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 30 percent of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

7. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013

B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m for 100% total width.

The proposed height of the side exterior main walls facing a side lot line is 7.98 m.

8. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013

(B) A minimum of 50 percent of the front yard must be landscaping: 22.79 m².

The proposed front yard landscaping area is 37.06 percent: 16.89 m².

9. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013

(D) A minimum of 75 percent of the required front yard landscaping must be soft landscaping; 17.09 m².

The proposed front yard soft landscaping area is 61.96 percent: 14.12 m².

10. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15.0 m.

The proposed lot frontage is 7.91 m.

11. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

12. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550m².

The proposed lot area is 313.39m².

13. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required west side yard setback is 1.5m.

The proposed west side yard setback is 0.61m.

14. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required East side yard setback is 1.5m.

The proposed east side yard setback is 1.2m.

15. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

16. Section 13.2.5A, Zoning By-law No. 7625

The maximum permitted building length is 16.8m.

The proposed building length is 17.07m.

17. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is 9.06m.

18. Section 7.4A, 7.4B(a), Zoning By-law No. 7625

The minimum required landscaping is 50%.

The proposed landscaping is 44.23%.

A minimum of 75% of the front yard not covered by a permitted driveway shall be maintained as soft landscaping.

The proposed soft landscaping is 63.03%.

19. Section 6(24), Zoning By-law No. 7625

(d)(ii) (A) The required side yard setback is 1.5m.

The proposed setback for the deck is 1.2m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.

The proposed east side yard setback is 1.20m.

3. Chapter 10.5.40.50, Zoning By-law No. 569-2013

(2) In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3 m of a building, must comply with the required minimum building setbacks for the zone.

The proposed deck is 1.2 m from the side yard setback, whereas 1.8 m is required.

4. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

A) The required minimum lot area is 550 m².

The proposed lot area is 313.39 m².

5. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15.0 m.

The proposed lot frontage is 7.91 m.

6. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 30 percent of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

7. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013

B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m for 100% total width.

The proposed height of the side exterior main walls facing a side lot line is 7.98 m.

8. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013

(B) A minimum of 50 percent of the front yard must be landscaping: 22.79 m².

The proposed front yard landscaping area is 37.06 percent: 16.89 m².

9. Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013

(D) A minimum of 75 percent of the required front yard landscaping must be soft landscaping; 17.09 m².

The proposed front yard soft landscaping area is 61.96 percent: 14.12 m².

10. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15.0 m.

The proposed lot frontage is 7.91 m.

11. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

12. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550m².

The proposed lot area is 313.39m².

14. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required East side yard setback is 1.5m.

The proposed east side yard setback is 1.2m.

15. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

16. Section 13.2.5A, Zoning By-law No. 7625

The maximum permitted building length is 16.8m.

The proposed building length is 17.07m.

17. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is 9.06m.

18. Section 7.4A, 7.4B(a), Zoning By-law No. 7625

The minimum required landscaping is 50%.

The proposed landscaping is 44.23%.

A minimum of 75% of the front yard not covered by a permitted driveway shall be maintained as soft landscaping.

The proposed soft landscaping is 63.03%.

19. Section 6(24), Zoning By-law No. 7625

(d)(ii) (A) The required side yard setback is 1.5m.
The proposed setback for the deck is 1.2m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed west side yard setback is **1.20m**.

13. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required west side yard setback is 1.5m.
The proposed west side yard setback is **1.20m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed driveway to be constructed of permeable materials.
- 2) **The applicant to satisfy the requirements of the Heritage Preservation Services Division;**
 1. **The applicant shall retain a consultant archaeologist, licensed by the Ministry of Tourism, Culture and Sport, under the provisions of the Ontario Heritage Act (R.S.O 1990 as amended) to carry out a Stage 1- 2 archaeological assessment of the entire development property and follow through on recommendations to mitigate, through preservation or resource removal and documentation, adverse impacts to any significant archaeological resources found. The assessment is to be completed in accordance with the 2011 Standards and Guidelines for Consulting Archaeologists, Ministry of Tourism, Culture and Sport.**
 2. **The consultant archaeologist shall submit a copy of the relevant assessment report(s) to the Heritage Preservation Services Unit in both hard copy format and as an Acrobat PDF file on CD.**
 3. **No demolition, construction, grading or other soil disturbances shall take place on the subject property prior to the City's Planning Division (Heritage Preservation Services Unit) and the Ministry of Tourism, Culture and Sport (Heritage Operations Unit) confirming in writing that all archaeological licensing and technical review requirements have been satisfied.**

SIGNATURE PAGE

File Number:	A0073/17NY	Zoning	R4/RD(x5)
Owner:	SAMSOO CHARLES KIM AE RYUN ANNA KIM	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	29 JOHNSTON AVE (PART 1)	Community:	North York
Legal Description:	PLAN 1743 LOTS 174 & 175 PT LOT 176		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0074/17NY	Zoning	R4/RD(x5)
Owner(s):	SAMSOO CHARLES KIM AE RYUN ANNA KIM	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	29 JOHNSTON AVE (PART 2)	Community:	North York
Legal Description:	PLAN 1743 LOTS 174 & 175 PT LOT 176		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed east side yard setback is 0.61m.

2. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.20m.

3. Chapter Zoning By-law No. 569-2013

10.5.40.50 Decks, Platforms and Amenities

(2) In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3 m of a building, must comply with the required minimum building setbacks for the zone.

The proposed rear deck is 1.2m from the side yard setback, whereas 1.8m is required.

The proposed front deck is 0.61m from the side yard setback, whereas 1.8m is required.

4. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

A) The required minimum lot area is 550 m².

The proposed lot area is 313.39 m².

5. Chapter 10.20.30.20.(1) ,Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15.0 m.

The proposed lot frontage is 7.91 m.

6. Chapter 10.20.30.40.(1) ,Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 30.00% of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

7. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013

B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m for 100% total width.

The proposed height of the side exterior main walls facing a side lot line is 7.98 m.

8. Chapter Zoning 10.5.50.10.(1), By-law No. 569-2013

(B) A minimum of 50 percent of the front yard must be landscaping: 22.79m².

The proposed front yard landscaping area is 37.06 percent: 16.89 m².

(D) A minimum of 75 percent of the required front yard landscaping must be soft landscaping; 17.09 m².

The proposed front yard soft landscaping area is 61.96 percent: 14.12 m².

9. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15.0m.

The proposed lot frontage is 7.91 m.

10. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

11. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550m².

The proposed lot area is 313.39m².

12. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required east side yard setback is 1.5m.

The proposed east side yard setback is 0.61m.

13. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required west side yard setback is 1.5m.

The proposed west side yard setback is 1.2m.

14. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

15. Section 13.2.5A, Zoning By-law No. 7625

The maximum permitted building length is 16.8m.

The proposed building length is 17.07m.

16. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

17. Section 7.4A, 7.4B, Zoning By-law No. 7625

The minimum required landscaping is 50%.
The proposed landscaping is 44.23%.
The minimum required soft landscaping is 75%.
The proposed soft landscaping is 63.03%

18. Section 6(24), Zoning By-law No. 7625

6(24) Unexcavated porches and decks in R and RM Zones

(d) Location

(ii) In the rear yard, unexcavated porches and decks attached to or detached from the main building shall be located

(A) No closer to the side lot lines than the minimum side yard setback for the main building.

The required side yard setback is 1.5m, the proposed setback for the rear deck is 1.2m.

The required side yard setback is 1.5m, the proposed setback for the front deck is 0.61m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.

The proposed west side yard setback is 1.20m.

3. Chapter Zoning By-law No. 569-2013

10.5.40.50 Decks, Platforms and Amenities

(2) In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3 m of a building, must comply with the required minimum building setbacks for the zone.

The proposed rear deck is 1.2m from the side yard setback, whereas 1.8m is required.

The proposed front deck is 0.61m from the side yard setback, whereas 1.8m is required.

4. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

A) The required minimum lot area is 550 m².

The proposed lot area is 313.39 m².

5. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15.0 m.

The proposed lot frontage is 7.91 m.

6. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 30.00% of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

7. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013

B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m for 100% total width.

The proposed height of the side exterior main walls facing a side lot line is 7.98 m.

8. Chapter Zoning 10.5.50.10.(1), By-law No. 569-2013

(B) A minimum of 50 percent of the front yard must be landscaping: 22.79m².

The proposed front yard landscaping area is 37.06 percent: 16.89 m².

(D) A minimum of 75 percent of the required front yard landscaping must be soft landscaping; 17.09 m².

The proposed front yard soft landscaping area is 61.96 percent: 14.12 m².

9. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15.0m.

The proposed lot frontage is 7.91 m.

10. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

11. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550m².

The proposed lot area is 313.39m².

13. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required west side yard setback is 1.5m.

The proposed west side yard setback is 1.2m.

14. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

15. Section 13.2.5A, Zoning By-law No. 7625

The maximum permitted building length is 16.8m.

The proposed building length is 17.07m.

16. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is 9.1m.

17. Section 7.4A, 7.4B, Zoning By-law No. 7625

The minimum required landscaping is 50%.

The proposed landscaping is 44.23%.

The minimum required soft landscaping is 75%.

The proposed soft landscaping is 63.03%

18. Section 6(24), Zoning By-law No. 7625

6(24) Unexcavated porches and decks in R and RM Zones

(d) Location

(ii) In the rear yard, unexcavated porches and decks attached to or detached from the main building shall be located

(A) No closer to the side lot lines than the minimum side yard setback for the main building.

The required side yard setback is 1.5m, the proposed setback for the rear deck is 1.2m.

The required side yard setback is 1.5m, the proposed setback for the front deck is 0.61m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.

The proposed east side yard setback is **1.20m**.

12. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required east side yard setback is 1.5m.

The proposed east side yard setback is **1.20m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed driveway to be constructed of permeable materials.
- 2) **The applicant to satisfy the requirements of the Heritage Preservation Services Division;**
 1. The applicant shall retain a consultant archaeologist, licensed by the Ministry of Tourism, Culture and Sport, under the provisions of the Ontario Heritage Act (R.S.O 1990 as amended) to carry out a Stage 1- 2 archaeological assessment of the entire development property and follow through on recommendations to mitigate, through preservation or resource removal and documentation, adverse impacts to any significant archaeological resources found. The assessment is to be completed in accordance with the 2011 Standards and Guidelines for Consulting Archaeologists, Ministry of Tourism, Culture and Sport.
 2. The consultant archaeologist shall submit a copy of the relevant assessment report(s) to the Heritage Preservation Services Unit in both hard copy format and as an Acrobat PDF file on CD.
 3. No demolition, construction, grading or other soil disturbances shall take place on the subject property prior to the City's Planning Division (Heritage Preservation Services Unit) and the Ministry of Tourism, Culture and Sport (Heritage Operations Unit) confirming in writing that all archaeological licensing and technical review requirements have been satisfied.

SIGNATURE PAGE

File Number:	A0074/17NY	Zoning	R4/RD(x5)
Owner:	SAMSOO CHARLES KIM AE RYUN ANNA KIM	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	29 JOHNSTON AVE (PART 2)	Community:	North York
Legal Description:	PLAN 1743 LOTS 174 & 175 PT LOT 176		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0460/17NY	Zoning:	RD / R3(19)
Owner(s):	AILA MAKOOOL ARASH SHARIFI	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	55 DE VERE GDNS	Community:	North York
Legal Description:	PLAN 2391 LOT 20		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10, By-law No. 569-2013**
A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
0.0 m² of the first floor is within 4.0 m of the front main wall.
- 2. Chapter 10.5.40.50, By-law No. 569-2013**
A platform without main walls such as a deck, porch, balcony, or similar structure, attached to or within 0.3 m of a building, must comply with the required minimum building setbacks of 1.8 m.
The proposed rear yard platform is 1.34 m from the south side lot line.
- 3. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building of structure is 10.0 m
The proposed height of the building is 10.51 m.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 19.57 m.
- 5. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 7.86 m.
The proposed front yard setback is 5.16 m.
- 6. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m where the required minimum lot frontage is 18.0 metres to less than 24.0 m.
The proposed north side yard setback is 1.25 m.

7. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m where the required minimum lot frontage is 18.0 metres to less than 24.0 m.
The proposed south side yard setback is 1.25 m.
8. **Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is not from the flanking street.
9. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 39.5 of the lot area.
10. **Chapter 10.5.40.60.(3)(A)(ii), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0 m.
The proposed stairs are 4.42 m wide.
11. **Chapter 10.5.40.60.(3)(A)(iii), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to the lot line than 0.6 m.
The proposed stairs are 0 m from the south lot line.
12. **Chapter 10.5.40.60.(7), By-law No. 569-2013**
A dormer projecting from the surface of a roof may not have any wall of the dormer closer to a lot line than the required minimum front yard setback of 7.86 m.
The proposed front dormers are 5.16 m from the front lot line.
13. **Chapter 10.5.40.60.(7), By-law No. 569-2013**
A dormer projecting from the surface of a roof may not have any wall of the dormer closer to a lot line than the required minimum side yard setback of 1.8 m.
The proposed south side yard dormers are 1.25 m from the south lot line.
14. **Section 12.4(a), By-law No. 7625**
The minimum required front yard setback is 6.5 m.
The proposed front yard setback is 5.16 m.
15. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed north side yard setback is 1.25 m.
16. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed south side yard setback is 1.25 m.
17. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.09 m.
18. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 19.57 m.
19. **Section 6(24)(d)(ii)(a), By-law No. 7625**
In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot line than 1.8 m.
The proposed unexcavated deck in the rear yard is 1.34 m from the south side lot line.

20. **Section 6(9), By-law No. 7625**
Exterior stairways, wheelchair ramps, and porches and decks 12.3 m² or less in area shall be permitted to project into one minimum side yard setback only, no more than 1.6 m, but no closer than 0.6 m from any side lot line.
The proposed porch is 4.84 m² in area.
21. **Section 6(9), By-law No. 7625**
Exterior stairways, wheelchair ramps, and porches and decks 12.3 m² or less in area shall be permitted to project into one minimum side yard setback only, no more than 1.6 m, but no closer than 0.6 m from any side lot line.
The proposed stair is 2.7 m² and is 0 m from the south side lot line.
22. **Section 6(9)(j), By-law No. 7625**
Canopies 2.3 m² or less in area shall be permitted to project into one minimum side yard setback no more than 1.6 m, but no closer than 0.6 m from any side lot line.
The proposed canopy has an area of 5.31 m².
23. **Section 6(9)(i), By-law No. 7625**
Canopies shall be permitted to project into the minimum rear yard setback no more than 1.8 m.
The proposed rear canopy projects 2.91 m.
24. **Section 12.5A, By-law No. 7625**
Any canopies projecting 1.8 m or less beyond the rear wall of the building shall be excluded in determining the length of the dwelling.
The proposed canopy projects 2.91 m from the rear wall of the building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0460/17NY	Zoning	RD / R3(19)
Owner:	AILA MAKOOLI ARASH SHARIFI	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	55 DE VERE GDNS	Community:	North York
Legal Description:	PLAN 2391 LOT 20		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0461/17NY	Zoning	RD(f7.5; d0.6)(x1401)/ R1 Z0.6 [ZZC]
Owner(s):	LISA MICHELLE BORDAN JORDAN AVROM SHAPIRO	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	257 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN M25 PT LOT 74		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a second-storey front addition, a new third storey, and interior alterations

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.40.40.10.(1), By-law No. 569-2013**
The maximum permitted height of a building is 9.00m.
The proposed height of the building is 10.52m.
- 2. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.39m.
The proposed front yard setback is 6.48m.
- 3. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 7.50m.
The proposed rear yard setback is 6.09m.
- 4. Chapter 10.40.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.600 times the area of the lot.
The proposed floor space index is 1.211 times the area of the lot.
- 5. Chapter 10.5.50.10.(1), By-law No. 569-2013**
The minimum front yard landscaping area is 50.00%.
The proposed front yard landscaping area is 38.80%.

6. **Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 75.00% of the front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 58.70%.
7. **Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.90m provided they are no closer than 0.30m to a lot line.
The proposed and existing eaves project 0.30m and are **0.00m** over the lot line.
8. **Chapter 200.5.10.1.(1), By-law No. 569-2013**
The minimum required number of parking spaces is one.
The proposed number of parking spaces is zero.
9. **Section 6(3) Part II 2(II), By-law No. 438-86**
The minimum required front yard setback is 7.39m.
The proposed front yard setback is 6.48m.
10. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback is 0.90m for that portion of the building not exceeding 17.00m in depth.
The proposed and existing side lot line setback is 0.14m.
11. **Section 6(3) Part II 4, By-law No. 438-86**
The minimum required rear yard setback is 7.50m.
The proposed rear yard setback is 6.09.
12. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.600 times the area of the lot.
The proposed gross floor area 1.211 times the area of the lot.
13. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted height of the building is 9.00m.
The proposed height of the building is 9.89m.
14. **Section 6(3) Part II 3(II), By-law No. 438-86**
The proposed building can be located no closer than 1.20m to the port of the side wall of an adjacent building that contains openings.
The proposed and existing building is located 0.53m from the adjacent building on the west side.
15. **Section 4(4)(b), By-law No. 438-86**
The minimum required number of parking spaces is one.
The proposed number of parking spaces is zero.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0461/17NY	Zoning	RD(f7.5; d0.6)(x1401)/ R1 Z0.6 [ZZC]
Owner:	LISA MICHELLE BORDAN JORDAN AVROM SHAPIRO	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	257 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN M25 PT LOT 74		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, July 20, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0462/17NY	Zoning:	RD/R6 [ZZC]
Owner(s):	MITCHELL DAVID KLEINSTEIN	Ward:	Eglinton-Lawrence (15)
Agent:	DREW LASZLO ARCHITECT	Heritage:	Not Applicable
Property Address:	84 BROOKVIEW DR	Community:	North York
Legal Description:	PLAN 3864 LOT 494		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct an addition over the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 7.20m for a flat or shallow roof.
The proposed building height is 7.86m.
- 2. Chapter 10.10.40.10.(3), By-law No. 569-2013**
The maximum number of storeys permitted is two (2).
The proposed number of storeys is three (3).
- 3. Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.00m.
The proposed building height is 9.88m.
- 4. Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is 16.99m.
- 5. Section 14-A(8), By-law No. 7625**
The maximum number of storeys permitted is two (2).
The proposed number of storeys is three (3).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

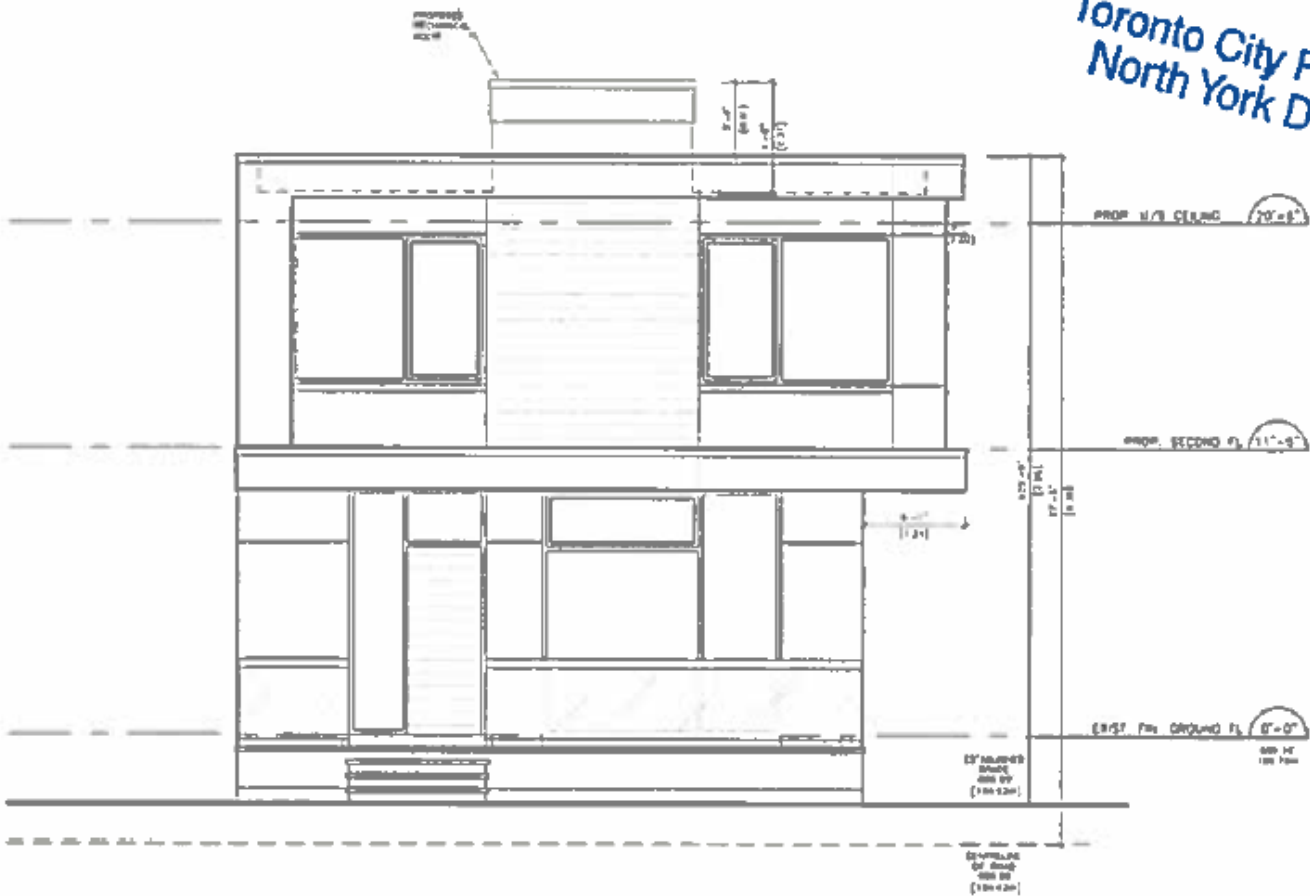
This decision is subject to the following condition(s):

- 1) The proposal be constructed in accordance with the front elevation and roof plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, July 6, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED

JUL 06 2017

**Toronto City Planning
North York District**



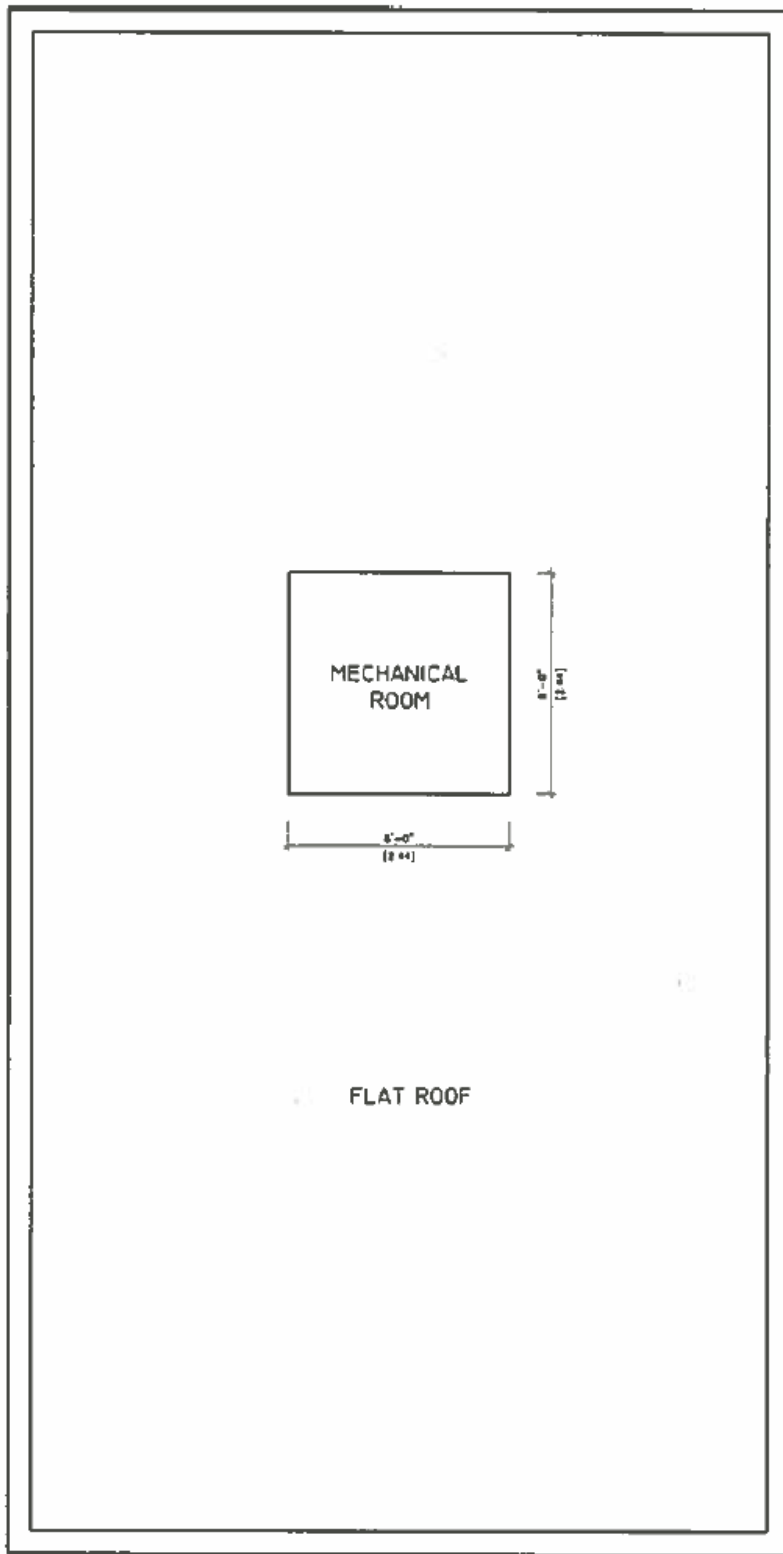
FRONT ELEVATION
3/16"=1'-0"
84 BROOKVIEW AVE.



RECEIVED

JUL 06 2017

Toronto City Planning
North York District



ROOF PLAN
3/16"=1'-0"
84 BROOKVIEW DR.



SIGNATURE PAGE

File Number:	A0462/17NY	Zoning	RD/R6 [ZZC]
Owner:	MITCHELL DAVID KLEINSTEIN	Ward:	Eglinton-Lawrence (15)
Agent:	DREW LASZLO ARCHITECT	Heritage:	Not Applicable
Property Address:	84 BROOKVIEW DR	Community:	North York
Legal Description:	PLAN 3864 LOT 494		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, July 20, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0463/17NY	Zoning	RD/R4[ZONING]
Owner(s):	ENZO GALLO ANNAMARIA GALLO	Ward:	York Centre (09)
Agent:	PEGGY CHIU	Heritage:	Not Applicable
Property Address:	56 WESTDALE DR	Community:	North York
Legal Description:	PLAN 3829 LOT 143		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.
- 2. Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5m.
The proposed front yard setback is 6.1m.
- 3. Section 13.2.3(b), By-law No. 7625**
The minimum required east side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.
- 4. Section 6(9), By-law No. 7625**
The maximum permitted rear canopy projection is 1.8m
The proposed rear canopy projection is 2.08m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0463/17NY	Zoning	RD/R4[ZONING]
Owner:	ENZO GALLO ANNAMARIA GALLO	Ward:	York Centre (09)
Agent:	PEGGY CHIU	Heritage:	Not Applicable
Property Address:	56 WESTDALE DR	Community:	North York
Legal Description:	PLAN 3829 LOT 143		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0464/17NY	Zoning	CR 3.0 / MCR T3.0 (ZR)
Owner(s):	TMAV IRENE LTD	Ward:	Don Valley West (25)
Agent:	MICHAEL LAFRENIERE ARCHITECT	Heritage:	Not Applicable
Property Address:	3463 YONGE ST	Community:	Toronto
Legal Description:	PLAN 1488 PT LOT 1		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey addition above the existing one storey building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 40.10.40.40.(1)B, By-law No. 569-2013

The by-law permits a maximum floor area of 2 times the lot area for non-residential uses.
The proposed floor area for non-residential uses is 2.59 times the area of the lot.

2. Chapter 200.5.10.1(1), By-law No. 569-2013

The required minimum number of parking spaces for the addition is 6 spaces.
The proposed number of space is 0.

3. Section 8(3), By-law No. 438-86

The by-law requires that the non-residential gross floor area be not more than 2.0 times the area of the lot.
The proposed non-residential gross floor area of the building is 2.59 times the area of the lot.

4. Section 4(4), By-law No. 438-86

The by-law requires an additional 4 parking spaces on the lot.
The proposed number of parking spaces is zero (0).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0464/17NY	Zoning	CR 3.0 / MCR T3.0 (ZR)
Owner:	TMAV IRENE LTD	Ward:	Don Valley West (25)
Agent:	MICHAEL LAFRENIERE ARCHITECT	Heritage:	Not Applicable
Property Address:	3463 YONGE ST	Community:	Toronto
Legal Description:	PLAN 1488 PT LOT 1		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, July 20, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0466/17NY	Zoning	C1 [ZZC]
Owner(s):	SENTINEL (FINCH) HOLDINGS INC	Ward:	Willowdale (24)
Agent:	MEHBOOB BANGASH ARCHITECT	Heritage:	Not Applicable
Property Address:	5607 YONGE ST	Community:	North York
Legal Description:	YORK CON 1 EYS PT LOT 21		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a reduced number of parking spaces for the proposed restaurant.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6A(2)a, By-law No. 7625

The minimum required number of parking spaces is 41 spaces.

The proposed number of parking spaces is 18.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0466/17NY	Zoning	C1 [ZZC]
Owner:	SENTINEL (FINCH) HOLDINGS INC	Ward:	Willowdale (24)
Agent:	MEHBOOB BANGASH ARCHITECT	Heritage:	Not Applicable
Property Address:	5607 YONGE ST	Community:	North York
Legal Description:	YORK CON 1 EYS PT LOT 21		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0467/17NY	Zoning	R4/RD[ZONING]
Owner(s):	OMID NAZARI MOGHADDAM	Ward:	Willowdale (23)
Agent:	OPTIONS GROUP	Heritage:	Not Applicable
Property Address:	60 YORKVIEW DR	Community:	North York
Legal Description:	PLAN 3832 LOT 124		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 7.8m.
- 2. Chapter 10.5.40.60.(7), By-law No. 569-2013**
The eaves of a roof may encroach into a required minimum building setback a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.
The proposed eaves encroach 1.06m into a required minimum building setback.
- 3. Chapter 10.5.50.10.(1), By-law No. 569-2013**
The minimum required front yard landscaping area is 60%
The proposed front yard landscaping area is 58.53%.
- 4. Chapter 900.3.10, By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.5m.
- 5. Chapter 900.3.10, By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.2m.
- 6. Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5m.
The proposed front yard setback is 6.19m.

7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.5m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.2m.
9. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is **17.00m**.
10. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.35m.
11. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.55m.
12. **Section 13.2.5A, By-law No. 7625**
The length of the dwelling may be increased from 16.8m to 18.9m by a one-storey extension to the rear of the dwelling if the extension is not more than 5m in height.
The length of the dwelling including the rear one-storey extension is **18.99m** and is 5.35m in height.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 7.8m.
2. **Chapter 10.5.40.60.(7), By-law No. 569-2013**
The eaves of a roof may encroach into a required minimum building setback a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.
The proposed eaves encroach 1.06m into a required minimum building setback.
3. **Chapter 10.5.50.10.(1), By-law No. 569-2013**
The minimum required front yard landscaping area is 60%
The proposed front yard landscaping area is 58.53%.
4. **Chapter 900.3.10, By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.5m.
5. **Chapter 900.3.10, By-law No. 569-2013**
The minimum required side yard setback is 1.8m.

The proposed west side yard setback is 1.2m.

6. Section 13.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.5m.

The proposed front yard setback is 6.19m.

7. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.8m.

The proposed east side yard setback is 1.5m.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.8m.

The proposed west side yard setback is 1.2m.

9. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.8m.

The proposed building length is **17.00m**.

11. Section 6(30)a, By-law No. 7625

The maximum finished first floor height is 1.5m.

The proposed finished first floor height is 1.55m.

12. Section 13.2.5A, By-law No. 7625

The length of the dwelling may be increased from 16.8m to 18.9m by a one-storey extension to the rear of the dwelling if the extension is not more than 5m in height.

The length of the dwelling including the rear one-storey extension is **18.99m** and is 5.35m in height

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

10. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.8m.

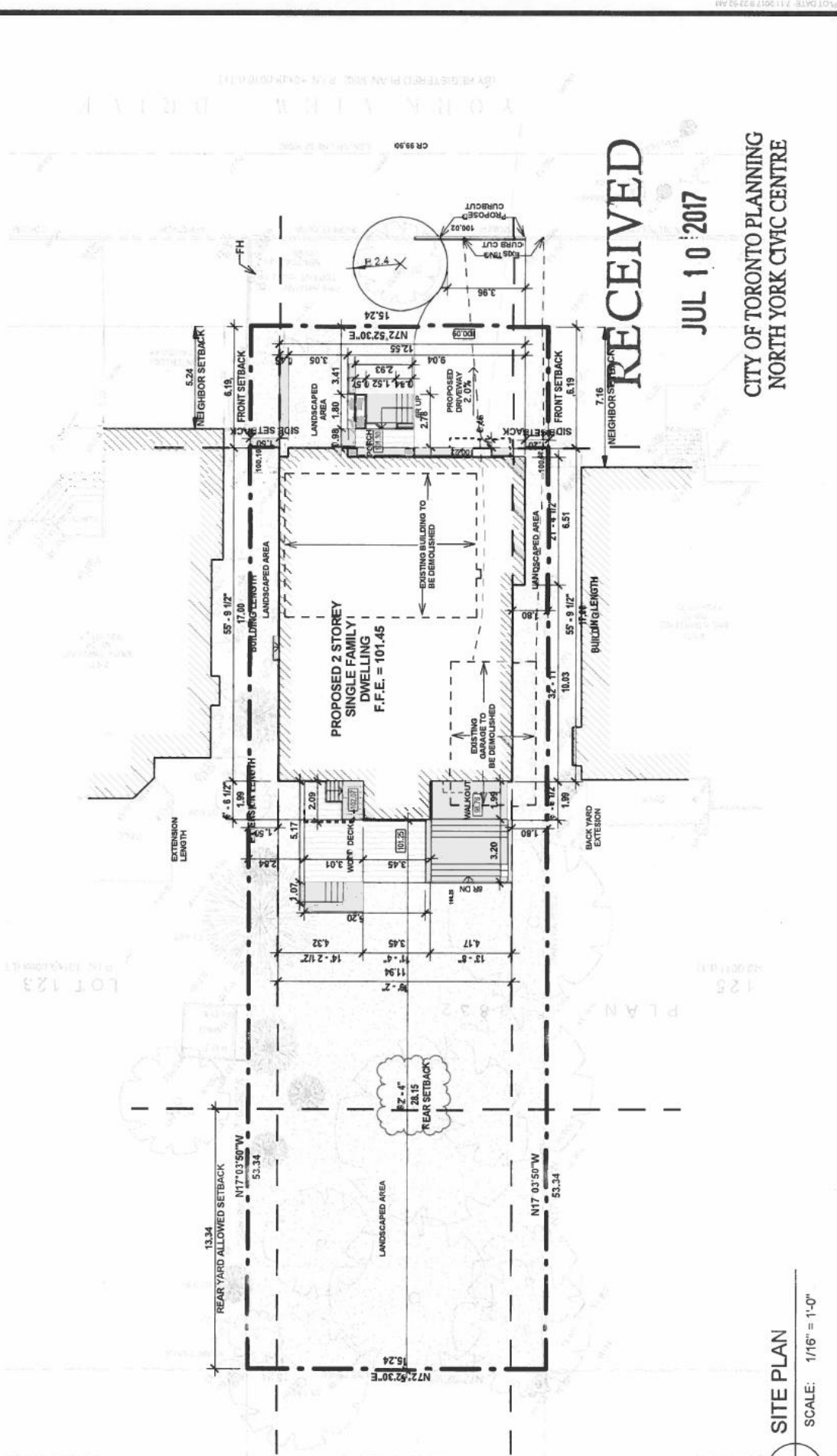
The proposed building height is **9.1m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the site plan drawing submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division. July 10, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) The proposed driveway be constructed of permeable pavers.



RECEIVED

JUL 10 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

1 SITE PLAN
A1.01 SCALE: 1/16" = 1'-0"

Drawings, Specifications and the like of Documents are the property of Options, Group Inc. All rights reserved. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Options, Group Inc. The contractor is to verify dimensions and data noted herein with conditions on the site and is responsible for reporting any discrepancy to Options, Group Inc., for adjustment. This drawing is not to be used for construction purposes until signed and sealed by the Architect.



No.	Date	Issued For	By
1	1/20/17	Initial Plan	AM
2	7/10/17	As Per City	PN

Project: SINGLE FAMILY DWELLING
TORONTO, ONTARIO
Sheet Title: SITE PLAN

Client: 60 YORKVIEW DR
AM Sheet No: A1.01
Contract: PN
Project No: 12116
Year: FEB 2017
Scale: 1/16" = 1'-0"

Options GROUP
60-5739 Yonge St
Toronto, ON M3J 3G5
Tel: 416-243-3442
Fax: 416-243-6375

SIGNATURE PAGE

File Number:	A0467/17NY	Zoning	R4/RD[ZONING]
Owner:	OMID NAZARI MOGHADDAM	Ward:	Willowdale (23)
Agent:	OPTIONS GROUP	Heritage:	Not Applicable
Property Address:	60 YORKVIEW DR	Community:	North York
Legal Description:	PLAN 3832 LOT 124		

Nazila Atarodi (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD

- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0468/17NY	Zoning	RD (x1463)/ R4(94) [ZZC]
Owner(s):	SAM HARIRI	Ward:	Eglinton-Lawrence (16)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	476 DELORAINE AVE	Community:	North York
Legal Description:	PLAN 2370 E PT LOT 40 W PT LOT 41		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10(5), By-law No. 569-2013**
An area of 10.00m² of the first floor must be within 4.00m of the front main wall.
There are 8.21m² of the first floor within 4.00m of the front main wall.
- Chapter 10.20.30.40.(1), By-law 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 35.50% of the lot area.
- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted height of a building is 10.00m.
The proposed height of the building is 10.14m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls is **8.18m**.
- Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted height of the first floor above established grade is 1.20m.
The proposed height of the first floor above established grade is 1.40m.
- Chapter 10.5.40.60.(2), By-law No. 569-2013**
A canopy not covering a platform may encroach in a front or rear yard by 2.50m if it is no closer to a side lot line than the minimum required side yard setback.
The proposed front and rear canopy is set back from the west and east side lot line by 0.61m.

- 7. Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.30m from a building may encroach into the required rear yard setback by 2.50m if it is not closer to a side lot line than 0.30m.
The proposed platform encroaches 2.66m into the required rear yard setback.
- 8. Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 50.00% of the front yard must be landscaping.
The proposed front yard landscaping area is 48.67%.
- 9. Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15.00m.
The proposed lot frontage is 12.19m.
- 10. Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550.00m².
The proposed lot area is 410.79m².
- 11. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.52m.
The proposed west side yard setback is 1.22m.
- 12. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.52m.
The proposed east side yard setback is 1.22m.
- 13. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 35.50% of the lot area.
- 14. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.20m.
- 15. Section 6(30), By-law No. 7625**
The maximum finished first floor height is 1.50m.
The proposed finished first floor height is 1.70m.
- 16. Section 6(8), By-law No. 7625**
The minimum required lot width is 15.00m.
The proposed lot width is 12.19m.
- 17. Section 6(9)(b), By-law No. 7625**
Exterior stairways shall be permitted to project into the minimum front yard setback not more than 2.10m.
The front stairs project 2.43m.
- 18. Section 6(9)(f), By-law No. 7625**
A canopy may encroach in a front or rear yard by 2.10m if it is no closer to a side lot line than the minimum required side yard setback.
The proposed front and rear canopies are set back from the west and east side lot line by 0.61m.

19. **Section 6(24)(d), By-law no. 7625**
Unexcavated decks attached to the main building shall not be located closer to the side lot lines than the minimum side yard setback.
The rear unexcavated deck is set back from the east side lot line by 1.22m.
20. **Section 6(9)(j), By-law No. 7625**
Canopies 2.30m² or less shall be permitted to project into one minimum side yard setback not more than 1.60m, but no closer than 0.60m from any side lot line.
The proposed side canopies project into both the east and west minimum side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.10(5), By-law No. 569-2013**
An area of 10.00m² of the first floor must be within 4.00m of the front main wall.
There are 8.21m² of the first floor within 4.00m of the front main wall.
3. **Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted height of a building is 10.00m.
The proposed height of the building is 10.14m.
4. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls is **8.18m**.
5. **Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted height of the first floor above established grade is 1.20m.
The proposed height of the first floor above established grade is 1.40m.
6. **Chapter 10.5.40.60.(2), By-law No. 569-2013**
A canopy not covering a platform may encroach in a front or rear yard by 2.50m if it is no closer to a side lot line than the minimum required side yard setback.
The proposed front and rear canopy is set back from the west and east side lot line by 0.61m.
7. **Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.30m from a building may encroach into the required rear yard setback by 2.50m if it is not closer to a side lot line than 0.30m.
The proposed platform encroaches 2.66m into the required rear yard setback.
8. **Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 50.00% of the front yard must be landscaping.
The proposed front yard landscaping area is 48.67%.
9. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15.00m.
The proposed lot frontage is 12.19m.
10. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550.00m².
The proposed lot area is 410.79m².

11. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.52m.
The proposed west side yard setback is 1.22m.
12. **Section 13.2.3(b), By-law No. 7625**
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The proposed east side yard setback is 1.22m.
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The maximum permitted building height is 8.80m.
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15. **Section 6(30), By-law No. 7625**
The maximum finished first floor height is 1.50m.
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16. **Section 6(8), By-law No. 7625**
The minimum required lot width is 15.00m.
The proposed lot width is 12.19m.
17. **Section 6(9)(b), By-law No. 7625**
Exterior stairways shall be permitted to project into the minimum front yard setback not more than 2.10m.
The front stairs project 2.43m.
18. **Section 6(9)(f), By-law No. 7625**
A canopy may encroach in a front or rear yard by 2.10m if it is no closer to a side lot line than the minimum required side yard setback.
The proposed front and rear canopies are set back from the west and east side lot line by 0.61m.
19. **Section 6(24)(d), By-law no. 7625**
Unexcavated decks attached to the main building shall not be located closer to the side lot lines than the minimum side yard setback.
The rear unexcavated deck is set back from the east side lot line by 1.22m.
20. **Section 6(9)(j), By-law No. 7625**
Canopies 2.30m² or less shall be permitted to project into one minimum side yard setback not more than 1.60m, but no closer than 0.60m from any side lot line.
The proposed side canopies project into both the east and west minimum side yard setback.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

2. **Chapter 10.20.30.40.(1), By-law 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **33.50%** of the lot area.
13. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **33.50%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.

- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0468/17NY	Zoning	RD (x1463)/ R4(94) [ZZC]
Owner:	SAM HARIRI	Ward:	Eglinton-Lawrence (16)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	476 DELORAINE AVE	Community:	North York
Legal Description:	PLAN 2370 E PT LOT 40 W PT LOT 41		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0469/17NY	Zoning	RD/ R4 [ZZC]
Owner(s):	MANSOUR ZEINALI	Ward:	Willowdale (23)
Agent:	HAMID BEHESHT	Heritage:	Not Applicable
Property Address:	162 HOUNSLOW AVE	Community:	North York
Legal Description:	PLAN 2057 LOT 46 LOW		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.90% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of the side exterior main walls is 7.50m.
The proposed height of the side exterior main walls is 8.40m.
- 3. Chapter 10.20.40.20(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 17.88m.
- 4. Section 13.2.5A, BY-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.88m.
- 5. Chapter 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.20m.
- 6. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.50m.
The proposed finished first floor height is 1.80m.

7. Section 6(9)(b), By-law No. 7625

Exterior stairs may project 2.10m into the front yard.

The proposed front exterior stair projection is 2.74m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

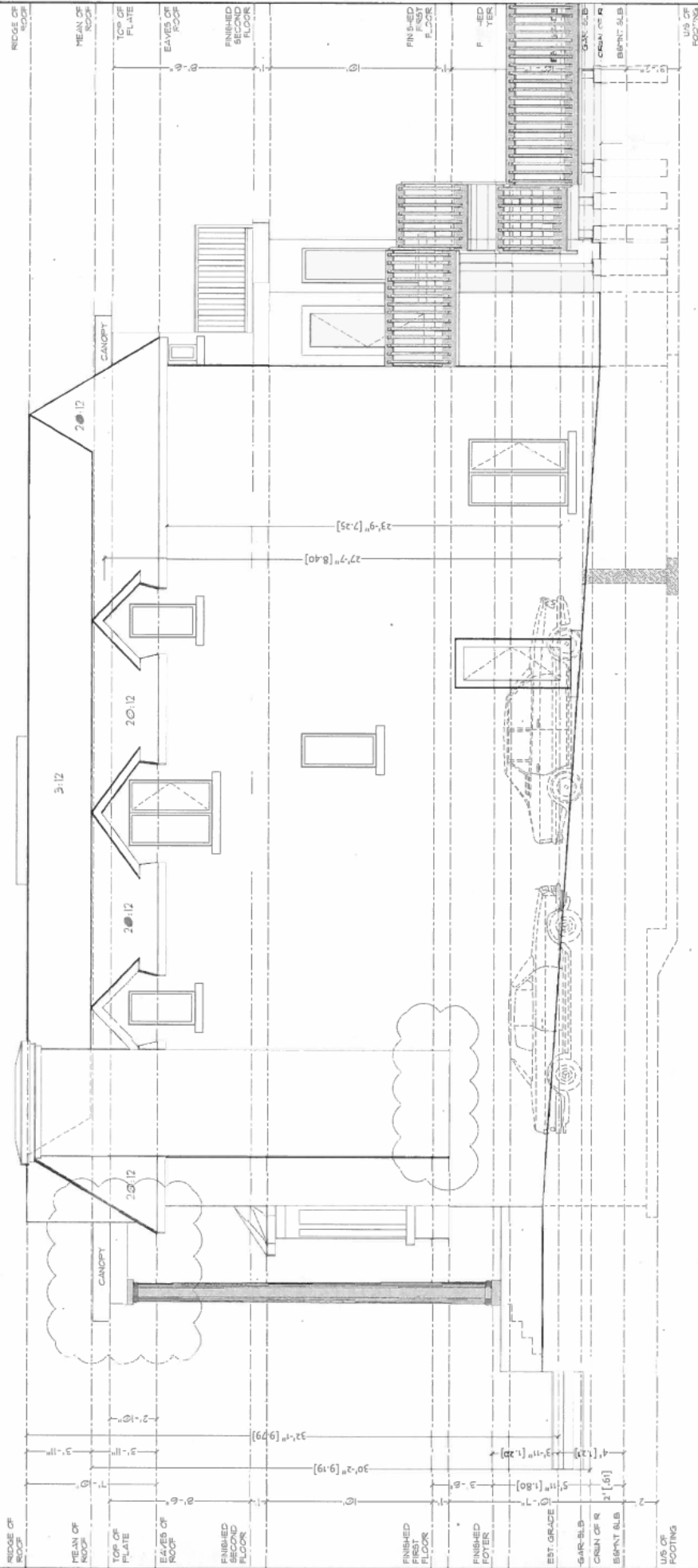
This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the site plan and the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 10, 2017 in order to allow the second storey windows be a maximum height of 8.40m. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

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JUL 10 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE



EAST ELEVATION

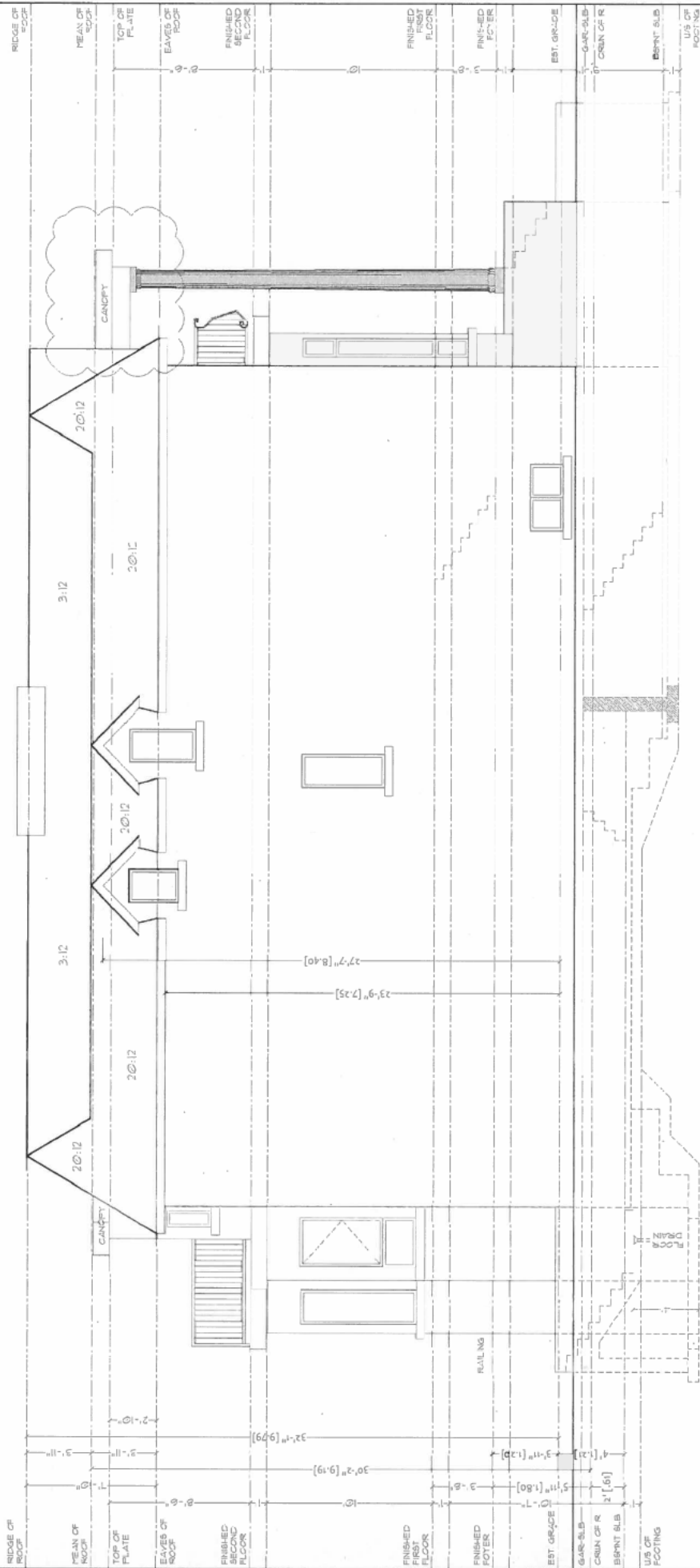
CLIENT: MR MANSOUR ZEINAL
 DATE: APR 13 2017
 DESIGNER: HOY-EL-AND
 PHONE: 416-413-6630
 PROJECT: 165 HOUNGLOW AVE
 SCALE: 3/16"=1'-0"
 DRAWING NO: 09
 RIGHT ELEVATION

THESE DRAWINGS ARE THE PROPERTY OF "HONELAND" AND ANY REPRODUCTION OR USE FOR OTHER PROJECTS, IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS FORBIDDEN.

RECEIVED

JUL 10 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE



WEST ELEVATION

NO	MR MANGOUR JENAL	DATE	14 APR 2017	DESIGN	HOPELAND	PHONE	463-9-6030	PROJECT	161 HOUNGLOU AVE	SCALE	3/16" = 1'-0"	TITLE	LEFT ELEVATION	07
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THESE DRAWINGS ARE THE PROPERTY OF HOPELAND AND ANY REPRODUCTION OR USE FOR OTHER PROJECTS IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS FORBIDDEN.

SIGNATURE PAGE

File Number: A0469/17NY
Owner: MANSOUR ZEINALI
Agent: HAMID BEHESHT
Property Address: **162 HOUNSLOW AVE**
Legal Description: PLAN 2057 LOT 46 LOW

Zoning: RD/ R4 [ZZC]
Ward: Willowdale (23)
Heritage: Not Applicable
Community: North York

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, July 20, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0474/17NY	Zoning	R4 [BLD]
Owner(s):	SHIRLEY JEAN PAQUETTE	Ward:	Don Valley East (33)
Agent:	SHIRLEY JEAN PAQUETTE	Heritage:	Not Applicable
Property Address:	15 SKYVIEW CRES	Community:	North York
Legal Description:	PLAN 7141 LOT 508		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new covered porch to the east portion of the existing dwelling, in conjunction with a new canopy to front of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6(9), By-law No. 7625

The maximum permitted projection of a canopy is 1.80m from the rear wall.
The proposed rear canopy projects 7.62m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0474/17NY	Zoning	R4 [BLD]
Owner:	SHIRLEY JEAN PAQUETTE	Ward:	Don Valley East (33)
Agent:	SHIRLEY JEAN PAQUETTE	Heritage:	Not Applicable
Property Address:	15 SKYVIEW CRES	Community:	North York
Legal Description:	PLAN 7141 LOT 508		

Nazila Atarodi (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0475/17NY	Zoning	RD (f15.0; a550) (x5)/R5[ZONING]
Owner(s):	SANDEEP GILL	Ward:	Don Valley West (25)
Agent:	JAMIE MCKINDSEY	Heritage:	Not Applicable
Property Address:	88 DUNCAIRN RD	Community:	North York
Legal Description:	PLAN 4332 LOT 412		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front, rear and north side additions, including a second floor addition above the existing one-storey dwelling. The existing deck and carport would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 25% of the lot area.
The proposed lot coverage is 31.2% of the lot area.
- 2. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 12.25m.
The proposed front yard setback is 10.93m.
- 3. Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m
The proposed north side yard setback is 1.24m
- 4. Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m
The proposed south side yard setback is 1.56m.
- 5. Section 14.2.3(b), By-law No. 7625**
The required minimum side yard setbacks are 1.8m
The proposed north side yard setback is 1.24m

6. **Section 14.2.3(b), By-law No. 7625**
The required minimum side yard setbacks are 1.8m
The proposed south side yard setback is 1.56m.
7. **Section 14.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 7m.
8. **Section 14.2.4, By-law No. 7625**
The permitted maximum lot coverage is 25% of the lot area.
The proposed lot coverage is 31.2% of the lot area.
9. **Section 14.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.09m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 12.25m.
The proposed front yard setback is 10.93m.
4. **Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m
The proposed south side yard setback is 1.56m.
6. **Section 14.2.3(b), By-law No. 7625**
The required minimum side yard setbacks are 1.8m
The proposed south side yard setback is 1.56m.
7. **Section 14.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 7m.
9. **Section 14.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.09m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 25% of the lot area.
The proposed lot coverage is **28.00%** of the lot area.
3. **Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setbacks are 1.8m
The proposed north side yard setback is **1.50m**

5. Section 14.2.3(b), By-law No. 7625

The required minimum side yard setbacks are 1.8m

The proposed north side yard setback is **1.50m**

8. Section 14.2.4, By-law No. 7625

The permitted maximum lot coverage is 25% of the lot area.

The proposed lot coverage is **28.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0475/17NY	Zoning	RD (f15.0; a550) (x5)/R5[ZONING]
Owner:	SANDEEP GILL	Ward:	Don Valley West (25)
Agent:	JAMIE MCKINDSEY	Heritage:	Not Applicable
Property Address:	88 DUNCAIRN RD	Community:	North York
Legal Description:	PLAN 4332 LOT 412		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0476/17NY	Zoning	RD / R4 (ZR)
Owner(s):	FENGYUN WANG	Ward:	Don Valley East (34)
Agent:	BATTAGLIA ARCHITECT INC	Heritage:	Not Applicable
Property Address:	193 BROOKBANKS DR	Community:	North York
Legal Description:	PLAN 5439 LOT 198		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10, By-law No. 569-2013**
The maximum building height is 10 m.
The proposed building height is **10.44m**.
- 2. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 27% of the lot area.
The proposed lot coverage is **29.96%** of the lot area.
- 3. Section 13.2.6 By-law No. 7625**
The maximum permitted building height is 8,8 m.
The proposed building height is **9.04m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0476/17NY	Zoning	RD / R4 (ZR)
Owner:	FENGYUN WANG	Ward:	Don Valley East (34)
Agent:	BATTAGLIA ARCHITECT INC	Heritage:	Not Applicable
Property Address:	193 BROOKBANKS DR	Community:	North York
Legal Description:	PLAN 5439 LOT 198		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0477/17NY	Zoning	RD (x5)/ R4 [ZZC]
Owner(s):	KHATEREH MOLAEI	Ward:	Willowdale (23)
Agent:	HAMID BEHESHT	Heritage:	Not Applicable
Property Address:	268 BETTY ANN DR	Community:	North York
Legal Description:	PLAN 4589 LOT 28		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.6.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m **for the front 7.30m garage portion only.**
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.55m.
- 3. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 9.60m.
The proposed front yard setback is 8.50m.
- 4. Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 60.00% of the area of the front yard must be landscaping.
The proposed front yard landscaping area is 54.63%.
- 5. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 6. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.20m **for the front 7.30m garage portion only.**

7. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.18m.

8. Section 6(30)a, By-law No. 7625

The maximum finished first floor height is 1.50m.

The proposed finished first floor height is 1.76m.

9. Section 6(9)(a), By-law No. 7625

Exterior stairways shall be permitted to project into the minimum front yard setback not more than 2.10m.

The proposed front stairs project 2.75m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

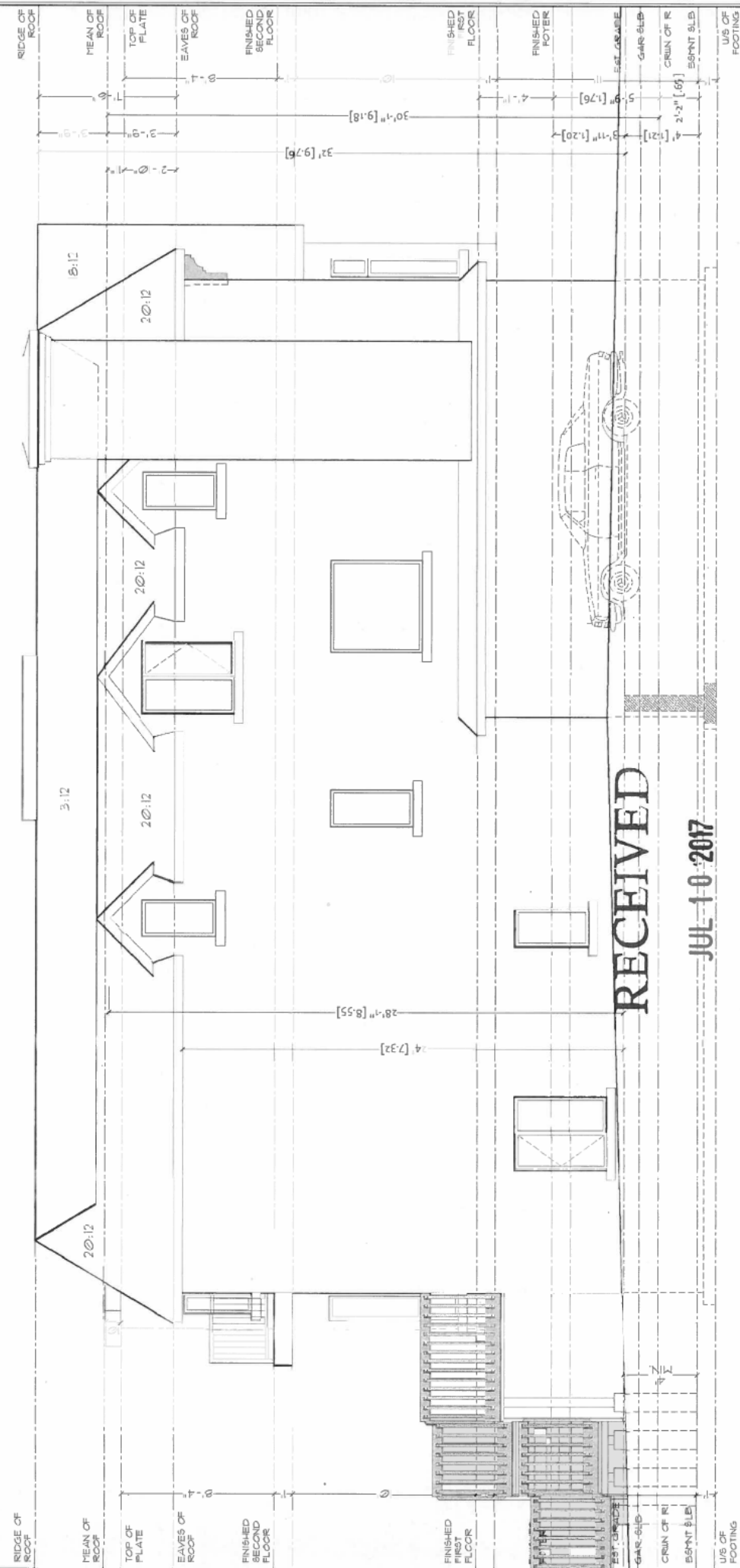
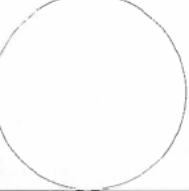
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 10, 2017, in order to allow the second storey windows be a maximum height of 8.55m.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) The proposed driveway be constructed of permeable pavers.



07

WEST ELEVATION

LEFT ELEVATION

3/16" = 1' 0"

268 BETTY ANN DR

416-319-6020

HOMELAND

APR 2011

HAMID H.

RECEIVED

JUL 10 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

THESE DRAWINGS ARE THE PROPERTY OF "HOMELAND" AND ANY REPRODUCTION OR USE FOR OTHER PROJECTS, IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS FORBIDDEN.

SIGNATURE PAGE

File Number:	A0477/17NY	Zoning	RD (x5)/ R4 [ZZC]
Owner:	KHATEREH MOLAEI	Ward:	Willowdale (23)
Agent:	HAMID BEHESHT	Heritage:	Not Applicable
Property Address:	268 BETTY ANN DR	Community:	North York
Legal Description:	PLAN 4589 LOT 28		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, July 20, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0478/17NY	Zoning	RD/R4 [WAV]
Owner(s):	VIOLETTE ABEDALMALAK GAMAL ABEDALMALAK	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	43 TOTTENHAM RD	Community:	North York
Legal Description:	PLAN 4761 LOT 961		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 27.9% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The requirements of the Parks and Recreation, Urban Forestry Division;**

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0478/17NY	Zoning	RD/R4 [WAV]
Owner:	VIOLETTE ABEDALMALAK GAMAL ABEDALMALAK	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	43 TOTTENHAM RD	Community:	North York
Legal Description:	PLAN 4761 LOT 961		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 20, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0481/17NY	Zoning	RM / RM2 (ZR)
Owner(s):	LILY LIN CHENG ALAN CHEUK LUN LEE	Ward:	Willowdale (23)
Agent:	QBS ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	23 LOGANDALE RD	Community:	North York
Legal Description:	PLAN 5619 S PT LOT 13		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey rear addition, new one storey side addition and front canopy to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.80.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 10.30 m.
The proposed front yard setback is 8.60 m.
- Chapter 10.80.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 31.72% of the lot area.
- Chapter 10.5.100.1.(1), By-law No. 569-2013**
The maximum permitted driveway width is 3.2 m.
The proposed driveway width is 4.34 m.
- Chapter 10.5.80.10.(3), By-law No. 569-2013**
A parking space may not be located in a front yard or a side yard abutting a street.
The proposed parking spots are located in a front yard.
- Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5 m if it is no closer to a side lot line than the required side yard setback.
The proposed platform encroaches 3 m into the required front yard setback.

6. **Chapter 10.5.40.60.(6), By-law No. 569-2013**
A bay window, or other window projection from a main wall of a building, which increases floor area or enclosed space and does not touch the ground, may encroach into a required front yard setback or rear yard setback a maximum of 0.75 m, if the window projections in total do not occupy more than 65% of the width of the front main wall or rear main wall at each storey.
The proposed window encroaches 1.53 m into the required front yard setback.
7. **Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may encroach into a required minimum building setback a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The proposed eaves encroach 2.01 m into the minimum required front yard setback.
8. **Chapter 150.10.40.1.(1), By-law No. 569-2013**
A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of a secondary suite.
The entire building will not be constructed more than 5 years prior to the introduction of the secondary suite.
9. **Chapter 200.5.1.10.(2), By-law No. 569-2013**
The minimum required parking space must have a minimum width of 3.2 m.
The proposed parking space will have a width of 2.9 m.
10. **Section 17(30(c)(ii))/17(4)(c)(ii), By-law No. 7625**
The minimum required north side yard setback is 0.6 m.
The proposed north side yard setback is 0 m.
11. **Section 6(2)(1), By-law No. 7625**
One second suite shall be permitted in any semi detached dwelling unit the whole of which, prior to the introduction to the second suite is more than five years old.
The proposed second suite is not permitted as the whole dwelling will not be more than 5 years old.
12. **Section 6A(3), By-law No. 7625**
The minimum required parking space size is 3.2 m x 5.6 m.
The proposed parking space size is 2.9 m x 5.6 m.
13. **Section 6(9)(f), By-law No. 7625**
Porches and canopies shall be permitted to project into the minimum front yard setback no more than 2.1 m but no closer to a side lot line than the minimum side yard for the main building of 0.6 m.
The proposed porch is 0 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.80.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 10.30 m.
The proposed front yard setback is 8.60 m.

3. **Chapter 10.5.100.1.(1), By-law No. 569-2013**
The maximum permitted driveway width is 3.2 m.
The proposed driveway width is 4.34 m.
4. **Chapter 10.5.80.10.(3), By-law No. 569-2013**
A parking space may not be located in a front yard or a side yard abutting a street.
The proposed parking spots are located in a front yard.
5. **Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building , with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5 m if it is no closer to a side lot line than the required side yard setback.
The proposed platform encroaches 3 m into the required front yard setback.
6. **Chapter 10.5.40.60.(6), By-law No. 569-2013**
A bay window, or other window projection from a main wall of a building, which increases floor area or enclosed space and does not touch the ground, may encroach into a required front yard setback or rear yard setback a maximum of 0.75 m, if the window projections in total do not occupy more than 65% of the width of the front main wall or rear main wall at each storey.
The proposed window encroaches 1.53 m into the required front yard setback.
7. **Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may encroach into a required minimum building setback a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The proposed eaves encroach 2.01 m into the minimum required front yard setback.
8. **Chapter 150.10.40.1.(1), By-law No. 569-2013**
A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of a secondary suite.
The entire building will not be constructed more than 5 years prior to the introduction of the secondary suite.
9. **Chapter 200.5.1.10.(2), By-law No. 569-2013**
The minimum required parking space must have a minimum width of 3.2 m.
The proposed parking space will have a width of 2.9 m.
10. **Section 17(30(c)(ii))/17(4)(c)(ii), By-law No. 7625**
The minimum required north side yard setback is 0.6 m.
The proposed north side yard setback is 0 m.
11. **Section 6(2)(1), By-law No. 7625**
One second suite shall be permitted in any semi detached dwelling unit the whole of which, prior to the introduction to the second suite is more than five years old.
The proposed second suite is not permitted as the whole dwelling will not be more than 5 years old.
12. **Section 6A(3), By-law No. 7625**
The minimum required parking space size is 3.2 m x 5.6 m.
The proposed parking space size is 2.9 m x 5.6 m.

13. Section 6(9)(f), By-law No. 7625

Porches and canopies shall be permitted to project into the minimum front yard setback no more than 2.1 m but no closer to a side lot line than the minimum side yard for the main building of 0.6 m.
The proposed porch is 0 m from the north side lot line.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. Chapter 10.80.30.40.(1), By-law No. 569-2013

The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 31.72% of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0481/17NY	Zoning	RM / RM2 (ZR)
Owner:	LILY LIN CHENG ALAN CHEUK LUN LEE	Ward:	Willowdale (23)
Agent:	QBS ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	23 LOGANDALE RD	Community:	North York
Legal Description:	PLAN 5619 S PT LOT 13		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD

- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0483/17NY	Zoning	RD (x70) [ZZC]
Owner(s):	NAHIDEH NOSOHIAN MOHAMMAD HADI DEZYANIAN	Ward:	Don Valley West (25)
Agent:	URBANSCAPE GROUP	Heritage:	Not Applicable
Property Address:	5 DANROSE CRES	Community:	North York
Legal Description:	PLAN 5455 LOT 5		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.80.40.(1), By-law No. 569-2013**
The maximum permitted combined width of all vehicle entrances through the front main wall is 6.00m.
The proposed combined width of all vehicle entrances through the front main wall is 7.32m.
- 2. Chapter 10.20.40.70.(5), By-law No. 569-2013**
The minimum required side yard setback is 7.50m, where the depth of the building is greater than 19.00m.
The proposed north side yard setback is 2.46m.
- 3. Chapter 10.20.40.70.(5), By-law No. 569-2013**
The minimum required side yard setback is 7.50m, where the depth of the building is greater than 19.00m.
The proposed south side yard setback is 2.97m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
- 2) The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment date stamped received by the City of Toronto Planning Division, July 11, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0483/17NY	Zoning	RD (x70) [ZZC]
Owner:	NAHIDEH NOSOHIAN MOHAMMAD HADI DEZYANIAN	Ward:	Don Valley West (25)
Agent:	URBANSCAPE GROUP	Heritage:	Not Applicable
Property Address:	5 DANROSE CRES	Community:	North York
Legal Description:	PLAN 5455 LOT 5		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0484/17NY	Zoning	RD (f12.0; a370; d0.6)/R1B[ZONING]
Owner(s):	JOANNA STEPHANIE BANCROFT THOMAS LISSAMAN	Ward:	Don Valley West (26)
Agent:	SPRAGGE & COMPANY ARCHITECTS	Heritage:	Not Applicable
Property Address:	188 BESSBOROUGH DR	Community:	East York
Legal Description:	PLAN 2121 PT LOT 217 AND PT LOT 216		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear and side addition to the existing two-storey dwelling. The existing frame porch would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space Index is 0.614 times the area of the lot.
- 2. Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may encroach a maximum of 0.9m into a required minimum building setback provided that they are no closer than 0.3m to a lot line.
The proposed roof eaves encroach 0.45m into the required north side yard setback and is 0.15m to the north side lot line.
- 3. Chapter 10.5.80.10.(3), By-law No. 569-2013**
A parking space may not be located in a front yard or a side yard abutting a street.
The proposed parking space is located in a front yard.
- 4. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed south side yard setback is 0.91m.

5. **Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 8.5m.
The proposed building height is 8.8m.
6. **Section 6.3.3, By-law No. 1916**
The maximum permitted Floor Space Index is 0.6 times the lot area.
The proposed Floor Space Index is 0.638 times the lot area.
7. **Section 6.3.3, By-law No. 1916**
The minimum required number of parking spaces is 1 space behind the main front wall.
The proposed number of parking spaces is 1 space in front of the main front wall.
8. **Section 6.3.3, By-law No. 1916**
The maximum permitted building height is 8.5 m.
The proposed building height is 8.8 m.
9. **Section 6.1.1, By-law No. 1916**
Every such addition may retain the side yard setback of the existing dwelling, but in no case shall the side yards be less than 0.45 m.
The proposed north side yard setback is 0.48 m to the proposed stucco on the existing wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0484/17NY	Zoning	RD (f12.0; a370; d0.6)/R1B[ZONING]
Owner:	JOANNA STEPHANIE BANCROFT	Ward:	Don Valley West (26)
Agent:	THOMAS LISSAMAN SPRAGGE & COMPANY ARCHITECTS	Heritage:	Not Applicable
Property Address:	188 BESSBOROUGH DR	Community:	East York
Legal Description:	PLAN 2121 PT LOT 217 AND PT LOT 216		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0486/17NY	Zoning	RD (f15.0; a550)/ R4 [ZZC]
Owner(s):	MAJID KARIMI	Ward:	Willowdale (23)
Agent:	INROADS PLANNING CONSTULTANTS	Heritage:	Not Applicable
Property Address:	65 ELMHURST AVE	Community:	North York
Legal Description:	PLAN M389 LOT 216		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.55m.
- 3. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.60m.
- 4. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.55m.
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.60m.
- 6. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.

7. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.10m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0486/17NY	Zoning	RD (f15.0; a550)/ R4 [ZZC]
Owner:	MAJID KARIMI	Ward:	Willowdale (23)
Agent:	INROADS PLANNING CONSTULTANTS	Heritage:	Not Applicable
Property Address:	65 ELMHURST AVE	Community:	North York
Legal Description:	PLAN M389 LOT 216		

Nazila Atarodi (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0488/17NY	Zoning	RD/R3[ZONING]
Owner(s):	PAUL KIM YOUNG-HWA KIM	Ward:	Willowdale (24)
Agent:	ROCKIM DESIGN INC	Heritage:	Not Applicable
Property Address:	14 DONNA CRT	Community:	North York
Legal Description:	CON 1 EY PT LOT 22 PLAN 6044 LOT 3 RP 64R16012 PART 4		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10 (5), By-law 569-2013**
A minimum of 10m² of the first floor must be within 4.0m of the main front wall.
The proposed is 5.75m² of the first floor area.
- Chapter 10.20.40.70.(4), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.
- Chapter 10.20.40.70.(4), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.52m.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 20.58m.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0m.
The proposed building depth is 20.82m.
- Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.

7. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.52m.
8. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 21.8m.
9. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.65m.
10. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 2.12m.
11. **Section 6(24), By-law No. 7625**
The maximum rear deck projection is 2.1m.
The proposed rear deck projection is 3.05m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.10 (5), By-law 569-2013**
A minimum of 10m² of the first floor must be within 4.0m of the main front wall.
The proposed is 5.75m² of the first floor area.
4. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 20.58m.
5. **Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0m.
The proposed building depth is 20.82m.
8. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 21.8m.
9. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.65m.
10. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 2.12m.

11. Section 6(24), By-law No. 7625

The maximum rear deck projection is 2.1m.

The proposed rear deck projection is 3.05m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. Chapter 10.20.40.70.(4), By-law No. 569-2013

The minimum required side yard setback is 1.8m.

The proposed east side yard setback is 1.52m.

3. Chapter 10.20.40.70.(4), By-law No. 569-2013

The minimum required side yard setback is 1.8m.

The proposed west side yard setback is 1.52m.

6. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.8m.

The proposed east side yard setback is 1.52m.

7. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.8m.

The proposed west side yard setback is 1.52m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0488/17NY	Zoning	RD/R3[ZONING]
Owner:	PAUL KIM YOUNG-HWA KIM	Ward:	Willowdale (24)
Agent:	ROCKIM DESIGN INC	Heritage:	Not Applicable
Property Address:	14 DONNA CRT	Community:	North York
Legal Description:	CON 1 EY PT LOT 22 PLAN 6044 LOT 3 RP 64R16012 PART 4		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0493/17NY	Zoning:	RD / R1B (ZR)
Owner(s):	BRIDIS OPORTO PACHECO DOMINIC DUFFY	Ward:	Don Valley West (26)
Agent:	TRADEMARKED BY DESIGN INC	Heritage:	Not Applicable
Property Address:	45 DONEGALL DR	Community:	East York
Legal Description:	PLAN 2121 LOT 110		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To construct a new two storey dwelling. The existing dwelling and detached garage will be demolished.

1. Chapter 10.5.40.50.(2), By-law No. 569-2013

A platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3 m of a building, must comply with the required minimum building setbacks for the zone: 1.2 m side yard setback.

The proposed north side yard setback for the porch is 0.60 m.

2. Chapter 10.5.50.10.(1), By-law No. 569-2013

A minimum of 75% of the required front yard landscaping must be soft landscaping.

The proposed front yard soft landscaping area is 72.4%.

3. Chapter 10.5.80.10.(3), By-law No. 569-2013

A parking space may not be located in a front yard or a side yard abutting a street.

The proposed parking spot is located in a front yard.

4. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.2 m where the required minimum lot frontage is 12.0 m to less than 15.0 m.

The proposed north side yard setback is 0.60 m.

5. Chapter 10.5.40.60.(1), By-law No. 569-2013

A Platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first storey of the building above established grade may encroach 2.5 m into the required front yard setback if it is no closer to a side lot line than the required side yard setback.

The proposed platform encroaches 0.57 m into the required front yard setback and is 0.6 m closer to the side lot line than the required side yard setback.

6. Chapter 10.5.40.60.(7), By-law No. 569-2013

Roof eaves may encroach into a required minimum building setback a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.

The proposed roof eaves will encroach 1.01 m into the required north side yard and are 0.19 m to the north side lot line.

7. Section 6.3.3, By-law No. 1916

The minimum required number of parking spaces is 1 space behind the main front wall.

The proposed number of parking spaces is 1 space in front of the main front wall.

8. Section 6.3.3, By-law No. 1916

The minimum required north side yard setback is 0.9 m.

The proposed north side yard setback is 0.60 m.

9. Section 5.7, By-law No. 1916

Eaves may encroach into any required front, side or rear yard, to a maximum of 0.61 m.

The proposed eave encroach 0.71 m into the required north side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed driveway be constructed with a central landscaped strip and permeable pavers.

SIGNATURE PAGE

File Number:	A0493/17NY	Zoning	RD / R1B (ZR)
Owner:	BRIDIS OPORTO PACHECO DOMINIC DUFFY	Ward:	Don Valley West (26)
Agent:	TRADEMARKED BY DESIGN INC	Heritage:	Not Applicable
Property Address:	45 DONEGALL DR	Community:	East York
Legal Description:	PLAN 2121 LOT 110		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0494/17NY	Zoning	RD(f15.0; a550)(x5)/ r4 [ZZC]
Owner(s):	NATASHA MODENA	Ward:	Willowdale (24)
Agent:	IDA EVANGELISTA	Heritage:	Not Applicable
Property Address:	28 URBANDALE AVE	Community:	North York
Legal Description:	PLAN 5424 LOT 1		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor must be within 4.00m of the front wall.
The proposed first floor is 7.22m² and 7.84 from the front wall.
- Chapter 10.5.40.60.(3)(A)(ii), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building may encroach into a required setback if the stairs are no wider than 2.00m.
The proposed front porch stairs are 2.91m wide.
- Chapter 10.5.50.10.(1)(C), By-law No. 569-2013**
A minimum of 60.00% of the front yard must be landscaping.
The proposed front yard landscaping area is 56.00%.
- Chapter 10.20.30.40.(1)A, By-law no. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.70% of the lot area.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.

6. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.
9. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.80% of the lot area.
10. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.35m**.
11. **Section 7.4A, By-law No. 7625**
The minimum required landscaping is 60.00% of the front yard.
The proposed front yard landscaping area is 56.00%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor must be within 4.00m of the front wall.
The proposed first floor is 7.22m² and 7.84 from the front wall.
2. **Chapter 10.5.40.60.(3)(A)(ii), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building may encroach into a required setback if the stairs are no wider than 2.00m.
The proposed front porch stairs are 2.91m wide.
3. **Chapter 10.5.50.10.(1)(C), By-law No. 569-2013**
A minimum of 60.00% of the front yard must be landscaping.
The proposed front yard landscaping area is 56.00%.
4. **Chapter 10.20.30.40.(1)A), By-law no. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.70% of the lot area.
9. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.80% of the lot area.

10. Section 13.2.6, By-law No. 7625
The maximum permitted building height is 8.80m.
The proposed building height is **9.35m**.

11. Section 7.4A, By-law No. 7625
The minimum required landscaping is 60.00% of the front yard.
The proposed front yard landscaping area is 56.00%.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

5. Chapter 10.20.40.70.(3), By-law No. 569-2013
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.

6. Chapter 10.20.40.70.(3), By-law No. 569-2013
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.

7. Section 13.2.3(b), By-law No. 7625
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.

8. Section 13.2.3(b), By-law No. 7625
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) The proposed driveway be constructed of permeable pavers.

SIGNATURE PAGE

File Number:	A0494/17NY	Zoning	RD(f15.0; a550)(x5)/ r4 [ZZC]
Owner:	NATASHA MODENA	Ward:	Willowdale (24)
Agent:	IDA EVANGELISTA	Heritage:	Not Applicable
Property Address:	28 URBANDALE AVE	Community:	North York
Legal Description:	PLAN 5424 LOT 1		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0495/17NY	Zoning	RD/R7[ZZC]
Owner(s):	IAIN SMITH	Ward:	Eglinton-Lawrence (16)
Agent:	SHOSHI DOMB	Heritage:	Not Applicable
Property Address:	79 FELBRIGG AVE	Community:	North York
Legal Description:	PLAN 2529 PT LOT 87		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new third storey addition over the existing dwelling, a three-storey addition to the east portion of the dwelling in conjunction with two, three-storey additions to the rear of the existing dwelling. The applicant is also proposing other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100% of the width of the wall.

The proposed east side exterior main wall facing a side lot line is 8.70m for 100.00% of the width of the wall.

2. Chapter 10.5.40.60.(7), By-law No. 569-2013

Roof eaves may project a maximum of 0.90m provided that they are no closer than 0.30m to a lot line.

The proposed eaves project 0.25m and are 0.00m from the west lot line.

3. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 17.82m.

4. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100% of the width of the wall.

The proposed west side exterior main wall facing a side lot line is 8.70m for 100.00% of the width of the wall.

5. Chapter 10.10.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 0.90m.

The proposed west side yard setback is 0.25m.

6. Chapter 10.20.40.10.(3), By-law No. 569-2013

The maximum number of storeys permitted is two (2).

The proposed number of storeys is three (3).

7. Section 6(24), By-law No. 7625

Unexcavated porches and decks shall be permitted to encroach in the rear yard setback but no closer to side lot line than the required side yard setback; in this case 1.20m.

The proposed deck is 0.95m from the west lot line.

8. Section 14-B(5)b, By-law No. 7625

The minimum required side yard setback is 1.20m.

The proposed west side yard setback is 0.25m.

9. Section 14-B(8)b, By-law No. 7625

The maximum number of storeys permitted is two (2).

The proposed number of storeys is three (3).

10. Section 14-B(9)b, By-law No. 7625

The maximum permitted building length is 15.30m.

The proposed building length is 17.82m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0495/17NY	Zoning	RD/R7[ZZC]
Owner:	IAIN SMITH	Ward:	Eglinton-Lawrence (16)
Agent:	SHOSHI DOMB	Heritage:	Not Applicable
Property Address:	79 FELBRIGG AVE	Community:	North York
Legal Description:	PLAN 2529 PT LOT 87		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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Thursday, July 20, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0496/17NY	Zoning	RD(f18.0; a690)/R3[ZONING]
Owner(s):	YUEFANG HE	Ward:	Don Valley West (25)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	21 LOWER LINKS RD	Community:	North York
Legal Description:	PLAN M866 LOT 88		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition including the extension of the basement to the existing two-storey dwelling. The applicant is also constructing a rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 20.99m.
- 2. Chapter 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 20.99m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0496/17NY	Zoning	RD(f18.0; a690)/R3[ZONING]
Owner:	YUEFANG HE	Ward:	Don Valley West (25)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	21 LOWER LINKS RD	Community:	North York
Legal Description:	PLAN M866 LOT 88		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, July 20, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0497/17NY	Zoning	RD(x5)/R4 [ZZC]
Owner(s):	KAMBIZ SHIEHFAR	Ward:	Willowdale (23)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	365 HOUNSLOW AVE	Community:	North York
Legal Description:	PLAN 2057 E PT LOT 104		

Notice was given and a Public Hearing was held on Thursday, July 20, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

to construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1)A, By-law no. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.99% of the lot area.
- 2. Chapter 10.20.40.10.(2)B(ii), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.21m.
- 3. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.99% of the lot area.
- 4. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 16.92m.
- 5. Section 13.2.6, By-law No. 7925**
The maximum permitted building height is 8.80m.
The proposed building height is **9.17m**.
- 6. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.50m.
The proposed finished first floor height is **1.69m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the east and west side elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 10, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

GENERAL NOTES:

1. THESE DRAWINGS ARE THE COPYRIGHT PROPERTY OF THE DESIGNER AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION OF THE DESIGNER.
2. THESE DRAWINGS ARE FOR PERMIT APPLICATION PURPOSE. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. ANY DISCREPANCY MUST BE REPORTED TO THE DESIGNER IMMEDIATELY. DO NOT SCALE DRAWINGS.
3. ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST REVISIONS OF THE CANADIAN BUILDING CODES AND ALL APPLICABLE REGULATIONS.
4. ANY MATERIALS, PRODUCTS OR METHODS OF CONSTRUCTION, MATERIAL CHANGE MUST BE REVIEWED AND APPROVED BY CERTIFIED PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION.
5. DESIGNER IS NOT RESPONSIBLE FOR MECHANICAL, ELECTRICAL, PLUMBING, OR OTHER SERVICES. CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS AND ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.

NO.	ISSUED FOR	DATE
1	ZONING	04 10 2017
2	ZONING & COA	05 02 2017
3	COA	07 05 2017

PROJECT ADDRESS:
365 HOUNSLOW AVE
NORTH YORK

PROJECT NO. 1610-02

DRAWING TITLE:
EAST SIDE ELEVATION

NO.	REVISION	DATE
1		MM/DD/YYYY

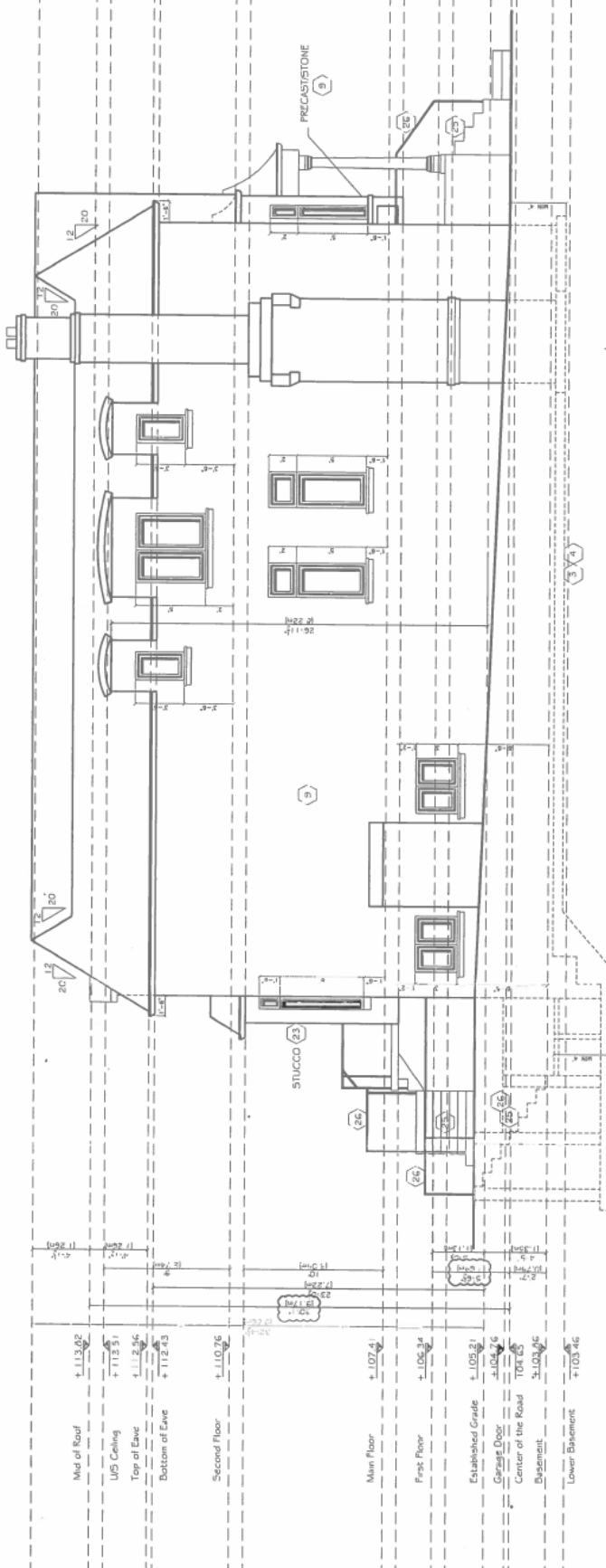


ELMIRA ZARRABI
DESIGN ASSOCIATES
164-7971-0161
ELMIRA@ZDA.CA
ADDRESS: 1000 SHEPPARD AVE. E. UNIT 204,
TORONTO, ON, CANADA,
M2M 3W2

STRUCTURAL ENGINEER:

SCALE:	1/8" = 1'-0"
DRAWN BY:	
DATE:	

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JUL 10 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

GENERAL NOTES:

1. THESE DRAWINGS ARE THE COPYRIGHT PROPERTY OF THE DESIGNER AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION OF THE DESIGNER.
2. THESE DRAWINGS ARE FOR PERMIT APPLICATION PURPOSES. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. ANY DISCREPANCY MUST BE REPORTED TO THE DESIGNER IMMEDIATELY.
3. DO NOT SCALE DRAWINGS.
4. ALL WORK SHALL BE CHECKED OUT IN ACCORDANCE WITH THE LATEST REVISIONS OF THE PERMITTING AGENCIES. ENGINEERING DRAWINGS BEFORE PROCEEDING WITH WORK.
5. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
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NO.	ISSUED FOR	DATE
1	ZONING	04/28/2017
2	ZONING & O.A.	05/07/2017
3	O.A.	07/05/2017

PROJECT ADDRESS:
365 HOUNSLOW AVE
NORTH YORK

PROJECT NO: 1610-02
DRAWING TITLE:
WEST SIDE ELEVATION

NO.	REVISION	DATE
1		MM/DD/YYYY



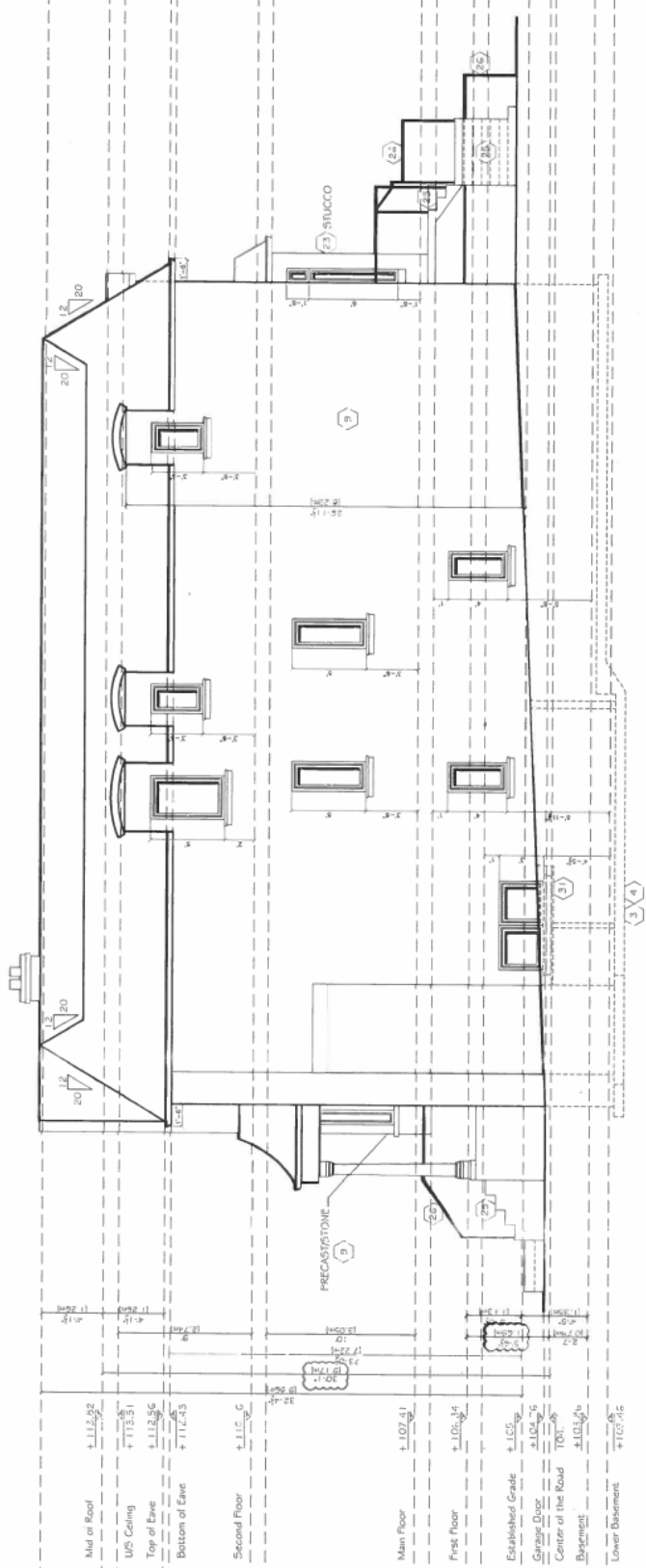
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STRUCTURAL ENGINEER:

SCALE:	1/8" = 1'-0"
DRAWN BY:	
DATE:	

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CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

SIGNATURE PAGE

File Number:	A0497/17NY	Zoning	RD(x5)/R4 [ZZC]
Owner:	KAMBIZ SHIEHFAR	Ward:	Willowdale (23)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	365 HOUNSLOW AVE	Community:	North York
Legal Description:	PLAN 2057 E PT LOT 104		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, July 27, 2017

LAST DATE OF APPEAL: Wednesday, August 9, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.