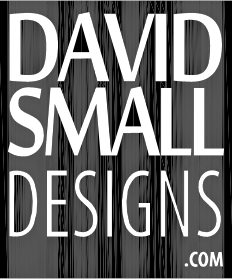


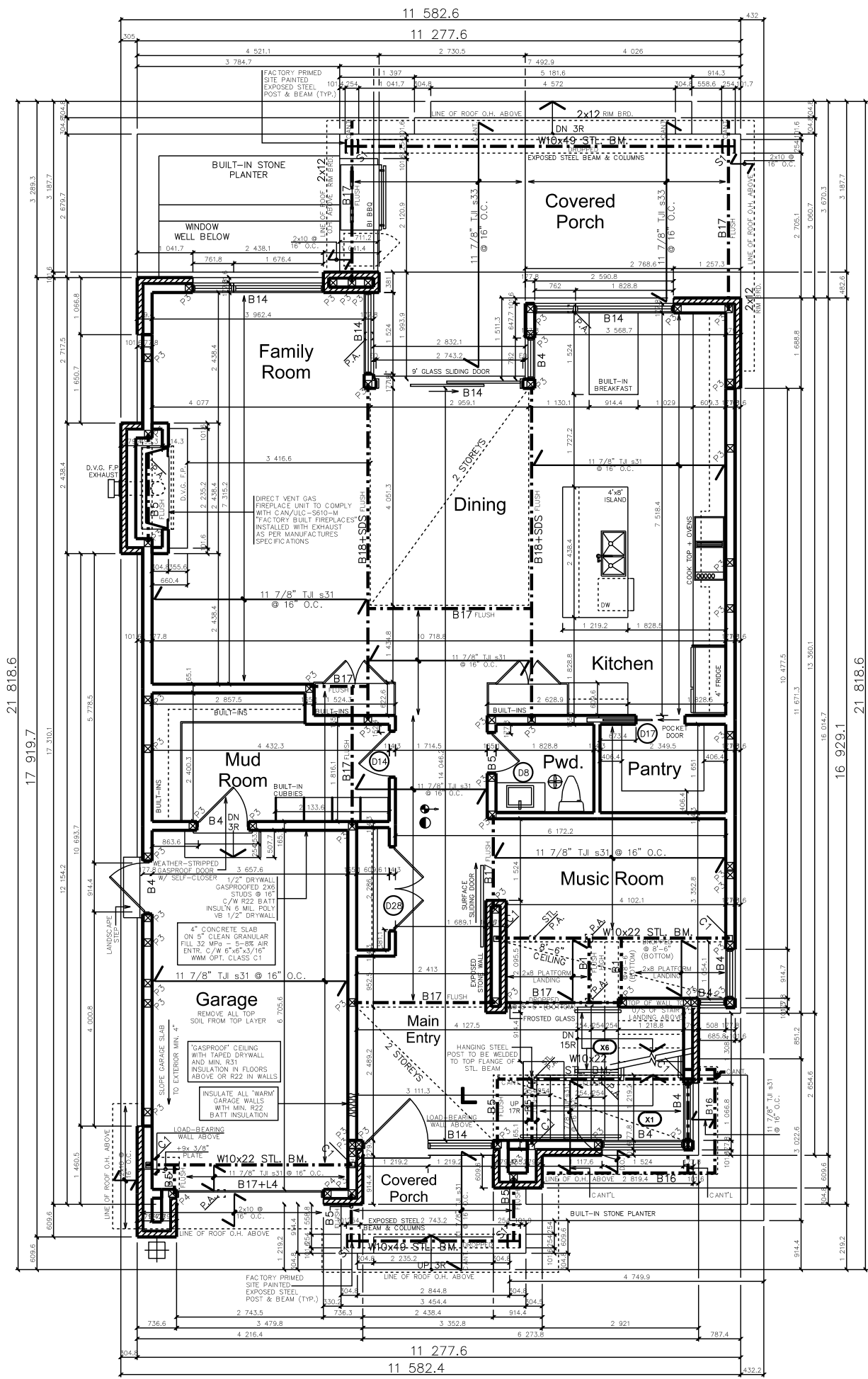
Drawing Legend			
	EXISTING JOIST DIRECTION		ROOF VENT PER OBC 9.19
	CO DETECTOR		DIRECT VENT GAS FIREPLACE EXHAUST
	INTERCONNECTED SMOKE ALARM		COLD ROOM VENT
	FAN		20"x28" ATTIC ACCESS HATCH
	FLOOR DRAIN		

21 Langmuir Crescent
Langmuir Cres, Region of York

Basement Floor Plan

SCALE: 1:100
NOVEMBER 9, 2016





Drawing Legend	
	EXISTING JOIST DIRECTION
	CO DETECTOR
	INTERCONNECTED SMOKE ALARM
	FAN
	FLOOR DRAIN
	ROOF VENT PER OBC 9.19
	DIRECT VENT GAS FIREPLACE EXHAUST
	COLD ROOM VENT
	20'x28' ATTIC ACCESS HATCH

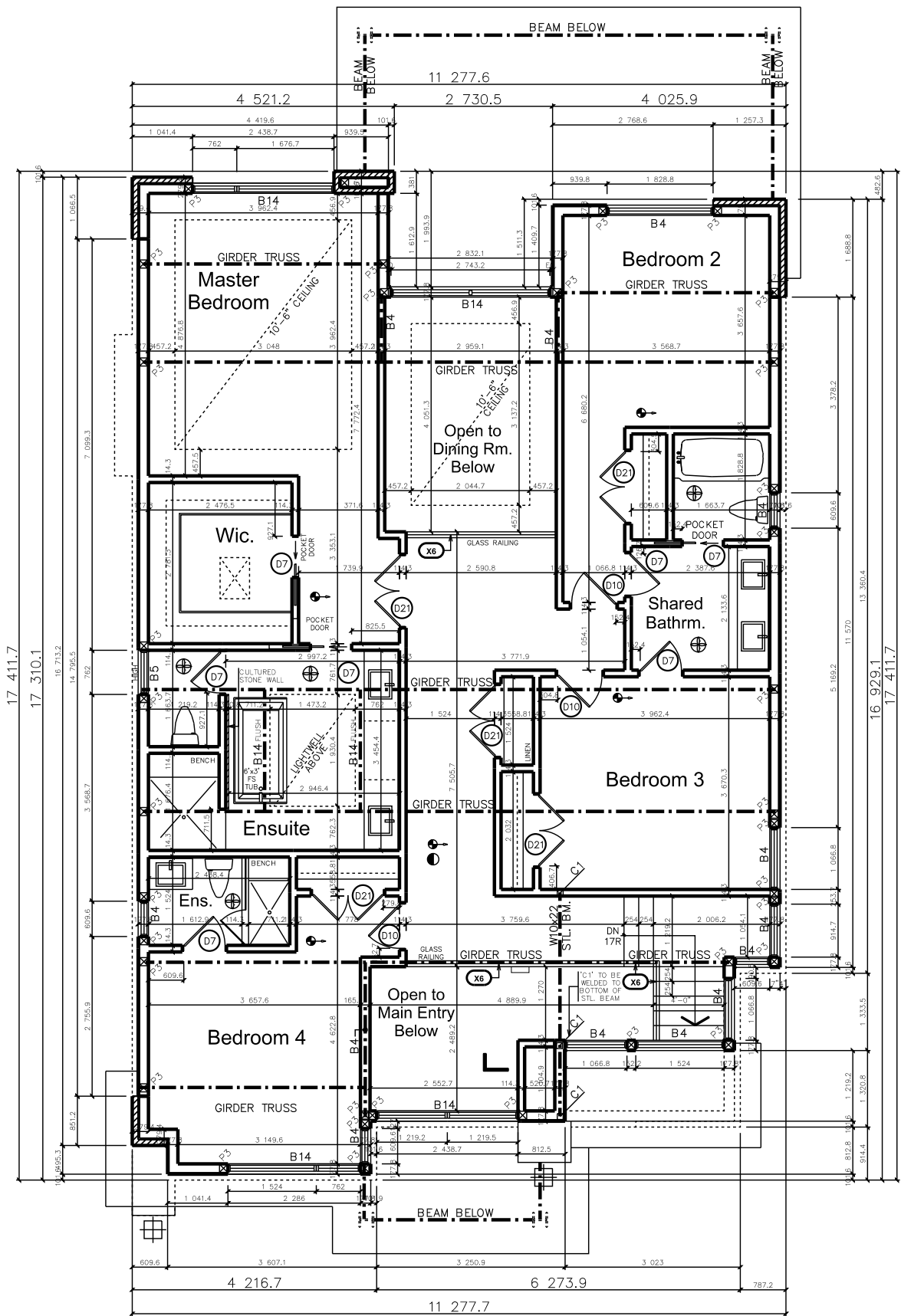
21 Langmuir Crescent

Langmuir Cres, Region of York

Ground Floor Plan

SCALE: 1:100
NOVEMBER 9, 2016

DAVID
SMALL
DESIGNS
.COM

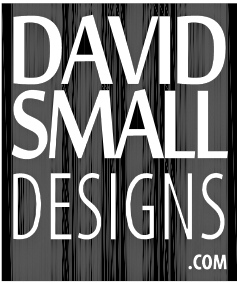


Drawing Legend

21 Langmuir Crescent
Langmuir Cres, Region of York

Second Floor Plan

SCALE: 1:100
NOVEMBER 9, 2016



TYPICAL FLAT ROOF SPEC.

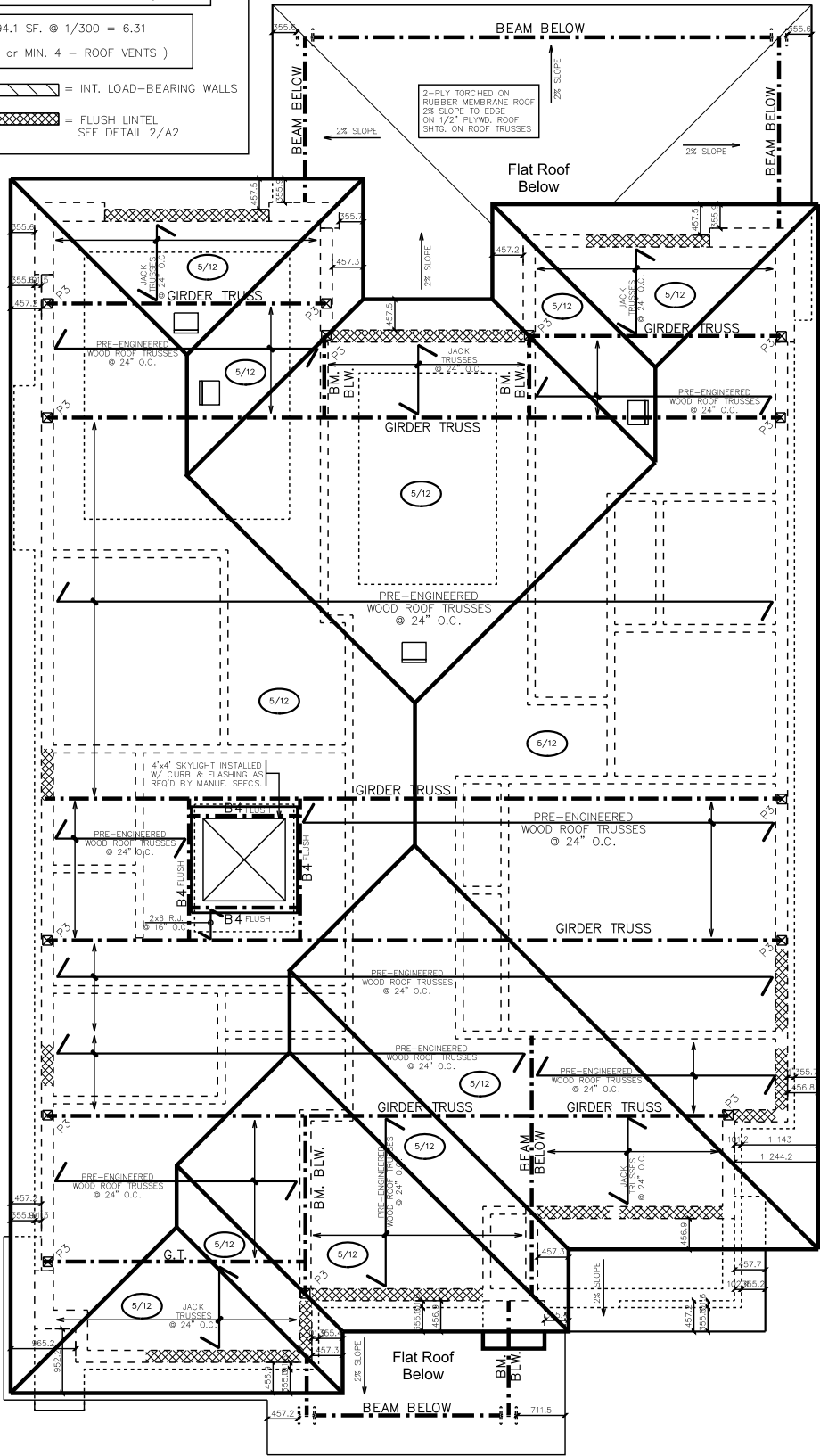
RUBBER MEMBRANE ROOFING TO MEET
OBC 9.26.2.1(g) REQUIREMENTS CCB
37-GP-52M ROOFING & WATERPROOFING
MEMBRANE, SHEET APPLIED, ELASTOMERIC

NOTE: PROVIDE CONTINUOUS ICE AND WATER SHIELD MEMBRANE
OVER SHEATHING ON ALL ROOFS LESS THAN 4/12

ROOF AREA - 1,894.1 SF. @ 1/300 = 6.31
(6.31 / 2 = 3.16 or MIN. 4 - ROOF VENTS)

= INT. LOAD-BEARING WALLS

= FLUSH LINTEL
SEE DETAIL 2/A2



Drawing Legend

EXISTING JOIST
DIRECTION

C.O. DETECTOR

INTERCONNECTED
SMOKE ALARM

FAN

FLOOR DRAIN

ROOF VENT PER
OBC 9.19

DIRECT VENT GAS
FIREPLACE EXHAUST

COLD ROOM VENT

20'x28" ATTIC
ACCESS HATCH

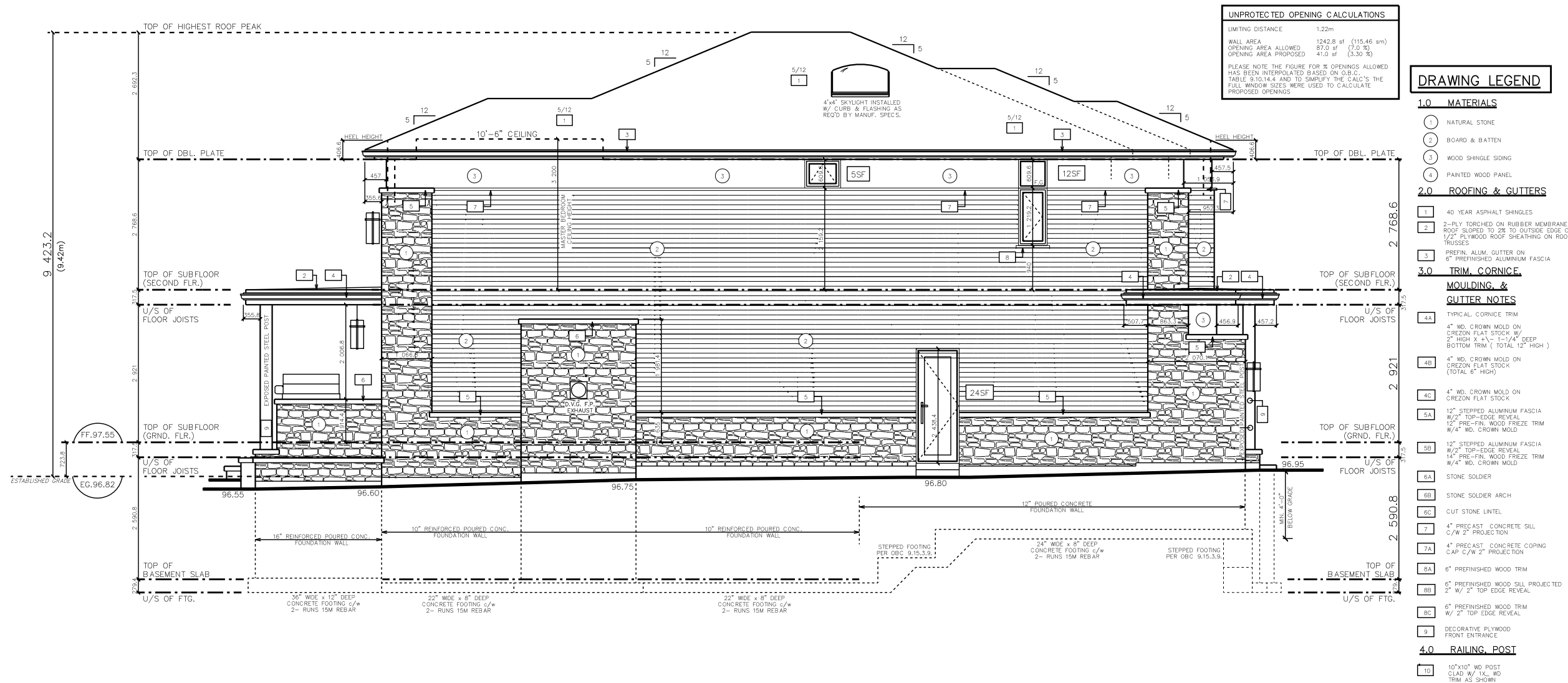
21 Langmuir Crescent

Langmuir Cres, Region of York

Left-Side Elevation

SCALE: 1:100
NOVEMBER 9, 2016

DAVID
SMALL
DESIGNS
.COM



Langmuir Cres, Region of York

SCALE: 1:100
NOVEMBER 9, 2016

**DAVID
SMALL
DESIGNS**
.COM



- 1 NATURAL STONE
- 2 BOARD & BATTEN
- 3 WOOD SHINGLE SIDING
- 4 PAINTED WOOD PANEL

1	40 YEAR ASPHALT SHINGLES
2	2-PLY TORCHED ON RUBBER MEMBRANE ROOF SLOPED TO 2% TO OUTSIDE EDGE ON 1/2" PLYWOOD ROOF SHEATHING ON ROOF TRUSSES

MOULDING, &

GUTTER NOTES

- | | |
|----|--|
| 4A | TYPICAL CORNICE TRIM |
| 4B | 4" WD. CROWN MOLD ON
CREZON FLAT STOK /
2" PRE-FIN. WOOD FREEZE TRIM
1/4" WD. CROWN MOLD
BOTTOM TRIM (TOTAL 1/2" HIGH) |
| 4C | 4" WD. CROWN MOLD ON
CREZON FLAT STOK |
| 5A | 12" STEPPED ALUMINUM FASCIA
W/2" TOP-EDGE REVEAL |
| 5B | 12" PRE-FIN. WOOD FREEZE TRIM
W/4" WD. CROWN MOLD |
| 5C | 12" STEPPED ALUMINUM FASCIA
W/2" TOP-EDGE REVEAL |
| 5D | 12" PRE-FIN. WOOD FREEZE TRIM
W/4" WD. CROWN MOLD |
| 6A | STONE SOLDIER |
| 6B | STONE SOLDIER ARCH |
| 6C | CUT STONE LINTEL |
| 7 | 4" PRECAST CONCRETE SILL
C/W 2" PROJECTION |
| 7A | 4" PRECAST CONCRETE CORING
CAP C/W 2" PROJECTION |
| 8A | 6" PREFINISHED WOOD TRIM |
| 8B | 6" PREFINISHED WOOD SILL PROJECT
W/ 2" TOP EDGE REVEAL |
| 8C | 6" PREFINISHED WOOD TRIM
W/ 2" TOP EDGE REVEAL |
| 9 | DECORATIVE PLYWOOD
FRONT ENTRANCE |

10 10"X10" WD POST
CLAD W/ 1X WD
TRIM AS SHOWN

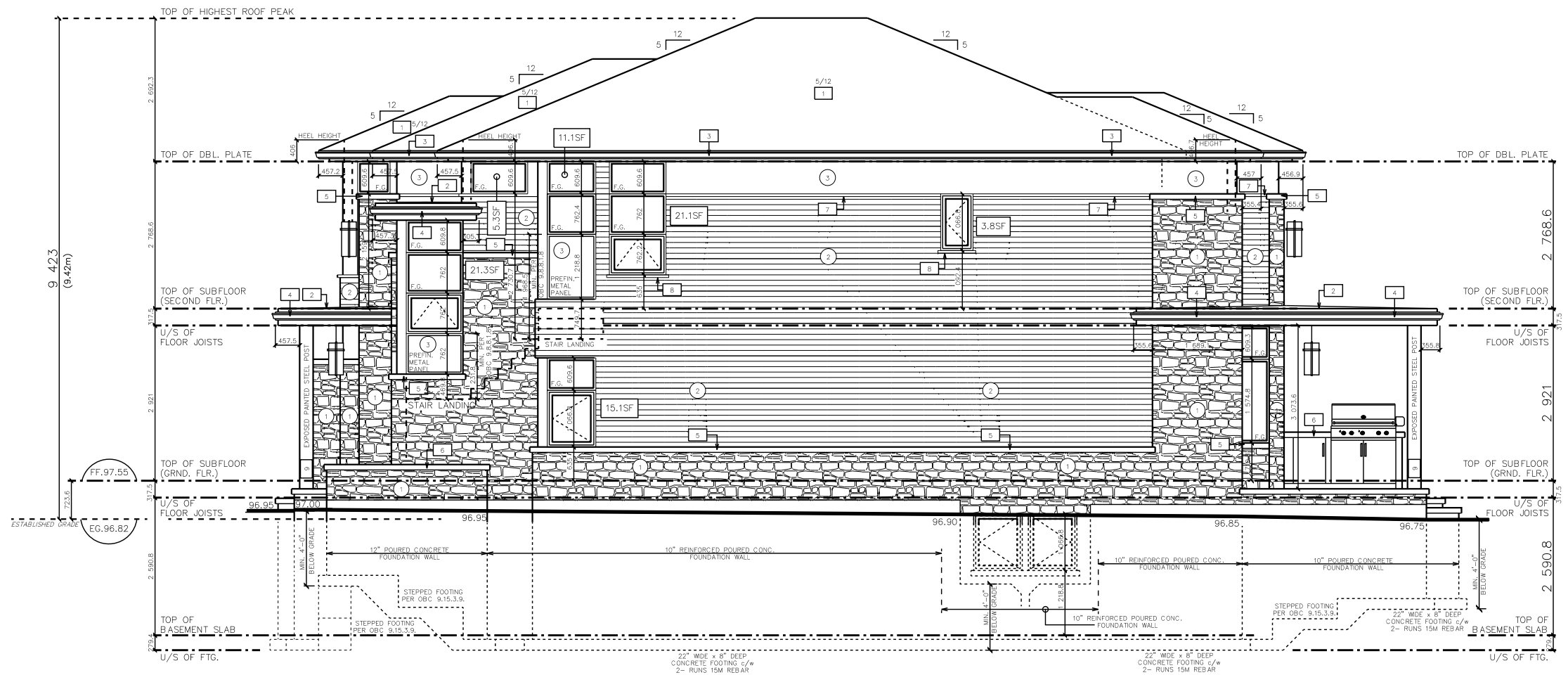
21 Langmuir Crescent

Langmuir Cres, Region of York

Right-Side Elevation

SCALE: 1:100
NOVEMBER 9, 2016

DAVID
SMALL
DESIGNS
.COM



DRAWING LEGEND

1.0 MATERIALS

- 1 NATURAL STONE
- 2 BOARD & BATTEN
- 3 WOOD SHINGLE SIDING
- 4 PAINTED WOOD PANEL

2.0 ROOFING & GUTTERS

- 1 40 YEAR ASPHALT SHINGLES
- 2 2-PLY TORCHED ON RUBBER MEMBRANE ROOF SLOPED TO 2% TO OUTSIDE EDGE ON 1/2" PLYWOOD ROOF SHEATHING ON ROOF TRUSSES
- 3 PREFIN. ALUM. GUTTER ON 6" PREFINISHED ALUMINUM FASCIA

3.0 TRIM, CORNICE

MOULDING & GUTTER NOTES

- 4A TYPICAL CORNICE TRIM
- 4" WD. CROWN MOLD ON CREZON FLAT STOCK W/ 2" HIGH X 1/4" 1-1/4" DEEP BOTTOM TRIM (TOTAL 12" HIGH)
- 4B 4" WD. CROWN MOLD ON CREZON FLAT STOCK (TOTAL 6" HIGH)
- 4C 4" WD. CROWN MOLD ON CREZON FLAT STOCK
- 5A 12" STEPPED ALUMINUM FASCIA W/ 2" TOP-EDGE REVEAL 12" PRE-FIN. WOOD FRIEZE TRIM W/ 4" WD. CROWN MOLD
- 5B 12" STEPPED ALUMINUM FASCIA W/ 2" TOP-EDGE REVEAL 14" PRE-FIN. WOOD FRIEZE TRIM W/ 4" WD. CROWN MOLD
- 6A STONE SOLDIER
- 6B STONE SOLDIER ARCH
- 6C CUT STONE LINTEL
- 7 4" PRECAST CONCRETE SILL C/W 2" PROJECTION
- 7A 4" PRECAST CONCRETE COPING CAP C/W 2" PROJECTION
- 8A 6" PREFINISHED WOOD TRIM
- 8B 6" PREFINISHED WOOD SILL PROJECTED 2" W/ 2" TOP EDGE REVEAL
- 8C 6" PREFINISHED WOOD TRIM W/ 2" TOP EDGE REVEAL
- 9 DECORATIVE PLYWOOD FRONT ENTRANCE

4.0 RAILING, POST

- 10 10"x10" WD POST CLAD W/ 1X1 WD TRIM AS SHOWN

Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0902/16EYK	Zoning	RS & R2
Owner(s):	KAREN BROWN ERNEST HUDAJ	Ward:	Parkdale-High Park (13)
Agent:	DUNHILL CONSTRUCTION CORP	Heritage:	Not Applicable
Property Address:	6 SKYLARK RD	Community:	
Legal Description:	PLAN 4657 S PT LOT 19		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition and a rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.40.40.40.(1)(A), By-law 569-2013 & Section 8.(3).(i), By-law 3623-97**
The maximum permitted floor space index is 0.6 times the lot area.
The altered dwelling will have a floor space index of 0.69 times the lot area.
- Section 10.40.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.5 m.
The altered dwelling will be located 1.25 m from the east side yard.
- Section 10.5.40.60.(1).(C), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building with a floor no higher than the first floor of the building may encroach a maximum of 2.5 m into the required rear yard setback.
The proposed deck will project 2.67 m into the required rear yard setback.
- Section 3.4.7(a)(1), By-law 1-83 & By-law 3623-97**
The maximum permitted projection of a deck into the required front and rear yards setback is 2.4 m.
The proposed deck will project 2.55 m into the required rear yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0902/16EYK	Zoning	RS & R2
Owner:	KAREN BROWN ERNEST HUDAJ	Ward:	Parkdale-High Park (13)
Agent:	DUNHILL CONSTRUCTION CORP	Heritage:	Not Applicable
Property Address:	6 SKYLARK RD	Community:	
Legal Description:	PLAN 4657 S PT LOT 19		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0903/16EYK	Zoning	RM & R2
Owner(s):	PAULA FARIA TIBERIO FARIA	Ward:	York South-Weston (11)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	108 EILEEN AVE	Community:	
Legal Description:	PLAN 1719 LOT 8		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Section 10.5.60.70.(1), By-law 569-2013**
The maximum permitted coverage for all ancillary buildings or structures on a lot is 10% of the lot area (25.52 m²).
The proposed detached garage in the rear yard will cover 18% of the lot area (45.92 m²).
2. **Section 3.4.11.(c), By-law 1-83**
The maximum permitted height is 3.1 m for flat-roofed buildings and 3.7 m for pitched-roof buildings.
The proposed detached garage will have a height of 4 m.
3. **Section 10.5.100.1.(1)(A), By-law 569-2013**
The minimum required driveway width is 2 m.
Section 3.2.1.F.(b).A.(c)(iii), By-law 1-83
The minimum required driveway width is 2.6 m in the rear yard.
Section 10.5.100.1.(1)(A), By-law 569-2013 and Section 3.2.1.F.(b).A.(c)(iii), By-law 1-83
The existing driveway has a width of 1.73 m.
4. **Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping (62 m²).
A total of 30.8% of the rear yard will be maintained as soft landscaping (38 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0903/16EYK	Zoning	RM & R2
Owner:	PAULA FARIA TIBERIO FARIA	Ward:	York South-Weston (11)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	108 EILEEN AVE	Community:	
Legal Description:	PLAN 1719 LOT 8		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0906/16EYK	Zoning	RM & R2
Owner(s):	VOLTA ELIABACHUS ABASSE OMOROU	Ward:	Davenport (17)
Agent:	INACIO CUNHA	Heritage:	Not Applicable
Property Address:	612 HARVIE AVE	Community:	
Legal Description:	PLAN 1530 LOT 390		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 8.3.(a), By-law 1-83**
The minimum required side yard setback is 0.5 m on one side and 1.2 m for the other side.
The altered dwelling will be located 0.19 m from the north side lot line.
- Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping.
A total of 31.5% of the rear yard will be maintained as soft landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0906/16EYK	Zoning	RM & R2
Owner:	VOLTA ELIABACHUS	Ward:	Davenport (17)
	ABASSE OMOROU		
Agent:	INACIO CUNHA	Heritage:	Not Applicable
Property Address:	612 HARVIE AVE	Community:	
Legal Description:	PLAN 1530 LOT 390		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

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Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0907/16EYK	Zoning	R & R2
Owner(s):	HARINDER WALIA	Ward:	Davenport (17)
Agent:	VICTOR ROSA	Heritage:	Not Applicable
Property Address:	104 NAIRN AVE	Community:	
Legal Description:	PLAN 918 BLK J N PT LOT 9		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey rear addition (the existing two-storey rear addition will be demolished), and a partial third storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.10.40.40.(1)(A), By-law 569-2013 and Section 6(3) Part I 1, By-law 438-86**
The maximum permitted floor space index is 0.6 times the area of the lot (135.52 m²).
Section 10.10.40.40.(1)(A), By-law 569-2013
The altered dwelling will have a floor space index of 0.83 times the area of the lot (188.02 m²).
Section 6(3) Part I 1, By-law 438-86
The altered dwelling will have a floor space index of 0.84 times the area of the lot (190.83 m²).
- Section 10.10.40.70.(3)(A)(i), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.41 m from the north side lot line and 0.23 m from the south side lot line.
- Section 6(3) Part II 3.B(II), By-law 438-86**
The minimum required side yard setback is 0.9 m, for the portion of the building not exceeding 17 m in depth, where the side wall contains openings.
The portion of the altered dwelling not exceeding 17 m in depth where the side wall contains openings will be located 0.41 m from the north side lot line and 0.23 m from the south side lot line.
- Section 6(3) Part II 3(II), By-law 438-86**
The minimum required distance between buildings where the side wall contains openings is 1.2 m.
The altered dwelling will be located 0.96 m from the adjacent building to the north (106 Nairn Avenue) and 0.75 m from the adjacent building to the south (102 Nairn Avenue).
- Section 10.10.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The altered dwelling will have a side exterior main wall height of 9.54 m facing a side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0907/16EYK	Zoning	R & R2
Owner:	HARINDER WALIA	Ward:	Davenport (17)
Agent:	VICTOR ROSA	Heritage:	Not Applicable
Property Address:	104 NAIRN AVE	Community:	
Legal Description:	PLAN 918 BLK J N PT LOT 9		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0909/16EYK	Zoning	R2 & R2 Z0.6
Owner(s):	GODFREY NAMURO VET HOBUNG	Ward:	Davenport (17)
Agent:	GODFREY NAMURO	Heritage:	Not Applicable
Property Address:	25 GILBERT AVE	Community:	
Legal Description:	PLAN 886 BLK G PT LOT 40		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Section 10.10.40.40.(1)(A), By-law 569-2013 and Section 6(3) Part I 1, By-law 438-86**
The maximum permitted floor space index is 0.6 times the area of the lot (139.35 m²).
The existing dwelling and the altered detached garage will have a floor space index of 0.83 times the area of the lot (193.69 m²).
2. **Section 10.10.40.70.(3), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The altered detached garage will be located 0 m from the side lot line.
3. **Section 6(3) Part II 3.B.(II), By-law 438-86**
The minimum required side yard setback is 0.9 m for that portion of the building not exceeding 17 m in depth, where the side wall contains openings.
The altered detached garage will be located 0 m from the side lot line.
4. **Section 10.10.40.70.(2), By-law 569-2013 and Section 6(3) Part II 4, By-law 438-86**
The minimum required rear yard setback is 7.5 m.
The altered detached garage will be located 2.13 m from the rear lot line.
5. **Section 6 Part II(7)(i), By-law 438-86**
The minimum required side and rear yard setback for an accessory structure is 3 m.
The altered detached garage will be located 0.25 m and 0.2 m from the north side lot line and 0.91 and 0.95 m from the south side lot line and 2.13 m from the rear lot line.
6. **Section 10.5.60.40.(2), By-law 569-2013 and Section 4(2)(a)(iii)(d), By-law 438-86**
The maximum permitted height for ancillary building or structure is 4 m.
The altered detached garage will have a height of 7 m.
7. **Section 10.5.60.40.(3), By-law 569-2013**
An ancillary building or structure may not have more than one storey.
The altered detached garage will have a total of 2 storeys.

8. Section 10.10.40.1.(2), By-law 569-2013

The maximum permitted number of residential buildings on a lot in an R zone is 1.
The proposed number of residential buildings on the lot is 2.

9. Section 6(3) Part IX 1(B), By-law 438-86

The By-law allows only one building to be erected on a lot that is capable of being conveyed in accordance with the provisions of the Planning Act.
More than one building is proposed to be erected on the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0909/16EYK	Zoning	R2 &R2 Z0.6
Owner:	GODFREY NAMURO VET HOBUNG	Ward:	Davenport (17)
Agent:	GODFREY NAMURO	Heritage:	Not Applicable
Property Address:	25 GILBERT AVE	Community:	
Legal Description:	PLAN 886 BLK G PT LOT 40		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0911/16EYK	Zoning	RD & R1
Owner(s):	ANTONIO MARQUES DANIEL DUPERROUZEL	Ward:	York South-Weston (11)
Agent:	DAVID SMALL	Heritage:	Not Applicable
Property Address:	46 CYNTHIA RD	Community:	
Legal Description:	PLAN 4283 LOT 32		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 7.(3)(i), By-law 1-83**
The maximum permitted floor space index is 0.4 times the area of the lot.
1. Section 10.20.40.40.(1)(A), By-law 569-2013
The proposed dwelling will have a floor space index of 0.68 times the lot area.
Section 7.(3)(i), By-law 1-83
The proposed dwelling will have a floor space index of 0.62 times the lot area.
2. **Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted height of a flat roof is 7.2 m.
The proposed dwelling will have a height of 10.58 m.
3. **Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed second storey rear platform will have an area of 11.2 m.
4. **Section 10.20.40.10.(4)(C), By-law 569-2013**
The maximum permitted number of storeys is 2.
The proposed dwelling will have 3 storeys.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The dwelling shall be constructed substantially in accordance with the plans date stamped January 20, 2017 and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0911/16EYK	Zoning	RD & R1
Owner:	ANTONIO MARQUES DANIEL DUPERROUZEL	Ward:	York South-Weston (11)
Agent:	DAVID SMALL	Heritage:	Not Applicable
Property Address:	46 CYNTHIA RD	Community:	
Legal Description:	PLAN 4283 LOT 32		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

REVISED

3:25 pm, Jan 20, 2017

LOT 10, CONCESSION 3, FROM THE BAY, HUMBER RANGE

SCARLETT WOODS GOLF COURSE

EXPROPRIATION PLAN 6551

LOT 33
SINGLE FAMILY
RESIDENTIAL

LOT 31
SINGLE FAMILY
RESIDENTIAL

LOT 32
REG. PLAN 4283

EXISTING
1-STORY
DWELLING
No. 48

EXISTING
1-STORY
DWELLING
No. 44

PROPOSED
3-STORY
DWELLING
No. 46

PROPOSED
GARAGE

CYNTHIA ROAD
(By Registered Plan 4283)

PLYWOOD OR PLASTIC WEB HOARDING OR EQUIVALENT AS APPROVED BY URBAN FORESTRY

Tree Protection Barriers

- Tree protection barriers must be a plywood or plastic web hoarding or equivalent as approved by Urban Forestry.
- Tree protection barriers for trees situated on the City road allowance where visibility must be maintained can be 1.2m (4ft.) high and consist of orange plastic web snow fencing on a wood frame made of 2"x4"s.
- Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Zone.
- No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.
- Sediment control fencing shall be installed in locations indicated in an Urban Forestry approved Tree Protection Plan. The sediment control fencing must be installed to Ontario Provincial Standards (OPSD-219.110) and to the satisfaction of Urban Forestry.

Urban Forestry Parks, Forestry and Recreation
Sept 2008 Detail TP-1

LEGEND

- 3R MAIN LEVEL ENTRY POINT
- PROPERTY LINE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- RAINWATER DOWNSPOUTS
- AIR CONDITIONER
- AREA DRAIN
- TREE PROTECTION ZONE
- DENOTES CONIFEROUS TREE (WITH TRUNK DIAMETER) TO REMAIN
- DENOTES DECIDUOUS TREE (WITH TRUNK DIAMETER) TO REMAIN
- DENOTES TREE (WITH TRUNK DIAMETER) TO BE REMOVED
- DENOTES REPLACEMENT TREE. AS PER ARBORIST REPORT IS NATIVE SPECIES—(MIN. 60 mm CALIPER DECID., MIN. 1.8m HT. CONIF.)

*TFW (TOP OF FOUNDATION WALL)
FLOOR SILL PLATE ON INSIDE FACE OF FOUNDATION.
—SEE REDUCED THICKNESS FOUNDATION WALL DETAIL & REVERSE VENEER DETAIL FOR FOUNDATION WALL LEDGE CONDITION ON OUTSIDE FACE OF FOUNDATION WALLS.
—EXTENT OF EACH TYPE TO BE DETERMINED BY CONTRACTOR ON SITE DURING CONSTRUCTION.

KEY PLAN nts

BASE INFORMATION
BASE INFORMATION TAKEN FROM PLAN OF SURVEY BY GREATER TORONTO ACRES SURVEYING INC. (OLS) DATED APR 28 2016

LOCATION
LOT 32
REGISTERED PLAN 4283
CITY OF TORONTO FORMERLY CITY OF YORK

CITY BENCHMARK
ELEVATIONS ARE GEODETIC AND ARE REFERRED TO CITY OF TORONTO BENCHMARK NO. 12619690254 ELEVATION 110.186 METRES.

NOTE: FOR REVERSE VENEER SEE DETAIL 1b/D1

RAVINE AND NATURAL FEATURE PROTECTION BY-LAW NOTE:

The **Ravine & Natural Feature Protection Bylaw**, Chapter 658 of the City of Toronto Municipal Code regulates the injury and destruction of trees, dumping of refuse and changes to grade within protected areas defined in Schedule A.

Under this bylaw protected trees may not be removed, injured or destroyed, and protected grades may not be altered, without written authorization from Urban Forestry Ravine & Natural Feature Protection, on behalf of the General Manager of Parks, Forestry & Recreation.

Convictions of offences respecting the regulations in the Ravine & Natural Feature Protection Bylaw are subject to fines, and the landowner may be ordered by the court to restore the area to the satisfaction of the City. A person convicted of an offence under this Bylaw is liable to a minimum fine of \$500 and a maximum fine of \$100,000 for each tree destroyed, a maximum fine of \$100,000 for any other offence committed under this chapter, and/or a Special fine of \$100,000. A person convicted of a continuing offence, including failure to comply with ravine permit conditions is liable to a maximum fine of not more than \$10,000 for each day or part of a day that the offence continues. (version June 2008)

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.5.1. OF THE 2006 ONTARIO BUILDING CODE.

Peter Giordano
NAME SIGNATURE BCIN 25061

REGISTRATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIVISION C -3.2.4.1. OF THE 2006 ONTARIO BUILDING CODE.

DAVID W. SMALL DESIGNS INC.
FIRM NAME BCIN 29999

SITE DATA

LOT AREA 463.56 sm (0.046 ha)
ZONING RD (NEW BY-LAW) / R1 (OLD BY-LAW)
ESTABLISHED GRADE (NEW - RD) (102.21 + 102.24 m / 2) 102.23 m
FINISHED GRADE (OLD - R1) 102.38 m

PROPOSED COVERAGE 166.05 sm (35.82%)
(COVERAGE INCLUDES HOUSE, GARAGE, FRONT COVERED PORCH & REAR DECK)

FLOOR AREA	
GROUND FLOOR (INC. 65.3sf OF STAIRS)	1047.5 sf (97.31 sm)
SECOND FLOOR (INC. 78.7sf OF STAIRS & 49.3sf OF OTB)	1384.7 sf (128.64 sm)
THIRD FLOOR (INC. 82.0sf OF STAIRS & 15.2sf OF OTB)	643.1 sf (59.74 sm)
SUB-TOTAL	3075.3 sf (285.70 sm)
LESS O.T.B. (UP TO 4% OF PROPOSED GFA)-123.0sf MAX	64.5 sf (5.99 sm)
TOTAL AREA	3010.8 sf (279.70 sm)
FINISHED BASEMENT AREA	583.8 sf (54.24 sm)
MAX GFA ALLOWED	1995.8 sf (185.42 sm)
FRONT YARD AREA	120.56 sm
'FRONT YARD LANDSCAPING'	51.46 % (62.04 sm)
'FRONT YARD SOFT LANDSCAPING'	88.54 % (54.93 sm)
REAR YARD AREA	167.20 sm
'REAR YARD SOFT LANDSCAPING'	70.77 % (118.32 sm)

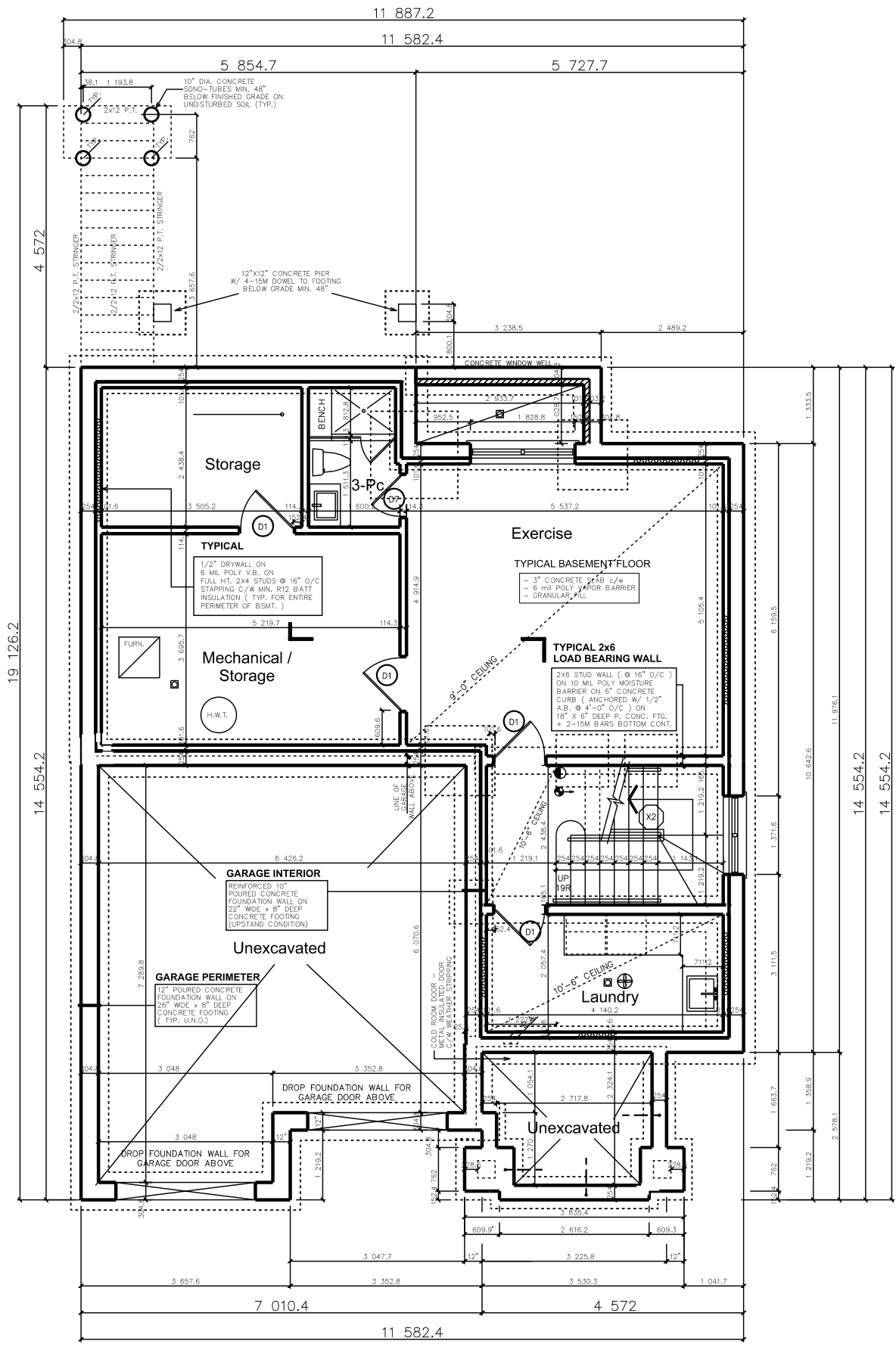
SURVEYOR'S CERTIFICATE

I HAVE REVIEWED THE PLANS FOR THE CONSTRUCTION OF THIS PROPERTY AND HAVE PREPARED THIS PLAN TO INDICATE THE COMPATIBILITY OF THE PROPOSAL TO EXISTING ADJACENT PROPERTIES AND MUNICIPAL SERVICES. IT IS MY BELIEF THAT ADHERENCE TO THE PROPOSED GRADES AS SHOWN WILL PRODUCE ADEQUATE SURFACE DRAINAGE AND PROPER FACILITY OF THE MUNICIPAL SERVICES WITHOUT ANY DETRIMENTAL EFFECT TO THE EXISTING DRAINAGE PATTERNS OF ADJACENT PROPERTIES.

AUGUST 24, 2016
DATE

CHRIS BERESNIEWCZ
ONTARIO LAND SURVEYOR

DAVID SMALL DESIGNS.COM



Drawing Legend

EXISTING JOIST
DIRECTION

CO. DETECTOR

INTERCONNECTED
SMOKE ALARM

FAN

FLOOR DRAIN

ROOF VENT PER
OBC 9.19

DIRECT VENT GAS
FIREPLACE EXHAUST

COLD ROOM VENT

20"x28" ATTIC
ACCESS HATCH

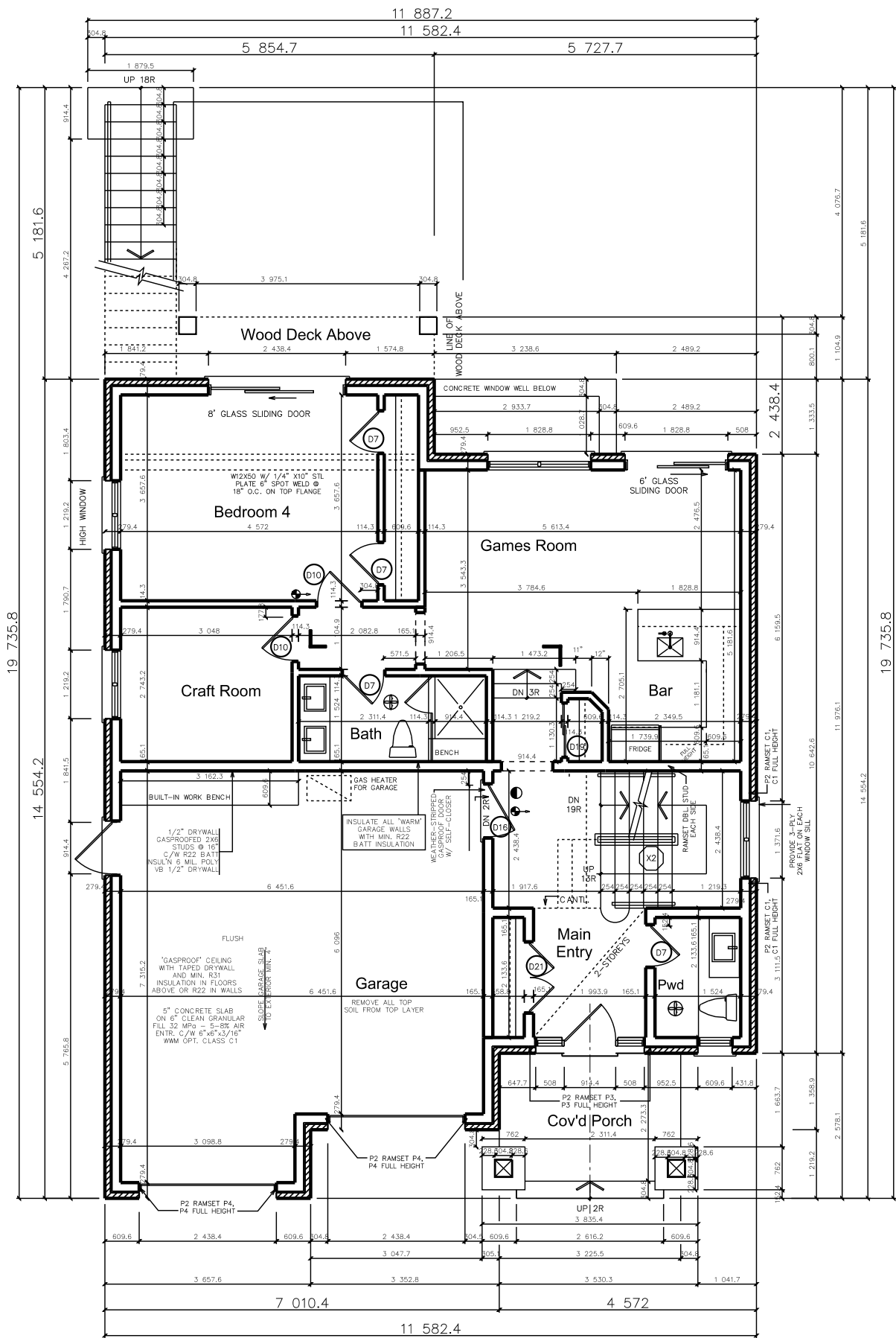
46 Cynthia Road

Cynthia Rd, Region of York

Basement Plan

SCALE: 1:100
JANUARY 19, 2017

1440 Hurontario Street, Suite 200, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109



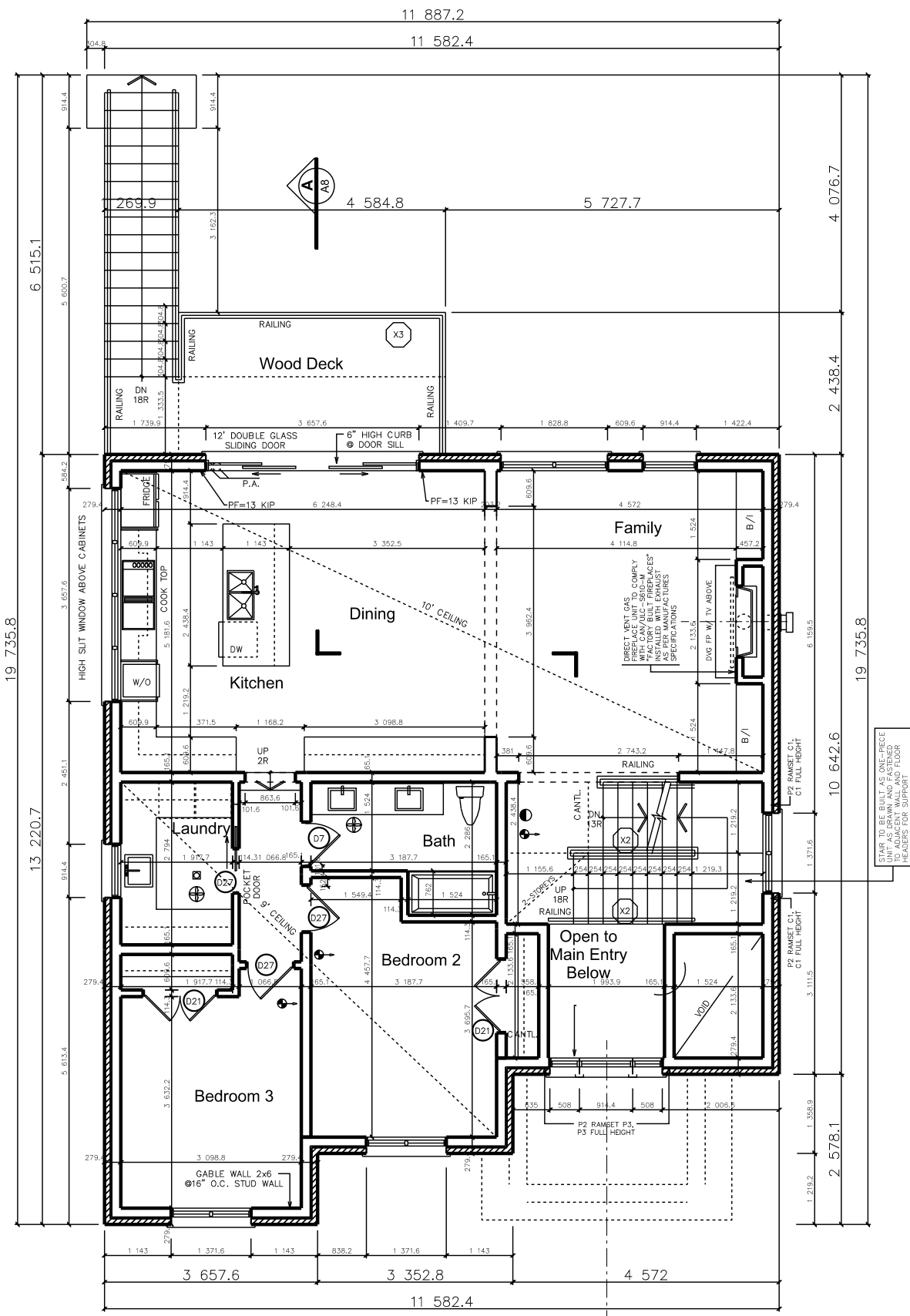
Drawing Legend	
	EXISTING JOIST DIRECTION
	CO DETECTOR
	INTERCONNECTED SMOKE ALARM
	FAN
	FLOOR DRAIN
	ROOF VENT PER OBC 9.19
	DIRECT VENT GAS FIREPLACE EXHAUST
	COLD ROOM VENT
	20"x28" ATTIC ACCESS HATCH

46 Cynthia Road

Cynthia Rd, Region of York

Ground Floor Plan

SCALE: 1:100
JANUARY 19, 2017



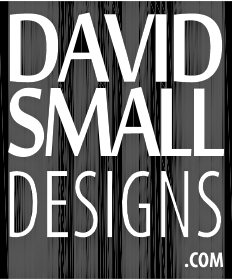
Drawing Legend	
	EXISTING JOIST DIRECTION
	CO DETECTOR
	INTERCONNECTED SMOKE ALARM
	FAN
	FLOOR DRAIN
	ROOF VENT PER OBC 9.19
	DIRECT VENT GAS FIREPLACE EXHAUST
	COLD ROOM VENT
	20"x28" ATTIC ACCESS HATCH

46 Cynthia Road

Cynthia Rd, Region of York

Second Floor Plan

SCALE: 1:100
JANUARY 19, 2017





DRAWING LEGEND

1.0 MATERIALS

- 1 NATURAL STONE
- 2 BOARD & BATTEN
- 3 WOOD SHINGLE SIDING
- 4 PAINTED WOOD PANEL

2.0 ROOFING & GUTTERS

- 1 40 YEAR ASPHALT SHINGLES
- 2 2-PLY TORCHED ON RUBBER MEMBRANE ROOF SLOPED TO 2% TO OUTSIDE EDGE ON 1/2" PLYWOOD ROOF SHEATHING ON ROOF TRUSSES
- 3 PREFIN. ALUM. GUTTER ON 6" PREFINISHED ALUMINUM FASCIA

3.0 TRIM, CORNICE

MOULDING & GUTTER NOTES

- 4A TYPICAL CORNICE TRIM
- 4" WD. CROWN MOLD ON CREZON FLAT STOCK W/ 2" HIGH X 4" - 1-1/4" DEEP BOTTOM TRIM (TOTAL 12" HIGH)
- 4B 4" WD. CROWN MOLD ON CREZON FLAT STOCK (TOTAL 6" HIGH)
- 4C 4" WD. CROWN MOLD ON CREZON FLAT STOCK
- 5A 12" STEPPED ALUMINUM FASCIA W/2" TOP-EDGE REVEAL 12" PRE-FIN. WOOD FRIEZE TRIM W/4" WD. CROWN MOLD
- 5B 12" STEPPED ALUMINUM FASCIA W/2" TOP-EDGE REVEAL 14" PRE-FIN. WOOD FRIEZE TRIM W/4" WD. CROWN MOLD

- 6A STONE SOLDIER
- 6B STONE SOLDIER ARCH
- 6C CUT STONE LINTEL
- 7 4" PRECAST CONCRETE SILL C/W 2" PROJECTION
- 7A 4" PRECAST CONCRETE COPING CAP C/W 2" PROJECTION
- 8A 6" PREFINISHED WOOD TRIM
- 8B 6" PREFINISHED WOOD SILL PROJECTED 2" W/ 2" TOP EDGE REVEAL
- 8C 6" PREFINISHED WOOD TRIM W/ 2" TOP EDGE REVEAL
- 9 DECORATIVE PLYWOOD FRONT ENTRANCE

4.0 RAILING, POST

- 10 10"x10" WD POST CLAD W/ 1X6 WD TRIM AS SHOWN

46 Cynthia Road

Cynthia Rd, Region of York

Front Elevation

SCALE: 1:100
JANUARY 19, 2017

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DAVID
SMALL
DESIGNS
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46 Cynthia Road

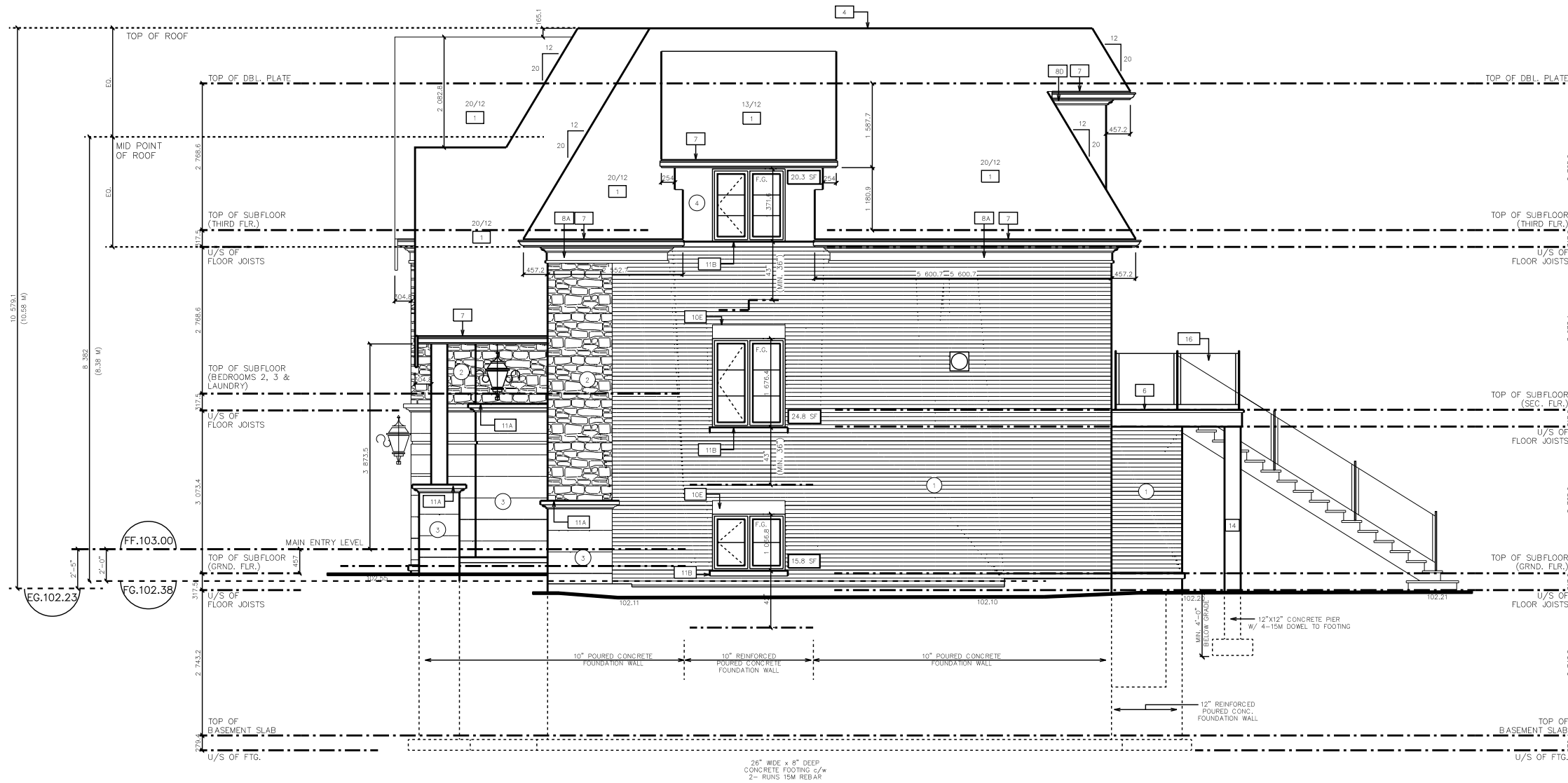
Cynthia Rd, Region of York

Right-Side Elevation

SCALE: 1:100
JANUARY 19, 2017

1440 Hurontario Street, Suite 200, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109

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SMALL
DESIGNS
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46 Cynthia Road

Cynthia Rd, Region of York

Rear Elevation

SCALE: 1:100
JANUARY 19, 2017

1440 Hurontario Street, Suite 200, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109

DAVID
SMALL
DESIGNS
.COM



DRAWING LEGEND

1.0 MATERIALS

- 1 NATURAL STONE
- 2 BOARD & BATTEN
- 3 WOOD SHINGLE SIDING
- 4 PAINTED WOOD PANEL

2.0 ROOFING & GUTTERS

- 1 40 YEAR ASPHALT SHINGLES
- 2 2-PLY TORCHED ON RUBBER MEMBRANE ROOF SLOPED TO 2% TO OUTSIDE EDGE ON 1/2\"/>

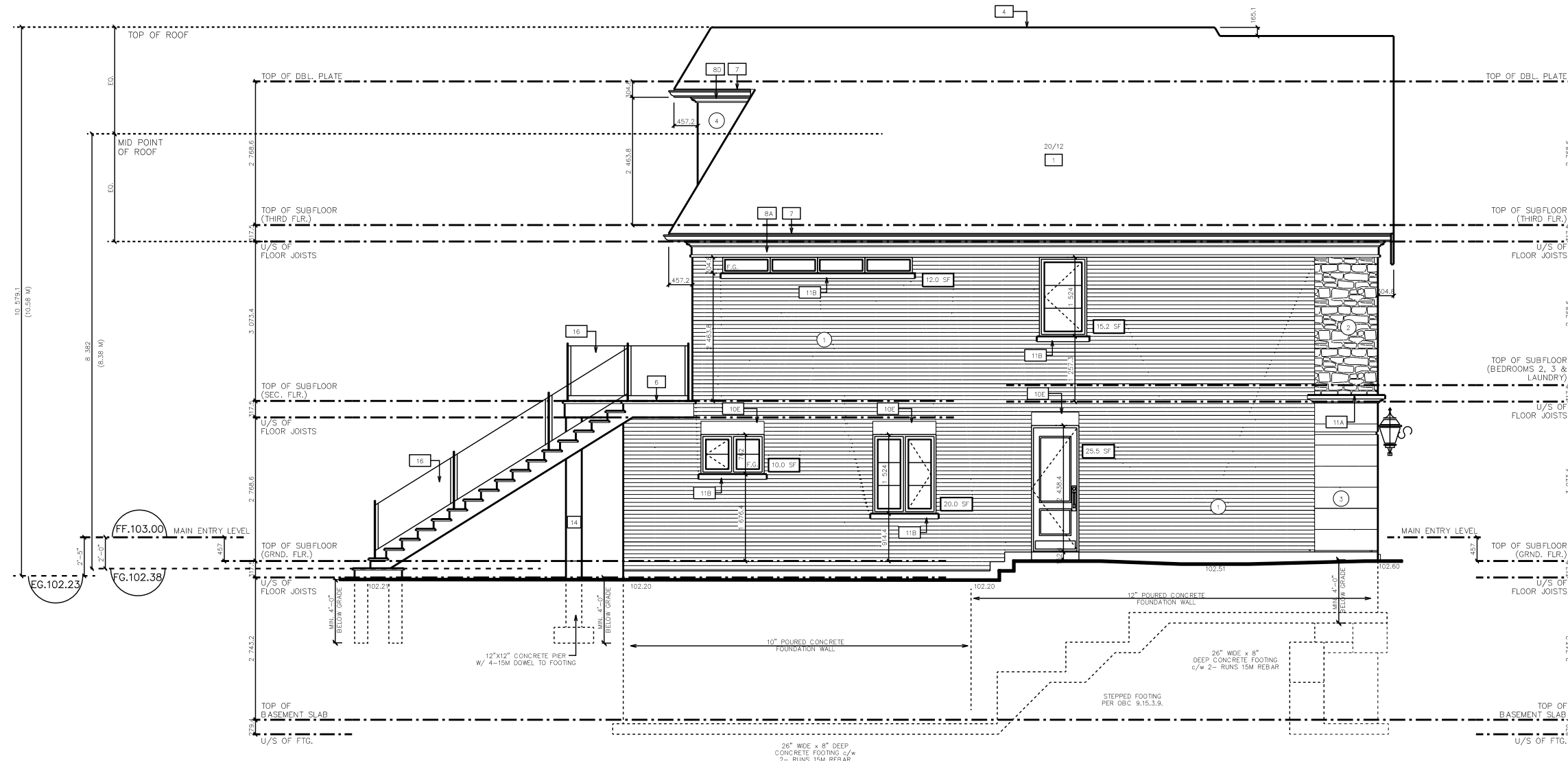
3.0 TRIM, CORNICE

MOULDING, & GUTTER NOTES

- 4A TYPICAL CORNICE TRIM
- 4\"/>

4.0 RAILING, POST

- 10 10\"/>



DRAWING LEGEND

1.0 MATERIALS

- 1 NATURAL STONE
- 2 BOARD & BATTEN
- 3 WOOD SHINGLE SIDING
- 4 PAINTED WOOD PANEL

2.0 ROOFING & GUTTERS

- 1 40 YEAR ASPHALT SHINGLES
- 2 2-PLY TORCHED ON RUBBER MEMBRANE ROOF SLOPED TO 2% TO OUTSIDE EDGE ON 1/2" PLYWOOD ROOF SHEATHING ON ROOF TRUSSES
- 3 PREFIN. ALUM. GUTTER ON 6" PREFINISHED ALUMINUM FASCIA

3.0 TRIM, CORNICE, MOULDING, & GUTTER NOTES

- 4A TYPICAL CORNICE TRIM
- 4B 4" WD. CROWN MOLD ON CREZON FLAT STOCK W/ 2" HIGH X 4" - 1-1/4" DEEP BOTTOM TRIM (TOTAL 12" HIGH)
- 4C 4" WD. CROWN MOLD ON CREZON FLAT STOCK
- 5A 12" STEPPED ALUMINUM FASCIA W/2" TOP-EDGE REVEAL
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- 6A STONE SOLDIER
- 6B STONE SOLDIER ARCH
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- 8A 6" PREFINISHED WOOD TRIM
- 8B 6" PREFINISHED WOOD SILL PROJECTED 2" W/ 2" TOP EDGE REVEAL
- 8C 6" PREFINISHED WOOD TRIM W/ 2" TOP EDGE REVEAL
- 9 DECORATIVE PLYWOOD FRONT ENTRANCE

4.0 RAILING POST

- 10 10"x10" WD POST CLAD W/ 1X6 WD TRIM AS SHOWN

46 Cynthia Road

Cynthia Rd, Region of York

Left-Side Elevation

SCALE: 1:100
JANUARY 19, 2017

1440 Hurontario Street, Suite 200, Mississauga, ON L5G 3H4 PH 905.271.9100 FX 905.271.9109



Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0913/16EYK	Zoning:	R & R2
Owner(s):	MARISA AMY ANDREW FOOT	Ward:	Parkdale-High Park (13)
Agent:	BERNARD H WATT ARCHITECT	Heritage:	Not Applicable
Property Address:	293 DURIE ST	Community:	
Legal Description:	PLAN 714 PT LOT 19		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with a front yard parking pad and a new accessory structure (shed) in the rear yard. A previous Committee of Adjustment application (A520/16EYK) approved a variance relating to floor space index, side yard setback, parking space location, front, rear and side main exterior wall heights.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 6(3) Part II 3.(I), By-law 438-86**
The minimum required side yard setback is 0.9 m from an adjacent building containing no openings. The proposed dwelling will be located 0.4 m from north side lot line and a portion of the second floor will be located 0.23 m from the south side lot line.
- Section 6(3) Part IV 1.(e), By-law 438-86**
A motor vehicle parking space that is located between the front wall of the building and the front lot line is not permitted.
The proposed parking space will be located between the front wall of the building and the front lot line.
- Section 6(3) Part III 3.(d)(i) D, By-law 438-86**
A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (49.9 m²).
A total of 52.6% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (35 m²).
- Section 6(3) Part II 7(i), By-law 438-86**
The minimum required setback for an accessory structure from all lot lines is 3 m.
The proposed shed will be located 1.75 m from the east side lot line and 0.8 m from the north and south side lot lines.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.2 Provide a new depressed curb to a maximum width of 2.6m, which is consistent with the width of the proposed front yard parking pad.
 - 2.3 Insert a notation on the site plan, stating that, "The applicant is required to illustrate the redundant portion of the existing driveway that will be removed within the Durie Street municipal boulevard as being restored with sod and raised concrete sidewalk according to the City of Toronto Design Standard Drawing No. T-310.010-4".
 - 2.4 The applicant shall submit a revised site plan either in 1:200 or 1:250 metric units, illustrating the above-noted Condition No.'s 1 and 2, to the satisfaction of Transportation Services Division, and at no cost to the City, no later than February 28, 2018.

SIGNATURE PAGE

File Number:	A0913/16EYK	Zoning	R & R2
Owner:	MARISA AMY ANDREW FOOT	Ward:	Parkdale-High Park (13)
Agent:	BERNARD H WATT ARCHITECT	Heritage:	Not Applicable
Property Address:	293 DURIE ST	Community:	
Legal Description:	PLAN 714 PT LOT 19		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0914/16EYK	Zoning	RD & R1
Owner(s):	ROBERT IABONI	Ward:	York South-Weston (11)
Agent:	MICHAEL LAFRENIERE ARCHITECTS	Heritage:	Not Applicable
Property Address:	101 JOHN ST	Community:	
Legal Description:	PLAN 182 PT LOT 46		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the existing attic into habitable space.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 7.(3)(i), By-law 1-83

The maximum permitted floor space index is 0.4 times the lot area.

The altered dwelling will have a floor space index of 0.49 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0914/16EYK	Zoning	RD & R1
Owner:	ROBERT IABONI	Ward:	York South-Weston (11)
Agent:	MICHAEL LAFRENIERE ARCHITECTS	Heritage:	Not Applicable
Property Address:	101 JOHN ST	Community:	
Legal Description:	PLAN 182 PT LOT 46		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Megan McIver (signed)

DATE DECISION MAILED ON: Friday, February 3, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, February 15, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, January 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0917/16EYK	Zoning	RD & R1 Z0.6
Owner(s):	ELIZABETH LOPATNIKOW	Ward:	Parkdale-High Park (13)
Agent:	DAVID BROWN	Heritage:	Not Applicable
Property Address:	24 INNISFREE CRT	Community:	
Legal Description:	PLAN M1240 LOT 41		

Notice was given and a Public Hearing was held on Thursday, January 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 6(3) Part I 1, By-law 438-86**
The maximum permitted floor space index is 0.6 times the area of the lot (164.1 m²).
The new dwelling will have a floor space index of 0.86 times the area of the lot (235.11 m²).
2. **Section 10.20.40.70.(1), By-law 569-2013 and Section 6(3) Part II 2(II), By-law 438-86**
The minimum required front yard setback is 6.12 m.
The new dwelling will be located 5.47 m from the front lot line.
3. **Section 10.20.40.70.(2)(A), By-law 569-2013 and Section 6(3) Part II 4, By-law 438-86**
The minimum required rear yard setback is 7.5 m.
The new dwelling will be located 7.02 m from the rear lot line.
4. **Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 4(2)(A), By-law 438-86**
The maximum permitted building height is 9 m.
Section 10.20.40.10.(1)(A), By-law 569-2013
The new dwelling will have a height of 9.28 m.
Section 4(2)(A), By-law 438-86
The new dwelling will have a height of 9.3 m.
5. **Section 10.20.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.
The new dwelling will have a side exterior main wall height of 7.44 m facing a side lot line.