

## 1. 51 GORMLEY AVE

File Number:	A0425/16TEY	Zoning	R (d0.6)(x905) & R2 Z0.6 (WAIVER)
Owner(s):	MOHAMMADREZA MORSHEDIAN SHAHRBANOO JANANI	Ward:	St. Paul's (22)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	51 GORMLEY AVE	Community:	Toronto
Legal Description:	PLAN 743 W PT LOT 36		

### PURPOSE OF THE APPLICATION:

To construct a new 2½-storey detached dwelling with rear ground floor deck, second and third floor rear terraces, and a third-storey front terrace above the second floor.

### REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(1)(D), By-law 569-2013**  
A minimum of 75% of the front yard must be soft landscaping (19.67 m<sup>2</sup>).  
The front yard landscaping area will be equal to 8.53% (2.24 m<sup>2</sup>).
  - 2. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 8.5 m.  
The height of the side exterior main walls facing a side lot line is 10.87 m.
  - 3. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot 170.04 m<sup>2</sup>.  
The new detached dwelling will have a floor space index equal to 0.80 times the area of the lot (226.70 m<sup>2</sup>).
  - 4. Chapter 10.10.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 4.79 m.  
The new detached dwelling will be located 3.44 m to the north front lot line.
  - 5. Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**  
The minimum required westerly side yard setback is 0.9 m.  
The new detached dwelling will be located 0.57 m to the west side lot line.
  - 6. Chapter 10.10.40.70.(4)(A), By-law 569-2013**  
The minimum required easterly side yard setback is 0.45 m.  
The new detached dwelling will be located 0.15 m to the east side lot line.
- 1. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 0.6 times the area of the lot 170.04 m<sup>2</sup>.  
The new detached dwelling will have a gross floor area equal to 0.80 times the area of the lot (226.70 m<sup>2</sup>).
  - 2. Section 6(3) Part II 2(II), By-law 438-86**  
The minimum required front lot line setback is 4.79 m.  
The new detached dwelling will be located 3.44 m to the north front lot line.

3. **Section 6(3) Part II 3(II), By-law 438-86**  
The minimum required setback to the portion of the side wall of an adjacent building that contains openings is 1.2 m.  
The new detached dwelling will be located 0.73 m from the adjacent building to the west and 0.32 m from the adjacent building to the east.
4. **Section 6(3) Part II 3.B(I), By-law 438-86**  
The minimum required side lot line setback for a depth not exceeding 17.0 m where the side walls contain no openings and where an attached structure has no walls is 0.45 m.  
The easterly side wall contains no openings and will be located 0.15 m to the east side lot line.  
The westerly side wall contains openings and will be located 0.57 m to the west side lot line.
5. **Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback for a depth not exceeding 17.0 m where the side walls contain openings is 0.90 m.  
The westerly side wall contains openings and will be located 0.57 m to the west side lot line.
6. **Section 6(3) Part III 3(d)(i)D, By-law 438-86**  
A minimum of 75% of the front yard shall be maintained as soft landscaping (19.67 m<sup>2</sup>).  
The front yard soft landscaping area will be equal to 8.53% (2.24 m<sup>2</sup>).

**The Committee had before it the following communication:**

- Copy of the minutes from the August 10, 2016 public hearing and the materials submitted for consideration.
- Copy of plan of survey, **revised** site plan, floor plans and elevations.

**Commenting Agency Reports/Email**

- Staff Report from the Acting Supervisor, Tree Protection and Plan Review, Urban Forestry, received June 2, 2017.

**Opposition**

- Correspondence in opposition from:
  - Kelly Smith, 33 Gormley Avenue, received June 1, 2017.
  - Maria Kannu, 52 Gormley Avenue, received June 1, 2017.
  - Jason Mayer, 53 Gormley Avenue, received June 1, 2017.
  - Janice Patton, 47 Gormley Avenue, received June 1, 2017.
  - Gabrielle Domingues, 59 Gormley Avenue, received June 1, 2017.
  - Andrew and Amy Boddington, 49 Gormley Avenue, received June 1, 2017.
  - Peter Salloum, 57 Gormley Avenue, received June 1, 2017.
  - Joan Filip, 43 Gormley Avenue, received June 1, 2017.
  - Hedi Erenrich, 46 Duggan Avenue, received June 1, 2017.
  - Victor Domingues, 59 Gormley Avenue, received June 1, 2017.
  - Geoffrey and Linda Ozin, 63 Gormley Avenue, received June 2, 2017.

The following persons appeared before the Committee of Adjustment in connection with the foregoing matter:

- Glenn Rubinoff, agent, appeared before the Committee to withdraw the application on behalf of the applicants.
- No other person appeared before Committee in interest.

**MOTION**

It was moved by Worrick Russell, seconded by Joanne Hayes, and carried unanimously that the application be **closed**, and the application fee NOT be refunded, in accordance with the Committee of Adjustment refund policy.

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1012/16TEY	Zoning	RD (f15.0, d0.35) & R1 Z0.35 (ZZC)
Owner(s):	MARY L MORDY	Ward:	St. Paul's (22)
Agent:	FARHAD VATANDOOST	Heritage:	Not Applicable
Property Address:	<b>217 FOREST HILL RD</b>	Community:	Toronto
Legal Description:	CON 3 FB PT LOT 23 PLAN LILLICO UNREG LOT 33		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling with integral garage and rear deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.20.(1), By-law 569-2013**  
The maximum permitted building length is 17.0 m.  
The new dwelling will have a building length of 19.51 m.
- 2. Chapter 10.20.40.20.(1), By-law 569-2013**  
The maximum permitted building depth is 19.0 m.  
The new dwelling will have a building depth of 19.99 m.
- 3. Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.35 times the area of the lot (250.81 m<sup>2</sup>).  
The new dwelling will have a floor space index equal to 0.62 times the area of the lot (443.7 m<sup>2</sup>).
- 4. Chapter 10.20.40.70.(3)(D), By-law 569-2013**  
The minimum required side yard setback is 1.5 m.  
The new detached dwelling will be located 1.22 m to the north side lot line and 0.92 m to the south side lot line.
- 1. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 0.35 times the area of the lot (250.81 m<sup>2</sup>).  
The new dwelling will have a gross floor area equal to 0.62 times the area of the lot (443.7 m<sup>2</sup>).

**2. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building exceeding 17.0 m in depth is 7.5 m.

The rear 2.99 portion of the new dwelling will be located 1.22 m to the north side lot line and 1.22 m to the south side lot line.

**3. Section 6(3) Part II 8 D, By-law 438-86**

The by-law limits the projection of an uncovered platform into the required setbacks to a maximum of 2.5 mm from the front or rear wall.

In this case, the uncovered platform will project 3.05 m from the rear wall.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Prior to the issuance of a demolition and/or building permit, the applicant shall satisfy all matters relating to Ravine and Natural Feature Protection By-law, to the satisfaction of the Supervisor, Ravine and Natural Feature Protection.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**SIGNATURE PAGE**

File Number:	A1012/16TEY	Zoning	RD (f15.0, d0.35) & R1 Z0.35 (ZZC)
Owner(s):	MARY L MORDY	Ward:	St. Paul's (22)
Agent:	FARHAD VATANDOOST	Heritage:	Not Applicable
Property Address:	<b>217 FOREST HILL RD</b>	Community:	Toronto
Legal Description:	CON 3 FB PT LOT 23 PLAN LILLICO UNREG LOT 33		

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Edmund Carlson (signed)

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Joanne Hayes (signed)

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Worrick Russell (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1057/16TEY	Zoning	CR & R4A, Site Specific By-law 275-2014 (Waiver)
Owner(s):	TORONTO COMMUNITY HOUSING CORPORATION	Ward:	Toronto Centre-Rosedale (28)
Agent:	LOUIS TINKER	Heritage:	Not Applicable
Property Address:	<b>20 TUBMAN AVE &amp; 647 DUNDAS ST E (FORMERLY KNOWN AS 591 DUNDAS ST E - BLOCK 26)</b>	Community:	Toronto
Legal Description:	PLAN 802E BLKS E O T W P PT BLKS D N X3 PT BLEVINS PLACE WHITESIDE PLACE RP 66R22033 PART 2 RP 66R22352 PARTS 1 2 AND 13 PT PARTS 5 AND 8 RP		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the redevelopment plan of the 27-storey mixed-use development approved under Site-Specific By-law 275-2014 by increasing the height of the building.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 12(1)465(K)(i), By-law 275-2014**  
One Type B1 tower is permitted having a height of 75 m above grade, defined as 86.3 CGD.  
In this case, the B1 tower will have a height of 86.4 m above grade defined as 86.3 CGD.
- Section 12 (1) 465 (K)(iii)(B), By-law 275-2014**  
A type B1 tower shall not exceed 22-storeys above grade.  
In this case, the type B1 tower will be 27-storeys above grade.
- Section 12(1)465(C), By-law 438-86**  
Residential units in a mixed use building are not permitted in the R4A zone.  
In this case, the residential units in a mixed use building will be partially located in the R4A zone.
- Section 12(1)465(O)(iii), By-law 438-86**  
One Type B1 tower is permitted having a height of 75 m above grade, defined as 86.3 CGD.  
In this case, the B1 tower will have a height of 86.4 m above grade, defined as 86.3 CGD.



**3. Section (4)2 & Section 12(1)465(I), By-law 438-86**

The maximum vertical extent of building elements beyond the permitted height is 6.0 m.  
The height of these elements including the mechanical penthouse will be 14.5 metres.

**4. Section 4(13) & Section 12(1)465(m), By-law 438-86.**

The by-law requires 160 'bicycle parking space - occupant' and 40 'bicycle parking space visitor'. In this case, there will be no compliant bicycle parking spaces for the occupants of the building and 6 compliant bicycle parking spaces for visitors. The building will contain 380 non-compliant bicycle parking spaces for the occupants of the building and 43 non-compliant bicycle parking spaces for visitors. Stack bicycle parking spaces will have a vertical clearance of 1.2 m, a width of 0.45 m and a depth of 1.8 m.

**5. Section 12(1)(465)(f)(i), By-law 438-86**

No residential amenity space located outdoors will be required.

In this case, the required outdoor residential amenity space will be provided at a rate of 2.0 m<sup>2</sup> per dwelling unit.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

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**SIGNATURE PAGE**

File Number:	A1057/16TEY	Zoning	CR & R4A, Site Specific By-law 275-2014 (Waiver)
Owner(s):	TORONTO COMMUNITY HOUSING CORPORATION	Ward:	Toronto Centre-Rosedale (28)
Agent:	LOUIS TINKER	Heritage:	Not Applicable
Property Address:	<b>20 TUBMAN AVE &amp; 647 DUNDAS ST E (FORMERLY KNOWN AS 591 DUNDAS ST E - BLOCK 26)</b>	Community:	Toronto
Legal Description:	PLAN 802E BLKS E O T W P PT BLKS D N X3 PT BLEVINS PLACE WHITESIDE PLACE RP 66R22033 PART 2 RP 66R22352 PARTS 1 2 AND 13 PT PARTS 5 AND 8 RP		

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Edmund Carlson (signed)

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Joanne Hayes (signed)

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Worrick Russell (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1077/16TEY	Zoning:	RD & R1A (PPR)
Owner(s):	JINOUS JEDDI MAJID RAHIMI	Ward:	Toronto-Danforth (29)
Agent:	AHMADREZA ZADRAD	Heritage:	Not Applicable
Property Address:	<b>3 JUDITH DR</b>	Community:	Toronto
Legal Description:	PLAN 3214 E PT LOT 18 W PT LOT 19		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a two-storey rear addition, a second storey addition, a front porch and a rear deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.40.(1) (A), By-law 569-2013**  
The maximum permitted floor space index is 0.45 times the area of the lot (129.83 m<sup>2</sup>).  
The floor space index will be 0.7 times the area of the lot (202.85 m<sup>2</sup>).
- Chapter 10.20.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (100.98 m<sup>2</sup>).  
The lot coverage will be 36% of the lot area (105.0 m<sup>2</sup>).
- Chapter 10.20.40.10.(2)(A)(i)(ii)(B), By-law 569-2013**  
The maximum permitted height of all front exterior main walls is 7.0 m.  
The height of the front exterior main walls will be 7.4 m.
- Chapter 10.20.40.10.(2)(A)(i)(ii)(B), By-law 569-2013**  
The maximum permitted height of all rear exterior main walls is 7.0 m.  
The height of the rear exterior main walls will be 7.4 m.
- Chapter 10.20.40.10.(2)(A)(i)(ii)(B), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.0 m.  
The height of the side exterior main walls facing a side lot line will be 7.4 m.

**1. Section 7.2.3, By-law 6752**

The maximum permitted lot coverage is 35% of the lot area (100.98 m<sup>2</sup>).  
The lot coverage will be 36% of the lot area (105.0 m<sup>2</sup>).

**2. Section 7.2.3, By-law 6752**

The maximum permitted floor space index is 0.45 times the lot area (129.83 m<sup>2</sup>).  
The floor space index will be 0.70 times the lot area (202.85 m<sup>2</sup>).

**3. Section 7.2.3, By-law 6752**

The maximum permitted building height is 8.5m.  
The building height will be 8.877m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

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**SIGNATURE PAGE**

File Number:	A1077/16TEY	Zoning	RD & R1A (PPR)
Owner(s):	JINOUS JEDDI MAJID RAHIMI	Ward:	Toronto-Danforth (29)
Agent:	AHMADREZA ZADRAD	Heritage:	Not Applicable
Property Address:	<b>3 JUDITH DR</b>	Community:	Toronto
Legal Description:	PLAN 3214 E PT LOT 18 W PT LOT 19		

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Edmund Carlson (signed)

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Joanne Hayes (signed)

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Worrick Russell (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**REVISED NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1138/16TEY	Zoning:	RD & R1 Z0.6 (PPR)
Owner(s):	FAZLOLLAH YOUSEFPOURFARD	Ward:	Toronto Centre-Rosedale (27)
Agent:	PETER HIGGINS	Heritage:	Designated
Property Address:	<b>137 ROXBOROUGH DR</b>	Community:	Toronto
Legal Description:	PLAN 321 E LT 14		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter an existing three-storey detached dwelling by constructing a three-storey rear addition and a rear garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.10.(1) (A), By-law 569-2013**  
The maximum permitted height of a building or structure is 10.0 m.  
The height of the roof extension will be 10.26 m.
- Chapter 10.20.40.30.(1), By-law 569-2013**  
The maximum permitted building depth is 19.0 m.  
The building depth will be 24.42 m.
- Chapter 10.20.40.20(1), By-law 569-2013**  
The maximum permitted building length is 17.0 m.  
The building length will be 22.69 m.
- Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback is 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.  
For the portion of the dwelling exceeding 17.0 m in building depth the west side lot line setback will be 1.49 m and the east side lot line setback will be 3.29 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**



**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

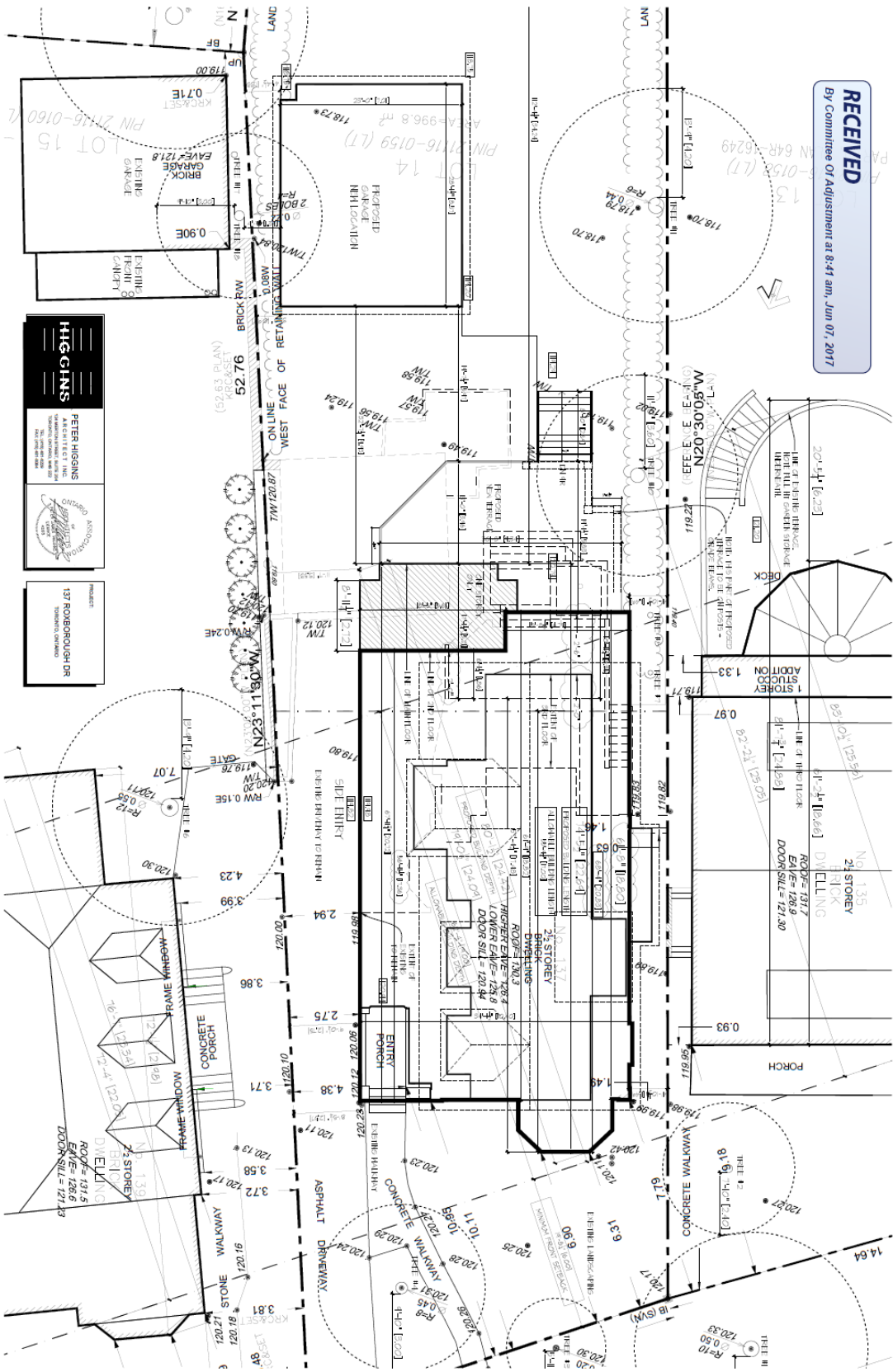
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

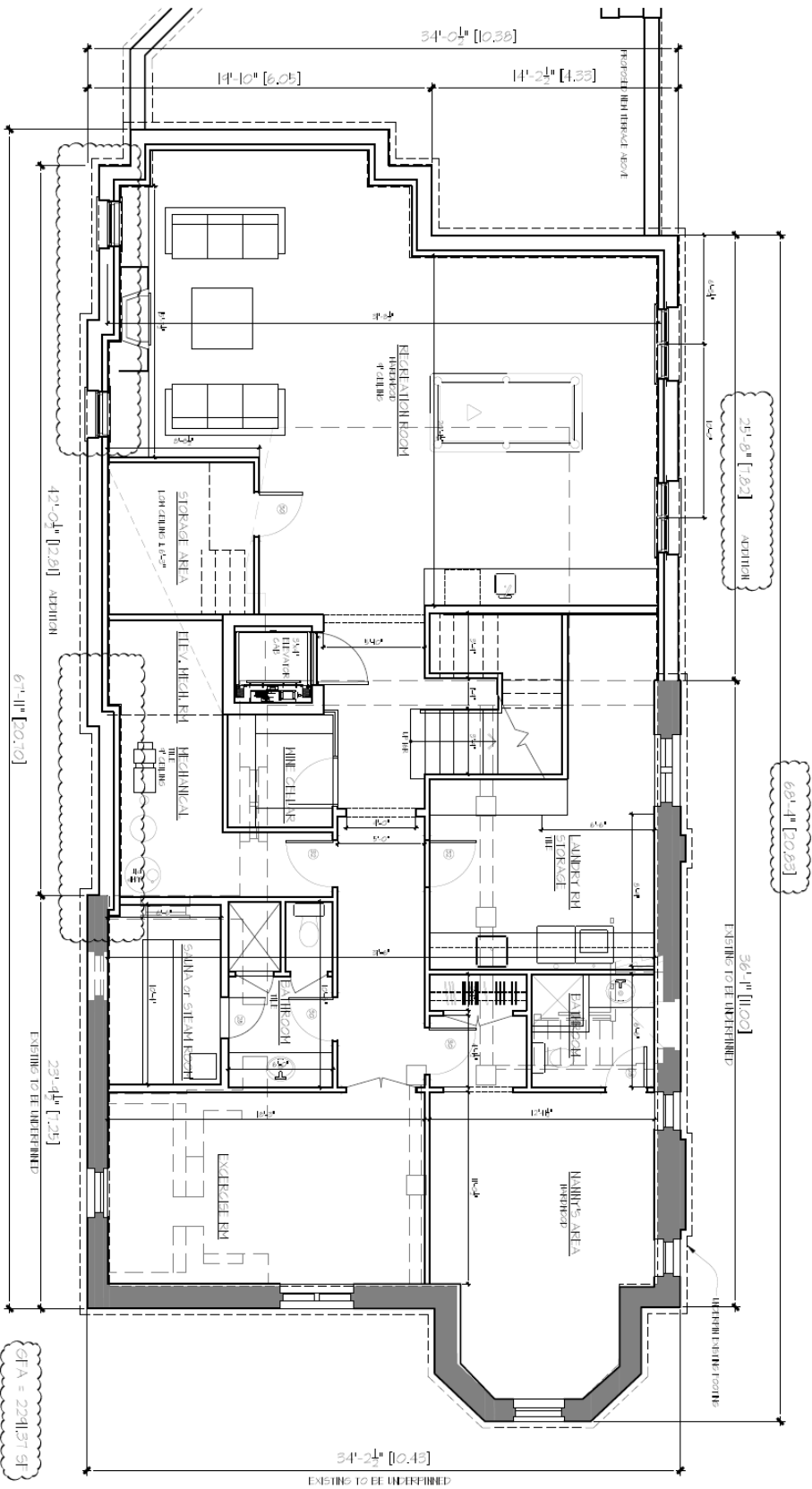
This decision is subject to the following condition(s):

- (1) The alterations to the dwelling shall be constructed substantially in accordance with the revised plans date stamped received by the Committee of Adjustment on June 7, 2017. Any other variances that may appear on these plans that are not listed in the written decision are NOT authorized.
- (2) Prior to the issuance of a building permit, building permit drawings, including plans, elevations and details shall be submitted to the satisfaction of the Senior Manager of Heritage Preservation Services and a heritage permit shall be obtained under the provision of Section 42 of the Ontario Heritage Act.

**RECEIVED**  
By Committee of Adjustment at 8:41 am, Jun 07, 2017



**PETER HIGGINS**  
ARCHITECTS INC.  
REGISTERED ARCHITECT  
No. 137 KOBORG/SH DR.  
PROFESSIONAL SEAL



REVISION	DATE	DESCRIPTION
1		ISSUED FOR CLIENT REVIEW
2		ISSUED FOR ZONING REVIEW
3		ISSUED FOR CONTRACTING
4		ISSUED FOR CONSTRUCTION
5		ISSUED FOR CONSTRUCTION

**HIGGINS**  
 PETER HIGGINS  
 ARCHITECT INC.  
 140 MORTIMER STREET, SUITE 204  
 TORONTO, ONTARIO M5V 3Z4  
 TEL: (416) 461-4224  
 FAX: (416) 461-4244

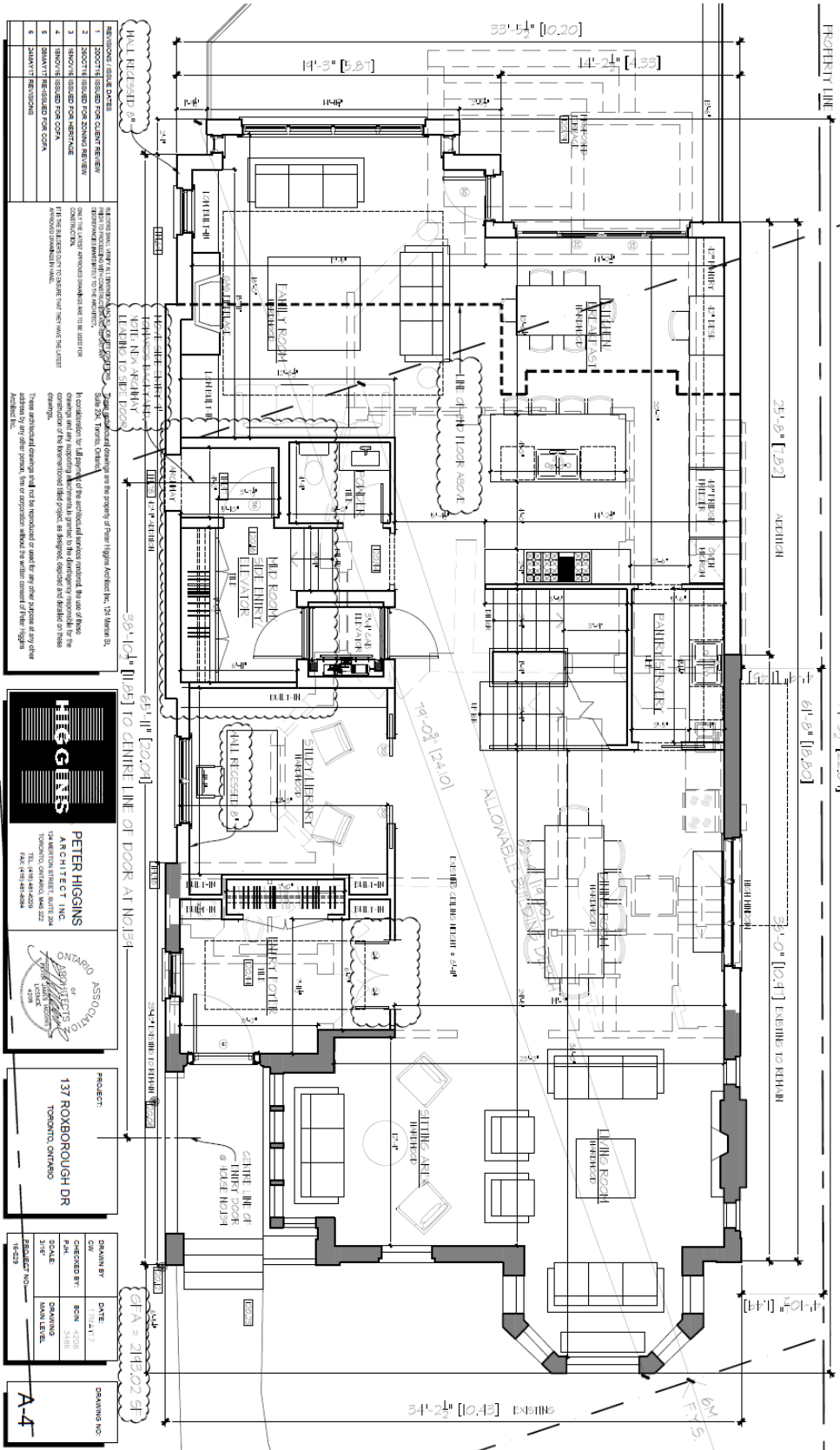
PROJECT:  
 137 ROXBOROUGH DR  
 TORONTO, ONTARIO

DRAWN BY	DATE
CHECKED BY	DATE
SCALE	DRAWING
PROJECT NO.	DRAWING NO.

DRAWING NO.  
**A-3**

GFA = 224137 SF

HOUSE NOTES



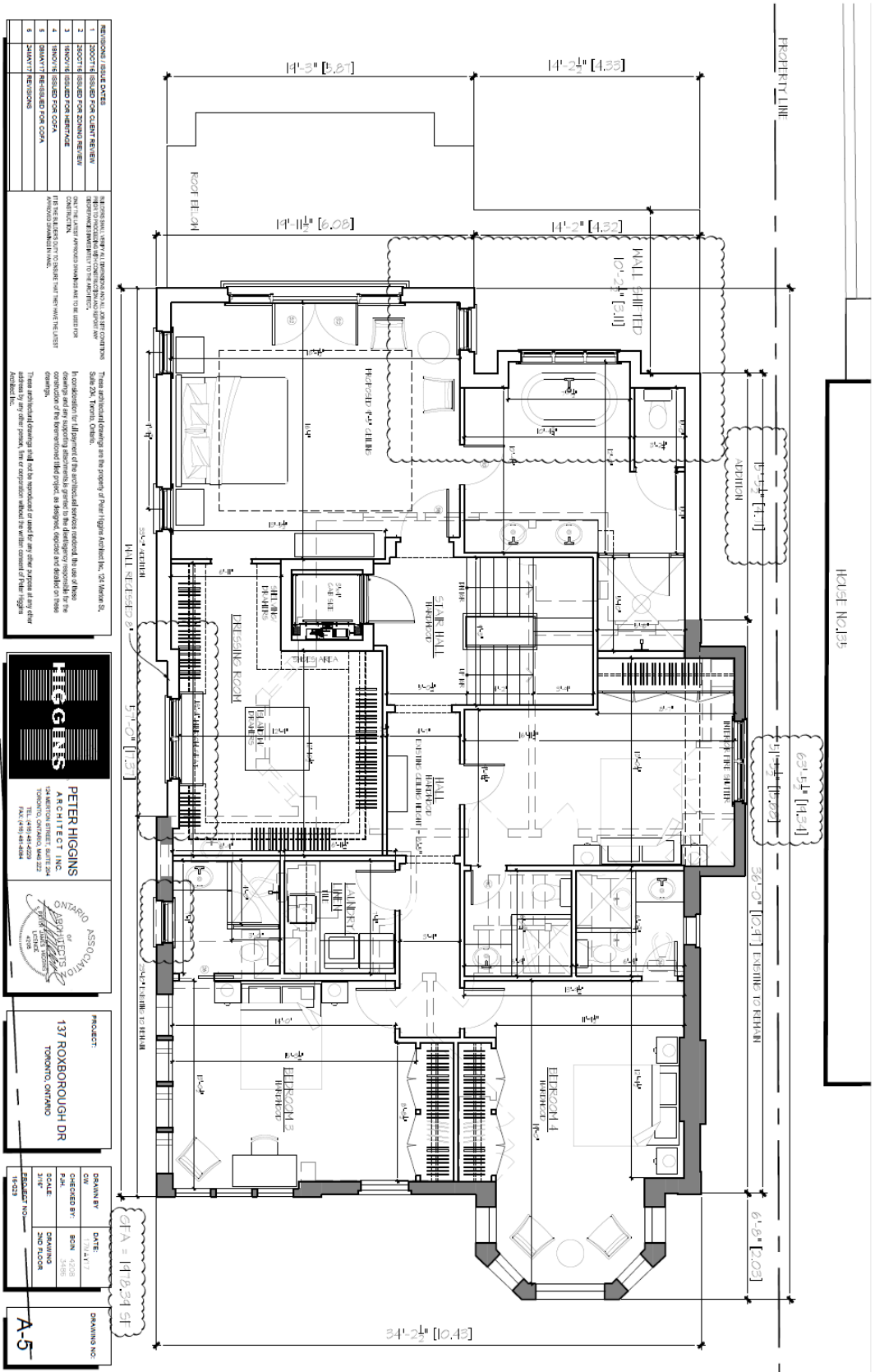
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2	REVISIONS	DATE	BY
3	REVISIONS	DATE	BY
4	REVISIONS	DATE	BY
5	REVISIONS	DATE	BY

**PETER HIGGINS ARCHITECT INC.**  
 24 KENNEDY STREET, SUITE 204  
 TORONTO, ONTARIO M3J 1K7  
 TEL: (416) 491-4234  
 FAX: (416) 491-4234

PROJECT:  
 137 ROXBOROUGH DR  
 TORONTO, ONTARIO

DATE	17/04/11
CHECKED BY	BOB
SCALE	AS SHOWN
DRAWING NO.	1000
PROJECT NO.	1000

DRAWING NO.  
**A-4**



REVISIONS	DATE	BY
1		
2		
3		
4		
5		

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These architectural drawings shall be read and interpreted in accordance with the Ontario Building Code, 1997, and the Ontario Building Code, 2006, as amended. The drawings shall be read in conjunction with the specifications and notes. The drawings shall be read in conjunction with the specifications and notes. The drawings shall be read in conjunction with the specifications and notes.

**PETER HIGGINS**  
 ARCHITECT INC.  
 137 ROXBOROUGH DR  
 TORONTO, ONTARIO  
 TEL: (416) 464-4228  
 FAX: (416) 464-4224



PROJECT:  
 137 ROXBOROUGH DR  
 TORONTO, ONTARIO

DRAWN BY	DATE
CHKD BY	DATE
SCALE	DRAWING
PROJECT NO.	NO.

DRAWING NO.  
**A-5**

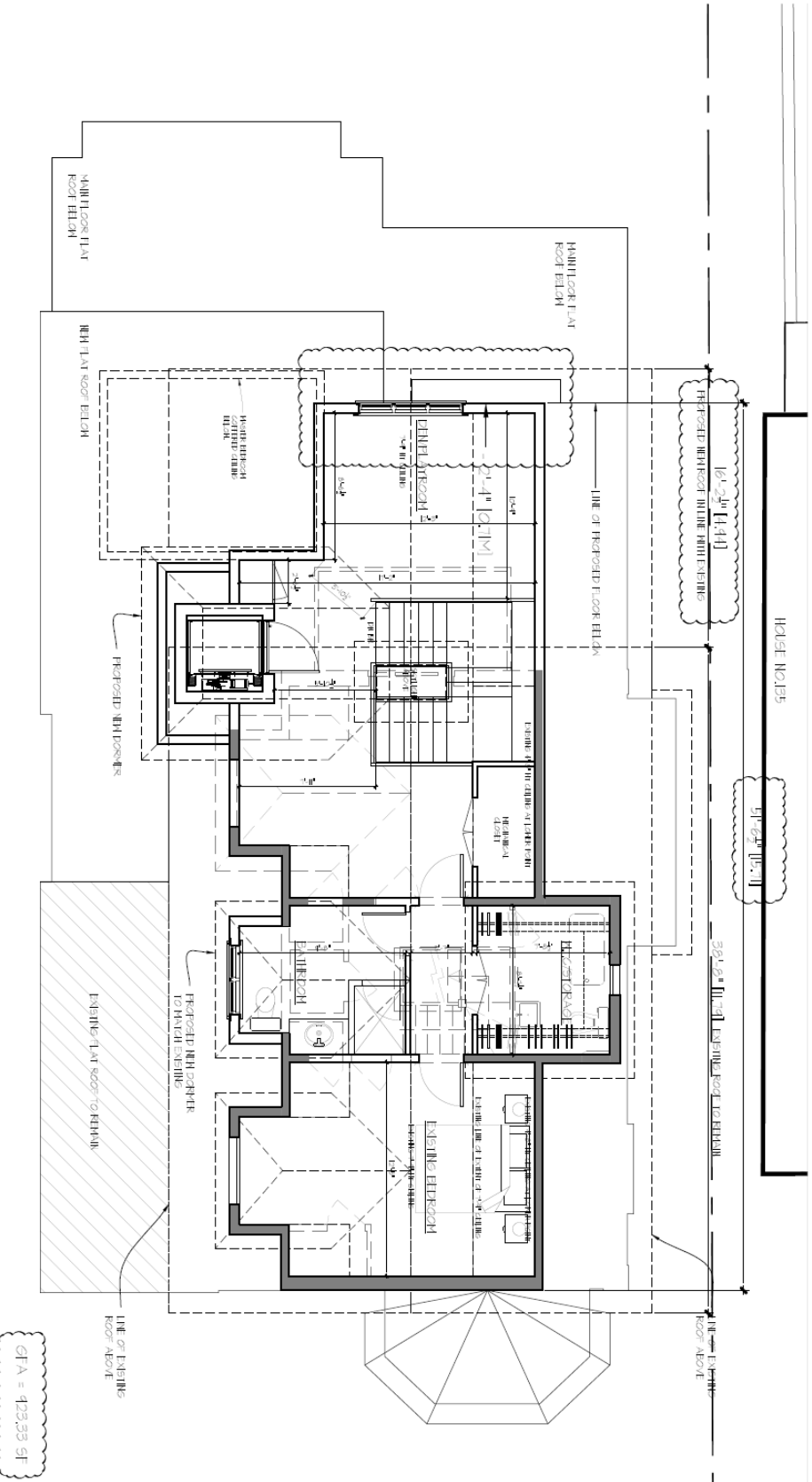
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2	ISSUED FOR CLIENT REVIEW	
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4	ISSUED FOR CORA	
5	ISSUED FOR CORA	
6	ISSUED FOR CORA	
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8	ISSUED FOR CORA	
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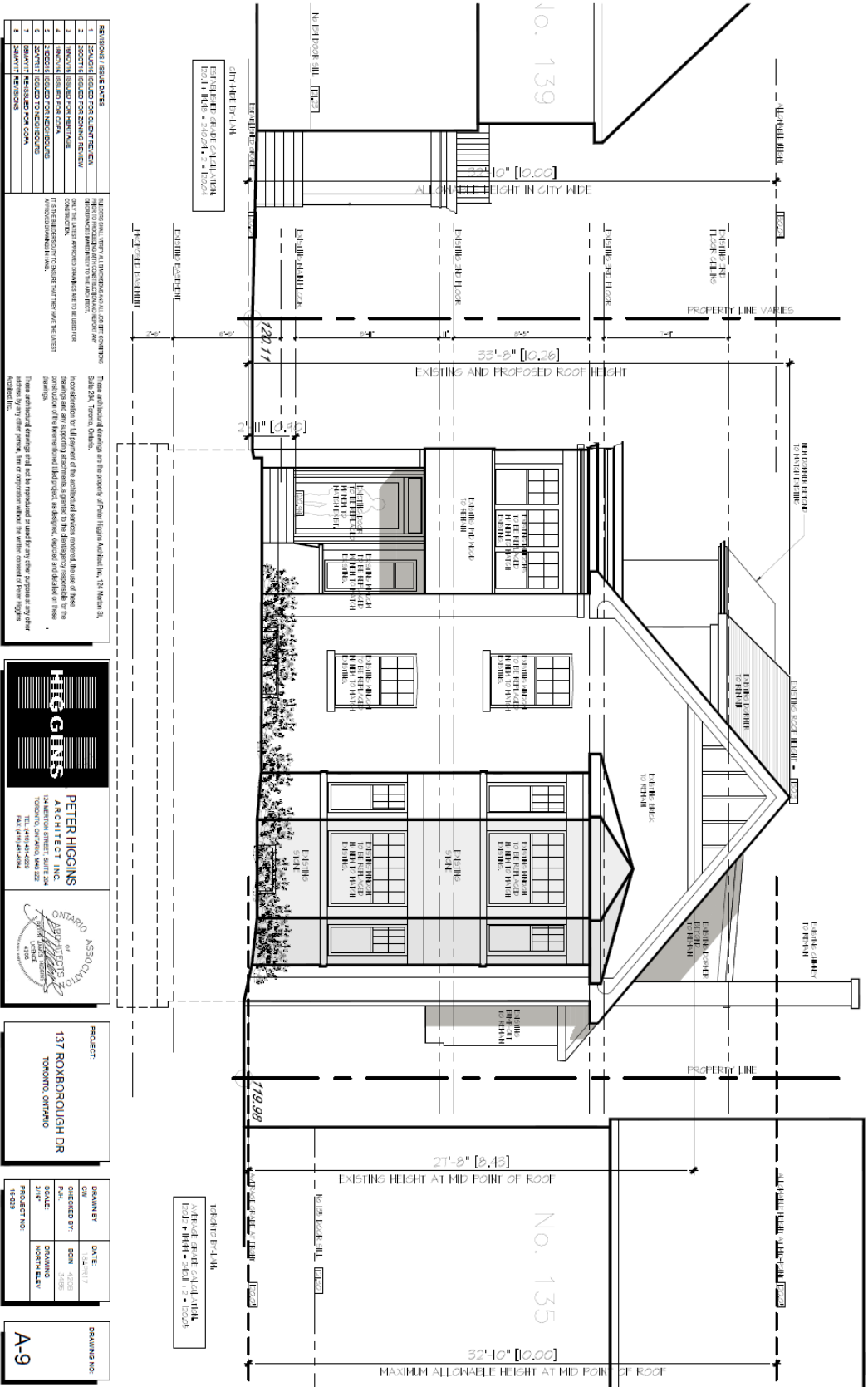
**PETER HIGGINS ARCHITECT INC.**  
 137 ROXBOROUGH DR  
 TORONTO, ONTARIO

**ONTARIO ASSOCIATION of Architects**

**A-6**



DATE	17/04/11
DRAWN BY	BN
CHECKED BY	BN
SCALE	3/8" = 1'-0"
DRAWING NO.	1003



**RESPONSIVE ZONING TABLE**

1	SMALL RESIDENTIAL	RESIDENTIAL
2	MEDIUM RESIDENTIAL	RESIDENTIAL
3	LARGE RESIDENTIAL	RESIDENTIAL
4	COMMERCIAL	COMMERCIAL
5	INDUSTRIAL	INDUSTRIAL
6	OFFICE	OFFICE
7	RETAIL	RETAIL
8	RECREATION	RECREATION

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**PETER HIGGINS ARCHITECT INC.**  
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 TORONTO, ONTARIO  
 TEL: (416) 464-4228  
 FAX: (416) 464-4284

**ONTARIO ASSOCIATION of ARCHITECTS**

**PROJECT:**  
 137 ROXBOROUGH DR  
 TORONTO, ONTARIO

<b>DRAWN BY:</b>	<b>DATE:</b>
<b>CHECKED BY:</b>	<b>DATE:</b>
<b>SCALE:</b>	<b>DRAWING NO.:</b>
<b>PROJECT NO.:</b>	<b>PROJECT NO.:</b>

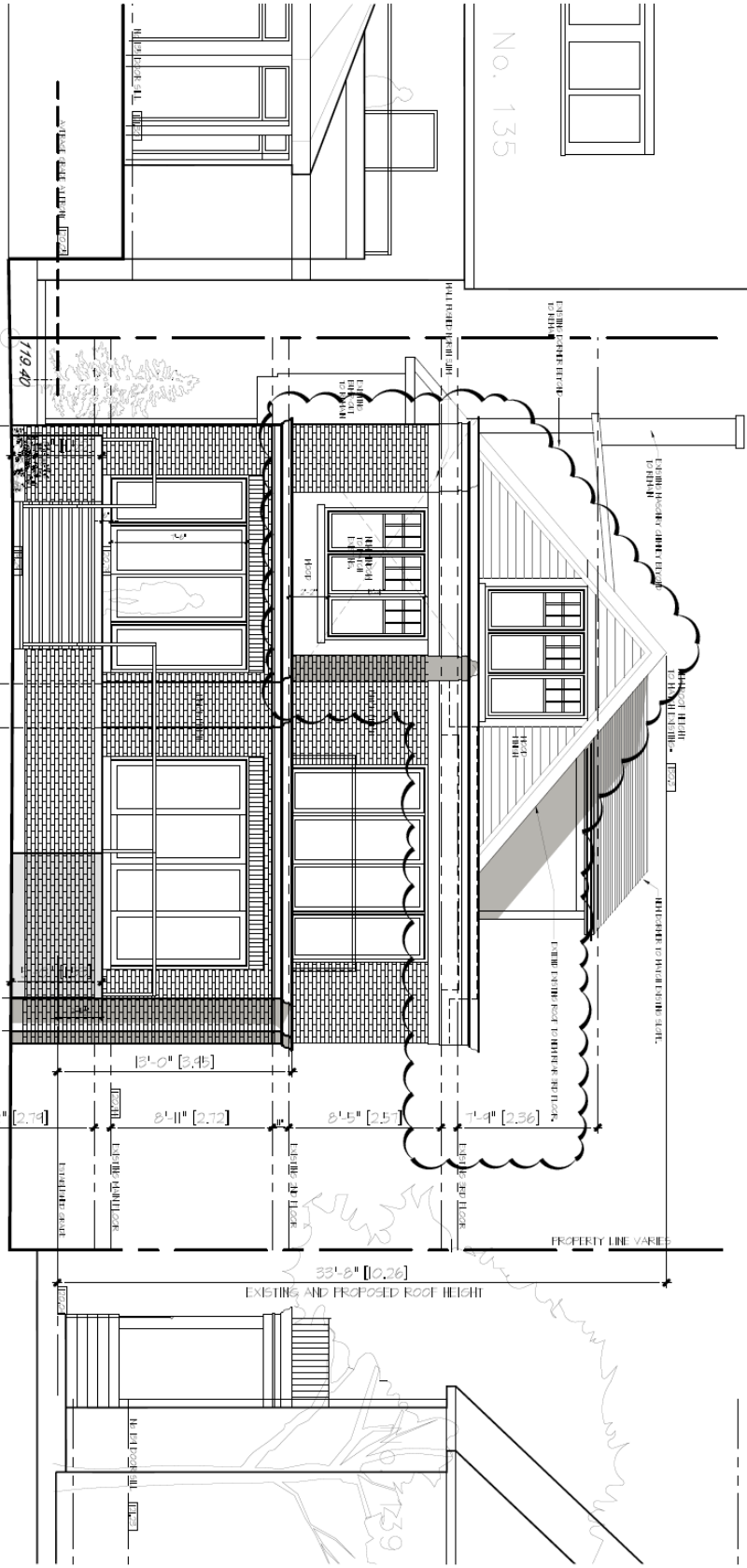
**DRAWING NO.:**  
**A-9**

**DATE:**  
**10/10/2014**

**DATE:**  
**10/10/2014**

HEAT EXCHANGER

No. 135



RESPONSIVE LEGEND	
1	SHOWN AS ISSUED FOR CLIENT REVIEW
2	SHOWN AS ISSUED FOR ZONING REVIEW
3	SHOWN AS ISSUED FOR ZONING REVIEW
4	SHOWN AS ISSUED FOR ZONING REVIEW
5	SHOWN AS ISSUED FOR ZONING REVIEW
6	SHOWN AS ISSUED FOR ZONING REVIEW
7	SHOWN AS ISSUED FOR ZONING REVIEW
8	SHOWN AS ISSUED FOR ZONING REVIEW

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**PETER HIGGINS ARCHITECT INC.**  
 137 REXBOROUGH DR  
 TORONTO, ONTARIO  
 TEL: (416) 494-4224  
 FAX: (416) 494-4244

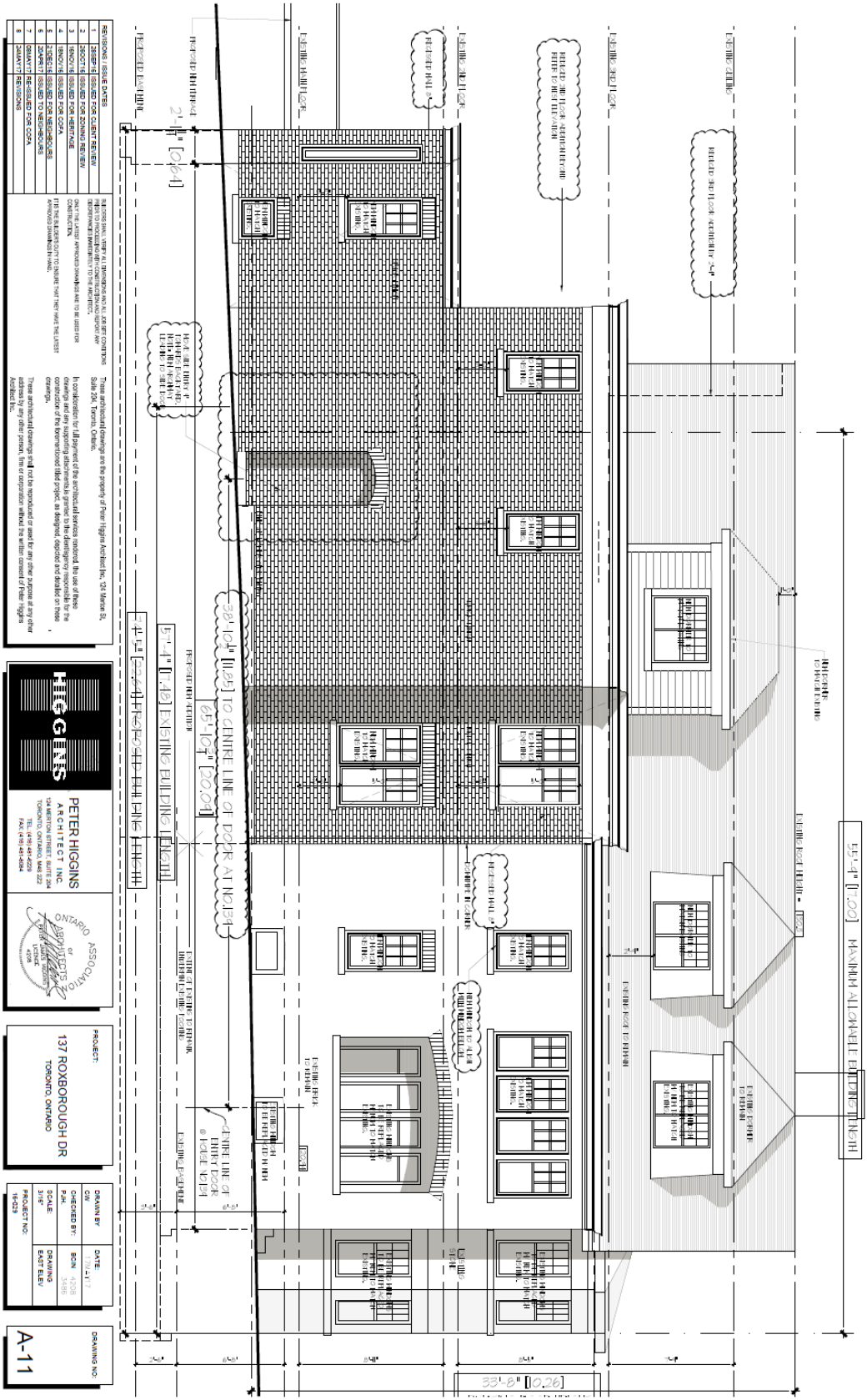


PROJECT:  
 137 REXBOROUGH DR  
 TORONTO, ONTARIO

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OW	1/17/11
CHECKED BY	DATE
OW	4/28/11
SCALE	DRAWING
3/8" = 1'-0"	CONTR. PLAN
PROJECT NO.	PROJECT NO.
14029	14029

DRAWING NO.  
**A-10**





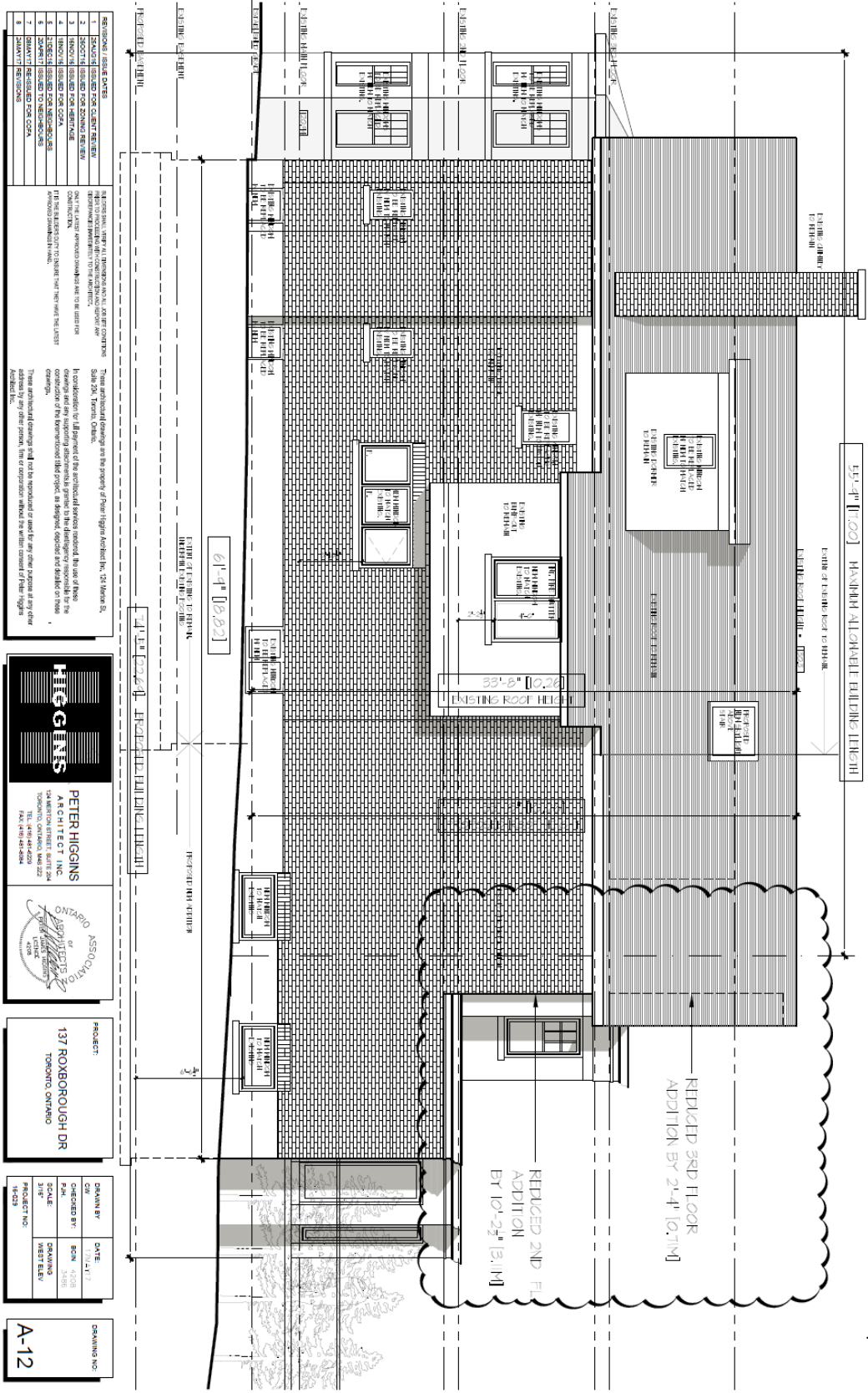
REVISIONS	DATE	DESCRIPTION
1	10/15/11	ISSUED FOR PERMITS
2	10/15/11	ISSUED FOR PERMITS
3	10/15/11	ISSUED FOR PERMITS
4	10/15/11	ISSUED FOR PERMITS
5	10/15/11	ISSUED FOR PERMITS
6	10/15/11	ISSUED FOR PERMITS
7	10/15/11	ISSUED FOR PERMITS
8	10/15/11	ISSUED FOR PERMITS

**HIGGINS**  
**PETER HIGGINS**  
 ARCHITECT INC.  
 137 ROXBOROUGH DR  
 TORONTO, ONTARIO  
 TEL: (416) 464-4228  
 FAX: (416) 464-4284

PROJECT:  
 137 ROXBOROUGH DR  
 TORONTO, ONTARIO

DATE	BY	CHECKED BY	SCALE
10/15/11	BN	BN	1/8" = 1'-0"
10/15/11	BN	BN	1/8" = 1'-0"
10/15/11	BN	BN	1/8" = 1'-0"

DRAWING NO:  
**A-11**



REVISIONS (DATE CHANGES)	
1	ISSUED FOR PERMIT
2	ISSUED FOR ZONING REVIEW
3	ISSUED FOR ZONING REVIEW
4	ISSUED FOR ZONING REVIEW
5	ISSUED FOR ZONING REVIEW
6	ISSUED FOR ZONING REVIEW
7	ISSUED FOR ZONING REVIEW
8	ISSUED FOR ZONING REVIEW

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 137 ROXBOROUGH DR  
 TORONTO, ONTARIO  
 TEL: (416) 464-4222  
 FAX: (416) 464-4224

PROJECT:	DRAWING NO:
137 ROXBOROUGH DR TORONTO, ONTARIO	A-12

DATE:	DATE:
17/04/11	17/04/11
05/05/11	05/05/11
15/05/11	15/05/11
16/05/11	16/05/11

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A1138/16TEY	Zoning	RD & R1 Z0.6 (PPR)
Owner(s):	FAZLOLLAH YOUSEFFPOURFARD	Ward:	Toronto Centre-Rosedale (27)
Agent:	PETER HIGGINS	Heritage:	Designated
Property Address:	<b>137 ROXBOROUGH DR</b>	Community:	Toronto
Legal Description:	PLAN 321 E LT 14		

---

Edmund Carlson (signed)

---

Joanne Hayes (signed)

---

Worrick Russell (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

---

Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A1205/16TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (BLD)
Owner(s):	FRIENDS OF SAINT FRANCIS INC	Ward:	Toronto-Danforth (29)
Agent:	FRIAR THOMAS PURCELL	Heritage:	Not Applicable
Property Address:	<b>106 ST HUBERT AVE</b>	Community:	East York
Legal Description:	PLAN 2979 PT LOT 3		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To reconstruct the existing rear detached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 200.5.1.10.(2), By-law 569-2013**  
The required parking space must have a minimum width of 3.2 m.  
The parking space will measure 2.97 m in width.
- 1. Section 4.23, By-law 6752**  
The required parking space must have a minimum width of 3.2 m.  
The parking space will measure 2.97 m in width.
- 2. Section 7.1.1.(4), By-law 6752**  
The maximum permitted accessory building or structure height is 3.6 m.  
The rear detached garage will have a height of 3.84 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A1205/16TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (BLD)
Owner(s):	FRIENDS OF SAINT FRANCIS INC	Ward:	Toronto-Danforth (29)
Agent:	FRIAR THOMAS PURCELL	Heritage:	Not Applicable
Property Address:	<b>106 ST HUBERT AVE</b>	Community:	East York
Legal Description:	PLAN 2979 PT LOT 3		

---

Edmund Carlson (signed)

---

Joanne Hayes (signed)

---

Worrick Russell (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

---

Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1219/16TEY	Zoning	R (d1.0)(x7) & R4 Z1.0 (ZZC)
Owner(s):	1957358 ONTARIO INC	Ward:	Trinity-Spadina (19)
Agent:	KELLY SMITH	Heritage:	Not Applicable
Property Address:	<b>230 CHRISTIE ST</b>	Community:	Toronto
Legal Description:	PLAN 778 BLK B N PT LOT 11		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To convert the existing two-storey mixed-use building containing one dwelling unit and ground floor retail into a residential building containing four dwelling units by constructing a rear three-storey addition with three dwelling units and converting the retail space into an extension of the existing dwelling unit.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.70.(2), By-law 569-2013**  
The minimum required rear yard setback is 7.5 m.  
The altered building will be located 6.75 m from the west rear lot line.
- 2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 1.0 times the area of the lot (233.0 m<sup>2</sup>).  
The altered building will have a floor space index equal to 1.8 times the area of the lot (420.0 m<sup>2</sup>).
- 3. Chapter 200.5.10.1.(1), By-law 569-2013**  
A minimum of 3 resident parking spaces and 1 visitor parking space are required to be provided.  
In this case, 2 parking spaces will be provided.
- 1. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted combined gross floor area is 1.0 times the area of the lot (233.0 m<sup>2</sup>).  
The altered building will have a residential gross floor area equal to 2.24 times the area of the lot (521.5 m<sup>2</sup>).

- 2. Section 6(3) Part II 3(II), By-law 438-86**  
The minimum required setback from the side wall of an adjacent building that contains openings is 1.2 m.  
The altered building will be located 0.48 m from the side wall of the south adjacent building at 228 Christie Street.
- 3. Section 6(3) Part II 3.A(I), By-law 438-86**  
The minimum required setback from a flanking street is 4.28 m.  
The altered building will be located 0 m from the north flanking street, Yarmouth Road.
- 4. Section 6(3) Part II 3(ii).(G), By-law 438-86**  
The minimum required south side yard setback is 7.5 m.  
The altered building will be located 0 m from the south side lot line.
- 5. Section 6(3) Part II 4, By-law 438-86**  
The minimum required rear yard setback is 7.5 m.  
The altered building will be located 6.75 m from the west rear lot line.
- 6. Section 6(3) Part II 5(I), By-law 438-86**  
The maximum permitted depth is 14.0 m.  
The altered building will have a depth of 29.0 m.
- 7. Section 6(3) Part III 1(A), By-law 438-86**  
A minimum of 30% of the lot area (70.0 m<sup>2</sup>) shall be landscaped open space.  
In this case, 10 % of the lot area (7.25 m<sup>2</sup>) will be landscaped open space.
- 8. Section 4(4)(p), By-law 438-86**  
A minimum of 4 parking spaces are required to be provided.  
In this case, 2 parking spaces will be provided.
- 9. Section 4(4)(c)(ii), By-law 438-86**  
Access to a parking space must be provided by an unobstructed driveway or passageway that is a minimum of 3.5 m wide for one-way operation.  
In this case, one parking space located in the rear will not be accessible to Yarmouth Road by a driveway or passageway 3.5 m wide.
- 10. Section 6(1), By-law 438-86**  
A residential building is not permitted in the R4 Zone.  
In this case, the residential building will be permitted.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

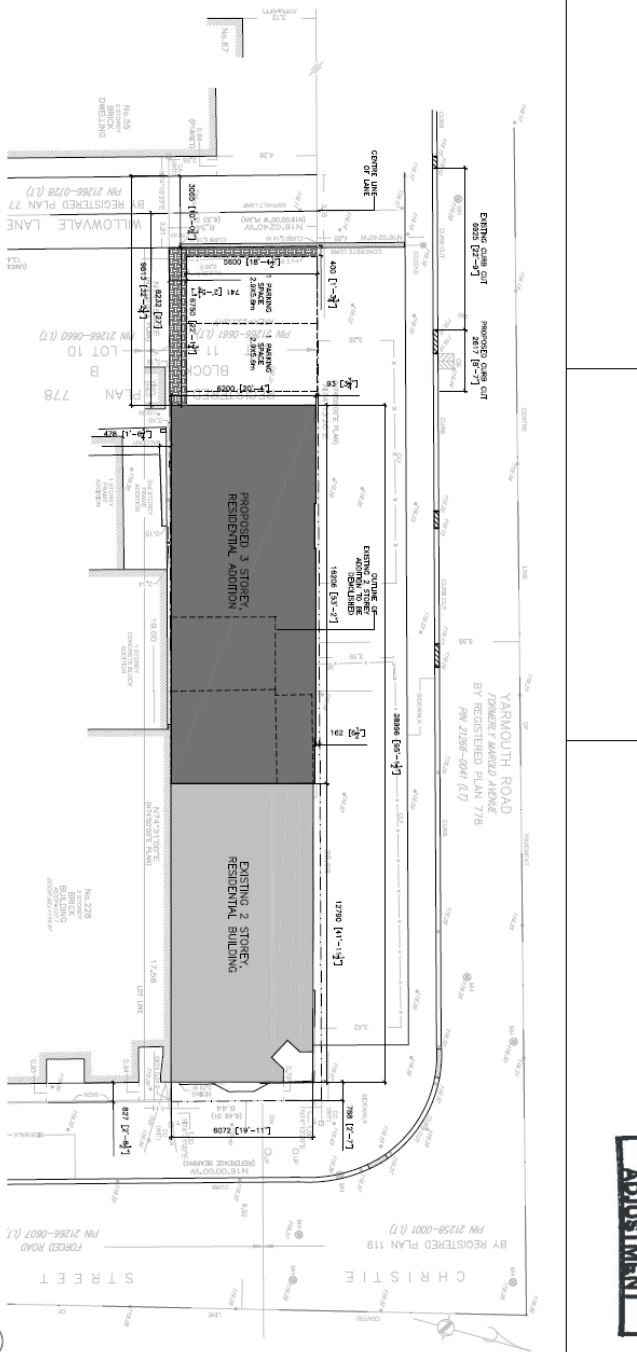
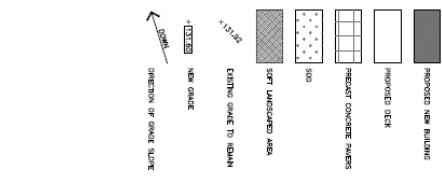
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The two rear parking spaces shall be constructed with permeable pavers.
- (2) The alterations and conversion of the existing mixed-use building shall be substantially in accordance with the plans date stamped received by the Committee of Adjustment on May 2, 2017. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.

URBAN GRAFT ARCHITECTS LTD., 6080S LAMB  
 1000 SHEPPARD AVENUE EAST, SUITE 100, SCARBOROUGH, ONTARIO M1S 4T8  
 TEL: 416-291-1555 FAX: 416-291-1556

CITY OF TORONTO ZONING INFORMATION	PROJ. NAME
1. LOCAL DESCRIPTION OF PROPERTY PLAN OF LOT 11, BLOCK B, REGISTERED PLAN 778, CITY OF TORONTO	PROJ. NAME 1965-2013
2. SITE AREA	2314.00 SQ. M.
3. LANDSCAPED AND EXPOSED SOILS AREA	1915.51 SQ. M.
4. LANDSCAPED AND EXPOSED SOILS AREA ADDITION FLOOR	1915.51 SQ. M.
TOTAL FLOOR AREA =	3830.51 SQ. M.
5. FLOOR AREA OF EXISTING 2 STOREY BUILDING	2180.53 SQ. M.
6. FLOOR AREA OF EXISTING TO REMAIN	1513.34 SQ. M.
7. TOTAL AREA (PROPOSED + EXISTING TO REMAIN)	4193.88 SQ. M.
8. PROPOSED TOTAL GROSS FLOOR AREA	1773.88 SQ. M.
9. PROPOSED TOTAL GROSS FLOOR AREA PER PERMITTED MAXIMUM HEIGHT	1194.81 SQ. M.
10. BLOCKING OF EXISTING/ADJACENT DRIVEWAY	3
11. NUMBER OF STOREYS ABOVE GROUND	3
12. NUMBER OF EXISTING STOREYS	2
13. NUMBER OF EXISTING STOREYS TO REMAIN	2
14. NUMBER OF EXISTING STOREYS TO REMAIN	2
15. NUMBER OF EXISTING STOREYS TO REMAIN	2
16. NUMBER OF EXISTING STOREYS TO REMAIN	2
17. LANDSCAPED SOILS SHEET	724 SQ. M.



**RECEIVED**  
MAY 02 2017  
COMMITTEE OF  
ADJUSTMENT

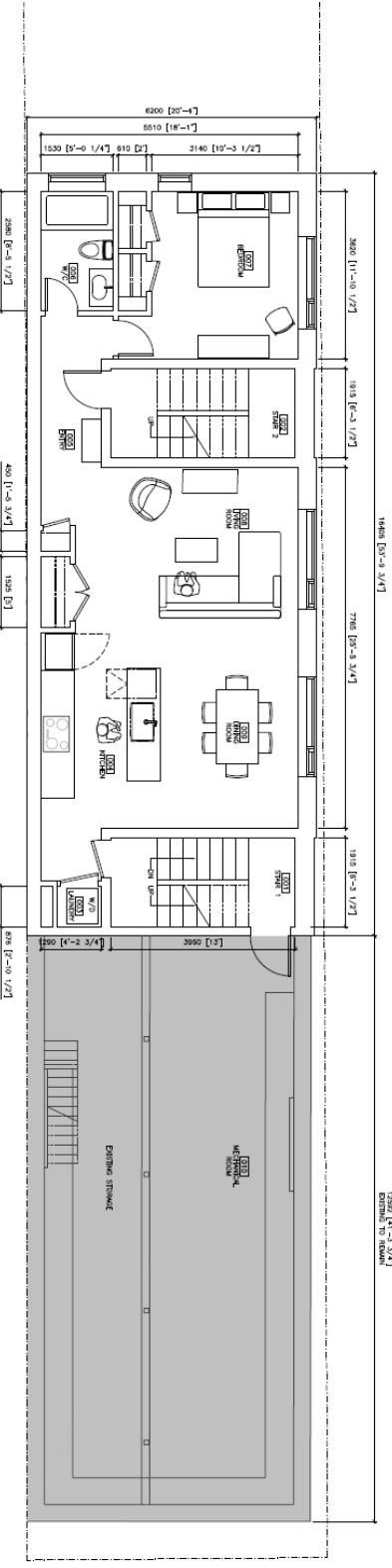
Revised

I, the undersigned, being the owner, owner's agent or architect, hereby certify that the above is a true and correct copy of the drawings as shown and approved for the site. I am not responsible for any errors or omissions in the drawings or for any consequences of work done thereon. I have read and understand the provisions of the Act and the Regulations and I am satisfied that the drawings comply with the requirements of the Act and the Regulations and I have received payment for the services rendered. I have read and understand the provisions of the Act and the Regulations and I am satisfied that the drawings comply with the requirements of the Act and the Regulations and I have received payment for the services rendered. I have read and understand the provisions of the Act and the Regulations and I am satisfied that the drawings comply with the requirements of the Act and the Regulations and I have received payment for the services rendered.



SITE PLAN  
 1:100  
**A001**

**Revised**  
**RECEIVED**  
 MAY 02 2017  
 COMMITTEE OF  
 ADJUSTMENT



BASMENT PLAN 1  
 1:50 A100

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NO.	DATE	DESCRIPTION
1	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
2	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
3	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
4	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
5	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
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9	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
10	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT



DESIGNED BY: J. STEPHEN  
 DRAWN BY: J. STEPHEN  
 CHECKED BY: J. STEPHEN  
 DATE: 2017.05.02

PROJECT: CHURCH APARTMENTS  
 LOCATION: 1000 BAYVIEW AVE. #207  
 CITY: SCARBOROUGH, ONTARIO M1S 5B7  
 DATE: 2017.05.02

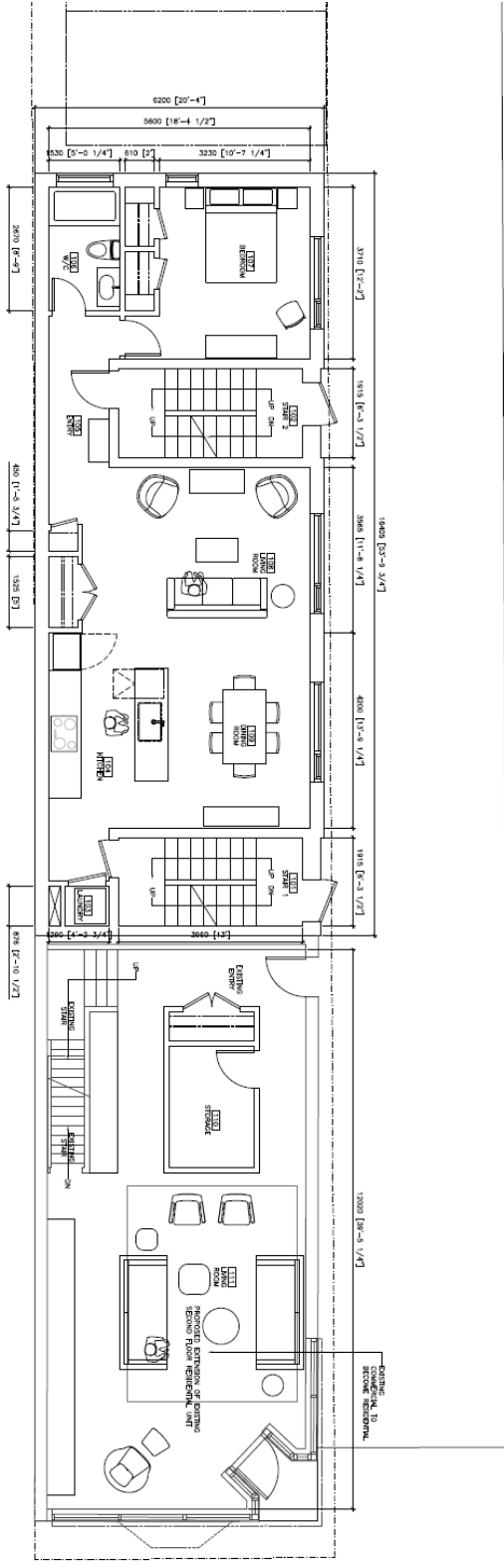
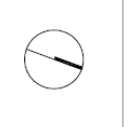
NO.	DATE	DESCRIPTION
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2	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
3	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
4	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
5	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
6	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
7	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
8	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
9	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT
10	2017.05.02	RECEIVED COMMITTEE OF ADJUSTMENT

**Revised**  
**RECEIVED**  
 MAY 02 2017  
 COMMITTEE OF  
 ADJUSTMENT

THE CLIENT HAS REVIEWED AND APPROVED THE PRELIMINARY PLAN AND DESIGN AND HAS AGREED TO THE DESIGN AND THE ARCHITECT'S OBLIGATIONS UNDER THIS AGREEMENT TO THE ARCHITECT FOR THE DESIGN AND CONSTRUCTION OF THE WORK.

ALL DRAWINGS AND OTHER DOCUMENTS AND MATERIALS PREPARED BY THE ARCHITECT AND PROVIDED TO THE CLIENT ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED TO THE ARCHITECT UPON COMPLETION OF THE WORK.

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CLIENT'S REVIEWED AND APPROVED THE PRELIMINARY PLAN AND DESIGN AND HAS AGREED TO THE DESIGN AND THE ARCHITECT'S OBLIGATIONS UNDER THIS AGREEMENT TO THE ARCHITECT FOR THE DESIGN AND CONSTRUCTION OF THE WORK.

ALL DRAWINGS AND OTHER DOCUMENTS AND MATERIALS PREPARED BY THE ARCHITECT AND PROVIDED TO THE CLIENT ARE THE PROPERTY OF THE ARCHITECT AND MUST BE RETURNED TO THE ARCHITECT UPON COMPLETION OF THE WORK.

DATE: \_\_\_\_\_

PROJECT: CENTRE APARTMENTS

PROJECT NO.: \_\_\_\_\_

CLIENT: \_\_\_\_\_

DATE: \_\_\_\_\_

SCALE: 1/320

DATE: \_\_\_\_\_

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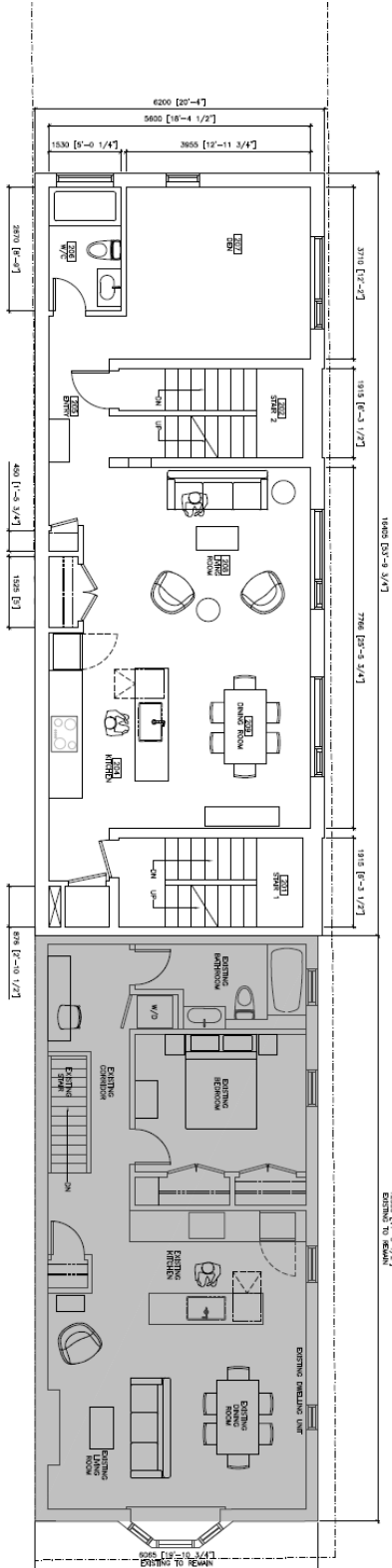
GROUND FLOOR PLAN

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 A101

RECEIVED  
 MAY 02 2017  
 COMMITTEE OF  
 ADJUSTMENT

*Revised*

1398 [1-1-1/27]  
 EXISTING TO REMAIN



SECOND FLOOR PLAN 1:50  
 A102

NO.	DATE	DESCRIPTION
1	10/23/13	ISSUED FOR PERMIT
2	05/27/14	ISSUED FOR PERMIT
3	08/20/14	ISSUED FOR PERMIT
4	02/27/15	ISSUED FOR PERMIT



PREPARED BY: STEVEN M. GENDRON, ARCHITECT

DATE: 10/23/13

PROJECT: CHURCH APARTMENTS  
 1000 BROADVIEW AVENUE, 2ND FLOOR  
 TORONTO, ONTARIO M6P 2B7

SCALE: AS SHOWN

DATE: 10/23/13

BY: S.M.G.

CHECKED: S.M.G.

DATE: 10/23/13

BY: S.M.G.

CHECKED: S.M.G.

DATE: 10/23/13

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DATE: 10/23/13

BY: S.M.G.

CHECKED: S.M.G.

**Revised**  
**RECEIVED**  
 MAY 02 2017  
 COMMITTEE OF  
 ADJUSTMENT

RECEIVED FROM THE ARCHITECT FOR THE ARCHITECT'S USE ONLY. THIS IS NOT A CONTRACT. THE CONTRACT IS THE ARCHITECTURE AGREEMENT AND ALL OTHER DOCUMENTS REFERRED TO IN THE AGREEMENT. ANY CHANGES TO THE CONTRACT SHALL BE MADE BY THE ARCHITECT AND THE CLIENT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK.

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	10/20/16	MM
2	ISSUED FOR PERMIT	10/20/16	MM
3	ISSUED FOR PERMIT	10/20/16	MM
4	ISSUED FOR PERMIT	10/20/16	MM
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8	ISSUED FOR PERMIT	10/20/16	MM
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10	ISSUED FOR PERMIT	10/20/16	MM



DESIGNED BY: STEPHEN B. STEPHENSON, ARCHITECT

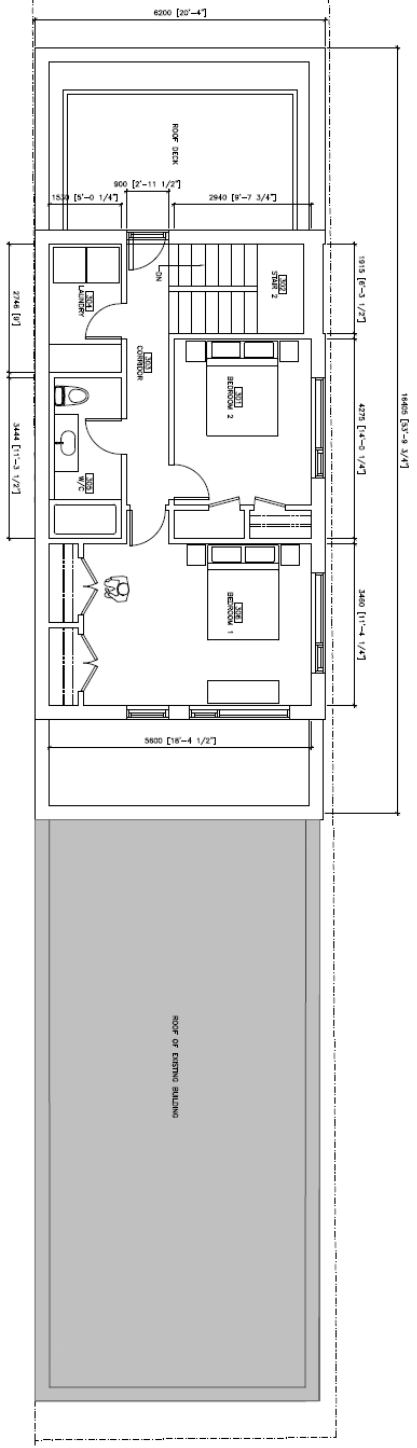
DATE: 10/20/16

PROJECT: CHURCH APARTMENTS  
 1000 WESTERN AVENUE, SUITE 307  
 TORONTO, ONTARIO M6P 1K7

THIS FLOOR PLAN

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	10/20/16	MM
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9	ISSUED FOR PERMIT	10/20/16	MM
10	ISSUED FOR PERMIT	10/20/16	MM

THIRD FLOOR PLAN 1  
 1:50 A103





REVISIONS TO THIS PLAN AND  
 INFORMATION ON THE PLAN AND  
 CONTRACT. THE ARCHITECT'S  
 CONSULTING FIRM HAS THE OBLIGATION  
 TO MAKE THE PLAN AND CONTRACT  
 CLEAR TO THE OWNER. THE OWNER  
 SHOULD CONSULT WITH THE ARCHITECT  
 BEFORE ANY CHANGES TO THE  
 CONTRACT OR THE PLAN ARE MADE.  
 ANY CHANGES TO THE CONTRACT  
 OR THE PLAN SHOULD BE MADE  
 BY THE ARCHITECT.  
 ALL DIMENSIONS AND FINISHES  
 SHOWN ON THIS PLAN ARE APPROXIMATE  
 AND SHOULD BE CHECKED BY THE  
 OWNER BEFORE CONSTRUCTION  
 OF THE WORK.

**Revised**  
**RECEIVED**  
 MAY 02 2017  
 COMMITTEE OF  
 ADJUSTMENT

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DESIGNED BY: STEPHEN BROWN, ARCHITECT

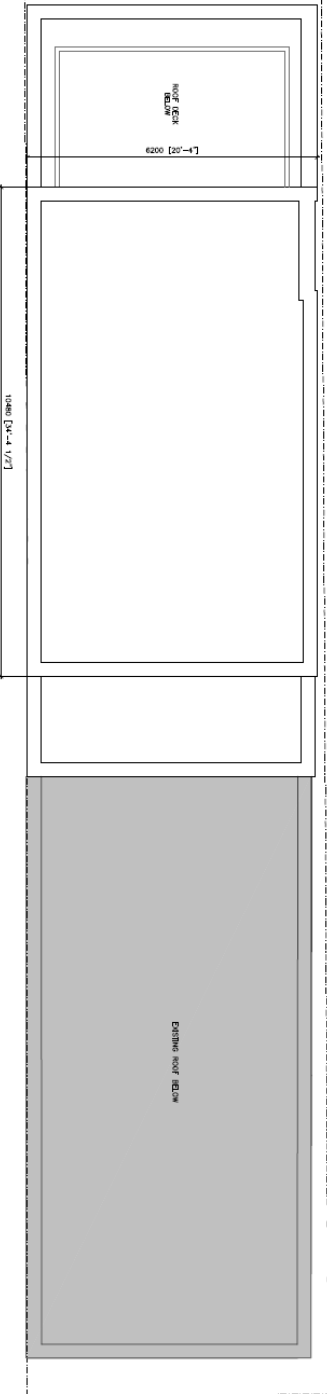
DATE: 10/15/17

OWNER: CHRYSLER APARTMENTS  
 1000 SHEPPARD AVENUE EAST  
 UNIT 1000  
 SCARBOROUGH, ONTARIO M1S 1W7

ROOF PLAN

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ROOF PLAN 1  
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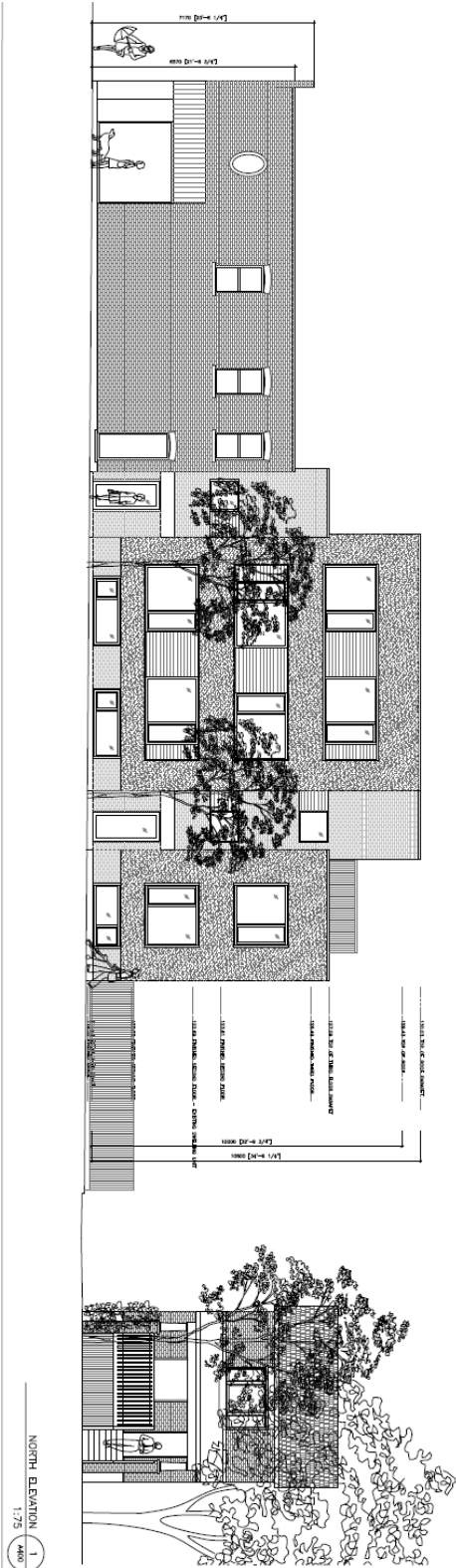


RECEIVED  
MAY 02 2017  
COMMITTEE OF  
ADJUSTMENT

Revised

NOTICE: THIS PLAN AND SPECIFICATIONS SHALL BE SUBJECT TO THE CITY ENGINEER'S REVIEW AND APPROVAL. THE CITY ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ENGINEER'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE PLAN AND DOES NOT CONSTITUTE AN ENDORSEMENT OR GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON.

NO.	DESCRIPTION	DATE	BY
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NORTH ELEVATION  
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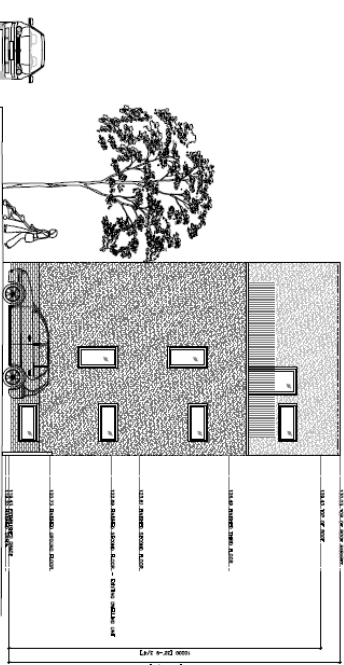
A400

PROJECT: CHURCH APARTMENTS	DATE: 10/15/16
CLIENT: CHURCH APARTMENTS	SCALE: 1/8" = 1'-0"
ARCHITECT: [FIRM NAME]	PROJECT NO: [PROJECT NO]
DATE: 10/15/16	SCALE: 1/8" = 1'-0"
PROJECT: CHURCH APARTMENTS	DATE: 10/15/16
CLIENT: CHURCH APARTMENTS	SCALE: 1/8" = 1'-0"
ARCHITECT: [FIRM NAME]	PROJECT NO: [PROJECT NO]
DATE: 10/15/16	SCALE: 1/8" = 1'-0"

**RECEIVED**  
 MAY 02 2017  
 COMMITTEE OF  
 ADJUSTMENT

RECEIVED FROM THE ARCHITECTURE ASSOCIATION OF ONTARIO FOR THE ARCHITECTURE BOARD OF ONTARIO. THIS RECEIPT IS NOT VALID UNLESS IT IS SIGNED BY THE ARCHITECTURE BOARD OF ONTARIO. ALL DRAWINGS AND SPECS MUST BE APPROVED AND SIGNED BY THE ARCHITECTURE BOARD OF ONTARIO. ANY CHANGES TO THE DRAWINGS MUST BE APPROVED BY THE ARCHITECTURE BOARD OF ONTARIO. ANY CHANGES TO THE SPECS MUST BE APPROVED BY THE ARCHITECTURE BOARD OF ONTARIO.

NO.	DESCRIPTION	DATE
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100	ISSUED FOR PERMIT	2017-01-10



WEST ELEVATION  
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 A401

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**SIGNATURE PAGE**

File Number:	A1219/16TEY	Zoning	R (d1.0)(x7) & R4 Z1.0 (ZZC)
Owner(s):	1957358 ONTARIO INC	Ward:	Trinity-Spadina (19)
Agent:	KELLY SMITH	Heritage:	Not Applicable
Property Address:	<b>230 CHRISTIE ST</b>	Community:	Toronto
Legal Description:	PLAN 778 BLK B N PT LOT 11		

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Edmund Carlson (signed)

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Joanne Hayes (signed)

---

Worrick Russell (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A1224/16TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (ZZC)
Owner(s):	CHAN YING ZHEN	Ward:	Beaches-East York (31)
Agent:	JAGDIP BARMİ	Heritage:	Not Applicable
Property Address:	<b>5 MACHOCKIE RD</b>	Community:	East York
Legal Description:	PLAN 3641 LOT 19		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling with an integral garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (106.65 m<sup>2</sup>).  
The lot coverage will be 41.0% of the lot area (124.92 m<sup>2</sup>).
  - 2. Chapter 10.20.40.10.(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.0 m.  
The height of all side exterior main walls facing a side lot line is 7.30 m.
  - 3. Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.45 times the area of the lot (137.12 m<sup>2</sup>).  
The new two-storey detached dwelling with an integral garage will have a floor space index equal to 0.74 times the area of the lot (226.55 m<sup>2</sup>).
  - 4. Chapter 200.5.1.10.(2)(A)(ii), By-law 569-2013**  
The minimum required parking space length is 5.6 m.  
The parking space will have a length of 5.42 m.
- 1. Section 5.6(C), By-law 6752**  
Eaves may project into a required side yard to a maximum of 0.46 m.  
The eaves will project 0.51 m into the south and north side yards.

**2. Section 7.2.3, By-law 6752**

The maximum permitted floor space index is 0.45 times the area of the lot (137.12 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.74 times the area of the lot (226.55 m<sup>2</sup>).

**3. Section 7.2.3, By-law 6752**

The minimum required front yard setback is 6.0 m.  
The new detached dwelling will be located 5.50 m from the west front lot line.

**4. Section 7.2.3, By-law 6752**

The maximum permitted lot coverage is 35% of the lot area (106.65 m<sup>2</sup>).  
The lot coverage will be 41.62% of the lot area (126.83 m<sup>2</sup>).

**5. Section 7.2.3, By-law 6752**

The minimum required rear yard setback is 9.0 m.  
The new detached dwelling will be located 8.42 m from east rear lot line.

**6. Section 5.40, By-law 6752**

The minimum required parking space length is 5.6 m.  
The parking space will have a length of 5.42 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (3) Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

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**SIGNATURE PAGE**

File Number:	A1224/16TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (ZZC)
Owner(s):	CHAN YING ZHEN	Ward:	Beaches-East York (31)
Agent:	JAGDIP BARMİ	Heritage:	Not Applicable
Property Address:	<b>5 MACHOCKIE RD</b>	Community:	East York
Legal Description:	PLAN 3641 LOT 19		

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Edmund Carlson (signed)

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Joanne Hayes (signed)

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Worrick Russell (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0032/17TEY	Zoning	RD (f12.0, a370, d0.6) H 8.5 & R1B (Waiver)
Owner(s):	CRESTLAND DEVELOPMENTS LTD	Ward:	Beaches-East York (31)
Agent:	TOM KATIS	Heritage:	Not Applicable
Property Address:	<b>31 PRESTEIGN AVE</b>	Community:	East York
Legal Description:	PLAN 3698 LOT 25		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling with a front covered porch, a rear ground floor deck, and an integral garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (135.9 m<sup>2</sup>).  
The lot coverage will be equal to 40.5% of the lot area (157.31 m<sup>2</sup>).
- 2. Chapter 10.20.40.10.(1), By-law 569-2013**  
The maximum permitted building height is 8.5 m.  
The altered dwelling will have a height of 8.95 m.
- 3. Chapter 10.20.40.10.(2)(A)(i), By-law 569-2013**  
The maximum permitted height of all front exterior main walls is 7 m.  
The height of the front exterior main walls will be 8.82 m.
- 4. Chapter 10.20.40.10.(2)(A)(ii), By-law 569-2013**  
The maximum permitted height of all rear exterior main walls is 7 m.  
The height of the rear exterior main walls will be 8.82 m.
- 5. Chapter 10.20.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls that do not face a street is 7 m.  
The height of the side exterior main walls will be **7.25 m**.

**6. Chapter 10.20.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (232.97 m<sup>2</sup>).

The altered dwelling will have a floor space index equal to 0.74 times the area of the lot (286 m<sup>2</sup>).

**1. 7.3.3, By-law 6752**

The maximum permitted building height is 8.5 m.

The altered dwelling will have a height of 8.95 m.

**2. Section 7.3.3, By-law 6752**

The maximum permitted lot coverage is 35% of the lot area (135.9 m<sup>2</sup>).

The lot coverage will be equal to 40.5% of the lot area (157.31 m<sup>2</sup>).

**3. Section 7.3.3, By-law 6752**

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (232.97 m<sup>2</sup>).

The altered dwelling will have a floor space index equal to 0.74 times the area of the lot (286 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**SIGNATURE PAGE**

File Number:	A0032/17TEY	Zoning	RD (f12.0, a370, d0.6) H 8.5 & R1B (Waiver)
Owner(s):	CRESTLAND DEVELOPMENTS LTD	Ward:	Beaches-East York (31)
Agent:	TOM KATIS	Heritage:	Not Applicable
Property Address:	<b>31 PRESTEIGN AVE</b>	Community:	East York
Legal Description:	PLAN 3698 LOT 25		

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Edmund Carlson (signed)

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Joanne Hayes (signed)

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Worrick Russell (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0054/17TEY	Zoning	RS(10.5; a325; d0.75)(x312) & R2A (ZZC)
Owner(s):	9670670 CANADA INC	Ward:	Toronto-Danforth (29)
Agent:	ANGUS SKENE	Heritage:	Not Applicable
Property Address:	<b>67 LEROY AVE</b>	Community:	East York
Legal Description:	PLAN 2037 PT LOT 235 PT LOT 236		

Notice was given and a Public Hearing was held on **Wednesday, June 7, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To legalize and to maintain the two-unit two-storey detached dwelling with front and rear one-storey additions which were constructed without a building permit.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.100.1.(1)(A), By-law 569-2013**  
The minimum required driveway width is 2.0 m.  
In this case, the driveway width will be 1.27 m.
- 2. Chapter 10.5.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 3.65 m.  
The altered building will be located 2.77 m from the front lot line, measured to the enclosed front porch.
- 3. Chapter 10.40.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback is 0.9 m.  
The front one-storey addition will be located 0.38 m from the south side lot line.
- 4. Chapter 10.40.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback is 0.9 m.  
The rear one-storey addition will be located 0.48 m from the south side lot line.
- 5. Chapter 10.40.40.20.(1)(A), By-law 569-2013**  
The maximum permitted building length is 17.0 m.  
The altered building will have a building length of 19.5 m.

**6. Chapter 10.5.50.10.(3)(A), By-law 569-2013**

A minimum of 50% (40.8 m<sup>2</sup>) of the rear yard must be maintained as soft landscaping. In this case, 9.8% (8.0 m<sup>2</sup>) of the rear yard will be maintained as soft landscaping.

**7. Chapter 150.10.40.1.(3)(A), By-law 569-2013**

A secondary suite is a permitted use provided that an exterior alteration to a building to accommodate a secondary suite does not alter a main wall or roof that faces a street. The additions to the building will alter the front main wall that faces the street.

**1. Section 5.6 (G), By-law 6752**

A minimum setback of 0.45 m is required from all lot lines  
The rear shed will be setback 0.38 m from the north side lot line.

**2. Section 7.5.3, By-law 6752**

A minimum of two parking spaces are required to be provided behind the main front wall. In this case, there will be zero parking spaces provided behind the main front wall.

**3. Section 7.5.3, By-law 6752**

The maximum permitted building length is 16.75 m.  
The altered building will have a building length of 19.50 m.

**4. Section 7.1.2.(2), By-law 6752**

The maximum permitted lot coverage is 35% of the lot area (81.6 m<sup>2</sup>).  
The altered building will have a lot coverage equal to 44% of the lot area (103 m<sup>2</sup>).

**5. Section 7.1.2.(2), By-law 6752**

The minimum required side yard setback is 0.6 m.  
The front one-storey addition will be located 0.38 m from the south side lot line.

**6. Section 7.1.2.(2), By-law 6752**

The minimum required side yard setback is 0.6 m.  
The rear one-storey addition will be located 0.48 m from the south side lot line.

**7. Section 7.1.2.(2), By-law 6752**

The minimum required rear yard setback is 9.0 m.  
The altered building will be located 8.39 m from the rear lot line.

**8. Section 7.1.3.(e), By-law 6752**

One additional Dwelling Unit may be permitted within each One-Family Detached Dwelling, provided there is no addition to, nor substantial alteration to, the exterior appearance of the front of the One-Family Detached Dwelling and, in the case of a corner lot, on the side of the One-Family Detached Dwelling facing a street, as a result of the introduction of a second suite, including but not limited to, a new private entrance in any street facade.  
The exterior appearance of the front wall will be substantially alternated.

**9. Section 5.6.(b)(iii), By-law 6752**

Steps or stairs required for access to the first storey of a building may encroach into any yard, provided the steps or stairs are set back a minimum of 1.5 m from any lot line adjacent to the street. The front stairs will be located 1.13 m from the front lot line adjacent to a street.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.



## Appeal Information

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Property Address:	<b>67 LEROY AVE</b>	Community:	East York
Legal Description:	PLAN 2037 PT LOT 235 PT LOT 236		

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Edmund Carlson (signed)

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Joanne Hayes (signed)

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Worrick Russell (signed)

DATE DECISION MAILED ON: **TUESDAY, JUNE 13, 2017**

LAST DATE OF APPEAL: **TUESDAY, JUNE 27, 2017**

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Anita M. MacLeod  
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