

Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**CONSENT**  
**(Section 53 of the Planning Act)**

File Number:	B0009/17NY	Zoning	RM/ R2 [ZZC]
Owner(s):	CORELL HOMES INC.	Ward:	Eglinton-Lawrence (15)
Agent:	CORELL HOMES INC.	Heritage:	Not Applicable
Property Address:	<b>38 ALAMEDA AVE</b>	Community:	York
Legal Description:	PLAN 1862 LOT 50		

Notice was given and the application considered on Wednesday, June 21, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

To obtain consent to sever the property into two undersized residential lots.

**CONVEYED - PART 1**

Address to be assigned.

The proposed lot frontage is 6.71m. The proposed lot area is 157.60m<sup>2</sup>.

The property will be redeveloped as the site of one-half of a new three-storey semi-detached dwelling requiring variances to the applicable zoning By-law(s) - A0127/17NY

**RETAINED - PART 2**

Address to be assigned.

The proposed lot frontage is 5.61m. The proposed lot area is 167.80m<sup>2</sup>.

The property will be redeveloped as the site of one-half of a new three-storey semi-detached dwelling requiring variances to the applicable zoning By-law(s) - A0128/17NY.

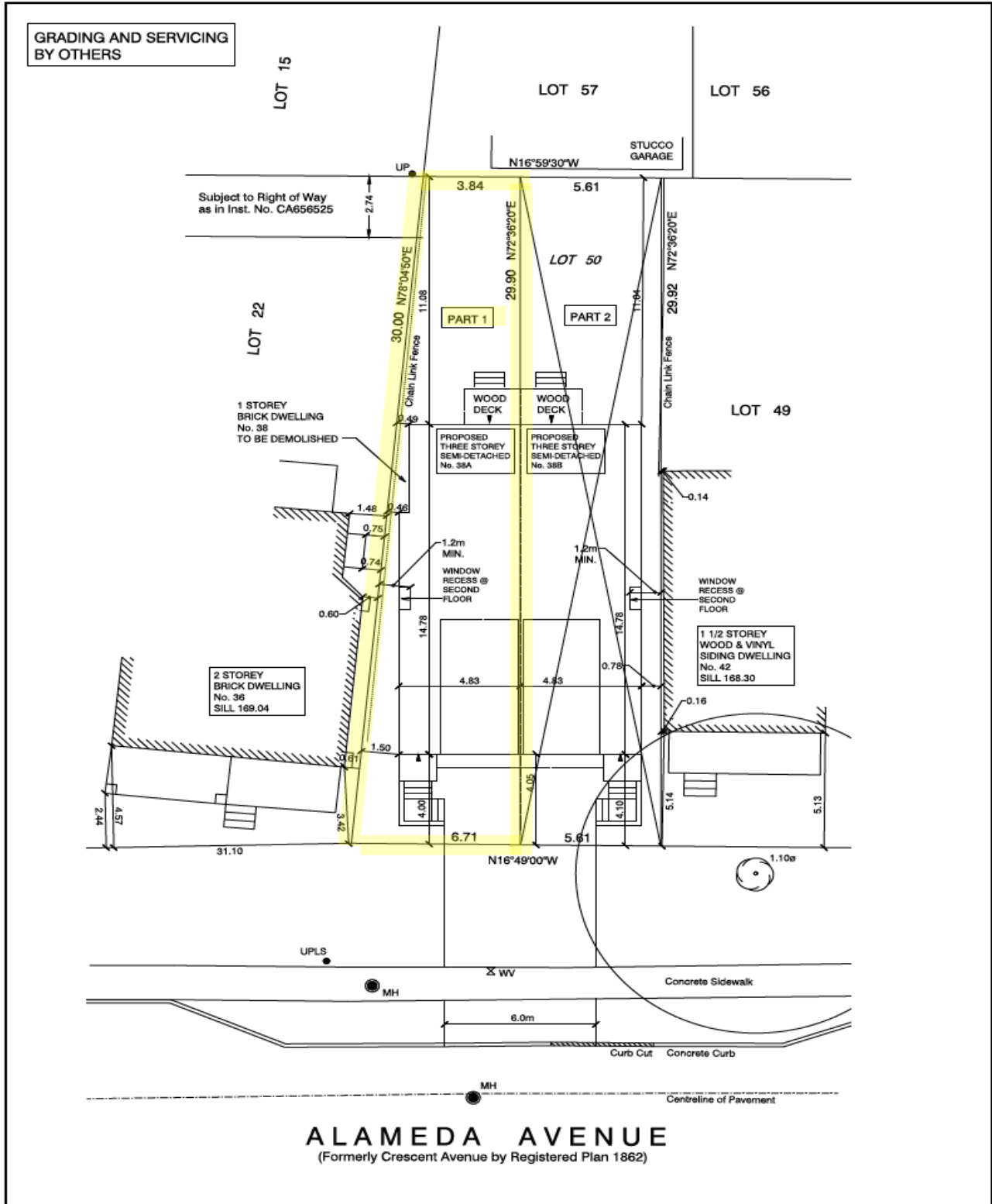
**Applications B0009/17NY, A0127/17NY, A0128/17NY will be considered jointly.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; [jhouse@toronto.ca](mailto:jhouse@toronto.ca), or his designates, Elizabeth Machynia, at 416-338-5029; [emachyni@toronto.ca](mailto:emachyni@toronto.ca), John Fligg at 416-338-5031; [jfligg@toronto.ca](mailto:jfligg@toronto.ca)
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; [jhouse@toronto.ca](mailto:jhouse@toronto.ca) .
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) The associated minor variance decisions, A0127/17NY, A0128/17NY be declared Final and Binding.
- (6) The applicant shall submit the necessary application for permits to injure or remove street trees to Urban Forestry, City of Toronto Municipal Code Chapter 813, Article II
- (7) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



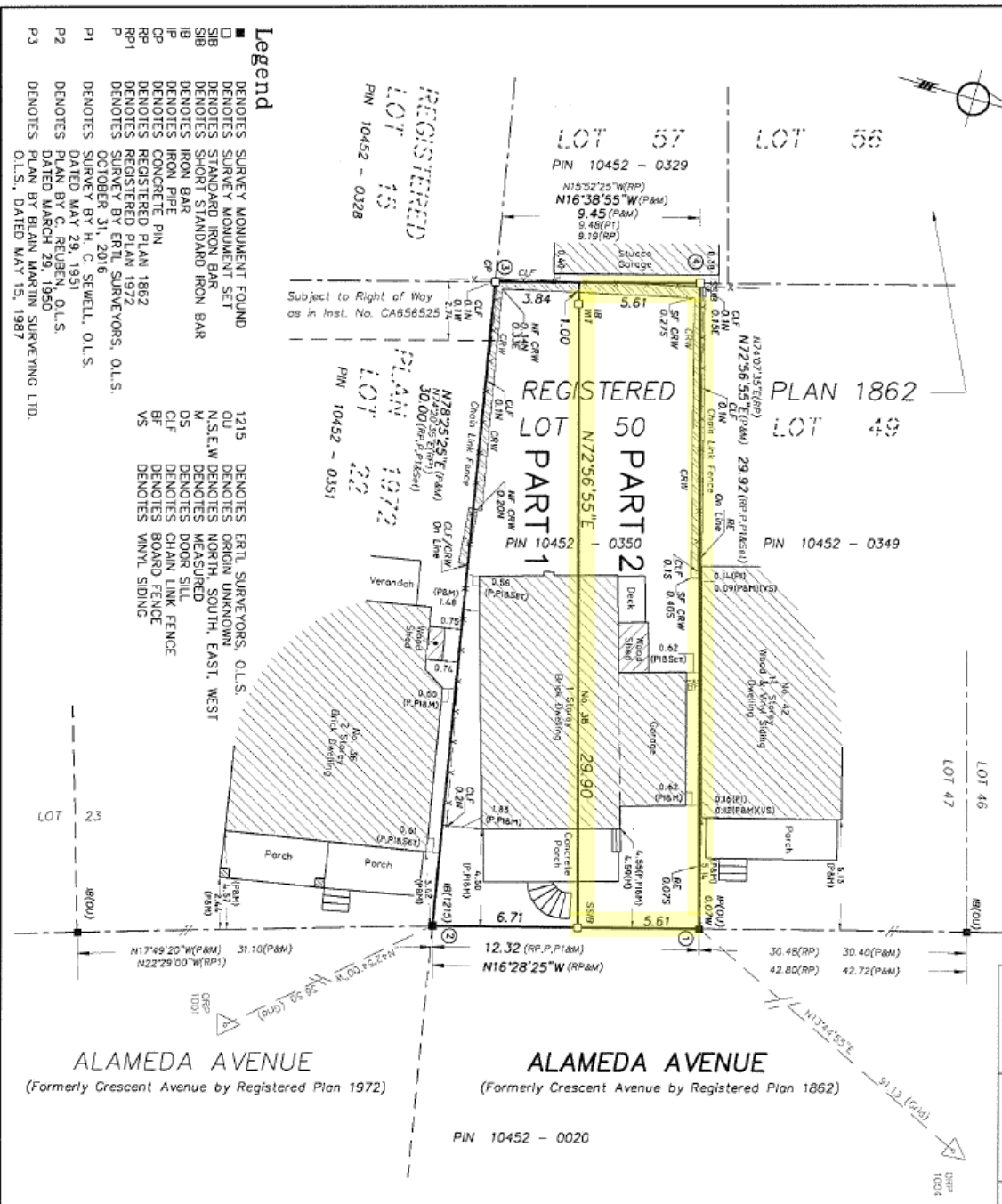
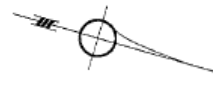
<b>BCIN INFORMATION</b>	
The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.	
<b>QUALIFICATION INFORMATION</b>	
Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.	
Dean Ruffolo	23640
NAME	SIGNATURE
<b>REGISTRATION INFORMATION</b>	
Required unless design is exempt under subsections 3.2.4. and 3.2.5. of Division C of the Ontario Building Code.	
Dero Building Designs Consultants Inc.	29051
FIRM NAME	BCIN
This Certification is NOT valid unless accompanied by an original signature.	

<b>SITE STATISTICS</b>	
<b>PART 1 (No. 38A)</b>	
LOT AREA	157.60 m <sup>2</sup>
TOTAL AREA	180.30 m <sup>2</sup> (1.14%)
MAX. ROOF HEIGHT (AG)	11.00 m
PROP. ROOF HEIGHT (AG)	10.62 m
MAX. ROOF HEIGHT (EG)	11.00 m
PROP. ROOF HEIGHT (EG)	10.97 m
<b>LANDSCAPE</b>	
FRONT YARD AREA	26.2 m <sup>2</sup>
DRIVEWAY AREA	12.1 m <sup>2</sup> (47%)
LANDSCAPING AREA	14.1 m <sup>2</sup> (53%)
PORCH/WALKWAY AREA	6.0 m <sup>2</sup>
SOFT LANDSCAPING AREA	8.1 m <sup>2</sup> (57%)

<b>NORTH</b>	
<b>SITE PLAN SHOWING PROPOSED THREE STOREY SEMI-DETACHED ON LOT 50, RP 1862</b> <b>PART 1</b> <b>38 ALAMEDA AVENUE, CITY OF TORONTO (FORMERLY CITY OF NORTH YORK)</b>	
<b>CORELL HOMES</b>	

20 Warden Rd. U13 Richmond Hill, Ontario L4B 3A5 T 905 889 9434 F 905 889 9435 info@derodesigns.com www.derodesigns.com	
DATE: DEC 15, 2016	SCALE: 1:150

METRIC: ALL DIMENSIONS SHOWN ON THIS PLAN ARE IN METERS AND MAY BE CONVERTED TO FEET BY DIVIDING BY 0.3048



**Coordinates**

POINT	NORTHING	EASTING
1	4839180.55	309781.07
2	4839188.74	309784.56
3	4839162.72	309752.17
4	4839171.78	309752.46

**PLAN 66R -**

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

RECEIVED AND DEPOSITED DATE

Y. BOGDANOV  
ONTARIO LAND SURVEYOR

REPRESENTATIVE OF THE LAND REGISTRAR FOR THE LAND TITLES DIVISION OF TORONTO (No. 66)

Metric DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

**Schedule**

PART	PART OF LOT	REGISTERED PLAN/ALL OF PLAN	AREA (sqm)
1	50	1862	157.6
2	50	10452-0350	167.8

**PLAN OF SURVEY OF LOT 50**  
**REGISTERED PLAN 1862**  
**CITY OF TORONTO**  
 (FORMERLY CITY OF NORTH YORK)

SCALE 1:200  
 0 1 2 3 4 5  
 10 15 20m  
**ertl surveyors 2016**  
 Ontario Land Surveyors

**Integration**

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE GROUND (UNLESS OTHERWISE NOTED) AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9997950. BEARINGS ARE MIN. GRID, DERIVED FROM OBSERVED REFERENCE POINTS (ORP) 1001 AND 1004 IN NAD83 (CSRS) 2010.0) AND ARE REFERRED TO THE CENTRAL MERIDIAN OF NTM ZONE 10 (79°30' WEST LONGITUDE). A ROTATION OF 0°20'35" CLOCKWISE FOR BEARING COMPARISONS. A ROTATION OF 0°20'35" CLOCKWISE WAS APPLIED TO BEARINGS THAT APPEAR ON ALL SHOWN PLANS. COORDINATES ARE NTM ZONE 10, NAD83 (CSRS) TO URBAN ACCURACY PER SEC. 14 (2) OF O. REG. 216/10 AND CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

POINT ID      NORTHING      EASTING  
 ORP 1001      4839142.005      309809.402  
 ORP 1004      4839289.088      309759.408

**Surveyor's Certificate**

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYOR'S ACT, THE SURVEYOR'S ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 25th DAY OF OCTOBER, 2016

Date \_\_\_\_\_

**Yury Bogdanov**  
 Ontario Land Surveyor

**ertl surveyors**  
 Ontario Land Surveyors

1234 REID STREET, UNIT 10, RICHMOND HILL, L4B 1C1  
 TELEPHONE (905) 751-7834 FAX (905) 751-7852 EMAIL info@ertl.com  
 DRAWING: 16484-ALAMEDA 38-RP-DWG PROJECT: 18484  
 CALC. BY AL/GI, DRAWN BY DH/GI, CHECKED BY GI/YB

- Legend**
- DENOTES SURVEY MONUMENT FOUND
  - DENOTES SURVEY MONUMENT SET
  - SIB DENOTES STANDARD IRON BAR
  - IB DENOTES SHORT STANDARD IRON BAR
  - IP DENOTES IRON PIPE
  - CP DENOTES CONCRETE PIN
  - RP DENOTES REGISTERED PLAN 1862
  - RP1 DENOTES REGISTERED PLAN 1972
  - P DENOTES SURVEY BY ERTL SURVEYORS, O.L.S.
  - P1 DENOTES SURVEY BY H. C. SEWELL, O.L.S.
  - P2 DENOTES DATED MAY 29, 1951
  - P3 DENOTES DATED MARCH 29, 1950
  - P3 DENOTES PLAN BY BLAIN MARTIN SURVEYING LTD. O.L.S., DATED MAY 15, 1987

- 1215 DENOTES ERTL SURVEYORS, O.L.S.
- QU DENOTES ORIGIN UNKNOWN.
- N.S.E.W DENOTES NORTH, SOUTH, EAST, WEST
- M DENOTES MEASURED
- DS DENOTES DOOR SILL
- CLF DENOTES CHAIN LINK FENCE
- BF DENOTES BOARD FENCE
- VS DENOTES VINYL SIDING

REGISTERED LOT 15 PIN 10452 - 0328

REGISTERED LOT 50 PART 1 PART 2 PIN 10452

REGISTERED LOT 22 PIN 10452 - 0351

ALAMEDA AVENUE (Formerly Crescent Avenue by Registered Plan 1972)

ALAMEDA AVENUE (Formerly Crescent Avenue by Registered Plan 1862)

PIN 10452 - 0020

## SIGNATURE PAGE

File Number:	B0009/17NY	Zoning	RM/ R2 [ZZC]
Owner(s):	CORELL HOMES INC.	Ward:	Eglinton-Lawrence (15)
Agent:	CORELL HOMES INC.	Heritage:	Not Applicable
Property Address:	<b>38 ALAMEDA AVE</b>	Community:	York
Legal Description:	PLAN 1862 LOT 50		

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Bruce Mullock (signed)

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Nazila Atarodi (signed)

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Isaac Lallouz (signed)

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Nadini Sankar (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 18, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0127/17NY	Zoning	RM/ R2 [ZZC]
Owner(s):	CORELL HOMES INC.	Ward:	Eglinton-Lawrence (15)
Agent:	CORELL HOMES INC.	Heritage:	Not Applicable
Property Address:	<b>38 ALAMEDA AVE – PART 1</b>	Community:	York
Legal Description:	PLAN 1862 LOT 50		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey, semi-detached dwelling with integral garage. The existing structure would be demolished. Applications B009/17NY, A0127/17NY, A0128/17NY will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.80.30.10.(1) A), By-law No. 569-2013**  
The minimum required lot area is 225.00m<sup>2</sup>.  
The proposed lot area is 157.60m<sup>2</sup>.
- 2. Chapter 10.80.40.40.(1) A), By-law No. 569-2013**  
The maximum permitted floor space index is 0.80 times the area of the lot.  
The proposed floor space index is **1.06** times the area of the lot.
- 3. Chapter 10.80.30.20.(1) A), By-law No. 569-2013**  
The minimum required lot frontage is 7.50m.  
The proposed lot frontage is 6.71m.
- 4. Chapter 10.80.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 4.27m.  
The proposed front yard setback is 4.00m.
- 5. Chapter 10.80.40.70.(3) B), By-law No. 569-2013**  
The minimum required side yard setback for a semi-detached house is 1.50m.  
The proposed south side yard setback is 0.46m.
- 6. Chapter 10.80.40.50.(2) A), By-law No. 569-2013**  
The maximum permitted number of platforms/balconies at or above the second storey located on the rear wall of a semi-detached house is 1.

The proposed number of platforms located on the rear wall is 2.

**7. Chapter 10.80.40.50.(2) B), By-law No. 569-2013**

The maximum permitted area of each platform/balcony at or above the second storey of a semi-detached house is 4.00m<sup>2</sup>.

The proposed area of the rear, second-floor balcony is 8.53m<sup>2</sup>.

**8. Chapter 10.80.40.50.(2) B), By-law No. 569-2013**

The maximum permitted area of each platform/balcony at or above the second storey of a semi-detached house is 4.00m<sup>2</sup>.

The proposed area of the rear, third-floor balcony is 5.01m<sup>2</sup>.

**9. Chapter 10.80.40.50.(2) C), By-law No. 569-2013**

The minimum required setback for a balcony at the rear of the dwelling located at or above the second storey is 1.80m from the common wall dividing the dwelling units.

The proposed setback is 0.00m.

**10. Section (3)(1), By-law No. 1-83**

The maximum floor space index is 0.80 times the lot area.

The proposed floor space index is 1.14 times the lot area.

**11. Section 3.(a), By-law No. 1-83**

The minimum side yard setback is 1.20m.

The proposed south side yard setback is 0.46m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The applicant shall submit the necessary application for permits to injure or remove street trees to Urban Forestry, City of Toronto Municipal Code Chapter 813, Article II
- (2) The applicant is to provide permanent opaque screening or fencing along the edges of each of the proposed rear balcony/platform at the second storey and third storey with a minimum height of 1.5 metres from the floor of the balcony/platform.
- (3) The applicant is to provide permanent opaque screening or fencing along the edges of each of the proposed rear balcony/platform at the second storey and third storey with a minimum height of 1.5 metres from the floor of the balcony/platform.



- (4) An existing bollard is located on the boulevard along the frontage of the site. As part of the proposal, the bollard will need to be relocated approximately one metre north of the proposed driveway. The site plan must be revised to show the existing bollard and its relocation. All costs associated with relocation of the bollard shall be paid by the owner

**SIGNATURE PAGE**

File Number:	A0127/17NY	Zoning	RM/ R2 [ZZC]
Owner:	CORELL HOMES INC.	Ward:	Eglinton-Lawrence (15)
Agent:	CORELL HOMES INC.	Heritage:	Not Applicable
Property Address:	<b>38 ALAMEDA AVE – PART 1</b>	Community:	York
Legal Description:	PLAN 1862 LOT 50		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0128/17NY	Zoning	RM/ R2 [ZZC]
Owner(s):	CORELL HOMES INC.	Ward:	Eglinton-Lawrence (15)
Agent:	CORELL HOMES INC.	Heritage:	Not Applicable
Property Address:	<b>38 ALAMEDA AVE – PART 2</b>	Community:	York
Legal Description:	PLAN 1862 LOT 50		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey, semi-detached dwelling with integral garage. The existing structure would be demolished. Applications B009/17NY, A0127/17NY, A0128/17NY will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.80.40.40.(1) A), By-law No. 569-2013**  
The maximum permitted floor space index is 0.80 times the area of the lot.  
The proposed floor space index is **1.02** times the area of the lot.
- 2. Chapter 10.80.30.10.(1) B), By-law No. 569-2013**  
The minimum required lot area is 225.00m<sup>2</sup>.  
The proposed lot area is 167.80m<sup>2</sup>.
- 3. Chapter 10.80.30.20.(1) C), By-law No. 569-2013**  
The minimum required lot frontage is 7.50m.  
The proposed lot frontage is 5.61m.
- 4. Chapter 10.80.40.50.(2) A), By-law No. 569-2013**  
The maximum permitted number of balconies/platforms at or above the second storey located on the rear wall of a semi-detached house is 1.  
The proposed number of platforms located on the front/rear wall is 2.
- 5. Chapter 10.80.40.50.(2) B), By-law No. 569-2013**  
The maximum permitted area of each balcony at or above the second storey of a semi-detached house is 4.00m<sup>2</sup>.  
The proposed area of the rear, second-floor balcony is 5.01m<sup>2</sup>.
- 6. Chapter 10.80.40.50.(2) B), By-law No. 569-2013**

The maximum permitted area of each balcony at or above the second storey of a semi-detached house is 4.00m<sup>2</sup>.

The proposed area of the rear, third-floor balcony is 8.79m<sup>2</sup>.

**7. Chapter 10.80.40.50.(2) C), By-law No. 569-2013**

The minimum required setback for a balcony at the rear of the dwelling located at or above the second storey is 1.80m from the common wall dividing the dwelling units.

The proposed setback is 0.00m.

**8. Chapter 10.80.40.10.(2) B)(ii), By-law No. 569-2013**

The maximum permitted height of all side exterior main walls facing a side lot line is 8.50m.

The proposed height of the side exterior main walls facing a side lot line is 9.21m.

**9. Chapter 10.80.40.70.(1), By-law No. 569-2013**

The minimum required front yard setback is 4.36m.

The proposed front yard setback is 4.01m.

**10. Chapter 10.80.40.70.(3) B), By-law No. 569-2013**

The minimum required side yard setback for a semi-detached house is 1.50m.

The proposed south side yard setback is 0.78m.

**11. Section 3.(a), By-law No. 1-83**

The maximum floor space index is 0.80 times the lot area.

The proposed floor space index is 1.09 times the lot area.

**12. Section 3, By-law No. 1-83**

The minimum lot frontage is 6.00m.

The proposed lot frontage is 5.61m.

**13. Section 3.(a), By-law No. 1-83**

The minimum side yard setback is 1.20m.

The proposed north side yard setback is 0.78m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The applicant shall submit the necessary application for permits to injure or remove street trees to Urban Forestry, City of Toronto Municipal Code Chapter 813, Article II

- (2) The applicant is to provide permanent opaque screening or fencing along the edges of each of the proposed rear balcony/platform at the second storey and third storey with a minimum height of 1.5 metres from the floor of the balcony/platform.
- (3) The applicant is to provide permanent opaque screening or fencing along the edges of each of the proposed rear balcony/platform at the second storey and third storey with a minimum height of 1.5 metres from the floor of the balcony/platform.
- (4) An existing bollard is located on the boulevard along the frontage of the site. As part of the proposal, the bollard will need to be relocated approximately one metre north of the proposed driveway. The site plan must be revised to show the existing bollard and its relocation. All costs associated with relocation of the bollard shall be paid by the owner

**SIGNATURE PAGE**

File Number:	A0128/17NY	Zoning	RM/ R2 [ZZC]
Owner:	CORELL HOMES INC.	Ward:	Eglinton-Lawrence (15)
Agent:	CORELL HOMES INC.	Heritage:	Not Applicable
Property Address:	<b>38 ALAMEDA AVE – PART 2</b>	Community:	York
Legal Description:	PLAN 1862 LOT 50		

\_\_\_\_\_  
Bruce Mullock (signed)

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Nazila Atarodi (signed)

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DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

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Dan Antonacci  
Manager & Deputy Secretary Treasurer  
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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**CONSENT**  
**(Section 53 of the Planning Act)**

File Number:	B0051/16NY	Zoning	R4/RD(ZR)
Owner(s):	MOHAMMAD REZA JAMNEJAD	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>105 CHURCHILL AVE</b>	Community:	North York
Legal Description:	PLAN 3163 PT LOT 55		

Notice was given and the application considered on Wednesday, June 21, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

To obtain consent to sever a portion of land for the purpose of a lot addition.

**RETAINED - Part 4**

Part 4 has a lot frontage of 10.82m and a lot area of 465.81m<sup>2</sup>. The lot will be redeveloped with a new detached residential dwelling.

**CONVEYED - Part 3**

Part 3 has a lot frontage of 5.41m and a lot area of 232.45m<sup>2</sup>. Part 3 will be added to Part 2 (severed from B0052/16NY) to create a new building lot with a frontage of 10.82m and a lot area of 464.99m<sup>2</sup>. Parts 3 and 2 will be redeveloped with a new detached residential dwelling.

**Applications B0051/16NY, B0052/16NY, A0705/16NY, A0706/16NY, A0707/16NY will be considered jointly.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Refused**

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

**SIGNATURE PAGE**

File Number:	B0051/16NY	Zoning	R4/RD(ZR)
Owner(s):	MOHAMMAD REZA JAMNEJAD	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>105 CHURCHILL AVE</b>	Community:	North York
Legal Description:	PLAN 3163 PT LOT 55		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 18, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

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**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Wednesday, June 21, 2017

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

File Number:	B0052/16NY	Zoning:	R4/RD(ZR)
Owner(s):	MOHAMMAD REZA JAMNEJAD	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>107 CHURCHILL AVE</b>	Community:	North York
Legal Description:	PLAN 3163 PT LOTS 55 & 56		

Notice was given and the application considered on Wednesday, June 21, 2017, as required by the Planning Act.

#### **THE CONSENT REQUESTED:**

To obtain consent to sever a portion of land for the purpose of a lot addition.

#### **RETAINED - Part 1**

Part 1 has a lot frontage of 10.82m and a lot area of 464.71m<sup>2</sup>. The lot will be redeveloped with a new detached residential dwelling.

#### **CONVEYED - Part 2**

Part 2 has a lot frontage of 5.41m and a lot area of 232.54m<sup>2</sup>. Part 2 will be added to Part 3 (severed from B0051/16NY) to create a new building lot with a frontage of 10.82m and a lot area of 464.99m<sup>2</sup>. Parts 2 and 3 will be redeveloped with a new detached residential dwelling.

**Applications B0051/16NY, B0052/16NY, A0705/16NY, A0706/16NY, A0707/16NY will be considered jointly.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

#### **The Consent Application is Refused**

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

**SIGNATURE PAGE**

File Number:	B0052/16NY	Zoning	R4/RD(ZR)
Owner(s):	MOHAMMAD REZA JAMNEJAD	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>107 CHURCHILL AVE</b>	Community:	North York
Legal Description:	PLAN 3163 PT LOTS 55 & 56		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 18, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

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**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0705/16NY	Zoning	R4/RD(ZR)
Owner(s):	MOHAMMAD REZA JAMNEJAD	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>105A CHURCHILL AVE</b>	Community:	North York
Legal Description:	PLAN 3163 PT LOT 55		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached residential dwelling. Applications B0051/16NY, B0052/16NY, A0705/16NY, A0706/16NY, A0707/16NY will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**  
The required minimum side yard setbacks are 1.80m each side.  
The proposed east side yard setback is 1.20m, and 1.70m to the rear deck.
- 2. Chapter 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**  
The required minimum side yard setbacks are 1.80m each side.  
The proposed west side yard setback is 0.90m.
- 3. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the First Floor area must be within 4.00m of the front wall.  
There is 6.20m<sup>2</sup> proposed within 4.00m of the front wall.
- 4. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main wall facing the west side lot line is 8.74m.
- 5. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main wall facing the east side lot line is 8.51m.
- 6. Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013**

In the RD zone with a minimum required lot frontage of 18.00m or less, the permitted maximum building length for a detached house is 17.00m.

The proposed building length is 17.22m.

7. **Chapter 10.20.30.10.(1)A, Zoning By-law No. 569-2013**  
The required minimum lot area is 550.00m<sup>2</sup>.  
The proposed lot area is 465.81 m<sup>2</sup>.
8. **Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**  
The required minimum lot frontage is 15.00m.  
The proposed lot frontage is 10.82m.
9. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**  
The permitted maximum lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 32.00% of the lot area.
10. **Chapter 10.5.40.50(2), By-Law No. 569-2013**  
A platform without main walls must comply with the require minimum building setbacks for the zone:  
1.80m.
11. **Section 13.2.1, Zoning By-law No. 7625**  
The minimum required lot frontage is 15.00m .  
The proposed lot frontage is 10.82m.
12. **Section 13.2.2, Zoning By-law No. 7625**  
The minimum required lot area is 550m<sup>2</sup>.  
The proposed lot area is 465.81m<sup>2</sup>.
13. **Section 13.2.3(b), Zoning By-law No. 7625**  
The minimum required side yard setback is 1.50m.  
The proposed east side yard setback is 1.20m.
14. **Section 13.2.3(b), Zoning By-law No. 7625**  
The minimum required side yard setback is 1.50m.  
The proposed west side yard setback is 0.90m.
15. **Section 13.2.5A, Zoning By-law No. 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 17.22m.
16. **Section 13.2.6, Zoning By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.04m.
17. **Section 6(8), Zoning By-law No. 7625**  
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed. The required minimum lot width is 15.00m.  
The proposed lot width is 10.82m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**



## **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0705/16NY	Zoning	R4/RD(ZR)
Owner:	MOHAMMAD REZA JAMNEJAD	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>105A CHURCHILL AVE</b>	Community:	North York
Legal Description:	PLAN 3163 PT LOT 55		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0706/16NY	Zoning	R4/RD(ZR)
Owner(s):	MOHAMMAD REZA JAMNEJAD	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>105B CHURCHILL AVE</b>	Community:	North York
Legal Description:	PLAN 3163 PT LOT 55		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached residential dwelling. Applications B0051/16NY, B0052/16NY, A0705/16NY, A0706/16NY, A0707/16NY will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**  
The required minimum side yard setbacks are 1.80m each side.  
The proposed east side yard setback is 0.90m.
- 2. Chapter 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**  
The required minimum side yard setbacks are 1.80m each side.  
The proposed west side yard setback is 1.20m and 1.70m for the rear deck.
- 3. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the First Floor area must be within 4.00m of the front wall.  
There is 6.20m<sup>2</sup> proposed within 4.00m of the front wall.
- 4. Chapter 10.5.40.50(2), By-law No. 569-2013**  
In the residential zone, a platform without main walls must comply with the required minimum setbacks:  
1.80m.
- 5. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main wall facing the west side lot line is 8.61m
- 6. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main wall facing the east side lot line is 8.74 m.

7. **Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013**  
In the RD zone with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m.  
The proposed building length is 17.22 m.
8. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**  
The permitted maximum lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 32.00% of the lot area.
9. **Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**  
The required minimum lot frontage is 15.00m.  
The proposed lot frontage is 10.82 m.
10. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**  
The required minimum lot area is 550.00m<sup>2</sup>.  
The proposed lot area is 464.99m<sup>2</sup>.
11. **Section 13.2.2, Zoning By-law No. 7625**  
The minimum required lot area is 550m<sup>2</sup>.  
The proposed lot area is 464.994m<sup>2</sup>.
12. **Section 13.2.1, Zoning By-law No. 7625**  
The minimum required lot frontage is 15.00m .  
The proposed lot frontage is 10.82m.
13. **Section 13.2.3(b), Zoning By-law No. 7625**  
The minimum required side yard setback is 1.50m.  
The proposed east side yard setback is 0.90m.
14. **Section 13.2.3(b), Zoning By-law No. 7625**  
The minimum required side yard setback is 1.50m.  
The proposed west side yard setback is 1.20m.
15. **Section 13.2.5A, Zoning By-law No. 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 17.22m.
16. **Section 13.2.6, Zoning By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.00m.
17. **Section 6(8), Zoning By-law No. 7625**  
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed. The minimum required lot width is 15m.  
The proposed lot width is 10.82m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0706/16NY	Zoning	R4/RD(ZR)
Owner:	MOHAMMAD REZA JAMNEJAD	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>105B CHURCHILL AVE</b>	Community:	North York
Legal Description:	PLAN 3163 PT LOT 55		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0707/16NY	Zoning	R4/RD(ZR)
Owner(s):	MOHAMMAD REZA JAMNEJAD	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>107 CHURCHILL AVE</b>	Community:	North York
Legal Description:	PLAN 3163 PT LOTS 55 & 56		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached residential dwelling. Applications B0051/16NY, B0052/16NY, A0705/16NY, A0706/16NY, A0707/16NY will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**  
The required minimum side yard setbacks are 1.80m each side.  
The proposed East side yard setback is 0.90m.
- 2. Chapter 900.3.10(5) - Exceptions for RD Zone, Zoning By-law No. 569-2013**  
The required minimum side yard setbacks are 1.80m each side.  
The proposed west side yard setback is 1.20m, and 1.70m to the rear deck.
- 3. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the First Floor area must be within 4.00m of the front wall.  
There is 6.20m<sup>2</sup> proposed within 4.00m of the front wall.
- 4. Chapter 10.5.40.50(2), By-law No. 569-2013**  
A platform without main walls must comply with the required minimum building setbacks for the zone:  
1.80m.
- 5. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main wall facing the west side lot line is 8.6m
- 6. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main wall facing the east side lot line is 8.74m.

7. **Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013**  
In the RD zone with a minimum required lot frontage of 18.00m or less, the permitted maximum building length for a detached house is 17.00m.  
The proposed building length is 17.22m.
8. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**  
The required minimum lot area is 550.00m<sup>2</sup>.  
The proposed lot area is 464.71m<sup>2</sup>.
9. **Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**  
The required minimum lot frontage is 15.00m.  
The proposed lot frontage is 10.82m.
10. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**  
The permitted maximum lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 32.00% of the lot area.
11. **Section 13.2.1, Zoning By-law No. 7625**  
The minimum required lot frontage is 15.00m .  
The proposed lot frontage is 10.82m.
12. **Section 13.2.2, Zoning By-law No. 7625**  
The minimum required lot area is 550.00m<sup>2</sup>.  
The proposed lot area is 464.71.04m<sup>2</sup> .
13. **Section 6(8), Zoning By-law No. 7625**  
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed. The minimum required lot width is 15.00m.  
The proposed lot width is 10.82m.
14. **Section 13.2.3(b), Zoning By-law No. 7625**  
The minimum required side yard setback is 1.50m.  
The proposed east side yard setback is 0.90m.
15. **Section 13.2.3(b), Zoning By-law No. 7625**  
The minimum required side yard setback is 1.50m.  
The proposed west side yard setback is 1.20m.
16. **Section 13.2.6, Zoning By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.01m
17. **Section 13.2.5A, Zoning By-law No. 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 19.58m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0707/16NY	Zoning	R4/RD(ZR)
Owner:	MOHAMMAD REZA JAMNEJAD	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>107 CHURCHILL AVE</b>	Community:	North York
Legal Description:	PLAN 3163 PT LOTS 55 & 56		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

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Wednesday, June 21, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0290/17NY	Zoning	R6/RD (f 12 ; a 370) )[ZONING]
Owner(s):	MOHAMMAD SHAKEEL	Ward:	Willowdale (23)
Agent:	REZA RAD	Heritage:	Not Applicable
Property Address:	<b>7 ADDINGTON AVE</b>	Community:	North York
Legal Description:	PLAN 2069 NPT SPT 2		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Section 14-A(9), By-law No. 7625**  
The maximum permitted building length is 15.3m.  
The proposed building length is 20.1m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

**SIGNATURE PAGE**

File Number:	A0290/17NY	Zoning	R6/RD (f 12 ; a 370 )[ZONING]
Owner:	MOHAMMAD SHAKEEL	Ward:	Willowdale (23)
Agent:	REZA RAD	Heritage:	Not Applicable
Property Address:	<b>7 ADDINGTON AVE</b>	Community:	North York
Legal Description:	PLAN 2069 NPT SPT 2		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0291/17NY	Zoning	RD/R4 [WAV]
Owner(s):	VIRGINIA INGOLDSBY	Ward:	Don Valley West (25)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	<b>130 UPPER CANADA DR</b>	Community:	North York
Legal Description:	PLAN 3563 LOT 26		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.50m for 6.35m of the west wall behind the front main wall.
- 2. Chapter 10.20.40.30.(1), By-law No. 569-2013**  
The maximum permitted building depth is 19.00m.  
The proposed building depth is 19.61m.
- 3. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.50m for 6.35m of the west wall behind the front main wall.
- 4. Section 13.2.5A, By-law No. 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 20.52m.
- 5. Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 8.95m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

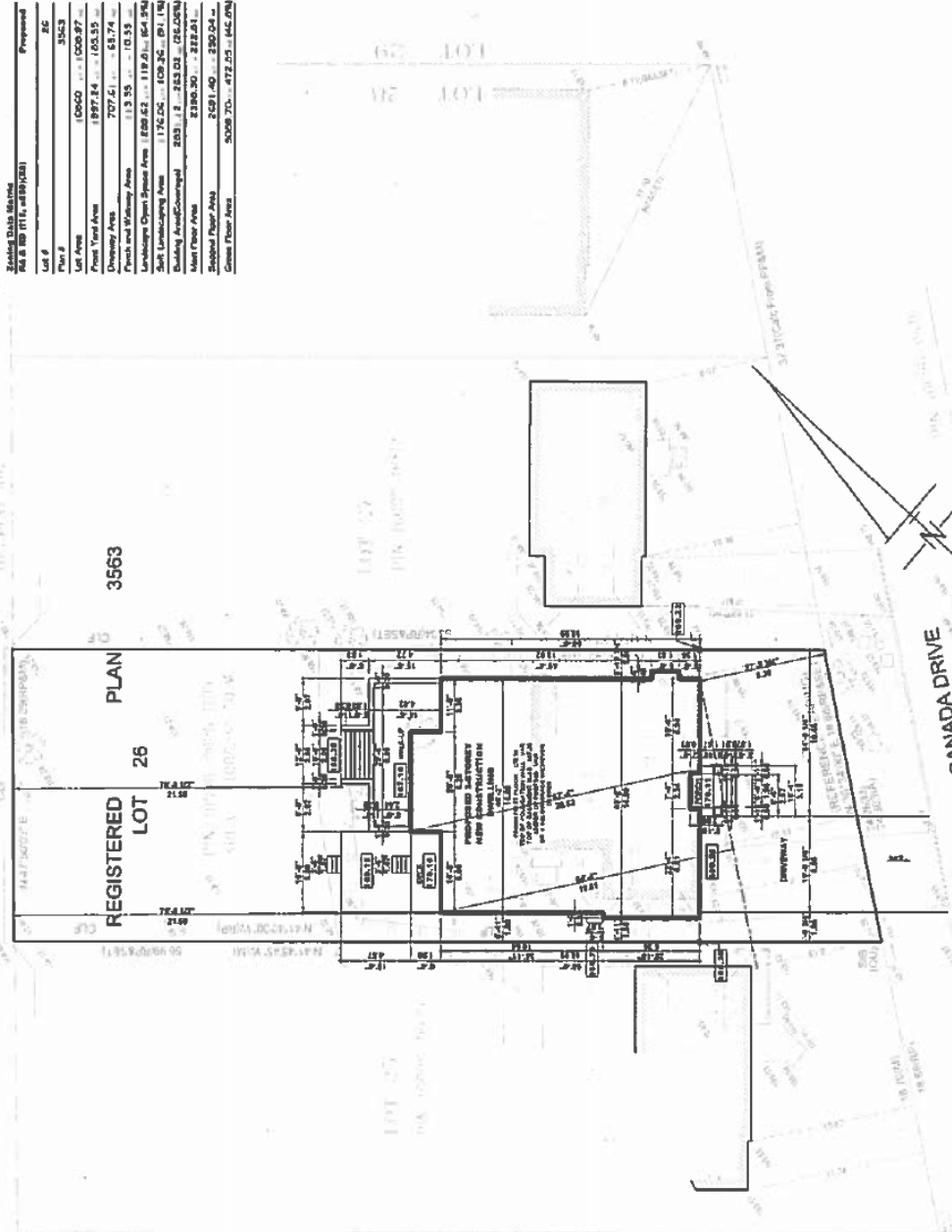
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 13, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

Notes:

Existing Data Metrics		Proposed
Lot #	3563	26
Plan #	3053	3053
Lot Area	6060	6060.87
Plant Yield Area	897.84	105.55
Clearing Area	207.51	58.74
Perch and Retaining Area	13.35	10.33
Landscaping Open Space Area	829.82	119.87
Dark Landscaping Area	176.25	109.36
Building Area/Compound	255.12	263.02
Motor Floor Area	2180.30	222.91
Storage Floor Area	2491.40	230.04
Green Floor Area	5209.70	472.75



Ali Shakeri  
 F & A INC. #24574  
 F & A ASSOCIATES LTD.  
 3090 SHEPPARD AVENUE EAST  
 UNIT 101 SCARBOROUGH, ONTARIO M1S 4T8

REVISIONS:  
MARCH 21, 2017 - ISSUED FOR CDA

1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION
2. VERIFY ALL DIMENSIONS PRIOR TO
3. DO NOT SCALE DRAWINGS
4. ALL DIMENSIONS SHALL BE VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES SHALL BE REPORTED TO F&A ASSOCIATES BY PHONE AND EMAIL PRIOR TO COMMENCEMENT OF THE WORK
5. USE ONLY LATEST REVISION DRAWINGS OF THOSE THAT ARE MARKED 'ISSUED'
6. ALL STRUCTURAL DESIGN MUST BE APPROVED BY A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

Project: 130 UPPER CANADA

Drawing: SITE PLAN

Scale: 1/16" = 1'-0"

Page: A 01

THIS UNDERGROUND HAS BEEN REVIEWED & APPROVED BY THE CITY OF TORONTO. THE DESIGNER HAS THE QUALIFICATIONS & METS THE REQUIREMENTS SET OUT IN THE O.C. TO BE A DESIGNER

Ali Shakeri  
 BCIN#24574  
 F & A Associates Ltd.  
 BCIN#30998

RECEIVED

JUN 13 2017

CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE

**SIGNATURE PAGE**

File Number:	A0291/17NY	Zoning	RD/R4 [WAV]
Owner:	VIRGINIA INGOLDSBY	Ward:	Don Valley West (25)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	<b>130 UPPER CANADA DR</b>	Community:	North York
Legal Description:	PLAN 3563 LOT 26		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

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Wednesday, June 21, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0301/17NY	Zoning	R (f7.5; d0.6) (x604)/ R2 Z0.6
Owner(s):	DAVID SYPHER	Ward:	Eglinton-Lawrence (16)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	<b>95 DELORAINE AVE</b>	Community:	Toronto
Legal Description:	PLAN 1494 PT LOTS 94 & 95		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10(5), By-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the first floor must be within 4.00m of the front main wall.  
The proposed first floor has 3.07m<sup>2</sup> of area within 4.00m of the front main wall.
- Chapter 10.5.100.1(1)(C)(iii), By-law No. 569-2013**  
The maximum driveway width is 3.53m.  
The proposed driveway width is 4.80m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main walls facing a side lot line is 8.67m.
- Chapter 10.5.50.10.(1), By-law No. 569-2013**  
A minimum of 50.00% of the front yard must be landscaping.  
The proposed front yard landscaping area is 14.00%.
- Chapter 10.5.50.10.(1), By-law No. 569-2013**  
A minimum of 75.00% of the required front yard landscaping must be soft landscaping.  
The proposed front yard soft landscaping area is 28.00%.
- Chapter 10.10.40.40.(1) A), By-law No. 569-2013**  
The maximum permitted floor space index is 0.60 times the area of the lot.  
The proposed floor space index is **0.798** times the area of the lot.

7. **Section 6(3) Part I 1, By-law No. 438-86**  
The maximum permitted gross floor area is 0.60 times the area of the lot.  
The proposed gross floor area is **0.798** times the area of lot.
8. **Section 6(3) Part III 1(A), By-law No. 438-86**  
The minimum required front yard landscaping is 50.00% of the area (18.58m<sup>2</sup>).  
The proposed front yard landscaping is 5.29m<sup>2</sup> which is deficient by approximately 13.29m<sup>2</sup>.
9. **Section 6(3) Part III 3 (d)(i)(D), By-law No. 438-86**  
The minimum required front yard soft landscaping is 75.00% of the front yard area (13.93m<sup>2</sup>).  
The proposed landscaped open space is 5.29m<sup>2</sup> which is deficient by approximately 8.64m<sup>2</sup>.
10. **Section 6(3) Part IV 3(II), By-law No. 438-86**  
The by-law does not permit an integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line.  
The proposed integral garage is below grade.
11. **Section 6(3) Part II 3(II), By-law No. 438-86**  
A building can be located no closer than 1.20m to the portion of the side wall of an adjacent building that contains openings.  
The proposed building is located **0.51m** from the adjacent building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s).  
*A Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at [www.toronto.ca/trees/pdfs/contractor\\_services\\_agreement\\_information.pdf](http://www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf).

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

2. The applicant shall submit the necessary application for permits to injure or remove street trees to Urban Forestry, City of Toronto Municipal Code Chapter 813, Article II.

3. The proposed driveway be constructed with permeable pavers.
4. The driveway maintains a positive slope from the street to the entry of the integral garage.



**SIGNATURE PAGE**

File Number:	A0301/17NY	Zoning	R (f7.5; d0.6) (x604)/ R2 Z0.6
Owner:	DAVID SYPHER	Ward:	Eglinton-Lawrence (16)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	<b>95 DELORAINE AVE</b>	Community:	Toronto
Legal Description:	PLAN 1494 PT LOTS 94 & 95		

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Nazila Atarodi (signed)

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Derek Lett (signed)

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Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0302/17NY	Zoning	R4/RD[ZONING]
Owner(s):	EARL MARK LAI IN CHEONG	Ward:	Willowdale (24)
Agent:	AVVIO FINE HOMES	Heritage:	Not Applicable
Property Address:	<b>102 NEWTON DR</b>	Community:	North York
Legal Description:	PLAN 2560 PT LOT 67		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.99% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.  
The proposed height of the side exterior main walls facing a side lot line is **8.8m**.
- 3. Chapter 10.20.40.70.(4), By-law No. 569-2013**  
The required minimum side yard setback is 1.8m.  
The proposed west side yard setback is 1.43m.
- 4. Chapter 10.20.40.70.(4), By-law No. 569-2013**  
The required minimum side yard setback is 1.8m.  
The proposed east side yard setback is 1.5m.
- 5. Section 13.2.2, By-law No. 7625**  
The minimum required lot area is 550m<sup>2</sup>.  
The proposed lot area is 462.66m<sup>2</sup>.
- 6. Section 13.2.1 and 6(8), By-law No. 7625**  
The minimum required lot frontage and width is 15m.  
The proposed lot frontage and width is 12.19m.

7. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.99% of the lot area.
8. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.53m.  
The proposed west side yard setback is 1.43m.
9. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.53m.  
The proposed east side yard setback is 1.5m.
10. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.8m.  
The proposed building height is 9.37m.
11. **Section 6(30)a, By-law No. 7625**  
The maximum finished first floor height is 1.5m.  
The proposed finished first floor height is 1.76m.
12. **Section 6(9), By-law No. 7625**  
The maximum rear stair projection is 2.1m.  
The proposed rear stair projection is 2.51m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The rear deck be constructed in accordance to the site plan dated June 7, 2017, attached to this decision. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



SIGNATURE PAGE

File Number:	A0302/17NY	Zoning	R4/RD[ZONING]
Owner:	EARL MARK LAI IN CHEONG	Ward:	Willowdale (24)
Agent:	AVVIO FINE HOMES	Heritage:	Not Applicable
Property Address:	<b>102 NEWTON DR</b>	Community:	North York
Legal Description:	PLAN 2560 PT LOT 67		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0303/17NY	Zoning	RD/R6 [ZZC]
Owner(s):	ARI TODEROVITZ SHADIA SAHADAT	Ward:	York Centre (10)
Agent:	DREW LASZLO ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>31 KING HIGH AVE</b>	Community:	North York
Legal Description:	PLAN 3524 PT LOTS 13 & 14		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.48% of the lot area.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is 19.27m.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed south side yard setback is 0.92m.
- 4. Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 31.48% of the lot area.
- 5. Section 6(24), By-law No. 7625**  
The maximum permitted rear deck projection is 2.10m from the wall.  
The proposed deck projects 3.66m from the rear wall.
- 6. Section 14-A(5)c, By-law No. 7625**  
The minimum required side yard setback is 1.20m.  
The proposed south side yard setback is 0.92m.



**7. Section 14-A(9), By-law No. 7625**

The maximum permitted building length is 15.30m which may be increased to 18.90m by a 2.10m one-storey extension to the rear of the dwelling provided the extension is no wider than one half the width of the dwelling and the height does not exceed 5.00m.

The proposed building length is 19.27m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

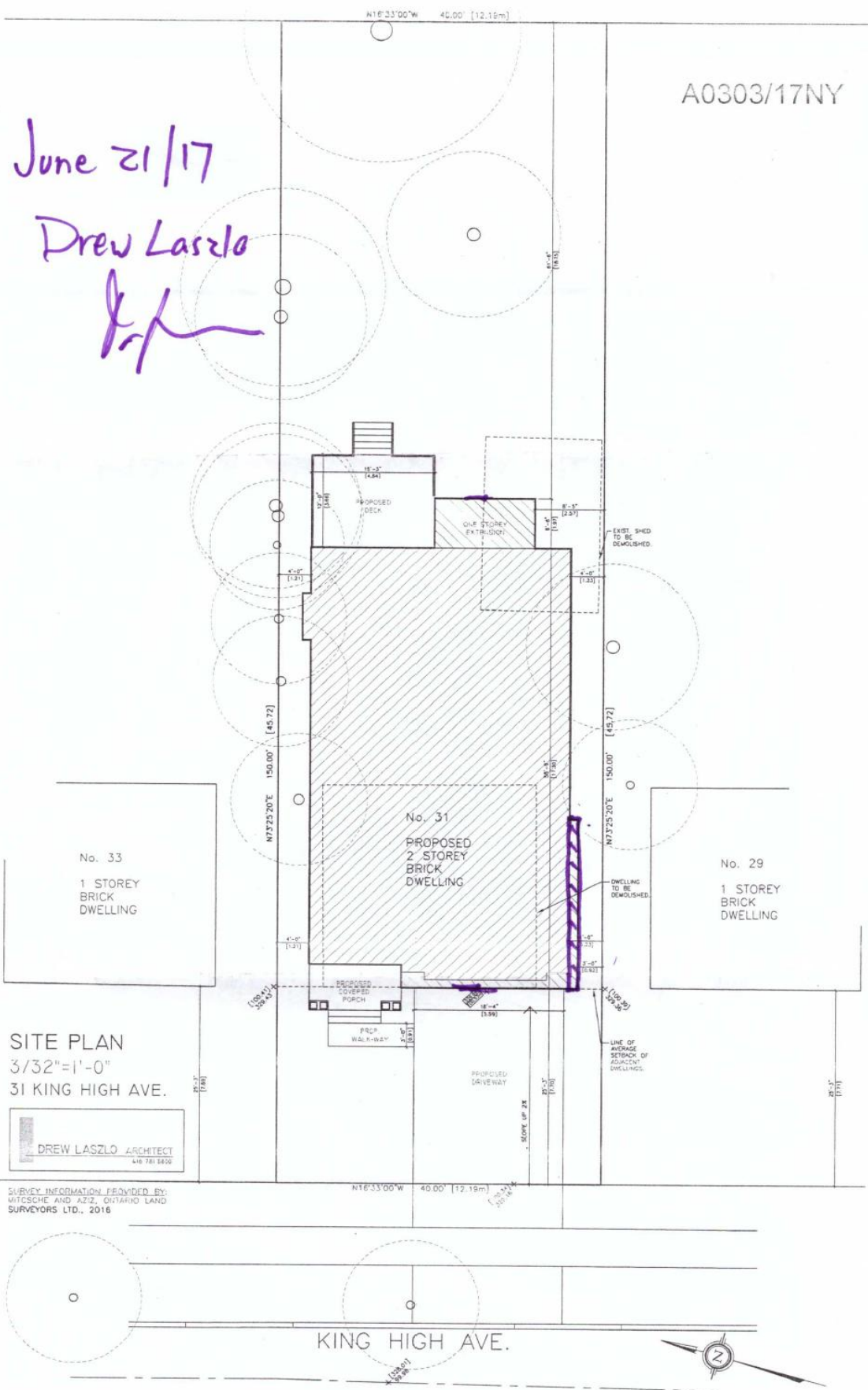
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The property being developed essentially in accordance with the site plan attached to this decision, dated June 21, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



**SIGNATURE PAGE**

File Number:	A0303/17NY	Zoning	RD/R6 [ZZC]
Owner:	ARI TODEROVITZ SHADIA SAHADAT	Ward:	York Centre (10)
Agent:	DREW LASZLO ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>31 KING HIGH AVE</b>	Community:	North York
Legal Description:	PLAN 3524 PT LOTS 13 & 14		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0304/17NY	Zoning	RD / R1 (ZR)
Owner(s):	DAVID DAL BELLO	Ward:	Don Valley West (25)
Agent:	SPACE ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>132 LAWRENCE CRES</b>	Community:	Toronto
Legal Description:	PLAN 1534 LOT 150		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a second story addition over the existing attached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.40.(1)(A), By-law No. 569-2013**  
The permitted maximum floor space index is 0.35 times the area of the lot.  
The proposed floor space index is 0.58 times the area of the lot.
- Chapter 10.20.40.70.(4), By-law No. 569-2013**  
The required minimum side yard setback is 1.2 m where the required minimum frontage is 12.0 m to less than 18.0 m.  
The proposed side yard setback is 0.98 m.
- Section 6(3) Part I 1, By-law No. 438-86**  
The permitted maximum gross floor area is 0.35 times the area of the lot.  
The proposed gross floor area is 0.58 times the area of the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 13, 2017.  
*Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized*



**SIGNATURE PAGE**

File Number:	A0304/17NY	Zoning	RD / R1 (ZR)
Owner:	DAVID DAL BELLO	Ward:	Don Valley West (25)
Agent:	SPACE ARCHITECTS	Heritage:	Not Applicable
Property Address:	<b>132 LAWRENCE CRES</b>	Community:	Toronto
Legal Description:	PLAN 1534 LOT 150		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0305/17NY	Zoning	RD (x1463/ R6[ZZC]
Owner(s):	GEOFF MATLOW	Ward:	Eglinton-Lawrence (16)
Agent:	SARAH IFRAH ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>99 FRONTENAC AVE</b>	Community:	North York
Legal Description:	PLAN 1786 LOT 339		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.40.50, By-law No. 569-2013**

A platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks of 1.80m. The proposed rear yard platform is 1.39m from the west side lot line.

**2. Chapter 10.5.40.60.(3)(A)(iii), By-law No. 569-2013**

Exterior stairs providing pedestrian access to a building may encroach into a required building setback if the stairs are no closer to a lot line than 0.60m. The proposed stairs are 0.25m from the west side lot line.

**3. Chapter 10.5.100.1.(1)(C), By-law No. 569-2013**

The maximum permitted driveway width is 3.98m. The proposed driveway will have a width of 4.27m.

**4. Section 6 (24)(d)(ii)(A), By-law No. 7625**

In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building; 1.80m. The proposed rear platform is 1.39m from the west lot line.

**5. Section 6(9)(e), By-law No. 7625**

Exterior stairs may project into one minimum side yard setback not more than 1.60m, if the stairs are no closer to a side lot line than 0.60m. The proposed stairs are 0.25m from the west side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0305/17NY	Zoning	RD (x1463/ R6[ZZC]
Owner:	GEOFF MATLOW	Ward:	Eglinton-Lawrence (16)
Agent:	SARAH IFRAH ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>99 FRONTENAC AVE</b>	Community:	North York
Legal Description:	PLAN 1786 LOT 339		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0307/17NY	Zoning	RM/R2 [ZZC]
Owner(s):	NICOLE SCHWARTZ MARK TITLEMAN	Ward:	Eglinton-Lawrence (15)
Agent:	CONTEMPO STUDIO	Heritage:	Not Applicable
Property Address:	<b>313 WHITMORE AVE</b>	Community:	York
Legal Description:	PLAN 1493 PT LOT 53		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.80.40.40.(1), By-law No. 569-2013**  
The maximum permitted floor space index is 0.80 times the lot area.  
The proposed floor space index is **0.8429** times the lot area.
- Chapter 10.80.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 8.50m.  
The proposed height of the side exterior main walls facing a side lot line is 10.28m.
- Chapter 10.5.50.10.(1), By-law No. 569-2013**  
The minimum required front yard soft landscaping is 75.00%.  
The proposed front yard soft landscaping area is 63.25%.
- Chapter 10.80.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed west side yard setback is 1.11m.
- Chapter 10.80.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed east side yard setback is 0.41m.
- Chapter 10.80.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is **18.31m**.

7. **Section 3(a), By-law No. 1-83**  
The maximum permitted floor space index is 0.80 times the lot area.  
The proposed floor space index is **0.8429** times the lot area.
8. **Section 3(a), By-law No. 1-83**  
The minimum required side yard setback is 1.20m.  
The proposed west side yard setback is 1.11m.
9. **Section 3(a), By-law No. 1-83**  
The minimum required side yard setback is 0.50m.  
The proposed east side yard setback is 0.41m.
10. **Section 3, By-law No. 1-83**  
The maximum permitted rear deck projection is 2.40m.  
The proposed rear deck projects 2.44m.
11. **Section 3, By-law No. 1-83**  
The minimum required front yard soft landscaping is 75.00%.  
The proposed front yard soft landscaping area is 68.25%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0307/17NY	Zoning	RM/R2 [ZZC]
Owner:	NICOLE SCHWARTZ MARK TITLEMAN	Ward:	Eglinton-Lawrence (15)
Agent:	CONTEMPO STUDIO	Heritage:	Not Applicable
Property Address:	<b>313 WHITMORE AVE</b>	Community:	York
Legal Description:	PLAN 1493 PT LOT 53		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0308/17NY	Zoning	RD / R6 (ZR)
Owner(s):	TONGMIN WANG	Ward:	Willowdale (24)
Agent:	S S ENGINEERING INC	Heritage:	Not Applicable
Property Address:	<b>53 NIPIGON AVE</b>	Community:	North York
Legal Description:	PLAN 2385 LOT 97		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10 m<sup>2</sup> of the first floor area must be within 4 m of the front wall.  
There is 4.9 m<sup>2</sup> proposed within 4 m of the front wall.
- Chapter 10.5.40.60.(3), By-law No. 569-2013**  
Exterior stairs providing pedestrian access to a building may encroach into the required building setback if the stairs are no wider than 2.0 m.  
The proposed stairs are **2.54 m** wide.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.
- Chapter 10.20.40.10.(6), By-law No. 569-2013**  
The permitted maximum height of the first floor above established grade is 1.2 m.  
The proposed height of the first floor above established grade is 1.37 m.
- Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.
- Section 14-A(8), By-law No. 7625**  
The maximum permitted building height is 8.8 m  
The proposed building height is 9.05 m.

**7. Section 14-A(9), By-law No. 7625**

The maximum permitted building length is 15.3 m.  
The proposed building length is 16.03 m.

**8. Section 6(30)a, By-law No. 7625**

The maximum permitted finished first floor height is 1.5 m.  
The proposed finished first floor height is 1.66 m.

**9. Section 6(24), By-law No. 7625**

The maximum projection of an unexcavated deck in the rear is 2.1 m from the wall if it is greater than 1 m above all points of the adjacent ground.  
The proposed deck projects 2.74 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0308/17NY	Zoning	RD / R6 (ZR)
Owner:	TONGMIN WANG	Ward:	Willowdale (24)
Agent:	S S ENGINEERING INC	Heritage:	Not Applicable
Property Address:	<b>53 NIPIGON AVE</b>	Community:	North York
Legal Description:	PLAN 2385 LOT 97		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, June 21, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0309/17NY	Zoning	RD/R6 [WAIVER]
Owner(s):	MARSHALL SUSSMAN SABRINA DESKE-SUSSMAN	Ward:	York Centre (10)
Agent:	DUYEN NGUYEN	Heritage:	Not Applicable
Property Address:	<b>108 GORMAN PARK RD</b>	Community:	North York
Legal Description:	PLAN 1938 PT LOT 86 RP 64R3060 PART 1 PART 2		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40 (1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 35.00% of the lot area.
- Chapter 10.20.40.10 (2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of all side exterior main walls facing a side lot line is **7.96m**.
- Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 6.54m.  
The proposed front yard setback is 5.80m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed south side yard setback is 0.91m.
- Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 35.00% of the lot area.
- Section 14-A(5)C, By-law No. 7625**  
The minimum required side yard setback is 1.20m.  
The proposed south side yard setback is 0.91m.

7. **Section 14-A(8), By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.02m.
8. **Section 6(30)A, By-law No. 7625**  
The maximum finished first floor height is 1.50m.  
The proposed finished first floor height is **1.66m**.
9. **Section 6(24), By-law No. 7625**  
The maximum rear deck projection is 2.10m and a width of 5.17m.  
The proposed rear deck projection is 1.44m and a width of 10.34m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. **Chapter 10.20.40.10 (2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of all side exterior main walls facing a side lot line is **7.96m**.
3. **Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 6.54m.  
The proposed front yard setback is 5.80m.
4. **Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.20m.  
The proposed south side yard setback is 0.91m.
6. **Section 14-A(5)C, By-law No. 7625**  
The minimum required side yard setback is 1.20m.  
The proposed south side yard setback is 0.91m.
7. **Section 14-A(8), By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.02m.
8. **Section 6(30)A, By-law No. 7625**  
The maximum finished first floor height is 1.50m.  
The proposed finished first floor height is **1.66m**.
9. **Section 6(24), By-law No. 7625**  
The maximum rear deck projection is 2.10m and a width of 5.17m.  
The proposed rear deck projection is 1.44m and a width of 10.34m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40 (1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

**5. Section 14-A(6), By-law No. 7625**

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the south elevation drawing submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, June 12, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*





**SIGNATURE PAGE**

File Number:	A0309/17NY	Zoning	RD/R6 [WAIVER]
Owner:	MARSHALL SUSSMAN SABRINA DESKE-SUSSMAN	Ward:	York Centre (10)
Agent:	DUYEN NGUYEN	Heritage:	Not Applicable
Property Address:	<b>108 GORMAN PARK RD</b>	Community:	North York
Legal Description:	PLAN 1938 PT LOT 86 RP 64R3060 PART 1 PART 2		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

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Wednesday, June 21, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0310/17NY	Zoning	RD (f15.0;a550)(x5)[WAIVER]
Owner(s):	LYNN SINGER	Ward:	Don Valley East (34)
Agent:	IAN MACDONALD	Heritage:	Not Applicable
Property Address:	<b>137 SWEENEY DR</b>	Community:	North York
Legal Description:	PLAN M762 LOT 725		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct an eave overhang and bay window at the rear of the existing dwelling. Please be advised the subject property went before the Committee of Adjustment on February 18, 2016, approved development proposal.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 6(9)a, By-law No. 7625**  
The maximum permitted eave projection is 0.50m  
The proposed eaves project 0.72m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**SIGNATURE PAGE**

File Number:	A0310/17NY	Zoning	RD (f15.0;a550)(x5)[WAIVER]
Owner:	LYNN SINGER	Ward:	Don Valley East (34)
Agent:	IAN MACDONALD	Heritage:	Not Applicable
Property Address:	<b>137 SWEENEY DR</b>	Community:	North York
Legal Description:	PLAN M762 LOT 725		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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## **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, June 21, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0314/17NY	Zoning	R2A/RM(d0.6)[ZONING]
Owner(s):	MICHELLE ABATE STEFAN SCHOBERTH	Ward:	Don Valley West (26)
Agent:	EDWARD LEE ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>510 BROADWAY AVE</b>	Community:	East York
Legal Description:	PLAN 3110 PT LOT 301 PT LOT 302		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a two-storey rear addition to the existing two-storey dwelling. Please be advised the subject property went before the Committee of Adjustment on December 8, 2016, the development proposal was refused.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 900.6.10(263)(c)(i), By-law No. 569-2013**  
The maximum permitted lot coverage is 35% of the lot area.  
The proposed lot coverage is 41.2% of the lot area.
- 2. Chapter 10.5.50.10.(3), By-law No. 569-2013**  
The minimum required soft landscaping area in the rear yard is 50%.  
The proposed rear yard soft landscaping area is 38.7%
- 3. Section 6.4.3, By-law No. 1916**  
The maximum permitted lot coverage is 35% of the lot area.  
The proposed lot coverage is 40.3% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**SIGNATURE PAGE**

File Number:	A0314/17NY	Zoning	R2A/RM(d0.6)[ZONING]
Owner:	MICHELLE ABATE STEFAN SCHOBERTH	Ward:	Don Valley West (26)
Agent:	EDWARD LEE ARCHITECT	Heritage:	Not Applicable
Property Address:	<b>510 BROADWAY AVE</b>	Community:	East York
Legal Description:	PLAN 3110 PT LOT 301 PT LOT 302		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

**Appeal Information**

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.



## **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0315/17NY	Zoning	RD/R3 [ZZC]
Owner(s):	ATAOLLAH EFTEKHAR ZINAT LOTFI	Ward:	Don Valley West (25)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>79 MUNRO BLVD</b>	Community:	North York
Legal Description:	PLAN M459 LOT 103		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 35.00% of the lot area.  
The proposed lot coverage is 37.00% of the lot area.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main walls facing a side lot line is 8.06m.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is 18.97m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.52m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.52m.
- Section 12.2, By-law No. 7625**  
The minimum required lot frontage is 18.00m.  
The existing lot frontage is 15.24m.

7. **Section 12.3, By-law No. 7625**  
The minimum required lot area is 690.00m<sup>2</sup>.  
The existing lot area is 580.64m<sup>2</sup>.
8. **Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.52m.
9. **Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.52m.
10. **Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 18.97m.
11. **Section 12.6, By-law No. 7625**  
The maximum permitted lot coverage is 35.00% of the lot area.  
The proposed lot coverage is 37.00% of the lot area.
12. **Section 12.7, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.35m.
13. **Section 6(8), By-law No. 7625**  
The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed.
14. **Section 6(30), By-law No. 7625**  
The maximum permitted finished first floor height is 1.50m.  
The proposed finished first floor height is 1.70m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 35.00% of the lot area.  
The proposed lot coverage is 37.00% of the lot area.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the side exterior main walls facing a side lot line is 8.06m.
3. **Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is 18.97m.

6. **Section 12.2, By-law No. 7625**  
The minimum required lot frontage is 18.00m.  
The existing lot frontage is 15.24m.
7. **Section 12.3, By-law No. 7625**  
The minimum required lot area is 690.00m<sup>2</sup>.  
The existing lot area is 580.64m<sup>2</sup>.
10. **Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.80m.  
The proposed building length is 18.97m.
11. **Section 12.6, By-law No. 7625**  
The maximum permitted lot coverage is 35.00% of the lot area.  
The proposed lot coverage is 37.00% of the lot area.
12. **Section 12.7, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.35m.
13. **Section 6(8), By-law No. 7625**  
The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed.
14. **Section 6(30), By-law No. 7625**  
The maximum permitted finished first floor height is 1.50m.  
The proposed finished first floor height is 1.70m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

4. **Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.52m.
5. **Chapter 10.20.40.70.(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.52m.
8. **Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.52m.
9. **Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.52m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

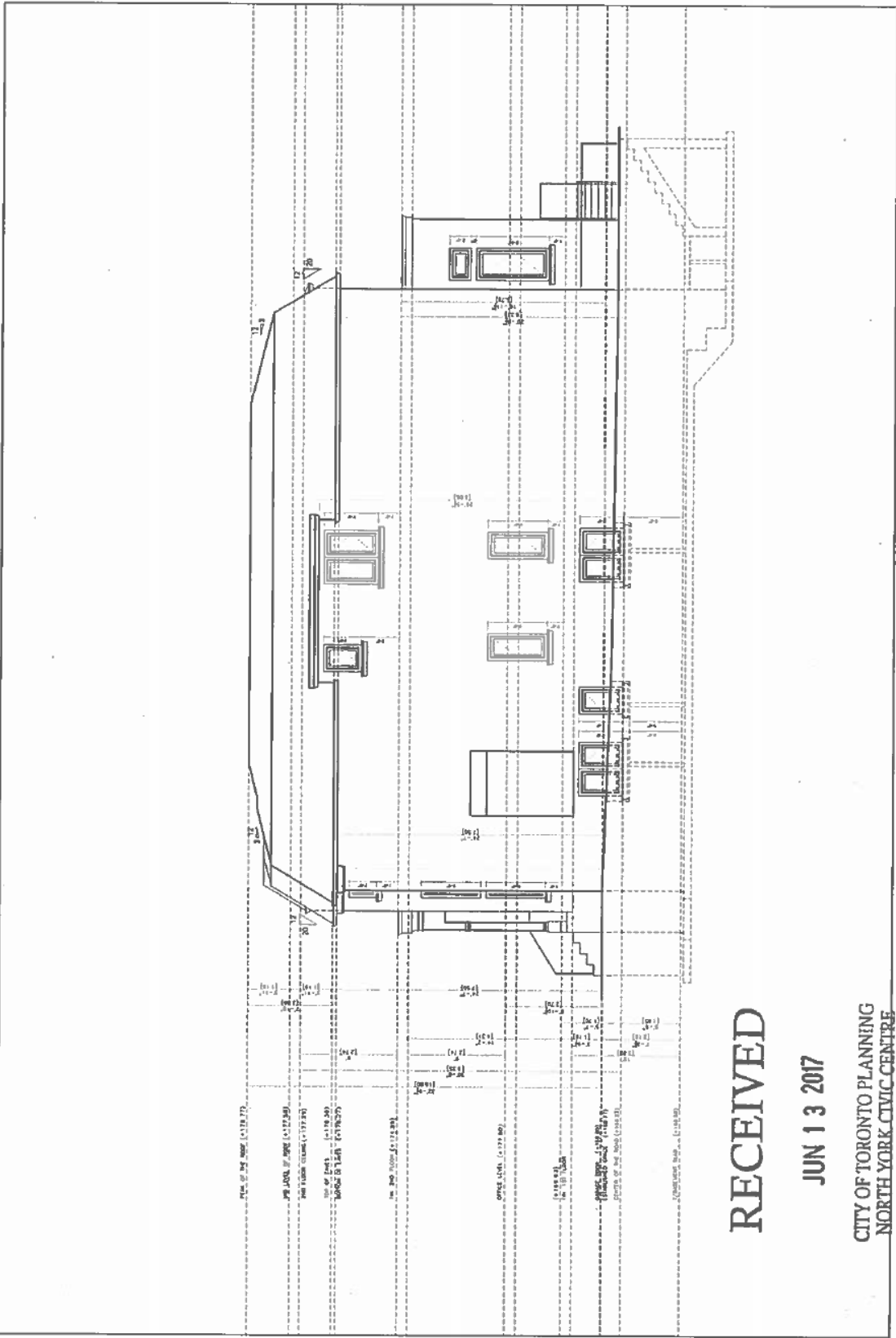
1. The proposal be developed in accordance with the East Elevation and West Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 13, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

1	DATE	11/20/17
2	BY	11/20/17
3	CHKD	11/20/17
4	APPD	11/20/17
5	DATE	11/20/17
6	BY	11/20/17
7	CHKD	11/20/17
8	APPD	11/20/17

DRAWING TITLE: WEST SIDE ELEVATION  
SCALE: 1/8"=1'-0"

A9

PROJECT TITLE: 79 MUNRO BOULEVARD  
TORONTO, ONTARIO



RECEIVED

JUN 13 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

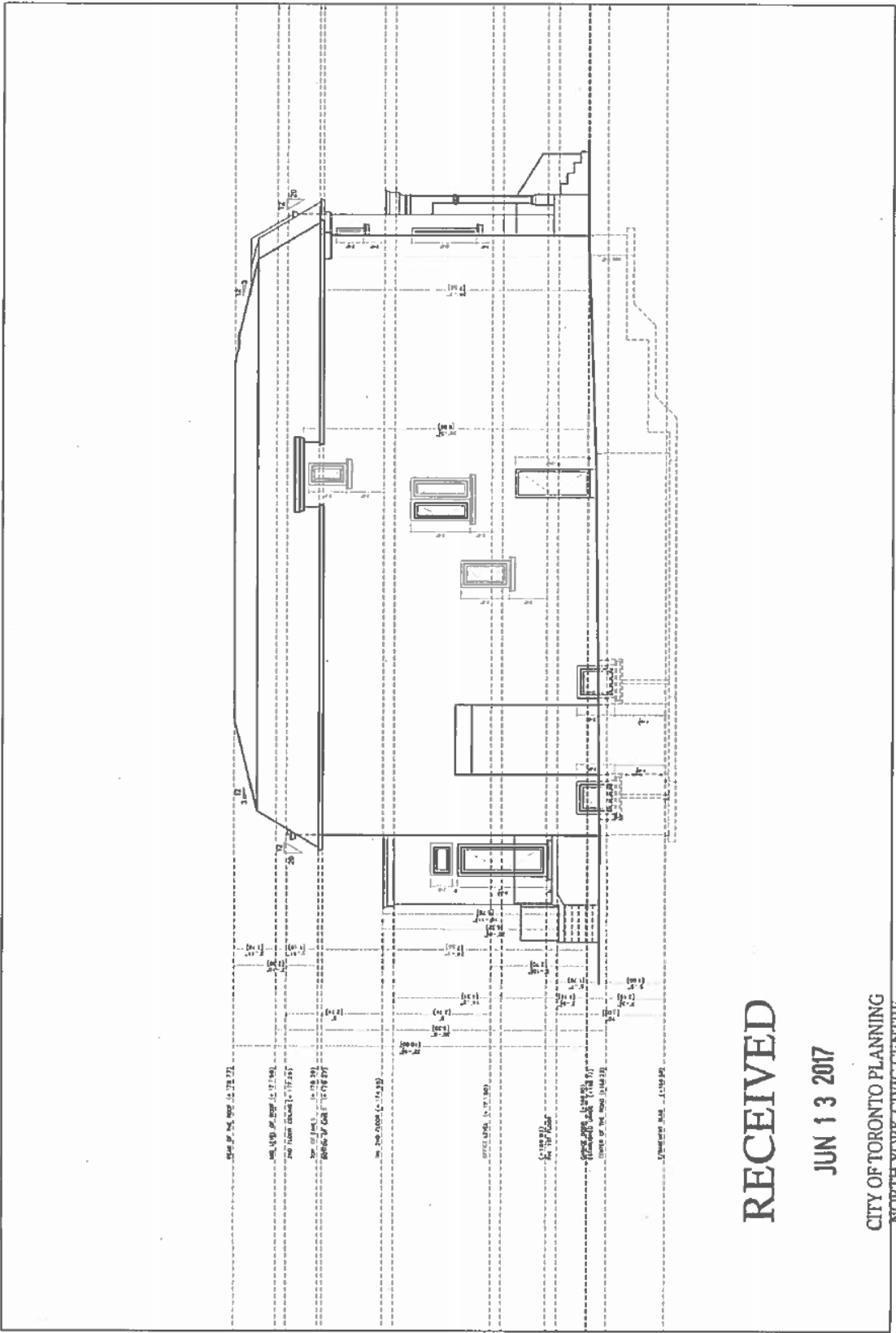
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97	SECTION
98	SECTION
99	SECTION
100	SECTION

SCALE: 1/8"=1'-0"  
DRAWING TITLE: EAST SIDE ELEVATION

A8

SHEET NUMBER:

PROJECT TITLE:  
79 MUNRO BOULEVARD  
TORONTO, ONTARIO



RECEIVED

JUN 13 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

**SIGNATURE PAGE**

File Number:	A0315/17NY	Zoning	RD/R3 [ZZC]
Owner:	ATAOLLAH EFTEKHAR ZINAT LOTFI	Ward:	Don Valley West (25)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>79 MUNRO BLVD</b>	Community:	North York
Legal Description:	PLAN M459 LOT 103		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0316/17NY	Zoning	RD / R3 (ZR)
Owner(s):	MARJAN MORADI	Ward:	Willowdale (24)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>77 CITATION DR</b>	Community:	North York
Legal Description:	PLAN M676 L 177		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.  
The proposed height of the side exterior main wall facing the **west** side lot line is 8.13 m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**  
Where the minimum required lot frontage is 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m.  
The proposed building length is 17.74 m.
- 3. Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.8 m.  
The proposed building length is 17.74 m.
- 4. Section 12.7, By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.3 m.
- 5. Section 6(30)a, By-law No. 7625**  
The maximum finished floor height is 1.5 m.  
The proposed first floor finished height is 1.81 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

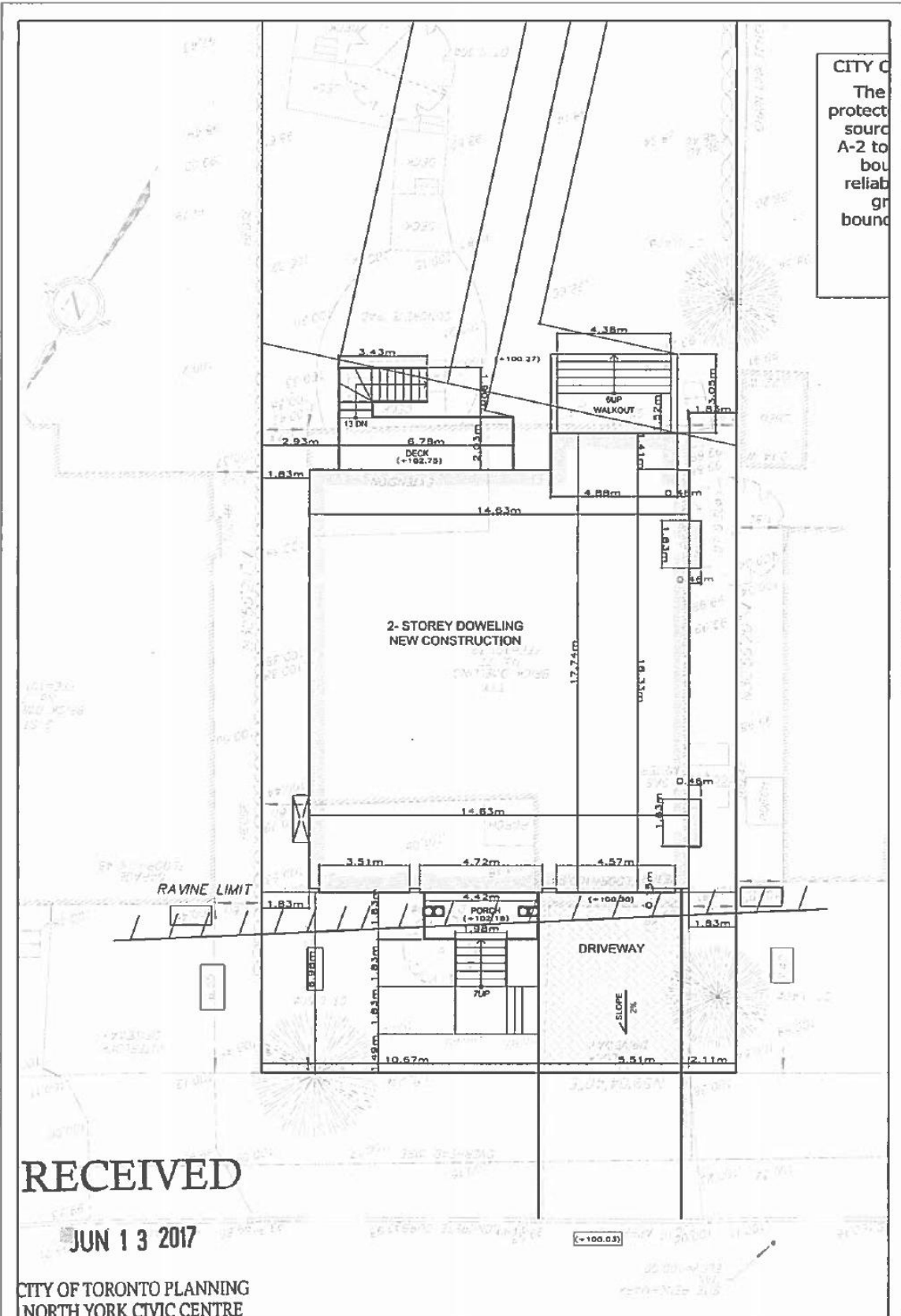
### **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Site Plan, West Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 13, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



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RECEIVED

JUN 13 2017

CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE

PROJECT TITLE:  
 77 CITATION DRIVE  
 TORONTO, ONTARIO

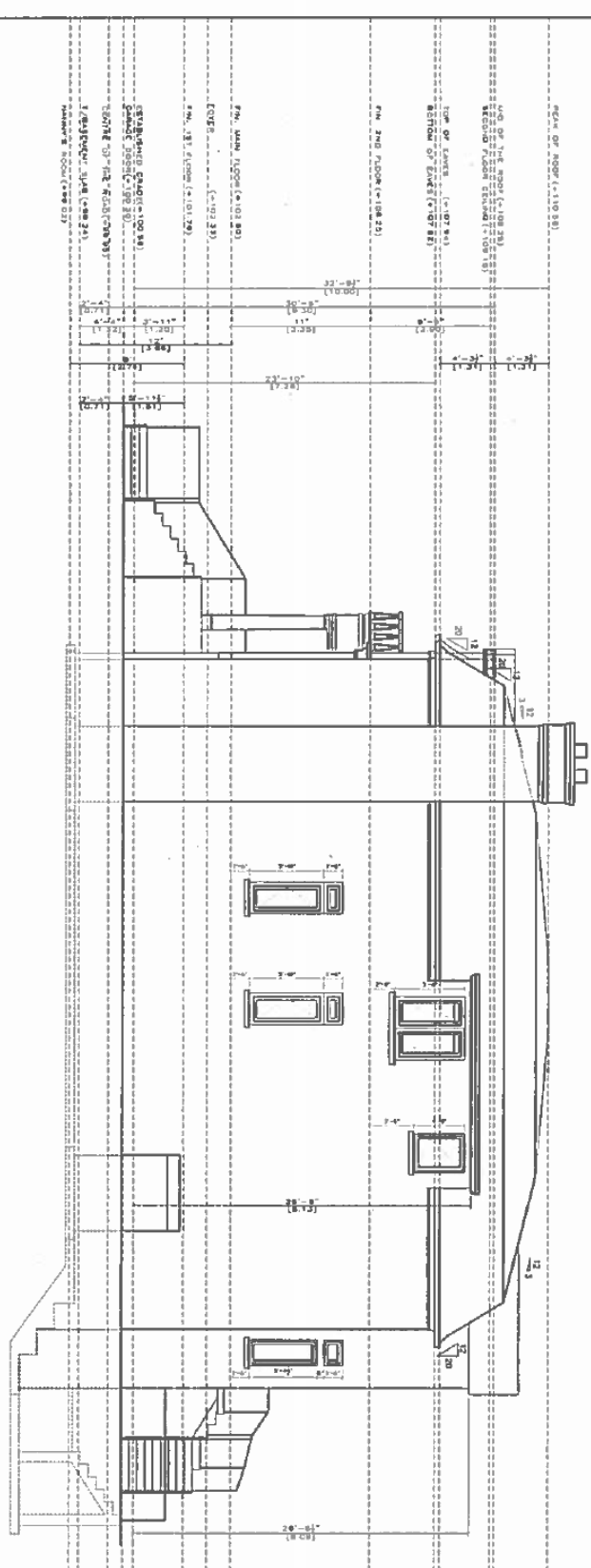
SHEET NUMBER: **A1**

DRAWING TITLE: **SITE PLAN**

SCALE: 1/32"=1'-0"

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	26.02.2017
2	TRACED	13.05.2017
3	REVISOR	13.05.2017
4	CHECKED	26.05.2017





RECEIVED

JUN 13 2017

CITY OF TORONTO PLANNING  
NORTH YORK CIVIC CENTRE

PROJECT TITLE:  
77 CITATION DRIVE  
TORONTO, ONTARIO

SHEET NUMBER: **A9**

DRAWING TITLE: **WEST SIDE ELEVATION**

SCALE: 1/8" = 1'-0"

1	initial rev	2017-05-17
2	changes	2017-05-17
3	final	2017-05-17
4	approved	2017-05-17
5	lock	2017-05-17

**SIGNATURE PAGE**

File Number:	A0316/17NY	Zoning	RD / R3 (ZR)
Owner:	MARJAN MORADI	Ward:	Willowdale (24)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>77 CITATION DR</b>	Community:	North York
Legal Description:	PLAN M676 L 177		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

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### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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Wednesday, June 21, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0317/17NY	Zoning	RD(f15.0; a550)(x5)/R4 [ZZC]
Owner(s):	MICHAEL ACHLIOPTAS STAMATIA ACHLIOPTAS	Ward:	York Centre (10)
Agent:	PAUL DACUNHA ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>106 KENNARD AVE</b>	Community:	North York
Legal Description:	PLAN 1899 PT LOT 119		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new one-storey rear addition as well as new second storey on the existing dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 37.40% of the lot area.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**  
The maximum permitted building length is 17.00m.  
The proposed building length is 19.46m.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**  
The maximum permitted building depth is 19.00m.  
The proposed building depth is 19.46m.
- Chapter 10.20.40.70.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.800m.  
The proposed **west** side yard setback is 1.138m.
- Chapter 10.5.40.60.(1), By-law No. 569-2013**  
A deck may encroach into the required setback 2.50m if it is no closer than 1.80m to a side lot line.  
The proposed deck encroaches 0.60m into the rear yard setback, and is 1.138m from the west side lot line.
- Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.800m.  
The proposed west side yard setback is 1.138m.

**7. Section 6(24), By-law No. 7625**

A deck shall not be closer than 1.800m to the side lot line.  
The proposed deck is 1.138m from the side lot line.

**8. Section 13.2.4, By-law No. 7625**

The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 37.40% of the lot area.

**9. Section 13.2.6, By-law No. 7625**

The maximum permitted height is 8.800m.  
The proposed building height is 9.214m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0317/17NY	Zoning	RD(f15.0; a550)(x5)/R4 [ZZC]
Owner:	MICHAEL ACHLIOPTAS STAMATIA ACHLIOPTAS	Ward:	York Centre (10)
Agent:	PAUL DACUNHA ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>106 KENNARD AVE</b>	Community:	North York
Legal Description:	PLAN 1899 PT LOT 119		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0318/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZONING]
Owner(s):	DANIEL FAZZARI	Ward:	Willowdale (23)
Agent:	DANIEL FAZZARI	Heritage:	Not Applicable
Property Address:	<b>39 STAFFORD RD</b>	Community:	North York
Legal Description:	PLAN 3186 PT 33 & 34		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.3% of the lot area.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of the exterior portion of main walls is 7.5m.  
The proposed height of the side exterior main wall facing a side lot line is **7.8m**.
- Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed east side yard setback is 1.5m.
- Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is 1.5m.
- Section 13.2.1, By-law No. 7625**  
The minimum required lot frontage and width is 15m.  
The proposed lot frontage and width is 12.19m.
- Section 13.2.2, By-law No. 7625**  
The minimum required lot area is 550m<sup>2</sup>.  
The proposed lot area is 483.1m<sup>2</sup>.

7. **Section 13.2.3(a), By-law No. 7625**  
The minimum required front yard setback is 7.5m +/- 1m.  
The proposed front yard setback is 5.56m.
8. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed east side yard setback is 1.5m.
9. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is 1.5m.
10. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 31.3% of the lot area.
11. **Section 13.2.5A, By-law No. 7625**  
The maximum permitted building length is 16.8m.  
The proposed building length is 16.97m.
12. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.8m.  
The proposed building height is **8.92m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0318/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZONING]
Owner:	DANIEL FAZZARI	Ward:	Willowdale (23)
Agent:	DANIEL FAZZARI	Heritage:	Not Applicable
Property Address:	<b>39 STAFFORD RD</b>	Community:	North York
Legal Description:	PLAN 3186 PT 33 & 34		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0319/17NY	Zoning	CR/C1 [ZZC]
Owner(s):	DKSTUDIO HOLDINGS INC.	Ward:	Eglinton-Lawrence (16)
Agent:	DKSTUDIO HOLDINGS INC.	Heritage:	Not Applicable
Property Address:	<b>443 ST GERMAIN AVE</b>	Community:	
Legal Description:	PLAN 1706 PT LOT 178		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a third storey addition over the existing two-storey mixed use building, in conjunction with a new three-storey addition to the rear.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 40.10.30.40., By-law No. 569-2013**

The maximum permitted lot coverage is 33.00% of the lot area.

The proposed lot coverage is 39.49% of the lot area.

**2. Chapter 40.10.40.40(1)(A), By-law No. 569-2013**

The maximum permitted floor space index is 1.00 times the lot area.

The proposed floor space index is 1.126 times the lot area.

**3. Chapter 200.5.10.10.(1), By-law No. 569-2013**

The minimum required number of parking spaces for the office use and residential unit is five (5).

The proposed number of parking spaces is two (2).

**4. Chapter 40.10.40.60.(1)(C)(i), By-law No. 569-2013**

A platform or similar structure, attached to or less than 0.30m from a building subject to Development Standard Set 2 (SS2), and attached to the front main wall with a floor level higher than the floor level of the first floor of the building must be located above the three storeys closest to established grade.

The proposed platform is located at the third storey above grade.

**5. Chapter 40.10.40.60.(1)(C)(ii), By-law No. 569-2013**

A platform or similar structure, attached to or less than 0.30m from a building subject to Development Standard Set 2 (SS2), and attached to the front main wall with a floor level higher than the floor level of the first floor of the building must be located entirely behind the front main wall of the three storeys closest to established grade.

The proposed platform is not entirely located behind the main front wall of the three stories.

**6. Chapter 40.10.40.70.(2)(D), By-law No. 569-2013**

Where the main wall of a building does not have windows or openings, the main wall must be set back at least 3.00m from a side lot line that abuts a lot in the Residential Zone category.

The proposed side yard setback to the Residential Zone category is 1.28m.

**7. Chapter 40.5.40.10.(1), By-law No. 569-2013**

A parking space must be on the same lot as the use for which the parking space is required.

The proposed parking spaces (3) are located within the public boulevard.

**8. Section 23.2.1, By-law No. 7625**

The maximum permitted lot coverage is 33.30% of the lot area.

The proposed lot coverage is 39.49% of the lot area.

**9. Section 23.2.2, By-law No. 7625**

The minimum required front yard setback is 3.08m.

The proposed front yard setback is 1.64m.

**10. Section 22.10.0, By-law No. 7625**

The maximum permitted gross floor area is 347.662m<sup>2</sup>.

The proposed gross floor area is 391.44m<sup>2</sup>.

**11. Section 6A(2)a, By-law No. 7625**

The minimum required number of parking spaces is six (6).

The proposed number of parking spaces is two (2).

**12. Section 23.2.2, By-law No. 7625**

The minimum required side yard setback is 4.50m.

The proposed west side yard setback is 1.28m.

**13. Section 23.2.2, By-law No. 7625**

The minimum required side yard setback is 4.50m.

The proposed east side yard setback is 0.05m.

**14. Section 23.2.4.3, By-law No. 7625**

The maximum permitted building height is 9.20m.

The proposed building height is 10.32m.

**15. Section 6A(4), By-law No. 7625**

All parking spaces shall be provided on the same lot occupied by the building, structure or use for which such parking spaces are required.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
2. The applicant is to provide permanent opaque screening or fencing along the edge of the proposed third storey platform balconies with a minimum height of 1.5 metres from the floor of the balcony/platform.

**SIGNATURE PAGE**

File Number:	A0319/17NY	Zoning	CR/C1 [ZZC]
Owner:	DKSTUDIO HOLDINGS INC.	Ward:	Eglinton-Lawrence (16)
Agent:	DKSTUDIO HOLDINGS INC.	Heritage:	Not Applicable
Property Address:	<b>443 ST GERMAIN AVE</b>	Community:	
Legal Description:	PLAN 1706 PT LOT 178		

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

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Wednesday, June 21, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0320/17NY	Zoning	PE (ZW)
Owner(s):	SOUTHWYND ESTATES INC	Ward:	Eglinton-Lawrence (15)
Agent:	WALKER NOTT DRAGICEVIC ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>396 HOPEWELL AVE</b>	Community:	York
Legal Description:	PLAN 1499 LOTS 161 & 162		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To reduce the minimum supply of visitor parking for the proposed development.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Section 2.(d), By-law No. 1059-2014**

The minimum required number of parking spaces is 16 for visitor use.

The proposed number of visitor parking spaces is 14.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0320/17NY	Zoning	PE (ZW)
Owner:	SOUTHWYND ESTATES INC	Ward:	Eglinton-Lawrence (15)
Agent:	WALKER NOTT DRAGICEVIC ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	<b>396 HOPEWELL AVE</b>	Community:	York
Legal Description:	PLAN 1499 LOTS 161 & 162		

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Bruce Mullock (signed)

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Derek Lett (signed)

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Isaac Lallouz (signed)

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Nadini Sankar (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0322/17NY	Zoning	RD (f15.0; d0.35)(x961)/R1 Z0.35[ZONING]
Owner(s):	VASUKI SUSAN UTHAYAKUMAR	Ward:	Eglinton-Lawrence (16)
Agent:	HB DESIGN	Heritage:	Not Applicable
Property Address:	<b>332 LYTTON BLVD</b>	Community:	Toronto
Legal Description:	PLAN 1570 LOT 116		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a third floor above the existing two-storey dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.40.(1), By-law No. 569-2013**  
The maximum permitted Floor Space Index is 0.35 times the area of the lot.  
The proposed Floor Space Index is 0.557 times the area of the lot.
- 2. Section 6(3) Part II, By-law No. 438-86**  
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.  
The proposed Gross Floor Area is 0.557 times the area of the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0322/17NY	Zoning	RD (f15.0; d0.35)(x961)/R1 Z0.35[ZONING]
Owner:	VASUKI SUSAN UTHAYAKUMAR	Ward:	Eglinton-Lawrence (16)
Agent:	HB DESIGN	Heritage:	Not Applicable
Property Address:	<b>332 LYTTON BLVD</b>	Community:	Toronto
Legal Description:	PLAN 1570 LOT 116		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0323/17NY	Zoning	RM/R2 [ZZC]
Owner(s):	ANTONIO DE OLIVEIRA	Ward:	Eglinton-Lawrence (15)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	<b>200 SCHELL AVE</b>	Community:	York
Legal Description:	PLAN 1855 E PT LOT 443		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To permit the construction of a new semi-detached ancillary building (garage). Please note that applications A0323/17NY & A0324/17NY will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.60.50.(2), By-law No. 569-2013**  
The maximum permitted total floor area of all ancillary buildings or structures on a lot is 40.00m<sup>2</sup>.  
The proposed total floor area of all ancillary buildings is **46.66m<sup>2</sup>**.
- 2. Chapter 10.5.60.70.(1), By-law No. 569-2013**  
The maximum permitted lot coverage for an ancillary building or structure(s) is 10.00% of the lot area.  
The proposed lot coverage of the ancillary building is **16.97%** of the lot area.
- 3. Chapter 10.5.50.10.(3), By-law No. 569-2013**  
The minimum required rear yard landscaping is 50.00%.  
The proposed rear yard landscaping is **41.62%**.
- 4. Section 3.4.11.(c), By-law No. 1-83**  
The maximum permitted accessory building height is 3.70m.  
The proposed height of the accessory building is 4.00m.
- 5. Section 3.4.11.(c), By-law No. 1-83**  
Maximum gross floor area of any accessory building shall not exceed 46.00m<sup>2</sup>.  
The proposed gross floor area of the accessory building is **46.66m<sup>2</sup>**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

### **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number: A0323/17NY  
Owner: ANTONIO DE OLIVEIRA  
Agent: EDDIE PERES  
Property Address: **200 SCHELL AVE**  
Legal Description: PLAN 1855 E PT LOT 443

Zoning: RM/R2 [ZZC]  
Ward: Eglinton-Lawrence (15)  
Heritage: Not Applicable  
Community: York

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0324/17NY	Zoning	RM/R2 [ZZC]
Owner(s):	OLIVEIRA ANTONIO DE DE OLIVEIRA MARIA	Ward:	Eglinton-Lawrence (15)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	<b>198 SCHELL AVE</b>	Community:	York
Legal Description:	PLAN 1855 PT LOT 442		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To permit the construction of a new semi-detached ancillary building (garage). Please note that applications A0323/17NY & A0324/17NY will be considered jointly.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.60.50.(2), By-law No. 569-2013**  
The maximum permitted total floor area of all ancillary buildings or structures on a lot is 40.00m<sup>2</sup>.  
The proposed total floor area of all ancillary buildings is **46.66m<sup>2</sup>**.
- 2. Chapter 10.5.60.70.(1), By-law No. 569-2013**  
The maximum permitted lot coverage for an ancillary building or structure(s) is 10.00% of the lot area.  
The proposed lot coverage of the ancillary building is **16.97%** of the lot area.
- 3. Chapter 10.5.50.10.(3), By-law No. 569-2013**  
The minimum required rear yard landscaping is 50.00%.  
The proposed rear yard landscaping is **41.62%**
- 4. Section 3.4.11.(c), By-law No. 1-83**  
The maximum permitted accessory building height is 3.70m.  
The proposed height of the accessory building is 4.00m.
- 5. Section 3.4.11.(c), By-law No. 1-83**  
Maximum gross floor area of any accessory building shall not exceed 46.00m<sup>2</sup>.  
The proposed gross floor area of the accessory building is **46.66m<sup>2</sup>**.



The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0324/17NY	Zoning	RM/R2 [ZZC]
Owner:	OLIVEIRA ANTONIO DE DE OLIVEIRA MARIA	Ward:	Eglinton-Lawrence (15)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	<b>198 SCHELL AVE</b>	Community:	York
Legal Description:	PLAN 1855 PT LOT 442		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0325/17NY	Zoning	R3/ RD (f18,a690) [WAIVER]
Owner(s):	KAMBIZ HESHMATI	Ward:	Eglinton-Lawrence (16)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	<b>276 STRATHALLAN WOOD</b>	Community:	North York
Legal Description:	PLAN 1611 L 102		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.70(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.50m.
- 2. Chapter 10.20.40.70(3), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.50m.
- 3. Section 12.2, By-law No. 7625**  
The minimum required lot frontage is 18.00m.  
The proposed lot frontage is 15.24m.
- 4. Section 6(8), By-law No. 7625**  
The minimum required lot width is 18.00m.  
The proposed lot width is 15.24m.
- 5. Section 12.3, By-law No. 7625**  
The minimum required lot area is 690.00m<sup>2</sup>.  
The proposed lot area is 622.40m<sup>2</sup>.
- 6. Section 12.4, By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.50m.

7. **Section 12.4, By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.50m.
8. **Section 12.5A.1, By-law No. 7625**  
The maximum permitted length of dwelling is 16.80m.  
The proposed length of the dwelling is 17.00m.
9. **Section 12.7, By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.10m.
10. **Section 6(30), By-law No. 7625**  
The maximum permitted height of the first floor is 1.50m.  
The proposed first floor is 2.43m above the centre of the road.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

**SIGNATURE PAGE**

File Number:	A0325/17NY	Zoning	R3/ RD (f18,a690) [WAIVER]
Owner:	KAMBIZ HESHMATI	Ward:	Eglinton-Lawrence (16)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	<b>276 STRATHALLAN WOOD</b>	Community:	North York
Legal Description:	PLAN 1611 L 102		

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Nadini Sankar (signed)

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Derek Lett (signed)

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Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0326/17NY	Zoning	RD/R4[ZONING]
Owner(s):	JAEIM PARK MYUNGHO PARK	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>385 PRINCESS AVE</b>	Community:	North York
Legal Description:	PLAN 1609 LOT 127		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished. Please be advised the subject property went before the Committee of Adjustment on January 12, 2017, the development proposal was refused.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.  
The proposed height of the east side exterior main wall is 8.14m for 33% of the width of wall.
- 3. Chapter 900.3.10(5), By-law No. 569-2013**  
The required minimum side yard setbacks is 1.8m.  
The proposed west side yard setback is 1.5m for the 6.17m portion of the dwelling.
- 4. Chapter 900.3.10(5), By-law No. 569-2013**  
The required minimum side yard setbacks is 1.8m.  
The proposed east side yard setback is 1.5m for the 5.46m portion of the dwelling.
- 5. Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30% of the lot area.  
The proposed lot coverage is 32% of the lot area.
- 6. Section 13.2.3(b), By-law No. 7625**  
The required minimum side yard setbacks is 1.8m.



The proposed west side yard setback is 1.5m for the 6.17m portion of the dwelling.

**7. Section 13.2.3(b), By-law No. 7625**

The required minimum side yard setbacks is 1.8m.

The proposed east side yard setback is 1.5m for the 5.46m portion of the dwelling.

**8. Section 13.2.6, By-law No. 7625**

The maximum permitted building height is 8.8m.

The proposed building height 8.97m.

**9. Section 13.2.5A, By-law No. 7625**

The maximum permitted building length is 16.80m.

The proposed building length is 19.15m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

**SIGNATURE PAGE**

File Number:	A0326/17NY	Zoning	RD/R4[ZONING]
Owner:	JAEIM PARK MYUNGHO PARK	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>385 PRINCESS AVE</b>	Community:	North York
Legal Description:	PLAN 1609 LOT 127		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0329/17NY	Zoning	RD/R6(20) [ZZC]
Owner(s):	JEANNE ELISE SUMMERVILLE ADAM JOHN MILLER	Ward:	Eglinton-Lawrence (16)
Agent:	MURAT OZGUR	Heritage:	Not Applicable
Property Address:	<b>110 MCGILLIVRAY AVE</b>	Community:	North York
Legal Description:	PLAN 1831 PT LOTS 112 & 113		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.50.10.(1), By-law No. 569-2013**  
The minimum required front yard soft landscaping is 75.00%.  
The proposed front yard soft landscaping is **67.81%**.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100.00% of the width of the wall.  
The proposed height of the east side exterior main wall facing a side lot line is 7.83m for 100.00% of the width of the wall.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100.00% of the width of the wall.  
The proposed height of the west side exterior main wall facing a side lot line is 7.83m for 100.00% of the width of the wall.
- 4. Chapter 10.20.40.10.(6), By-law No. 569-2013**  
The maximum permitted finished first floor height is 1.20m.  
The proposed finished first floor height is **1.35m**.
- 5. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 35.00% of the lot area.

6. **Section 14-A(9), By-law No. 7625**  
The maximum permitted building length is 15.30m.  
The proposed building length is 15.67m.
7. **Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 35.00% of the lot area.
8. **Section 14-A(8), By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.23m.
9. **Section 6(30), By-law No. 7625**  
The maximum permitted finished first floor height is 1.50m.  
The proposed finished first floor height is **1.59m**.
10. **Section 7.4A, By-law No. 7625**  
The minimum required front yard soft landscaping is 75.00%.  
The proposed front yard soft landscaping is **67.81%**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.50.10.(1), By-law No. 569-2013**  
The minimum required front yard soft landscaping is 75.00%.  
The proposed front yard soft landscaping is **67.81%**.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100.00% of the width of the wall.  
The proposed height of the east side exterior main wall facing a side lot line is 7.83m for 100.00% of the width of the wall.
3. **Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m for 100.00% of the width of the wall.  
The proposed height of the west side exterior main wall facing a side lot line is 7.83m for 100.00% of the width of the wall.
4. **Chapter 10.20.40.10.(6), By-law No. 569-2013**  
The maximum permitted finished first floor height is 1.20m.  
The proposed finished first floor height is **1.35m**.
6. **Section 14-A(9), By-law No. 7625**  
The maximum permitted building length is 15.30m.  
The proposed building length is 15.67m.

8. **Section 14-A(8), By-law No. 7625**  
The maximum permitted building height is 8.80m.  
The proposed building height is 9.23m.
9. **Section 6(30), By-law No. 7625**  
The maximum permitted finished first floor height is 1.50m.  
The proposed finished first floor height is **1.59m**.
10. **Section 7.4A, By-law No. 7625**  
The minimum required front yard soft landscaping is 75.00%.  
The proposed front yard soft landscaping is **67.81%**.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

5. **Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **32.00%** of the lot area.
7. **Section 14-A(6), By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **32.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0329/17NY	Zoning	RD/R6(20) [ZZC]
Owner:	JEANNE ELISE SUMMERVILLE ADAM JOHN MILLER	Ward:	Eglinton-Lawrence (16)
Agent:	MURAT OZGUR	Heritage:	Not Applicable
Property Address:	<b>110 MCGILLIVRAY AVE</b>	Community:	North York
Legal Description:	PLAN 1831 PT LOTS 112 & 113		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0330/17NY	Zoning	RD / R1B (ZR)
Owner(s):	SCOTT WHITE PAMELA WHITE	Ward:	Don Valley West (26)
Agent:	CUNHA DESIGN CONSULTANTS LTD	Heritage:	Not Applicable
Property Address:	<b>9 MOOREHILL DR</b>	Community:	East York
Legal Description:	PLAN 3304 LOT 8 PT LOT 9		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct an addition to the existing dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.60.(3), By-law No. 569-2013**  
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0 m.  
The proposed side stairs are 3/76 m wide.
- Chapter 10.20.40.10.(1), By-law No. 569-2013**  
The permitted maximum height of a building or structure is 8.5 m.  
The proposed height of the building is 8.65 m.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**  
The permitted building depth for a detached house is 19.0 m.  
The proposed building depth is 22.53 m.
- Chapter 10.20.40.70.(6), By-law No. 569-2013**  
The required minimum side yard setback is 3.0 m for a corner lot where there is an adjacent lot fronting on the street abutting the side lot line.  
The proposed northwest side yard setback is 2.36 m.
- Chapter 10.5.100.1.(1), By-law No. 569-2013**  
If an individual private driveway leads directly to the dwelling unit, a driveway that is located in or passes through the front yard may be for lots with a lot frontage of 6.0 m to 23.0 m inclusive, or a townhouse dwelling unit at least 6.0 m wide, a maximum of 6.0 m wide.

The proposed driveway is 6.92 m.

**6. Chapter 10.20.40.20.(1), By-law No. 569-2013**

The permitted maximum building length for a detached house is 17. m when the minimum required lot frontage is 18.0 or less.

The proposed building length is 22.37 m.

**7. Chapter 10.20.40.70.(2), By-law No. 569-2013**

The required minimum rear yard setback is 9.83 m.

The proposed rear yard setback is 9.43 m.

**8. Section 7.1.1(5), By-law No. 6752**

The maximum permitted building length is 16.75 m.

The proposed building length is 21.5 m.

**9. Section 7.1.4(1)(c), By-law No. 6752**

The maximum driveway width accessing a required parking space is 6.0 m.

The proposed driveway width is 6.92 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 13, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



**SIGNATURE PAGE**

File Number:	A0330/17NY	Zoning	RD / R1B (ZR)
Owner:	SCOTT WHITE PAMELA WHITE	Ward:	Don Valley West (26)
Agent:	CUNHA DESIGN CONSULTANTS LTD	Heritage:	Not Applicable
Property Address:	<b>9 MOOREHILL DR</b>	Community:	East York
Legal Description:	PLAN 3304 LOT 8 PT LOT 9		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, June 21, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0332/17NY	Zoning	RD/ R4 [ZZC]
Owner(s):	HAYA ESTHER MINZBERG YOSEF HAIM MINZBERG	Ward:	York Centre (10)
Agent:	SABINA ROTENBERG INTEGRAL DESIGN ASSOCIATES	Heritage:	Not Applicable
Property Address:	<b>80 CHARLESWOOD DR</b>	Community:	North York
Legal Description:	PLAN 3746 LOT 115		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling with integral garage. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.70(3)A, By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback as 1.55m.
- Chapter 10.20.40.70(3)A, By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback as 1.57m.
- Chapter 10.5.40.10(5), By-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the first floor must be within 4.00m of the front main wall.  
The proposed first floor mud room is 0.00m<sup>2</sup> within 4.00m of the front main wall.
- Chapter 10.20.40.70.(1)A, By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 38.06% of the lot area.
- Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 6.51m.  
The proposed front yard setback is **6.31m**.
- Chapter 10.5.100.1.(1)(C), By-law No. 569-2013**

A driveway that is located in or passes through the front yard may be a maximum of 4.40m wide.  
The proposed driveway is 4.93m wide.

7. **Section 13.2.2, By-law No. 7925**  
The minimum required lot area is 550.00m<sup>2</sup>.  
The existing and proposed lot area is 462.99m<sup>2</sup>
8. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 37.64% of the lot area.
9. **Section 13.2.3(a), By-law No. 7625**  
The minimum required front yard setback is 7.50 +/- 1.00m.  
The proposed front yard setback is **6.31m**.
10. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.57m.
11. **Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.55m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

3. **Chapter 10.5.40.10(5), By-law No. 569-2013**  
A minimum of 10.00m<sup>2</sup> of the first floor must be within 4.00m of the front main wall.  
The proposed first floor mud room is 0.00m<sup>2</sup> within 4.00m of the front main wall.
5. **Chapter 10.20.40.70.(1), By-law No. 569-2013**  
The minimum required front yard setback is 6.51m.  
The proposed front yard setback is **6.31m**.
6. **Chapter 10.5.100.1.(1)(C), By-law No. 569-2013**  
A driveway that is located in or passes through the front yard may be a maximum of 4.40m wide.  
The proposed driveway is 4.93m wide.
7. **Section 13.2.2, By-law No. 7925**  
The minimum required lot area is 550.00m<sup>2</sup>.  
The existing and proposed lot area is 462.99m<sup>2</sup>
9. **Section 13.2.3(a), By-law No. 7625**  
The minimum required front yard setback is 7.50 +/- 1.00m.  
The proposed front yard setback is **6.31m**.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

**4. Chapter 10.20.40.70.(1A), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **35.00%** of the lot area.

**8. Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is **35.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

**1. Chapter 10.20.40.70(3A), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback as 1.55m.

**2. Chapter 10.20.40.70(3A), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback as 1.57m.

**10. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed east side yard setback is 1.57m.

**11. Section 13.2.3(b), By-law No. 7625**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.55m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.



**SIGNATURE PAGE**

File Number:	A0332/17NY	Zoning	RD/ R4 [ZZC]
Owner:	HAYA ESTHER MINZBERG YOSEF HAIM MINZBERG	Ward:	York Centre (10)
Agent:	SABINA ROTENBERG INTEGRAL DESIGN ASSOCIATES	Heritage:	Not Applicable
Property Address:	<b>80 CHARLESWOOD DR</b>	Community:	North York
Legal Description:	PLAN 3746 LOT 115		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0333/17NY	Zoning	RD / R4 (ZR)
Owner(s):	ALEXEY DYADKOV ALEXEY DYADKOV	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>74 BURNDALE AVE</b>	Community:	North York
Legal Description:	PLAN M407 L 370		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10 m<sup>2</sup> of the first floor area must be within 4 m of the front wall.  
There is 3.6 m<sup>2</sup> proposed within 4 m of the front wall.
- Chapter 10.5.40.60.(3), By-law No. 569-2013**  
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0 m.  
The proposed front stairs are 2.64 m wide.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 30.0% of the lot area.  
The proposed lot coverage is 32.0% of the lot area.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.  
The proposed west side exterior main wall is 8.57 m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.  
The proposed east side exterior main wall is 8.57 m.
- Chapter 900.3.10(5), By-law No. 569-2013**

The required minimum side yard setback is 1.8 m.  
The proposed west side yard setback is 1.5 m **for the first 7.16m portion of the dwelling only.**

7. **Chapter 900.3.10(5), By-law No. 569-2013**  
The required minimum side yard setback is 1.8 m.  
The proposed east side yard setback is 1.5 m.
8. **Section 13.2.3(b), By-law No. 7625**  
The required minimum side yard setback is 1.8 m.  
The proposed west side yard setback is 1.5 m **for the first 7.16m portion of the dwelling only.**
9. **Section 13.2.3(b), By-law No. 7625**  
The required minimum side yard setback is 1.8 m.  
The proposed east side yard setback is 1.5 m.
10. **Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 30.0% of the lot area.  
The proposed lot coverage is 32.0% of the lot area.
11. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.14 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.10.(5), By-law No. 569-2013**  
A minimum of 10 m<sup>2</sup> of the first floor area must be within 4 m of the front wall.  
There is 3.6 m<sup>2</sup> proposed within 4 m of the front wall.
2. **Chapter 10.5.40.60.(3), By-law No. 569-2013**  
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0 m.  
The proposed front stairs are 2.64 m wide.
3. **Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The permitted maximum lot coverage is 30.0% of the lot area.  
The proposed lot coverage is 32.0% of the lot area.
4. **Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.  
The proposed west side exterior main wall is 8.57 m.
5. **Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.  
The proposed east side exterior main wall is 8.57 m.
6. **Chapter 900.3.10(5), By-law No. 569-2013**

The required minimum side yard setback is 1.8 m.  
The proposed west side yard setback is 1.5 m **for the first 7.16m portion of the dwelling only.**

**8. Section 13.2.3(b), By-law No. 7625**

The required minimum side yard setback is 1.8 m.  
The proposed west side yard setback is 1.5 m **for the first 7.16m portion of the dwelling only.**

**10. Section 13.2.4, By-law No. 7625**

The maximum permitted lot coverage is 30.0% of the lot area.  
The proposed lot coverage is 32.0% of the lot area.

**11. Section 13.2.6, By-law No. 7625**

The maximum permitted building height is 8.8 m.  
The proposed building height is 9.14 m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

**7. Chapter 900.3.10(5), By-law No. 569-2013**

The required minimum side yard setback is 1.8 m.  
The proposed east side yard setback is 1.5 m.

**9. Section 13.2.3(b), By-law No. 7625**

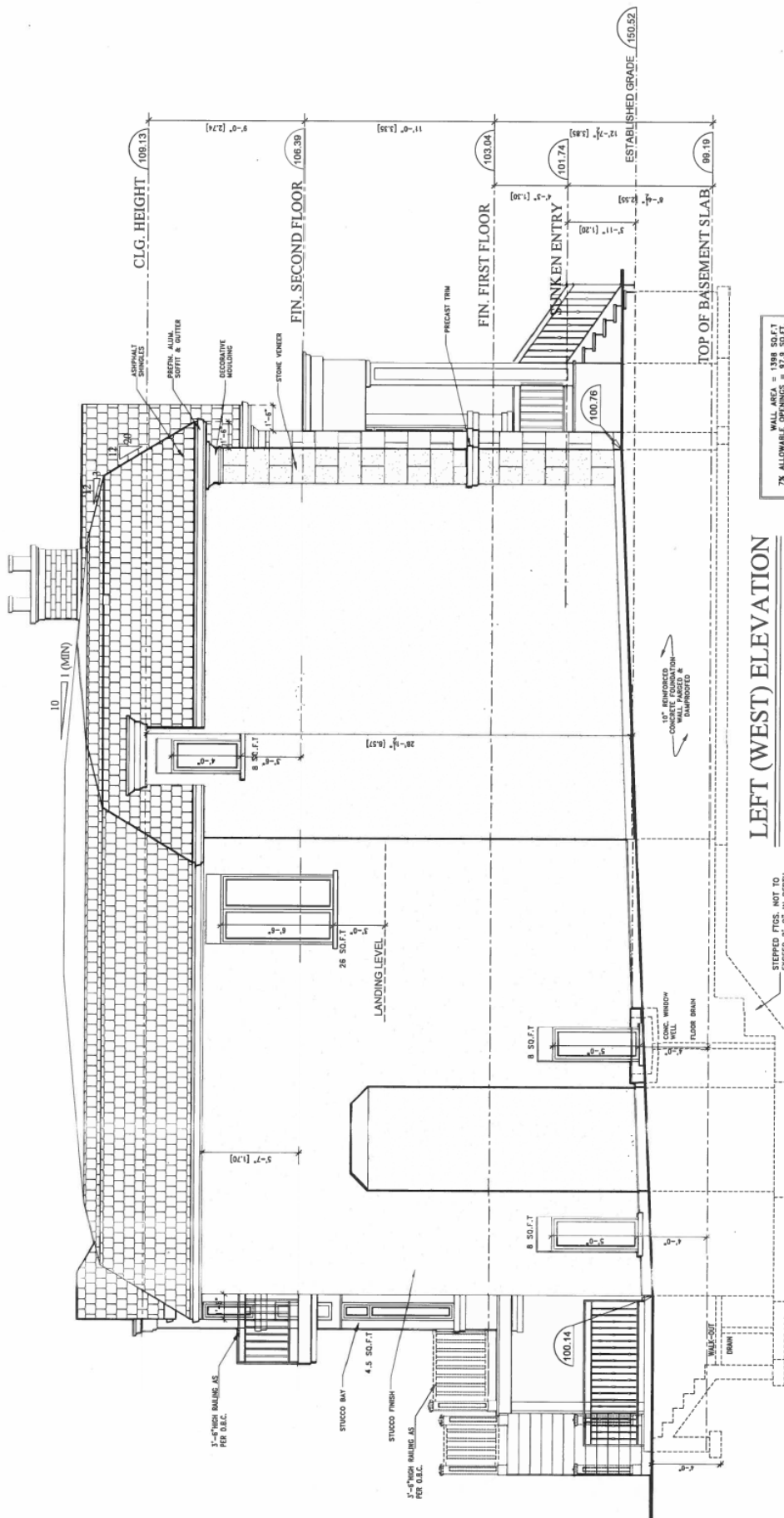
The required minimum side yard setback is 1.8 m.  
The proposed east side yard setback is 1.5 m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, June 12, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



WALL AREA = 1838 SQ. FT.  
 7% ALLOWABLE OPENINGS = 97.8 SQ. FT.  
 PROPOSED OPENING = 50.0 SQ. FT.  
 4.3% GATED AREA = 45.0 SQ. FT.

**LEFT (WEST) ELEVATION**  
 \*74 BURNDALE AVE\*

STEPS/TERRACES, NOT TO EXCEED 2'-0" IN DEPTH

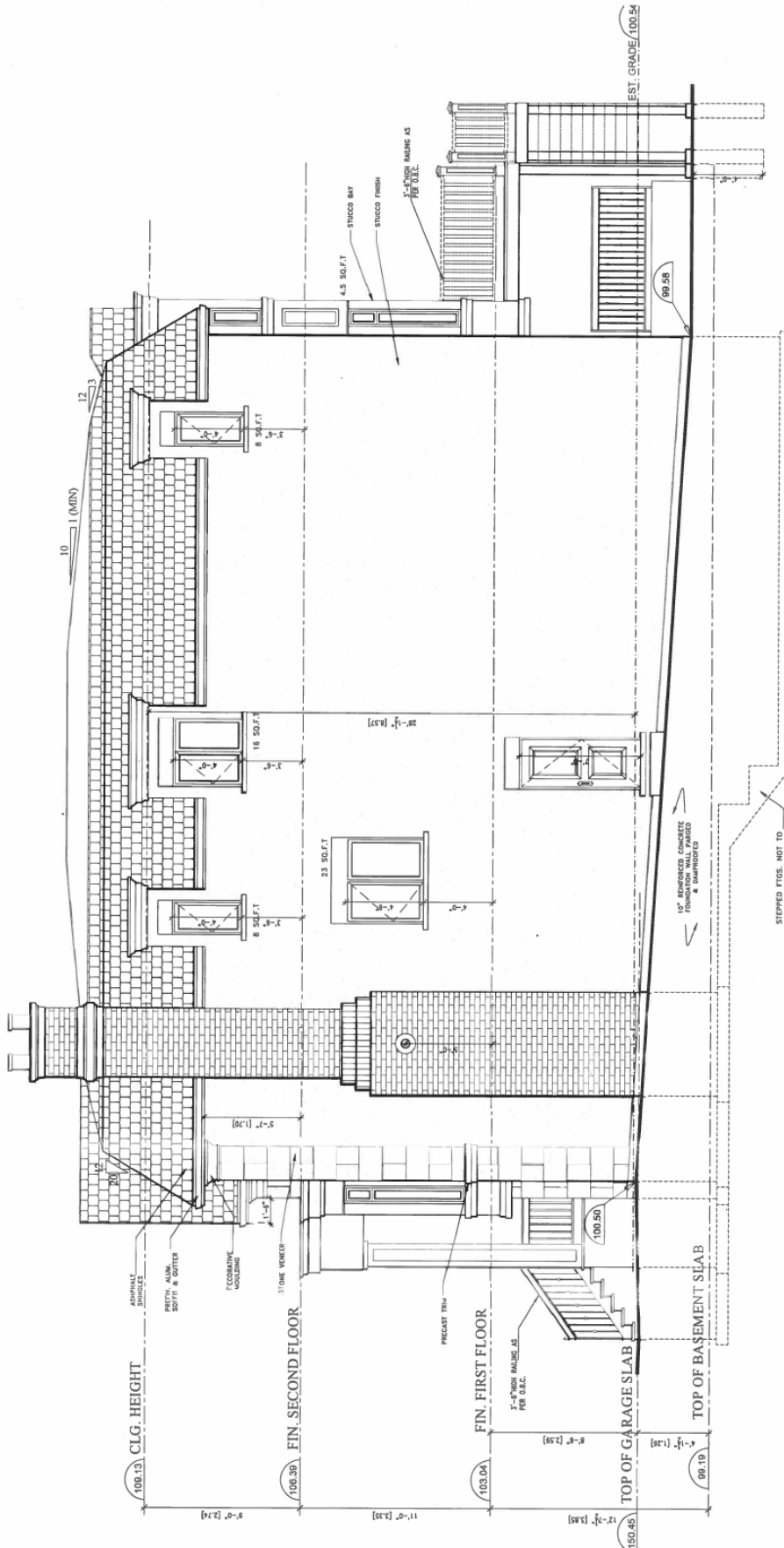
**Rubinoff Design Group**  
 697 Mount Pleasant Road  
 Toronto, Ontario M4S 2N4  
 TEL: 416.467.2322 FAX: 416.467.2371 EMAIL: info@rubinoff.com

**74 BURNDALE AVE.**  
 SCALE: 3/8" = 1'-0" MAR 13, 2016

**RECEIVED**

**JUN 12 2017**

CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE



**R**ubinoff Design Group  
 687 Mount Pleasant Road  
 Toronto, Ontario M4S 2N4  
 TEL: 416-467-2222 FAX: 416-467-2211 EMAIL: info@rubinoff.com

74 BURNDALE AVE.  
 SCALE: 3/8" = 1'-0" MAR 13, 2016

**RECEIVED**

**JUN 12 2017**

CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE

STEPS PERMIT TO EXCEED 2'-0" IN DEPTH  
 WALL AREA = 1488 SQ.F.T.  
 7% ALLOWABLE OPENINGS = 104.2 SQ.F.T.  
 3.3% GLAZED AREA = 49.3 SQ.F.T.

**RIGHT (EAST) ELEVATION**  
 \*74 BURNDALE AVE\*

**SIGNATURE PAGE**

File Number:	A0333/17NY	Zoning	RD / R4 (ZR)
Owner:	ALEXEY DYADKOV ALEXEY DYADKOV	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>74 BURNDALE AVE</b>	Community:	North York
Legal Description:	PLAN M407 L 370		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0334/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	LILY WONG ALFRED WONG	Ward:	Don Valley West (25)
Agent:	VULCAN DESIGN INC	Heritage:	Not Applicable
Property Address:	<b>2 BALLYRONAN RD</b>	Community:	North York
Legal Description:	PLAN 4768 L 726		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 25.00% of the lot area.  
The proposed lot coverage is 29.20% of the lot area.
- Section 13.2.4, By-law No. 7625**  
The maximum permitted lot coverage is 25.00% of the lot area.  
The proposed lot coverage is 29.20% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0334/17NY	Zoning	RD/R4 [ZZC]
Owner:	LILY WONG ALFRED WONG	Ward:	Don Valley West (25)
Agent:	VULCAN DESIGN INC	Heritage:	Not Applicable
Property Address:	<b>2 BALLYRONAN RD</b>	Community:	North York
Legal Description:	PLAN 4768 L 726		

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Nadini Sankar (signed)

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Derek Lett (signed)

---

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

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Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0335/17NY	Zoning	R1 Z0.35/R3/RD (f15.0; d0.35) x1432[ZONING]
Owner(s):	PAUL EDWARD ZEMLA	Ward:	Don Valley West (25)
Agent:	JILLIAN AIMIS	Heritage:	Not Applicable
Property Address:	<b>200 DAWLISH AVE</b>	Community:	North York
Legal Description:	PLAN 1534 PT LOTS 369 & 370		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.100.1.(1), By-law No. 569-2013**  
The maximum permitted driveway is 6.0m wide.  
The proposed driveway is 6.76m wide.
- 2. Chapter 10.20.40.10.(4), By-law No. 569-2013**  
The maximum permitted building height is 7.2m.  
The proposed building height is 7.32m.
- 3. Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The maximum permitted Floor Space Index is 0.35 times the area of the lot.  
The proposed Floor Space Index is 0.48 times the area of the lot.
- 4. Chapter 10.20.40.50.(1), By-law No. 569-2013**  
The maximum permitted area of each platform at or above the second storey is 4.0m<sup>2</sup>.  
The proposed area of each platform at or above the second storey is **6.0m<sup>2</sup>**.
- 5. Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed east side yard setback is 1.50m.
- 6. Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed west side yard setback is 1.50m.

7. **Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.8m.  
The proposed building length is 18.48m.
8. **Section 12.7, By-law No. 7625**  
The maximum permitted building height is 8.0m.  
The proposed building height is 8.28m.
9. **Section 12.7A, By-law No. 7625**  
The maximum permitted balcony area is 3.8m<sup>2</sup>.  
The proposed balcony area is **6.0m<sup>2</sup>**.
10. **Section 6A(5)a, By-law No. 7625**  
The maximum permitted access to parking spaces is 6.0m.  
The proposed access to parking is 6.76m.
11. **Section 6(9)i, By-law No. 7625**  
The maximum permitted rear canopy projection is 1.8m.  
The proposed rear canopy projects 2.3m.
12. **Section 6(3) Part I 1, By-law No. 438-86**  
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.  
The proposed Gross Floor Area is 0.48 times the area of the lot.
13. **Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum required setback from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.  
The proposed east side lot line is 1.5m.
14. **Section 6(3) Part IV 4(a)ii, By-law No. 438-86**  
The maximum permitted driveway width is 6.0m.  
The proposed driveway width is 6.76m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.100.1.(1), By-law No. 569-2013**  
The maximum permitted driveway is 6.0m wide.  
The proposed driveway is 6.76m wide.
2. **Chapter 10.20.40.10.(4), By-law No. 569-2013**  
The maximum permitted building height is 7.2m.  
The proposed building height is 7.32m.
4. **Chapter 10.20.40.50.(1), By-law No. 569-2013**  
The maximum permitted area of each platform at or above the second storey is 4.0m<sup>2</sup>.  
The proposed area of each platform at or above the second storey is **6.0m<sup>2</sup>**.

7. **Section 12.5A, By-law No. 7625**  
The maximum permitted building length is 16.8m.  
The proposed building length is 18.48m.
8. **Section 12.7, By-law No. 7625**  
The maximum permitted building height is 8.0m.  
The proposed building height is 8.28m.
9. **Section 12.7A, By-law No. 7625**  
The maximum permitted balcony area is 3.8m<sup>2</sup>.  
The proposed balcony area is **6.0m<sup>2</sup>**.
10. **Section 6A(5)a, By-law No. 7625**  
The maximum permitted access to parking spaces is 6.0m.  
The proposed access to parking is 6.76m.
11. **Section 6(9)i, By-law No. 7625**  
The maximum permitted rear canopy projection is 1.8m.  
The proposed rear canopy projects 2.3m.
13. **Section 6(3) Part II 3.B(II), By-law No. 438-86**  
The minimum required setback from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.  
The proposed east side lot line is 1.5m.
14. **Section 6(3) Part IV 4(a)ii, By-law No. 438-86**  
The maximum permitted driveway width is 6.0m.  
The proposed driveway width is 6.76m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

3. **Chapter 10.20.40.40.(1), By-law No. 569-2013**  
The maximum permitted Floor Space Index is 0.35 times the area of the lot.  
The proposed Floor Space Index is **0.40** times the area of the lot.
12. **Section 6(3) Part I 1, By-law No. 438-86**  
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.  
The proposed Gross Floor Area is **0.40** times the area of the lot.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

5. **Section 12.4(b), By-law No. 7625**  
The minimum required side yard setback is 1.8m.  
The proposed east side yard setback is 1.50m.

**6. Section 12.4(b), By-law No. 7625**

The minimum required side yard setback is 1.8m.

The proposed west side yard setback is 1.50m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.



**SIGNATURE PAGE**

File Number:	A0335/17NY	Zoning	R1 Z0.35/R3/RD (f15.0; d0.35) x1432[ZONING]
Owner:	PAUL EDWARD ZEMLA	Ward:	Don Valley West (25)
Agent:	JILLIAN AIMIS	Heritage:	Not Applicable
Property Address:	<b>200 DAWLISH AVE</b>	Community:	North York
Legal Description:	PLAN 1534 PT LOTS 369 & 370		

\_\_\_\_\_  
Bruce Mullock (signed)

\_\_\_\_\_  
Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

\_\_\_\_\_  
Nadini Sankar (signed)

\_\_\_\_\_  
Nazila Atarodi (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Wednesday, June 21, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0979/16NY	Zoning	RD/R4 [WAV]
Owner(s):	KENNETH LORNE REYNOLDS MARY ELIZABETH REYNOLDS	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>179 PRINCESS AVE</b>	Community:	North York
Legal Description:	PLAN 1609 LOT 188		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey dwelling. The existing dwelling would be demolished. Please note this application was previously deferred Thursday, January 12, 2017 in order to allow the applicant an opportunity to meet with the area residents.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**  
The maximum permitted lot coverage is 30.00% of the lot area.  
The proposed lot coverage is 32.00% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the east side exterior main wall facing a side lot line is 7.97m for 35.00% of the width of the wall.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.  
The proposed height of the west side exterior main wall facing a side lot line is 7.97m for 25.00% of the width of the wall.
- 4. Chapter 900.3.10.(5), By-law No. 569-2013**  
The minimum required side yard setback is 1.80m.  
The proposed west side yard setback is 1.50m **for the first 9.1m portion of the dwelling only.**

**5. Section 13.2.4, By-law No. 7625**

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

**6. Section 13.2.3(b), By-law No. 7625**

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.50m **for the first 9.1m portion of the dwelling only.**

**7. Section 6(30), By-law No. 7625**

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.90m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0979/16NY	Zoning	RD/R4 [WAV]
Owner:	KENNETH LORNE REYNOLDS MARY ELIZABETH REYNOLDS	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	<b>179 PRINCESS AVE</b>	Community:	North York
Legal Description:	PLAN 1609 LOT 188		

\_\_\_\_\_  
Bruce Mullock (signed)

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Derek Lett (signed)

\_\_\_\_\_  
Isaac Lallouz (signed)

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Nadini Sankar (signed)

DATE DECISION MAILED ON: Wednesday, June 28, 2017

LAST DATE OF APPEAL: Tuesday, July 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci  
Manager & Deputy Secretary Treasurer  
North York Panel

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Wednesday, June 21, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0156/17NY	Zoning	RD / R4 (ZR)
Owner(s):	JOLAN SASS SAMAN MOTAHARI	Ward:	Don Valley West (25)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	<b>10 CICADA CRT</b>	Community:	North York
Legal Description:	PLAN 4758 LOT 65		

Notice was given and a Public Hearing was held on Wednesday, June 21, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new dwelling with attached garage. The existing dwelling will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**  
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m  
The proposed height of the side exterior main walls facing a side lot line is 8.44 m.
- 2. Chapter 10.20.40.70.(4), By-law No. 569-2013**  
The required minimum side yard setback is 1.8 m where the required minimum frontage is 12.0 m to less than 18.0 m  
The proposed west side yard setback is 1.5 m.
- 3. Chapter 10.5.80.40.(1), By-law No. 569-2013**  
For a lot with a detached house or semi-detached house and a minimum required lot frontage is less than 24.0 m, the maximum combined width of all vehicle entrances through the front main wall of the residential building is 6.0 m.  
The proposed combined width of all vehicle entrances through the front main wall is 8.18 m.
- 4. Section 6A(5)a, By-law No. 7625**  
The maximum driveway width access required for parking areas is 6 m.  
The proposed access to parking is 8.18 m.
- 5. Section 13.2.3(b), By-law No. 7625**  
The minimum required east side yard setback is 1.8 m.  
The proposed west side yard setback is 1.5 m.

6. **Section 13.2.3c, By-law No. 7625**  
The minimum required rear yard setback is 9.5 m.  
The proposed rear yard setback is 9.24 m.
7. **Section 13.2.6, By-law No. 7625**  
The maximum permitted building height is 8.8 m.  
The proposed building height is 9.03 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

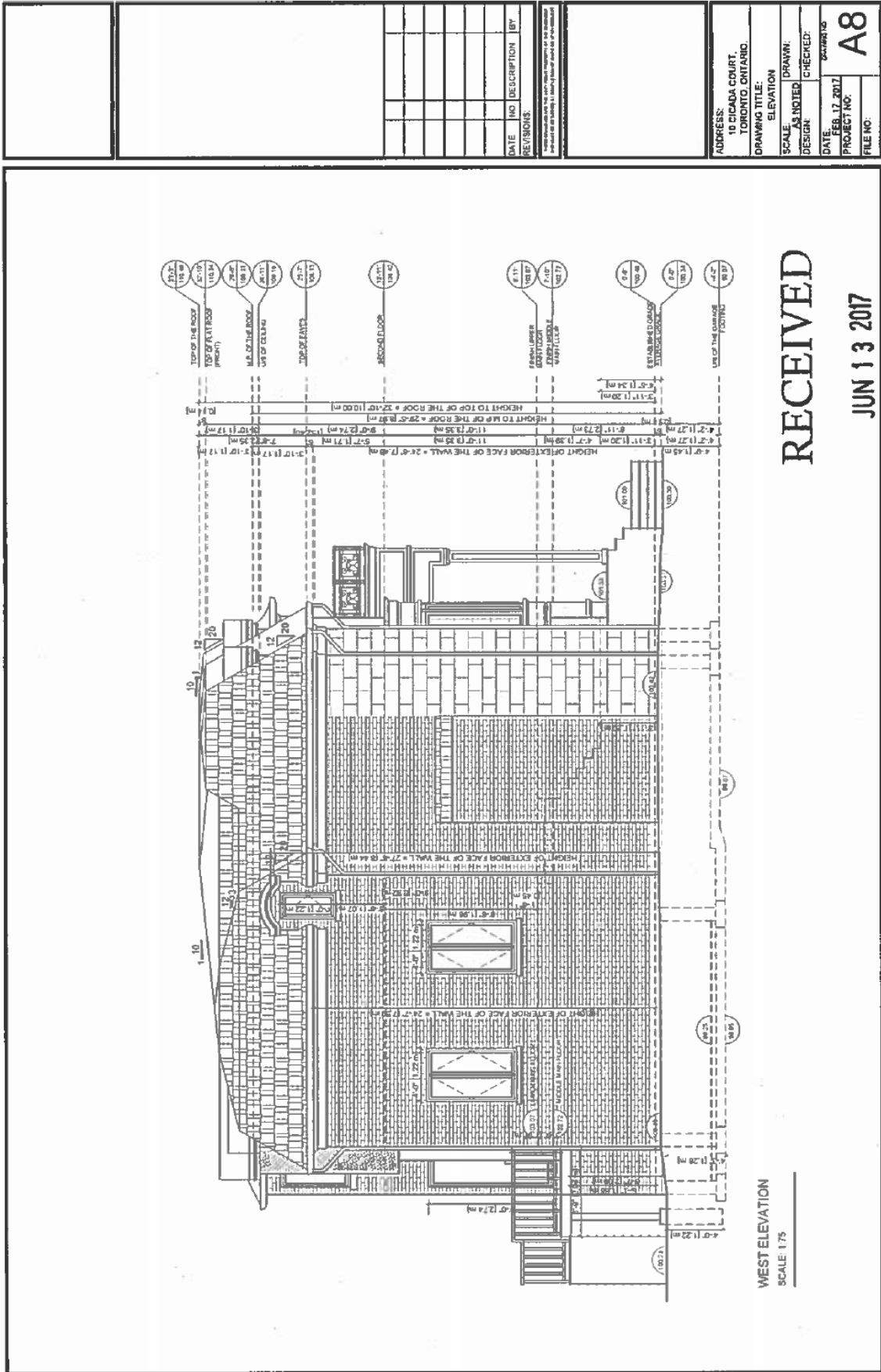
This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at [www.toronto.ca/trees/pdfs/contractor\\_services\\_agreement\\_information.pdf](http://www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf).

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

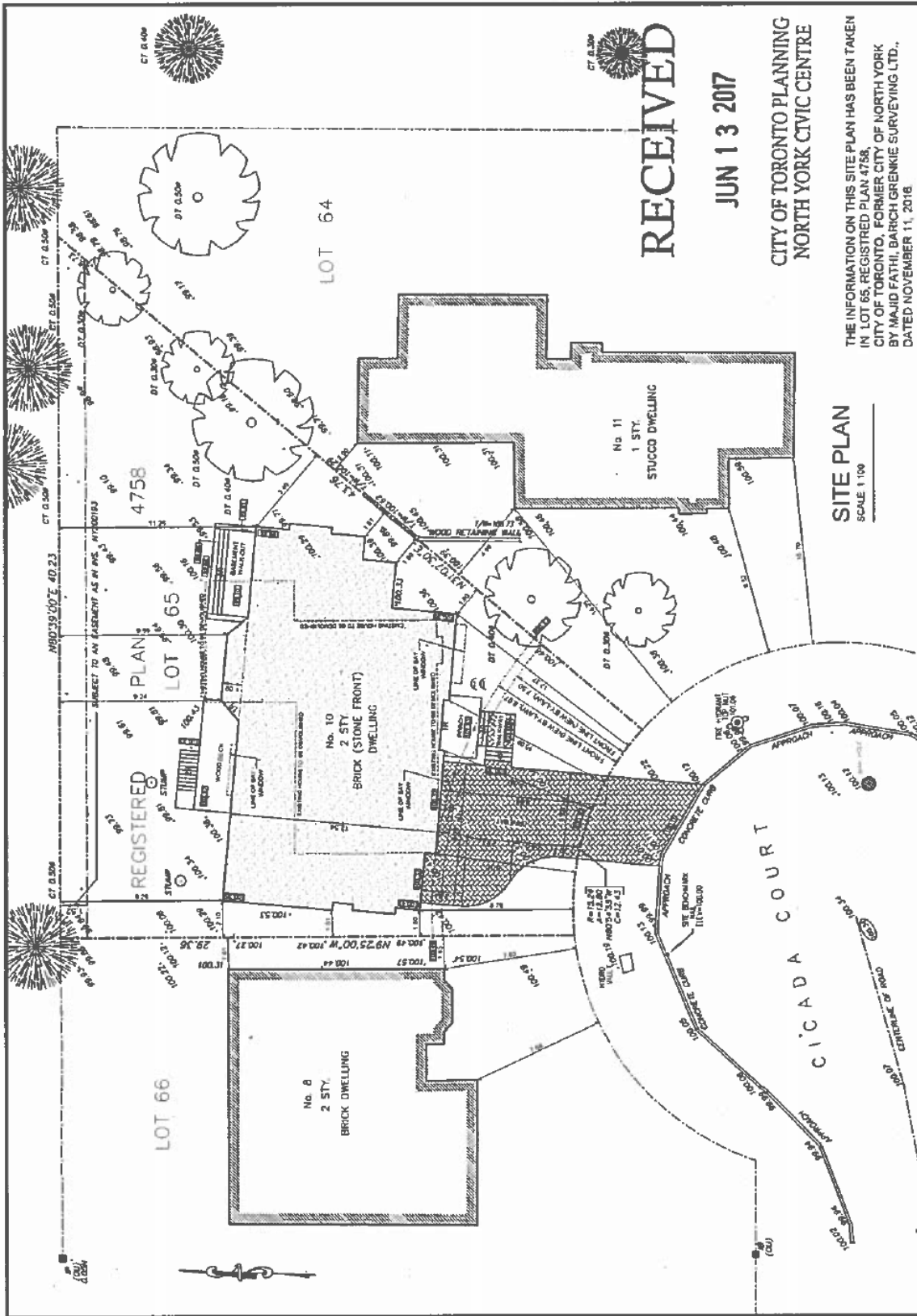
2. The proposal be developed in accordance with the Site Plan and west wall height submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, June 13, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*





CITY OF TORONTO PLANNING  
 NORTH YORK CIVIC CENTRE

<b>LEGEND</b> (155.6) EXISTING ELEVATION (156.17) PROPOSED ELEVATION (180.4) AVERAGE GRADE (188.60) ESTABLISHED GRADE	DATE	NO	DESCRIPTION	BY
	REVISIONS			
	<small>THIS PLAN IS THE PROPERTY OF THE SURVEYOR AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.</small>			
	<small>PROFESSIONAL SURVEYOR REG. NO. 123456789</small>			
ADDRESS: 18 CICADA COURT, TORONTO, ONTARIO, DRAWING TITLE: SITE PLAN		SCALE: AS SHOWN DRAWN: AS NOTED CHECKED: DESIGN: DATE: FEB 17, 2017 PROJECT NO: DRAWING NO: FILE NO:	<b>A1</b>	
RECEIVED JUN 13 2017 CITY OF TORONTO PLANNING NORTH YORK CIVIC CENTRE		THE INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN IN LOT 65, REGISTERED PLAN 4758, CITY OF TORONTO, FORMER CITY OF NORTH YORK, BY MAJID FAITHI, BARICH GRENNIE SURVEYING LTD., DATED NOVEMBER 11, 2016.		



**SIGNATURE PAGE**

File Number:	A0156/17NY	Zoning	RD / R4 (ZR)
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Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
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Bruce Mullock (signed)

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Nazila Atarodi (signed)

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