

Tuesday, May 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0056/17EYK	Zoning	CL
Owner(s):	CALLOWAY REIT (ETOBICOKE-INDEX) INC.	Ward:	Etobicoke-Lakeshore (05)
Agent:	SMART REIT PENGUIN PPICK-UP LIMITED PARTNERSHIP	Heritage:	Not Applicable
Property Address:	98 INDEX RD & 162 NORTH QUEEN ST	Community:	
Legal Description:	ETOBICOKE CON 4 CST PT LOTS 11 AND 12 RP 64R10405 PART 2 RP 66R23852 PART 1		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a pick-up depot designated for online purchases within Building H.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 2, By-law 129-2009

The proposed pick-up depot designated for online purchases is not a permitted use in a CL Zone.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0056/17EYK	Zoning	CL
Owner:	CALLOWAY REIT (ETOBICOKE-INDEX) INC.	Ward:	Etobicoke-Lakeshore (05)
Agent:	SMART REIT PENGUIN PPICK-UP LIMITED PARTNERSHIP	Heritage:	Not Applicable
Property Address:	98 INDEX RD & 162 NORTH QUEEN ST	Community:	
Legal Description:	ETOBICOKE CON 4 CST PT LOTS 11 AND 12 RP 64R10405 PART 2 RP 66R23852 PART 1		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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Tuesday, May 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0104/17EYK	Zoning	RM
Owner(s):	MARIA CAPACE	Ward:	Etobicoke-Lakeshore (06)
Agent:	T H DESIGN INC	Heritage:	Not Applicable
Property Address:	48 TWENTY NINTH ST	Community:	
Legal Description:	PLAN 1572 LOT 61		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey rear deck and to extend the existing ground floor rear yard deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 10.80.40.50.(1)(B), By-law 569-2013

The maximum permitted area of a platform at or above the second storey is 4 m².

The proposed rear platform at or above the second storey will have an area of 7.2 m².

2. Section 10.5.50.10.(3)(A), By-law 569-2013

A minimum of 50% of the rear yard shall be maintained as soft landscaping (146.4 m²).

A total of 44.8% of the rear yard will be maintained as soft landscaping (131.2 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0104/17EYK	Zoning	RM
Owner:	MARIA CAPACE	Ward:	Etobicoke-Lakeshore (06)
Agent:	T H DESIGN INC	Heritage:	Not Applicable
Property Address:	48 TWENTY NINTH ST	Community:	
Legal Description:	PLAN 1572 LOT 61		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0170/17EYK	Zoning:	RD & R2
Owner(s):	ALI REZA KOPAE JANET OZEMBLOSKI	Ward:	Etobicoke-Lakeshore (05)
Agent:	PEDRUM NADDAF	Heritage:	Not Applicable
Property Address:	51 CARDIGAN RD	Community:	
Legal Description:	PLAN 4469 LOT 48		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (186.1 m²).
The new dwelling will cover 36.6% of the lot area (206.5 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.(A)(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (253.8 m²).
Section 10.20.40.40.(1)(A), By-law 569-2013
The new dwelling will have a floor space index of 0.55 times the area of the lot (312 m²).
Section 320-42.1.(A)(1)
The new dwelling will have a floor space index of 0.59 times the area of the lot (335.7 m²).
- Section 320-42.1.(B)(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 7.16 m.
- Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The new dwelling will have a front exterior main wall height of 7.29 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0170/17EYK	Zoning	RD & R2
Owner:	ALI REZA KOPAE JANET OZEMBLOSKI	Ward:	Etobicoke-Lakeshore (05)
Agent:	PEDRUM NADDAF	Heritage:	Not Applicable
Property Address:	51 CARDIGAN RD	Community:	
Legal Description:	PLAN 4469 LOT 48		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0187/17EYK	Zoning:	EC3
Owner(s):	HOLLYBURN PROPERTIES LIMITED	Ward:	Etobicoke-Lakeshore (05)
Agent:	MALONE GIVEN PARSONS LTD	Heritage:	Not Applicable
Property Address:	1286 - 1294 ISLINGTON AVE	Community:	
Legal Description:	ETOBICOKE CON A CLERGY BLK PT LOT 8 RP 66R24663 PARTS 1 4 AND 5		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To relocate a portion of the existing locker room from the main floor to the parking garage in order to create a total of 4 residential units on the main floor for both buildings (2 residential units in each building). A previous Committee of Adjustment application (A183/09EYK) approved variances related setbacks, indoor amenity space, parking and access.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 8, By-law 7-2005 (OMB)

A total of 167 parking spaces are required for the site, of which 32 shall be reserved for visitor parking. A previous Committee of Adjustment application (A183/09EYK) approved a total of 133 parking spaces, of which 20 parking spaces will be reserved for visitor parking. A total of 121 parking spaces will be provided, of which 20 will be reserved for visitor parking.

2. Section 4, By-law 7-2005 (OMB)

The maximum permitted number of dwelling units is 765. The total number of dwelling units will be 769.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

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Owner:	HOLLYBURN PROPERTIES LIMITED	Ward:	Etobicoke-Lakeshore (05)
Agent:	MALONE GIVEN PARSONS LTD	Heritage:	Not Applicable
Property Address:	1286 - 1294 ISLINGTON AVE	Community:	
Legal Description:	ETOBICOKE CON A CLERGY BLK PT LOT 8 RP 66R24663 PARTS 1 4 AND 5		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

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DATE DECISION MAILED ON: Tuesday, May 16, 2017

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NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0207/17EYK	Zoning	RD & R2
Owner(s):	MICHAEL MALLOZZI	Ward:	Etobicoke Centre (03)
Agent:	AMBIENT DESIGN LTD.	Heritage:	Not Applicable
Property Address:	6 RANDOM ST	Community:	
Legal Description:	PLAN 3274 LOT 24		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (154.52 m²).
The new dwelling will cover 41.19% of the lot area (192.88 m²).
- Section 900.3.10.(37)(C), By-law 569-2013 and Section 1.b)(1), By-law 1992-25**
The maximum permitted gross floor area, including an attached or detached garage, shall be 150 m² plus 25% of the lot area (267.06 m²) with a maximum floor space index of 0.5 times the area of the lot (234.12 m²).
The new dwelling, including the attached garage, will have a gross floor area of 150 m² plus 42% of the lot area (347.67 m²) and will have a floor space index of 0.74 times the area of the lot (347.67 m²).
- Section 900.3.10.(37)(D)(i), By-law 569-2013 and Section 1.c)(1), By-law 1992-25**
The minimum required side yard setback is 0.9 m and the aggregate width of the side yards shall equal not less than 2.1 m.
The new dwelling will be located 0.41 m from the south side lot line and will have a total aggregate side yard width of 1.31 m.
- Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 320-41.D
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7), By-law 569-2013 and Section 320-41.D
The eaves of the new dwelling will be located 0.1 m from the south side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0207/17EYK	Zoning	RD & R2
Owner:	MICHAEL MALLOZZI	Ward:	Etobicoke Centre (03)
Agent:	AMBIENT DESIGN LTD.	Heritage:	Not Applicable
Property Address:	6 RANDOM ST	Community:	
Legal Description:	PLAN 3274 LOT 24		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0212/17EYK	Zoning	RD & R2
Owner(s):	ALI TABATABAI	Ward:	Etobicoke Centre (03)
Agent:	MS HOME DESIGNS	Heritage:	Not Applicable
Property Address:	11 APPLEDALE RD	Community:	
Legal Description:	PLAN 4590 PT LOT 53		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front addition and a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40(1)(A), By-law 569-2013 and Section 320-59C**
The maximum permitted coverage is 33% of the lot area (166.3 m²).
Section 10.20.30.40(1)(A), By-law 569-2013
The altered dwelling will cover 33.3% of the lot area (168 m²).
Section 320-59C
The altered dwelling (including covered verandas) will cover 38.8 % of the lot area (195.4 m²).
- Section 10.20.40.40(1)(A), By-Law 569-2013 and Section 320-42.1A(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (226.8 m²).
The altered dwelling will have a floor space index of 0.57 times the area of the lot (285.8 m²).
- Section 10.20.40.70(2)(B), By-law 569-2013 and Section 320-42.B.**
The minimum required rear yard setback is 8.29 m.
The altered dwelling will be located 8.11 m from the rear yard lot line.
- Section 10.20.40.20(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The altered dwelling will have a length of 18.33 m.
- Section 320-42.1D(1)**
The maximum permitted dwelling depth is 16.5 m.
The altered dwelling will have a length of 18.76 m.
- Section 10.20.40.10(4)(A), By-law 569-2013**
The maximum permitted height of a flat roofed dwelling is 7.2 m.
Section 320-42.1B(2)
The maximum permitted height of a flat roofed dwelling is 6.5 m.
Section 10.20.40.10(4)(A), By-law 569-2013 and Section 320-42.1B(2)
The altered flat roofed dwelling will have a height of 8.06 m.

7. **Section 10.20.40.50(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed north side second storey terrace will be 12.2 m².
8. **Section 10.5.50.10(1)(C), By-law 569-2013 and Section 320-24.9(iii)**
A minimum of 60% of the front yard shall be maintained as landscaping (76 m²).
A total of 57% of the front yard will be maintained as landscaping (72.5 m²).
9. **Section 10.20.40.10(6), By-law 569-2013**
The maximum permitted first floor above established grade is 1.2 m.
The first floor above established grade of the altered dwelling will have a height of 1.22 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

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- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The following conditions shall be fulfilled to the satisfaction of the Director, Community Planning, Etobicoke York District:
 - 2.1 The proposal be developed in accordance with the west elevation drawing (Drawing No. A6) submitted and held on file by the Committee of Adjustment.
 - 2.2 The applicant is to provide permanent opaque screening or fencing along the northern and western edges of the proposed second storey platform, with a minimum height of 1.5 metres from the floor of the platform.

SIGNATURE PAGE

File Number:	A0212/17EYK	Zoning	RD & R2
Owner:	ALI TABATABAI	Ward:	Etobicoke Centre (03)
Agent:	MS HOME DESIGNS	Heritage:	Not Applicable
Property Address:	11 APPLEDALE RD	Community:	
Legal Description:	PLAN 4590 PT LOT 53		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

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Susanne Pringle
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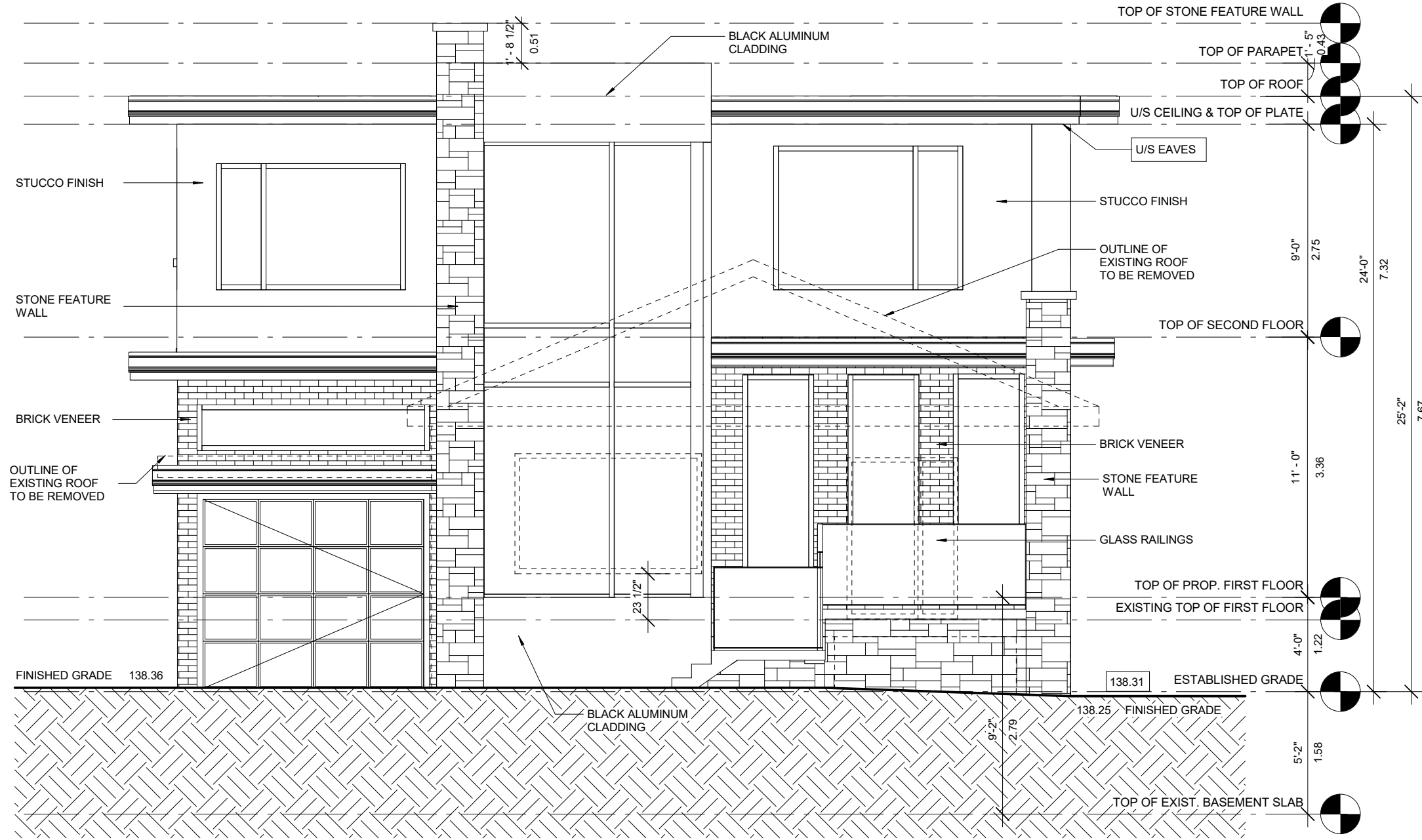
ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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1
A6 **WEST ELEVATION**
Scale: 3 / 16" = 1' - 0"

WEST ELEVATION

SCALE	3/16" = 1'-0"	DRAWN BY	MICAELA SILVA
DATE	02/17/15	APPROVED BY	MICAELA SILVA
PROJECT No.	2017-01	DRAWING No.	A6


DO NOT SCALE DRAWINGS
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO MS HOME DESIGNS BEFORE PRECEEDING WITH WORK.
ALL PRINTS AND SPECIFICATIONS ARE THE PROPERTY OF MS HOME DESIGNS. NO PARTS ARE TO BE COPIED IN PART OR WHOLE WITHOUT PRIOR WRITTEN PERMISSION.

SCOPE OF WORK:
PROPOSED INTERIOR ALTERATIONS, FRONT ADDITION AND SECOND STOREY ADDITION OVER EXISTING ONE STOREY BRICK DWELLING
@ 11 APPELDALE ROAD
CITY OF TORONTO

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the

Required unless design is exempt under 3.2.4.3.(5) Division C of the building code

QUALIFICATION INFORMATION
MICAELA SILVA
NAME
43172
BCIN
[Signature]
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the building code
MS HOME DESIGNS
FIRM NAME
101941
BCIN



MS | HOME DESIGNS
31 LACEY AVENUE
TORONTO, ONTARIO. M6M-3L6
TEL: (647) 217-1184
WWW.MSHOMEDESIGNS.COM

Tuesday, May 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0221/17EYK	Zoning:	RM & R2
Owner(s):	ROBERTO MORA TARA MORA	Ward:	Etobicoke-Lakeshore (06)
Agent:	ROCCO SCHIPANO	Heritage:	Not Applicable
Property Address:	69 SIMPSON AVE	Community:	
Legal Description:	PLAN 2153 LOT 44		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition and a covered front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 7 m.
Section 340-30.N.
The minimum required front yard setback is 7.03 m.
Section 10.80.40.70.(1), By-law 569-2013 and Section 340-30.N.
The altered dwelling will be located 6.1 m from the front lot line.
- Section 900.6.10.(22)(D), By-law 569-2013 and Section 340-30.A.(4)**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.43 m from the west side lot line.
- Section 10.5.40.60.(1)(A)(i), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach 2.5 m into the required front yard setback, if it is no closer to a side lot line than the required side yard setback.
The proposed front platform will encroach 3.03 m into the required front yard setback.
- Section 340-16.A.**
The maximum permitted front yard projection is 1.6 m.
The proposed covered front porch will project 2.1 m from the main front wall.
- Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 340-16.B
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7), By-law 569-2013 and Section 340-16.B
The eaves of the altered dwelling will be located 0 m from the west side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0221/17EYK	Zoning	RM & R2
Owner:	ROBERTO MORA TARA MORA	Ward:	Etobicoke-Lakeshore (06)
Agent:	ROCCO SCHIPANO	Heritage:	Not Applicable
Property Address:	69 SIMPSON AVE	Community:	
Legal Description:	PLAN 2153 LOT 44		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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Tuesday, May 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0222/17EYK	Zoning:	RD & R2
Owner(s):	KIU JAN KATE TANG EDWARD HING WONG	Ward:	Etobicoke-Lakeshore (05)
Agent:	MICHAEL FLYNN	Heritage:	Not Applicable
Property Address:	27 GOVERNMENT RD	Community:	
Legal Description:	PLAN 531 W PT LOT 7		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing dwelling, a two-storey front addition, and a detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1), By-law 569-2013**
The maximum permitted coverage is 33% of the lot area (182.1 m²).
The altered dwelling will cover 36.7% of the lot area (202.5 m²).
- Section 900.3.10(35)(A), By-Law 569-2013**
The by-law limits the maximum residential gross floor area to 0.5 times the area of the lot (275.8 m²).
Section 1.(a), By-law 1993-108
The by-law limits the maximum residential gross floor area to 150 m² plus 25% of the lot area (287.9 m²).
Section 900.3.10(35)(A), By-Law 569-2013 and Section 1.(a), By-law 1993-108
The altered dwelling will have a gross floor area of 351.4 m².
- Section 10.20.40.70.(6), By-law 569-2013 and Section 320-41(B)**
The minimum required side yard setback flanking a street is 3 m.
The altered dwelling will be located 1.27 m from the west side lot line, flanking Elliot Avenue.
- Section 10.5.60.40.(2), By-law 569-2013**
The maximum permitted height of an ancillary building (garage) or structure is 4 m.
The ancillary structure (garage) will have a height of 4.92 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0222/17EYK	Zoning	RD & R2
Owner:	KIU JAN KATE TANG EDWARD HING WONG	Ward:	Etobicoke-Lakeshore (05)
Agent:	MICHAEL FLYNN	Heritage:	Not Applicable
Property Address:	27 GOVERNMENT RD	Community:	
Legal Description:	PLAN 531 W PT LOT 7		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Tuesday, May 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0228/17EYK	Zoning:	IC1
Owner(s):	1 BLUE GOOSE DEVELOPMENTS INC	Ward:	Etobicoke-Lakeshore (06)
Agent:	ARK DESIGN CONCEPTS	Heritage:	Not Applicable
Property Address:	1 BLUE GOOSE ST	Community:	
Legal Description:	PLAN M68 LOTS 150 TO 152		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To make interior alterations to the existing building that currently occupies a commercial use on the basement and ground floor and a 19-unit rooming house on the second, third and fourth floors.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 340-9B.(1)

The lawful nonconforming use of an existing building may be continued, provided that no structural alterations are made therein.

The altered building will consist of structural alterations in the basement area, load bearing walls (temporary shoring) to the second and third floors and new partitioning within the existing 19 rooms.

REQUESTED PERMISSION UNDER SUBSECTION 45(2)(A)(i) OF THE PLANNING ACT:

The use on the site consists of an existing commercial use on the basement and ground floor and a 19-unit rooming house on the second, third and fourth floors. The building is currently a legal non-conforming use. The proposed interior alterations in the building represents an enlargement or extension of a legal non-conforming use/building. Any alterations or additions and/or changes in use of a legal non-conforming building or structure, requires the permission of the Committee of Adjustment.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.
- The Committee of Adjustment considers that the application has met the requirements of subsection 45(2)(a)(i) and (ii) of the Planning Act.

SIGNATURE PAGE

File Number:	A0228/17EYK	Zoning	I.C1
Owner:	1 BLUE GOOSE DEVELOPMENTS INC	Ward:	Etobicoke-Lakeshore (06)
Agent:	ARK DESIGN CONCEPTS	Heritage:	Not Applicable
Property Address:	1 BLUE GOOSE ST	Community:	
Legal Description:	PLAN M68 LOTS 150 TO 152		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Tuesday, May 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0257/17EYK	Zoning	RD & R1
Owner(s):	LISA MACK THOMAS LENNARTZ	Ward:	Etobicoke-Lakeshore (06)
Agent:	KEVIN DOWNEY	Heritage:	Not Applicable
Property Address:	94 TENTH ST	Community:	
Legal Description:	PLAN 1592 PT LOT 65		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition and a rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1), By-law 569-2013 and Section 350-31(F)(1)**
The maximum permitted floor space index is 0.4 times the area of the lot (105 m²).
The altered dwelling will have a floor space index equal to 0.69 times the area of the lot (181.4 m²).
- Section 10.20.40.70.(3), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.47 m from the north side lot line.
- Section 350-31(A)(4)**
The minimum required side yard setback is 0.6 m.
The rear deck will be located 0 m from the north side lot line.
- Section 10.5.40.60.(1), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach 2.5 m into the required rear yard setback, if it is no closer to a side lot line than 0.3 m.
The proposed platform will be located 0 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0257/17EYK	Zoning	RD & R1
Owner:	LISA MACK THOMAS LENNARTZ	Ward:	Etobicoke-Lakeshore (06)
Agent:	KEVIN DOWNEY	Heritage:	Not Applicable
Property Address:	94 TENTH ST	Community:	
Legal Description:	PLAN 1592 PT LOT 65		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Tuesday, May 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0264/17EYK	Zoning	RD & R2
Owner(s):	RAYMOND ZABIELIAUSKAS RAYMOND ZABIELIAUSKAS	Ward:	Etobicoke-Lakeshore (05)
Agent:	DAVID SMALL DESIGNS	Heritage:	Not Applicable
Property Address:	43 BALLACAINE DR	Community:	
Legal Description:	PLAN 3892 LOT 22 NRS PT		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1), By-law 569-2013 and Section 320-59.C, By-law 1993-109**
The maximum permitted coverage is 33% of the lot area (150.55 m²).
Section 10.20.30.40.(1), By-law 569-2013
The proposed dwelling will cover 36% of the lot area (163.36 m²).
Section 320-59.C, By-law 1993-109
The proposed dwelling will cover 37% of the lot area (167.22 m²).
- Section 900.3.10(42), By-law 569-2013**
The maximum permitted floor space index is 0.5 of the lot (228.11 m²).
The proposed dwelling will have a floor space index of 0.67 of the lot (304.9 m²).
- Section 1.(a), By-law 1993-109**
The maximum permitted gross floor area, including a garage, is 118 m² plus 25% of the lot area (232.06 m²).
The proposed dwelling, including the integral garage, will have a gross floor of 118 m² plus 45% of the lot area (323.49 m²).
- Section 10.20.40.70.(1), By-law 569-2013 and Section 320-40.A.(1)**
The minimum required front yard setback is 8.47 m.
The proposed dwelling will be located 5.62 m from the front lot line.
- Section 320-41.B**
The minimum required side yard setback flanking a street is 3.86 m.
The proposed dwelling will be located 3 m from west side lot line, flanking Ballacaine Drive.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 18.64 m.

7. **Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The proposed dwelling will have a soffit height of 6.75 m.
8. **Section 10.5.50.10.(1)(D), By-law 569-2013 and Section 320-24.9.C**
A minimum of 60% of the required front yard shall be maintained as landscaping (48.3 m²).
A total of 50% of the required front yard will be maintained as landscaping (40.6 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.
2. Submission of a complete application for permit to injure or destroy privately owned trees.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 Illustrate the provision of a positive slope of 2% to 4% for the portion of the new driveway that will be provided within the Glenellen Drive municipal boulevard;
 - 3.2 Insert the following notations on the site plan:
 - a) "The Owner shall close and restore all existing redundant driveways that are no longer required to the satisfaction of the City of Toronto and at no cost to the municipality."
 - b) "The Owner shall obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance."

- c) "The Owner shall submit a Municipal Road Damage Deposit prior to obtaining a Building Permit". The applicant shall contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section, at (416) 338-1045, regarding the municipal road damage deposit requirements; and,
- 3.3 The applicant shall submit a revised site plan either in 1:200 or 1:250 metric units illustrating the above-noted condition No.'s 3.1 through 3.3, to the satisfaction of Transportation Services, and at no cost to the City, no later than 30 June 2018.

SIGNATURE PAGE

File Number:	A0264/17EYK	Zoning	RD & R2
Owner:	RAYMOND ZABIELIAUSKAS RAYMOND ZABIELIAUSKAS	Ward:	Etobicoke-Lakeshore (05)
Agent:	DAVID SMALL DESIGNS	Heritage:	Not Applicable
Property Address:	43 BALLACAINE DR	Community:	
Legal Description:	PLAN 3892 LOT 22 NRS PT		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Tuesday, May 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0268/17EYK	Zoning:	RD & R2
Owner(s):	AUNDREA BULFON STEFAN BULFON	Ward:	Etobicoke-Lakeshore (05)
Agent:	DESIGN REVOLUTION	Heritage:	Not Applicable
Property Address:	16 GREENMOUNT CRT	Community:	
Legal Description:	PLAN 4004 LOT 14 WDS TO 75FT		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1), By-law 569-2013 and Section 320-59(C)**
The maximum permitted coverage is 33% of the lot area (174.7 m²).
The proposed dwelling will cover 37.3% of the lot area (197.6 m²).
- Section 900.3.10.(42)(A)(i), By-law 569-2013 and (1)(a), By-law 1993-109**
The maximum permitted gross floor area, including an attached or detached garage, is 118 m² plus 25% of the lot area (250.3 m²).
The proposed dwelling, including the attached garage, will have a gross floor area of 118 m² plus 45% of the lot area (358.7 m²).
- Section 10.20.40.70.(2)(B), By-law 569-2013 and Section 320-42(B)**
The minimum required rear yard setback is 8.47 m.
Section 10.20.40.70.(2)(B), By-law 569-2013
The proposed dwelling will be located 7.16 m from the rear lot line.
Section 320-42(B)
The proposed covered deck will be located 6 m from the rear lot line and the proposed dwelling will be located 7.16 m from the rear lot line.
- Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted front exterior main wall height is 7 m.
The proposed dwelling will have a front exterior main wall height of 7.48 m.
- Section 320-42.1(B)(2)**
The maximum permitted soffit height is 6.5 m.
The soffits of the proposed dwelling will be 7.15 m in height.

6. Section 10.5.80.40.(2), By-law 569-2013

The elevation of the lowest point of a vehicle entrance in a main wall of the building must be higher than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street (109.10).

The proposed vehicle entrance in a main wall of the principal building is lower than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street (108.6).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

Insert the following notations on the site plan:

- a) "All redundant portions of existing driveways that are no longer required must be closed and restored with sod to the satisfaction of, and at no cost to the City."
- b) "The applicant shall obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance."
- c) "The applicant shall also submit a Municipal Road Damage Deposit prior to obtaining a Building Permit". The applicant shall contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section, at (416) 338-1045, regarding the municipal road damage deposit requirements; and,

SIGNATURE PAGE

File Number:	A0268/17EYK	Zoning	RD & R2
Owner:	AUNDREA BULFON STEFAN BULFON	Ward:	Etobicoke-Lakeshore (05)
Agent:	DESIGN REVOLUTION	Heritage:	Not Applicable
Property Address:	16 GREENMOUNT CRT	Community:	
Legal Description:	PLAN 4004 LOT 14 WDS TO 75FT		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Tuesday, May 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0275/17EYK	Zoning	CPR
Owner(s):	FIMA DEVELOPMENT	Ward:	Etobicoke-Lakeshore (05)
Agent:	HOROSKO PLANNING LAW	Heritage:	Not Applicable
Property Address:	1800-1840 THE QUEENSWAY	Community:	
Legal Description:	1860 THE QUEENSWAY		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey addition along the north side of the existing retail building (Building C).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 2.(h), By-law 899-1998

The maximum permitted lot coverage is 40% of the lot area (15 531.6 m²).
The buildings will cover 41.1% of the lot area (15 971.7 m²).

2. Section 2.(b), By-law 899-1998

The maximum permitted gross floor area of all buildings on Parcel 1 shall be 12 342 m².
A previous Committee of Adjustment application (A160/02E) approved a gross floor area of 15 826.1 m².
The buildings will have a gross floor area of 16 319.7 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0275/17EYK	Zoning	CPR
Owner:	FIMA DEVELOPMENT	Ward:	Etobicoke-Lakeshore (05)
Agent:	HOROSKO PLANNING LAW	Heritage:	Not Applicable
Property Address:	1800-1840 THE QUEENSWAY	Community:	
Legal Description:	1860 THE QUEENSWAY		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Tuesday, May 09, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0261/17EYK	Zoning:	RD & R2
Owner(s):	EDLIRA KASA BASHKIM KASA	Ward:	Etobicoke-Lakeshore (06)
Agent:	VICTOR ROSA	Heritage:	Not Applicable
Property Address:	150 HAY AVE	Community:	
Legal Description:	PLAN 2171 PT LOTS 59 & 60		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey cantilevered front addition, a third floor cantilevered rear addition, and to create a secondary suite.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.(A)(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (256.8 m²).
The altered dwelling will have a floor space index of 0.62 times the area of the lot (355.2 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 302-42.1.(C)(1)
The minimum required side yard setback is 0.9 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 302-42.1.(C)(1)
The altered dwelling will be located 0.87 m from the west side lot line.
- Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19 m.
The altered dwelling will have a depth of 23.33 m.
Section 320-42.1.(D)(1)
The maximum permitted building depth is 16.5 m.
The altered dwelling will have a depth of 23.27 m.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 23.27 m.
- Section 320-42.1.(B)(2)**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 6.57 m.
- Section 150.10.40.1.(1), By-law 569-2013 and Section 304-22**
A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of the secondary suite.
The entire building was not constructed more than 5 years prior to the introduction of the secondary suite.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0261/17EYK	Zoning	RD & R2
Owner:	EDLIRA KASA BASHKIM KASA	Ward:	Etobicoke-Lakeshore (06)
Agent:	VICTOR ROSA	Heritage:	Not Applicable
Property Address:	150 HAY AVE	Community:	
Legal Description:	PLAN 2171 PT LOTS 59 & 60		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Tuesday, May 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0276/17EYK	Zoning	RM & R2
Owner(s):	KERINA RAMNATH	Ward:	Etobicoke-Lakeshore (06)
Agent:	RASEK ARCHITECTS	Heritage:	Not Applicable
Property Address:	10 FIRST ST	Community:	
Legal Description:	PLAN 1783 LOT 19		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a three-storey addition along the south side of the existing dwelling and a second and third storey addition over the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1), By-law 569-2013 and Section 350-31(F)(2)**
The maximum permitted floor space index is 0.6 times the area of the lot (179.7 m²).
Section 10.80.40.40.(1), By-law 569-2013
The altered dwelling will have a floor space index equal to 0.95 times the area of the lot (283.5 m²).
Section 350-31(F)(2)
The altered dwelling will have a floor space index equal to 0.98 times the area of the lot (293.7 m²).
- Section 10.80.40.70.(1), By-law 569-2013 and Section 350-31(K)**
The minimum required front yard setback is 7.73 m.
The altered dwelling will be located 6 m from the front lot line.
- Section 900.6.10(23)(D)(i), By-law 569-2013 and Section 350-31(A)(4)**
The minimum required side yard setback is 0.6 m.
The altered dwelling will be located 0.36 m from the north side lot line.
- Section 10.80.40.10.(2), By-law 569-2013**
The maximum permitted exterior main wall height is 7 m.
The altered dwelling will have an exterior main wall height of 7.68 m.

5. **Section 900.6.10(23)(C), By-law 569-2013 and Section 350-31(A)(8)**
The maximum permitted height is 9.5 m.
Section 900.6.10(23)(C), By-law 569-2013
The altered dwelling will have a height of 10.67 m.
Section 350-31(A)(8)
The altered dwelling will have a height of 10.97 m.
6. **Section 10.80.40.50.(1)(A), By-law 569-2013**
The maximum permitted number of platforms located on the front wall is 1.
A total of 2 platforms will be located on the front wall.
7. **Section 10.80.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed platform at the third storey will have an area of 16.04 m².
8. **Section 10.5.100.1.(1)(C), By-law 569-2013**
The maximum permitted driveway width is 3.35 m.
The proposed driveway will have a width of 4 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The site plan drawings must be revised to clearly dimension and identify the portions of existing curb cut that will be closed.
2. The site plan must include the following notations:
 - a. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality";
 - b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0276/17EYK	Zoning	RM & R2
Owner:	KERINA RAMNATH	Ward:	Etobicoke-Lakeshore (06)
Agent:	RASEK ARCHITECTS	Heritage:	Not Applicable
Property Address:	10 FIRST ST	Community:	
Legal Description:	PLAN 1783 LOT 19		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Tuesday, May 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0286/17EYK	Zoning:	RD & R2
Owner(s):	STEPHANIE BEATE BALL TIMOTHY AARON CRONE	Ward:	Etobicoke-Lakeshore (05)
Agent:	ADTEK BUILDING CONSULTANTS	Heritage:	Not Applicable
Property Address:	20 REID MANOR	Community:	
Legal Description:	PLAN 3101 LOT 29		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.(C)**
The maximum permitted lot coverage is 33% of the lot area (114.1 m²).
The new dwelling will cover 39.5% of the lot area (136.7 m²).
- Section 900.3.10.(42)(A)(i), By-law 569-2013 & Section 1(a), By-law 1993-109**
The maximum permitted gross floor area, including an attached garage, is 118 m² plus 25% of the lot area (204.5 m²), up to a maximum floor space index of 0.5 (172.9 m²).
The new dwelling will have a gross floor area of 118 m² plus 48% of the lot area (284.2 m²), with a floor space index of 0.82 (284.2 m²).
- Section 10.20.40.70.(1), By-law 569-2013 and Section 320-40.(C)(1)**
The minimum required front yard setback is 6.3 m.
The new dwelling will be located 5.6 m from the front lot line.
- Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.(B)(1)**
The maximum permitted height of a building or structure is 9.5 m.
The new dwelling will have a height of 10.55 m.
- Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The new dwelling will have a first floor height of 1.6 m above established grade.
- Section 320-42.1.(B)(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 7 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The site plan must include the following notations:
 - a. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - b. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0286/17EYK	Zoning	RD & R2
Owner:	STEPHANIE BEATE BALL TIMOTHY AARON CRONE	Ward:	Etobicoke-Lakeshore (05)
Agent:	ADTEK BUILDING CONSULTANTS	Heritage:	Not Applicable
Property Address:	20 REID MANOR	Community:	
Legal Description:	PLAN 3101 LOT 29		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Tuesday, May 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0296/17EYK	Zoning	RD & R2
Owner(s):	VITOR DA COSTA	Ward:	Etobicoke North (02)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	64 ROXALINE ST	Community:	
Legal Description:	PLAN M441 LOT 102		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a front second storey addition and a rear basement addition with a deck on top.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.40.40.(1), By-law 569-2013 and Section 320-42.1(A)(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (141.6 m²).
The altered dwelling will have a floor space index equal to 0.53 times the area of the lot (166.7 m²).
- 2. Section 320-41(B)**
The minimum required side yard setback flanking a street is 3 m.
The altered dwelling will be located 2.51 m from the south side lot line, flanking Lawrence Avenue.
- 3. Section 10.5.40.60.(1), By-law 569-2013**
A platform without main walls may encroach into the required rear yard setback a maximum of 2.5 m.
Section 320-4(B)
A platform without main walls may encroach into the required rear yard setback a maximum of 1.6 m.
Section 10.5.40.60.(1), By-law 569-2013 and Section 320-4(B)
The proposed rear addition/deck will encroach 4.34 m into the required rear yard setback.
- 4. Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The altered dwelling will have a length of 17.66 m.
- 5. Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted dwelling depth is 19 m.
Section 320-42.1(D)(1)
The maximum permitted dwelling depth is 16.5 m.
Section 10.20.40.30.(1), By-law 569-2013 and Section 320-42.1(D)(1)
The altered dwelling will have a depth of 20.98 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0296/17EYK	Zoning	RD & R2
Owner:	VITOR DA COSTA	Ward:	Etobicoke North (02)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	64 ROXALINE ST	Community:	
Legal Description:	PLAN M441 LOT 102		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Tuesday, May 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0299/17EYK	Zoning	RA & R4
Owner(s):	SERVIAL ESTATES LTD.	Ward:	Etobicoke-Lakeshore (06)
Agent:	KARINE KULISH	Heritage:	Not Applicable
Property Address:	19 LOUISA ST	Community:	
Legal Description:	PLAN M246 PT LOTS 43 44 & 45 RP R94 PART 2		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third-storey addition above the existing building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 15.10.40.70.(1), By-law 569-2013 and Section 340-30.E.2, By-law 1978-18**
The minimum required front yard setback is 6 m.
The altered building will be located 4.64 m from the front lot line.
- Section 900.3.10 (778)(E) and Section 340-30E.3**
The minimum required side yard setback is 6.44 m.
The altered building will be located 0.94 m from the east side lot line and 1.03 m from the west side lot line.
- Section 200.5.1.(3)(A), By-law 569-2013 and Section 340-31.A.(4)**
The minimum required driveway aisle width is 6 m.
The existing parking aisle width is 5.83 m.
- Section 340-31.B.(2).(a)**
The minimum required number of parking spaces is 11.
The altered building will have a total of 7 parking spaces.
- Section 200.5.10.1.(1), By-law 569-2013**
A total of 1 visitor parking space is required for the site.
Section 340-31.B.(2).(a).(4), By-law 1978-18
A total of 2 visitor parking spaces are required for the site.
Section 200.5.10.1.(1), By-law 569-2013 and Section 340-31.B.(2).(a).(4), By-law 1978-18
A total of 0 visitor parking spaces will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition:

The following condition shall be fulfilled to the satisfaction of the Director, Community Planning, Etobicoke York District:

That the variances only be granted upon the applicant completing a Declaration of Use and Screening form, satisfactory to the Chief Planner, to determine whether Chapter 667 of the Municipal Code applies to the proposed changes. Should Chapter 667 of the Municipal Code be determined to apply for any proposed changes to this site, the variances shall only be approved subject to the submission of a Rental Housing Demolition and Conversion Application pursuant to Chapter 667 of the Municipal Code to the satisfaction of the Chief Planner.

SIGNATURE PAGE

File Number:	A0299/17EYK	Zoning	RA & R4
Owner:	SERVIAL ESTATES LTD.	Ward:	Etobicoke-Lakeshore (06)
Agent:	KARINE KULISH	Heritage:	Not Applicable
Property Address:	19 LOUISA ST	Community:	
Legal Description:	PLAN M246 PT LOTS 43 44 & 45 RP R94 PART 2		

Allan Smithies (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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- a completed OMB Appellant Form (A1) in **paper format**
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Tuesday, May 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0307/17EYK	Zoning:	RD & R1
Owner(s):	EDDY MARIN MICHAEL JOHN MARIN	Ward:	Etobicoke-Lakeshore (06)
Agent:	ARCA DESIGN INC.	Heritage:	Not Applicable
Property Address:	2596 LAKE SHORE BLVD W	Community:	
Legal Description:	PLAN M328 PT LOT 11 PT LOT 12		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40(1)(A), By-law 569-2013 and Section 340-30L**
The maximum permitted floor space index is 0.4 times the area of the lot (220 m²).
The proposed dwelling will have a floor space index equal to 0.65 times the area of the lot (358.9 m²).
- Section 10.20.40.10(4)(A), By-law 569-2013**
The maximum permitted height of a flat roofed dwelling is 7.2 m.
The proposed flat roofed dwelling will have a height of 7.6 m.
- Section 10.20.40.50(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed rear platform on the second storey will have an area of 18.1 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following conditions:

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

2. The following conditions shall be fulfilled to the satisfaction of the Director, Community Planning, Etobicoke York District:
 - 2.1 That a 1.5 m privacy screen be constructed along the north and south portions of the rear deck.
 - 2.2 That the proposed dwelling shall be constructed substantially in accordance with the with the site and elevation plans submitted and held on file by the Committee of Adjustment office and date stamped as received on March 31, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0307/17EYK	Zoning	RD & R1
Owner:	EDDY MARIN MICHAEL JOHN MARIN	Ward:	Etobicoke-Lakeshore (06)
Agent:	ARCA DESIGN INC.	Heritage:	Not Applicable
Property Address:	2596 LAKE SHORE BLVD W	Community:	
Legal Description:	PLAN M328 PT LOT 11 PT LOT 12		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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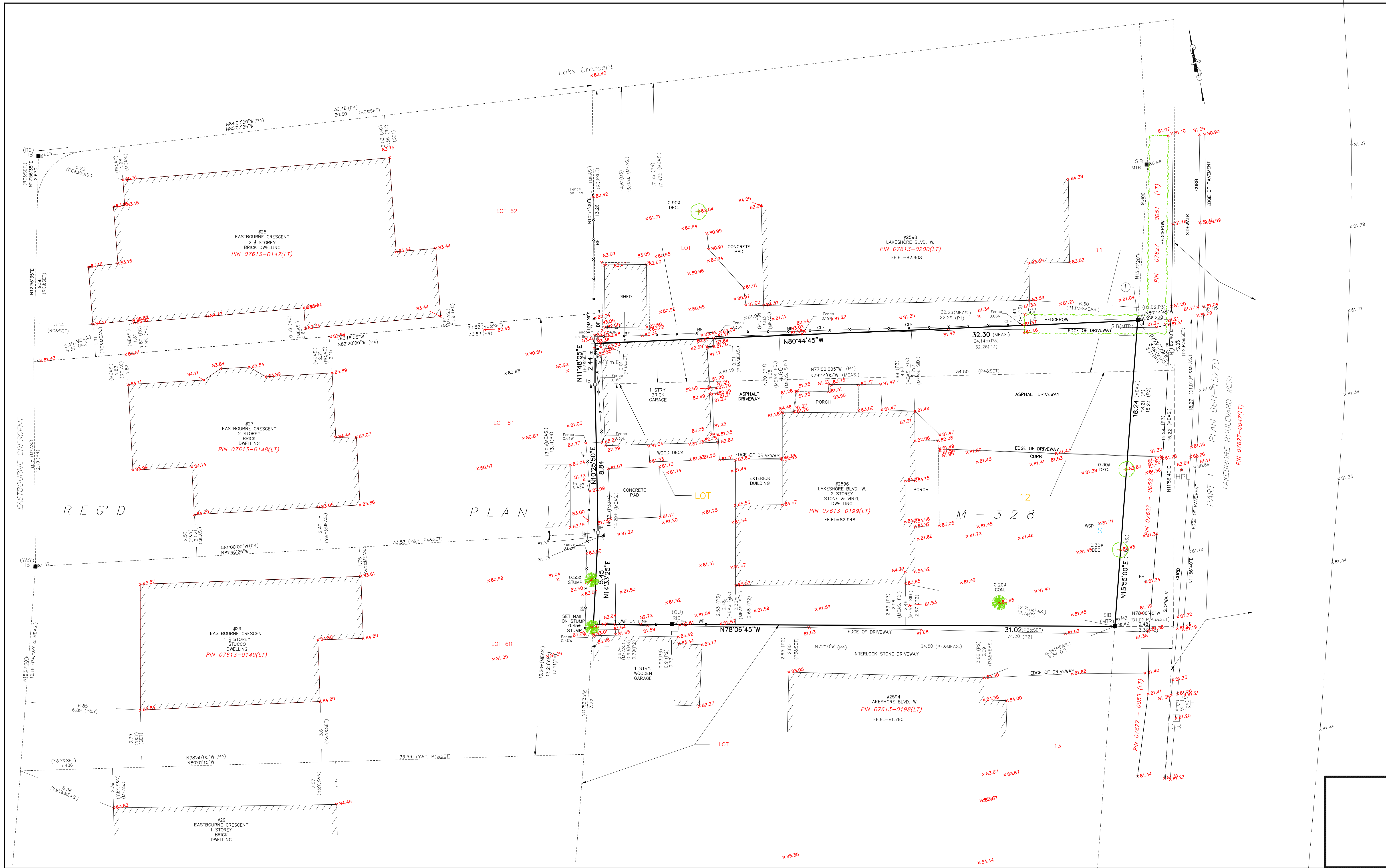
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TOPOGRAPHIC PLAN
 PLAN OF
 LOT 12 AND PART OF LOT 11
 REGISTERED PLAN M-328
 MUNICIPALITY OF TORONTO
 CITY OF ETOBICOKE

SCALE 1:100
 0 1 2 3 4 5 6 7 8.0m
 2017 © HUNT SURVEYS INC.

METRIC
 DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

- LEGEND**
- DENOTES SURVEY MONUMENT FOUND
 - DENOTES SURVEY MONUMENT PLANTED
 - DENOTES STANDARD IRON BAR
 - ⊕ DENOTES IRON TUBE
 - MEAS. DENOTES MEASURE
 - OU DENOTES ORIGIN UNKNOWN
 - MTR DENOTES CITY OF TORONTO
 - RC DENOTES R.C. RABIDEAU O.L.S. SRPR DATED: MAY 09, 1991
 - AC DENOTES SKETCH BY A COOK SRPR DATED: NOVEMBER 27, 1923
 - SWN DENOTES SKETCH BY SPEIGHT & VAN NOSTRAND O.L.S. DATED: AUGUST 09, 1918
 - Y&Y DENOTES SRPR BY YOUNG & YOUNG O.L.S. DATED: JULY 04, 2002
 - P DENOTES PLAN 66R-15270
 - P1 DENOTES PLAN BA-1503
 - P2 DENOTES PLAN OF SURVEY BY UNWIN, MURPHY & ESTEN, O.L.S. DATED MAY 15, 1964.
 - P3 DENOTES PLAN OF SURVEY BY COOKE & DUNNING, O.L.S. DATED FEBRUARY 29, 1952 AND IN INST. AT 4435469
 - P4 DENOTES PLAN M-328
 - WSP DENOTES WATER STANDPIPE
 - FH DENOTES FIRE HYDRANT
 - DEC. DENOTES TREE DECIDUOUS
 - CON. DENOTES TREE CONIFEROUS
 - FDN. DENOTES FOUNDATION
 - SID. DENOTES SIDING
 - CLF DENOTES CHAIN LINK FENCE
 - BF DENOTES BOARD FENCE
 - WF DENOTES WOOD AND METAL FENCE
 - D1 DENOTES INST. AT 4435469
 - D2 DENOTES INST. 267482
 - D3 DENOTES INST. AT 2883229

DESCRIPTION	COORDINATE		PLAN
	NORTH	EAST	
1	4829422.66	305534.30	P, P1

AS CONFIRMED BY PLAN BA-1503

BEARINGS
 BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE EASTERLY LIMIT OF LAKESHORE BOULEVARD WEST AS SHOWN ON PLAN 66R-15270 HAVING A BEARING OF N15°55'00"E

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON FEBRUARY 10, 2017.

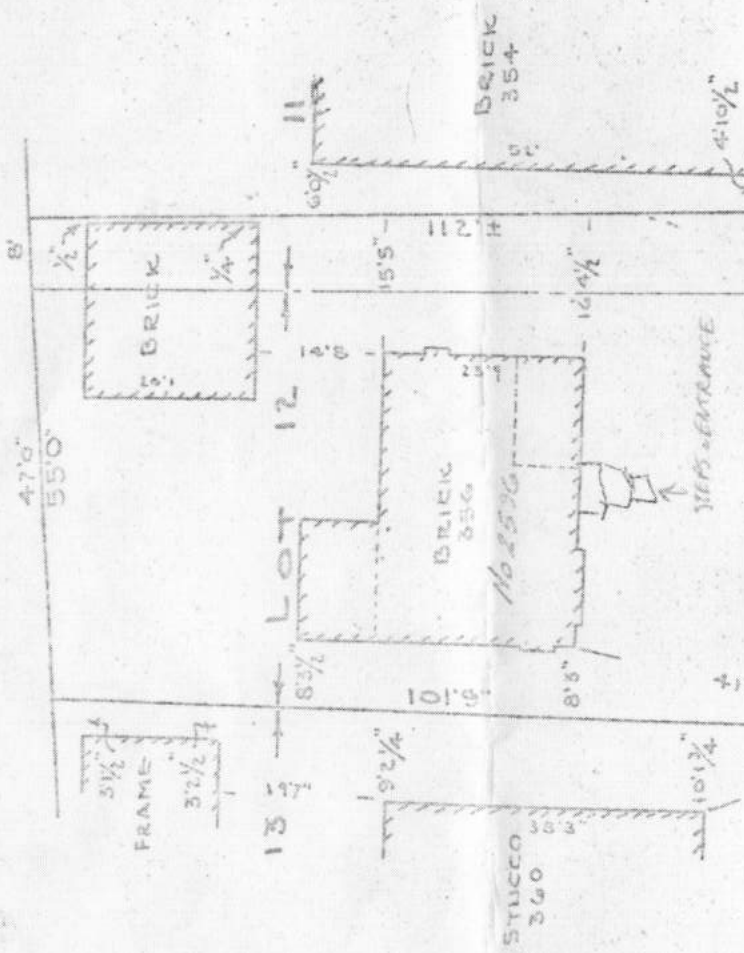
DATE: FEBRUARY 16, 2017 *Douglas E. Hunt*
 Douglas E. Hunt
 ONTARIO LAND SURVEYOR

HUNT SURVEYS INC.
 ONTARIO LAND SURVEYORS
 45A WEST WILMOT ST., SUITE 207, RICHMOND HILL, ON.
 L4B 2P2. Tel: (905) 764-8759 Fax: (905) 764-6812
 Email: hunt-surveys@rogers.com
 SURVEY BY: F.S. CHECKED BY: D.E.H. DWG FILE: 88800-TOPO-01.dwg
 CAD: N.E./K. LOT 12 & PT OF 11 PROJECT #: 88800-SRPR-01

ETCH of SURVEY
 CT. 12 & PART LOT II
 PLAN M. 328 - YORK.
 TOWN OF MIMICO

W. H. HIRSTON
 ARCHITECT & SOLICITORS
 4TH ST.
 WILTON
 ONT.

Construction of Pickles - 1952



NOTE: THE FOLLOWING INSPECTIONS ARE MANDATORY:

1. EXCAVATION BEFORE PLACING FOOTINGS AND FOUNDATIONS.
2. REINFORCING AND FORM WORK BEFORE POURING CONCRETE.
3. FOUNDATIONS BEFORE BACKFILLING.
4. BUILDING FRAME BEFORE CLADDING AND INTERIOR FINISH.
5. BEFORE OCCUPANCY.

ADDITIONAL INSPECTIONS MAY BE REQUIRED ON WRITTEN NOTICE FROM THE FIELD INSPECTOR.

REQUESTS FOR INSPECTION MUST BE MADE 24 HOURS PRIOR TO COMMENCEMENT OF WORK --

TELEPHONE: 626-4214

STAMPED APPROVED PLANS MUST BE ON THE SITE AND AVAILABLE TO THE BUILDING INSPECTOR AT ALL TIMES. CHANGES TO THE APPROVED PLANS SHALL NOT BE MADE UNLESS APPROVAL IN WRITING IS OBTAINED FROM THE COMMISSIONER OF BUILDINGS.

FOR INFORMATION RE PLANS CONTACT
 FOR INFORMATION RE INSPECTION CONTACT

KEY CHIDDEY

Plan Examiner,

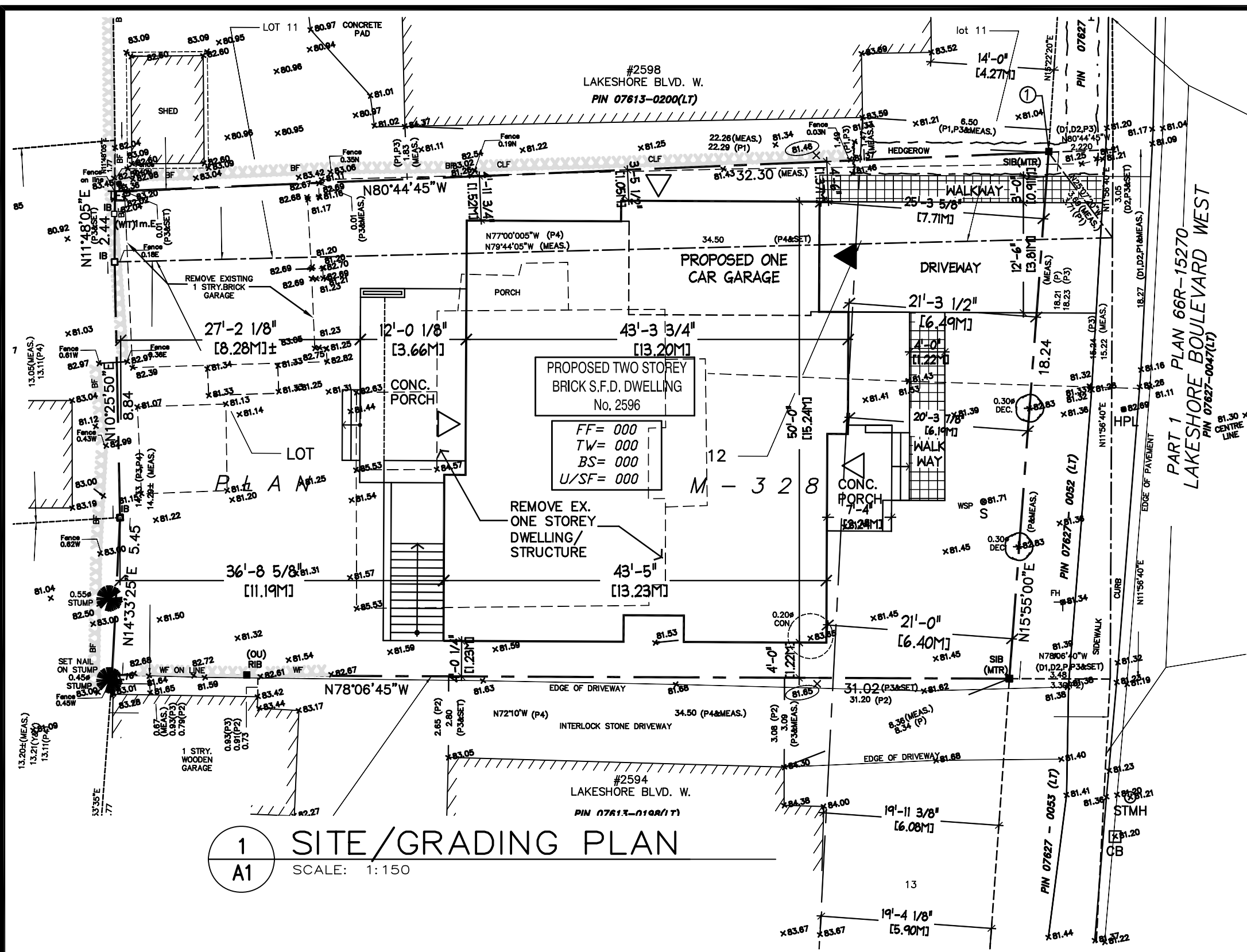
ROBERT PICKLES
 Building Inspector,
 1040A LAKE SHORE ROAD
 NEW TORONTO Z 6-208

PER

R. Penning
 O.L.S.

DATE 29 FEB 52

formerly LAKE SHORE BOULEVARD
 NOW LAKE



1 **A1** **SITE/GRADING PLAN**
SCALE: 1:150

GENERAL NOTES

- Where possible lots shall be designed with a minimum apron of 1.5 m. sloping away from the house with a minimum of 0.15 m. elevation differential.
- All yards shall be designed with 2.0 % to 5.0 % grade. All slopes to be 3:1 maximum.
- Swales shall be designed with a minimum grade of 2.0 %.
- All roof leaders shall discharge to the ground onto splash pads and shall not be connected to the storm sewer and shall discharge to swale conveying surface drainage toward street line. Roof downspouts will not be permitted at rear of house.
- Windows shall be a minimum of 0.15 m. above finished grades. Where below finished grade the window wells are to be provided and properly connected to the foundation drain.
- Where units are equipped with a sideyard entrance a 0.6 m. wide walkway is to be provided.
- The maximum grade for access driveways shall be 7.0 % and minimum of 2.0 %.
- All access driveways shall be located a minimum of 1.0 m. from all street hardware such as light poles, hydro, transformers, hydrants, etc.
- Frost collars are to be provided and installed to town engineer's standards where a water service valve box is located within the limits of the driveway.
- Underside of footing to be 1.22 m. minimum below below finished grade.
- Provide guards as per building code requirements where required provide guard rails where grade difference exceeds 24" in height. see retaining walls

LEGEND

- x100.56 Denotes existing Grades (By Others)
- x100.56 Denotes proposed Grade
- F.F. Finished First Floor
- T.W. Top Of Foundation Wall
- B.S. Top Of Basement Slab
- U/SF Underside Of Footing
- SW Swale Elevation
- Direction Of Drainage
- Man Door Location
- Drive-In Overhead Door
- R Riser
- WDB Walkout Basement

SITE DATA

Zoning	RD(f.15.0;a325)(d0.040) +R1 old zoning
Lot Area	550.00 Sq.m
Building area	
Ground floor area	164.74 Sq.m
Garage area	26.06 Sq.m
front Conc. porch area	7.95 Sq.m
rear conc. porch area	26.47 Sq.m
Second floor area	190.81 Sq.m
open to below(void)	7.66 Sq.m
TOTAL GROSS FLOOR AREA	347.88 Sq.m
	(63.25 %)
Ground Floor Area coverage (40% max.)	198.75 Sq.m (33.14 %)
Max. Height	10.0m (32'-9.5") to top of roof
Max. Height	9.5m (31.16') to mid point of roof

TOTAL FRONT YARD LANDSCAPE AREA – PRINCIPLE DRIVEWAY
= 118.88 SQ.M.(100%) minus 25.28 sq.m.(7.54mx5.44m)
= 93.60 sq.m.(78.73%) MIN. REQUIRED 60%

TOTAL SOFT LANDSCAPE AREA –HARD (WALKWAY,STEPS,PORCH)
93.60 SQ.M. minus 22.11 sq.m. = 71.48 SQ.M
HARD LANDSCAPING= (6.5mx1.2m)+(1.2mx7.1m)
TOTAL SOFT=71.48 SQ.M (76.36%) 75% MIN.REQUIRED.

DRAWING NUMBER
A-1

DRAWN BY
CHECKED BY
SCALE
DATE
PROJECT NUMBER

F.B.
1:150
FEB.2017

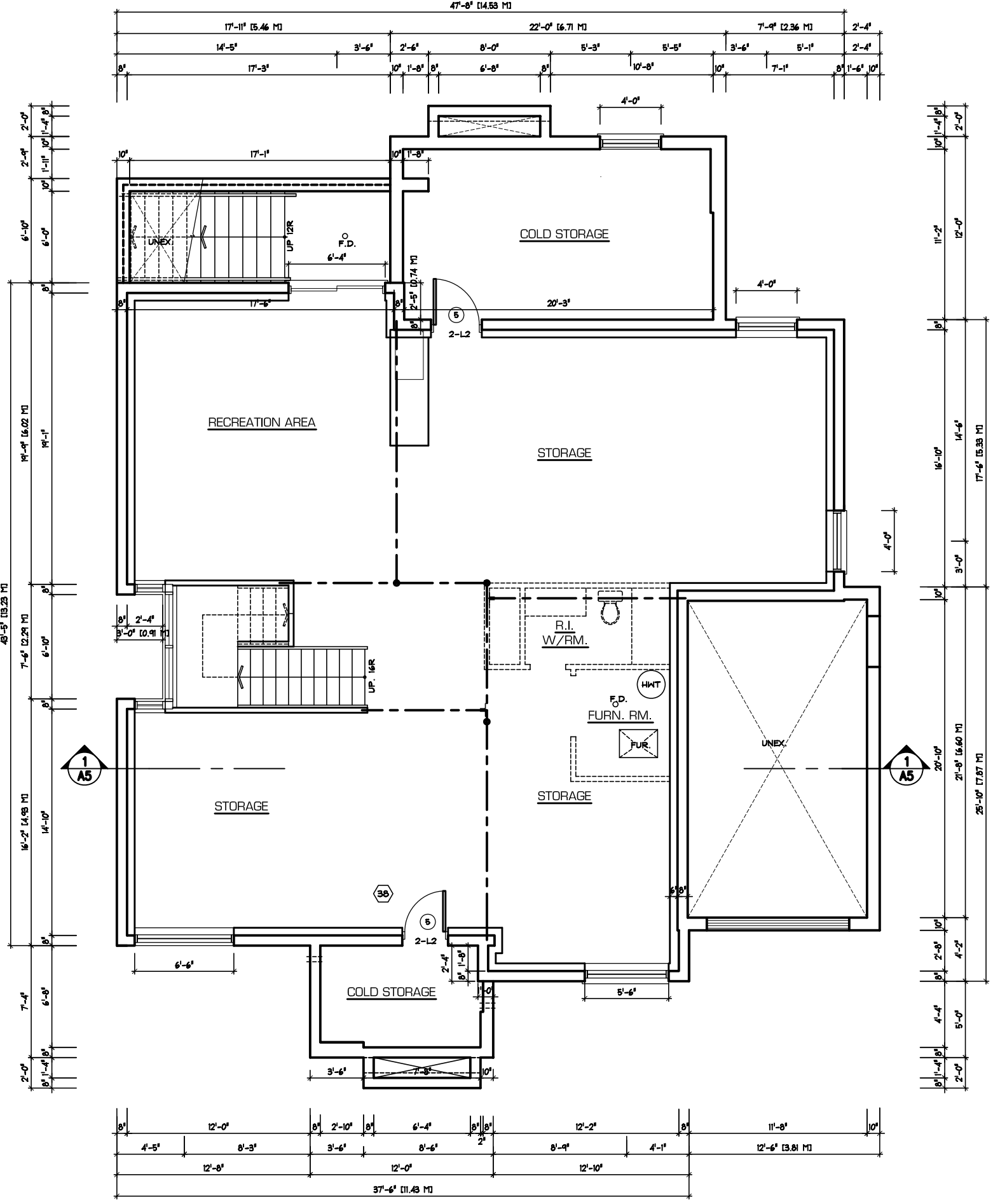
PROJECT
DRAWING TITLE

PROPOSED
RESIDENCE
2598 LAKESHOREBLVD WEST
TORONTO, ON

SITE/GRADING PLAN

GENERAL NOTES:
This drawing, as an instrument of service, is provided by and is the property of the DESIGNER. The contractor must verify and accept the dimensions and conditions of the site and the information supplied by the DESIGNER. The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc., engineering information shown on this drawing. Refer to the appropriate engineering drawings before applying for any permits. This drawing is not to be scaled.

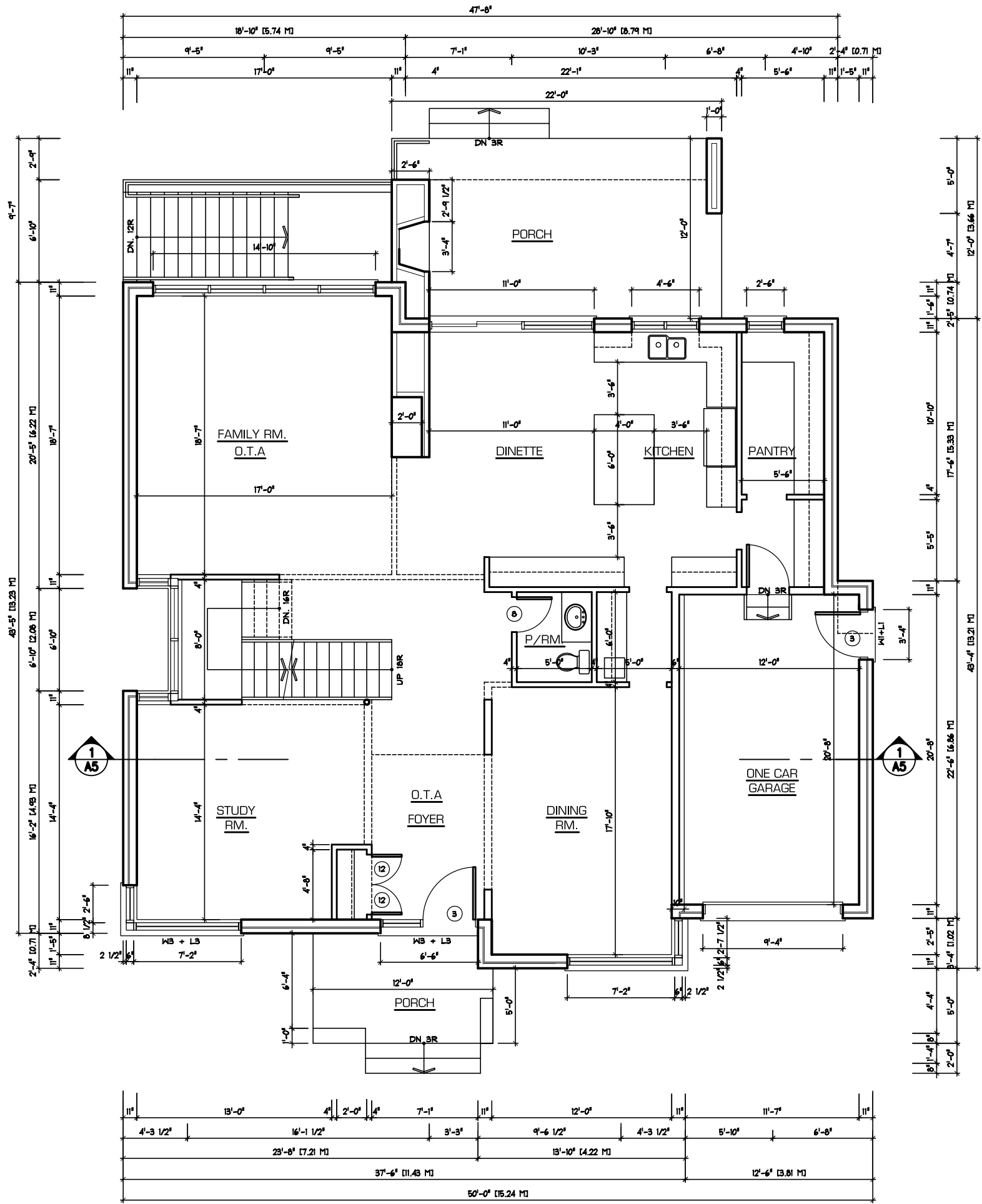
NO.	DESCRIPTION	DATE	BY
1	ZONING REVIEW	25/02/17	F.B.



1
A2
BASEMENT FLOOR PLAN
 SCALE: 3/16" = 1'-0"

2596 Lakeshore road, Toronto

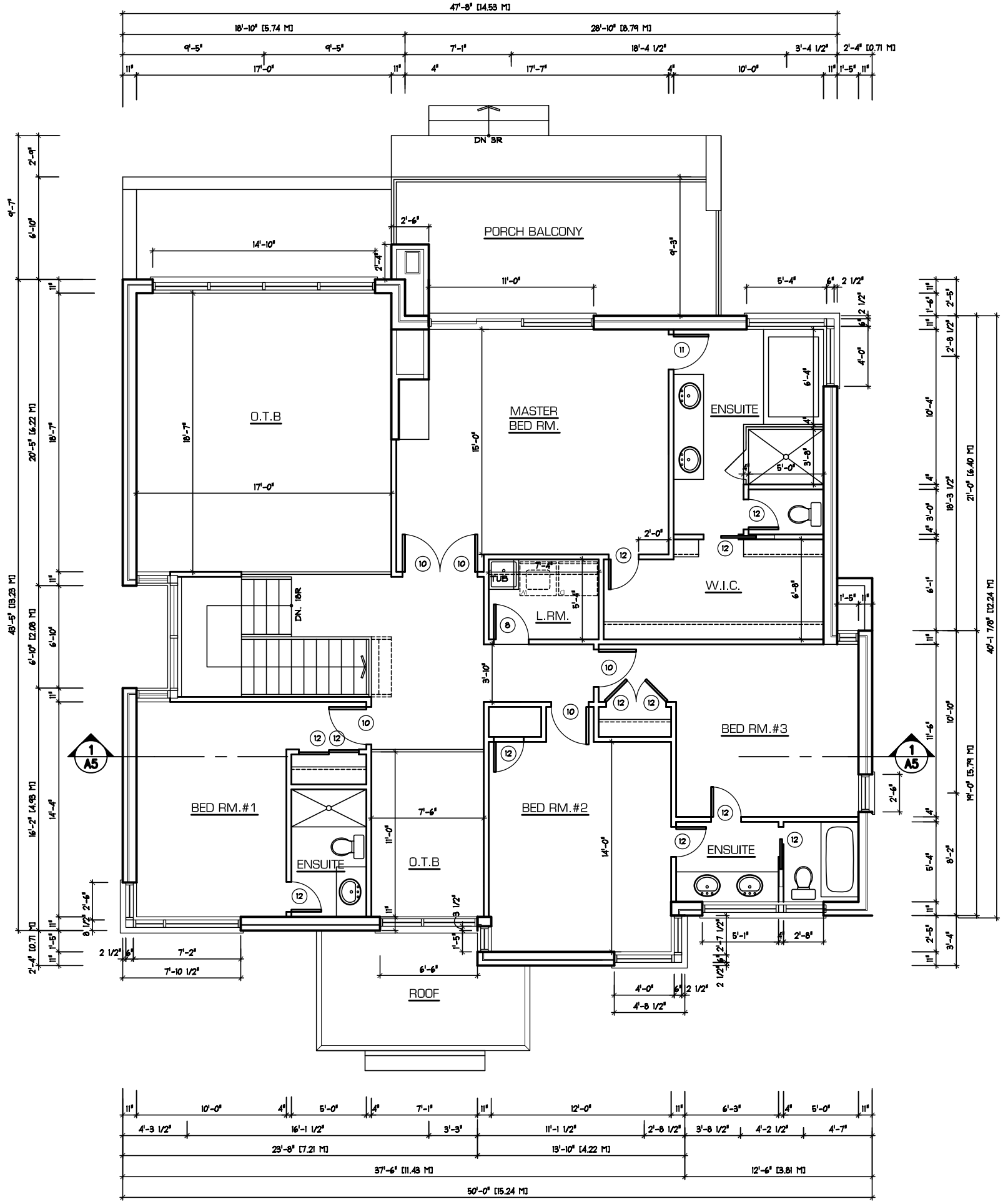




2
A3 **GROUND FLOOR PLAN**
SCALE: 3/16" = 1'-0"

2596 Lakeshore road, Toronto





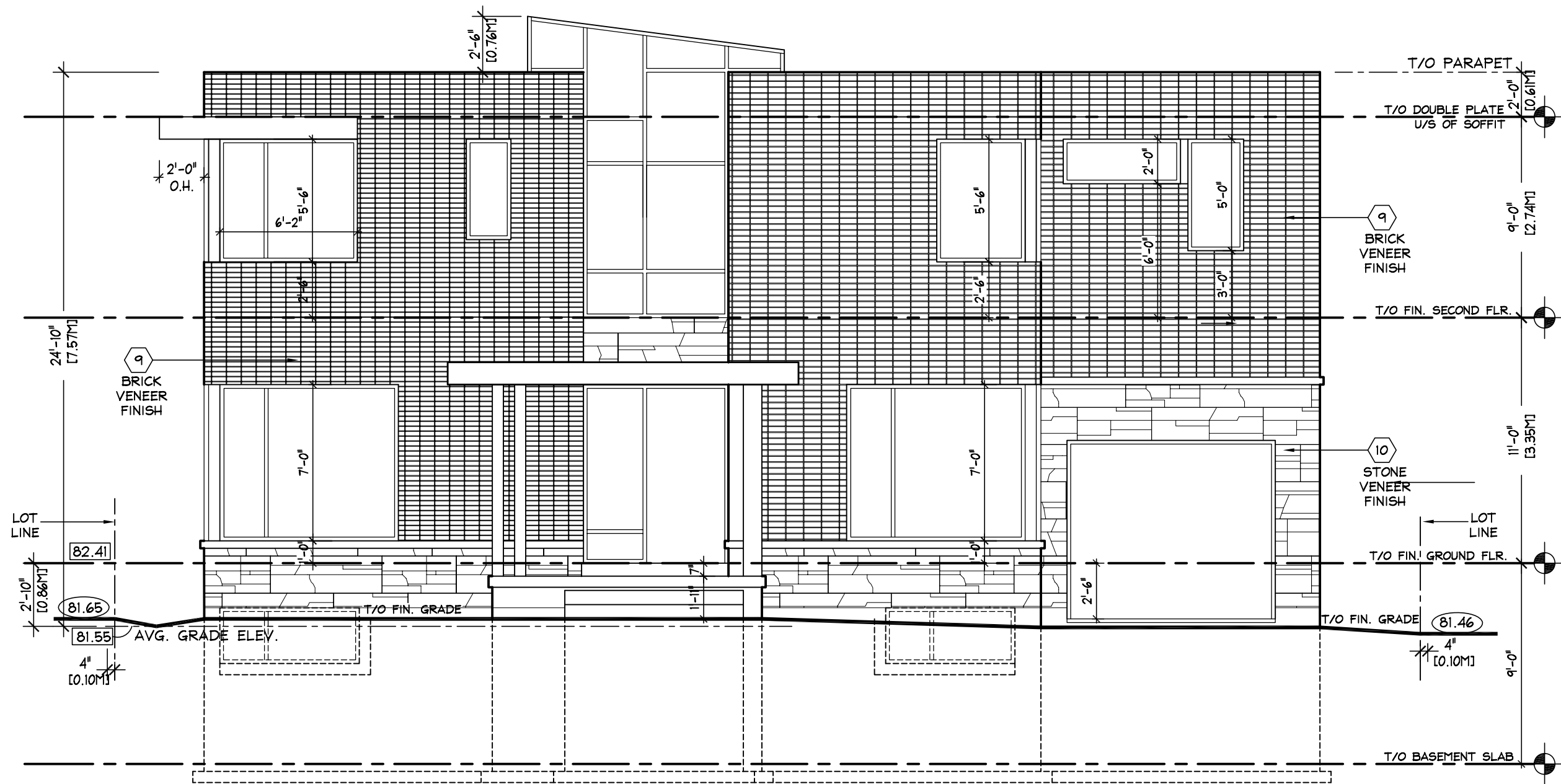
4
A4

SECOND FLOOR PLAN

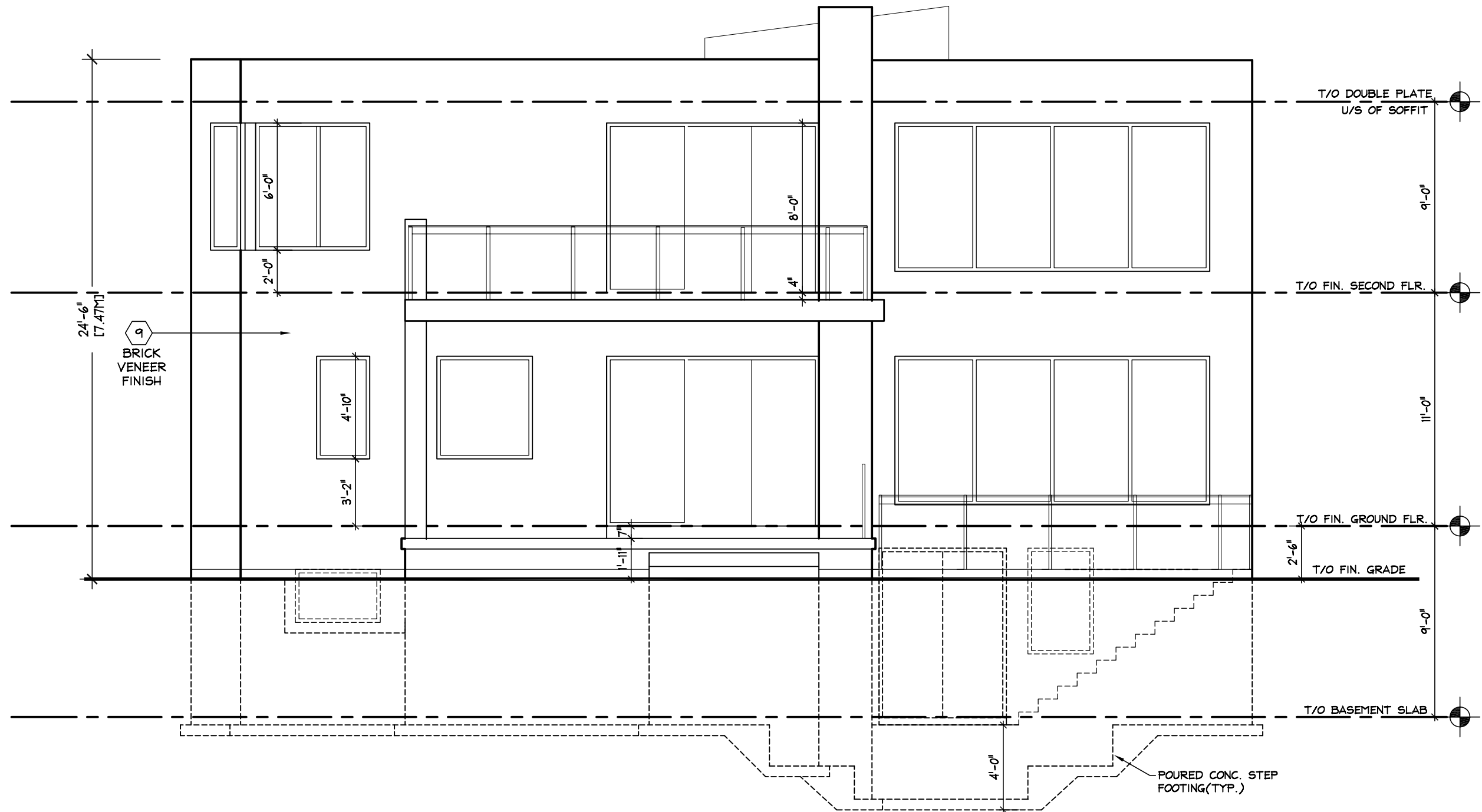
SCALE: 3/16" = 1'-0"

2596 Lakeshore road, Toronto

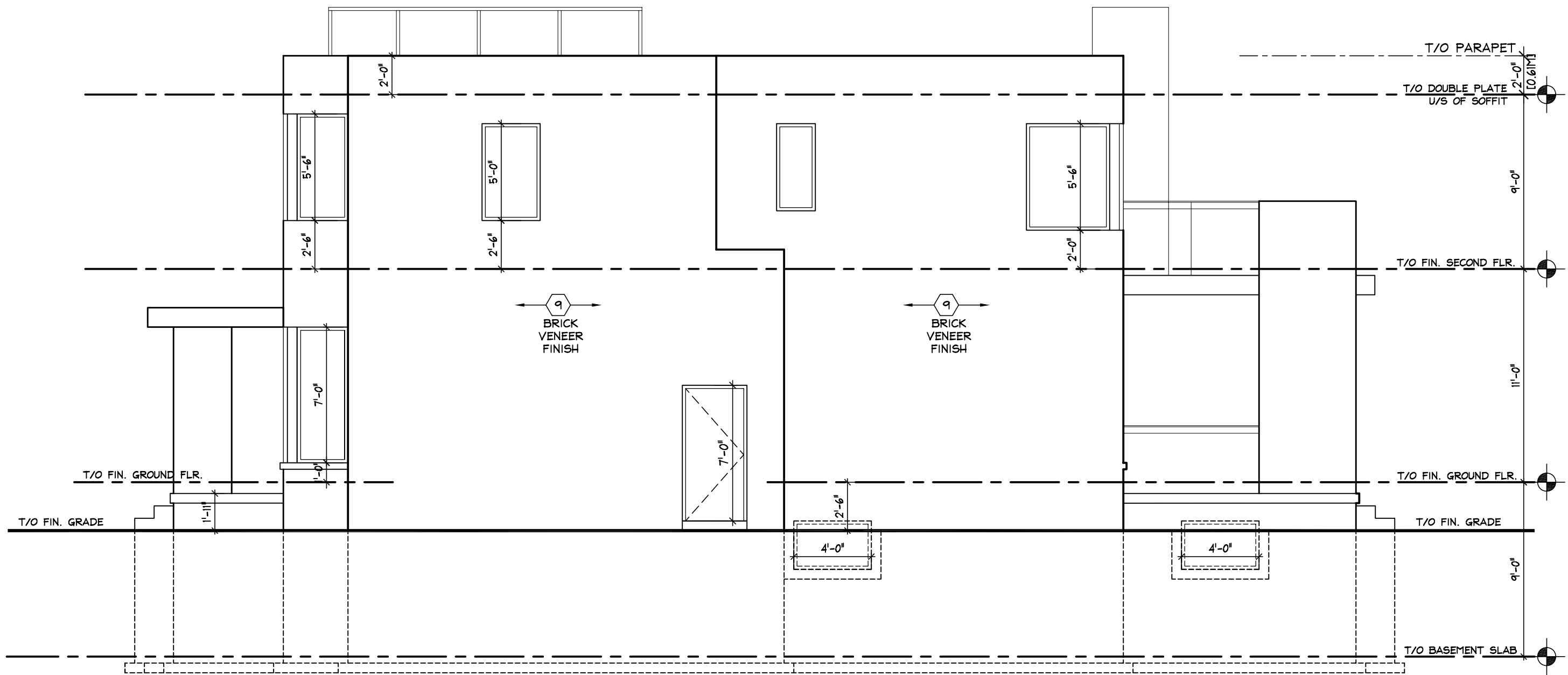




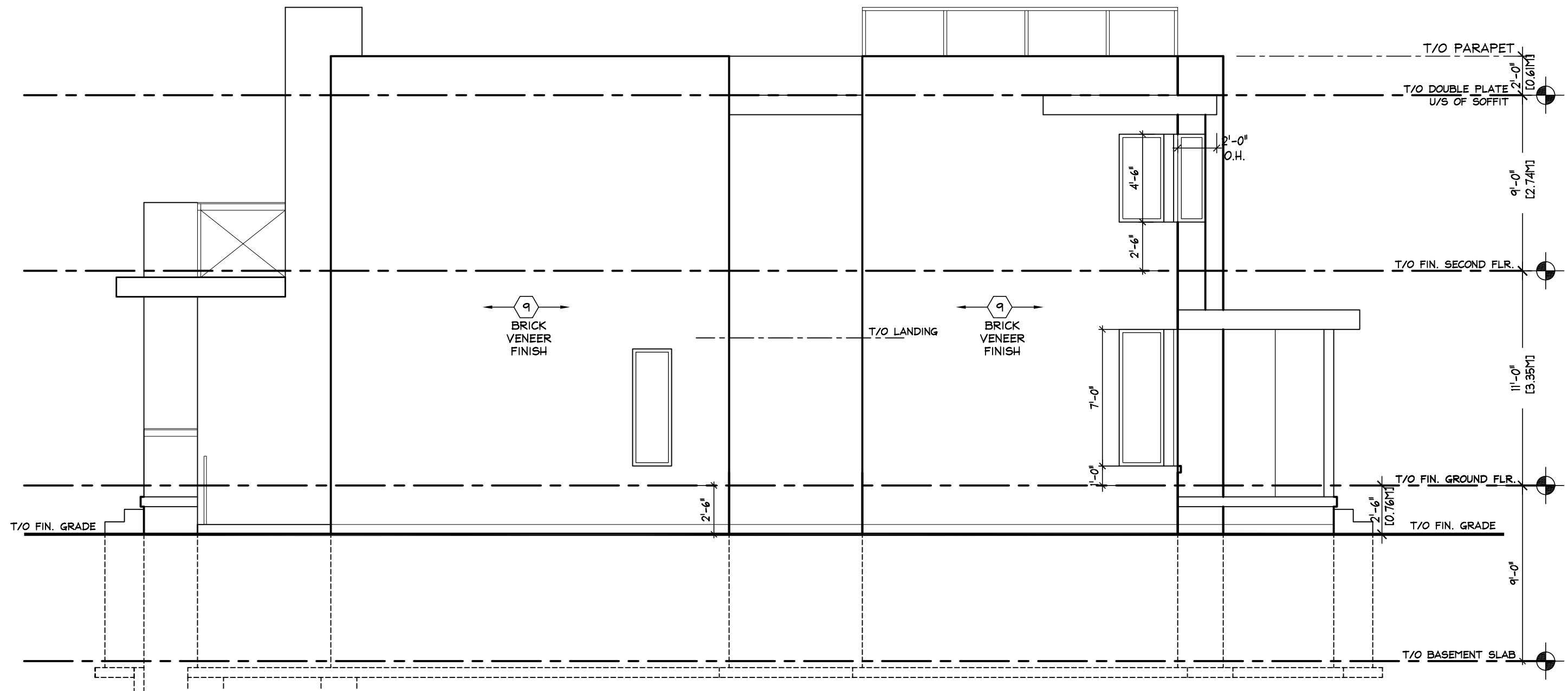
5 EAST SIDE ELEVATION
 A5 SCALE: 3/16"=1'-0"



8 WEST SIDE ELEVATION
 A8 SCALE: 3/16" = 1'-0"



7
A7
NORTH SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



6 SOUTH SIDE ELEVATION
 A6 SCALE: 3/16"=1'-0"

Tuesday, May 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0310/17EYK	Zoning	RM & R3
Owner(s):	ROSA TAVARES RICARDO TOME	Ward:	Etobicoke-Lakeshore (06)
Agent:	MARIO SILVA	Heritage:	Not Applicable
Property Address:	252 THIRTIETH ST	Community:	
Legal Description:	PLAN 4169 LOT 54		

Notice was given and a Public Hearing was held on Tuesday, May 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a second storey addition above the existing dwelling, and a rear yard deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 1.(a), By-law 1979-67**
The maximum permitted gross floor area is 0.4 times the area of the lot (239 m²).
The altered dwelling will have a gross floor area of 0.42 times the area of the lot (253.6 m²).
- 2. Section 10.80.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 7.96 m.
The altered dwelling will be located 7.93 m from the front lot line.
- 3. Section 320-42.1.(D)(1)**
The maximum permitted dwelling depth is 16.5 m.
The altered dwelling will have a depth of 16.97 m.
- 4. Section 3, By-law 1979-67**
The maximum permitted dwelling height is 7.5 m measured to the midpoint of the roof.
The altered dwelling will have a height of 9.04 m measured to the midpoint of the roof.
- 5. Section 10.80.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The altered dwelling will have a front exterior main wall height of 7.45 m.
- 6. Section 320-42.1.(B)(2)**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 6.84 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

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Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

Denise Graham (signed)

DATE DECISION MAILED ON: Tuesday, May 16, 2017

LAST DATE OF APPEAL: Monday, May 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.