

Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0188/17EYK	Zoning:	RD & R2
Owner(s):	CANDICE CARROLL JOHN CARROLL	Ward:	Etobicoke-Lakeshore (06)
Agent:	MLA DESIGN BUILD INC	Heritage:	Not Applicable
Property Address:	22 NORFOLK AVE	Community:	

Legal Description: PLAN 3817 LOT 49

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.70.(1), By-law 569-2013 and Section 320-40(C)(1)**
The minimum required front yard setback is 10.52 m.
The altered dwelling will be located 8.44 m from the front lot line.
- Section 320-18(A)**
A minimum access of 6 m shall be provided in front of a parking space.
A total of 4.27 m of access will be provided in front of the parking space.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 The site plan shall be revised to include the following notations:
 - a. "The applicant must obtain all required permits from the City's Right-of-Way Management Section of Transportation Services before excavating and encroaching into the municipal road allowance."; and
 - b. "The applicant must provide a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements.
 - 2.2 The applicant shall submit a revised site plan in metric units (1:200 or 1:250) illustrating the above condition, at no cost to the City, and no later than 30 June 2018.

SIGNATURE PAGE

File Number:	A0188/17EYK	Zoning	RD & R2
Owner:	CANDICE CARROLL JOHN CARROLL	Ward:	Etobicoke-Lakeshore (06)
Agent:	MLA DESIGN BUILD INC	Heritage:	Not Applicable
Property Address:	22 NORFOLK AVE	Community:	
Legal Description:	PLAN 3817 LOT 49		

Allan Smithies (signed)

Edwin (Ted) Shepherd
(signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0218/17EYK	Zoning	RD & R2
Owner(s):	LEANNE GILMORE KEVIN WILLIAMS	Ward:	Etobicoke North (02)
Agent:	AJT DESIGN	Heritage:	Not Applicable
Property Address:	66 RINGWAYCRES	Community:	

Legal Description: PLAN M946 LOT 102

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing the following: a two-storey rear addition, a new covered front porch, a one-storey front addition and a second storey front addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.40.70.(1)(B), By-law 569-2013 & Section 320-40.C.(3)**
The minimum required front yard setback is 12.55 m.
The altered dwelling will be located 8.65 m from the front lot line.
- Section 10.20.40.70.(2)(B), By-law 569-2013 & Section 320-42.A.**
The minimum required rear yard setback is 9.02 m.
The altered dwelling will be located 6.88 m from the rear lot line.
- Section 10.5.40.60.(1)(A)(i), By-law 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach 2.5 m into the required front yard setback.
Section 320-40.D.(2)
The maximum permitted projection of a porch into the required front yard is 1.6 m.
Section 10.5.40.60.(1)(A)(i), By-law 569-2013 & Section 320-40.D.(2)
The proposed front covered porch will encroach 2.84 m into the required front yard setback.
- Section 10.5.50.10.(1)(C), By-law 569-2013 & Section 320-24.9.C.**
A minimum of 60% of the front yard shall be maintained as landscaping.
A total of 51.2% of the front yard will be maintained as landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. The proposal shall be constructed substantially in accordance with the plans dated May 29, 2017 and held on file by the Committee of Adjustment. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The site plan shall be revised to include the following notations:
 - a. "The applicant must obtain all required permits from the City's Right-of-Way Management Section of Transportation Services before excavating and encroaching into the municipal road allowance."; and
 - b. "The applicant must provide a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements.
 - 3.2 The applicant shall submit a revised site plan in metric units (1:200 or 1:250) illustrating the above condition, at no cost to the City, and no later than 30 June 2018.

SIGNATURE PAGE

File Number:	A0218/17EYK	Zoning	RD & R2
Owner:	LEANNE GILMORE KEVIN WILLIAMS	Ward:	Etobicoke North (02)
Agent:	AJT DESIGN	Heritage:	Not Applicable
Property Address:	66 RINGWAY CRES	Community:	
Legal Description:	PLAN M946 LOT 102		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

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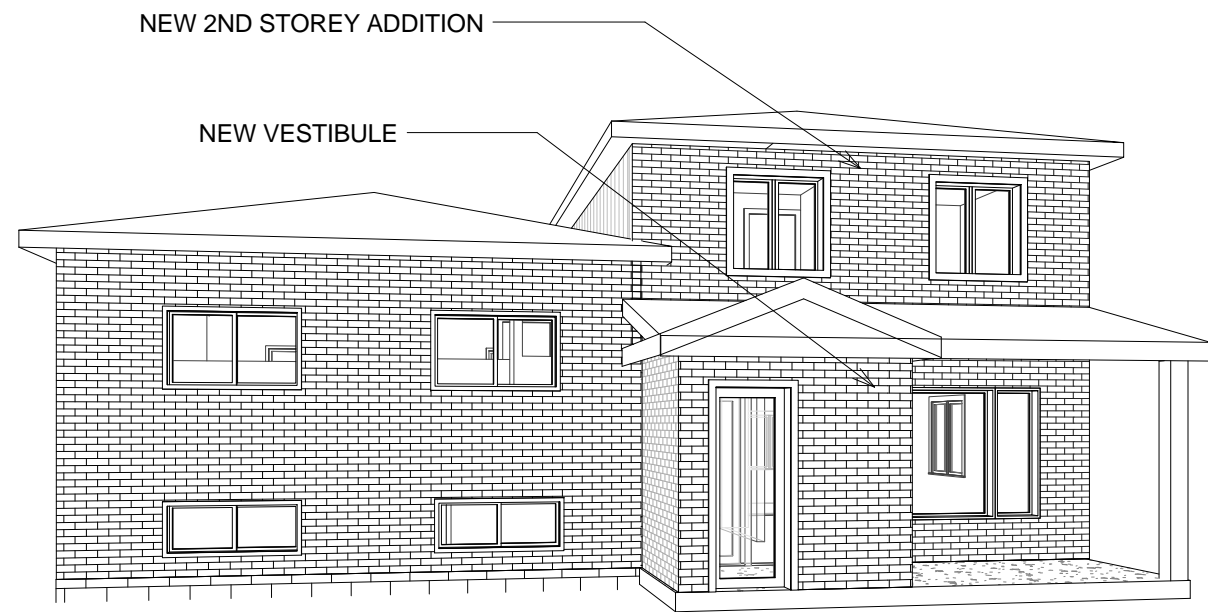
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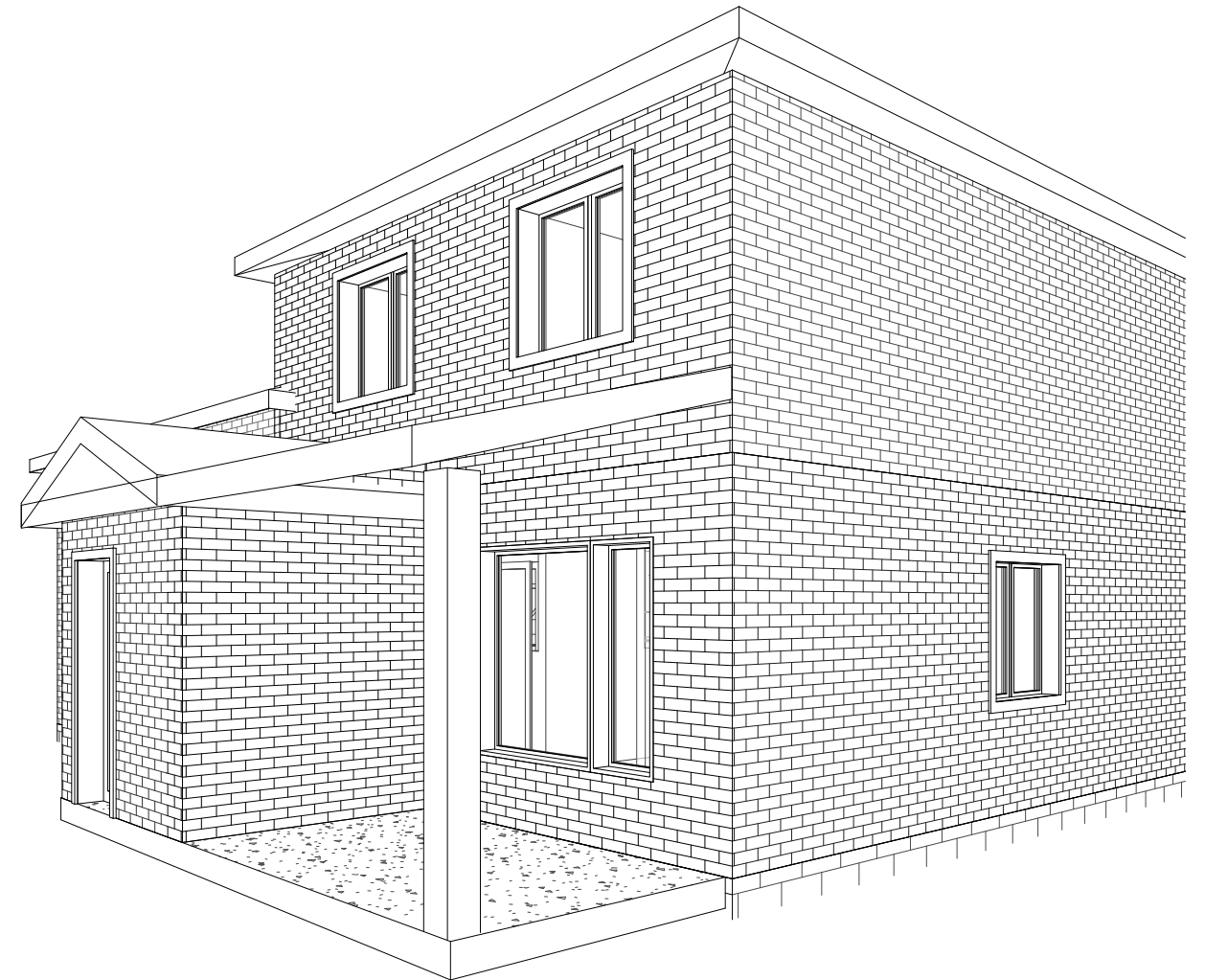
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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

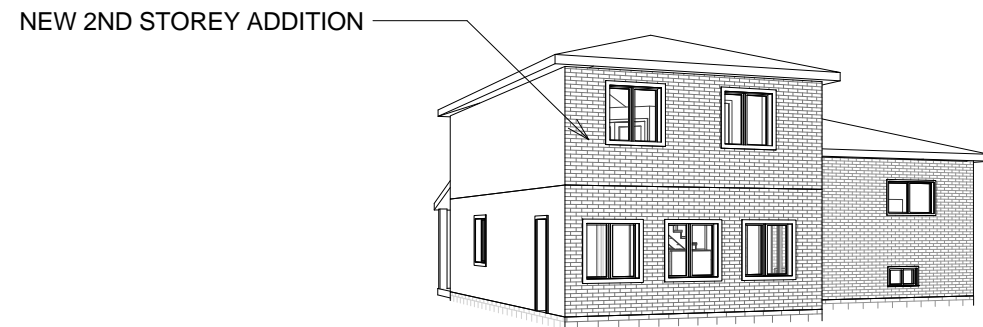
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1 EAST



3 NORTH EAST



2 NORTH WEST

AJTDESIGN.CA
 81 ST CLARENS AVE
 TORONTO ON
 M6K 2S6
 416 573 7625

obcpermits@gmail.com

The under signed has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer

QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the building code
 Andrew Trotter #38055
 Name Signature BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.5.1 of the building code
 AJTDESIGN.CA #102446
 Name Signature BCIN

"DO NOT SCALE"
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 WHICH THEY ARE ASSIGNED

66 RINGWAY CRES
 M9W1X4

CONCEPT

Project number 2016

Date 2016

Drawn by Andrew J Trotter AATO

Checked by

Checker

Scale

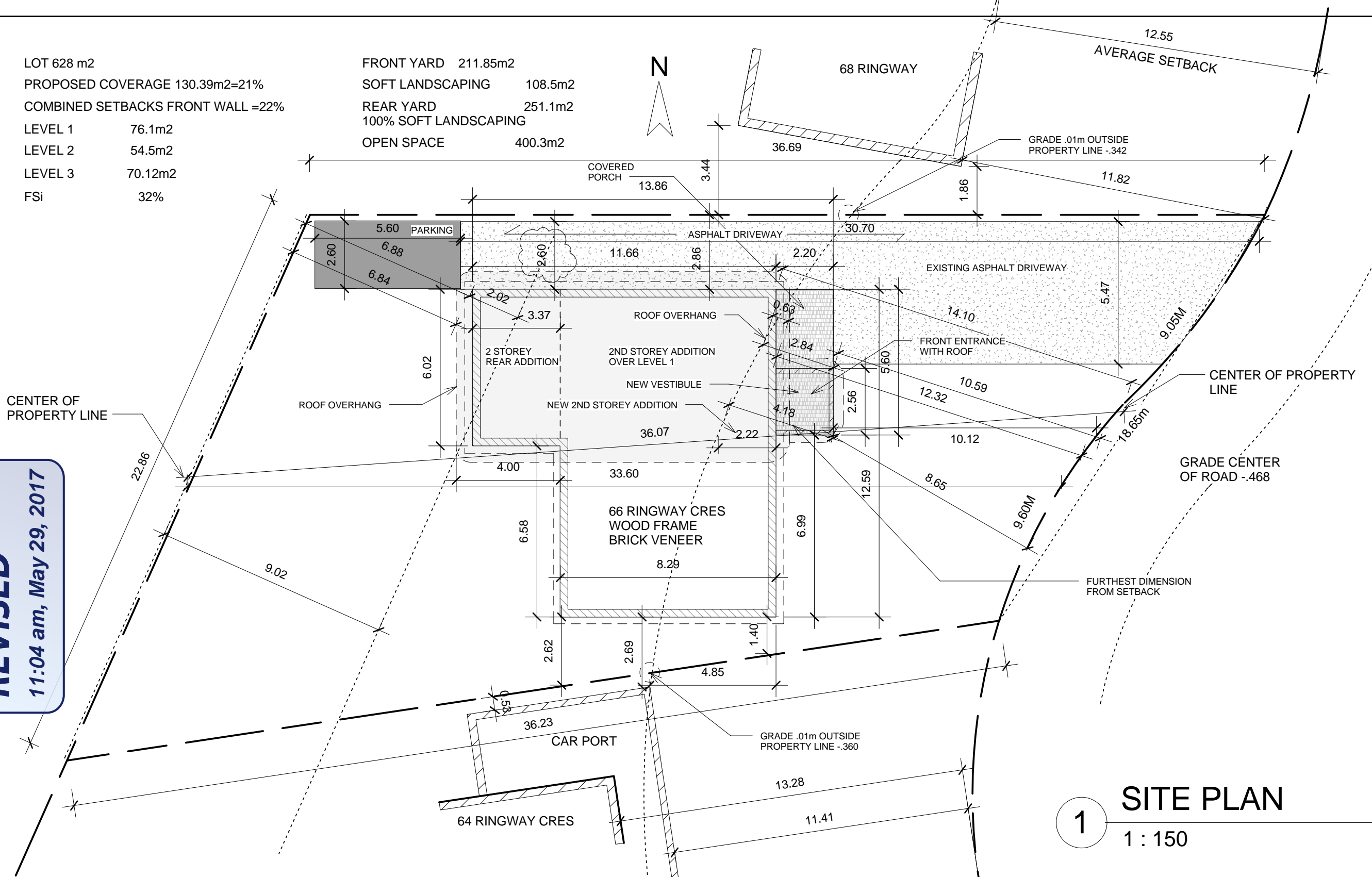
A0

LOT 628 m2
 PROPOSED COVERAGE 130.39m2=21%
 COMBINED SETBACKS FRONT WALL =22%
 LEVEL 1 76.1m2
 LEVEL 2 54.5m2
 LEVEL 3 70.12m2
 FSi 32%

FRONT YARD 211.85m2
 SOFT LANDSCAPING 108.5m2
 REAR YARD 251.1m2
 100% SOFT LANDSCAPING
 OPEN SPACE 400.3m2



REVISED
 11:04 am, May 29, 2017



1 SITE PLAN
 1 : 150

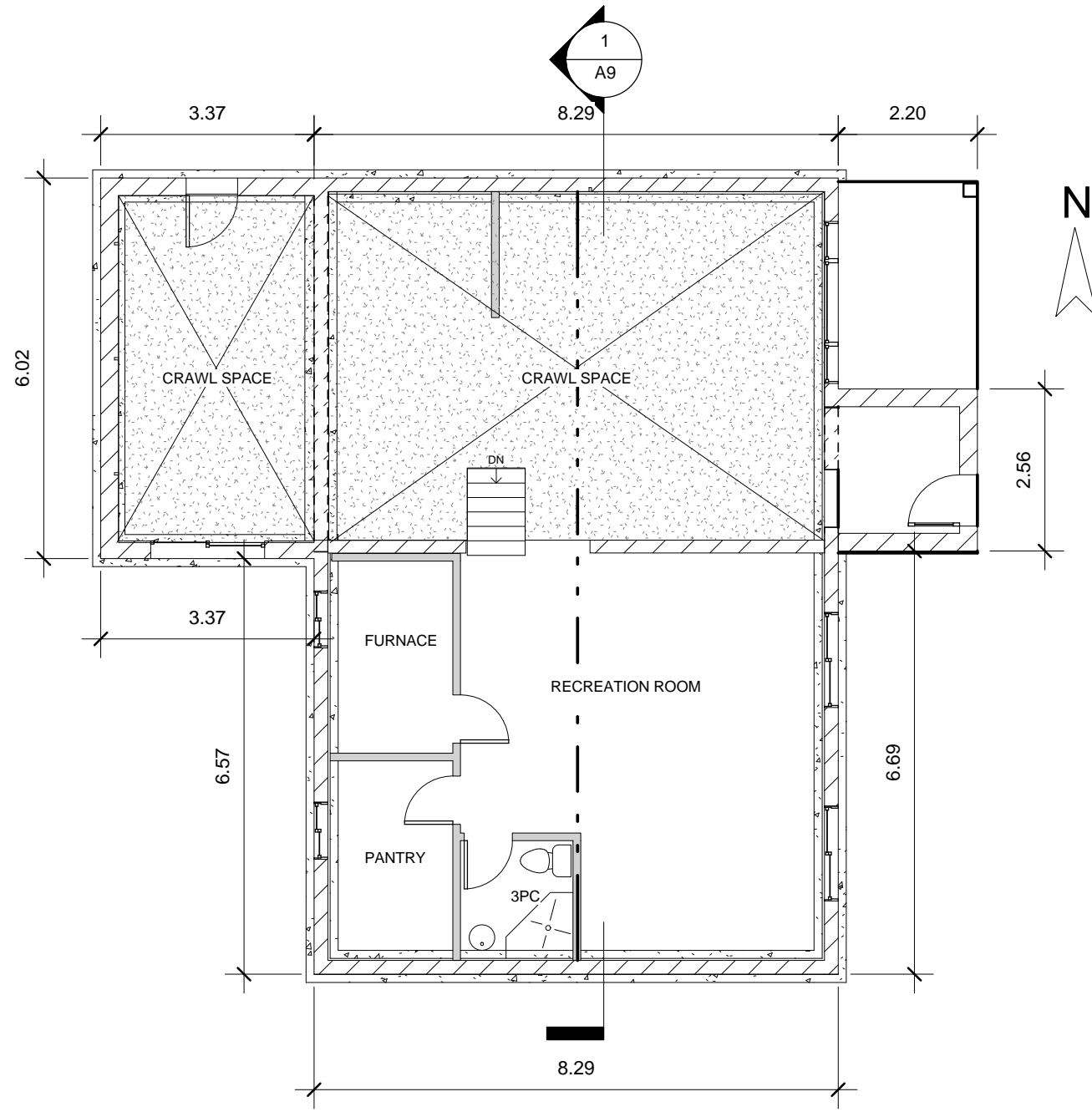
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M9W1X4

SITE PLAN		AS
Project number	2016	
Date	2016	
Drawn by	Andrew J Trotter AATO	Scale
Checked by	Checker	
		1 : 150



1 BASEMENT
1 : 100

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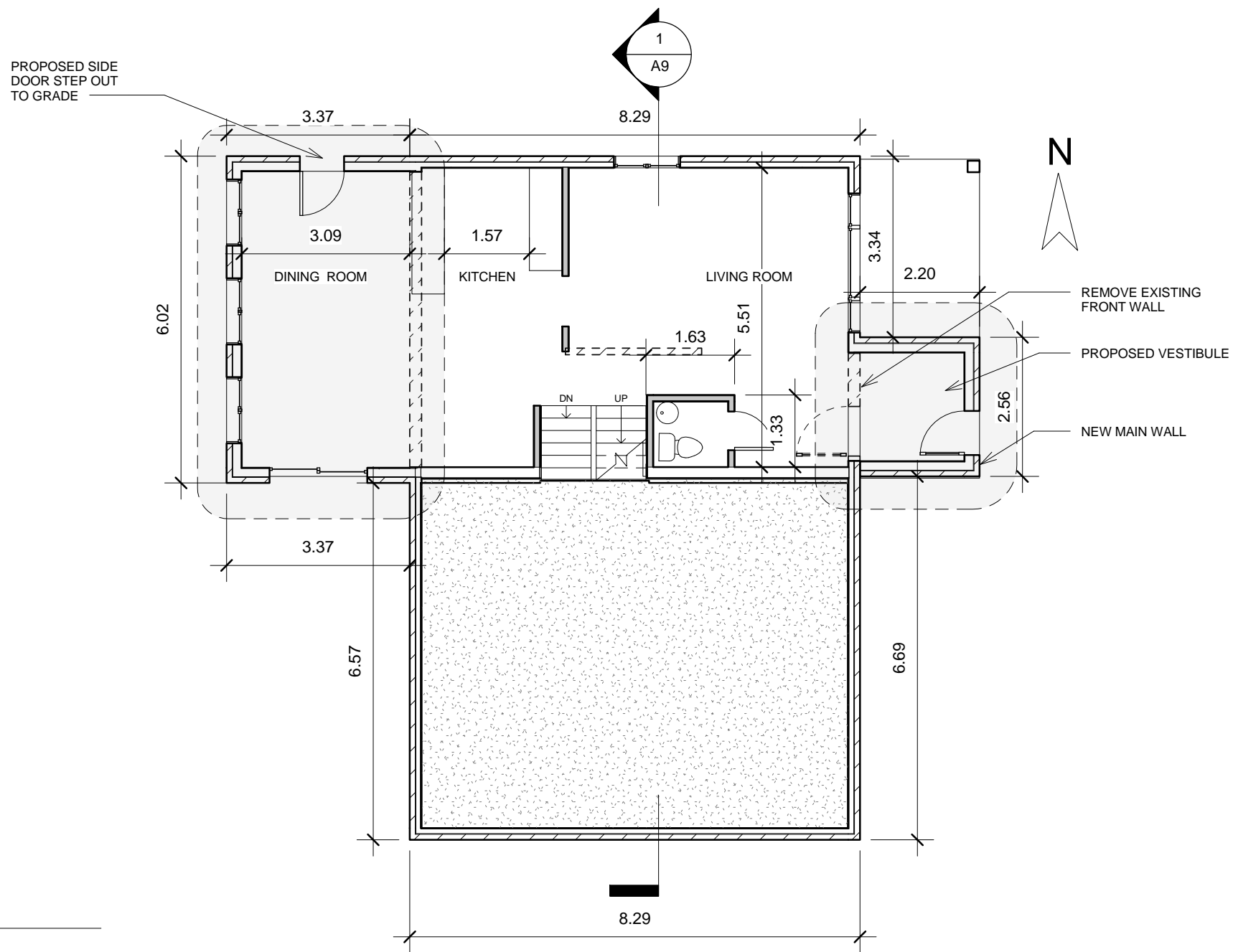
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M9W1X4

BASEMENT		A1
Project number	2016	
Date	2016	
Drawn by	Andrew J Trotter AATO	1 : 100
Checked by	Checker	
Scale		



1 LEVEL 1
1 : 100

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M9W1X4

LEVEL 1

Project number 2016

Date 2016

Drawn by Andrew J Trotter AATO

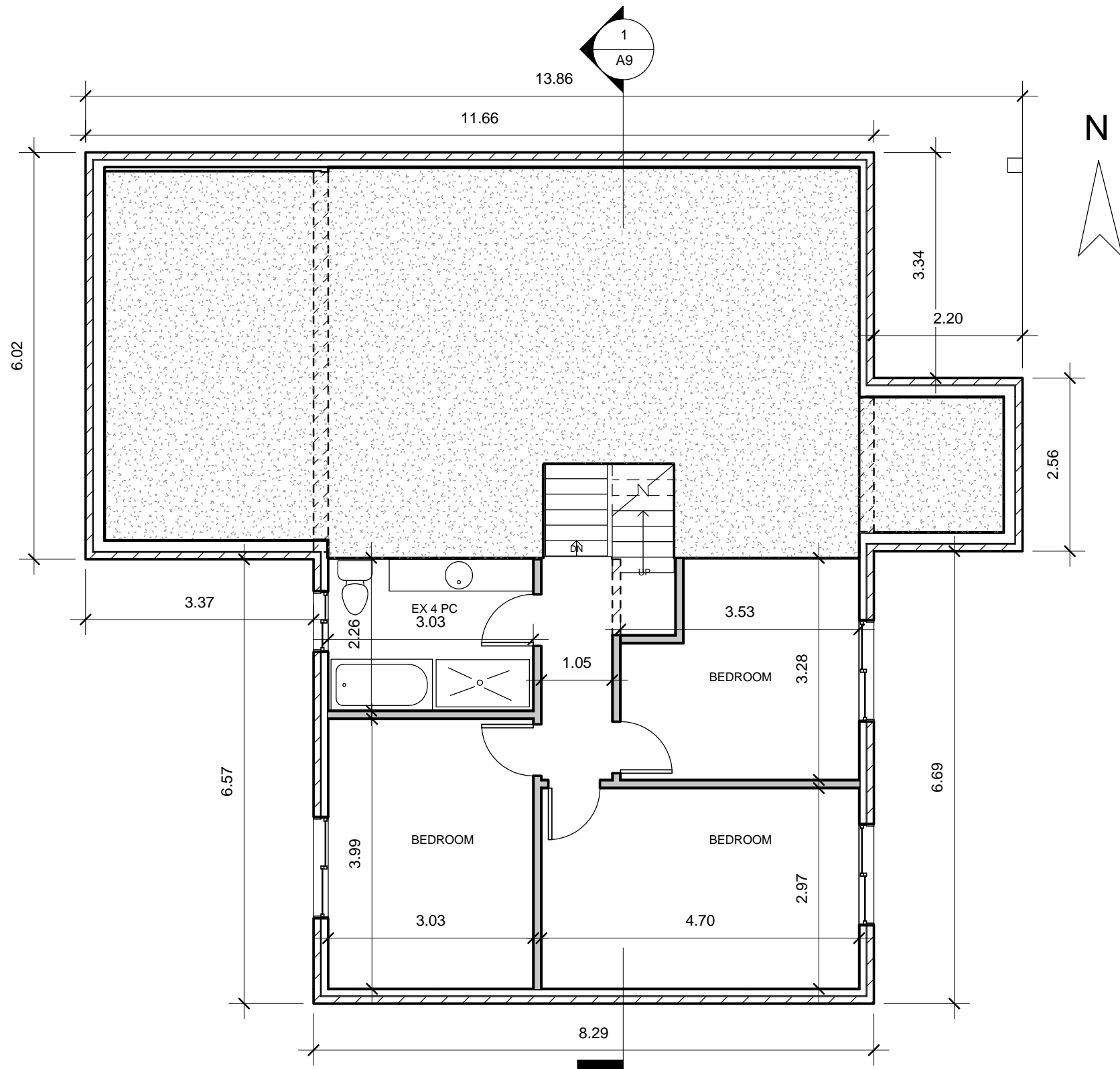
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A2

1 : 100



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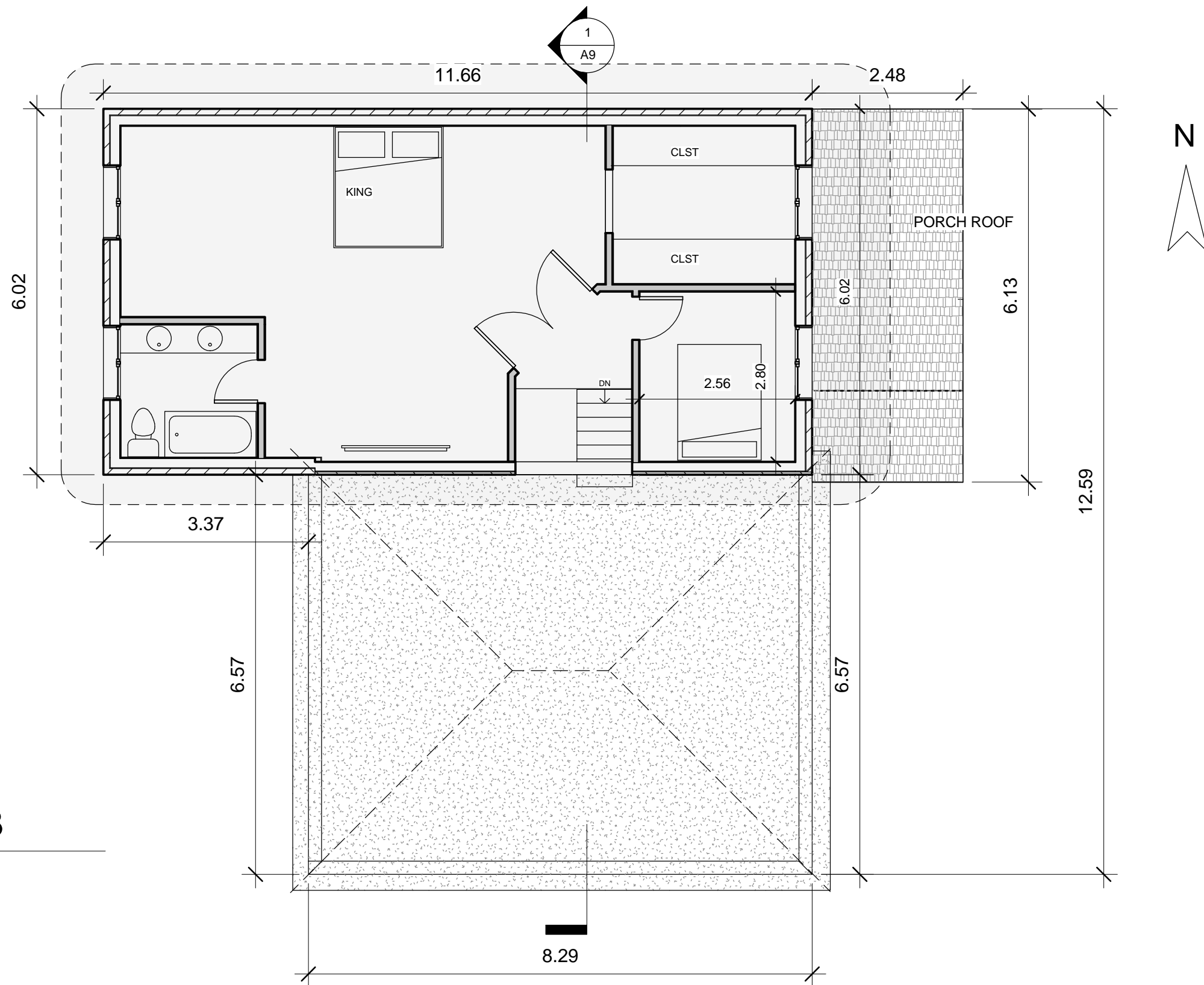
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LEVEL 2		A3
Project number	2016	
Date	2016	
Drawn by	Andrew J Trotter AATO	Scale
Checked by	Checker	
		1 : 75

1 LEVEL 3
1 : 75



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M9W1X4

LEVEL 3

Project number 2016

Date 2016

Drawn by Andrew J Trotter AATO

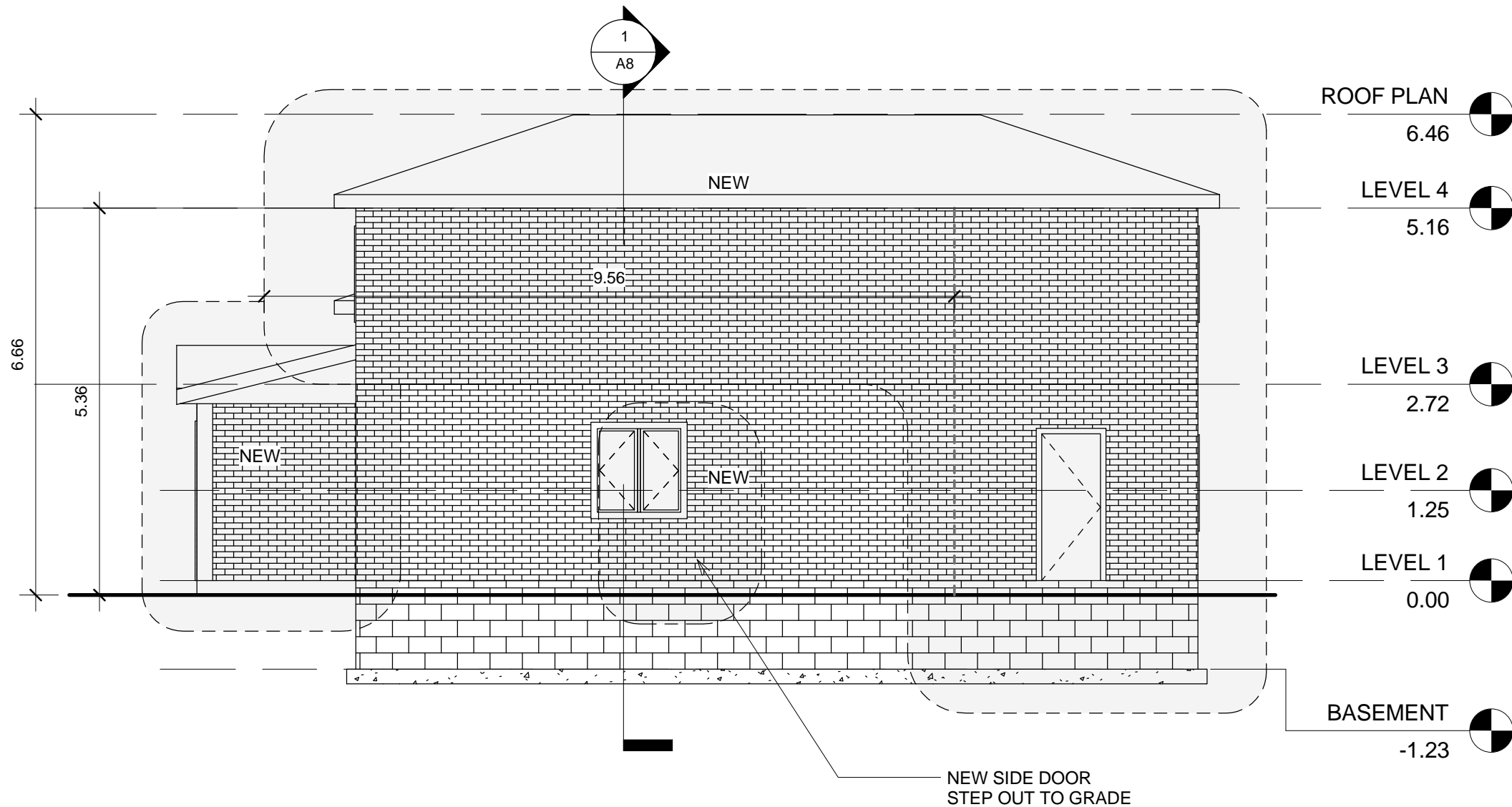
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Checker

Scale

A4

1 : 75



1 NORTH
1 : 75

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Andrew Trotter	<i>[Signature]</i>	#38055
Name	Signature	BCIN

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AJTDESIGN.CA	<i>[Signature]</i>	#102446
Name	Signature	BCIN

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66 RINGWAY CRES
M9W1X4

NORTH ELEVATION

Project number 2016

Date 2016

Drawn by Andrew J Trotter AATO

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Checker

Scale

A5

1 : 75



1

WEST

1 : 75

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66 RINGWAY CRES
 M9W1X4

WEST ELEVATION

Project number 2016

Date 2016

Drawn by Andrew J Trotter AATO

Checked by

Checker

Scale

A6

1 : 75



1 EAST
1 : 75

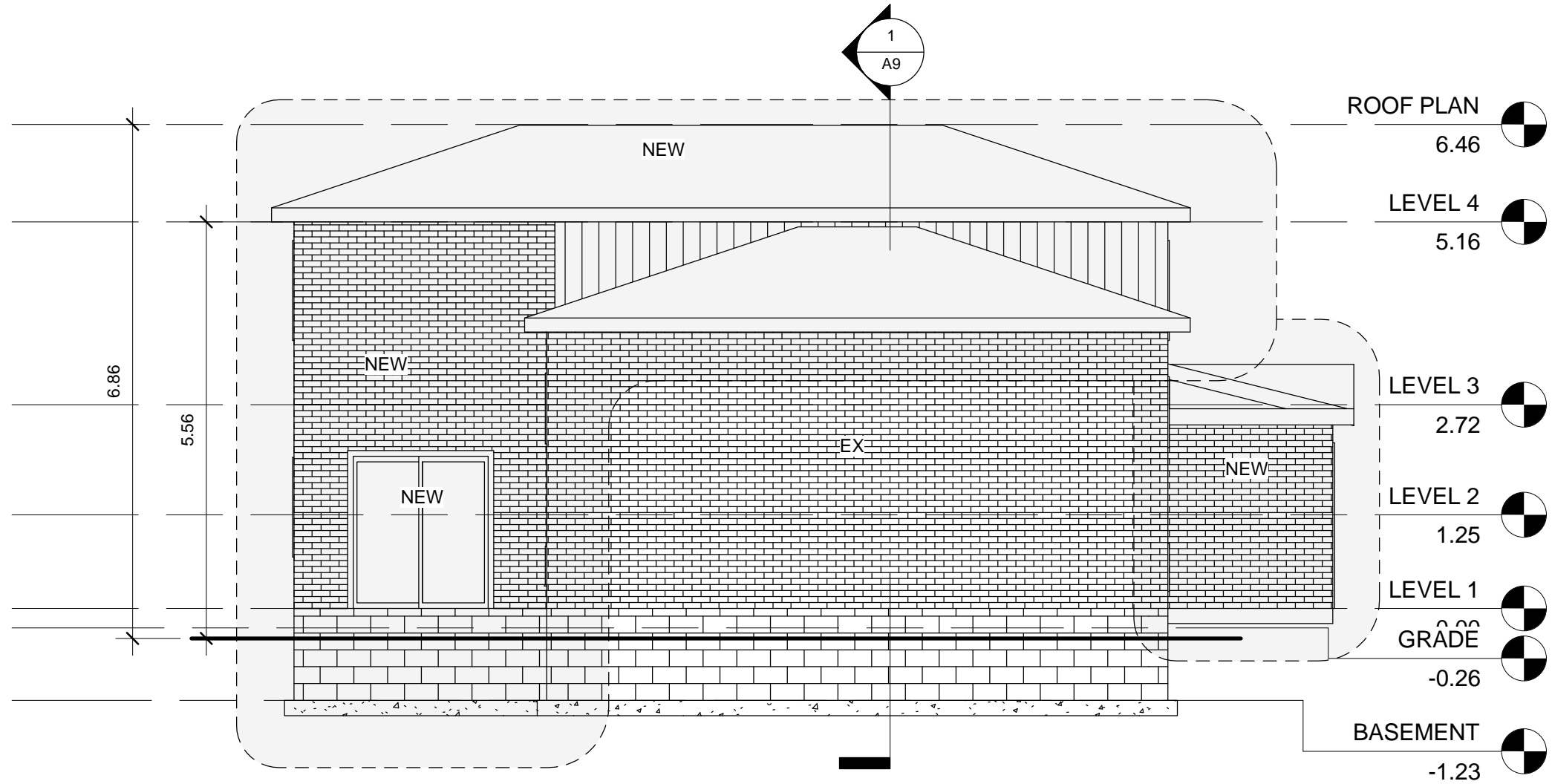
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66 RINGWAY CRES
M9W1X4

EAST ELEVATION		
Project number 2016	A7	
Date 2016		
Drawn by Andrew J Trotter AATO		
Checked by	Checker	Scale 1 : 75



1 SOUTH
1 : 75

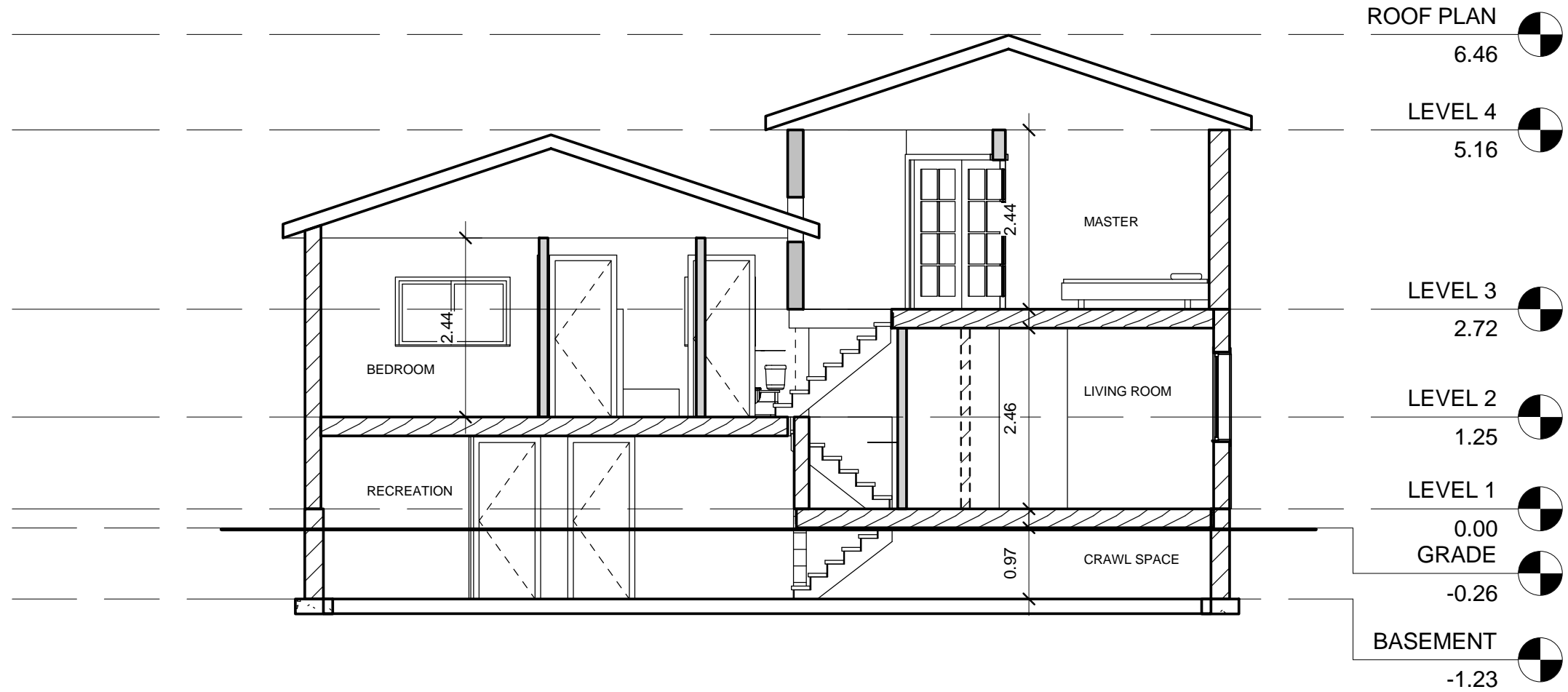
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66 RINGWAY CRES
M9W1X4

SOUTH ELEVATION		A8
Project number 2016	Scale	
Date 2016	1 : 75	
Drawn by Andrew J Trotter AATO	Checked by	Checker



1 Section 1
1 : 75

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66 RINGWAY CRES
M9W1X4

SECTION			
Project number 2016	A9		
Date 2016			
Drawn by Andrew J Trotter AATO			
Checked by	Checker	Scale	1 : 75

Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0315/17EYK	Zoning	I.C2
Owner(s):	REST TABERNACLE CHURCH OF JESUS CHRIST APOSTOLIC INC	Ward:	Etobicoke North (02)
Agent:	LIRO STUDIO	Heritage:	Not Applicable
Property Address:	1355 MARTIN GROVERD	Community:	

Legal Description: PLAN 4630 PT LOT 78

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the existing building and to permit parking deficiencies for a place of worship.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 320-24.2.H**
The minimum required rear yard setback is 7.5 m.
The building is located 5.91 m from the rear yard setback.
- Section 320-24.2.C**
A total of 42 onsite parking spaces are required.
A total of 27 onsite parking spaces will be provided.
- Section 320-24.2.D**
All parking lots shall be curbed and paved and shall maintain a 1.5 m setback from all property lines.
Fencing shall be provided in accordance with Subsection 320-24.2.G.
No fencing is proposed for the parking lot.
- Section 320-24.2.E**
A 1.5 m landscaped strip shall be provided along the entire perimeter of the property except for the frontage where a 3 m wide landscaped strip shall be provided.
A 0 m landscaped strip will be provided along the east and rear lot lines and a 1.07 m landscaped strip will be provided along the west side lot line.

5. Section 320-18.A.(1)(c)

The minimum required parking space width is 2.6 m (with no obstruction) and 2.9 m (with an obstruction on one side).

The proposed parking space will have a width of 2.59 m (with no obstruction) and 2.6 m (with an obstruction on one side).

6. Section 304-36.G(1)

No parking space shall be located closer than 4.5 m from any street line abutting a street.

The proposed parking spaces abutting Martingrove Road will be located 1.07 m from the street line and the proposed parking spaces abutting Racine Road will be located 0 m from the street lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0315/17EYK	Zoning	IC2
Owner:	REST TABERNACLE CHURCH OF JESUS CHRIST APOSTOLIC INC	Ward:	Etobicoke North (02)
Agent:	LIRO STUDIO	Heritage:	Not Applicable
Property Address:	1355 MARTIN GROVE RD	Community:	
Legal Description:	PLAN 4630 PT LOT 78		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0316/17EYK	Zoning	RD & R2
Owner(s):	ELVINA PATAPAU ALIAKSANDR PATAPAU	Ward:	Etobicoke-Lakeshore (05)
Agent:	SCOTT PETRIE	Heritage:	Not Applicable
Property Address:	15 GLENN ARTHURDR	Community:	

Legal Description: PLAN M948 LOT 16

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (230.72 m²).
The new dwelling will have a floor space index of 0.56 times the area of the lot (287.3 m²).
- Section 10.20.40.70.(1), By-law 569-2013 and Section 320-40.B**
The minimum required front yard setback is 7.8 m.
The new dwelling will be located 7.65 m from the front lot line.
- Section 320-42.1.C.(2)**
The minimum required side yard setback is 1.2 m, provided that the aggregate width of both side yards shall equal not less than 20% of the lot frontage (3.27 m).
The new dwelling will be located 1.35 m from the north side lot line and 1.37 m from the south side lot line and will have an aggregate side yard width of 16.6% of the lot frontage (2.72 m).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0316/17EYK	Zoning	RD & R2
Owner:	ELVINA PATAPAU ALIAKSANDR PATAPAU	Ward:	Etobicoke-Lakeshore (05)
Agent:	SCOTT PETRIE	Heritage:	Not Applicable
Property Address:	15 GLENN ARTHUR DR	Community:	
Legal Description:	PLAN M948 LOT 16		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0318/17EYK	Zoning	RD & R1
Owner(s):	JENNIFER PRIETO MICHELI MARC ANTHONY MICHELL	Ward:	Etobicoke Centre (04)
Agent:	IAN ROBERTSON DESIGN	Heritage:	Not Applicable
Property Address:	12 CRANLEIGH CRT	Community:	

Legal Description: PLAN 4138 LOT 27

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(28)(C), By-law 569-2013 & Section 1(b).1, By-law 1992-24**
The maximum permitted gross floor area is 165 m² plus 25% of the lot area (402.64 m²), up to a maximum floor space index of 0.5 (475.27 m²).
The proposed dwelling will have a gross floor area of 165 m² plus 27.12% of the lot area (422.75 m²).
- Section 1(a).2, By-law 1992-24**
The maximum permitted soffit height is 6.5 m.
The proposed dwelling will have a soffit height of 7.01 m.
- Section 10.20.40.10.(2)(A)(ii), By-law 569-2013**
A minimum of 60% of rear exterior main walls shall have a height less than 7 m.
A total of 5.7% of the proposed rear exterior main walls will have a height less than 7 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0318/17EYK	Zoning	RD & R1
Owner:	JENNIFER PRIETO MICHELI MARC ANTHONY MICHELL	Ward:	Etobicoke Centre (04)
Agent:	IAN ROBERTSON DESIGN	Heritage:	Not Applicable
Property Address:	12 CRANLEIGH CRT	Community:	
Legal Description:	PLAN 4138 LOT 27		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0321/17EYK	Zoning	RD & R1
Owner(s):	JASMINE BASHAJ ALTIN BASHAJ	Ward:	Etobicoke Centre (04)
Agent:	CITYSCAPE DESIGN INNOVATION INC	Heritage:	Not Applicable
Property Address:	56 PRINCE GEORGEDR	Community:	

Legal Description: PLAN 4967 LOT 144

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling and two-storey front and rear additions.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-55.C.**
The maximum permitted lot coverage is 33% of the lot area (228.3 m²).
The altered dwelling will cover 36.1% of the lot area 249.75 m².
- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (311.32 m²).
The altered dwelling will have a floor space index of 0.61 times the area of the lot (418.56 m²).
- Section 10.20.40.70.(3)(F), By-law 569-2013**
The minimum required side yard setback is 2.4 m.
Section 320-42.1.C.(3)
The minimum required side yard setback is 1.5 m, with a minimum aggregate side yard setback equal to 20% of the lot frontage (4 m).
Section 10.20.40.70.(3)(F), By-law 569-2013 and Section 320-42.1.C.(3)
The altered dwelling will be located 1.44 m from the south side lot line and 1.53 m from the north side lot line, with an aggregate side yard setback equal to 15% of the lot frontage (2.97 m).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0321/17EYK	Zoning	RD & R1
Owner:	JASMINE BASHAJ ALTIN BASHAJ	Ward:	Etobicoke Centre (04)
Agent:	CITYSCAPE DESIGN INNOVATION INC	Heritage:	Not Applicable
Property Address:	56 PRINCE GEORGE DR	Community:	
Legal Description:	PLAN 4967 LOT 144		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0325/17EYK	Zoning	RD & R1
Owner(s):	PATRIZIA KEMPER	Ward:	Etobicoke Centre (04)
Agent:	DESIGN PLAN SERVICES	Heritage:	Not Applicable
Property Address:	423 THE KINGSWAY	Community:	

Legal Description: PLAN 2615 PT BLK A

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage and an accessory structure (cabana) in the rear yard. A previous Committee of Adjustment application (A0806/16EYK) approved variances relating to side yard setbacks, building depth, building length, building height, soffit height and exterior main wall height.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(28)(C), By-law 569-2013 and Section 1.b)(1), By-law 1992-24**
The maximum permitted gross floor area, including an attached garage, shall not exceed 165 m² plus 25% of the lot area (874.62 m²), provided that the maximum floor space index of the dwelling does not otherwise exceed 0.5 times the area of the lot (1,419.24 m²).
The new dwelling, including the attached garage, will have a gross floor area equal to 165 m² plus 31.1% of the lot area (1048.82 m²) with a floor space index of 0.37 (1048.82 m²).
- Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19 m.
A previous Committee of Adjustment application (A0806/16EYK) approved a building depth of 30.19 m.
The new dwelling will have a depth of 33.82 m.
- Section 320-43.(D)**
The maximum wall height for an accessory structure is 2.5 m.
The proposed rear accessory structure (cabana) will have a wall height of 2.88 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0325/17EYK	Zoning	RD & R1
Owner:	PATRIZIA KEMPER	Ward:	Etobicoke Centre (04)
Agent:	DESIGN PLAN SERVICES	Heritage:	Not Applicable
Property Address:	423 THE KINGSWAY	Community:	
Legal Description:	PLAN 2615 PT BLK A		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0328/17EYK	Zoning	RD & R2
Owner(s):	DIANA ELISA BRITO FERNANDES NUNO ANDRE MANO	Ward:	Etobicoke North (02)
Agent:	ANDRE GRISOLIA	Heritage:	Not Applicable
Property Address:	37 LA RUSHDR	Community:	

Legal Description: PLAN 5184 LOT 11

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition on the existing dwelling, a two-storey west side addition, a rear one storey addition and a rear platform on the second storey.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The altered dwelling will have a length of 17.43 m.
- Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted height of a flat roofed dwelling is 7.2 m.
Section 320-42.1.B.(2)
The maximum permitted height for a flat roofed dwelling is 6.5 m.
Section 10.20.40.10.(4)(A), By-law 569-2013 and Section 320-42.1.B.(2)
The altered dwelling will have a flat roof height of 7.96 m.
- Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of each platform at or above the second storey of a detached house is 4 m².
The altered dwelling will have a proposed second storey rear platform with an area of 7.24 m².
- Section 150.10.40.1(1), By-law 569-2013**
A secondary suite is permitted provided the dwelling is more than 5 years old.
A secondary suite is proposed within the altered dwelling which is less than 5 years old.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. Submission of a complete application for a permit to injure or remove privately owned trees as per City of Toronto Municipal Code Chapter 658, to the satisfaction of Urban Forestry Ravine and Natural Feature Protection.

SIGNATURE PAGE

File Number:	A0328/17EYK	Zoning	RD & R2
Owner:	DIANA ELISA BRITO FERNANDES NUNO ANDRE MANO	Ward:	Etobicoke North (02)
Agent:	ANDRE GRISOLIA	Heritage:	Not Applicable
Property Address:	37 LA RUSH DR	Community:	
Legal Description:	PLAN 5184 LOT 11		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0331/17EYK	Zoning	RM & RM1
Owner(s):	ERNEST KIRALY BARBARA KIRALY	Ward:	Etobicoke-Lakeshore (06)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	51 ELDERAVE	Community:	

Legal Description: PLAN 1571 W PT LOT 207 E PT LOT 208

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 330-23.A.(9)**
The maximum permitted floor space index is 0.35 times the area of the lot (142.28 m²).
Section 10.80.40.40.(1)(A), By-law 569-2013
The new dwelling will have a floor space index of 0.99 times the area of the lot (400.72 m²).
Section 330-23.A.(9)
The new dwelling will have a floor space index of 0.96 times the area of the lot (391.03 m²).
- Section 900.6.10.(2)(C)(i), By-law 569-2013 and Section 330-23.A.(10)(a)**
The maximum permitted building height is 9.5 m.
The new dwelling will have a height of 9.93 m.
- Section 10.80.40.10.(2)(A), By-law 569-2013**
The maximum permitted height of the exterior portion of the main walls is 7 m.
The exterior portion of the main walls of the new dwelling will have a height of 8.41 m.
- Section 10.80.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed second storey rear balcony will have an area of 5.74 m².
- Section 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
A total of 10 m² of the first floor will be located within 6.63 m of the front main wall.

6. **Section 10.5.50.10.(1)(B), By-law 569-2013 and Section 330-20.5.B**
A minimum of 50% of the front yard shall be maintained as landscaping.
A total of 34.98% of the front yard will be maintained as landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.
2. The following conditions shall be fulfilled to the satisfaction of the Director, Community Planning, Etobicoke York District:
 - 2.1 The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on May 25, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
 - 2.2 The proposed driveway to be constructed of permeable materials

SIGNATURE PAGE

File Number:	A0331/17EYK	Zoning	RM & RM1
Owner:	ERNEST KIRALY BARBARA KIRALY	Ward:	Etobicoke-Lakeshore (06)
Agent:	EDDIE PERES	Heritage:	Not Applicable
Property Address:	51 ELDER AVE	Community:	
Legal Description:	PLAN 1571 W PT LOT 207 E PT LOT 208		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Part of LOTS 207 and 208
REGISTERED PLAN 1571
CITY OF TORONTO
Formerly In The City of Etobicoke



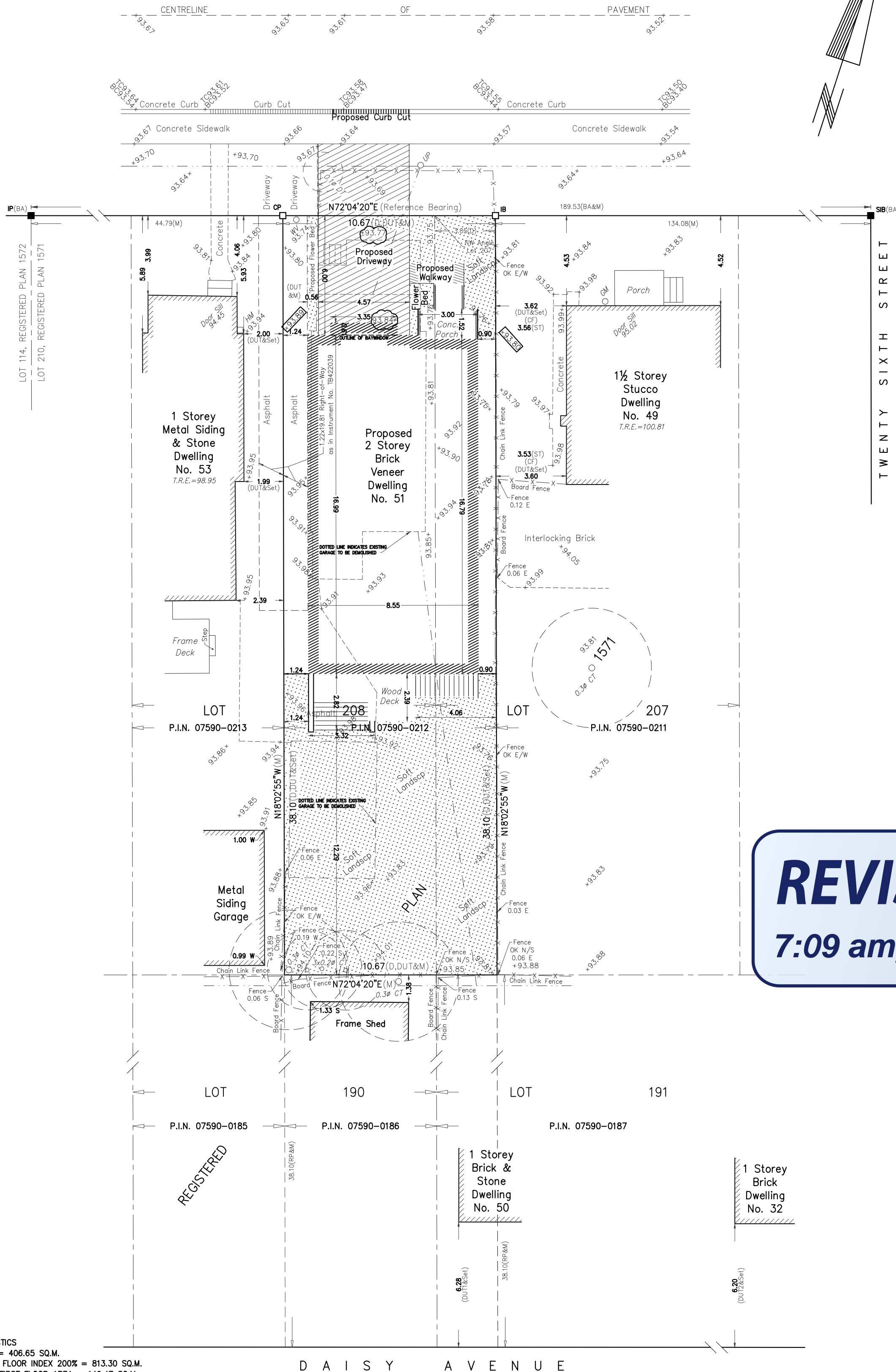
ELDER AVENUE (by Registered Plan 1571)
(Street Line as confirmed by Plan BA-2454)

P.I.N. 07590-0276

EKP DESIGNS INC.

53 NORMAN AVENUE
TORONTO, ONTARIO
M6E-1G9
TEL. No. 416-658-6737
CELL No. 416-723-6983
EMAIL: ekpdesigns@outlook.com

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REVISED
7:09 am, May 25, 2017

No.	REVISIONS	DATE
1		24/05/2017

LEGEND

□	DENOTES	SURVEY MONUMENT SET
■	—	SURVEY MONUMENT FOUND
RP	—	REGISTERED PLAN 1571
N,S,E,W	—	NORTH,SOUTH,EAST,WEST
M	—	MEASURED
CP	—	CONCRETE PIN
SIB	—	STANDARD IRON BAR
IB	—	IRON BAR
IP	—	IRON PIPE
BA	—	PLAN BA-2454
D	—	INSTRUMENT No. TB422039
DUT	—	PLAN BY DUNNING & TAYLOR, O.L.S., DATED AUGUST 8, 1967
DUT1	—	PLAN BY DUNNING & TAYLOR LIMITED, O.L.S., DATED MARCH 22, 1984
DUT2	—	DUNNING & TAYLOR, O.L.S.
P.I.N.	—	PROPERTY IDENTIFIER NUMBER
—	—	OVERHEAD WIRES & UTILITY POLE
TC	—	TOP OF CURB
BC	—	BOTTOM OF CURB
CT	—	CONIFEROUS TREE
DT	—	DECIDUOUS TREE
AC	—	AIR CONDITIONER
CF	—	CONCRETE FOUNDATION
GM	—	GAS METER
HM	—	HYDRO METER
ST	—	STUCCO
UP	—	UTILITY POLE
WV	—	WATER VALVE
T.R.E.	—	TOP OF ROOF ELEVATION

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

EDDIE PERES 31246
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

EKP DESIGNS INC. 38281
FIRM NAME BCIN

PROJECT
PROPOSED 2 STOREY DETACHED DWELLING
51 ELDER AVENUE
CITY OF TORONTO

DRAWING NAME
SITE PLAN

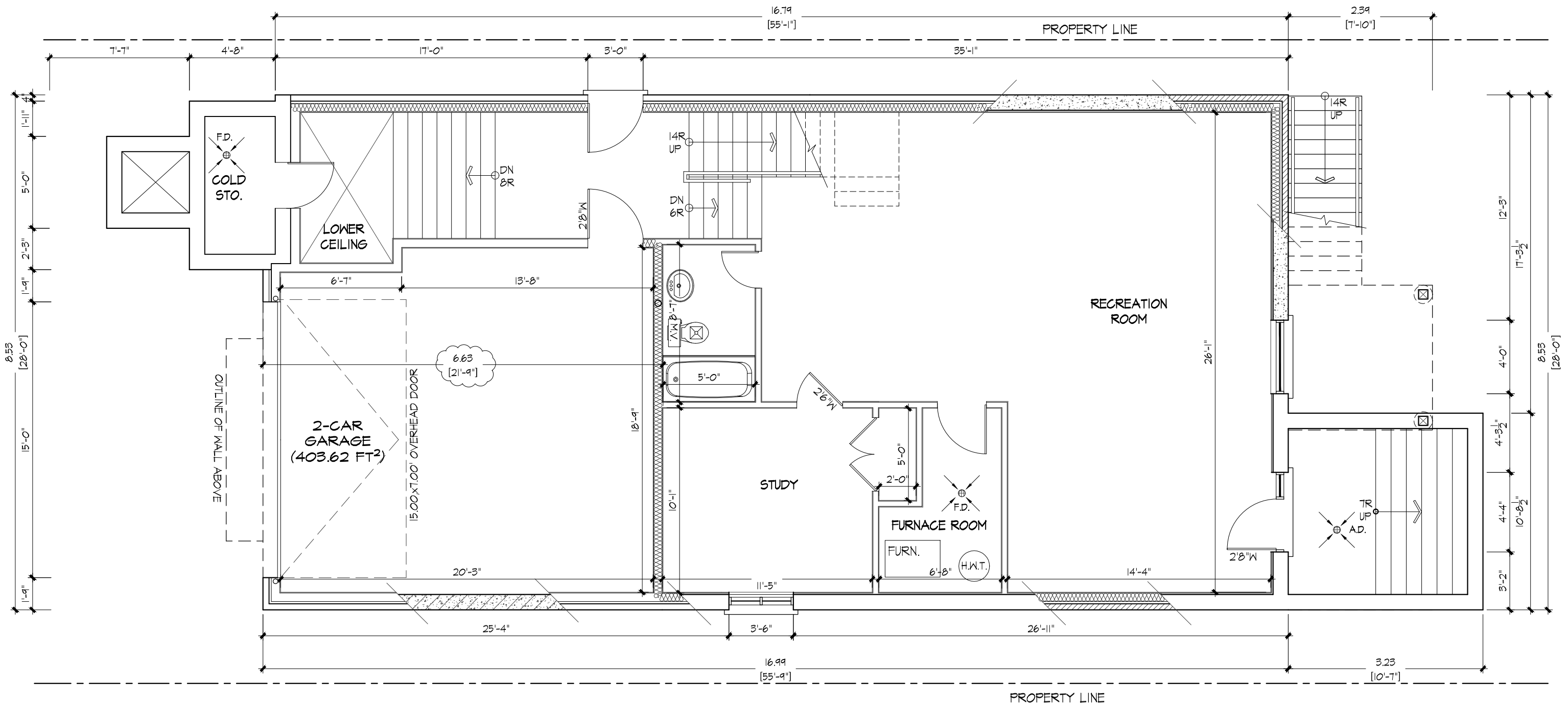
DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-81	DATE DECEMBER 2016	SCALE AS SHOWN
FILE: 2016	DRAWING NO. A1	

SITE STATISTICS
LOT AREA = 406.65 SQ.M.
ALLOWABLE FLOOR INDEX 200% = 813.30 SQ.M.
PROPOSED FIRST FLOOR AREA = 146.47 SQ.M.
PROPOSED SECOND FLOOR AREA = 144.43 SQ.M.
TOTAL PROPOSED FLOOR AREA = 290.90 SQ.M.
FRONT LOT AREA = 64.79 SQ.M.
MINIMUM LANDSCAPING AREA (50%) = 32.40 SQ.M.
MINIMUM SOFT LANDSCAPING AREA (75%) = 24.30 SQ.M.
PROPOSED LANDSCAPING AREA = 22.79 SQ.M. (35.18%)
PROPOSED SOFT LANDSCAPING AREA = 16.69 SQ.M. (51.51%)

REGISTERED

D A I S Y A V E N U E

T W E N T Y S I X T H S T R E E T



1 BASEMENT FLOOR PLAN
 A2 SCALE : 3/16" = 1'-0"

EKP DESIGNS INC.
 53 NORMAN AVENUE
 TORONTO, ONTARIO
 M6E-1G9
 TEL. No. 416-658-6737
 CELL No. 416-723-6983
 EMAIL: ekpdesigns@outlook.com

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No.	REVISIONS	DATE
1		24/05/2017

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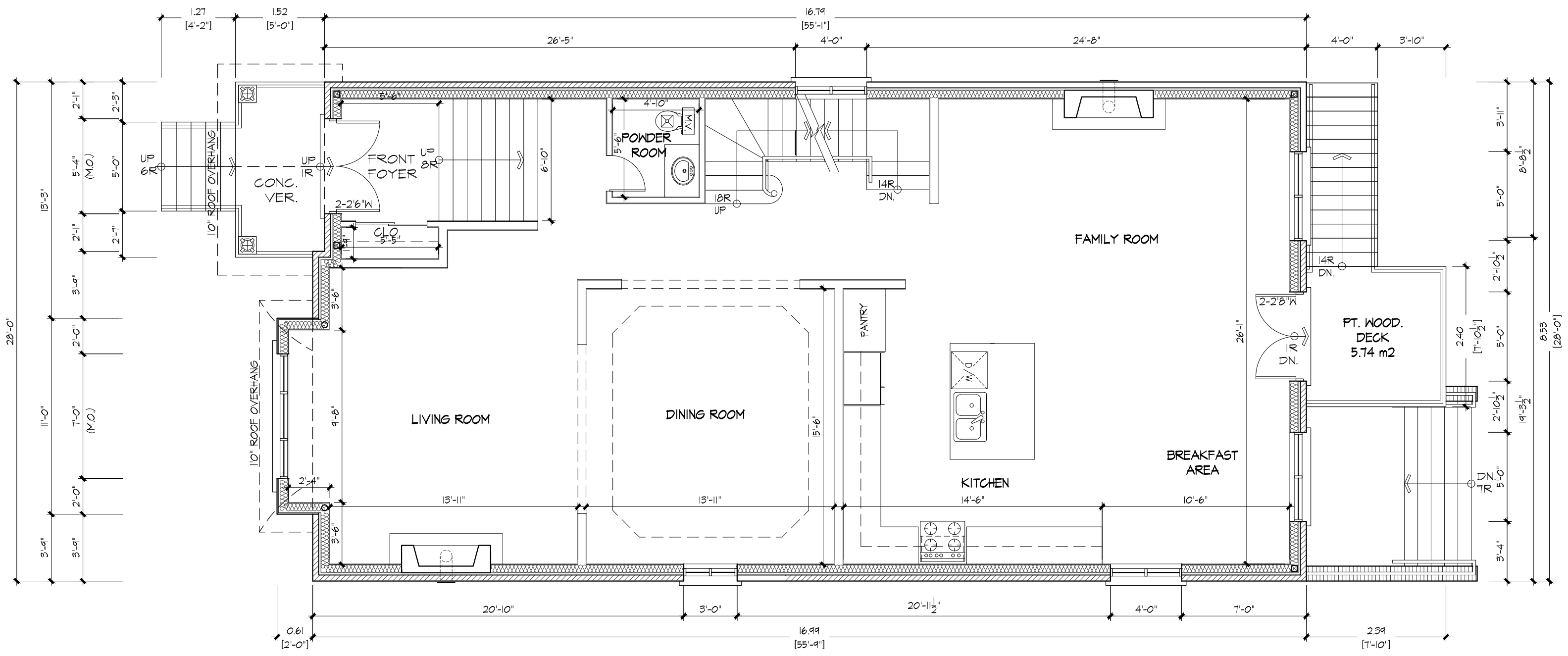
QUALIFICATION INFORMATION
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

EDDIE PERES 31246
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

EKP DESIGNS INC. 38281
 FIRM NAME BCIN

PROJECT PROPOSED 2 STOREY DETACHED DWELLING 51 ELDER AVENUE CITY OF TORONTO		
DRAWING NAME BASEMENT FLOOR PLAN		
DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-81	DATE DECEMBER 2016	SCALE AS SHOWN
FILE: 2016		DRAWING NO. A2



1 FIRST FLOOR PLAN
 A3 SCALE : 3/16" = 1'-0"
 FIRST FLOOR AREA = 1583.67 FT²

EKP DESIGNS INC.
 53 NORMAN AVENUE
 TORONTO, ONTARIO
 M6E-1G9
 TEL. No. 416-658-6737
 CELL No. 416-723-6983
 EMAIL: ekpdesigns@outlook.com

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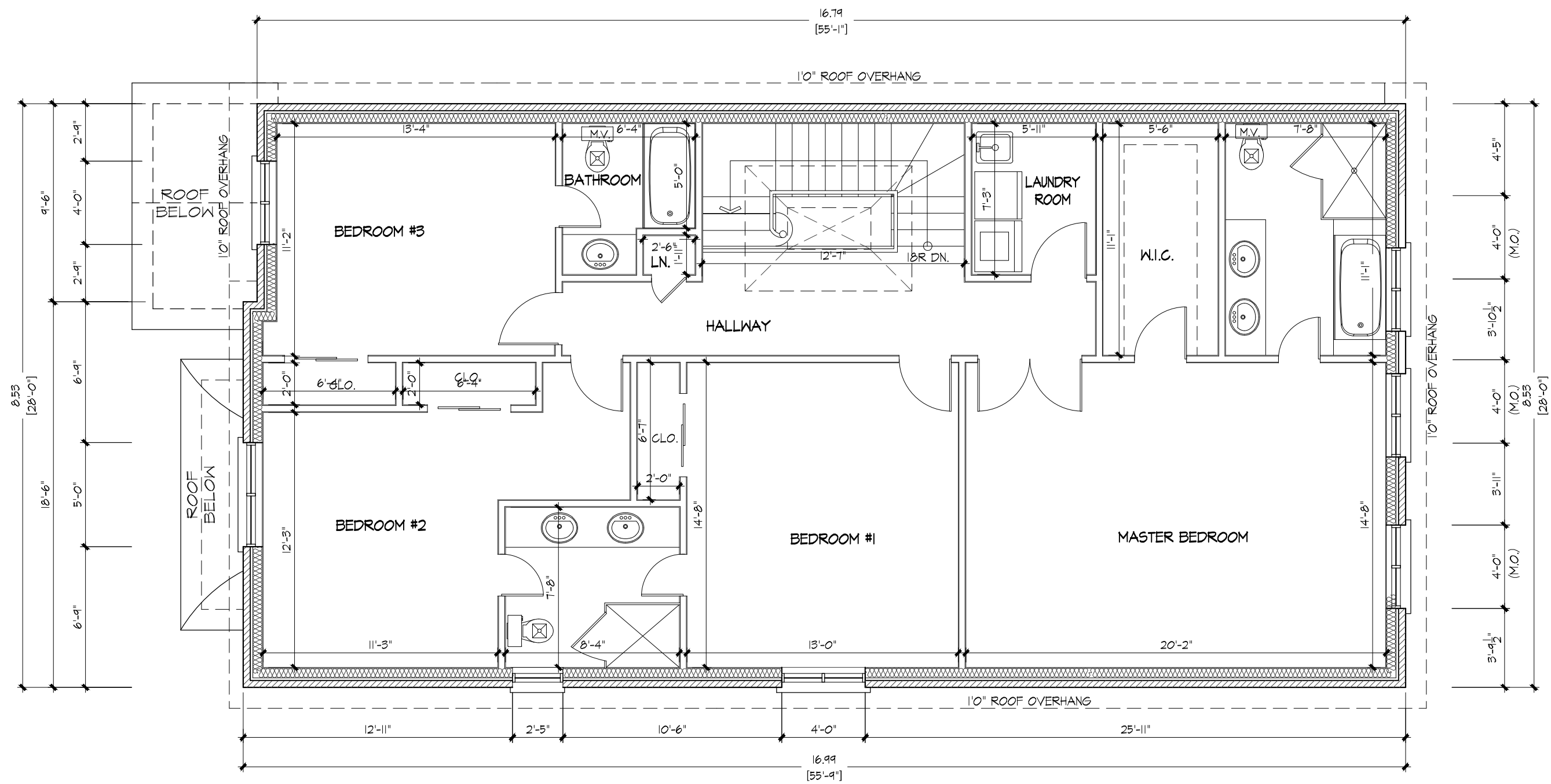
QUALIFICATION INFORMATION
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Eddie Peres 31246
 NAME SIGNATURE ECIN

REGISTRATION INFORMATION
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EKP DESIGNS INC. 38281
 FIRM NAME ECIN

PROJECT PROPOSED 2 STOREY DETACHED DWELLING 51 ELDER AVENUE CITY OF TORONTO		
DRAWING NAME FIRST FLOOR PLAN		
DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-81	DATE DECEMBER 2016	SCALE AS SHOWN
FILE: 2016	DRAWING NO. A3	



1
A 4 SECOND FLOOR PLAN
SCALE : 3/16" = 1'-0"
SECOND FLOOR AREA = 1554.67 FT²

EKP DESIGNS INC.
53 NORMAN AVENUE
TORONTO, ONTARIO
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QUALIFICATION INFORMATION
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EDDIE PERES 31246
NAME SIGNATURE ECIN

REGISTRATION INFORMATION
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EKP DESIGNS INC. 38281
FIRM NAME ECIN

PROJECT PROPOSED 2 STOREY DETACHED DWELLING 51 ELDER AVENUE CITY OF TORONTO		
DRAWING NAME SECOND FLOOR PLAN		
DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-81	DATE DECEMBER 2016	SCALE AS SHOWN
FILE: 2016	DRAWING NO. A 4	



- #210 ASPHALT SHINGLES
- VALLEY FLASHING (TYPICAL)
- PRE-FINISH ALUM. GUTTER, R.W.L., FASCIA BOARD & VENTED SOFFIT (TYPICAL)
- PRECAST CONC. WINDOW SURROUND C/W KEY W/ 1/2" PROJ. (TYPICAL)
- PRECAST CONCRETE WINDOW SILL (TYP.)
- PRE-PAINTED GALV. METAL FLASHING (TYP.)
- COPPER ROOFING AS PER MANUF'R
- STONE VENEER FIN. (TYPICAL)
- STUCCO WALL FIN. (TYPICAL)
- PRECAST CONC. SOLDIER CRS. C/W KEY W/ 1/2" PROJ. (TYPICAL)
- CEMENT RENDERING (TYPICAL)
- 10" CONCRETE BLOCK FOUNDATION WALL ON 8" X 1'-8" WIDE POURED CONCRETE FOOTING ON UNDISTURBED SOIL

1 NORTH (FRONT) ELEVATION
 A5 SCALE : 3/16" = 1'-0"

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 TORONTO, ONTARIO
 M6E-1G9
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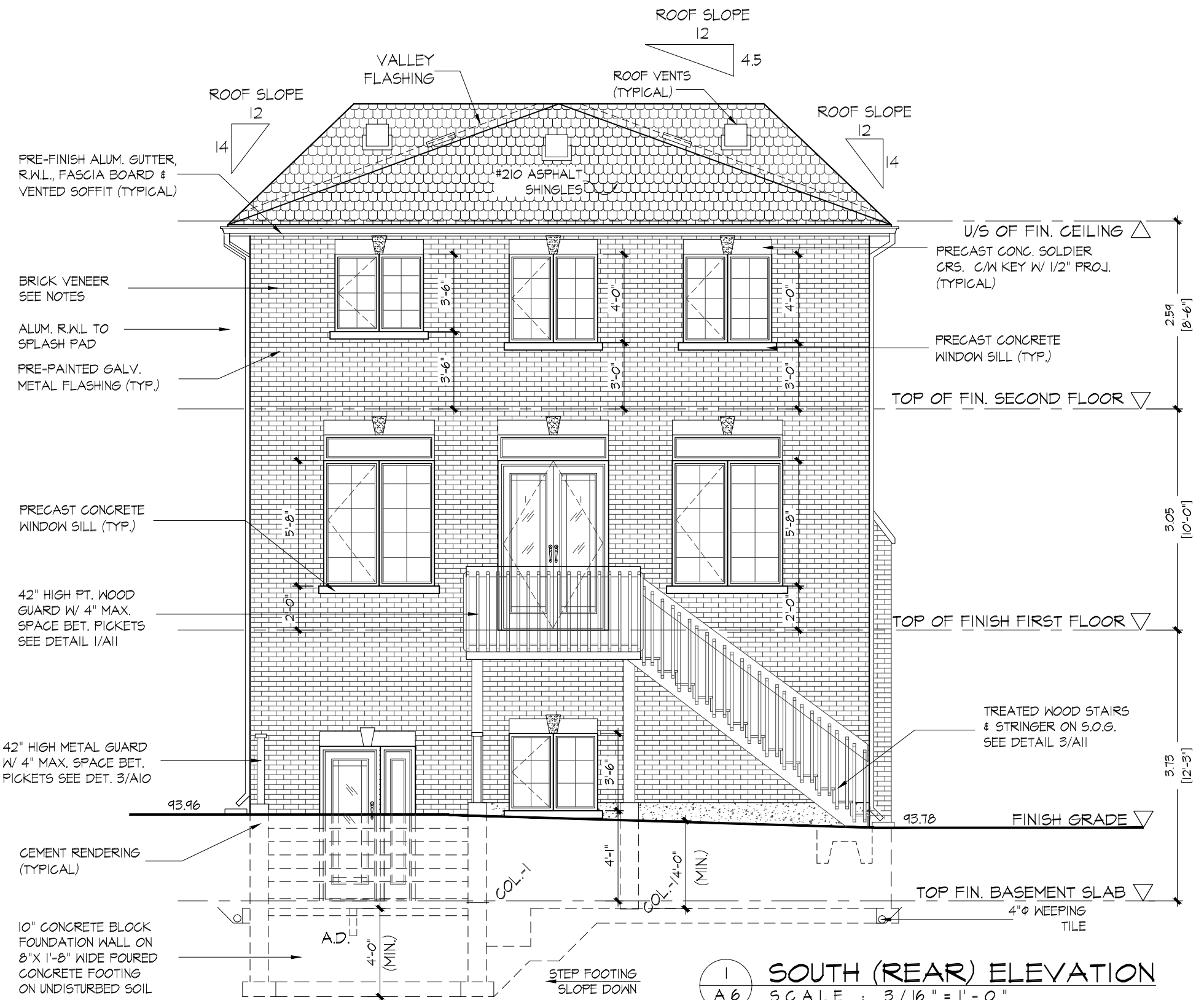
QUALIFICATION INFORMATION
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EDDIE PERES 31246
 NAME SIGNATURE ECIN

REGISTRATION INFORMATION
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EKP DESIGNS INC. 38281
 FIRM NAME ECIN

PROJECT PROPOSED 2 STOREY DETACHED DWELLING 51 ELDER AVENUE CITY OF TORONTO		
DRAWING NAME FRONT ELEVATION		
DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-81	DATE DECEMBER 2016	SCALE AS SHOWN
FILE: 2016	DRAWING NO. A5	



1 SOUTH (REAR) ELEVATION
 SCALE : 3/16" = 1'-0"

EKP DESIGNS INC.
 53 NORMAN AVENUE
 TORONTO, ONTARIO
 M6E-1G9
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No.	REVISIONS	DATE
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EDDIE PERES 31246
 NAME SIGNATURE ECIN

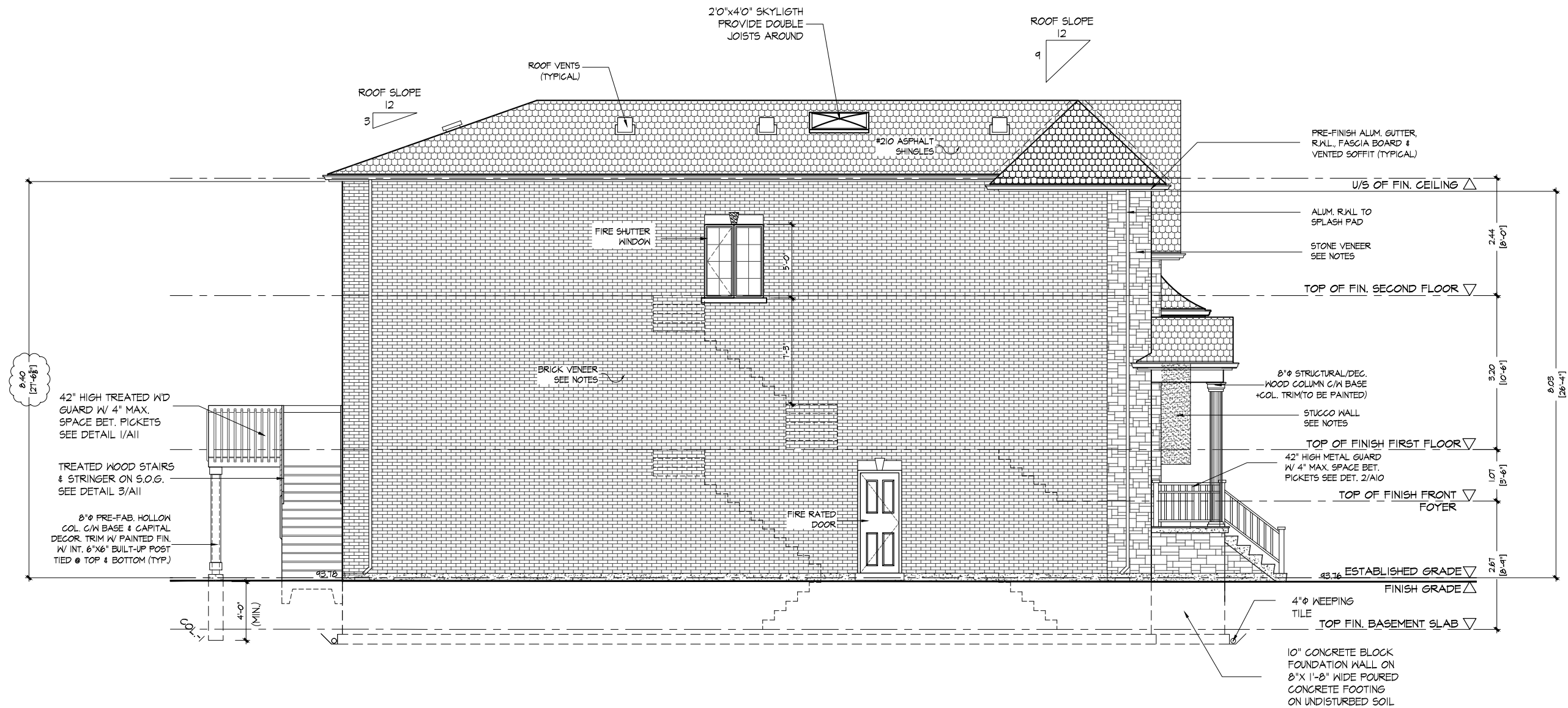
REGISTRATION INFORMATION
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EKP DESIGNS INC. 38281
 FIRM NAME ECIN

PROJECT
 PROPOSED 2 STOREY DETACHED DWELLING
 51 ELDER AVENUE
 CITY OF TORONTO

DRAWING NAME
 SOUTH (REAR) ELEVATION

DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-81	DATE DECEMBER 2016	SCALE AS SHOWN
FILE: 2016		DRAWING NO. A6



1 EAST (SIDE) ELEVATION
 A7 SCALE : 1/8" = 1'-0"

EKP DESIGNS INC.

53 NORMAN AVENUE
 TORONTO, ONTARIO
 M6E-1G9
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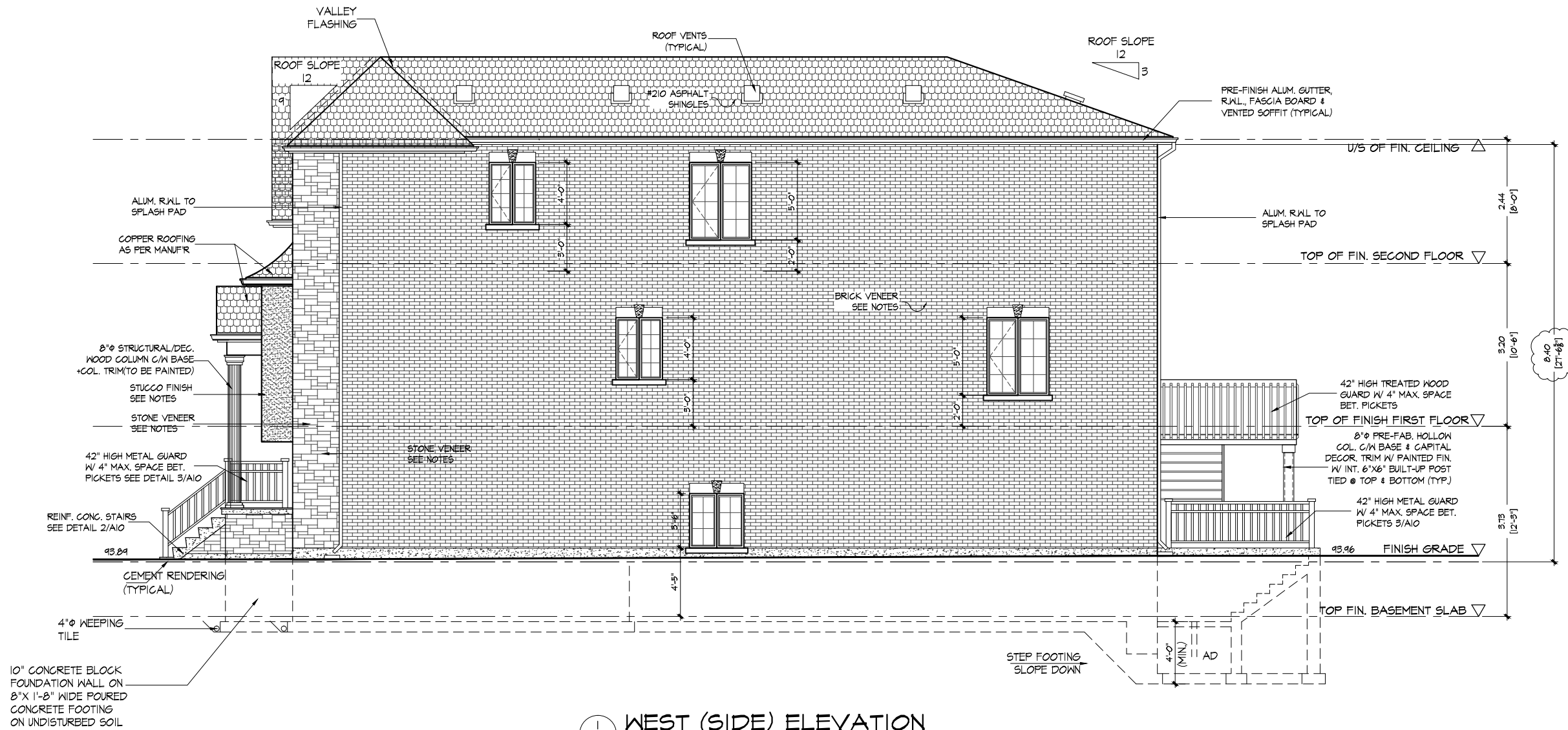
QUALIFICATION INFORMATION
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EDDIE PERES 31246
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

EKP DESIGNS INC. 38281
 FIRM NAME BCIN

PROJECT PROPOSED 2 STOREY DETACHED DWELLING 51 ELDER AVENUE CITY OF TORONTO		
DRAWING NAME EAST (SIDE) ELEVATION		
DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-81	DATE DECEMBER 2016	SCALE AS SHOWN
FILE: 2016	DRAWING NO. A7	



1 WEST (SIDE) ELEVATION
 A/B SCALE : 1/8" = 1'-0"

EKP DESIGNS INC.

53 NORMAN AVENUE
 TORONTO , ONTARIO
 M6E-1G9
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No.	REVISIONS	DATE
1		24/05/2017

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

EDDIE PERES 31296
 NAME SIGNATURE ECIN

REGISTRATION INFORMATION
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

EKP DESIGNS INC. 38281
 FIRM NAME ECIN

PROJECT
 PROPOSED 2 STOREY DETACHED DWELLING
 51 ELDER AVENUE
 CITY OF TORONTO

DRAWING NAME
 WEST (SIDE) ELEVATION

DESIGNED BY	DRAWN BY	APPROVED BY
EKP	R.LUU	EKP
PROJECT No. 2016-81	DATE DECEMBER 2016	SCALE AS SHOWN
FILE: 2016		DRAWING NO. A8

Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0341/17EYK	Zoning	RD & R2
Owner(s):	NANCY BOWEN	Ward:	Etobicoke-Lakeshore (05)
Agent:	STRATA DESIGN & DEVELOP INC	Heritage:	Not Applicable
Property Address:	58 WENDOVERRD	Community:	

Legal Description: PLAN 1685 LOT 204

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(35)(A), By-law 569-2013 & Section (1)(a), By-law 1993-108**
The maximum permitted gross floor area, including an attached or detached garage, is 150 m² plus 25% of the lot area (295.2 m²), upto a maximum floor space index of 0.5 (290.3 m²).
The altered dwelling, including the detached garage, will have a gross floor area of 150 m² plus 26% of the lot area (302 m²), with a floor space index of 0.52 (302 m²).
- Section 320-43(D)**
The maximum permitted wall height of a ancillary structure is 2.5 m.
The proposed detached garage will have a wall height of 2.92 m.
- Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping (130 m²).
A total of 22% of the rear yard will be maintained as soft landscaping (57.8 m²).
- Section 10.5.60.40.(2)(B), By-law 569-2013**
The maximum permitted height of an ancillary building or structure is 4 m.
The proposed detached garage will have a height of 4.37 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0341/17EYK	Zoning	RD & R2
Owner:	NANCY BOWEN	Ward:	Etobicoke-Lakeshore (05)
Agent:	STRATA DESIGN & DEVELOP INC	Heritage:	Not Applicable
Property Address:	58 WENDOVER RD	Community:	
Legal Description:	PLAN 1685 LOT 204		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0342/17EYK	Zoning	RD & R2
Owner(s):	ADRIAN ZWEGERS	Ward:	Etobicoke Centre (04)
Agent:	DAVID SMALL DESIGNS	Heritage:	Not Applicable
Property Address:	26 OAK HAMPTONBLVD	Community:	

Legal Description: PLAN 3297 PT LOTS 7 AND 8

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (146.1 m²).
The new dwelling will cover 33.7% of the lot area (148.13 m²).
- 2. Section 900.3.10.(38)(A), By-law 569-2013**
The maximum permitted gross floor area, including an attached or detached garage, shall be 125 m² plus 25% of the lot area (235.69 m²) up to a maximum floor space index of 0.5 (221.4 m²).
The new dwelling, including the attached garage, will have a gross floor area of 125 m² plus 56% of the lot area (374.9 m²) with a floor space index of 0.85 (374.9 m²).
- 3. Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9 m, providing the aggregate is not less than 2.1 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 320-42.1.C.(1)
The new dwelling will be located 0.62 m from the east side lot line and will have a total aggregate side yard width of 1.86 m.
- 4. Section 320-42.1.D.(1)**
The maximum permitted dwelling depth is 16.5 m.
The new dwelling will have a depth of 16.69 m.

5. **Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The new dwelling will have a first floor height of 1.44 m above established grade.
6. **Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 6.79 m.
7. **Section 10.5.40.60.(7)(B), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 320-41.D
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D
The eaves/roof projection of the new dwelling will be located 0.2 m from the east side lot line.
8. **Section 320-41.C.**
The minimum required distance for windows on the first storey to the side lot line is 1.2 m.
The windows of the new dwelling on the first storey will be located 0.65 m from the east side lot line.
9. **Section 200.5.1.10.(2)(A)(iv), By-law 569-2013 and Section 320-18.A.(1)**
The minimum required width of a parking space for a garage is 3.2 m.
The proposed parking space, within the proposed attached garage, will have a width of 2.72 m.
10. **Section 320-43.N.(3)**
The minimum required side yard setback for an air conditioning unit is 1.5 m.
The proposed air conditioning unit will be located 0.7 m from the west side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The site plan must be revised to illustrate the proposed new driveway and curb cut within the abutting Oak Hampton Boulevard municipal boulevard, the removal of the redundant portions of the existing driveway and restoration of the redundant curb cut with raised concrete curb in accordance to City of Toronto Design Standard No. T-310.050-1 and T-310.010-4.
 - 3.2 The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 3.3 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;
 - 3.4 The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits for work within the public road allowance from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0342/17EYK	Zoning	RD & R2
Owner:	ADRIAN ZWEGERS	Ward:	Etobicoke Centre (04)
Agent:	DAVID SMALL DESIGNS	Heritage:	Not Applicable
Property Address:	26 OAK HAMPTON BLVD	Community:	
Legal Description:	PLAN 3297 PT LOTS 7 AND 8		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0343/17EYK	Zoning	RD & R2
Owner(s):	SAMANTHA HOWELL CHRISTOPHER GOODERHAM	Ward:	Etobicoke-Lakeshore (05)
Agent:	PAUL DA CUNHA	Heritage:	Not Applicable
Property Address:	5 BURFORDRD	Community:	

Legal Description: PLAN 4320 LOT 55

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey south side addition and a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**Section 10.20.40.40.(1)(A), By-law 569-2013**The maximum permitted floor space index is 0.45 times the lot area (240.37 m²).The altered dwelling will have a floor space index of 0.55 times the lot area (294.97 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0343/17EYK	Zoning	RD & R2
Owner:	SAMANTHA HOWELL CHRISTOPHER GOODERHAM	Ward:	Etobicoke-Lakeshore (05)
Agent:	PAUL DA CUNHA	Heritage:	Not Applicable
Property Address:	5 BURFORD RD	Community:	
Legal Description:	PLAN 4320 LOT 55		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0344/17EYK	Zoning	RD & R2
Owner(s):	BETHANY RUTH ANAS MATTHEW JAMES SAMUEL ANAS	Ward:	Etobicoke-Lakeshore (06)
Agent:	VANESSA FONG ARCHITECTS	Heritage:	Not Applicable
Property Address:	17 THAMESAVE	Community:	

Legal Description: PLAN 3817 LOT 57

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a second storey addition that will cantilever along the front and rear of the dwelling, and a rear yard deck. The existing detached garage in the rear yard will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (208.99 m²).
The altered dwelling will have a floor space index of 0.49 times the area of the lot (225.72 m²).
- Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 320-40.C.(1)**
The minimum required front yard setback is 10.02 m.
The altered dwelling will be located 9.1 m from the front lot line.
- Section 200.5.10.1.(1), By-law 569-2013**
A minimum of 1 on-site parking space is required.
Section 320-18.B.(1)
A minimum of 1 on-site parking space is required. The parking space shall be provided by either an attached garage, carport, detached garage or rear yard parking space.
Section 200.5.10.1.(1), By-law 569-2013 and Section 320-18.B.(1)
No on-site parking spaces will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office and dated as received on April 10, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized
2. The site plan must include the following notations, to the satisfaction of Traffic Planning / Right of Way Management:
 - a. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - b. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0344/17EYK	Zoning	RD & R2
Owner:	BETHANY RUTH ANAS MATTHEW JAMES SAMUEL ANAS	Ward:	Etobicoke-Lakeshore (06)
Agent:	VANESSA FONG ARCHITECTS	Heritage:	Not Applicable
Property Address:	17 THAMES AVE	Community:	
Legal Description:	PLAN 3817 LOT 57		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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VANESSA FONG ARCHITECT

PROJECT : 1608_THAMES RESIDENCE
 ADDRESS: 17 THAMES AVE, ETOBICOKE, ON
 ISSUED FOR: Committee of Adjustments
 DATE ISSUED: 2017-04-04

ARCHITECT: VANESSA FONG ARCHITECT
 11 WATKINSON AVENUE, TORONTO, ON M6P 2E6
 647-402-4890 // VANESSA@VF-A.COM

- DRAWINGS:
- A101 SITE PLAN
 - A102 SITE STATS
 - A103 AREA DIAGRAMS
 - D200 BASEMENT DEMOLITION PLAN
 - D201 GROUND FLOOR DEMO PLAN
 - D202 SECOND FLOOR DEMO PLAN
 - D450 SECTION DEMOLITION
 - A200 BASEMENT FLOOR PLAN
 - A201 GROUND FLOOR PLAN
 - A202 SECOND FLOOR PLAN
 - A203 ROOF PLAN
 - A400 NORTH ELEVATION
 - A401 EAST ELEVATION
 - A402 SOUTH ELEVATION
 - A403 WEST ELEVATION
 - A450 SECTION
 - A451 SECTION

SITE SURVEY BY: AVANTI SURVEYING INC.
 EXISTING DRAWINGS BY: PLANIT MEASURING



VANESSA FONG ARCHITECT

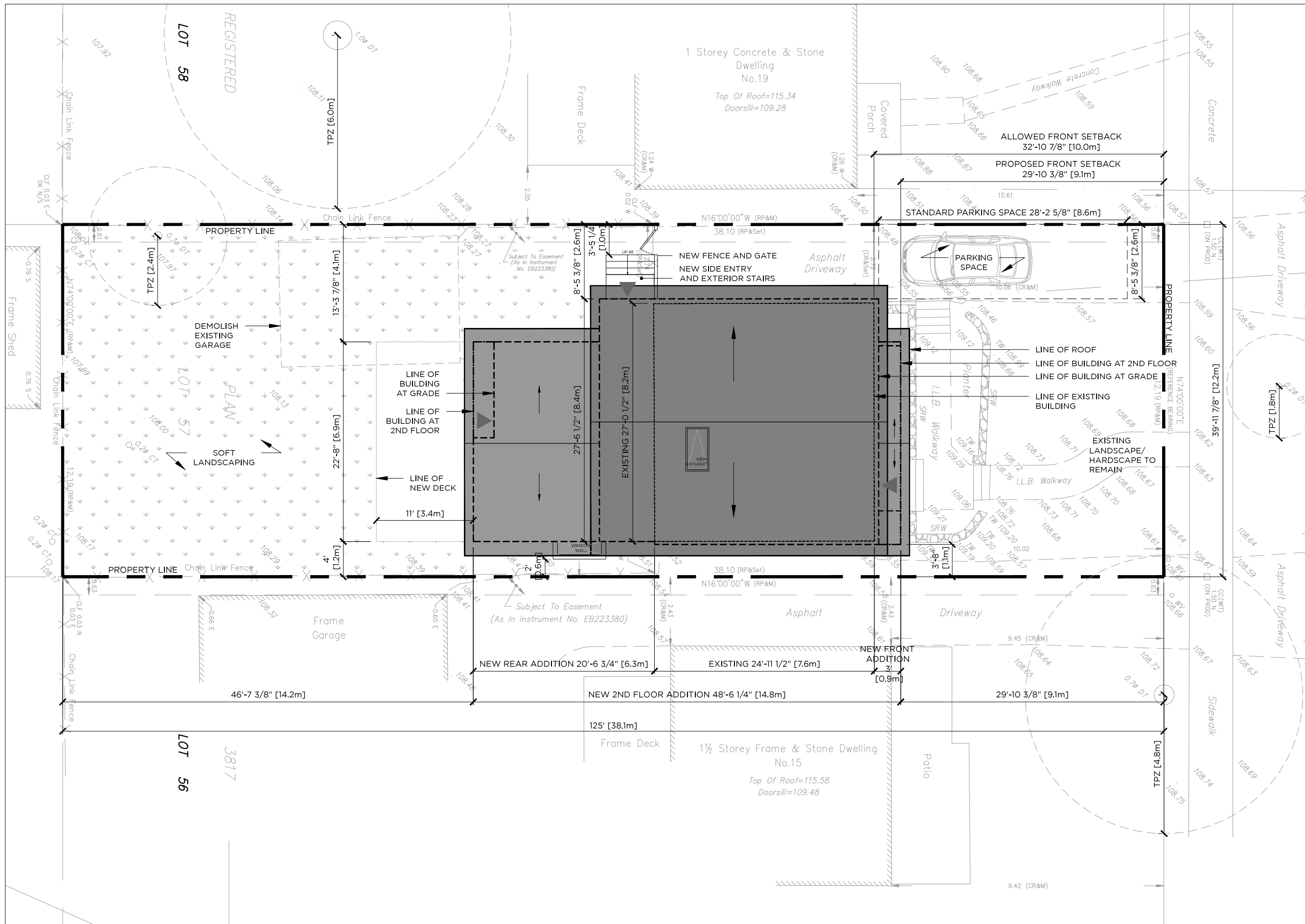
11 WATKINSON AVENUE
TORONTO, ONTARIO M6P 2E6

+1 (647) 402 4890 VF-A.COM

This drawing is the property of the Architect and may not be reproduced or used without the express consent of the Architect. The Contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Architect and obtain clarification prior to commencing work.

ISSUED RECORD

- 2017-02-13 Issued for PPR
- 2017-02-21 Issued for Preliminary Pricing
- 2017-04-04 Issued for CoA



NORTH

1608: Thames Residence

17 THAMES AVENUE
ETOBICOKE, ONTARIO

PROPOSED
SITE PLAN

3/32" = 1'

A101



VANESSA FONG
ARCHITECT

11 WATKINSON AVENUE
TORONTO, ONTARIO M6P 2E6

+1 (647) 402 4890 VF-A.COM

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ISSUED RECORD

- 2017-02-13 Issued for PPR
- 2017-02-21 Issued for Preliminary Pricing
- 2017-04-04 Issued for CoA

RE: 1608 - 17 Thames Ave						
SITE STATISTICS						
Allowable: By-law 569-2013						
ZONING RD (f13.5; a510; d0.45)						
LOT SIZE:	12.19m x 38.10m		125' x 39'-11 7/8"			
LOT AREA:	464.44	sm	4,999.18	sf	464.44	sm
FSI MAX ALLOWABLE:	0.45		2,249.63	sf	209.00	sm
LOT COVERAGE MAX:	33%		1,649.73	sf	153.26	sm
ALLOWABLE BUILDING HEIGHT:		9.5m	31'-2"			
PROPOSED BUILDING HEIGHT:		9.47m	31'-7/8"			
	EXISTING		NEW		TOTAL	
	sm	sf	sm	sf	sm	sf
Basement	62.71	675.00	41.78	449.70	104.49	1,124.70
1st Floor	62.71	675.00	47.31	509.28	109.28	1,176.33
2nd Floor	33.26	358.00	84.14	905.70	116.44	1,253.34
TOTAL (GFA)	95.97	1,033.00	131.46	1,414.98	225.72	2,429.67
FSI	0.49					
LOT COVERAGE:	24%					
PROPOSED REAR YARD AREA:	173.10	sm	1,863.20	sf		

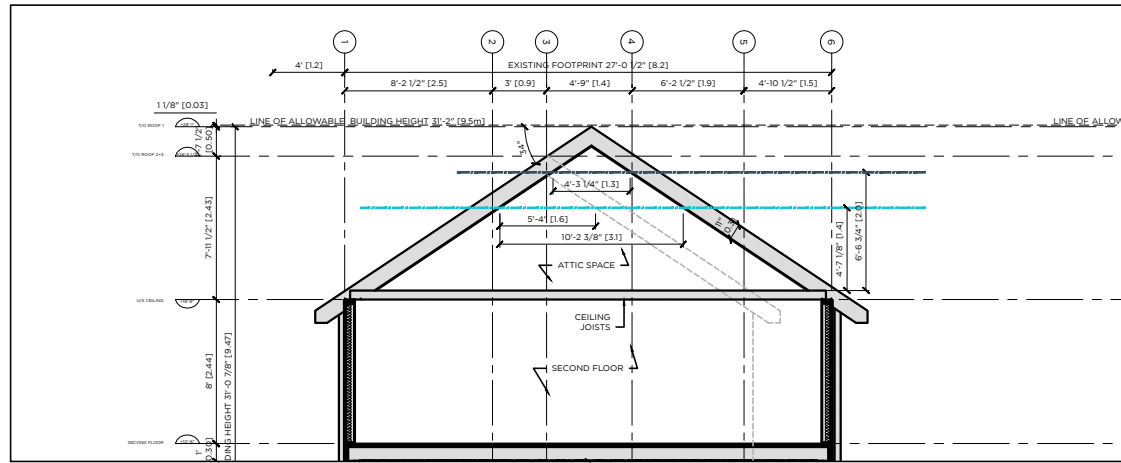
1608: Thames Residence
17 THAMES AVENUE
ETOBICOKE, ONTARIO

SITE STATS

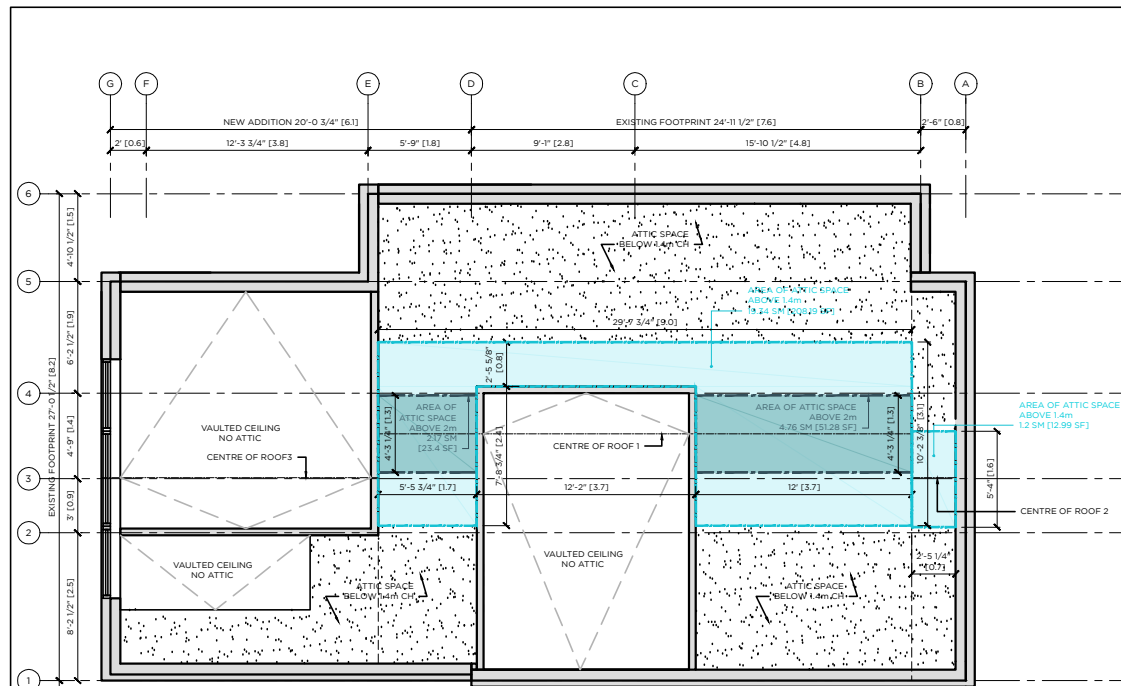
A102

ISSUED RECORD

2017-04-04 Issued for CoA



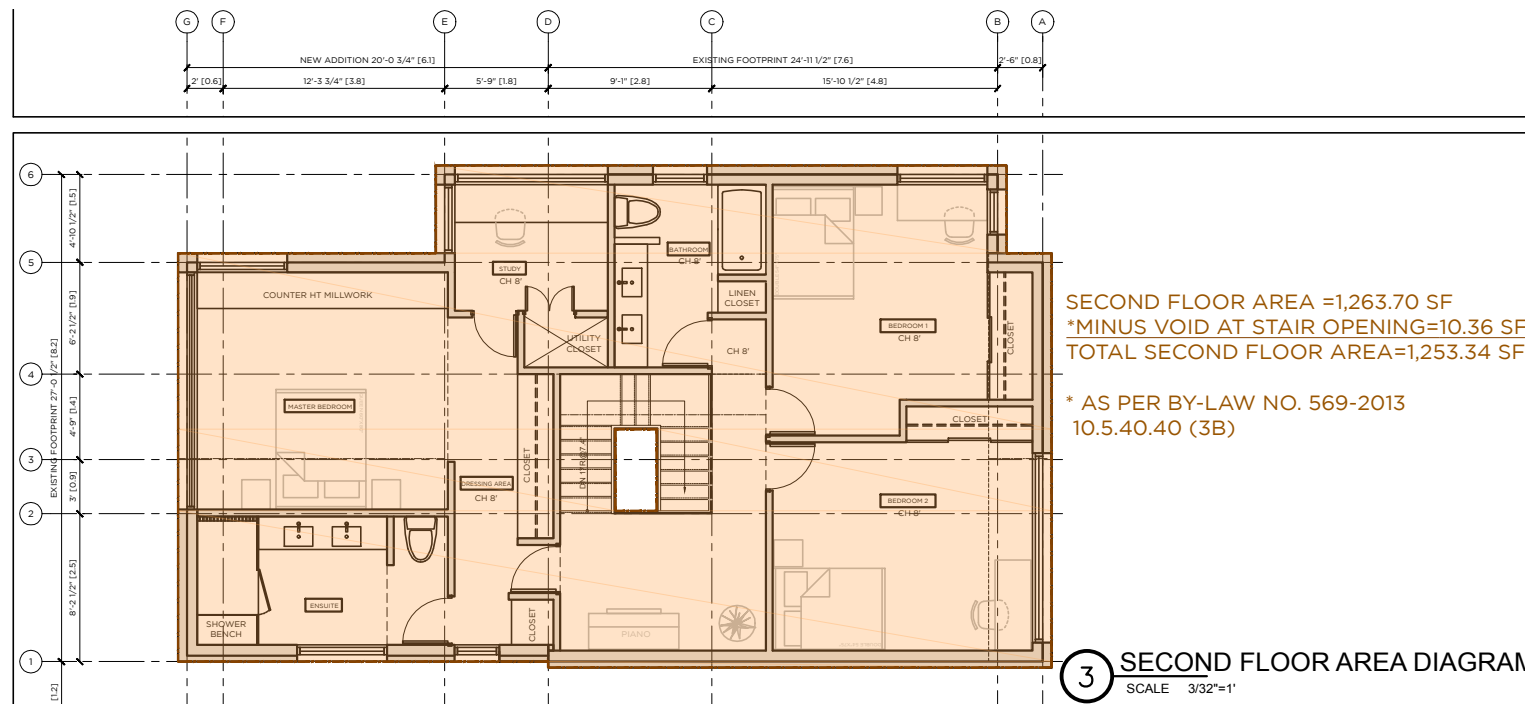
5 ATTIC CLEARANCE DIAGRAM
SCALE 3/32"=1'



ATTIC SPACE WITH CLEARANCE OF MORE THAN 1.4 METERS = 20.55 SM [221.18 SF]
ATTIC SPACE WITH CLEARANCE OF MORE THAN 2.0 METERS = 6.94 SM [74.68 SF]
ATTIC SPACE WITH CLEARANCE MORE THAN 2.0 METERS = 33.76% AND IS LESS THAN 10 SM
*THEREFORE DOES NOT ADD TO GFA.

*AS PER BY-LAW NO. 569-2013 10.5.40.40 (1B)

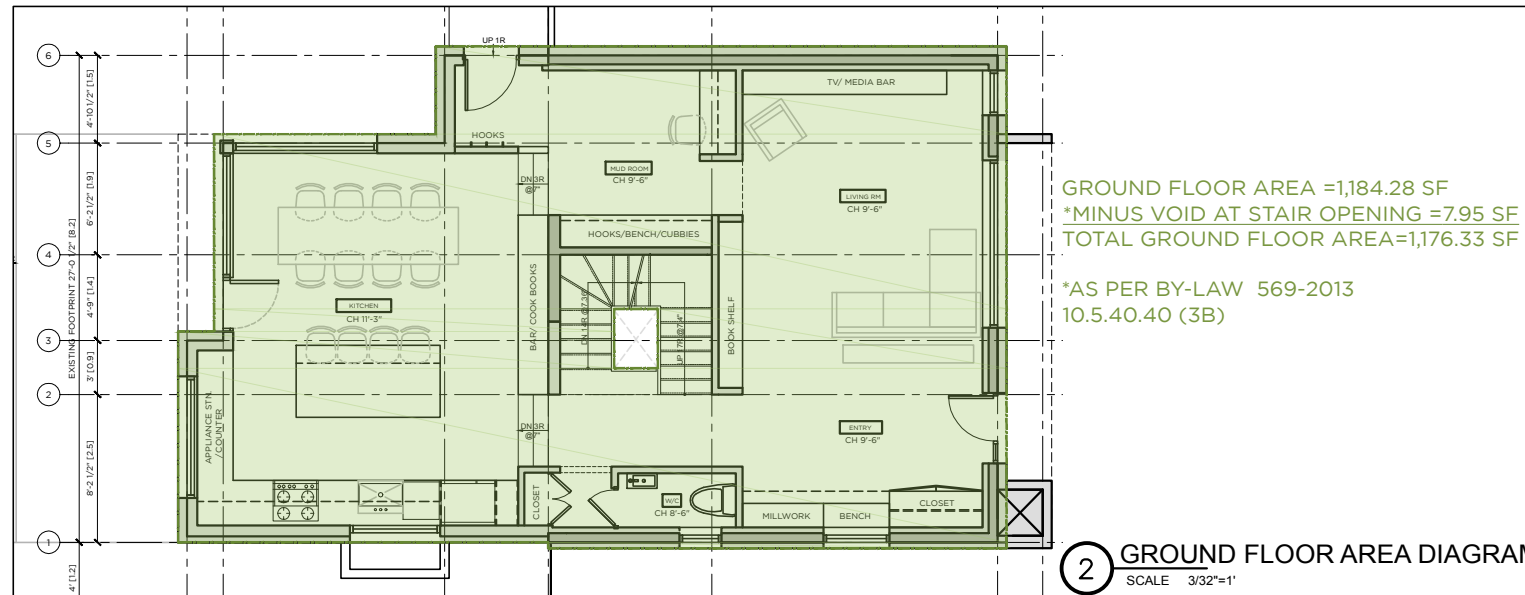
4 ATTIC AREA DIAGRAM
SCALE 3/32"=1'



SECOND FLOOR AREA =1,263.70 SF
*MINUS VOID AT STAIR OPENING=10.36 SF
TOTAL SECOND FLOOR AREA=1,253.34 SF

* AS PER BY-LAW NO. 569-2013
10.5.40.40 (3B)

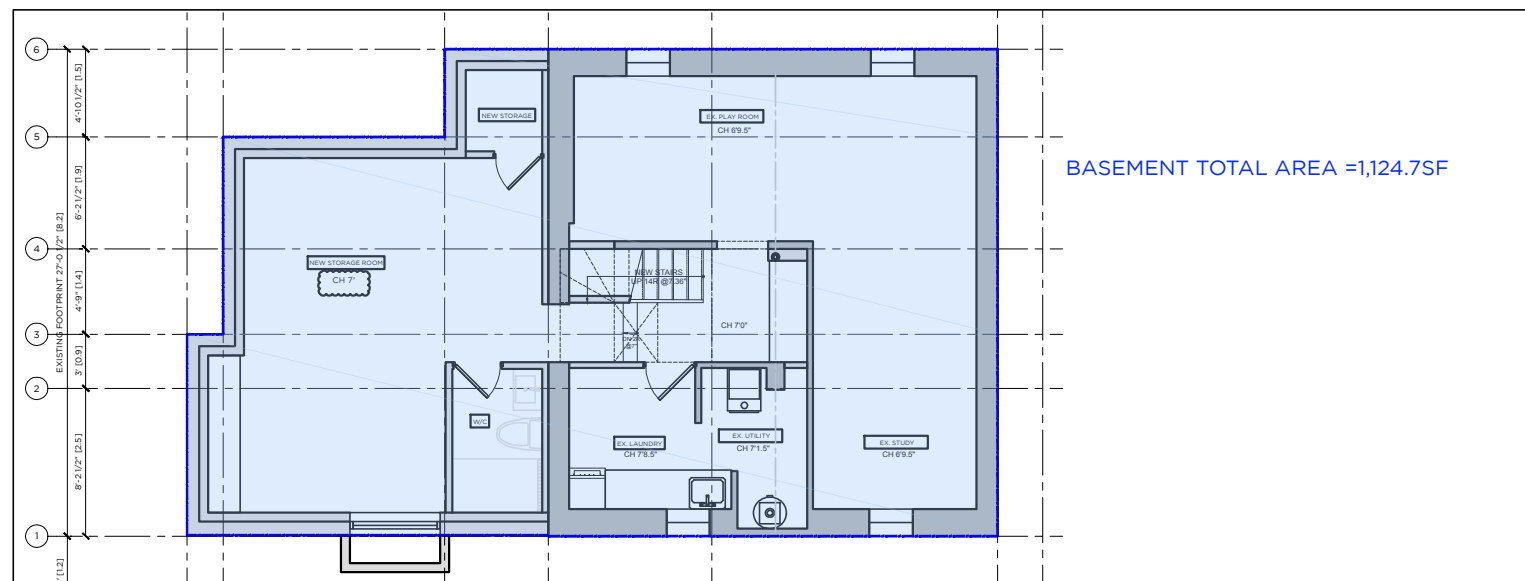
3 SECOND FLOOR AREA DIAGRAM
SCALE 3/32"=1'



GROUND FLOOR AREA =1,184.28 SF
*MINUS VOID AT STAIR OPENING =7.95 SF
TOTAL GROUND FLOOR AREA=1,176.33 SF

*AS PER BY-LAW 569-2013
10.5.40.40 (3B)

2 GROUND FLOOR AREA DIAGRAM
SCALE 3/32"=1'



BASEMENT TOTAL AREA =1,124.75F

1 BASEMENT AREA DIAGRAM
SCALE 3/32"=1'



NORTH

1608: Thames Residence
17 THAMES AVENUE
ETOBICOKE, ONTARIO

AREA DIAGRAMS

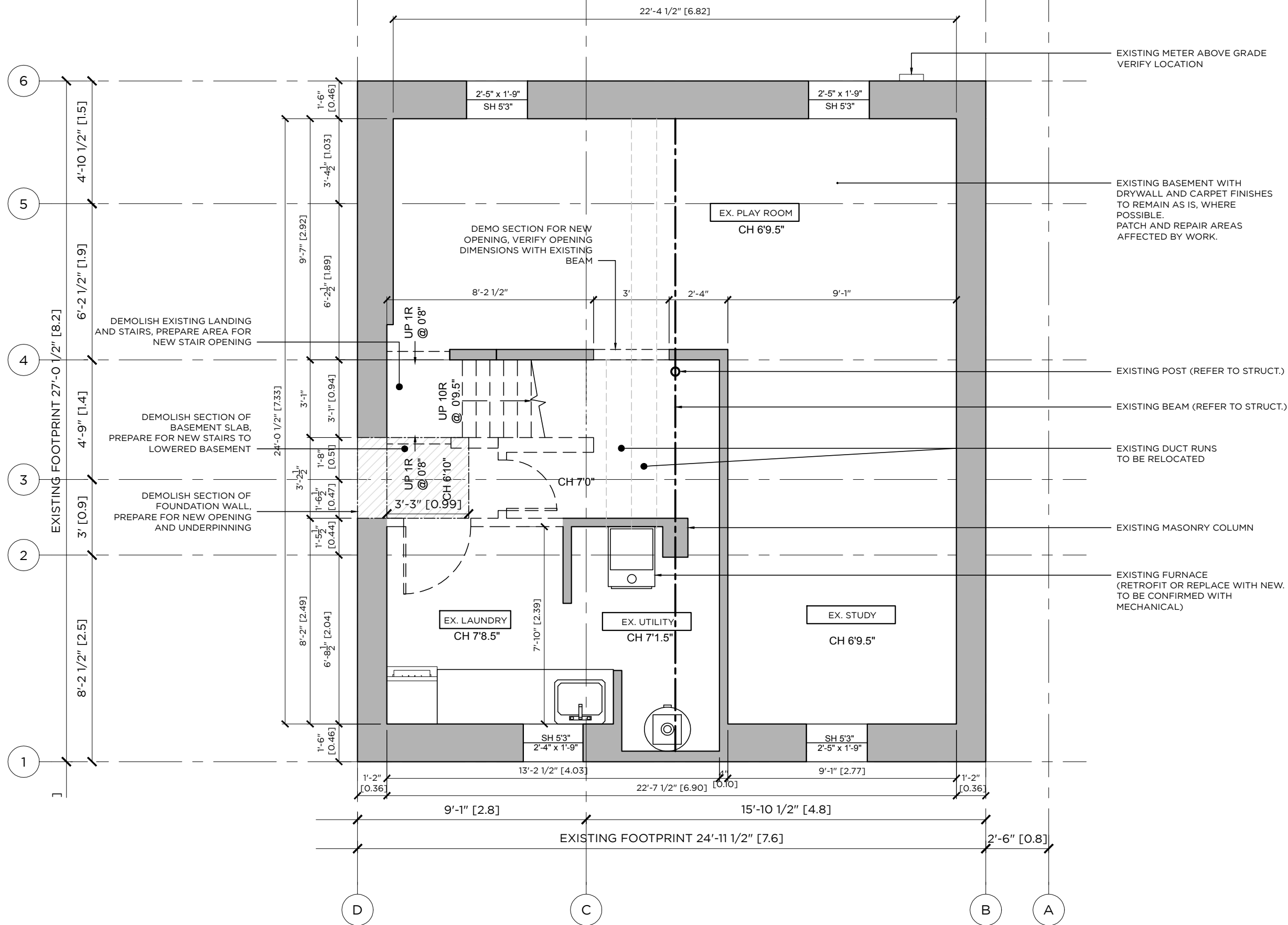
AS NOTED

A103

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ISSUED RECORD

2017-02-13	Issued for PPR
2017-02-21	Issued for Preliminary Pricing
2017-04-04	Issued for CoA



NORTH

1608: Thames Residence

17 THAMES AVENUE
ETOBICOKE, ONTARIO

BASEMENT
DEMO PLAN

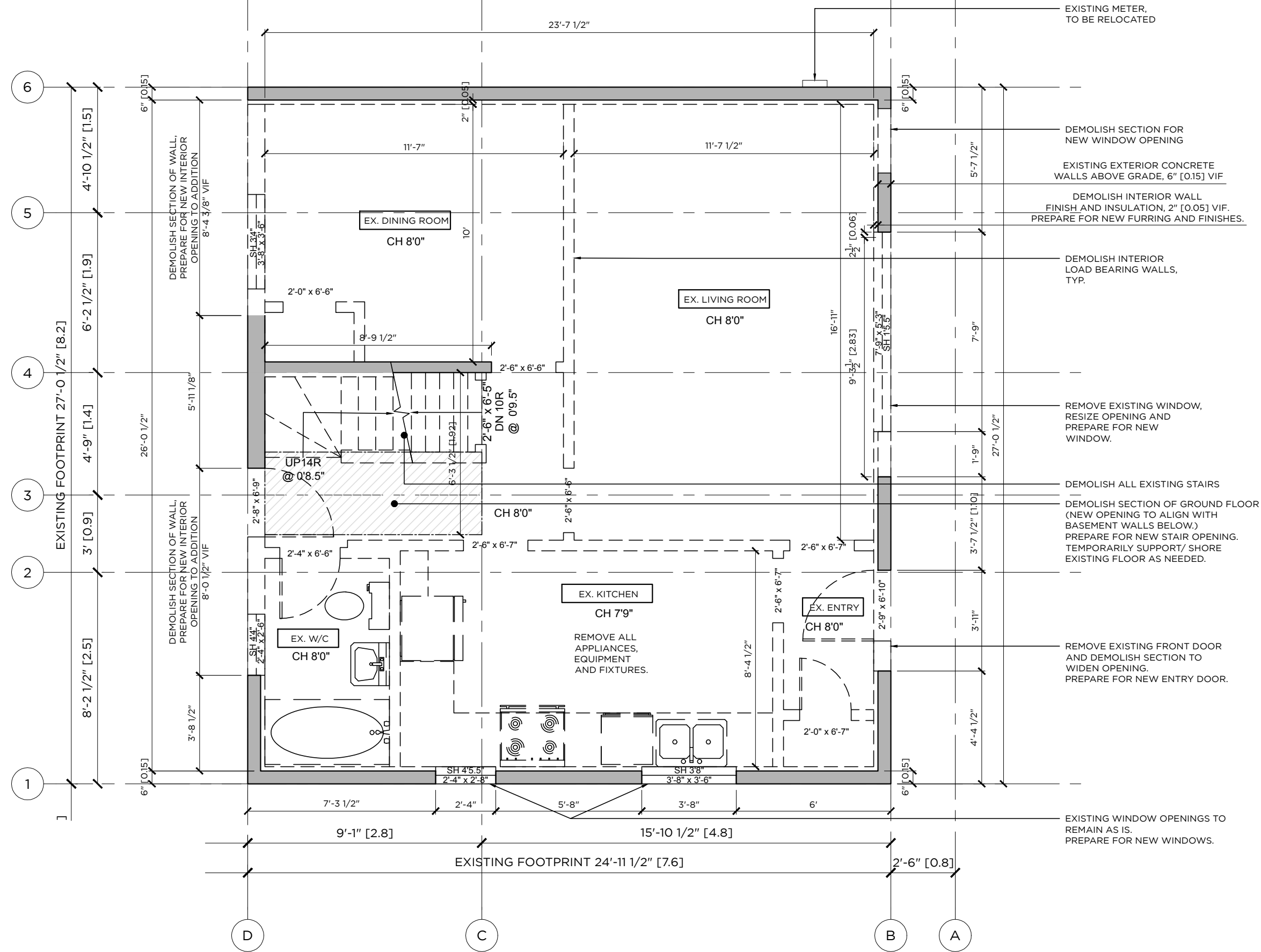
1/4" = 1'

D200

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ISSUED RECORD

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- 2017-02-21 Issued for Preliminary Pricing
- 2017-04-04 Issued for CoA



NORTH

1608: Thames Residence

17 THAMES AVENUE
ETOBICOKE, ONTARIO

GROUND FLOOR
DEMO PLAN

1/4" = 1'

D201



VANESSA FONG ARCHITECT

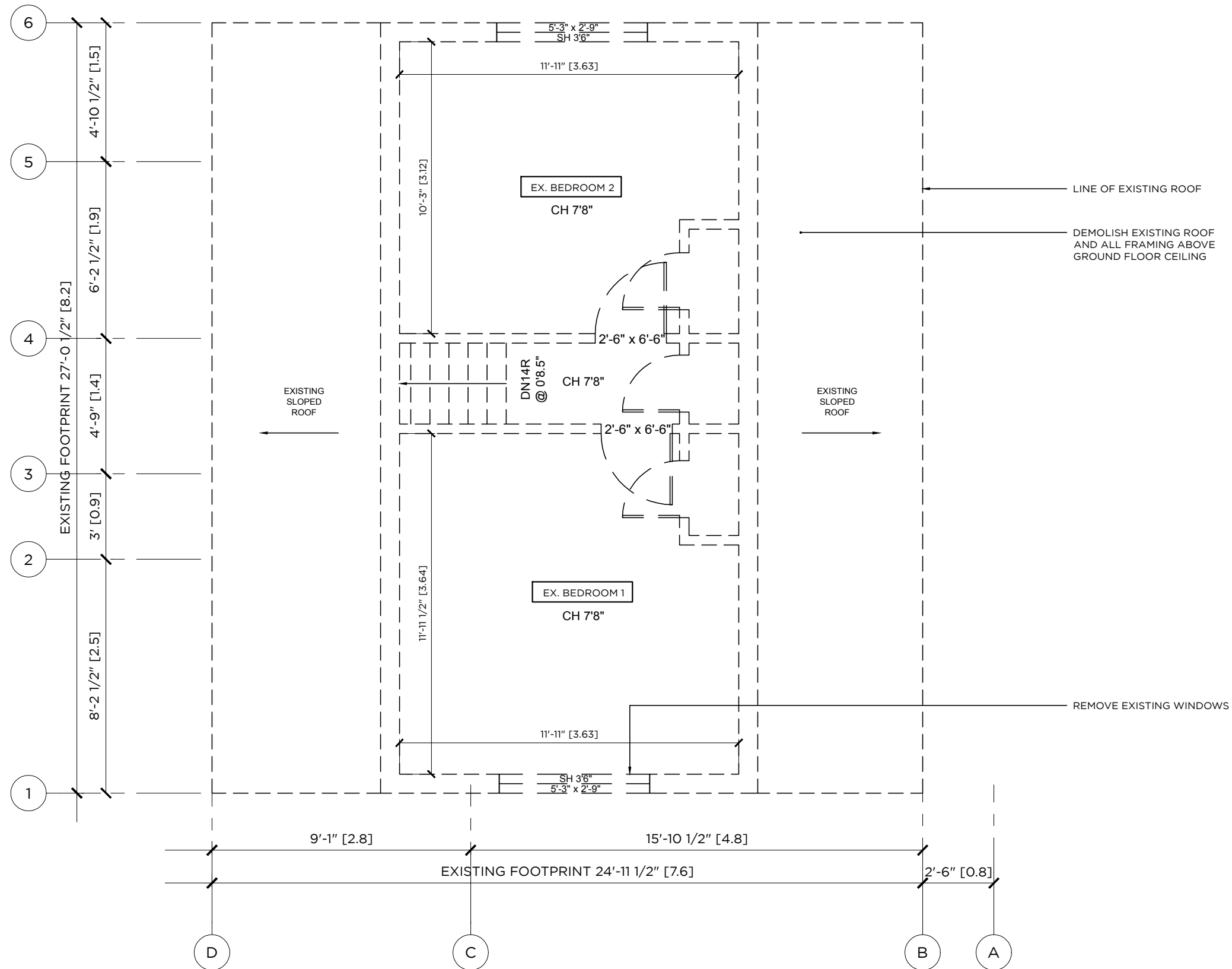
11 WATKINSON AVENUE
TORONTO, ONTARIO M6P 2E6

+1 (647) 402 4890 VF-A.COM

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ISSUED RECORD

- 2017-02-13 Issued for PPR
- 2017-02-21 Issued for Preliminary Pricing
- 2017-04-04 Issued for CoA



NORTH

1608: Thames Residence

Thames Residence

17 THAMES AVENUE
ETOBICOKE, ONTARIO

SECOND FLOOR
DEMO PLAN

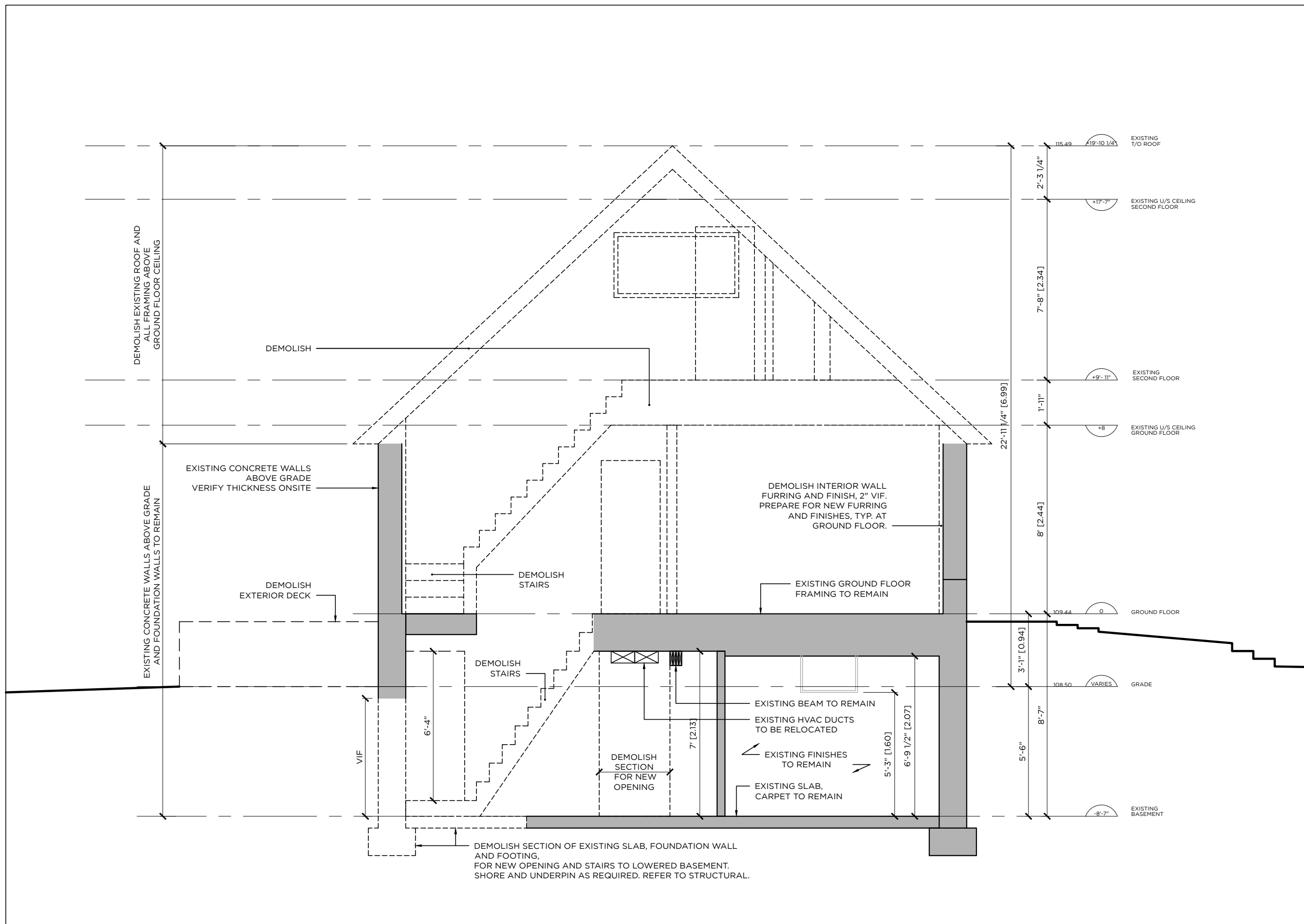
1/4" = 1'

D202

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ISSUED RECORD

- 2017-02-13 Issued for PPR
- 2017-02-21 Issued for Preliminary Pricing
- 2017-04-04 Issued for CoA



1608: Thames Residence
17 THAMES AVENUE
ETOBICOKE, ONTARIO

SECTION
DEMO

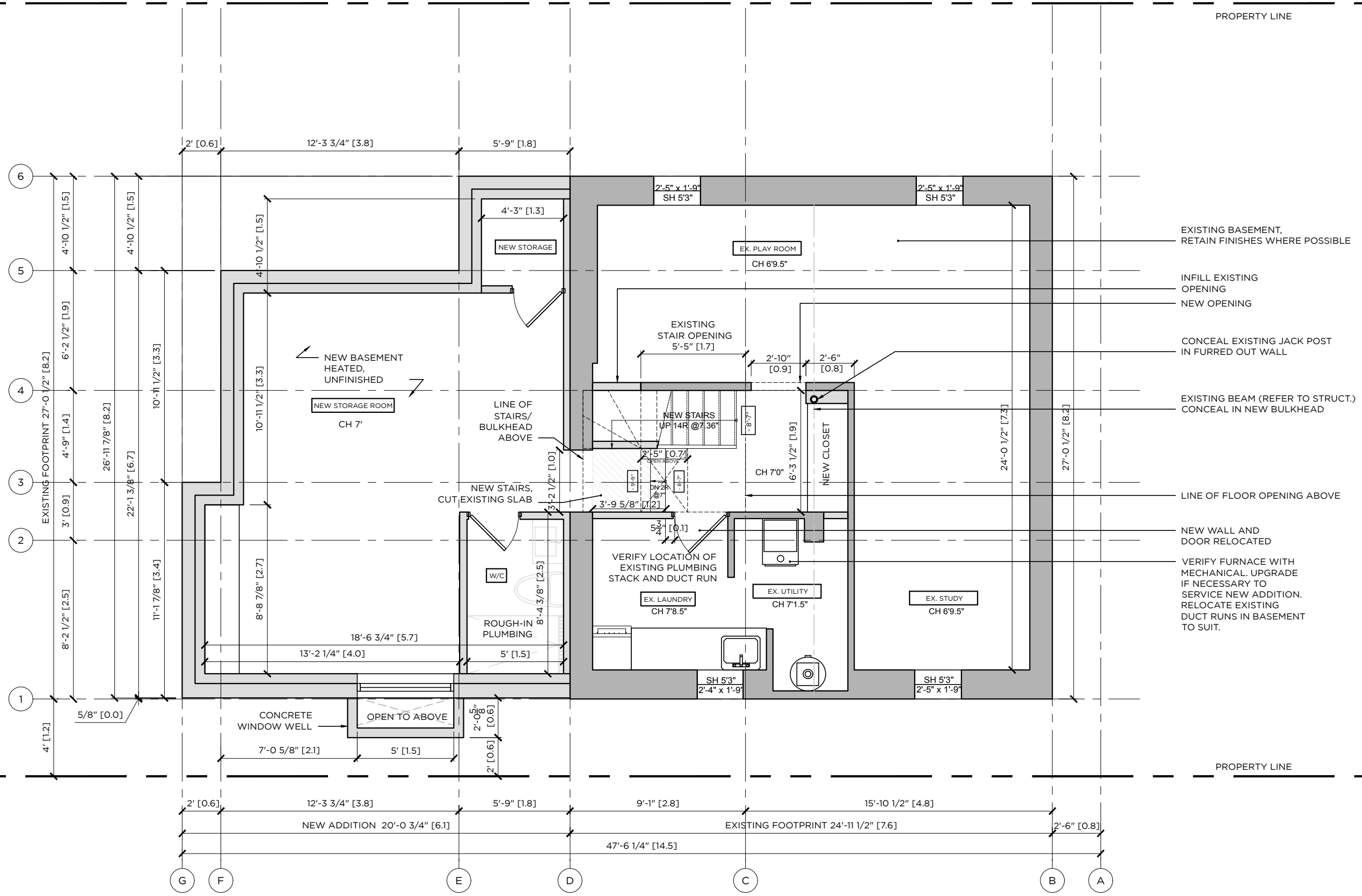
1/4" = 1'

D450

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ISSUED RECORD

2017-02-13	Issued for PPR
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2017-04-04	Issued for CoA



NORTH

1608: Thames Residence

17 THAMES AVENUE
ETOBICOKE, ONTARIO

BASEMENT
PROPOSED PLAN

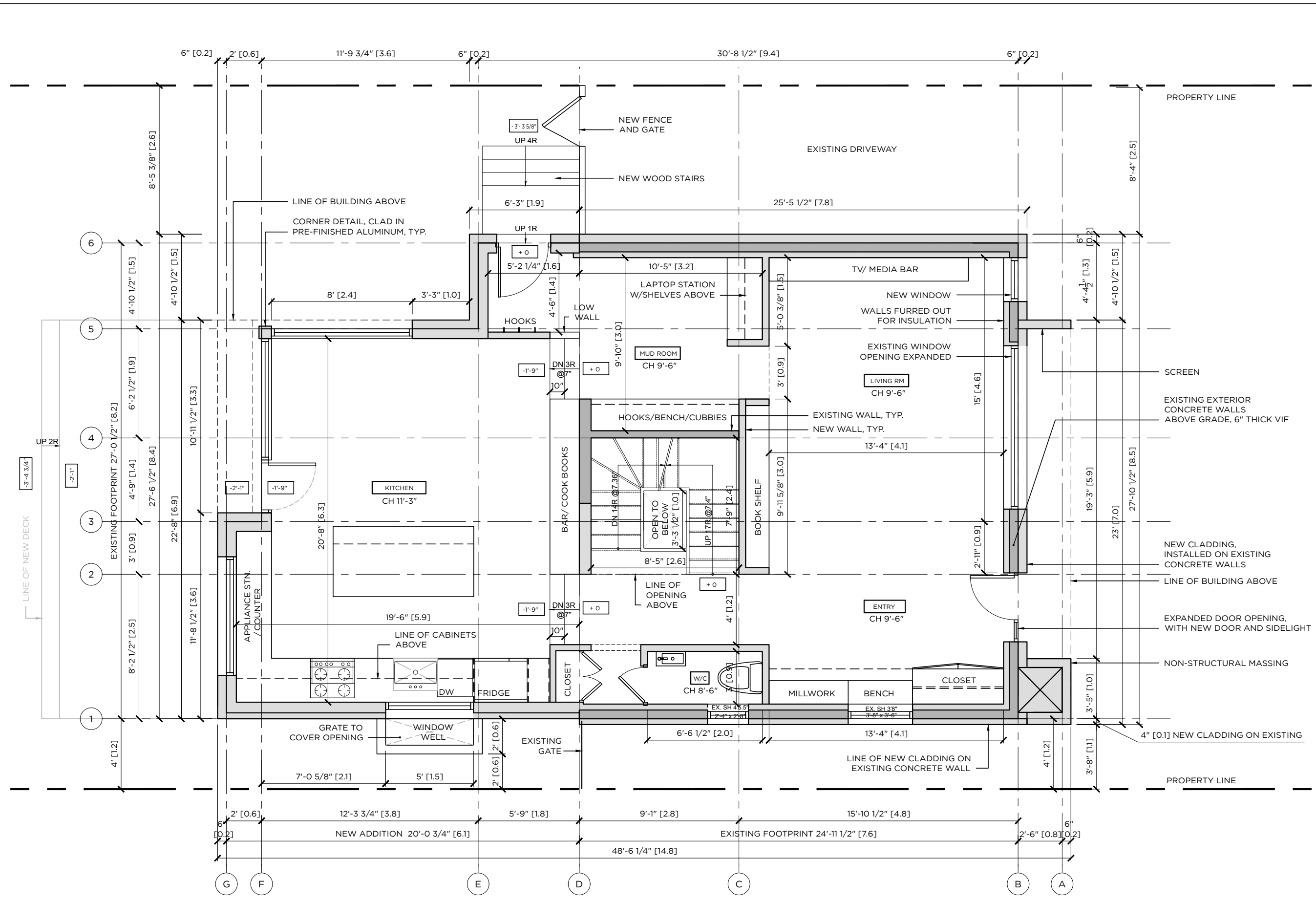
3/16" = 1'

A200

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ISSUED RECORD

2017-02-13	Issued for PPR
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2017-04-04	Issued for CoA



NORTH

1608: Thames Residence

17 THAMES AVENUE
ETOBICOKE, ONTARIO

GROUND FLOOR
PROPOSED PLAN

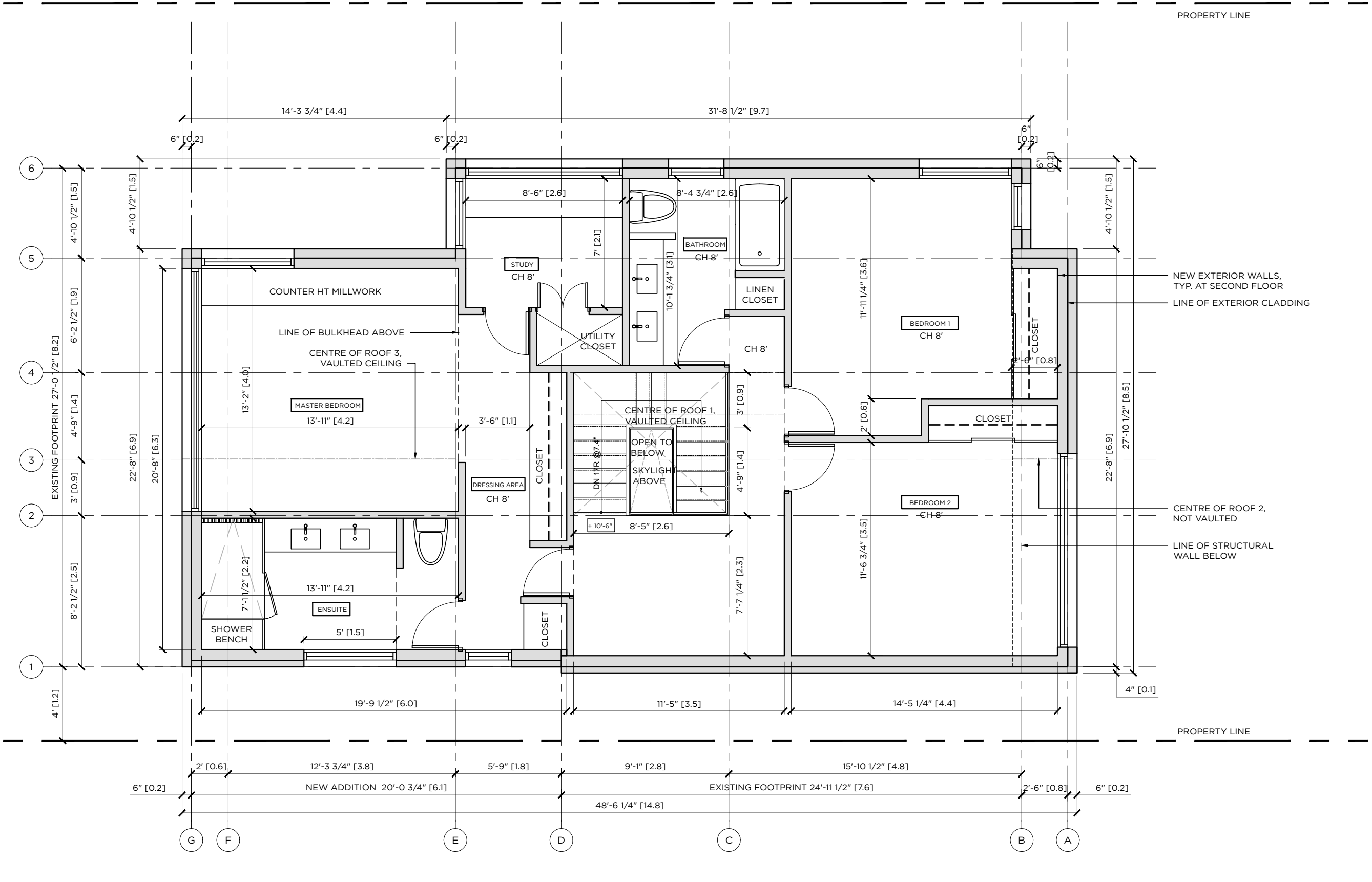
3/16" = 1'

A201

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ISSUED RECORD

- 2017-02-13 Issued for PPR
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- 2017-04-04 Issued for CoA



NEW EXTERIOR WALLS,
TYP. AT SECOND FLOOR

LINE OF EXTERIOR CLADDING

CENTRE OF ROOF 2,
NOT VAULTED

LINE OF STRUCTURAL
WALL BELOW



1608: Thames Residence
17 THAMES AVENUE
ETOBICOKE, ONTARIO

SECOND FLOOR
PROPOSED PLAN

3/16" = 1'

A202



VANESSA FONG ARCHITECT

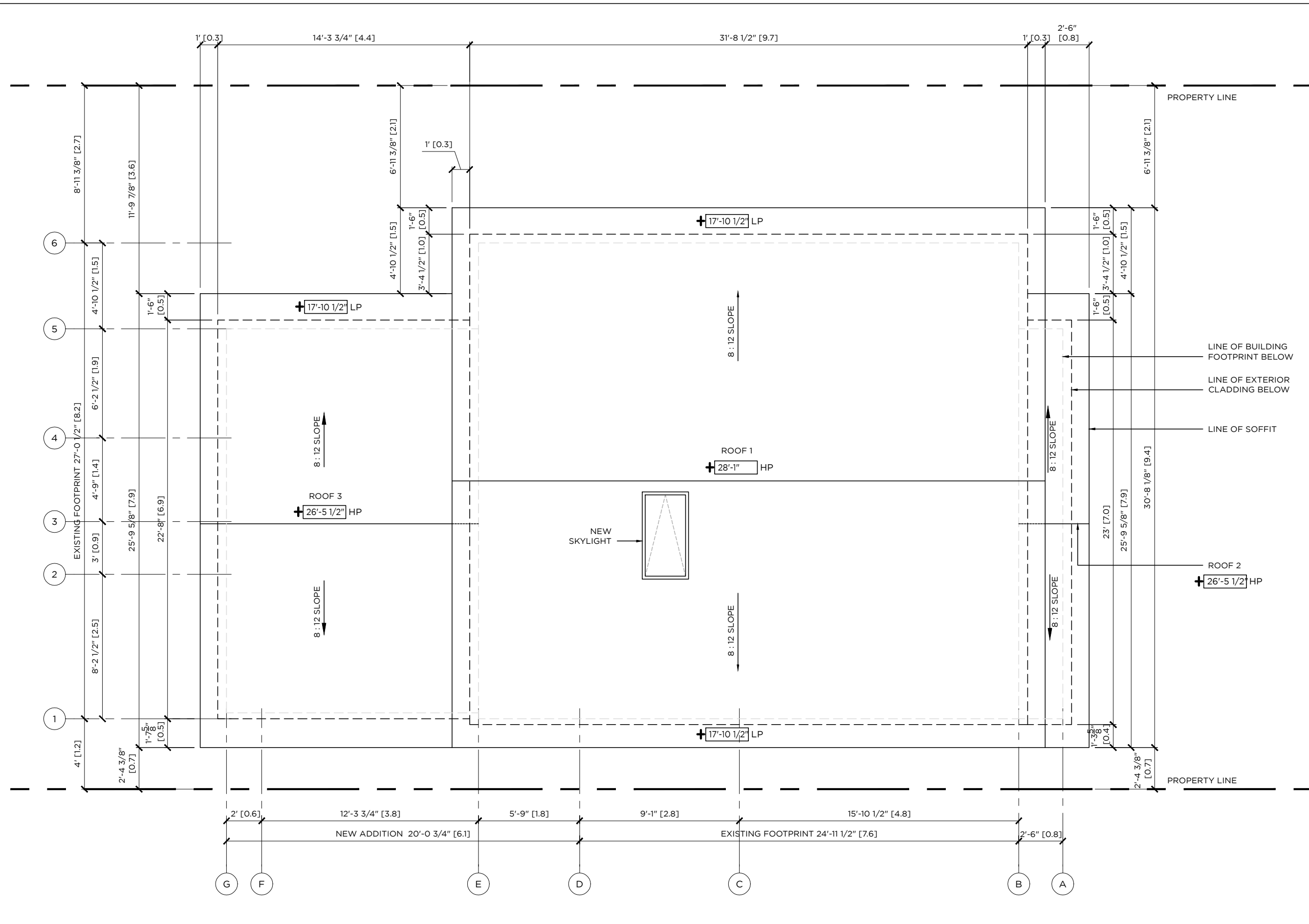
11 WATKINSON AVENUE
TORONTO, ONTARIO M6P 2E6

+1 (647) 402 4890 VF-A.COM

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- 2017-04-04 Issued for CoA



NORTH

1608: Thames Residence

17 THAMES AVENUE
ETOBICOKE, ONTARIO

PROPOSED
ROOF PLAN

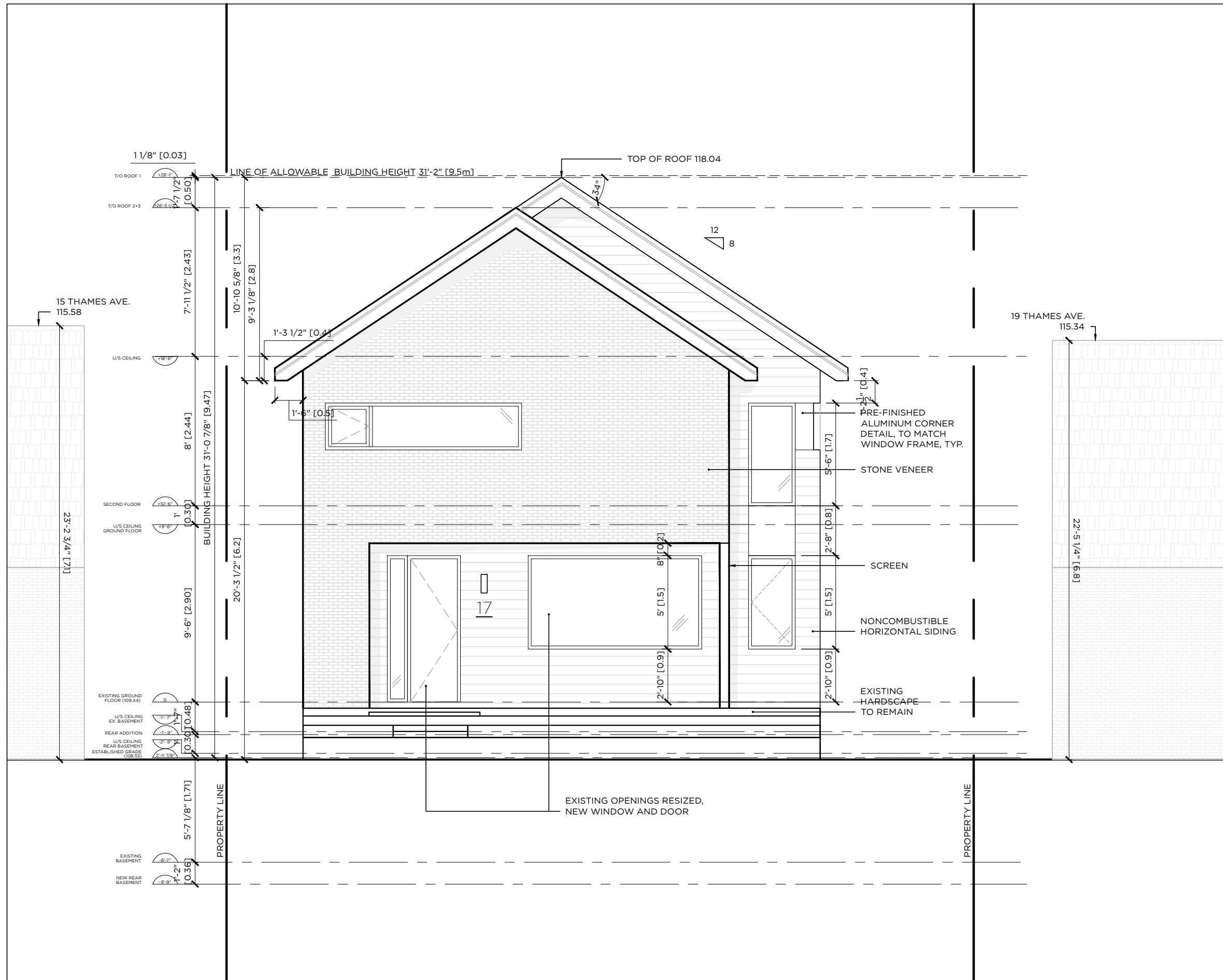
3/16" = 1'

A203

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ISSUED RECORD

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2017-02-21	Issued for Preliminary Pricing
2017-04-04	Issued for CoA



1608: Thames Residence
17 THAMES AVENUE
ETOBICOKE, ONTARIO

PROPOSED
NORTH ELEVATION

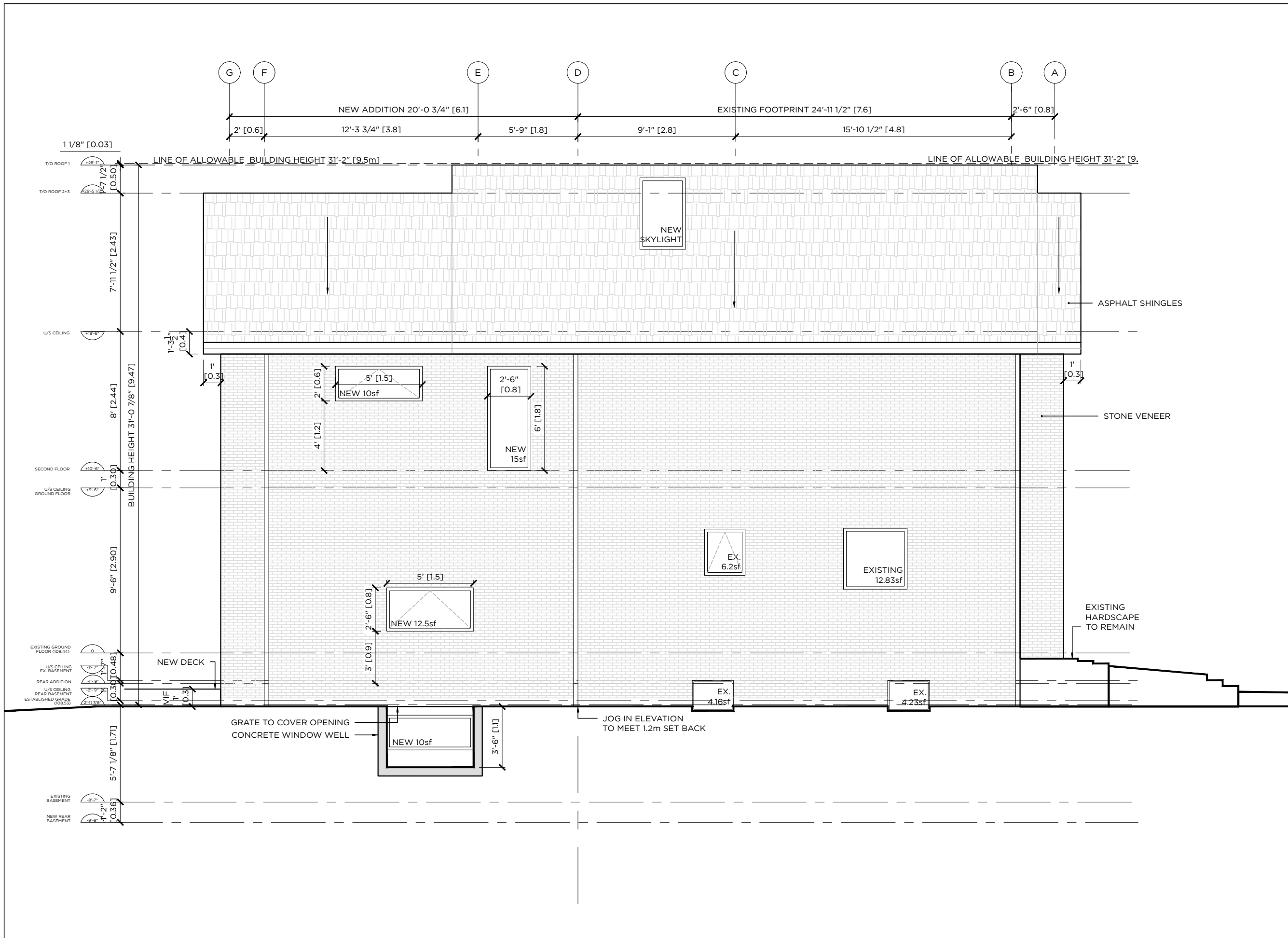
3/16" = 1'

A400

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ISSUED RECORD

- 2017-02-13 Issued for PPR
- 2017-02-21 Issued for Preliminary Pricing
- 2017-04-04 Issued for CoA



1608: Thames Residence
17 THAMES AVENUE
ETOBICOKE, ONTARIO

PROPOSED
EAST ELEVATION

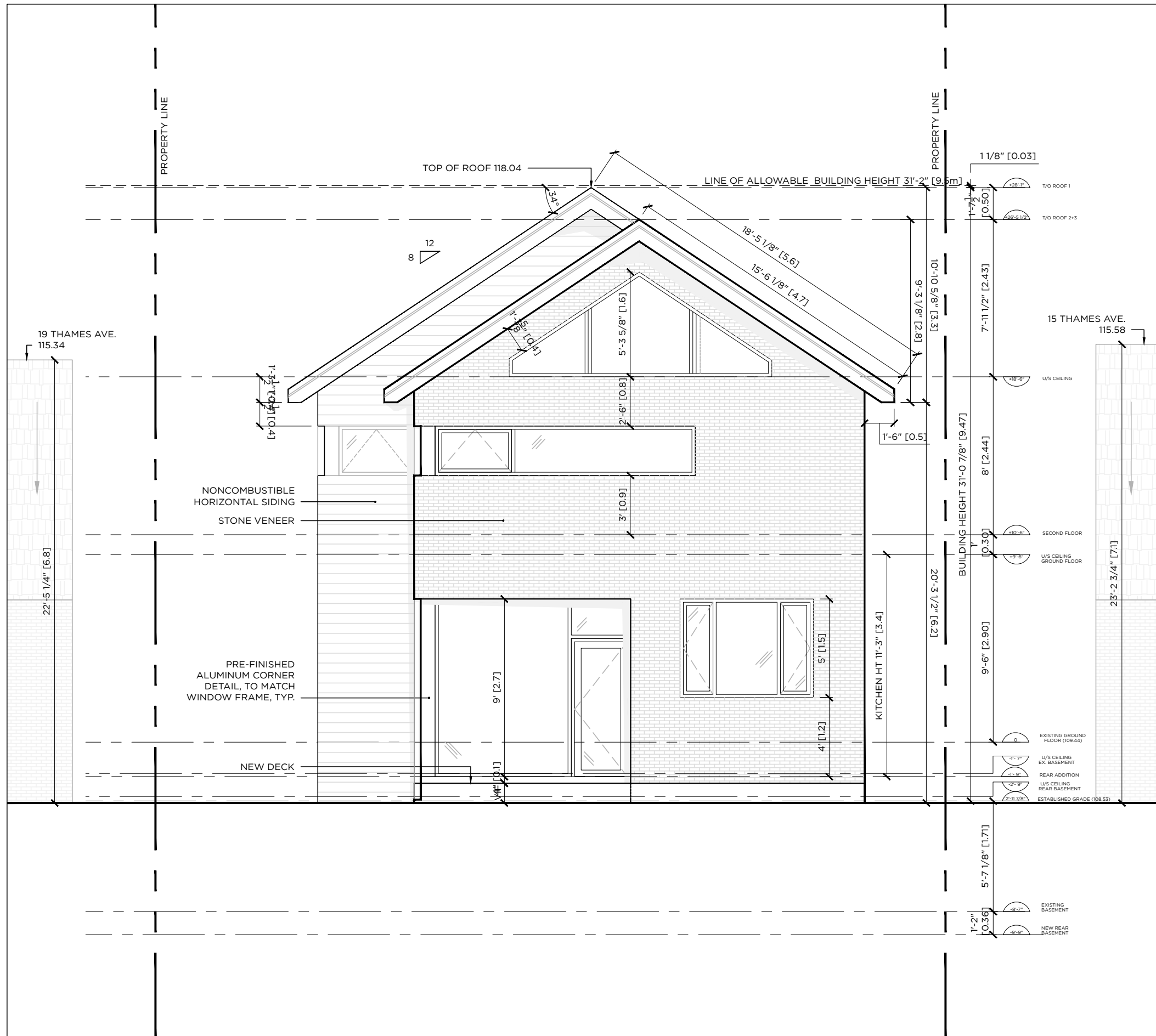
3/16" = 1'

A401

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ISSUED RECORD

- 2017-02-13 Issued for PPR
- 2017-02-21 Issued for Preliminary Pricing
- 2017-04-04 Issued for CoA



1608: Thames Residence
17 THAMES AVENUE
ETOBICOKE, ONTARIO

PROPOSED
SOUTH ELEVATION

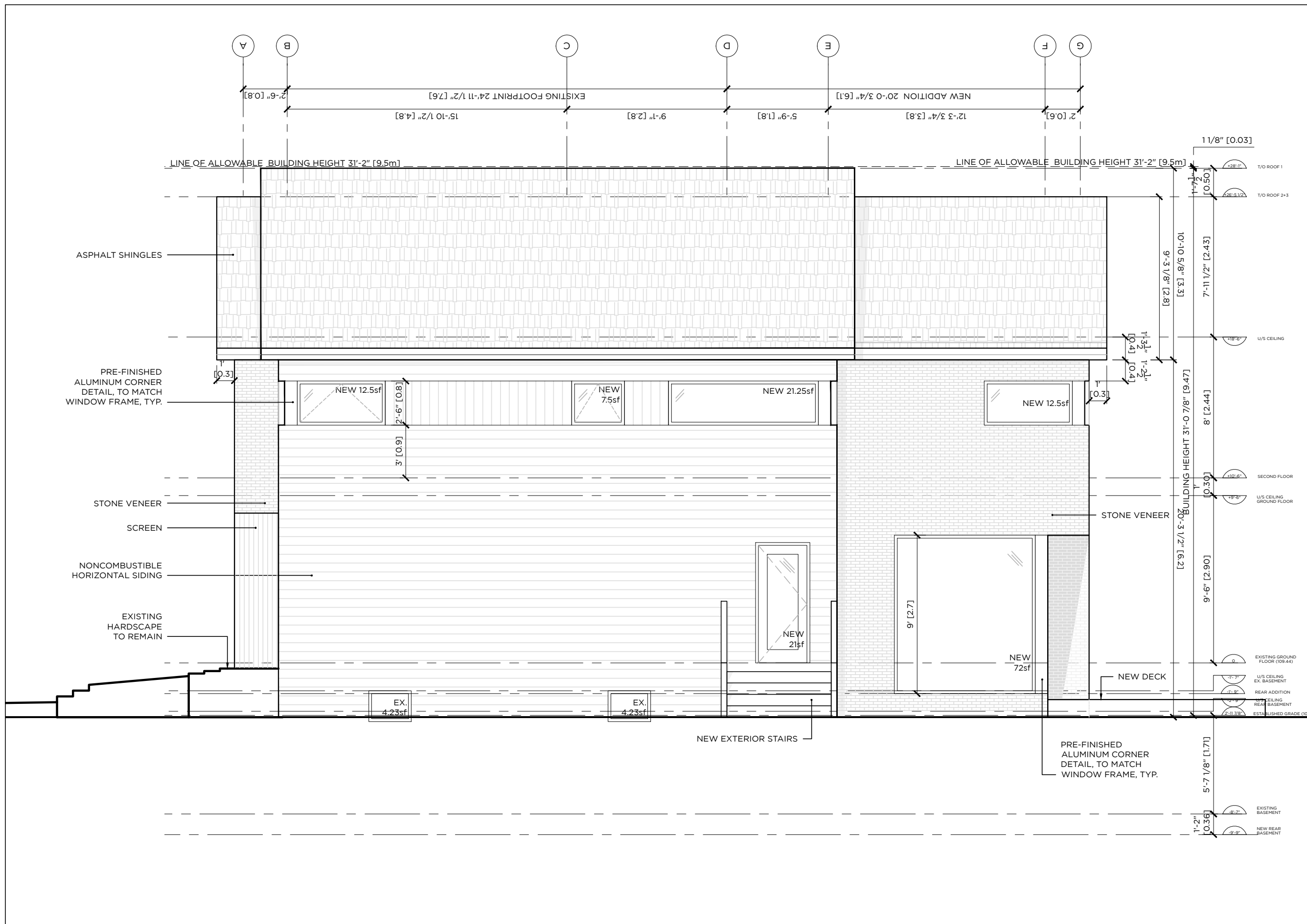
3/16" = 1'

A402

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ISSUED RECORD

- 2017-02-13 Issued for PPR
- 2017-02-21 Issued for Preliminary Pricing
- 2017-04-04 Issued for CoA



1608: Thames Residence
17 THAMES AVENUE
ETOBICOKE, ONTARIO

PROPOSED
WEST ELEVATION

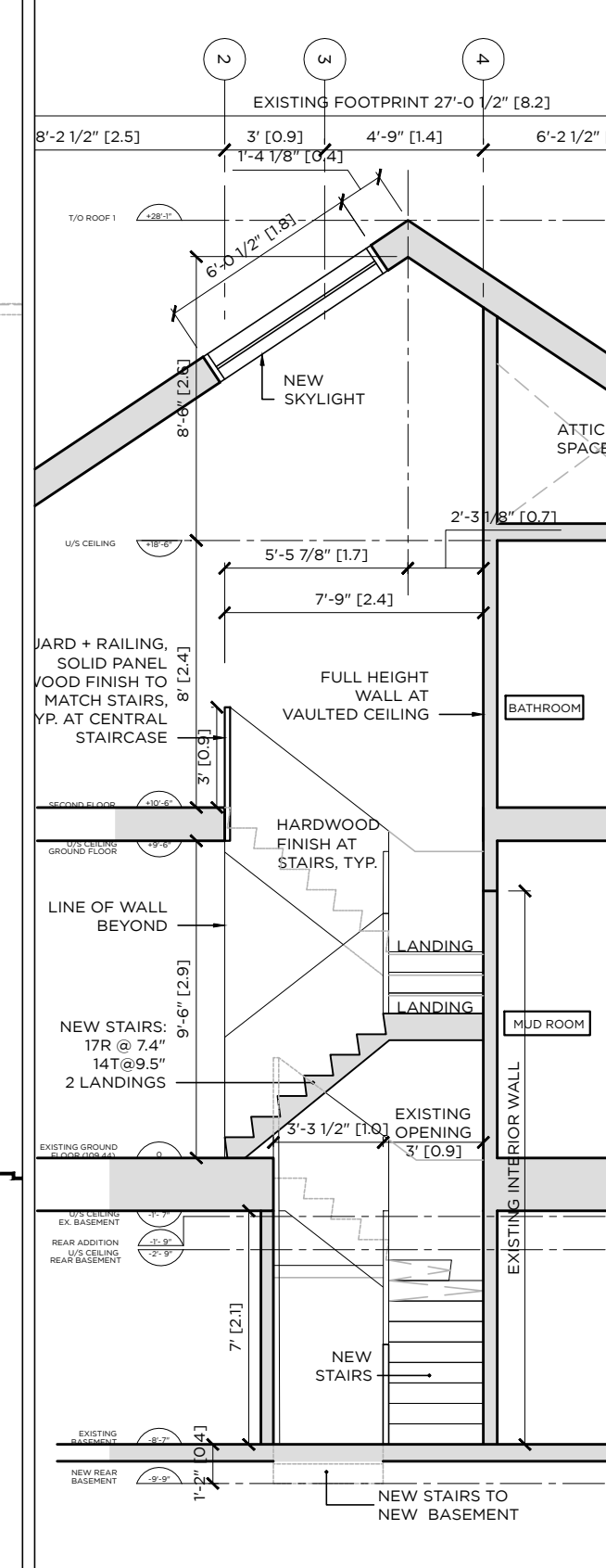
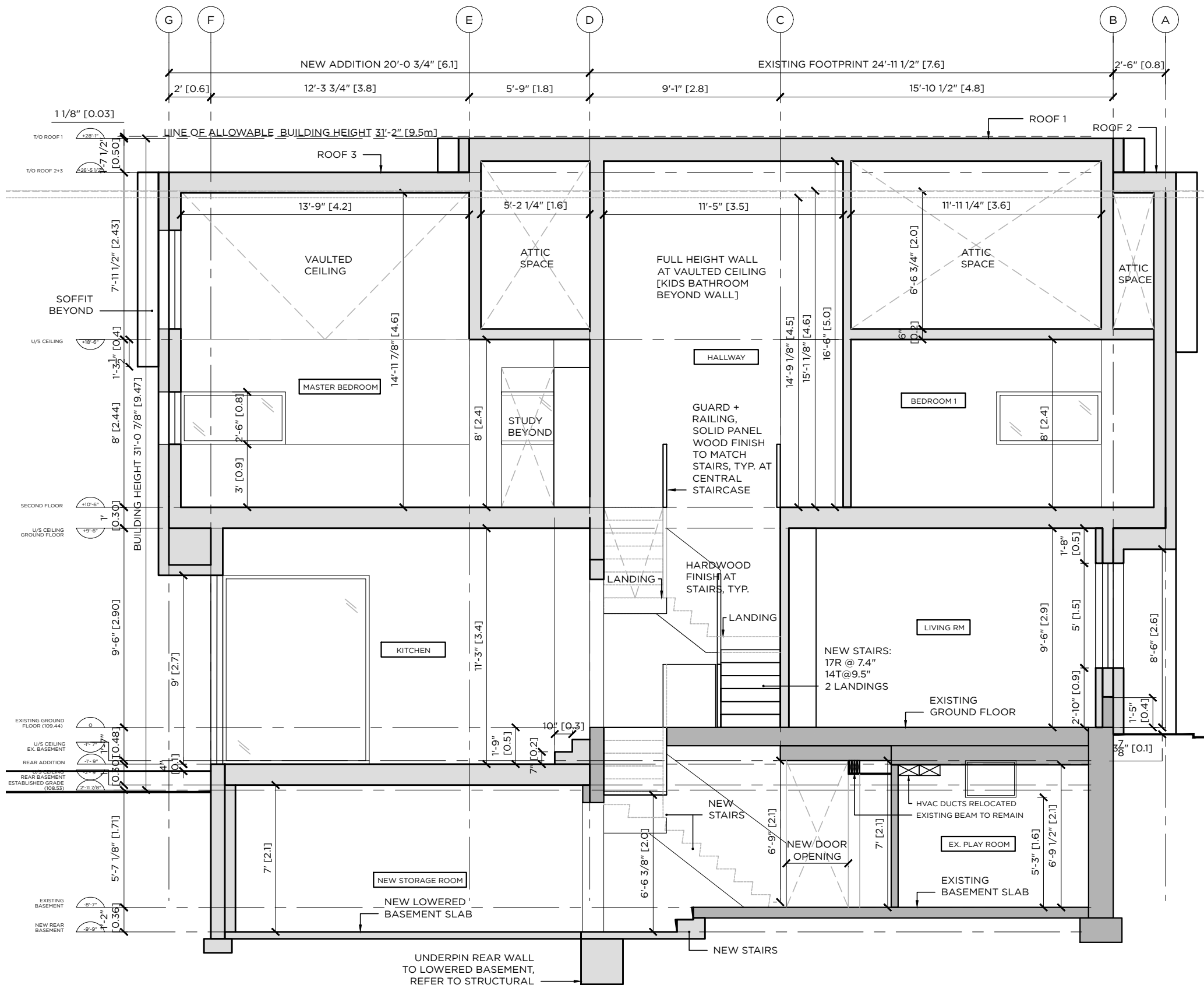
3/16" = 1'

A403

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ISSUED RECORD

- 2017-02-13 Issued for PPR
- 2017-02-21 Issued for Preliminary Pricing
- 2017-04-04 Issued for CoA



1608: Thames Residence
17 THAMES AVENUE
ETOBICOKE, ONTARIO

PROPOSED SECTIONS

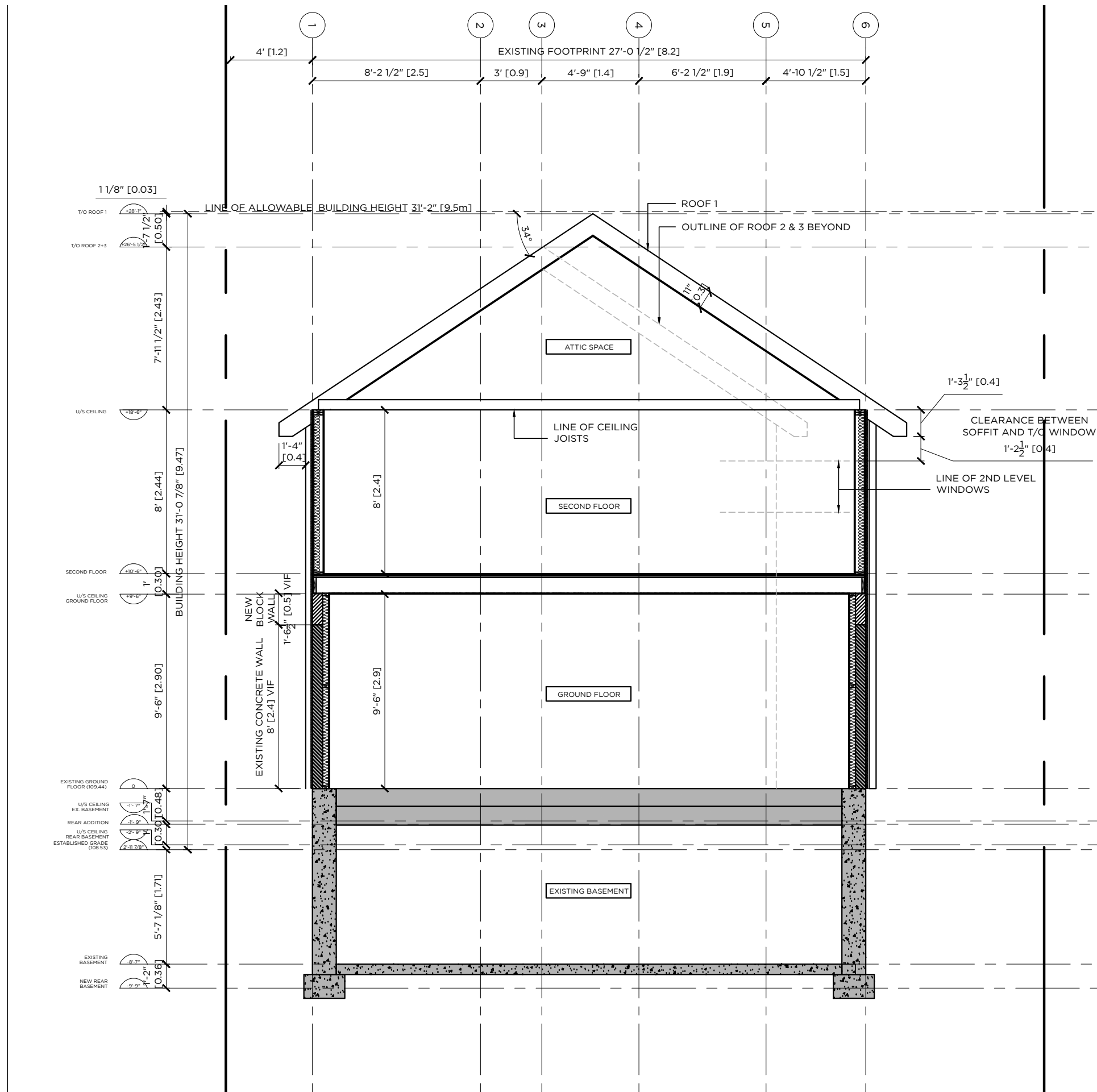
3/16" = 1'

A450

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ISSUED RECORD

2017-04-04 Issued for CoA



Thames Residence
17 THAMES AVENUE
ETOBICOKE, ONTARIO

PROPOSED SECTION

3/16" = 1'

A451

Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0345/17EYK	Zoning	RM & R2
Owner(s):	ALBINA MANAJ	Ward:	Etobicoke-Lakeshore (06)
Agent:	EKP DESIGNS INC	Heritage:	Not Applicable
Property Address:	115 SIXTEENTHST	Community:	

Legal Description: PLAN M362 PT LOT 138

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain a detached dwelling with an integral garage which is currently under construction. A previous Committee of Adjustment Decision (File Number: A446/14EYK) approved a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10(23)(C), By-law 569-2013 and Section 350-31(A)(8)**
The maximum permitted height is 9.5 m.
The altered dwelling will have a height of 9.66 m.
- Section 10.80.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
A previous Committee of Adjustment Decision (File Number: A446/14EYK) approved a front exterior main wall height of 8.18 m.
The altered dwelling will have a front exterior main wall height of 8.58 m.
- Section 10.80.40.10.(4), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
A previous Committee of Adjustment Decision (File Number: A446/14EYK) approved a height of 2.79 m above established grade.
The new dwelling will have a height of 3.02 m above established grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0345/17EYK	Zoning	RM & R2
Owner:	ALBINA MANAJ	Ward:	Etobicoke-Lakeshore (06)
Agent:	EKP DESIGNS INC	Heritage:	Not Applicable
Property Address:	115 SIXTEENTH ST	Community:	
Legal Description:	PLAN M362 PT LOT 138		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0346/17EYK	Zoning	RD & R2
Owner(s):	JOSE MANUEL SOUSA	Ward:	Etobicoke-Lakeshore (05)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	14 STEPHENDR	Community:	

Legal Description: PLAN 2308 LOT 104

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling and a rear two-storey addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted coverage is 33% of the lot area (112.4 m²).
The altered dwelling will cover 45% of the lot area (153.3 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1(A)(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (153.3 m²).
The altered dwelling will have a floor space index equal to 0.59 times the area of the lot (202.7 m²).
- Section 320-41(B)**
The minimum required side yard setback flanking a street is 3 m.
The altered dwelling will be located 2.14 m from the north side lot line, flanking Ringley Avenue.
- Section 150.10.40.1.(1), By-law 569-2013 and Section 304-22**
A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of the secondary suite.
The entire building was not constructed more than 5 years prior to the introduction of the secondary suite.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0346/17EYK	Zoning	RD & R2
Owner:	JOSE MANUEL SOUSA	Ward:	Etobicoke-Lakeshore (05)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	14 STEPHEN DR	Community:	
Legal Description:	PLAN 2308 LOT 104		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0158/17EYK	Zoning	I.C1
Owner(s):	2449682 ONTARIO INC	Ward:	Etobicoke-Lakeshore (05)
Agent:	BRIAN DANBY	Heritage:	Not Applicable
Property Address:	1635 THE QUEENSWAY	Community:	

Legal Description: CON 3 CST PT LOT 10 RP 66R9059 PARTS 1 TO 5

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a parking deficiency for the proposed car dealership.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**Section 320-18F(3)(e)**

A total of 183 parking spaces are required for the site.

A total of 111 parking spaces will be provided, of which 77 parking spaces will be offsite.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The site plan must illustrate that parking is provided for staff, customers and the service department of the proposed dealership at a minimum ratio of 1.74 spaces/100 m² of gross Floor Area, of which a maximum of 77 spaces can be located off-site to the satisfaction of Transportation Services.
2. The site plan and accompanying site statistics must explicitly identify the parking spaces that are provide for staff, customers and the service department of the proposed dealership.

SIGNATURE PAGE

File Number:	A0158/17EYK	Zoning	I.C1
Owner:	2449682 ONTARIO INC	Ward:	Etobicoke-Lakeshore (05)
Agent:	BRIAN DANBY	Heritage:	Not Applicable
Property Address:	1635 THE QUEENSWAY	Community:	
Legal Description:	CON 3 CST PT LOT 10 RP 66R9059 PARTS 1 TO 5		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0266/17EYK	Zoning	RD & R2
Owner(s):	HANIF MAWJI	Ward:	Etobicoke-Lakeshore (05)
Agent:	ALEX RUBB	Heritage:	Not Applicable
Property Address:	111 WESTROSEAVE	Community:	

Legal Description: PLAN 5307 LOT 15

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(38)(A), By-law 569-2013**
The maximum permitted gross floor area, including an attached or detached garage, shall be 125 m² plus 25% of the lot area (254.8 m²) up to a maximum floor space index of 0.5 (259.7 m²).
Section 1.a), By-law 1993-107
The maximum permitted gross floor area, including an attached or detached garage, shall be 125 m² plus 25% of the lot area (254.8 m²).
Section 900.3.10.(38)(A), By-law 569-2013 and Section 1.a), By-law 1993-107
The new dwelling, including the attached garage, will have a gross floor area of 125 m² plus 35% of the lot area (306 m²) with a floor space index of 0.59 (306 m²).
- Section 10.20.40.70.(1), By-law 569-2013 and Section 320-40.(C)(1)**
The minimum required front yard setback is 7.74 m.
The new dwelling will be located 7.27 m from the front lot line.
- Section 320-42.1.(C)(3)**
The minimum required side yard setback is 1.5 m.
The new dwelling will be located 1.22 m from the south side lot line.
- Section 320-41.(B)**
The minimum required side yard setback flanking a street is 4.6 m.
The new dwelling will be located 3.72 m from the north side lot line, flanking Westrose Avenue.

5. Section 320-42.1.(B)(2)

The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 6.68 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0266/17EYK	Zoning	RD & R2
Owner:	HANIF MAWJI	Ward:	Etobicoke-Lakeshore (05)
Agent:	ALEX RUBB	Heritage:	Not Applicable
Property Address:	111 WESTROSE AVE	Community:	
Legal Description:	PLAN 5307 LOT 15		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0309/17EYK	Zoning	RD & R1
Owner(s):	ERIN TITO	Ward:	Etobicoke Centre (04)
Agent:	RON CUSTOM HOMES 2000 INC	Heritage:	Not Applicable
Property Address:	5 RIDGEVALLEYCRES	Community:	

Legal Description: PLAN 3515 LOT 38

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a detached ancillary building (pool house) in the rear yard. A previous Committee of Adjustment application (A768/15EYK) approved a new detached dwelling with an attached garage, which is currently under construction.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 320-43.(E)(1)**
The maximum permitted coverage for an accessory structure is 2% of the lot area (25.8 m²).
The proposed rear ancillary building (pool house) will cover 3.3% of the lot area (42.7 m²).
- Section 10.5.60.40.(2)(B), By-Law 569-2013**
The maximum permitted height for an ancillary building or structure is 4 m.
The proposed rear ancillary building (pool house) will have a height of 4.1 m.
- Section 320-43.(D)**
The maximum wall height for an accessory structure is 2.5 m.
The proposed rear ancillary building (pool house) will have a wall height of 2.9 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0309/17EYK	Zoning	RD & R1
Owner:	ERIN TITO	Ward:	Etobicoke Centre (04)
Agent:	RON CUSTOM HOMES 2000 INC	Heritage:	Not Applicable
Property Address:	5 RIDGEVALLEY CRES	Community:	
Legal Description:	PLAN 3515 LOT 38		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0333/17EYK	Zoning:	RD & R2
Owner(s):	EDITA TAHIROVIC	Ward:	Etobicoke-Lakeshore (05)
Agent:	HANNA DE LARZAC	Heritage:	Not Applicable
Property Address:	53 KIRK BRADDEN RD E	Community:	

Legal Description: PLAN 4109 LOT 34

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing the following: a one-storey rear addition, a two-storey front addition and a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(42)(A)(i), By-law 569-2013 & Section 1.(a), By-law 1993-109**
The maximum permitted gross floor area, including an attached or detached garage, is 118 m² plus 25% of the lot area (262.56 m²), up to a maximum floor space index of 0.5 (289.13 m²).
The altered dwelling, including the attached garage, will have a gross floor area of 118 m² plus 40% of the lot area (349.42 m²), with a floor space index of 0.6 (349.42 m²).
- Section 320-42.1.C.(2)**
The minimum required side yard setback is 1.2 m, provided the aggregate side yard setback is not less than 3.1m.
The altered dwelling will have an aggregate side yard setback of 2.52 m.
- Section 10.20.40.10.(1)(A), By-law 569-2013 & Section 320-42.1.B.(1)**
The maximum permitted dwelling height is 9.5 m.
The altered dwelling will have a height of 9.83 m.
- Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 6.8 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

2. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0333/17EYK	Zoning	RD & R2
Owner:	EDITA TAHIROVIC	Ward:	Etobicoke-Lakeshore (05)
Agent:	HANNA DE LARZAC	Heritage:	Not Applicable
Property Address:	53 KIRK BRADDEN RD E	Community:	
Legal Description:	PLAN 4109 LOT 34		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0334/17EYK	Zoning	E & IC1
Owner(s):	1804000 ONTARIO INC	Ward:	Etobicoke North (01)
Agent:	GAC ENGINEERING SERVICES INC	Heritage:	Not Applicable
Property Address:	7003 STEELES AVE W	Community:	

Legal Description:

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert a portion of the existing building (Units 1, 2, 3) into a Retail Store.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Section 60.20.20.100.(4)(A), By-law 569-2013**

A Retail Store is a permitted use provided it is associated with a permitted manufacturing use.
The proposed Retail Store (Unit 3 only) is not associated with a permitted manufacturing use.

2. Section 60.20.20.100.(4)(C), By-law 569-2013

A Retail Store is a permitted use provided the interior floor area of the retail store does not exceed 20% of the interior floor area of the manufacturing use on the lot (44.58 m²).
The proposed Retail Store (Unit 3 only), which will have an interior floor area equal to 25.64% of the interior floor area of the manufacturing use on the lot (57.13 m²), is not a permitted use.

3. Section 304-33.F

Retail sales are permitted as an ancillary use associated with the manufacturing and/or warehousing of products, provided the retail area does not exceed 25% of the gross floor area of the building to a maximum retail floor area on-site of 700 m².

The proposed Retail Store (Units 1, 2 & 3) will have a combined gross floor area of 45.7% of the gross floor area of the manufacturing use of the building (352 m²).

4. Section 320-18.F.(3)(f)

A total of 15 parking spaces are required for the Retail Store.
A total of 13 parking spaces will be provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0334/17EYK	Zoning	E & IC1
Owner:	1804000 ONTARIO INC	Ward:	Etobicoke North (01)
Agent:	GAC ENGINEERING SERVICES INC	Heritage:	Not Applicable
Property Address:	7003 STEELES AVE W	Community:	
Legal Description:			

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0355/17EYK	Zoning	CR 3
Owner(s):	DON SALVATORE	Ward:	Etobicoke-Lakeshore (06)
Agent:	CHRISTINE ESQUIVEL	Heritage:	Not Applicable
Property Address:	2860 LAKE SHORE BLVD W	Community:	

Legal Description: PLAN 1043 PT LOTS 331 & 332

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain a deficiency in parking as a result of a change of use to a dental office.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**Section 350-26.B.(8)**

A minimum of 9 onsite parking spaces are required.
No onsite parking spaces are proposed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0355/17EYK	Zoning	CR 3
Owner:	DON SALVATORE	Ward:	Etobicoke-Lakeshore (06)
Agent:	CHRISTINE ESQUIVEL	Heritage:	Not Applicable
Property Address:	2860 LAKE SHORE BLVD W	Community:	
Legal Description:	PLAN 1043 PT LOTS 331 & 332		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0358/17EYK	Zoning:	RD & R2
Owner(s):	MYKOLA KUZ NADIYA KOSHTURA	Ward:	Etobicoke-Lakeshore (05)
Agent:	WINSON WEI-LONG MAK	Heritage:	Not Applicable
Property Address:	50 GLENELLEN DR E	Community:	

Legal Description: PLAN 4109 LOT 3 NRS PT

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front and rear addition, a second storey addition above the existing garage, a new front porch and a deck at the rear.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Section 900.3.10.(42)(A)(i), By-law 569-2013**The maximum permitted gross floor area, including an attached garage, is 118 m² plus 25% of the lot area (259.75 m²), up to a maximum floor space index of 0.5 (283.5 m²).The altered dwelling, including the attached garage, will have a gross floor area of 118 m² plus 32% of the lot area (297.12 m²), with a floor space index of 0.52 (297.12 m²).**2. Section 320-42.1.B.(2)**

The maximum permitted height of a flat roofed dwelling is 6.5 m.

The altered dwelling will have a flat roofed height of 8.4 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0358/17EYK	Zoning	RD & R2
Owner:	MYKOLA KUZ NADIYA KOSHTURA	Ward:	Etobicoke-Lakeshore (05)
Agent:	WINSON WEI-LONG MAK	Heritage:	Not Applicable
Property Address:	50 GLENELLEN DR E	Community:	
Legal Description:	PLAN 4109 LOT 3 NRS PT		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0364/17EYK	Zoning	RD & R2
Owner(s):	RITESH ARORA	Ward:	Etobicoke-Lakeshore (05)
Agent:	SOHRAB EBRAHIM	Heritage:	Not Applicable
Property Address:	23 CHARTWELLRD	Community:	

Legal Description: PLAN M616 LOT 32

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59(C)**
The maximum permitted lot coverage is 33% of the lot area (168.7 m²).
The proposed dwelling will cover 34.4% of the lot area (175.7 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the area of the lot (230 m²).
The proposed dwelling will have a floor space index equal to 0.65 times the area of the lot (330.9 m²).
- Section 320-42.1(A)(1)**
The maximum permitted gross floor area is 0.45 times the area of the lot (230 m²).
The proposed dwelling will have a gross floor area equal to 0.65 times the area of the lot (330.9 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The proposed dwelling will be located 0.9 m from the north side lot line.
- Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted exterior front main wall height is 7 m.
The proposed dwelling will have an exterior front main wall height of 8 m.
- Section 320-42.1(B)(2)**
The maximum permitted soffit height is 6.5 m.
The proposed dwelling will have a soffit height of 7.64 m.

7. Section 10.20.40.50.(1)(B), By-law 569-2013

The maximum permitted area of a platform at or above the second storey is 4 m².

The proposed platform at the front of the house on the second storey will be 4.6 m² and the platform at the rear of the house on the second storey will be 4.4 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
2. The following conditions shall be fulfilled to the satisfaction of the Director, Community Planning, Etobicoke York District:
 - 2.1 The 1.5 m privacy screens be constructed along the north and south portions of the rear deck.
 - 2.2 The dwelling shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0364/17EYK	Zoning	RD & R2
Owner:	RITESH ARORA	Ward:	Etobicoke-Lakeshore (05)
Agent:	SOHRAB EBRAHIM	Heritage:	Not Applicable
Property Address:	23 CHARTWELL RD	Community:	
Legal Description:	PLAN M616 LOT 32		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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LOT NO: 42 – ADDRESS: 23 CHARWELL ROAD, ETOBICOKE, ON M8Z 4E9
OWNER : RITESH ARORA CELL: (647) 707-8506 email: ritesh.arora04@gmail.com

ZONING: R3 & 4	LOT NO: 32 LOT AREA : 511 m ²						LOT FRONTAGE: 12.80m	LOT DEPTH: 39.9m	
DESCRIPTION	EXISTING	PROPOSED	TOTAL	%	ALLOWED	%	SET BACKS	EXISTING	PROPOSED
LOT COVERAGE	99.8 m ²	175 m ²	175 m ²	34	167 m ²	33	FRONT YARD	7.94 m	8 m
GROSS FLOOR AREA	69.4 m ²	334 m ²	334 m ²	66	231.9m ²	45	REAR YARD	10.30 m	15.60 m
LANDSCAPED AREA	311 m ²	265 m ²					INTERIOR SIDE (north)	1.20 m	0.90 m
NO. OF STORIES / HEIGHT	1 / 5m	2 / 9.5m					INTERIOR SIDE (south)	4.8 m	1.20 m
WIDTH	6.80 m	10.7 m			-----		EXTERIOR	BRICK	BRICK-STUCCO WOOD-STONE
DEPTH	11.60 m	16.35 m			-----				
PARKING	1	2			-----				



LOT 12

P.I.N. 07525-0099 (LT)

LOT 11

P.I.N. 07525-0098 (LT)

REGISTERED
LOT 33

P.I.N. 07525-0087 (LT)

P.I.N. 07525-0088 (LT)

P.I.N. 07525-0089 (LT)

LOT 31

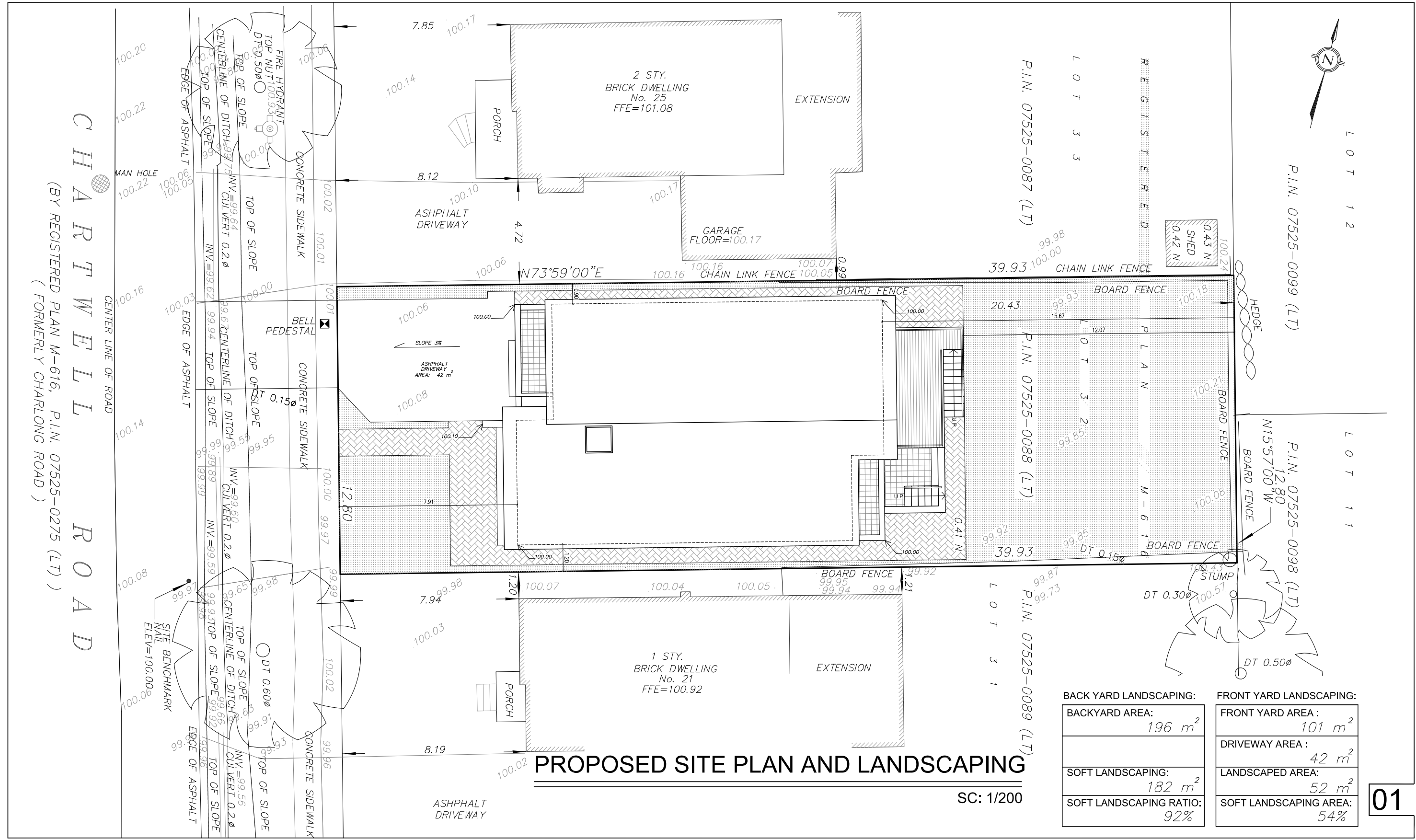
SC: 1/200

BACK YARD LANDSCAPING:

BACKYARD AREA:	196 m ²
SOFT LANDSCAPING:	182 m ²
SOFT LANDSCAPING RATIO:	92%

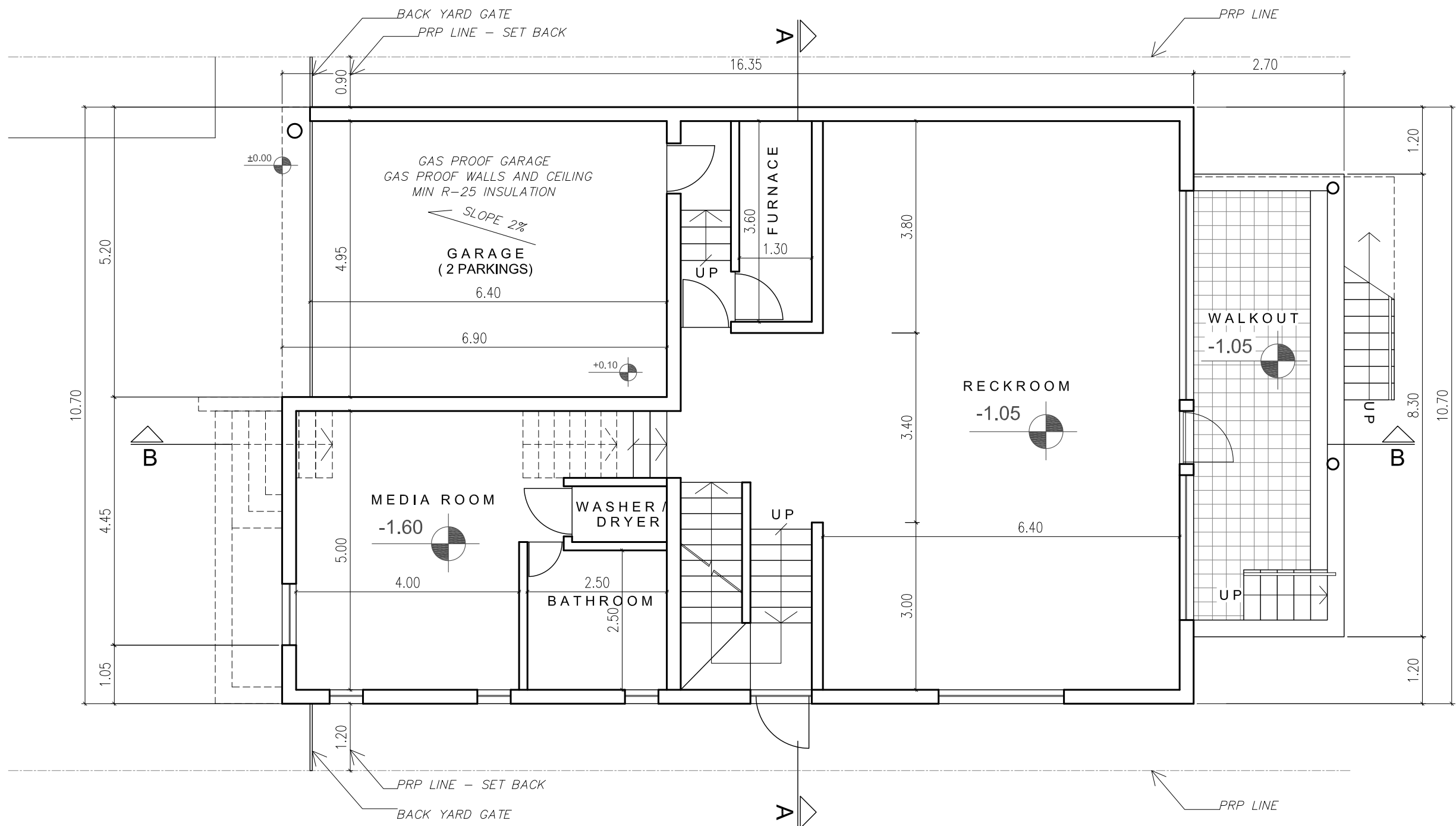
FRONT YARD LANDSCAPING:

FRONT YARD AREA :	101 m ²
DRIVEWAY AREA :	42 m ²
LANDSCAPED AREA:	52 m ²
SOFT LANDSCAPING AREA:	54%



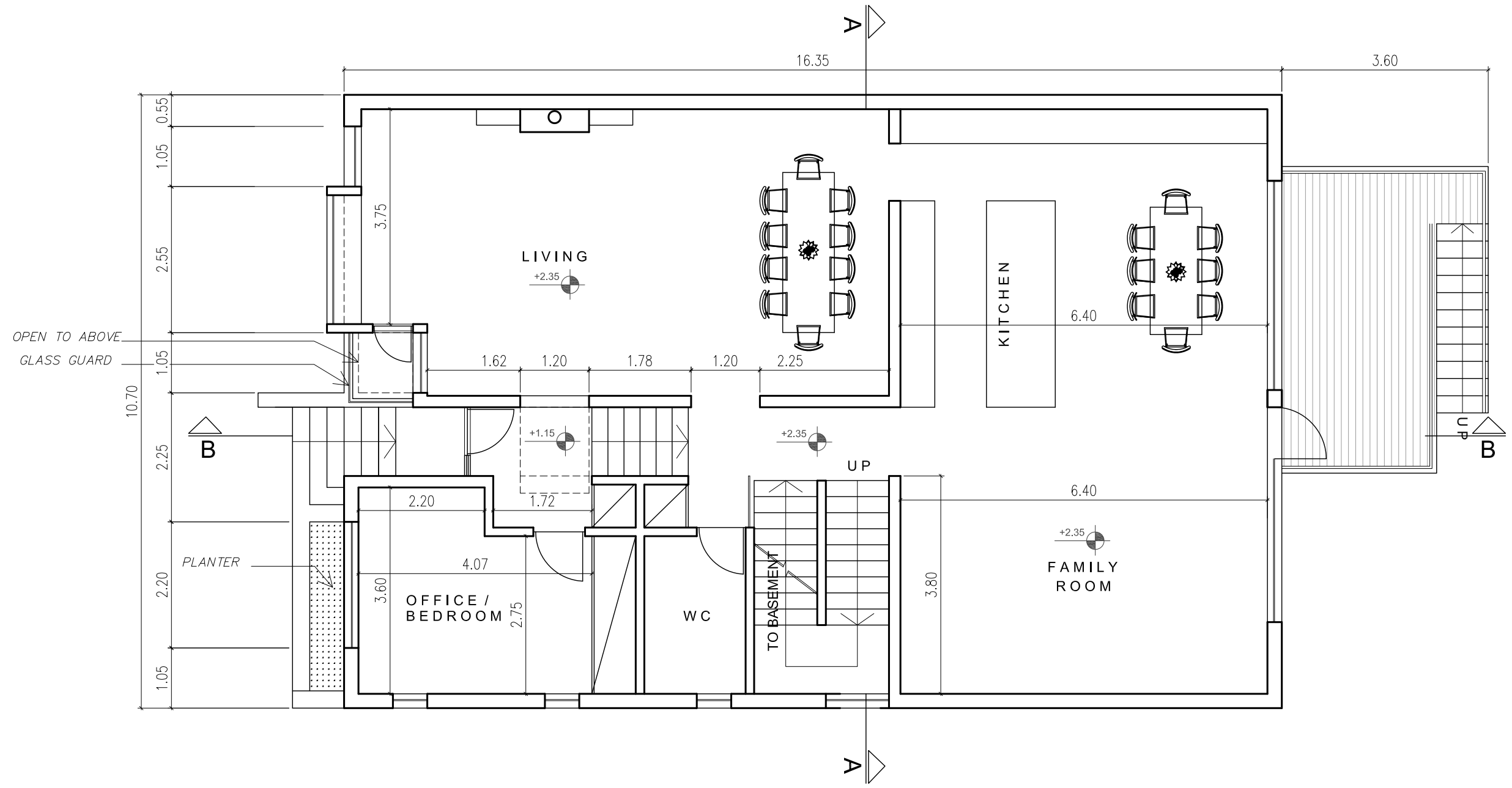
PROPOSED SITE PLAN AND LANDSCAPING

CHART WELLS ROAD
(BY REGISTERED PLAN M-616, P.I.N. 07525-0275 (LT))
(FORMERLY CHARLONG ROAD)



BASEMENT

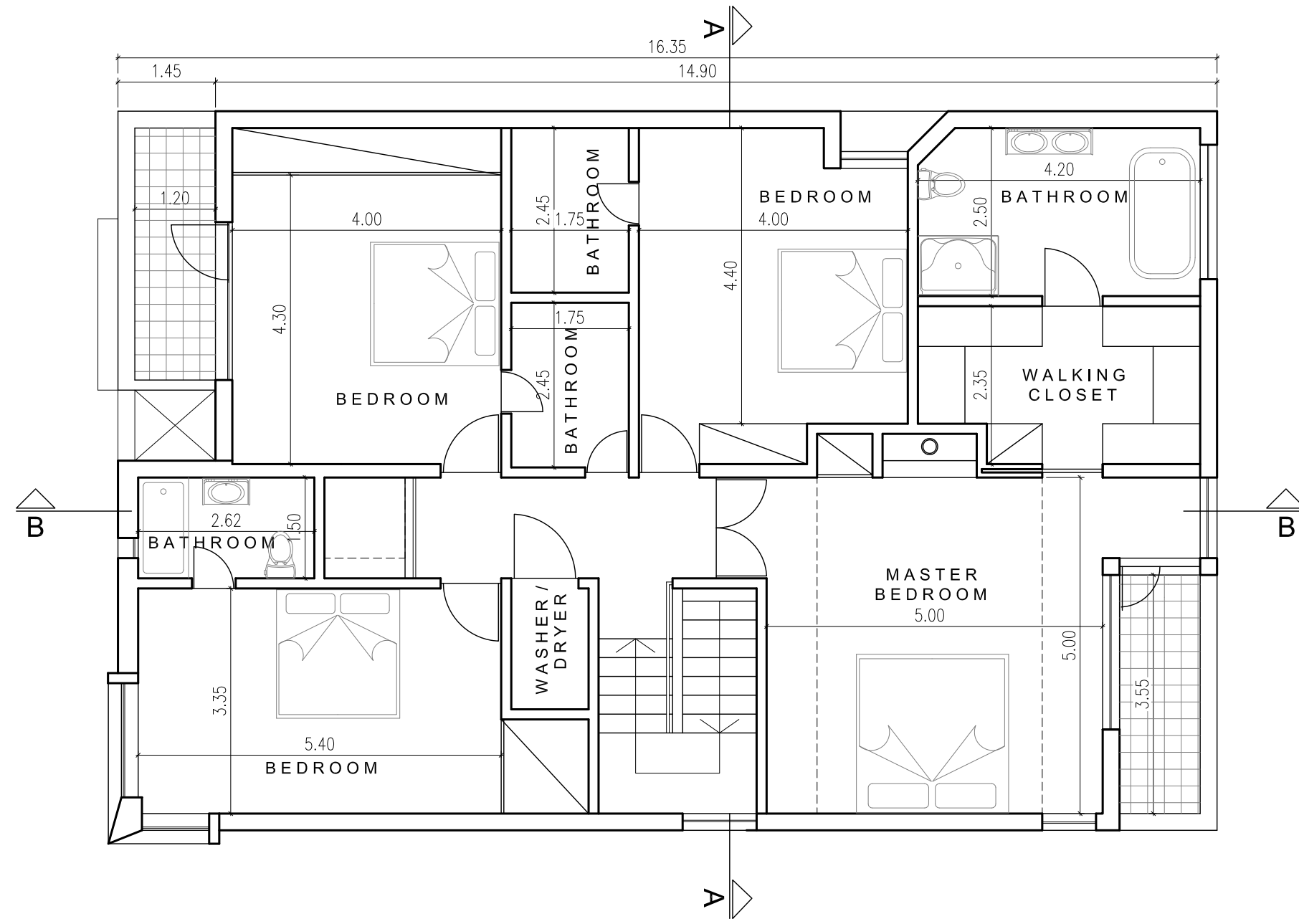
SC: 1/100



GROUND FLOOR LEVEL & LEVEL 01

SC: 1/100

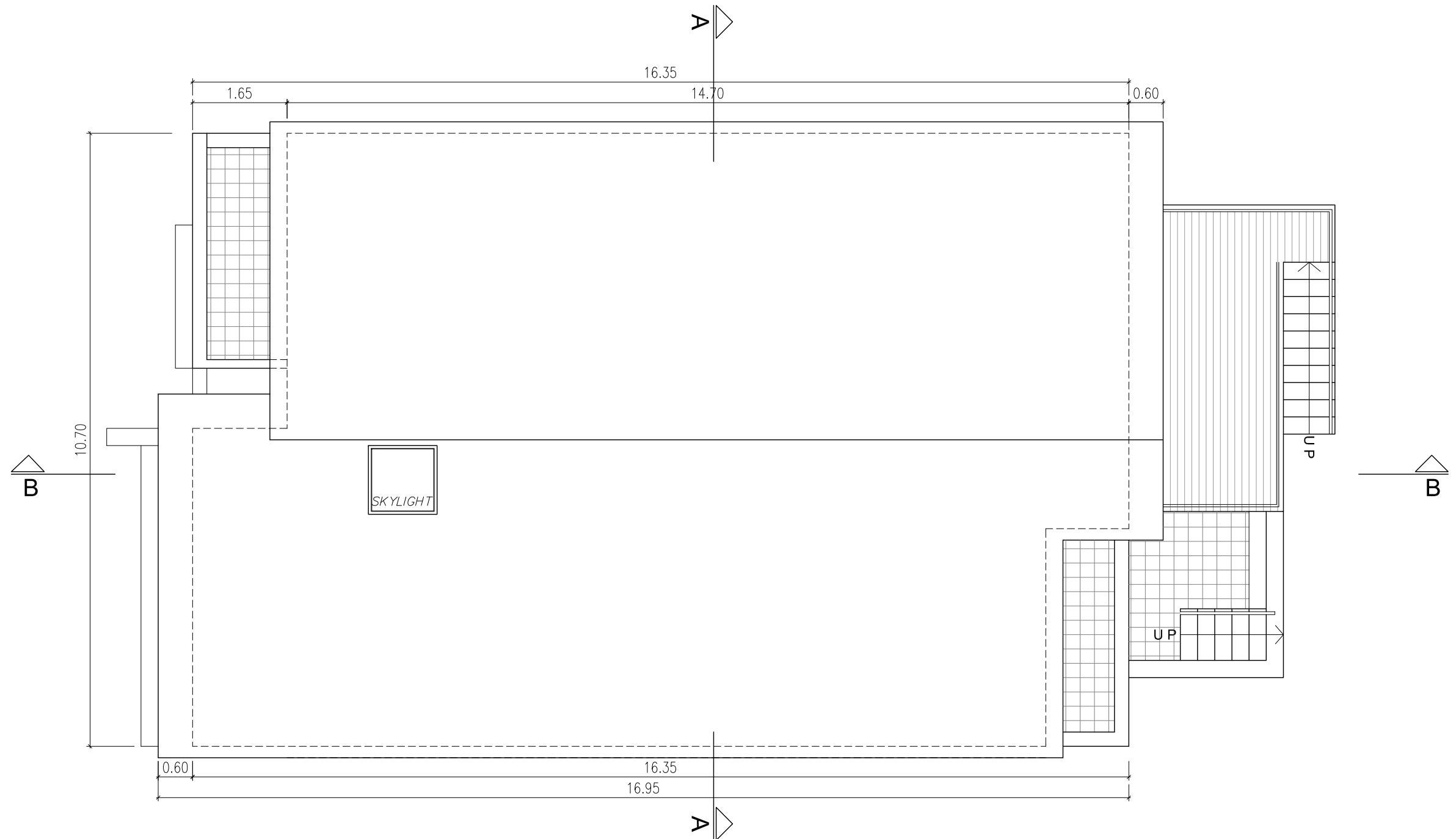
AREA: 175 m²



SECOND FLOOR LEVEL

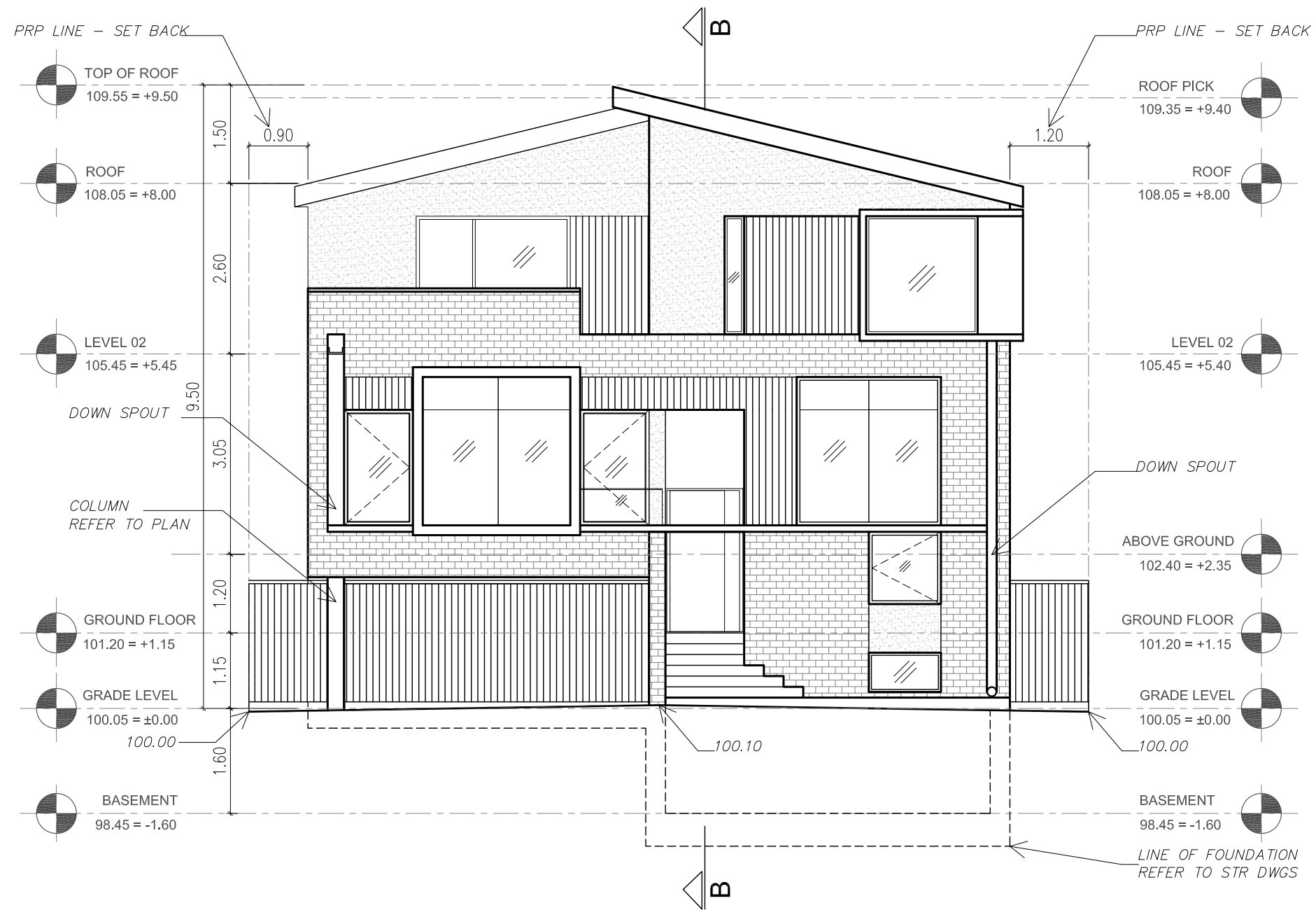
SC: 1/100

AREA: 159 m²



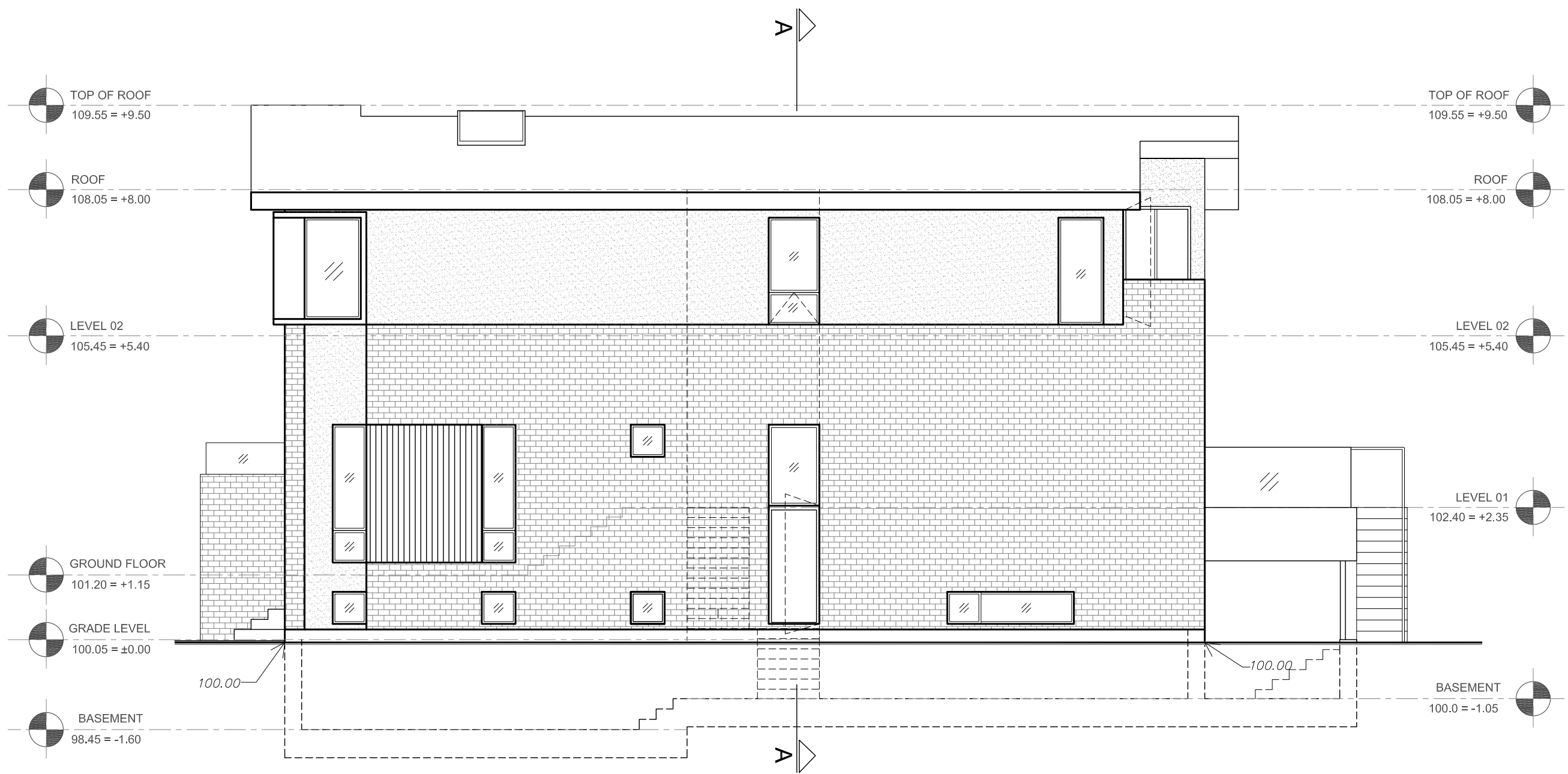
ROOF PLAN

SC: 1/100



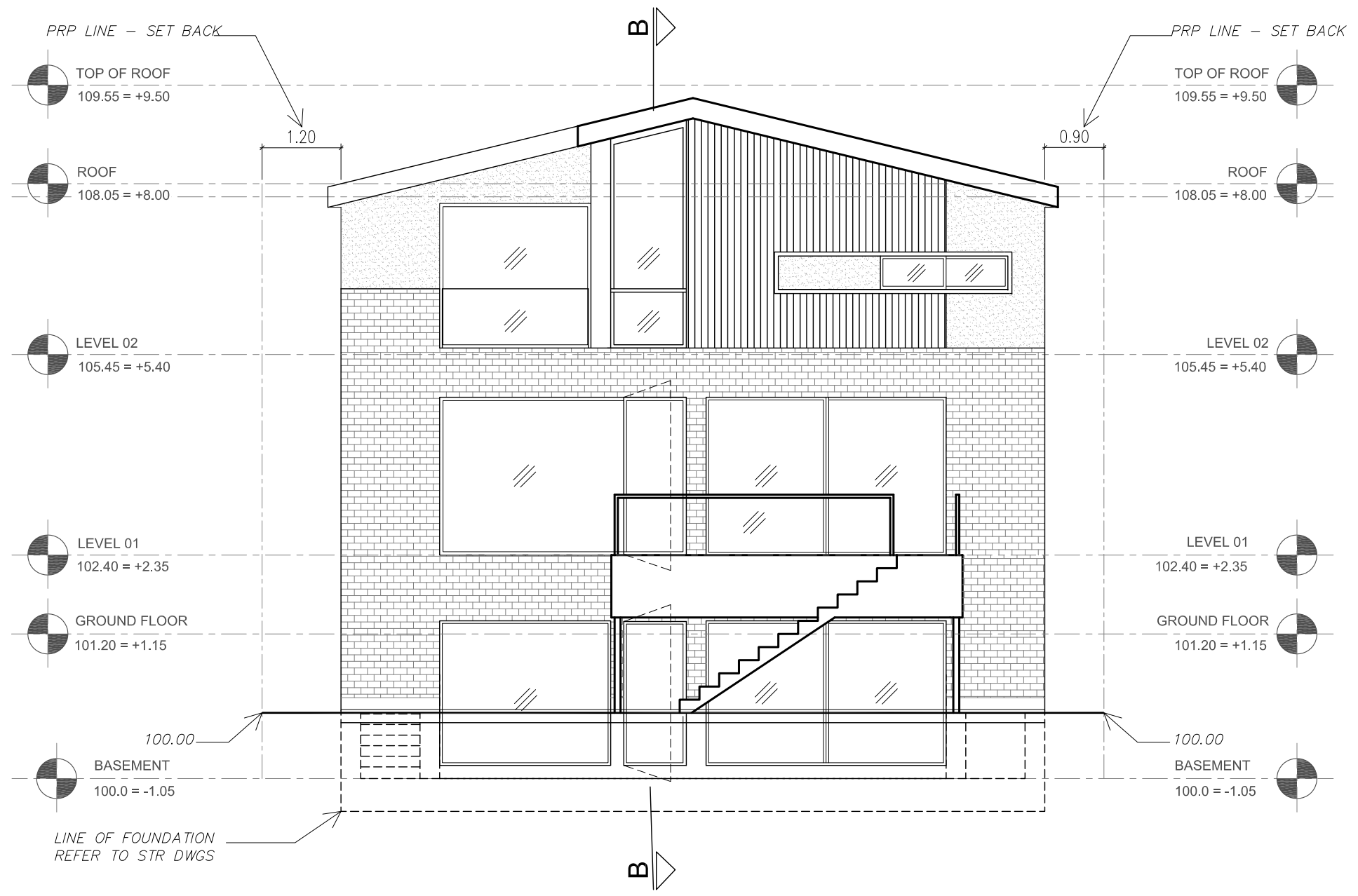
WEST ELEVATION (FRONT YARD)

SC: 1/100



SOUTH ELEVATION

SC: 1/100



EAST ELEVATION

SC: 1/100

TOP OF ROOF
109.55 = +9.50

ROOF
108.05 = +8.00

LEVEL 02
105.45 = +5.40

LEVEL 01
102.40 = +2.35

GRADE LEVEL
100.05 = ±0.00

BASEMENT
100.0 = -1.05

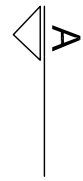
TOP OF ROOF
109.55 = +9.50

ROOF
108.05 = +8.00

LEVEL 02
105.45 = +5.40

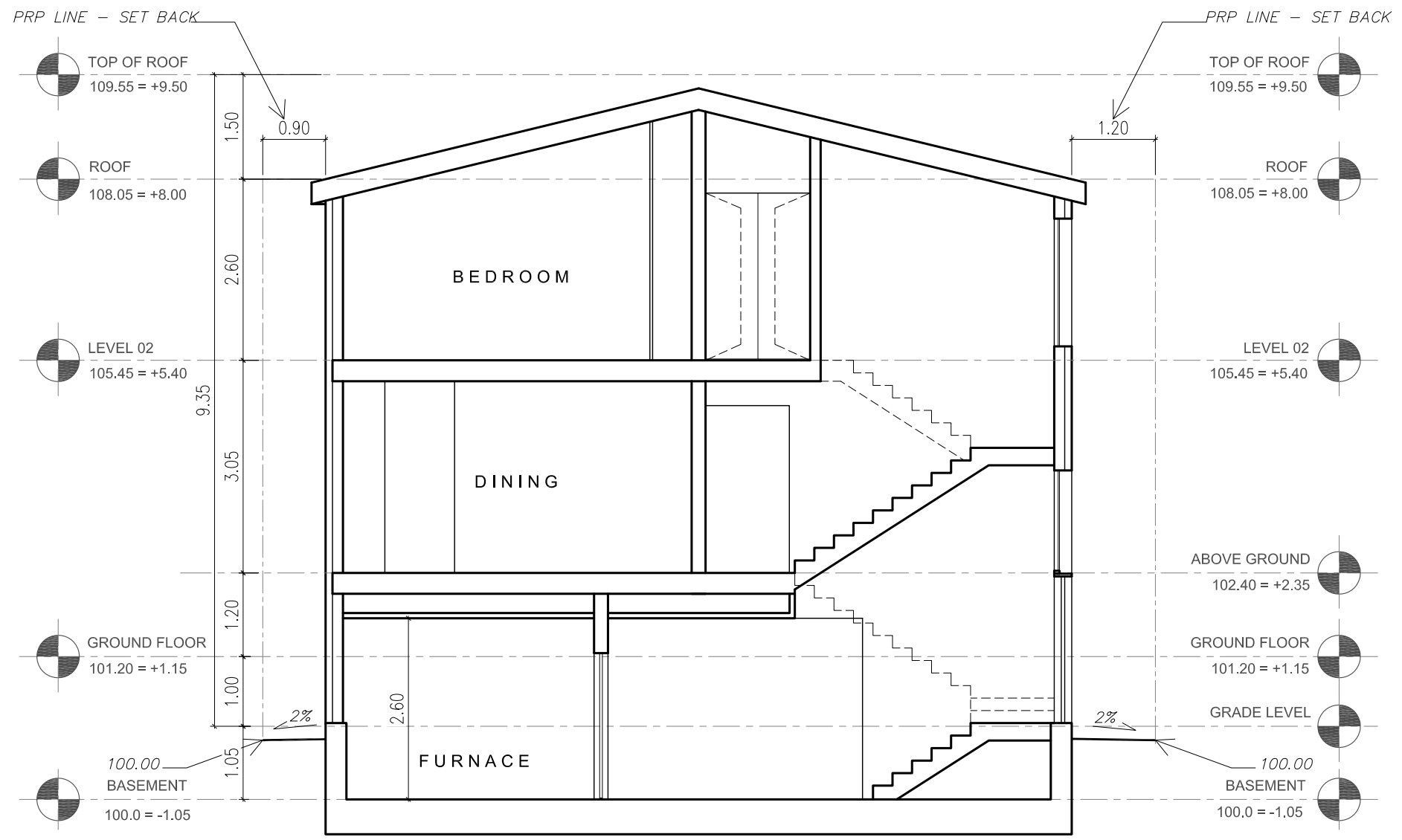
GROUND FLOOR
101.20 = +1.15

GRADE LEVEL
100.05 = ±0.00



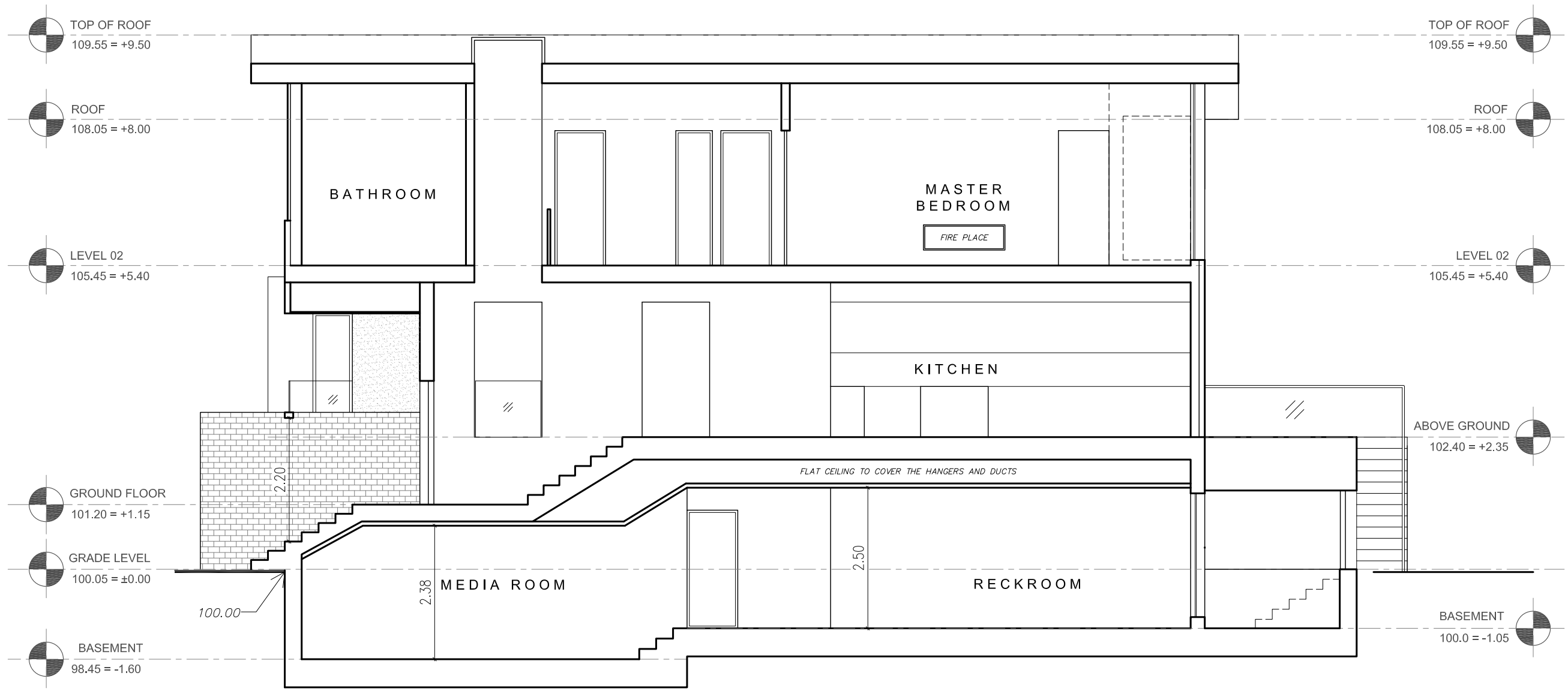
NORTH ELEVATION

SC: 1/100



SECTION A-A

SC: 1/100



SECTION B - B

SC: 1/100

Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0366/17EYK	Zoning	RD & R2
Owner(s):	NAZIMA ALI	Ward:	Etobicoke Centre (04)
Agent:	NAZIMA ALI	Heritage:	Not Applicable
Property Address:	8 NORBYCRES	Community:	

Legal Description: PLAN 5658 LOT 163

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above a portion of the existing dwelling, a second storey front balcony and a one-storey east side addition. A previous Committee of Adjustment application A361/15EYK approved variances related to the floor space index, exterior main wall height and eaves height.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 33% of the lot area (169.46 m²).
The altered dwelling will cover 36% of the lot area (184.6 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013**
The maximum permitted floor space index is 0.45 times the area of the lot (231.08 m²).
A previous Committee of Adjustment application (A361/15EYK) approved a floor space index of 0.45 times the lot area (232.7 m²).
The altered dwelling will have a floor space index equal to 0.54 times the area of the lot (276.25 m²).
- Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed second storey platform will have an area of 5 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0366/17EYK	Zoning	RD & R2
Owner:	NAZIMA ALI	Ward:	Etobicoke Centre (04)
Agent:	NAZIMA ALI	Heritage:	Not Applicable
Property Address:	8 NORBY CRES	Community:	
Legal Description:	PLAN 5658 LOT 163		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0383/17EYK	Zoning:	RM & R2
Owner(s):	1965111 ONTARIO LIMITED	Ward:	Etobicoke-Lakeshore (06)
Agent:	RASEK ARCHITECTS	Heritage:	Not Applicable
Property Address:	74 TWELFTHST	Community:	

Legal Description: PLAN 2216 S PT LOT 20

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey north side and rear addition, a second storey addition above the one-storey portion of the dwelling, a rear yard deck, a new front porch and an attached garage at the front of the dwelling. The existing detached garage in the rear yard will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 350-31.(F)(2)**
The maximum permitted floor space index is 0.6 times the area of the lot (159.3 m²).
The altered dwelling will have a floor space index of 0.98 times the area of the lot (261.2 m²).
- Section 900.6.10.(23)(D)(i), By-law 569-2013 and Section 350-31.(A)(4)**
The minimum required side yard setback is 0.6 m.
The altered dwelling will be located 0.33 m from the north side lot line and 0.1 m from the south side lot line.
- Section 900.6.10.(23)(C), By-law 569-2013 and Section 350-31.(A)(8)**
The maximum permitted dwelling height is 9.5 m.
The altered dwelling will have a height of 9.58 m.
- Section 10.80.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The altered dwelling will have a front exterior main wall height of 7.62 m.

5. Section 10.5.40.60.(7), By-law 569-2013

The minimum required side yard setback for eaves is 0.3 m.

Section 350-13.(B)

The minimum required side yard setback for eaves is 0.5 m.

Section 10.5.40.60.(7), By-law 569-2013 and Section 350-13.(B)

The eaves of the altered dwelling will be located 0 m from the north and south side lot lines.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0383/17EYK	Zoning	RM & R2
Owner:	1965111 ONTARIO LIMITED	Ward:	Etobicoke-Lakeshore (06)
Agent:	RASEK ARCHITECTS	Heritage:	Not Applicable
Property Address:	74 TWELFTH ST	Community:	
Legal Description:	PLAN 2216 S PT LOT 20		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0384/17EYK	Zoning	RD & RS
Owner(s):	LAURIE WEISHUHN DAVID WEISHUHN	Ward:	Etobicoke-Lakeshore (06)
Agent:	HICKS DESIGN STUDIO	Heritage:	Not Applicable
Property Address:	303 LAKE PROMENADE	Community:	

Legal Description: PLAN 2180 LOT 40 & ACCRETION RP 64R9537 PARTS 1 & 2

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit an enclosed platform on the existing flat roof.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.50(1)(B), By-law 569-2013

The maximum permitted area of each platform at or above the second storey of a detached house is 4 m².
The altered dwelling will have a platform on the second storey with a proposed area of 96.8 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0384/17EYK	Zoning	RD & RS
Owner:	LAURIE WEISHUHN DAVID WEISHUHN	Ward:	Etobicoke-Lakeshore (06)
Agent:	HICKS DESIGN STUDIO	Heritage:	Not Applicable
Property Address:	303 LAKE PROMENADE	Community:	
Legal Description:	PLAN 2180 LOT 40 & ACCRETION RP 64R9537 PARTS 1 & 2		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0369/17EYK	Zoning:	RD & R2
Owner(s):	STEPHANIE JANE MARSHALL	Ward:	Etobicoke-Lakeshore (05)
Agent:	EGF ASSOCIATES	Heritage:	Not Applicable
Property Address:	251 GRENVIEW BLVD S	Community:	

Legal Description: PLAN 2406 LOT 30

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition and to enlarge the existing garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.1(A), By-law 569-2013 and Section 320-59 C**
The maximum permitted lot coverage is 33% of the lot area.
The proposed lot coverage will be 34.9% of the lot area.
- Section 10.20.40.20(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 22.5 m.
- Section 10.20.40.30, By-law 569-2013**
The maximum permitted dwelling depth measured from the front yard setback is 19 m.
Section 320-42.1 D
The maximum permitted dwelling depth is 16.5 m.
Section 10.20.40.30, By-law 569-2013 and Section 320-42.1 D
The proposed dwelling will have a depth of 22.5 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the site plan and elevations submitted and held on file by the Committee of Adjustment office and date stamped as received on April 21, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0369/17EYK	Zoning	RD & R2
Owner:	STEPHANIE JANE MARSHALL	Ward:	Etobicoke-Lakeshore (05)
Agent:	EGF ASSOCIATES	Heritage:	Not Applicable
Property Address:	251 GRENVIEW BLVD S	Community:	
Legal Description:	PLAN 2406 LOT 30		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

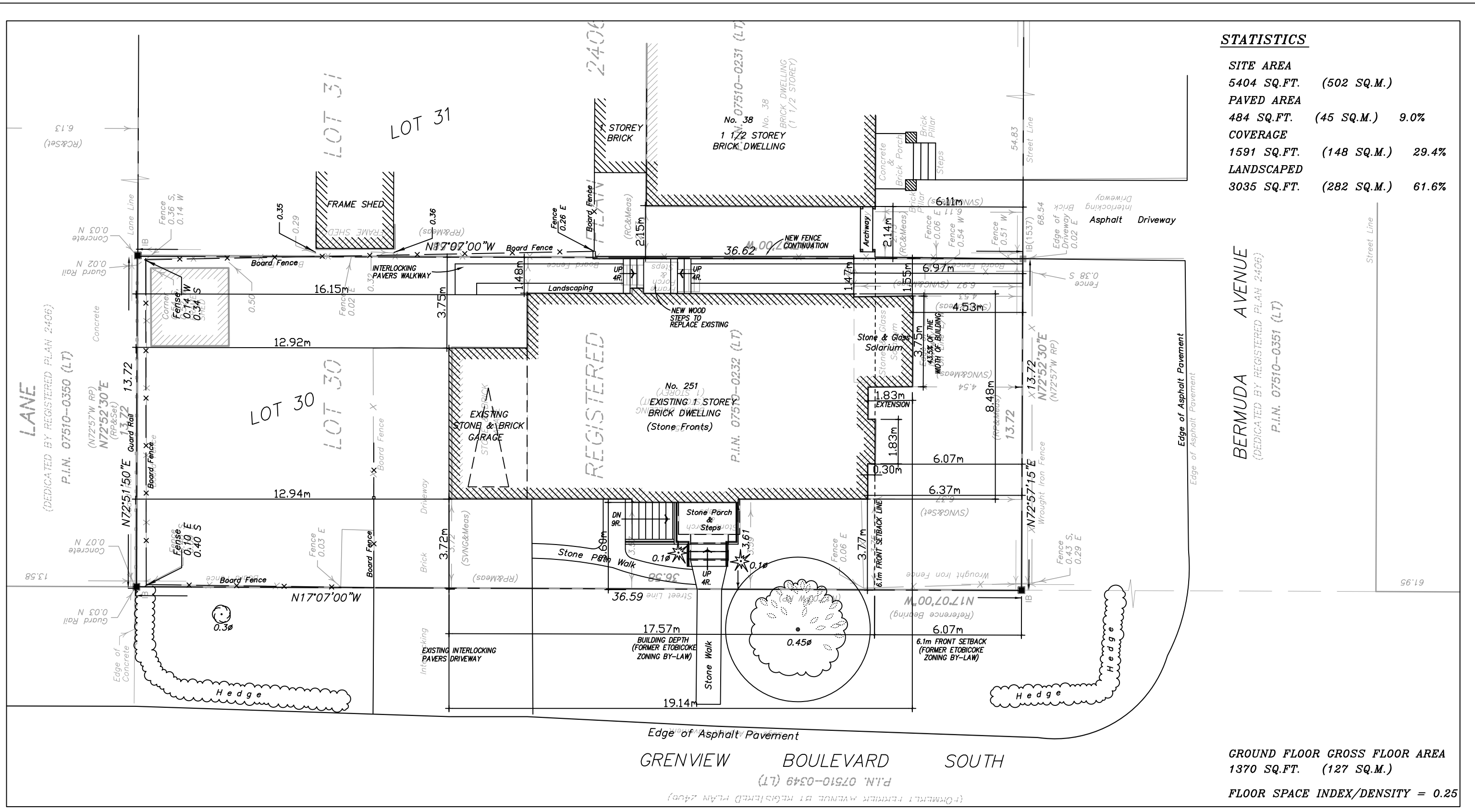
To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Apr. 18, 2017 - 3:38pm - F:\proj\04046\2014 Renovation\Drawings\17-04-03\2017-04-03-251 Grenview Blvd S - Drawings.dwg



STATISTICS

SITE AREA	5404 SQ.FT.	(502 SQ.M.)	
PAVED AREA	484 SQ.FT.	(45 SQ.M.)	9.0%
COVERAGE	1591 SQ.FT.	(148 SQ.M.)	29.4%
LANDSCAPED	3035 SQ.FT.	(282 SQ.M.)	61.6%

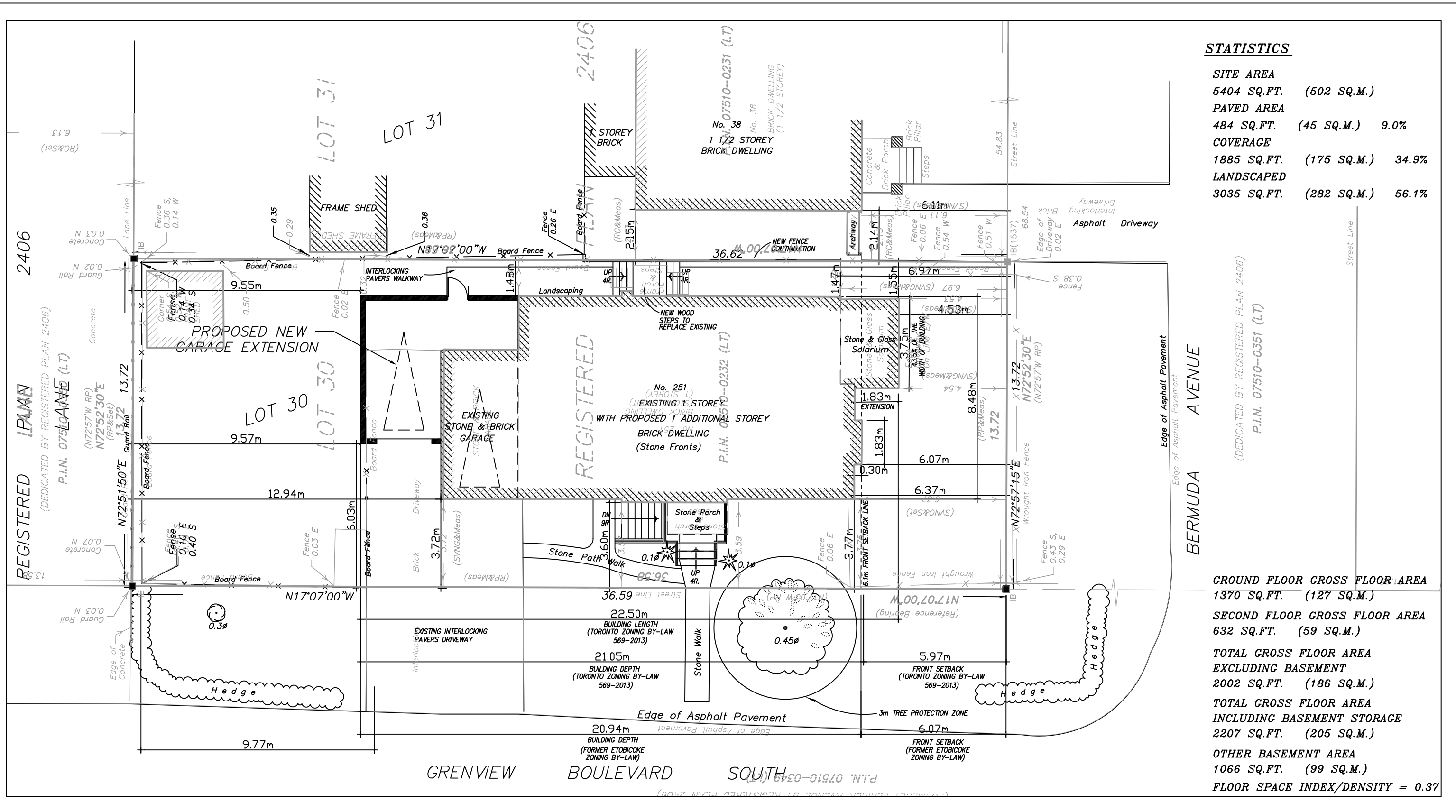
BERMUDA AVENUE
 (DEDICATED BY REGISTERED PLAN 2406)
 P.I.N. 07510-0351 (LT)

GRENVIEW BOULEVARD SOUTH
 (DEDICATED BY REGISTERED PLAN 2406)
 P.I.N. 07510-0349 (LT)

GROUND FLOOR GROSS FLOOR AREA
 1370 SQ.FT. (127 SQ.M.)
FLOOR SPACE INDEX/DENSITY = 0.25



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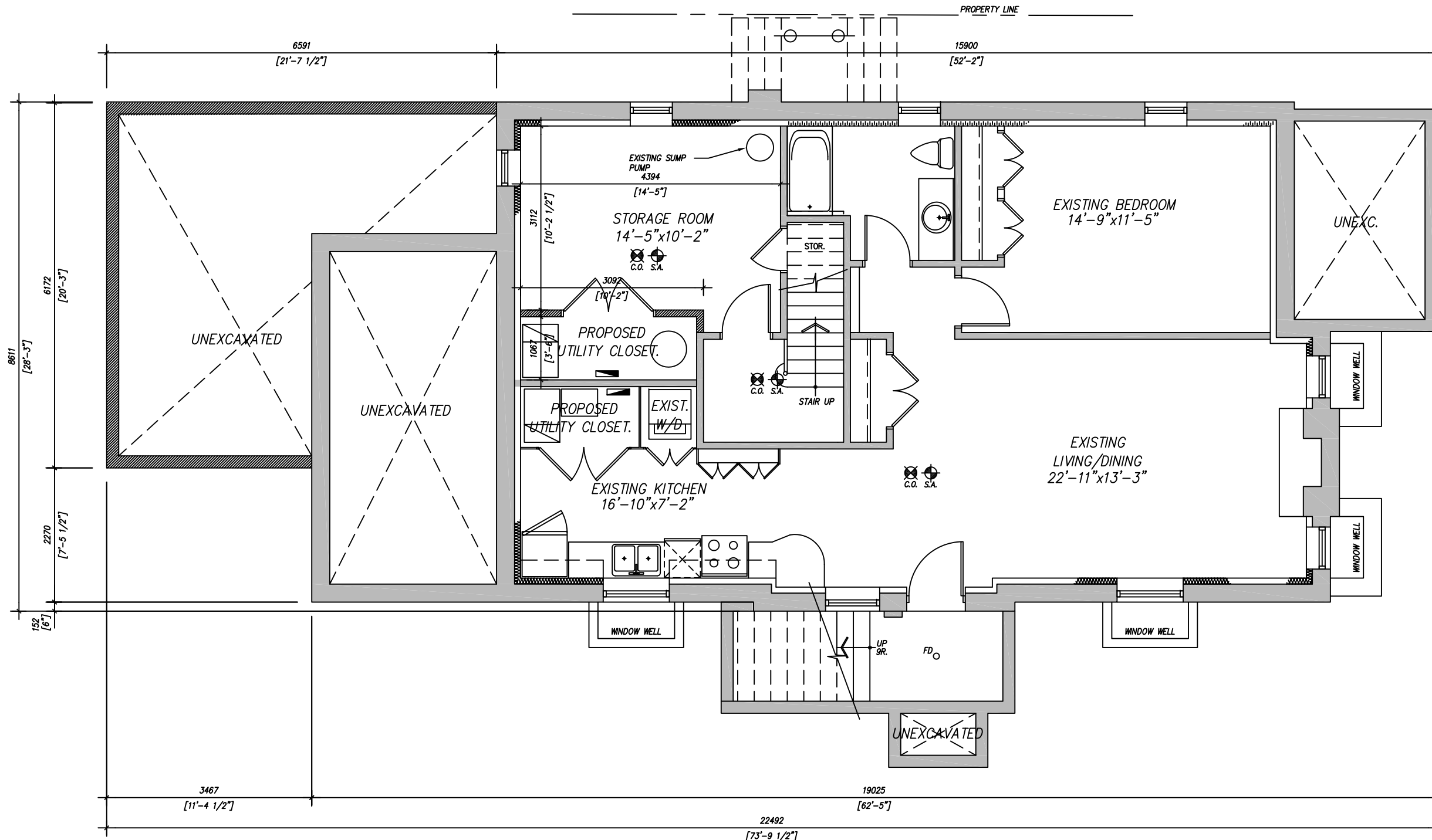
STATISTICS

SITE AREA	5404 SQ.FT.	(502 SQ.M.)	
PAVED AREA	484 SQ.FT.	(45 SQ.M.)	9.0%
COVERAGE	1885 SQ.FT.	(175 SQ.M.)	34.9%
LANDSCAPED	3035 SQ.FT.	(282 SQ.M.)	56.1%

GROUND FLOOR GROSS FLOOR AREA	1370 SQ.FT.	(127 SQ.M.)
SECOND FLOOR GROSS FLOOR AREA	632 SQ.FT.	(59 SQ.M.)
TOTAL GROSS FLOOR AREA EXCLUDING BASEMENT	2002 SQ.FT.	(186 SQ.M.)
TOTAL GROSS FLOOR AREA INCLUDING BASEMENT STORAGE	2207 SQ.FT.	(205 SQ.M.)
OTHER BASEMENT AREA	1066 SQ.FT.	(99 SQ.M.)
FLOOR SPACE INDEX/DENSITY	= 0.37	



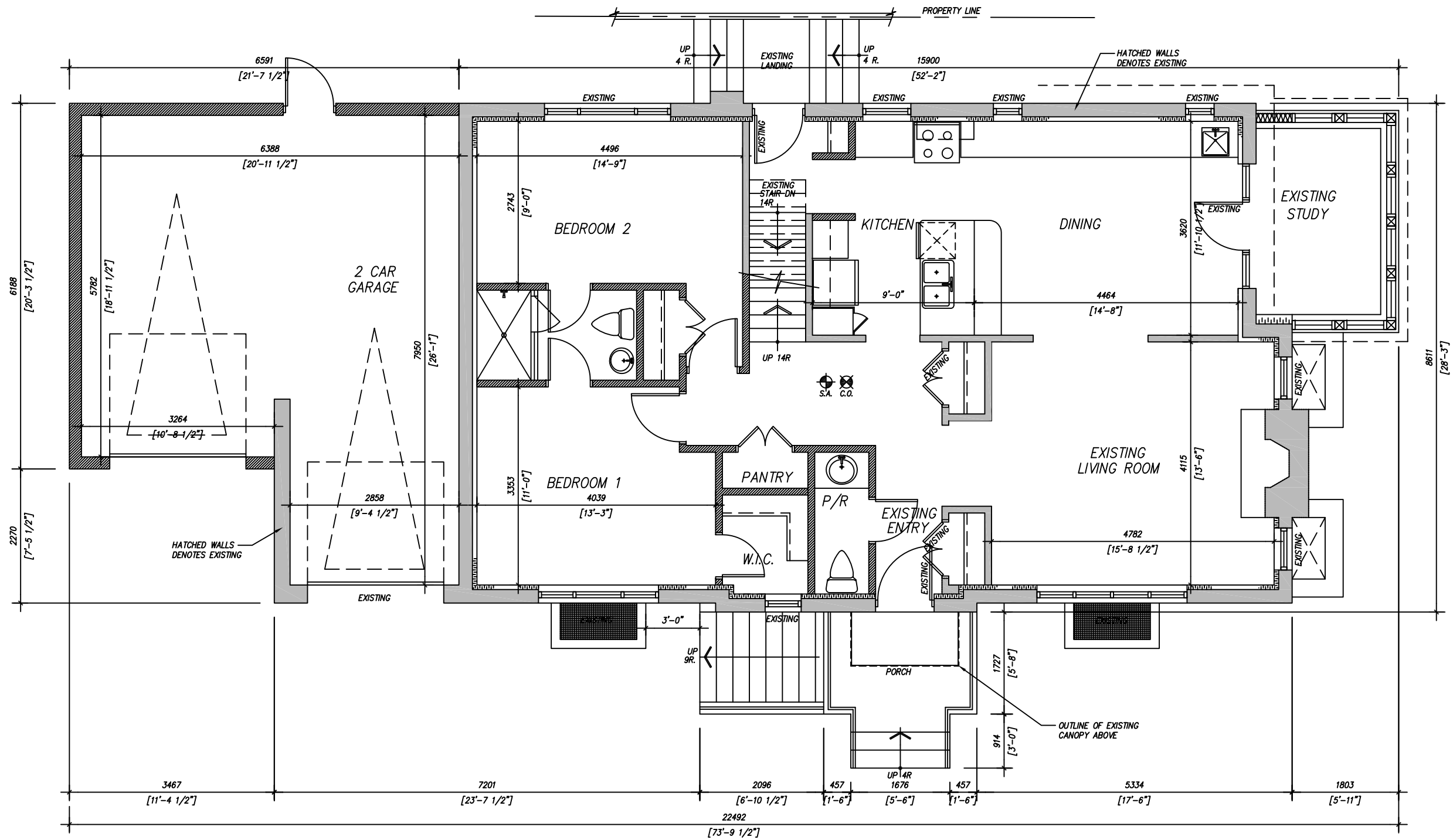
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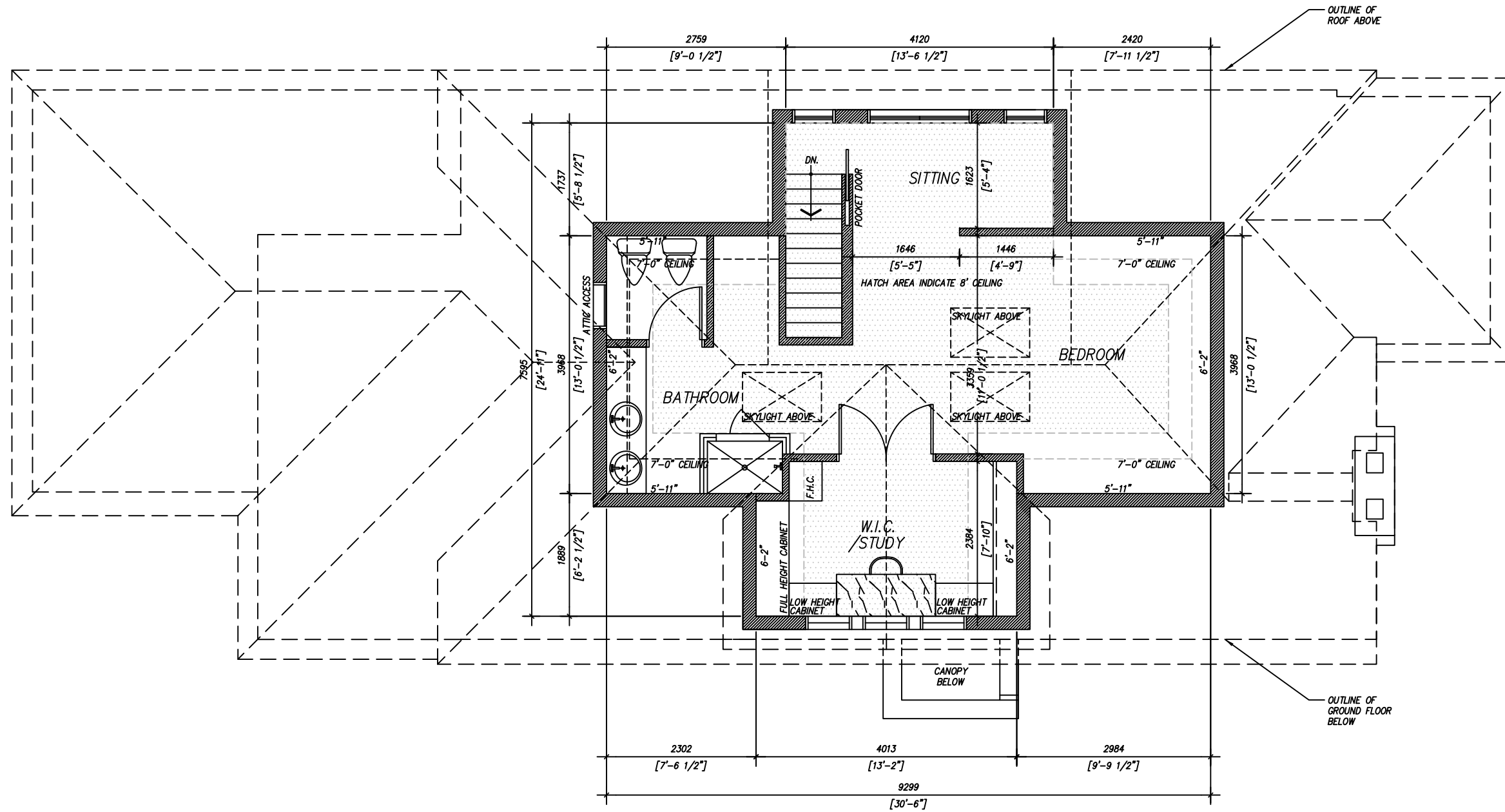
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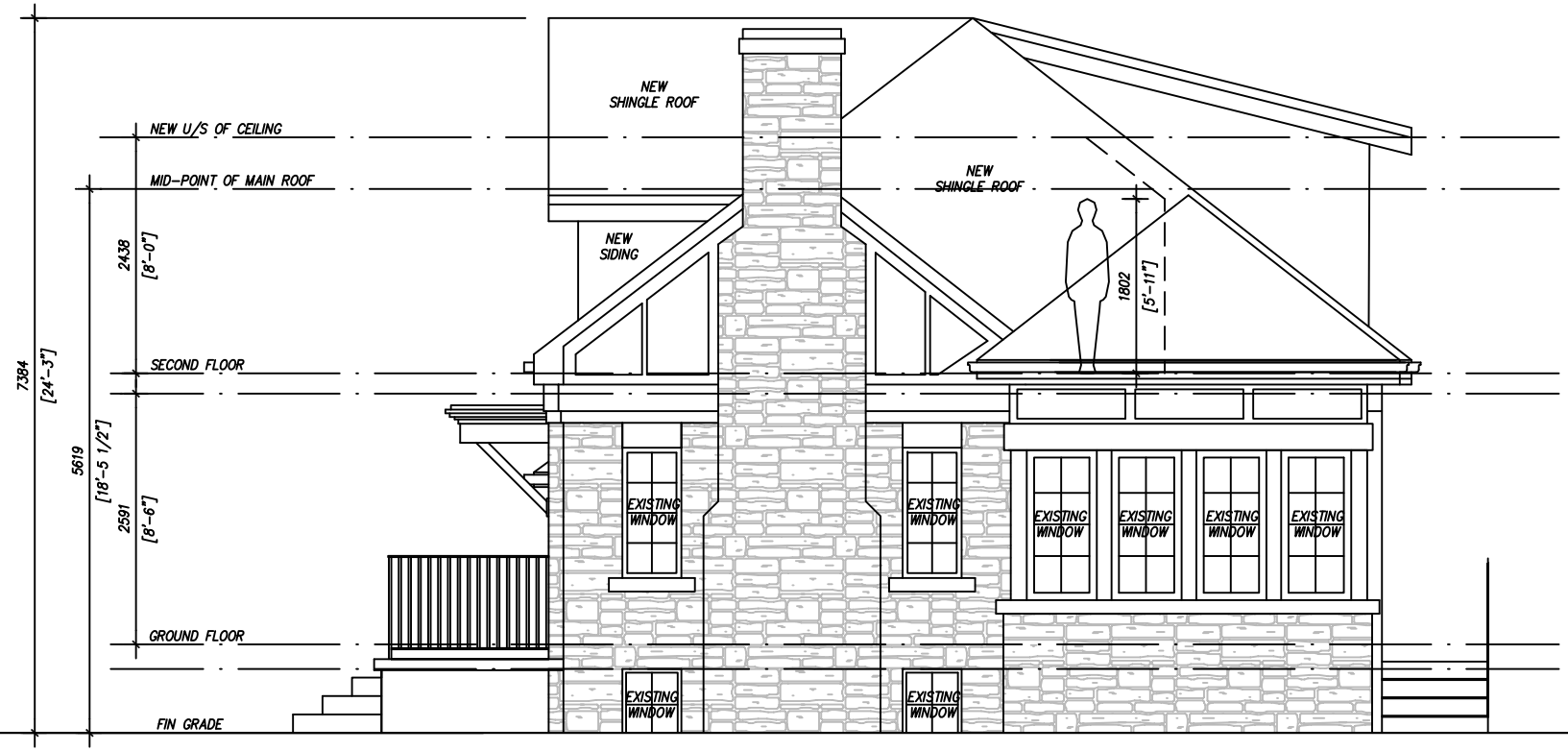
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04.046

251 GRENVIEW BOULEVARD SOUTH

ETOBICOKE, ONTARIO

SOUTH ELEVATION

A5

SCALE : 1:75

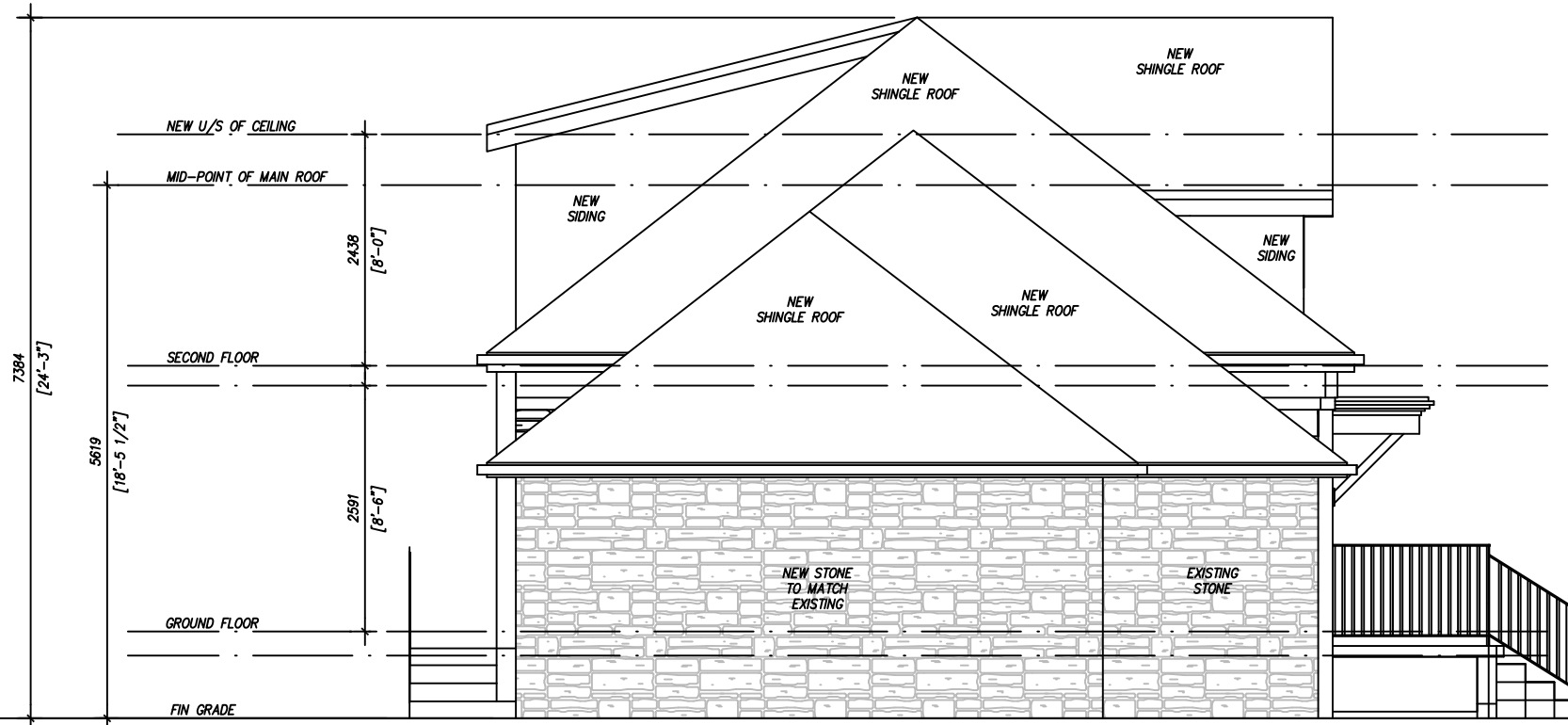
MAR. 19, 2017

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04.046

Thursday, June 1, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0013/17EYK	Zoning	RD & R2
Owner(s):	IRENA ARAPI	Ward:	Etobicoke-Lakeshore (05)
Agent:	MARIN ZABZUNI	Heritage:	Not Applicable
Property Address:	30 ATHOL AVE	Community:	
Legal Description:	PLAN M488 LOT 11		

Notice was given and the application considered on Thursday, June 1, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 1

Address to be assigned

The lot frontage is 7.61 m and the lot area is 257.26 m². The existing dwelling will be demolished and the property will be redeveloped as the site of the a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0128/17EYK.

Conveyed - Part 2

Address to be assigned

The lot frontage is 7.61 m and the lot area is 257.26 m². The existing dwelling will be demolished and the property will be redeveloped as the site of the a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0129/17EYK.

File numbers B0013/17EYK, A0128/17EYK and A012917EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division is premature.
- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number:	B0013/17EYK	Zoning	RD & R2
Owner(s):	IRENA ARAPI	Ward:	Etobicoke-Lakeshore (05)
Agent:	MARIN ZABZUNI	Heritage:	Not Applicable
Property Address:	30 ATHOL AVE	Community:	
Legal Description:	PLAN M488 LOT 11		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Thursday, June 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0128/17EYK	Zoning	RD & R2
Owner(s):	IRENA ARAPI	Ward:	Etobicoke-Lakeshore (05)
Agent:	MARIN ZABZUNI	Heritage:	Not Applicable
Property Address:	30 ATHOLAVE – PART 1	Community:	

Legal Description: PLAN M488 LOT 11

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 & Section 320-59.A.(1)**
The minimum required lot frontage is 13.5 m.
The lot frontage will be 7.61 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013 & Section 320-59.B.(1)**
The minimum required lot area is 510 m².
The lot area will be 257.24 m².
- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (84.88 m²).
Section 10.20.30.40.(1)(A), By-law 569-2013
The proposed dwelling will have a lot coverage of 42.57% of the lot area (109.51 m²).
Section 320-59.C.
The proposed dwelling will have a lot coverage of 43.66% of the lot area (112.32 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 320-42.1.A.(1)**
The maximum permitted floor space index/ gross floor area is 0.45 times the lot area (115.76 m²).
Section 10.20.40.40.(1)(A), By-law 569-2013
The proposed dwelling will have a floor space index of 1.18 times the lot area (304.74 m²).
Section 320-42.1.A.(1)
The proposed dwelling will have a gross floor area of 0.85 times the lot area (217.74 m²).

5. **Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9, provided the aggregate side yard setback is not less than 2.1 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 320-42.1.C.(1)
The proposed dwelling will be located 0.6 m from the east side lot line and 0.91 m from the west side lot line, providing an aggregate side yard setback of 1.51 m.
6. **Section 320-41.D.**
The minimum required side yard setback for eaves is 0.4 m.
The eaves of the proposed dwelling will be located 0.14 m from the east side lot line.
7. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 18.24 m.
8. **Section 320-42.1.D.(1)**
The maximum permitted dwelling depth is 16.5 m.
The proposed dwelling will have a depth of 18.24 m.
9. **Section 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
A total of 7.63 m² of the first floor will be located within 4 m of the front main wall.
10. **Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted flat roof height is 7.2 m.
Section 320-42.1.B.(2)
The maximum permitted flat roof height is 6.5 m.
Section 10.20.40.10.(4)(A), By-law 569-2013 & Section 320-42.1.B.(2)
The proposed dwelling will have a flat roof height of 9.01 m.
11. **Section 10.20.40.10.(4)(C), By-law 569-2013**
The maximum permitted number of storeys is 2.
The proposed dwelling will have 3 storeys.
12. **Section 10.5.40.60.(2)(B), By-law 569-2013**
A canopy, awning or similar structure not covering a platform may encroach a maximum of 1.5 m in to a side yard, if it is no closer to than 0.3 m to the side lot line.
The proposed overhang of the rear deck is located 0.14 m from the east side lot line.
13. **Section 320-42.E.**
The maximum projection for a deck into the required rear yard setback is 2.55 m.
The proposed deck will project 3.51 m into the required rear yard setback.

14. Section 10.5.40.60.(1)(A)(i), By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach 2.5 m into the required front yard setback, if it is no closer to a side lot line than the required side yard setback.

The proposed front porch will encroach 0.53 m into the required front yard setback and will be located 0.29 m closer to the west side lot line than the required setback.

15. Section 10.5.40.60.(1)(C), By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade, may encroach into the required rear yard setback 2.5 m, if it is no closer than 2.75 m to a side lot line.

The proposed rear deck will encroach 2.56 m into the required rear yard setback and will be located 0.6 m from the east side lot line and 0.91 m from the west side lot line.

16. Section 10.20.40.50.(1)(B), By-law 569-2013

The maximum permitted area of a platform at or above the second storey is 4 m².

The proposed second storey rear deck will have an area of 16.69 m².

17. Section 320-24.10(A)

A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (18.79 m²).

A total of 72.26% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (18.1 m²).

18. Section 10.5.50.10.(1)(B), By-law 569-2013 & Section 320-24.9(B)

A minimum of 50% of the front yard shall be maintained as landscaping (23.41 m²).

A total of 46.18% of the front yard will be maintained as landscaping (21.48 m²).

19. Section 10.5.100.1.(1)(C), By-law 569-2013

The maximum permitted driveway width is 3.51 m.

The proposed driveway will have a width of 3.82 m.

File numbers B0013/17EYK, A0128/17EYK and A0129/17EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0128/17EYK	Zoning	RD & R2
Owner:	IRENA ARAPI	Ward:	Etobicoke-Lakeshore (05)
Agent:	MARIN ZABZUNI	Heritage:	Not Applicable
Property Address:	30 ATHOL AVE – PART 1	Community:	
Legal Description:	PLAN M488 LOT 11		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0129/17EYK	Zoning	RD & R2
Owner(s):	IRENA ARAPI	Ward:	Etobicoke-Lakeshore (05)
Agent:	MARIN ZABZUNI	Heritage:	Not Applicable
Property Address:	30 ATHOL AVE – PART 2	Community:	

Legal Description: PLAN M488 LOT 11

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 & Section 320-59.A.(1)**
The minimum required lot frontage is 13.5 m.
The lot frontage will be 7.61 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013 & Section 320-59.B.(1)**
The minimum required lot area is 510 m².
The lot area will be 257.24 m².
- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (84.88 m²).
Section 10.20.30.40.(1)(A), By-law 569-2013
The proposed dwelling will have a lot coverage of 42.57% of the lot area (109.51 m²).
Section 320-59.C.
The proposed dwelling will have a lot coverage of 43.66% of the lot area (112.32 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 320-42.1.A.(1)**
The maximum permitted floor space index/ gross floor area is 0.45 times the lot area (115.76 m²).
Section 10.20.40.40.(1)(A), By-law 569-2013
The proposed dwelling will have a floor space index of 1.18 times the lot area (304.74 m²).
Section 320-42.1.A.(1)
The proposed dwelling will have a gross floor area of 0.85 times the lot area (217.74 m²).

- 5. Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9, provided the aggregate side yard setback is not less than 2.1 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 320-42.1.C.(1)
The proposed dwelling will be located 0.6 m from the west side lot line and 0.91 m from the east side lot line, providing an aggregate side yard setback of 1.51 m.
- 6. Section 320-41.D.**
The minimum required side yard setback for eaves is 0.4 m.
The eaves of the proposed dwelling will be located 0.14 m from the west side lot line.
- 7. Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 18.24 m.
- 8. Section 320-42.1.D.(1)**
The maximum permitted dwelling depth is 16.5 m.
The proposed dwelling will have a depth of 18.24 m.
- 9. Section 10.5.40.10.(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
A total of 7.63 m² of the first floor will be located within 4 m of the front main wall.
- 10. Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted flat roof height is 7.2 m.
Section 320-42.1.B.(2)
The maximum permitted flat roof height is 6.5 m.
Section 10.20.40.10.(4)(A), By-law 569-2013 & Section 320-42.1.B.(2)
The proposed dwelling will have a flat roof height of 9.01 m.
- 11. Section 10.20.40.10.(4)(C), By-law 569-2013**
The maximum permitted number of storeys is 2.
The proposed dwelling will have 3 storeys.
- 12. Section 10.5.40.60.(2)(B), By-law 569-2013**
A canopy, awning or similar structure not covering a platform may encroach a maximum of 1.5 m in to a side yard, if it is no closer to than 0.3 m to the side lot line.
The proposed overhang of the rear deck is located 0.14 m from the west side lot line.
- 13. Section 320-42.E.**
The maximum projection for a deck into the required rear yard setback is 2.55 m.
The proposed deck will project 3.51 m into the required rear yard setback.

14. Section 10.5.40.60.(1)(A)(i), By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach 2.5 m into the required front yard setback, if it is no closer to a side lot line than the required side yard setback.

The proposed front porch will encroach 0.53 m into the required front yard setback and will be located 0.29 m closer to the east side lot line than the required setback.

15. Section 10.5.40.60.(1)(C), By-law 569-2013

A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade, may encroach into the required rear yard setback 2.5 m, if it is no closer than 2.75 m to a side lot line.

The proposed rear deck will encroach 2.56 m into the required rear yard setback and will be located 0.6 m from the west side lot line and 0.91 m from the east side lot line.

16. Section 10.20.40.50.(1)(B), By-law 569-2013

The maximum permitted area of a platform at or above the second storey is 4 m².

The proposed second storey rear deck will have an area of 16.69 m².

17. Section 320-24.10(A)

A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (18.79 m²).

A total of 70.7% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (17.71 m²).

18. Section 10.5.50.10.(1)(B), By-law 569-2013 & Section 320-24.9(B)

A minimum of 50% of the front yard shall be maintained as landscaping (23.13 m²).

A total of 45.27% of the front yard will be maintained as landscaping (20.94 m²).

19. Section 10.5.100.1.(1)(C), By-law 569-2013

The maximum permitted driveway width is 3.51 m.

The proposed driveway will have a width of 3.86 m.

File numbers B0013/17EYK, A0128/17EYK and A0129/17EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0129/17EYK	Zoning	RD & R2
Owner:	IRENA ARAPI	Ward:	Etobicoke-Lakeshore (05)
Agent:	MARIN ZABZUNI	Heritage:	Not Applicable
Property Address:	30 ATHOL AVE – PART 2	Community:	
Legal Description:	PLAN M488 LOT 11		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, June 1, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0020/17EYK	Zoning	RD & R2
Owner(s):	GINO CARMOSINO	Ward:	Etobicoke-Lakeshore (06)
Agent:	GABRIEL GUIDUCCI	Heritage:	Not Applicable
Property Address:	177 HAY AVE	Community:	
Legal Description:	PLAN 831 LOT 51		

Notice was given and the application considered on Thursday, June 1, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 2

Address to be assigned

The lot frontage is 7.62 m and the lot area is 276 m². The existing dwelling will be demolished and the property will be developed as the site of a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0245/17EYK.

Conveyed - Part 1

Address to be assigned

The lot frontage is 7.62 m and the lot area is 276 m². The existing dwelling will be demolished and the property will be developed as the site of a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0244/17EYK.

File Numbers B0020/17EYK, A0244/17EYK and A0245/17EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0020/17EYK	Zoning	RD & R2
Owner(s):	GINO CARMOSINO	Ward:	Etobicoke-Lakeshore (06)
Agent:	GABRIEL GUIDUCCI	Heritage:	Not Applicable
Property Address:	177 HAY AVE	Community:	
Legal Description:	PLAN 831 LOT 51		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Thursday, June 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0244/17EYK	Zoning	RD & R2
Owner(s):	GINO CARMOSINO	Ward:	Etobicoke-Lakeshore (06)
Agent:	GABRIEL GUIDUCCI	Heritage:	Not Applicable
Property Address:	177 HAYAVE – PART 1	Community:	

Legal Description: PLAN 831 LOT 51

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.20(1)(A), By-law 569-2013 and Section 320-59.A.(1)**
The minimum required lot frontage is 13.5 m.
The proposed lot frontage is 7.62 m.
- 2. Section 10.20.30.10.(1)(A), By-law 569-2013 and Section 320-59.B.(1)**
The minimum required lot area is 510 m².
The new lot area will be 276 m².
- 3. Section 10.20.30.40(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (91.1 m²).
The lot coverage will be 37.1% of the lot area (102.4 m²).
- 4. Section 10.20.40.40(1)(A), By-law 569-2013 and Section 320-42.1.A.(2)**
The maximum permitted floor space index is 0.45 times the lot area (124.2 m²).
Section 10.20.40.40(1)(A), By-law 569-2013
The proposed dwelling will have a floor space index (including the basement area) of 1 times the lot area (280.1 m²)
Section 320-42.1.A.(2)
The proposed dwelling will have a floor space index of 0.74 times the lot area (204.4 m²).

5. **Section 10.20.40.70(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9 m and the aggregate width of both side yards shall not equal less than 2.1 m.
Section 10.20.40.70(3)(C), By-law 569-2013 and Section 320-42.1.C.(1)
The new dwelling will be located 0.61 m from the east side lot line and 0.91 m from the west side lot line and will a total aggregate side yard width of 1.52 m.
6. **Section 320-41.D**
The minimum required side yard setback for eaves is 0.4 m.
The eaves/roof projection of the proposed dwelling will be located 0.31 m from the east side lot line.
7. **Section 10.20.40.10(6), By-law 569-2013**
The maximum permitted finished first floor height is 1.2 m.
The proposed finished first floor height is 2.84 m.
8. **Section 10.20.40.10(2)(A), By-law 569-2013**
The maximum permitted height of a specified pair of main walls is 7 m.
The walls of the proposed dwelling will be 8.84 m in height.
9. **Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The proposed dwelling will have a soffit height of 8.23 m.
10. **Section 320-42.1.D.(1)**
The maximum permitted dwelling depth is 16.5 m.
The proposed dwelling will have a depth of 16.99 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0020/17EYK.**

2. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

3. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
4. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
5. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 5.1 Submit a revised Site Plan in metric units (1:200 or 1:250) with the following revisions and notations:
 - a. Illustrate removal of existing mature tree, for the proposed driveway to the integral garage of the proposed dwelling on Part Lot 2, after approval from the City's Parks, Forestry and Recreation Division;
 - b. Illustrate the redundant portion of the existing driveway that is being removed within the Hay Avenue road allowance as being restored with sod and poured raised concrete curb according to City of Toronto Design Standard No. T-600.11-1.
 - 5.2 Add the following notations to the Site Plan:
 - a. "The applicant must obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating the proposed driveways and the associated depressed curb cuts within or encroaching into the municipal road allowance."
 - b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed driveways and depressed curb cuts prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements.

SIGNATURE PAGE

File Number:	A0244/17EYK	Zoning	RD & R2
Owner:	GINO CARMOSINO	Ward:	Etobicoke-Lakeshore (06)
Agent:	GABRIEL GUIDUCCI	Heritage:	Not Applicable
Property Address:	177 HAY AVE – PART 1	Community:	
Legal Description:	PLAN 831 LOT 51		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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CITY OF TORONTO
 COMMITTEE OF ADJUSTMENT
 ETOBICOKE YORK DISTRICT

REVISED
APR 03, 2017

General Note:

This drawing, as an instrument of service, is provided by and is the property of the DESIGNER. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the DESIGNER of any variations from the supplied Construction must conform to all applicable codes and requirements of authorities having jurisdiction. This drawing is not to be scaled.

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NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION GEOMETRA DESIGN LIMITED

AREA CALCULATION PART1	
----- OUTLINE	
MUD ROOM AREA:	75 Sq.ft.
GROUND FLOOR:	1,102 Sq.ft.
SECOND FLOOR:	1,098 Sq.ft.
TOTAL AREA (GFA) :	2,275 Sq.ft.
TOTAL AREA (GFA) :	211.35 Sq.M.
HOUSE COVERAGE :	1,102 Sq.ft.
PORCH COVERAGE :	0.0 Sq.M.
TOTAL COVERAGE :	1,102 Sq.ft.
TOTAL COVERAGE :	102.40 Sq.M.

The undersigned has reviewed and takes responsibility for this design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4. of the building code

GABRIELE GUIDUCCI	21369
NAME	SIGNATURE
	BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4. of the building code

GEOMETRA DESIGN LTD	27735
NAME	BCIN

- A1 TITLE SHEET
- A2 SITE PLANNING DATA
- A3 SITE PLAN
 - BASEMENT FLOOR PLAN
 - GROUND FLOOR PLAN
 - SECOND FLOOR PLAN
 - ROOF PLAN
 - FRONT ELEVATION
 - REAR ELEVATION
 - EAST SIDE ELEVATION
 - WEST SIDE ELEVATION

177 HAY AVENUE, PART1

TORONTO, ONTARIO

JOB # 2016-39

GEOMETRA DESIGN

p. 416.927.9848
 www.geometradesign.com

REVISIONS:	DATE	DWN	CHK	REVISIONS:	DATE	DWN	CHK
1. ISSUED FOR ZC	JAN. 30/2017	GG	GG				
2. RE- ISSUED FOR ZC	FEB. 16/2017	GG	GG				
3. REV'D AS PER PLANNER COMM.	MAR. 15/2017	GG	GG				
4. RE- ISSUED FOR ZC	MAR. 16/2017	GG	GG				

A1

ADDRESS:-

177 HAY STREET- PART1

SURVEYING NOTE:-

LOT 51 RP 831
CITY OF TORONTO
(FORMERLY CITY OF ETOBICOKE)

FRONT YARD LANDSCAPE PART 1	
TOTAL FRONT YARD DRIVEWAY	52.80 m2
PORCH (ALLOWABLE ENCHROACHMENT)	20.71 m2
	2.75 m2
TOTAL FRONT YARD LANDSCAPE	29.34 m2
STEPS WALKWAY COVERAGE	5.15 m2
PROPOSED SOFT LANDSCAPE (82.4%)	24.19 m2
REQ'D SOFT LANDSCAPE (75%)	22.00 m2

SITE PLANNING DATA:-

R2 RD (f13.5, a 510, d0.45)	BY LAW DATA:	PROPOSED DATA:
MIN. LOT AREA:	510.0 m2 (5,489 ft2)	276.0 m2 (2,970 ft2)
MIN. LOT FRONTAGE:	13.50 m (44'-4")	7.62 m (25'-0")
LOT COVERAGE	91.08 m2 ^① (980 ft2)	102.40 m2 ^① (1,102 ft2)
MAX. COVERAGE (%):	33.00 %	37.1 %
FLOOR AREA:	124.2 m2 (1,337 ft2)	211.35 m2 (2,275 ft2)
MAX. FLOOR SPACE INDEX :	0.45	0.76
FRONT YARD SETBACK :	6.93 m (22'-9")	6.93 m (22'-9")
SIDE YARD SETBACK (EAST) :	0.90 m (3'-0")	0.61 m (2'-0")
SIDE YARD SETBACK (WEST) :	0.90 m (3'-0")	0.91 m (3'-0")
AGGREGATE:	2.10 m (6'-11")	1.52 m (5'-0")
BUILDING LENGTH:	17.00 m (55'-9")	16.99 m (55'-9")
BUILDING DEPTH:	19.00 m ^① (62'-33")	16.99 m ^① (55'-9")
BUILDING DEPTH:	R2 16.50 m (54'-2")	16.99 m (55'-9")
REAR YARD SETBACK:	9.06 m ^② (29'-9")	12.32 m ^② (40'-5")
AVERAGE GRADE:	98.94	98.94
FIRST FLOOR HEIGHT:	1.20 m (4'-0")	2.84 m (9'-4")
BUILDING HEIGHT:	9.50 m (31'-2")	9.47 m (31'-1")
MAIN WALL HEIGHT:	7.00 m (23'-0")	8.84 m (29'-0")
EAVES HEIGHT:	R2 6.50 m (21'-4")	8.23 m (27'-0")
EAVES SETBACK:	0.4 m (1'-4")	0.3 m (1'-0")

① MEASURED FROM THE MINIMUM FRONT YARD SETBACK
② 25% LOT DEPTH OR 7.5m WHICHEVER IS GREATER

SITE PLAN LEGEND:

■	CATCH BASIN
⊕	HYDRANT
⊗	VALVE AND CHAMBER
*	ENGINEERED FILL LOT
⊕	DOMESTIC WATER CONNECTION
○ S/L	STREET LIGHT
●	HYDRO POLE
→	SLOPE DIRECTION
	PROPOSED BERM
123.23	EXT'G GRADE ELEVATION
123.35	PROPOSED GRADE ELEVATION
HP	HIGH POINT
FFE	FINISH MAIN FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDER SIDE OF FOOTING
R	STAIR RISERS

The undersigned has reviewed and takes responsibility for this design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 2.17.5.1. of the building code

GABRIELE GUIDUCCI

BCIN 21369

REGISTRATION INFORMATION

Required unless design is exempt under 2.17.4.1. of the building code

GEOMETRA DESIGN LTD

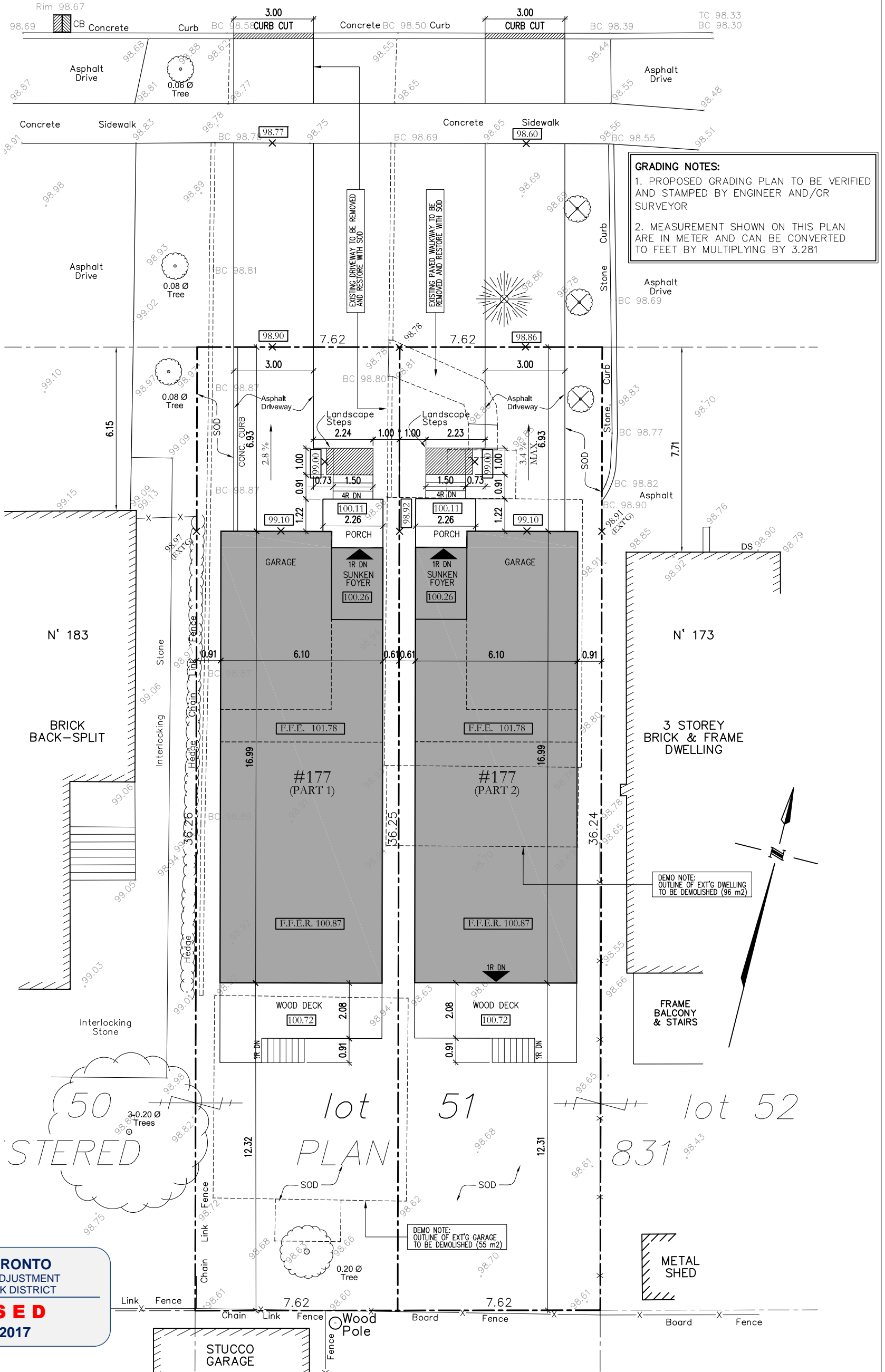
BCIN 27735

REVISIONS:

	DATE	DWN	CHK
1. ISSUED FOR CITY REVIEW	JAN. 30/2017	GG	GG
2. RE- ISSUED FOR ZC	FEB. 16/2017	GG	GG
3. REV'D AS PER PLANNER COMM.	MAR. 15/2017	GG	GG
4. RE- ISSUED FOR ZC	MAR. 16/2017	GG	GG

A2

HAY AVENUE



GRADING NOTES:

1. PROPOSED GRADING PLAN TO BE VERIFIED AND STAMPED BY ENGINEER AND/OR SURVEYOR
2. MEASUREMENT SHOWN ON THIS PLAN ARE IN METER AND CAN BE CONVERTED TO FEET BY MULTIPLYING BY 3.281

DEMO NOTE:
OUTLINE OF EXT'G DWELLING
TO BE DEMOLISHED (96 m²)

DEMO NOTE:
OUTLINE OF EXT'G GARAGE
TO BE DEMOLISHED (55 m²)

CITY OF TORONTO
COMMITTEE OF ADJUSTMENT
ETOBICOKE YORK DISTRICT
REVISED
APR 03, 2017

SURVEY REFERENCE
REFER TO ORIGINAL LEGAL SURVEY/ TOPOGRAPHICAL
PLAN PROVIDED BY L.S.G., O.L.S. DATED DEC. 12, 2016

1 SITE PLAN
A3 SCALE: 1:150

NOTE TO BUILDER
THE BUILDER SHALL CHECK SERVICE INVERTS
PRIOR TO POURING FOOTINGS

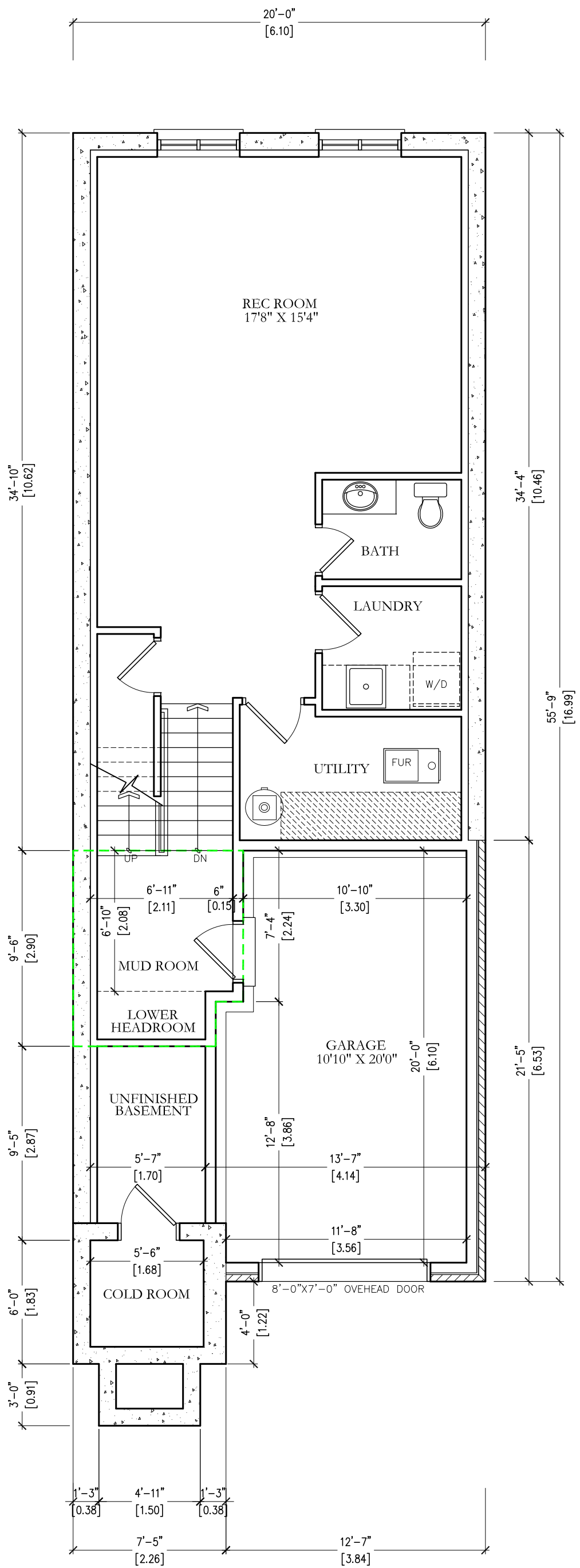
The undersigned has reviewed and takes responsibility for this design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1. of the building code
GABRIELE GUIDUCCI BCIN 21369

REGISTRATION INFORMATION
Required unless design is exempt under 2.17.4.1. of the building code
GEOMETRA DESIGN LTD BCIN 27735

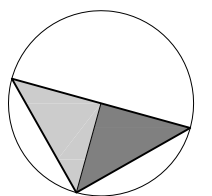
REVISIONS:	DATE	DWN	CHK
1. ISSUED FOR CITY REVIEW	JAN. 11/2017	GG	GG
2. RE- ISSUED FOR ZC	FEB. 16/2017	GG	GG
3. REV'D AS PER PLANNER COMM.	MAR. 15/2017	GG	GG
4. RE- ISSUED FOR ZC	MAR. 16/2017	GG	GG

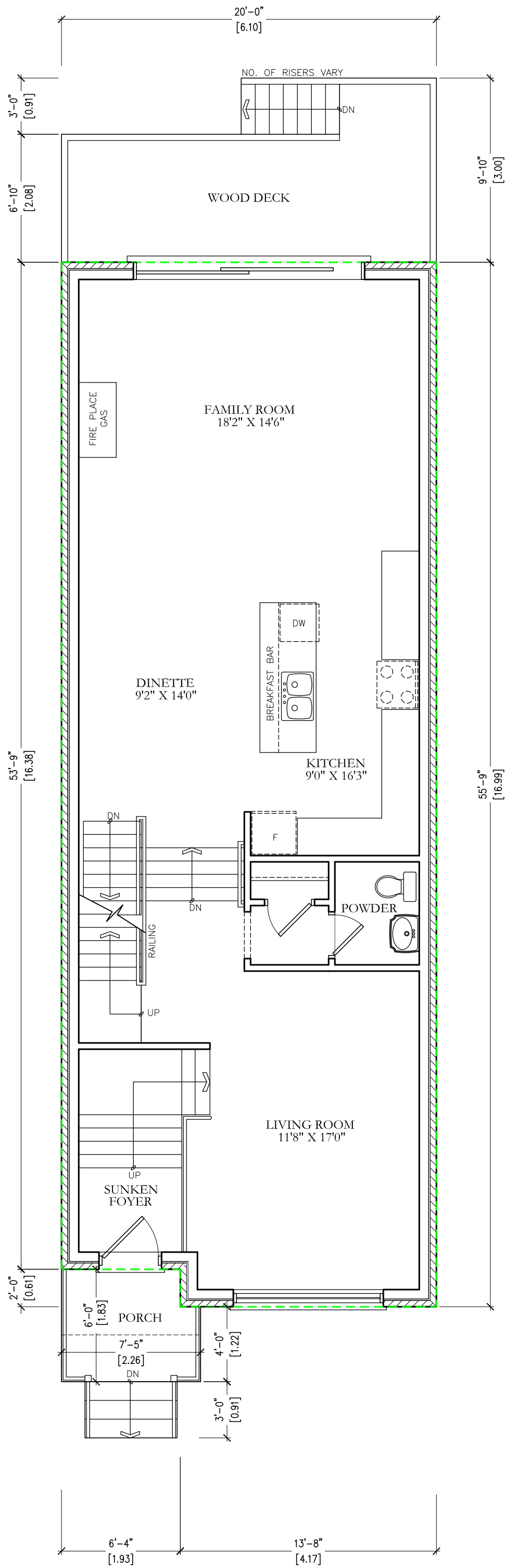
A3



BASEMENT FLOOR PART1

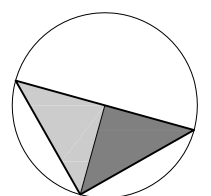
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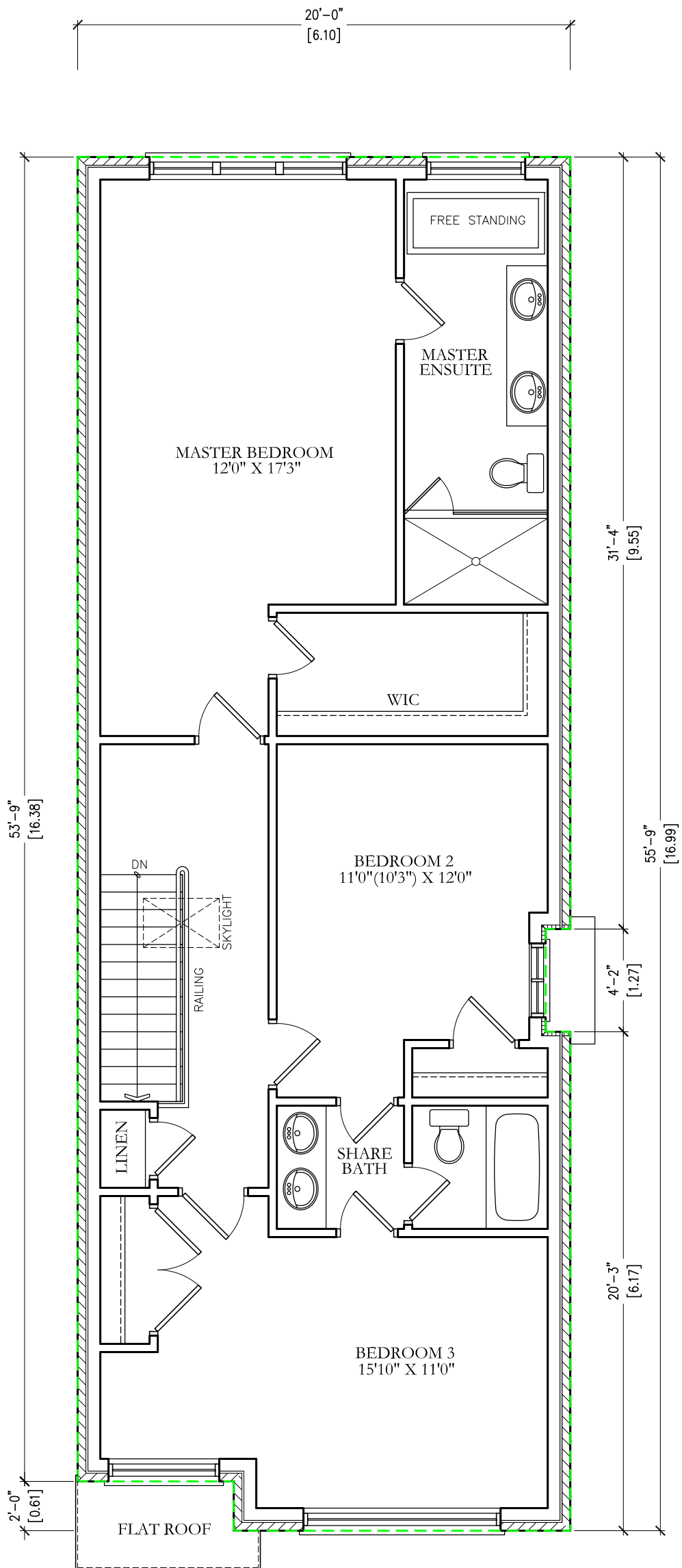




GROUND FLOOR PART1

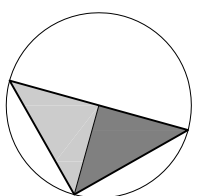
SCALE 3/16"=1'-0"

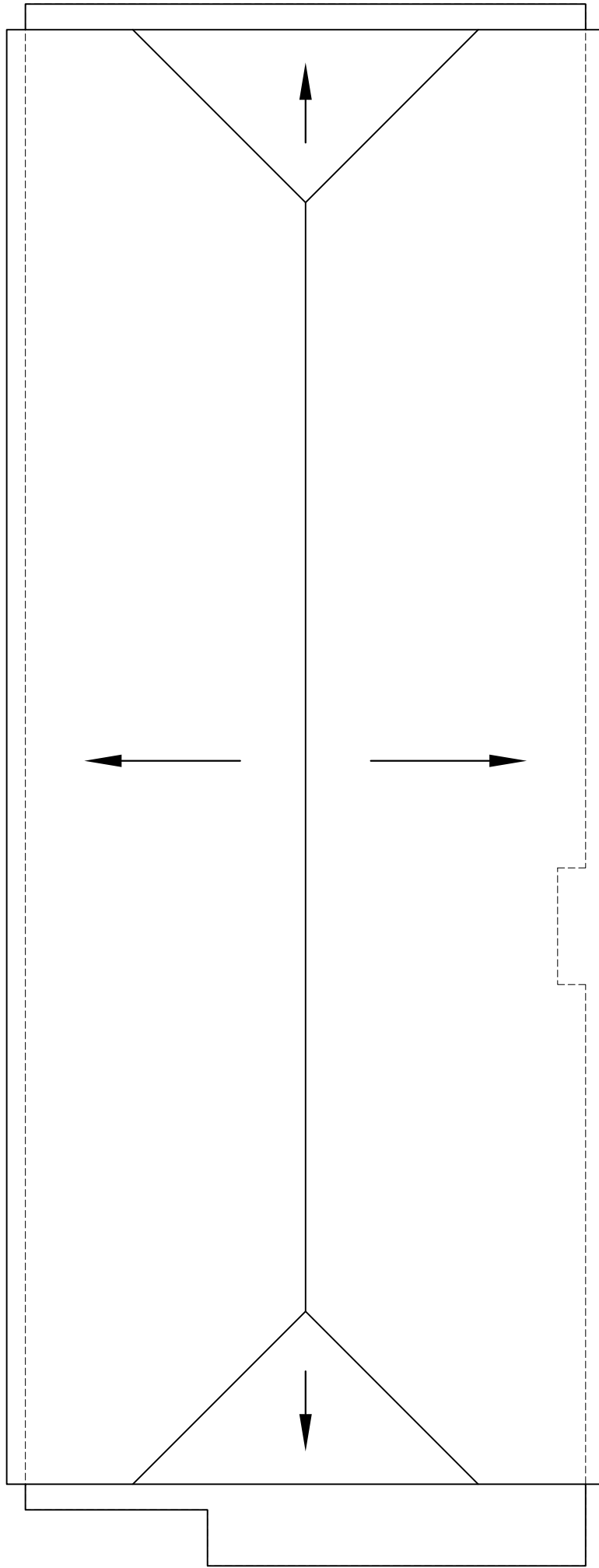




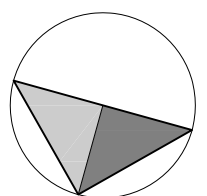
SECOND FLOOR PART1

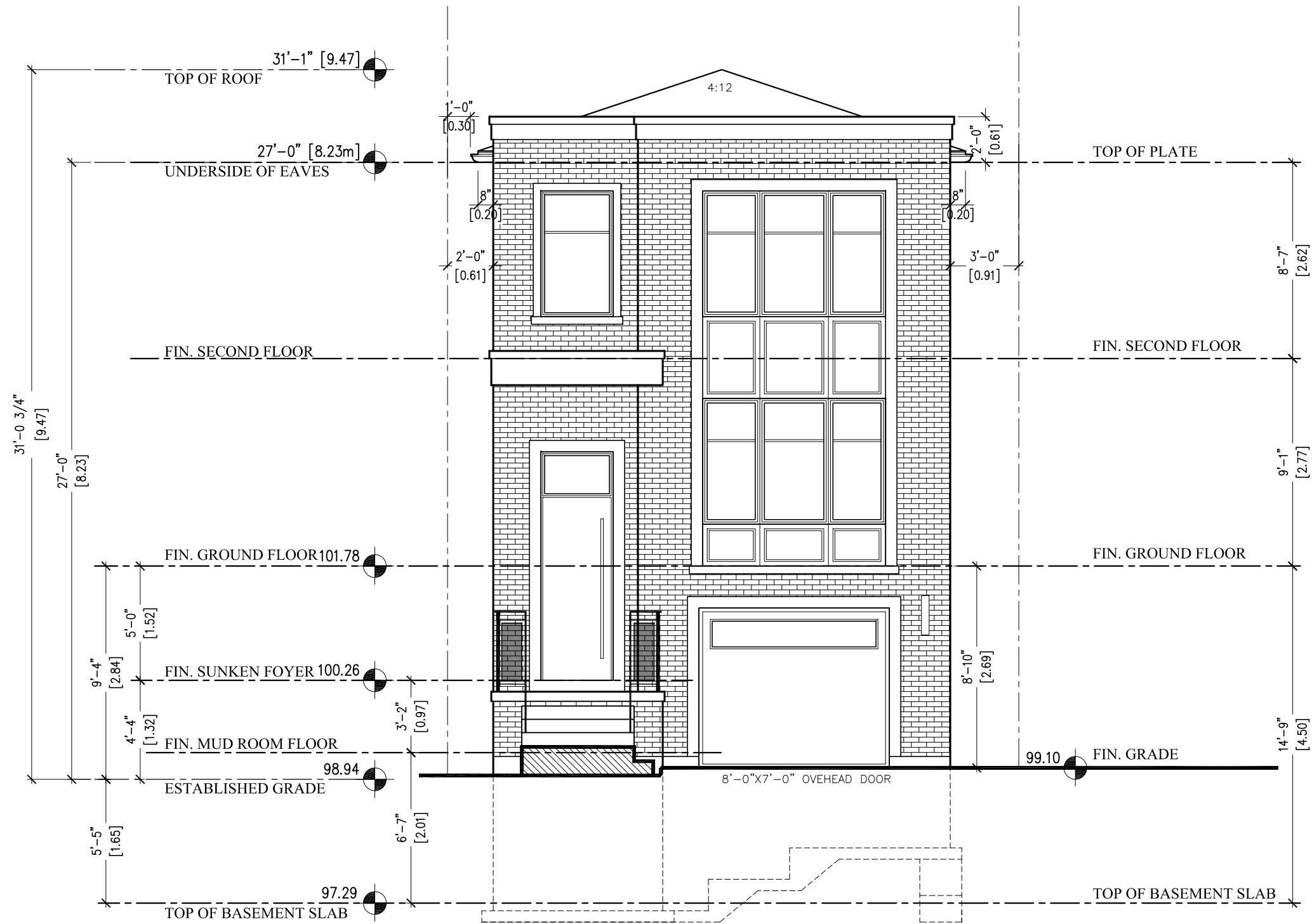
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ROOF PLAN PART1
SCALE 3/16"=1'-0"

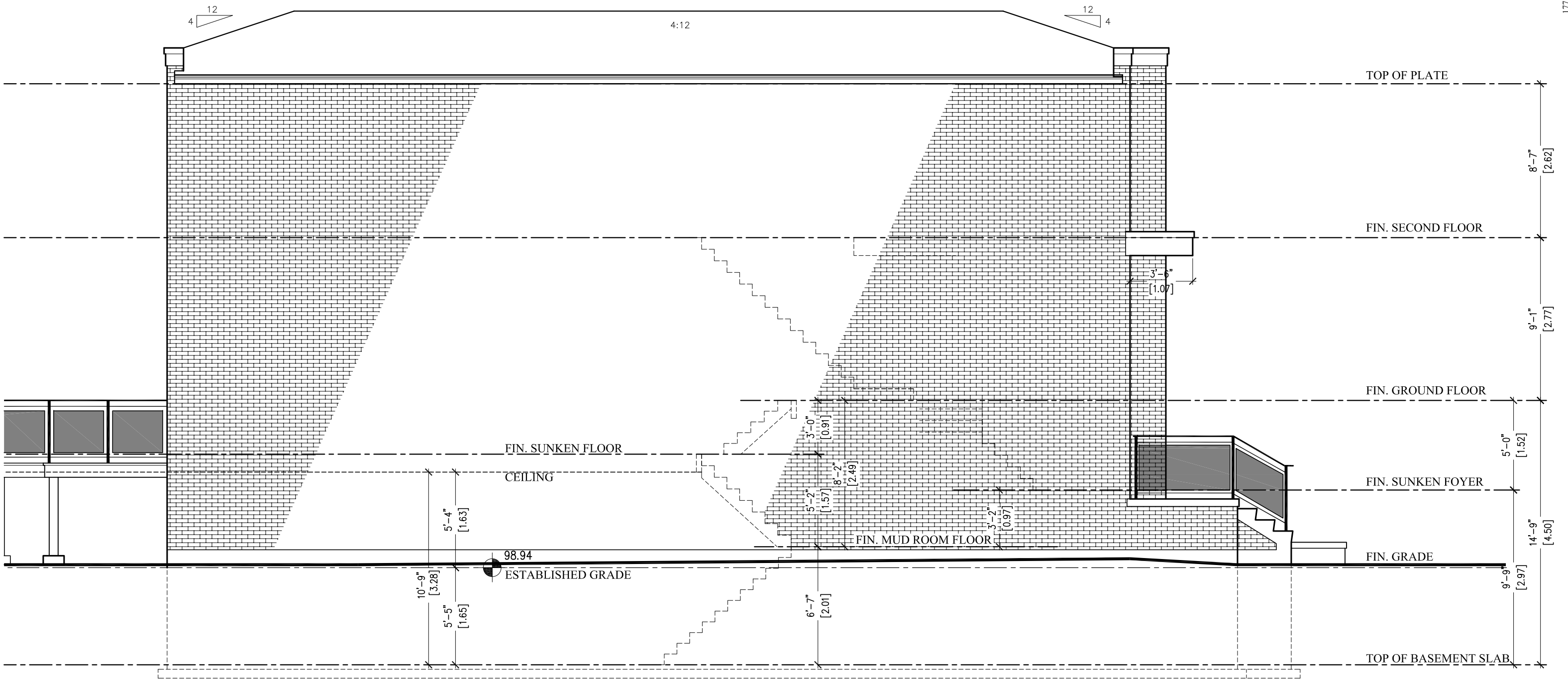




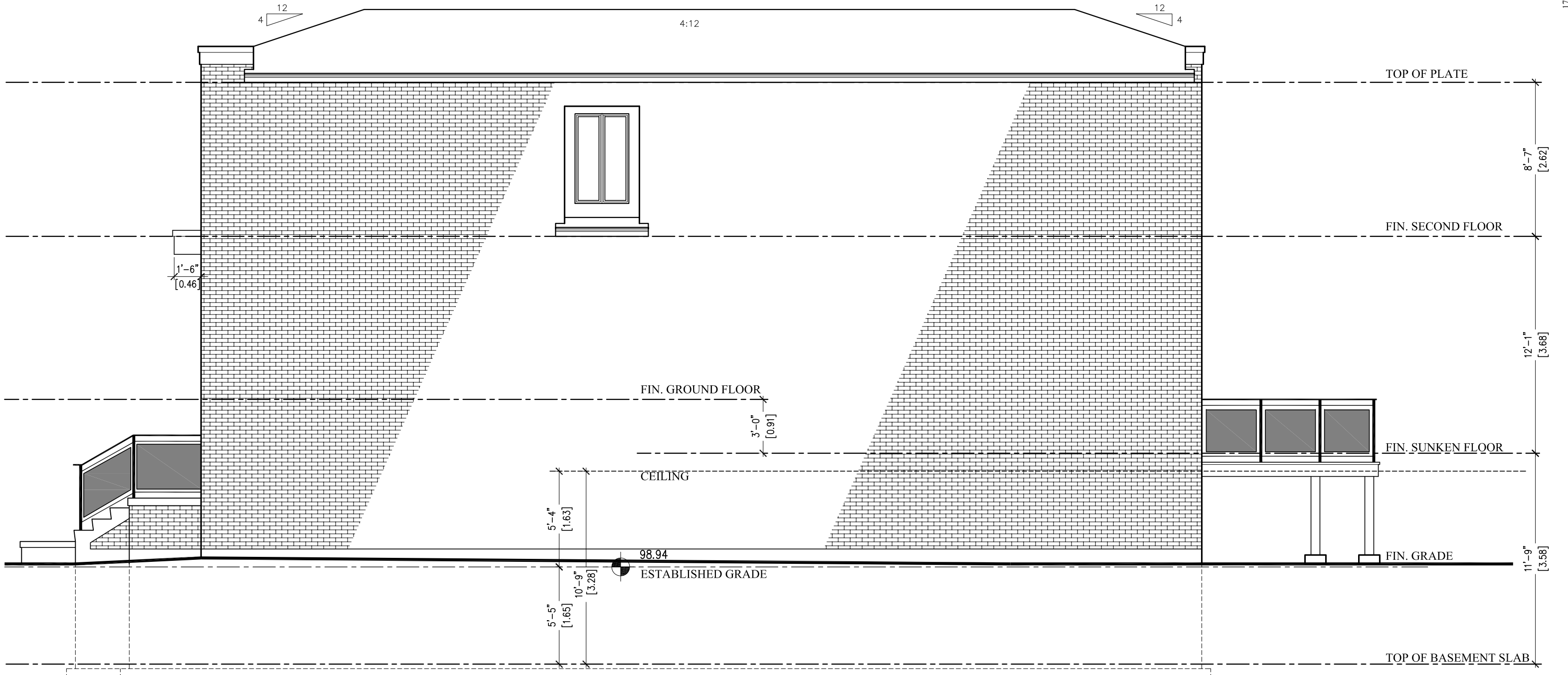
FRONT ELEVATION PART 1
 3/16"=1'-0"



REAR ELEVATION PART1 (SOUTH)
 3/16"=1'-0"



EAST ELEVATION PART1
3/16"=1'-0"



WEST ELEVATION PART1
3/16"=1'-0"

Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0245/17EYK	Zoning	RD & R2
Owner(s):	GINO CARMOSINO	Ward:	Etobicoke-Lakeshore (06)
Agent:	GABRIEL GUIDUCCI	Heritage:	Not Applicable
Property Address:	177 HAY AVE – PART 2	Community:	

Legal Description: PLAN 831 LOT 51

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20(1)(A), By-law 569-2013 and Section 320-59.A.(1)**
The minimum required lot frontage is 13.5 m.
The proposed lot frontage is 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013 and Section 320-59.B.(1)**
The minimum required lot area is 510 m².
The new lot area will be 276 m².
- Section 10.20.30.40(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (91.1 m²).
The lot coverage will be 37.4% of the lot area (103.2 m²).
- Section 10.20.40.40(1)(A), By-law 569-2013 and Section 320-42.1.A.(2)**
The maximum permitted floor space index is 0.45 times the lot area (124.2 m²).
Section 10.20.40.40(1)(A), By-law 569-2013
The proposed dwelling will have a floor space index (including the basement area) of 1 times the lot area (281.3 m²)
Section 320-42.1.A.(2)
The proposed dwelling will have a floor space index of 0.74 times the lot area (205.6 m²).

5. **Section 10.20.40.70(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9 m and the aggregate width of both side yards shall not equal less than 2.1 m.
Section 10.20.40.70(3)(C), By-law 569-2013 and Section 320-42.1.C.(1)
The new dwelling will be located 0.61 m from the west side lot line and 0.91 m from the east side lot line and will a total aggregate side yard width of 1.52 m.
6. **Section 320-41.D**
The minimum required side yard setback for eaves is 0.4 m.
The eaves/roof projection of the proposed dwelling will be located 0.31 m from the west side lot line.
7. **Section 10.20.40.10(6), By-law 569-2013**
The maximum permitted finished first floor height is 1.2 m.
The proposed finished first floor height is 2.84 m.
8. **Section 10.20.40.10(2)(A), By-law 569-2013**
The maximum permitted height of a specified pair of main walls is 7 m.
The walls of the proposed dwelling will be 8.84 m in height.
9. **Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The proposed dwelling will have a soffit height of 8.23 m.
10. **Section 320-42.1.D.(1)**
The maximum permitted dwelling depth is 16.5 m.
The proposed dwelling will have a depth of 16.99 m.

File Numbers B0020/17EYK, A0244/17EYK and A0245/17EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0020/17EYK.**

2. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

3. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
4. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
5. The following conditions shall be fulfilled to the satisfaction of the Engineering and Construction Services Division:
 - 5.1 Submit a revised Site Plan in metric units (1:200 or 1:250) with the following revisions and notations:
 - a. Illustrate removal of existing mature tree, for the proposed driveway to the integral garage of the proposed dwelling on Part Lot 2, after approval from the City's Parks, Forestry and Recreation Division;
 - b. Illustrate the redundant portion of the existing driveway that is being removed within the Hay Avenue road allowance as being restored with sod and poured raised concrete curb according to City of Toronto Design Standard No. T-600.11-1.
 - 5.2 Add the following notations to the Site Plan:
 - a. "The applicant must obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating the proposed driveways and the associated depressed curb cuts within or encroaching into the municipal road allowance."
 - b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed driveways and depressed curb cuts prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements.

SIGNATURE PAGE

File Number:	A0245/17EYK	Zoning	RD & R2
Owner:	GINO CARMOSINO	Ward:	Etobicoke-Lakeshore (06)
Agent:	GABRIEL GUIDUCCI	Heritage:	Not Applicable
Property Address:	177 HAY AVE – PART 2	Community:	
Legal Description:	PLAN 831 LOT 51		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

CITY OF TORONTO
 COMMITTEE OF ADJUSTMENT
 ETOBICOKE YORK DISTRICT

REVISED
APR 03, 2017

General Note:

This drawing, as an instrument of service, is provided by and is the property of the DESIGNER. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify the DESIGNER of any variations from the supplied Construction must conform to all applicable codes and requirements of authorities having jurisdiction. This drawing is not to be scaled.

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AREA CALCULATION PART2	
----- OUTLINE	
MUD ROOM AREA:	75 Sq.ft.
GROUND FLOOR:	1,102 Sq.ft.
SECOND FLOOR:	1,111 Sq.ft.
TOTAL AREA (GFA) :	2,288 Sq.ft.
TOTAL AREA (GFA) :	212.56 Sq.M.
HOUSE COVERAGE :	1,115 Sq.ft.
PORCH COVERAGE :	0.0 Sq.M.
TOTAL COVERAGE :	1,115 Sq.ft.
TOTAL COVERAGE :	103.59 Sq.M.

The undersigned has reviewed and takes responsibility for this design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 3.2.4. of the building code

GABRIELE GUIDUCCI	21369
NAME	SIGNATURE
	BCIN

REGISTRATION INFORMATION

Required unless design is exempt under 3.2.4. of the building code

GEOMETRA DESIGN LTD	27735
NAME	BCIN

- A1 TITLE SHEET
- A2 SITE PLANNING DATA
- A3 SITE PLAN
 - BASEMENT FLOOR PLAN
 - GROUND FLOOR PLAN
 - SECOND FLOOR PLAN
 - ROOF PLAN
 - FRONT ELEVATION
 - REAR ELEVATION
 - WEST SIDE ELEVATION
 - EAST SIDE ELEVATION

177 HAY AVENUE, PART2

TORONTO, ONTARIO

JOB # 2016-39

GEOMETRA DESIGN

p. 416.927.9848
 www.geometradesign.com

REVISIONS:				REVISIONS:			
	DATE	DWN	CHK		DATE	DWN	CHK
1. ISSUED FOR ZC	JAN. 30/2017	GG	GG				
2. RE- ISSUED FOR ZC	FEB. 16/2017	GG	GG				
3. REV'D AS PER PLANNER COMM.	MAR. 15/2017	GG	GG				
4. RE- ISSUED FOR ZC	MAR. 16/2017	GG	GG				

A1

ADDRESS:-

177 HAY STREET- PART2
SURVEYING NOTE:-

LOT 51 RP 831
 CITY OF TORONTO
 (FORMERLY CITY OF ETOBICOKE)

FRONT YARD LANDSCAPE PART 2	
TOTAL FRONT YARD	52.80 m ²
DRIVEWAY	20.71 m ²
PORCH (ALLOWABLE ENCHROACHMENT)	2.75 m ²
TOTAL FRONT YARD LANDSCAPE	29.34 m ²
STEPS WALKWAY COVERAGE	5.15 m ²
PROPOSED SOFT LANDSCAPE (82.4%)	24.19 m ²
REQ'D SOFT LANDSCAPE (75%)	22.00 m ²

SITE PLANNING DATA:-

R2 RD (f13.5, a 510, d0.45)	BY LAW DATA:	PROPOSED DATA:
MIN. LOT AREA:	510.0 m ² (5,489 ft ²)	276.0 m ² (2,970 ft ²)
MIN. LOT FRONTAGE:	13.50 m (44'-4")	7.62 m (25'-0")
LOT COVERAGE	91.08 m ² ① (980 ft ²)	103.59 m ² ① (1,115 ft ²)
MAX. COVERAGE (%):	33.00 %	37.5 %
FLOOR AREA:	124.2 m ² (1,337 ft ²)	211.35 m ² (2,275 ft ²)
MAX. FLOOR SPACE INDEX :	0.45	0.76
FRONT YARD SETBACK :	6.93 m (22'-9")	6.93 m (22'-9")
SIDE YARD SETBACK (EAST):	0.90 m (3'-0")	0.91 m (3'-0")
SIDE YARD SETBACK (WEST):	0.90 m (3'-0")	0.61 m (2'-0")
AGGREGATE:	2.10 m (6'-11")	1.52 m (5'-0")
BUILDING LENGTH:	17.00 m (55'-9")	16.99 m (55'-9")
BUILDING DEPTH:	19.00 m① (62'-33")	16.99 m① (55'-9")
BUILDING DEPTH:	R2 16.50 m (54'-2")	16.99 m (55'-9")
REAR YARD SETBACK:	9.06 m② (29'-9")	12.31 m (40'-4")
AVERAGE GRADE:	98.94	98.94
FIRST FLOOR HEIGHT:	1.20 m (4'-0")	2.84 m (9'-4")
BUILDING HEIGHT:	9.50 m (31'-2")	9.47 m (31'-1")
MAIN WALL HEIGHT:	7.00 m (23'-0")	8.84 m (29'-0")
EAVES HEIGHT:	R2 6.50 m (21'-4")	8.23 m (27'-0")
EAVES SETBACK:	0.4 m (1'-4")	0.3 m (1'-0")

① MEASURED FROM THE MINIMUM FRONT YARD SETBACK
 ② 25% LOT DEPTH OR 7.5m WHICHEVER IS GREATER

SITE PLAN LEGEND:

■	CATCH BASIN
⊕	HYDRANT
⊗	VALVE AND CHAMBER
*	ENGINEERED FILL LOT
⊕	DOMESTIC WATER CONNECTION
○ S/L	STREET LIGHT
●	HYDRO POLE
→	SLOPE DIRECTION
	PROPOSED BERM
123.23	EXT'G GRADE ELEVATION
123.35	PROPOSED GRADE ELEVATION
HP	HIGH POINT
FFE	FINISH MAIN FLOOR ELEVATION
TFW	TOP OF FOUNDATION WALL
TBS	TOP OF BASEMENT SLAB
USF	UNDER SIDE OF FOOTING
R	STAIR RISERS

The undersigned has reviewed and takes responsibility for this design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

Required unless design is exempt under 2.17.5.1. of the building code
 GABRIELE GUIDUCCI BCIN 21369

REGISTRATION INFORMATION

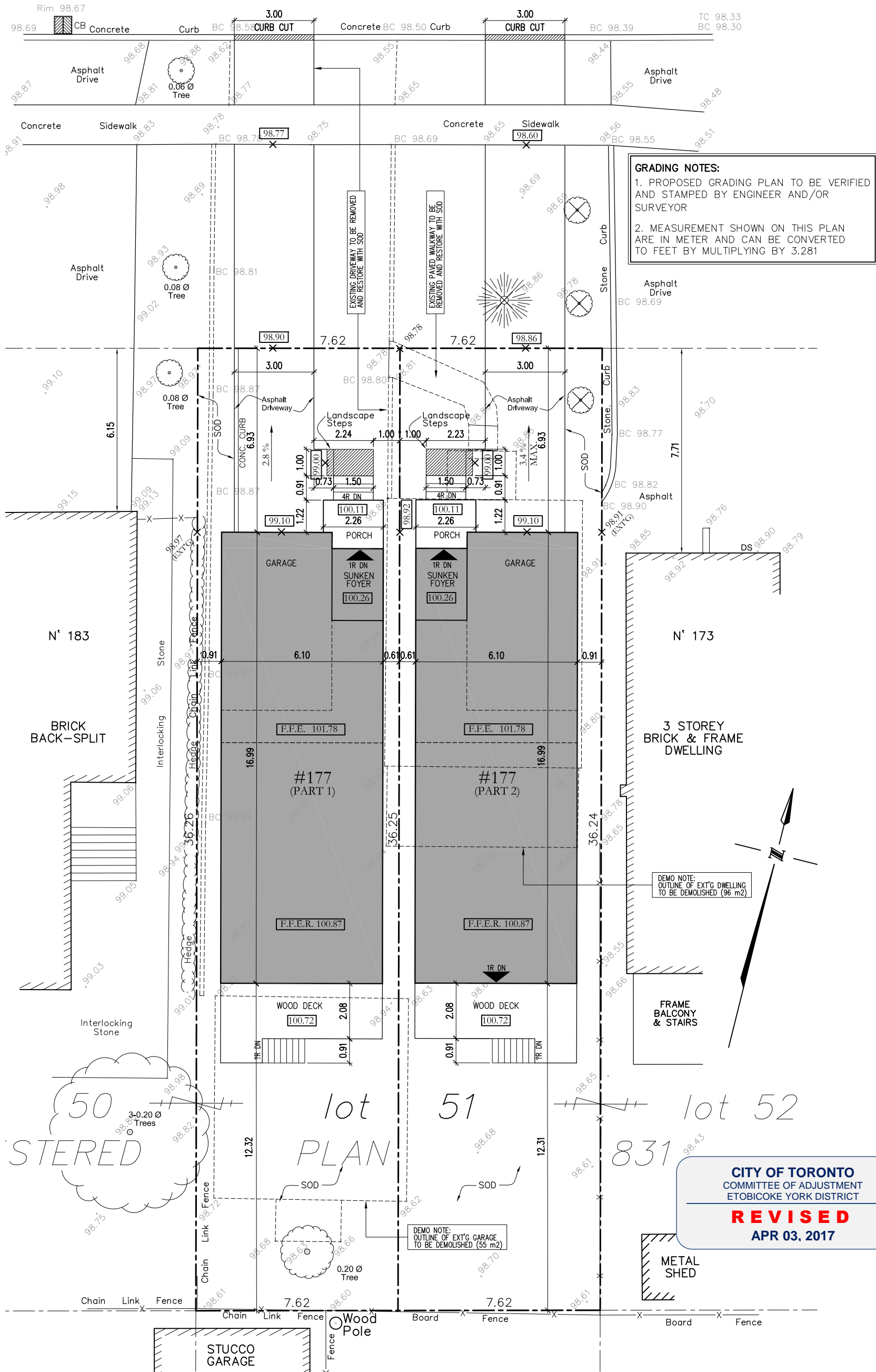
Required unless design is exempt under 2.17.4.1. of the building code
 GEOMETRA DESIGN LTD BCIN 27735

REVISIONS:

	DATE	DWN	CHK
1. ISSUED FOR CITY REVIEW	JAN. 30/2017	GG	GG
2. RE- ISSUED FOR ZC	FEB. 16/2017	GG	GG
3. REV'D AS PER PLANNER COMM.	MAR. 15/2017	GG	GG
4. RE- ISSUED FOR ZC	MAR. 16/2017	GG	GG

A2

HAY AVENUE



GRADING NOTES:
 1. PROPOSED GRADING PLAN TO BE VERIFIED AND STAMPED BY ENGINEER AND/OR SURVEYOR
 2. MEASUREMENT SHOWN ON THIS PLAN ARE IN METER AND CAN BE CONVERTED TO FEET BY MULTIPLYING BY 3.281

DEMO NOTE:
 OUTLINE OF EXT'G DWELLING TO BE DEMOLISHED (96 m²)

DEMO NOTE:
 OUTLINE OF EXT'G GARAGE TO BE DEMOLISHED (55 m²)

CITY OF TORONTO
 COMMITTEE OF ADJUSTMENT
 ETOBICOKE YORK DISTRICT
REVISED
 APR 03, 2017

SURVEY REFERENCE
 REFER TO ORIGINAL LEGAL SURVEY/ TOPOGRAPHICAL PLAN PROVIDED BY L.S.G., O.L.S. DATED DEC. 12, 2016

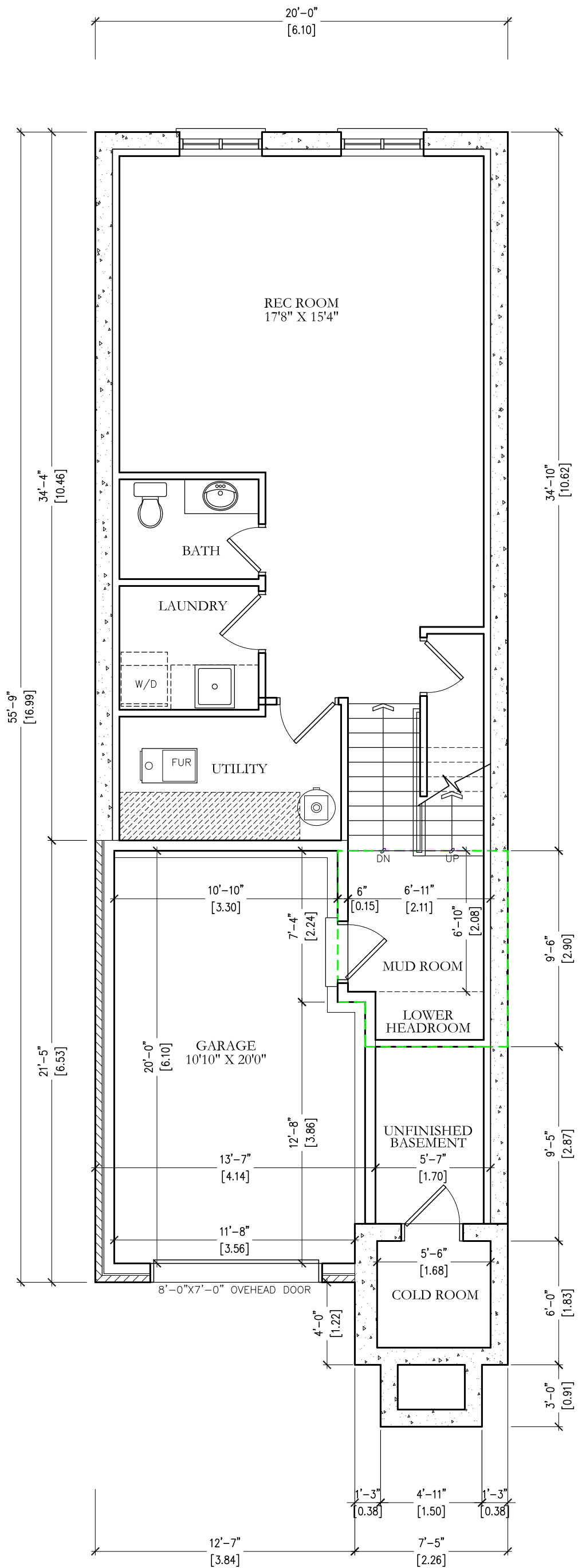
1
A3 **SITE PLAN**
 SCALE: 1:150

NOTE TO BUILDER
 THE BUILDER SHALL CHECK SERVICE INVERTS PRIOR TO POURING FOOTINGS

The undersigned has reviewed and takes responsibility for this design, and has qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1. of the building code
GABRIELE GUIDUCCI BCIN 21369
REGISTRATION INFORMATION
 Required unless design is exempt under 2.17.4.1. of the building code
GEOMETRA DESIGN LTD BCIN 27735

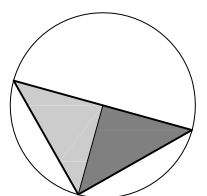
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1. ISSUED FOR CITY REVIEW	JAN. 11/2017	GG	GG
2. RE- ISSUED FOR ZC	FEB. 16/2017	GG	GG
3. REV'D AS PER PLANNER COMM.	MAR. 15/2017	GG	GG
4. RE- ISSUED FOR ZC	MAR. 16/2017	GG	GG

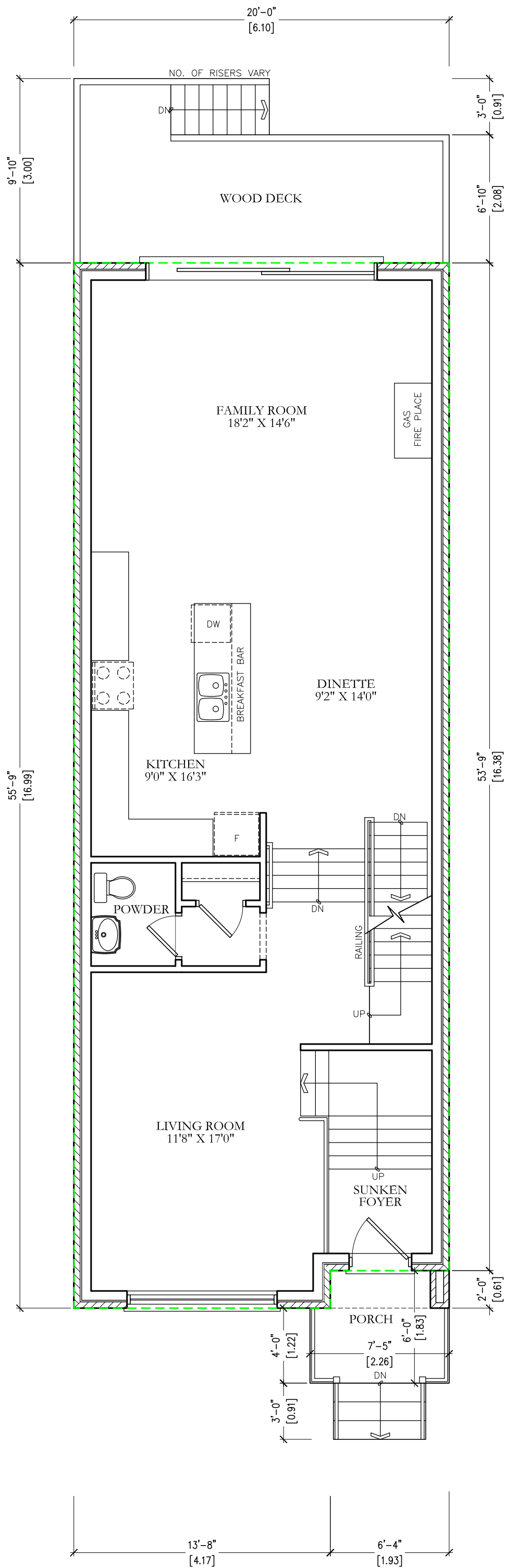
A3



BASEMENT FLOOR PART2

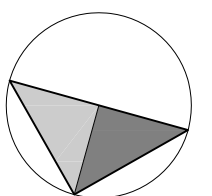
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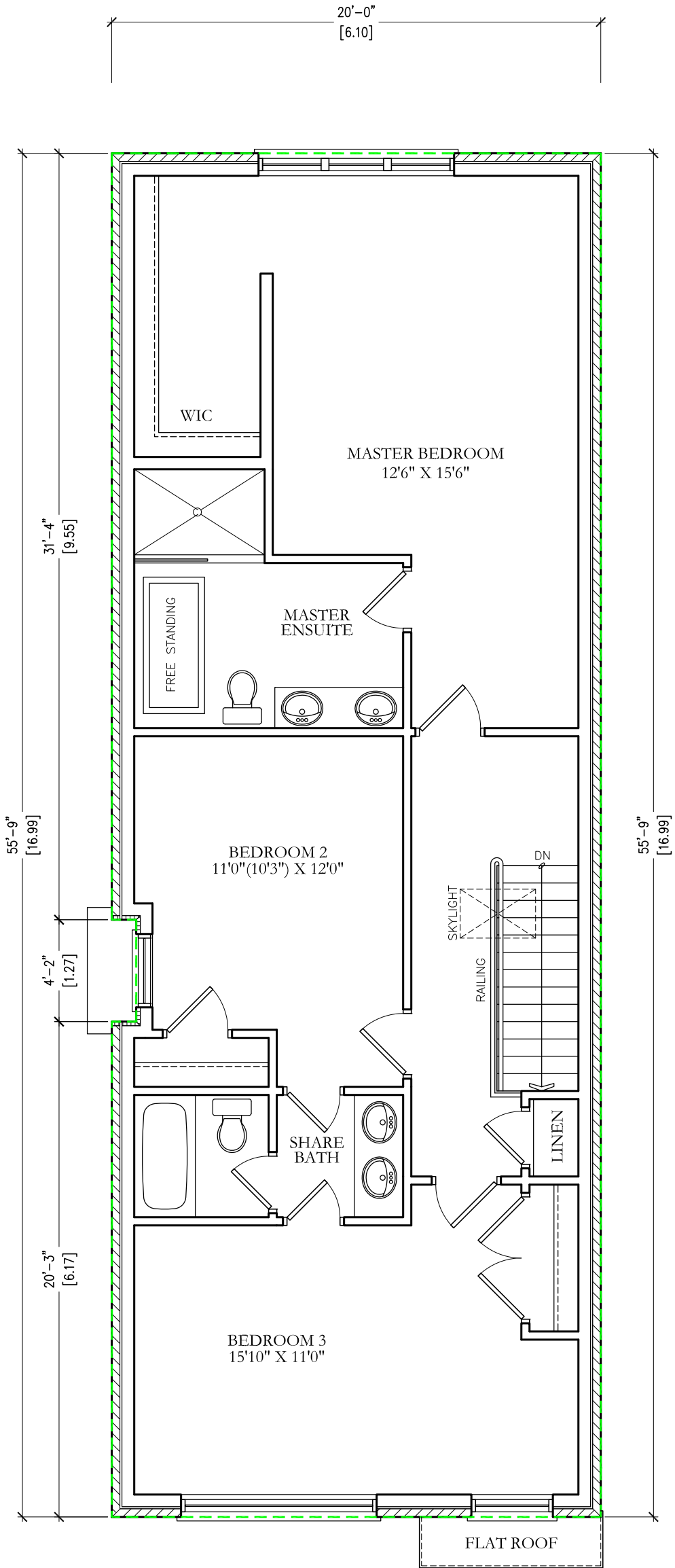




GROUND FLOOR PART2

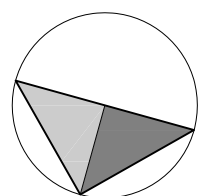
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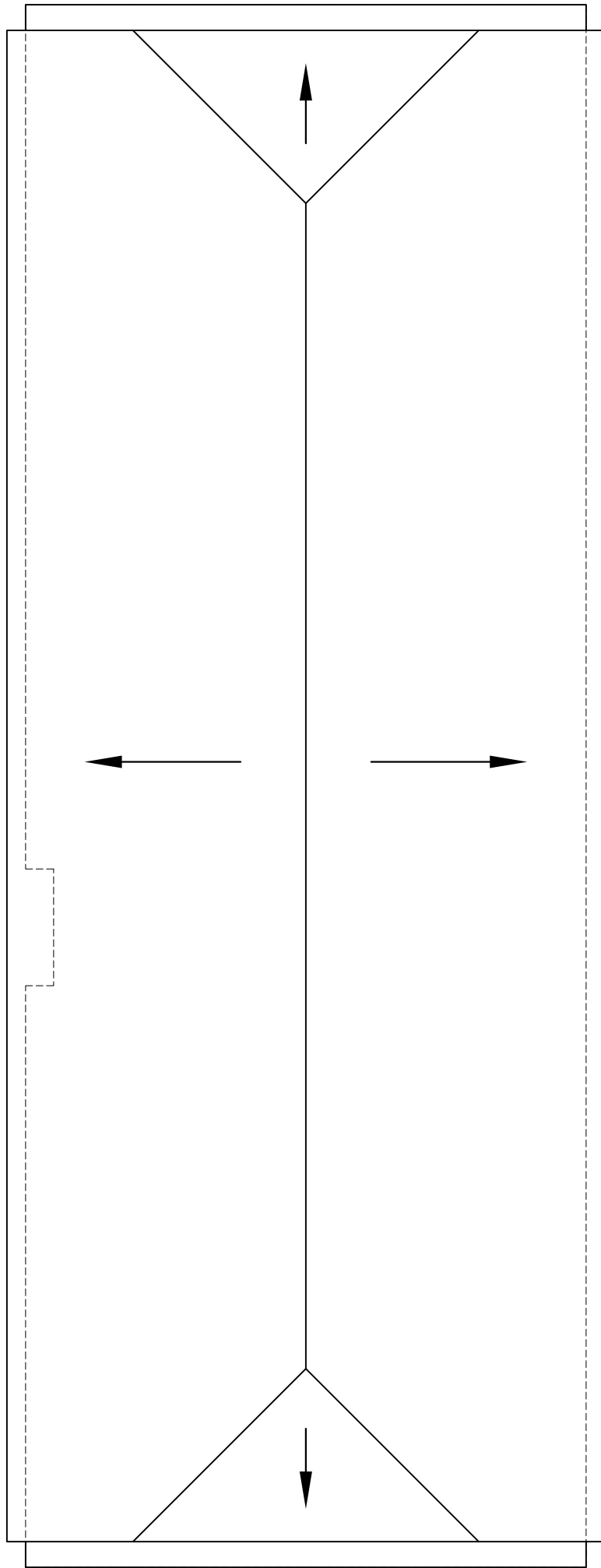




SECOND FLOOR PART2

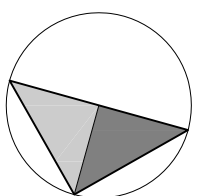
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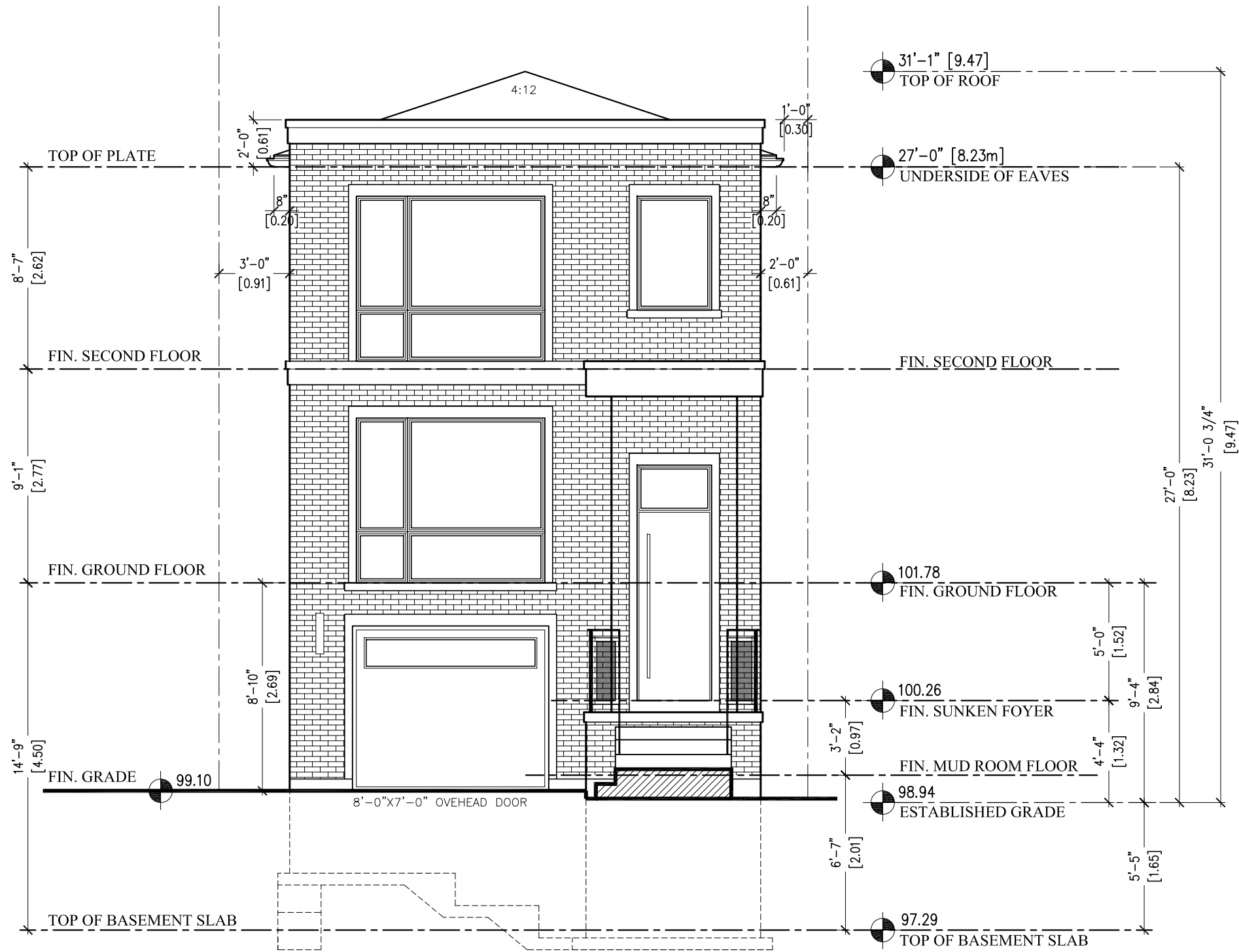




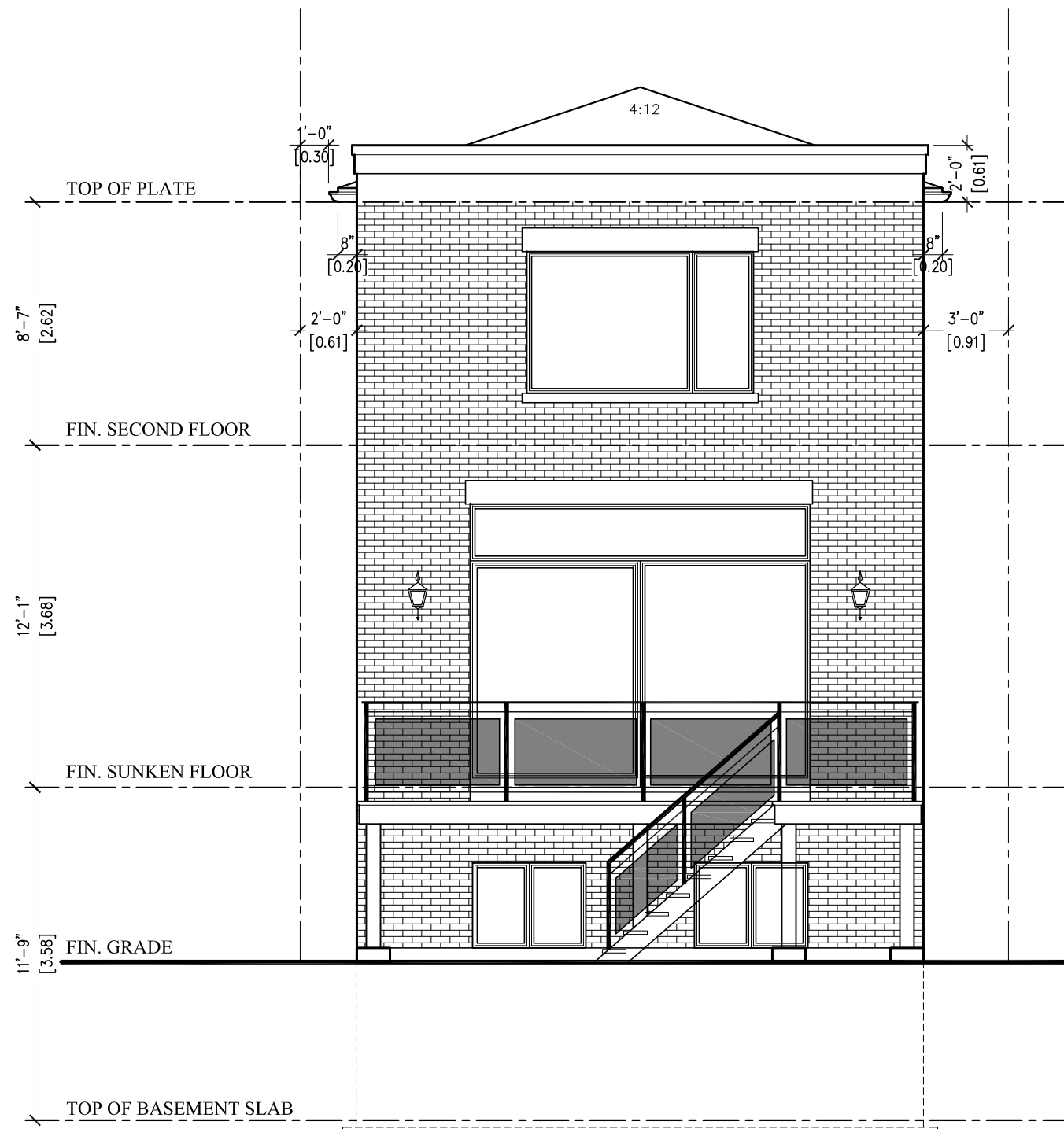
ROOF PLAN PART2

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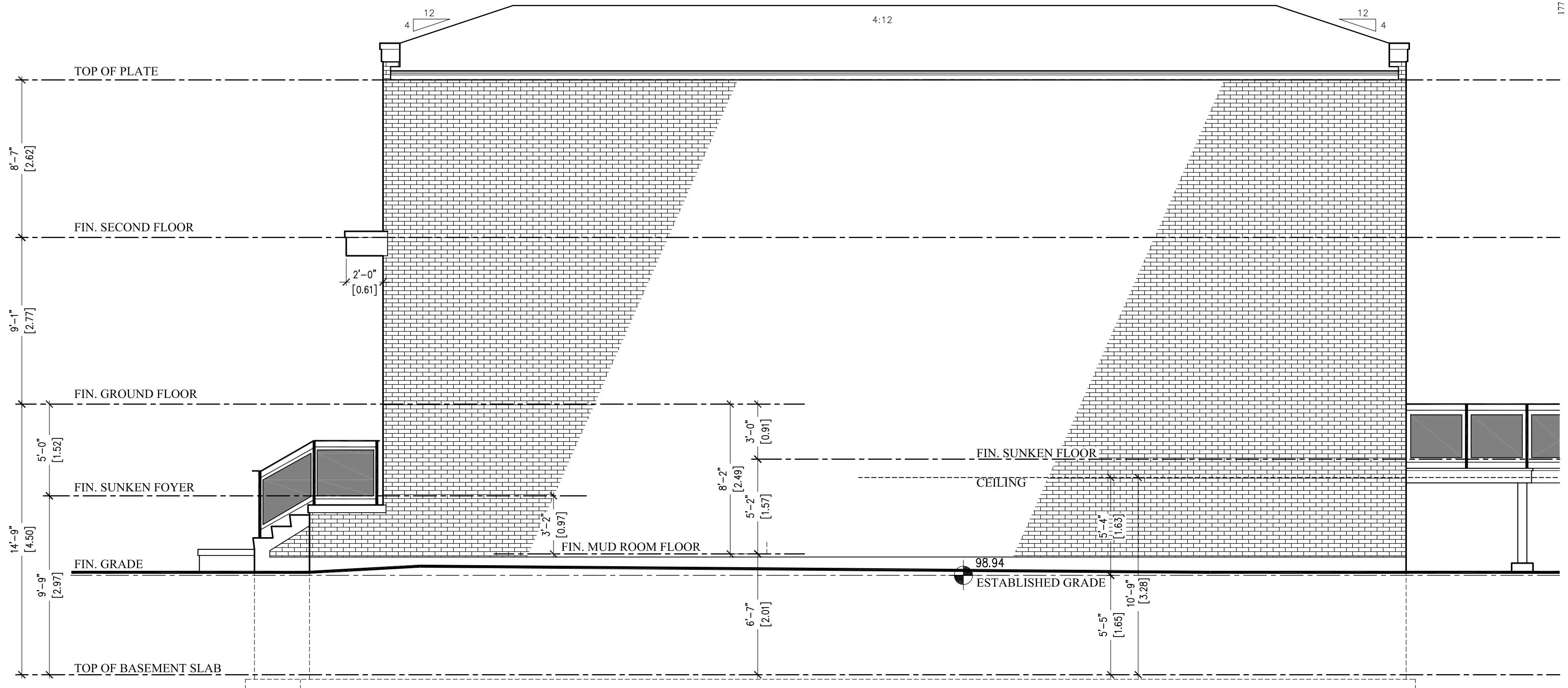




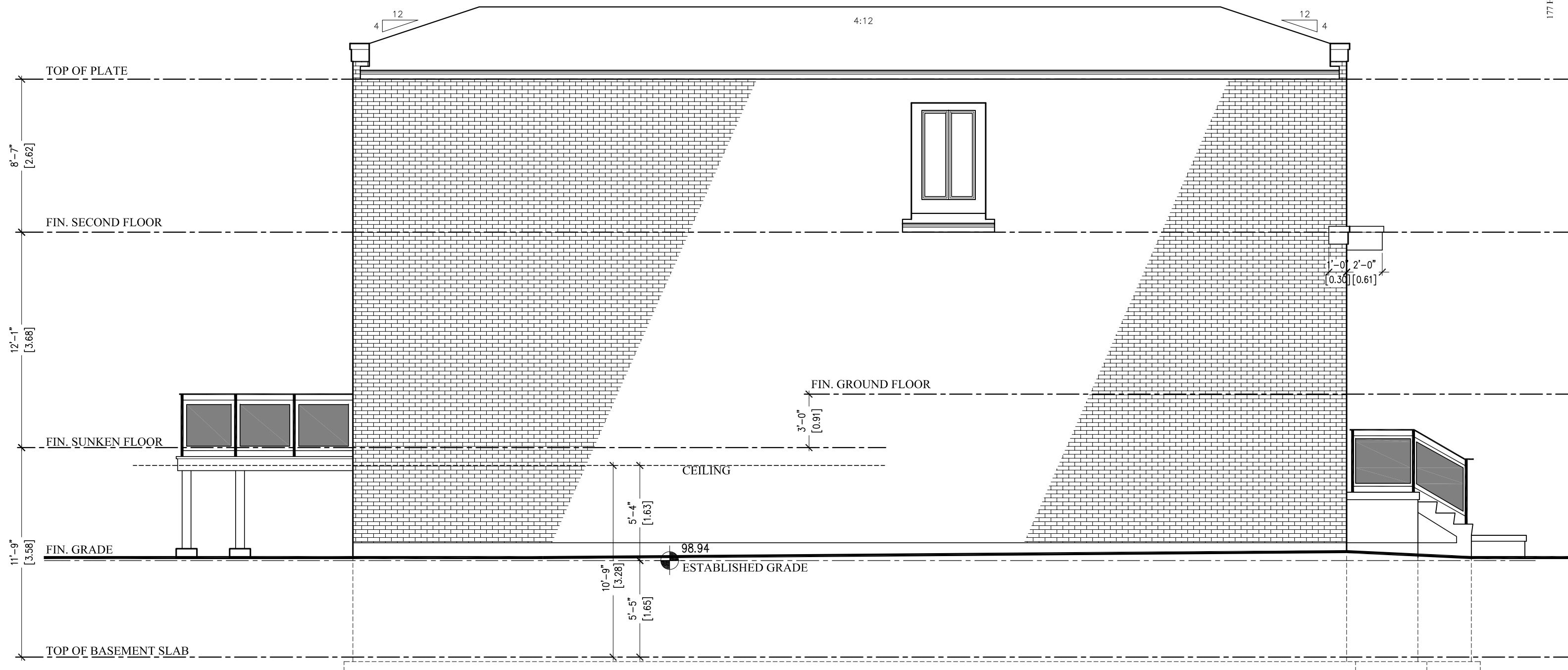
FRONT ELEVATION PART 2 (NORTH)
 3/16"=1'-0"



REAR ELEVATION PART2 (SOUTH)
 3/16"=1'-0"



WEST ELEVATION PART2
 3/16"=1'-0"



EAST ELEVATION PART2
3/16"=1'-0"

Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0589/16EYK	Zoning	RD & R1
Owner(s):	RENA COOKE ELDON BASKIER	Ward:	Etobicoke-Lakeshore (06)
Agent:	FRANCO ROMANO	Heritage:	Not Applicable
Property Address:	223 SIXTHST	Community:	

Legal Description: PLAN 1043 S PT LOT 478

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.60.70.(1), By-law 569-2013 & Section 350-14(E)(1)**
The maximum permitted lot coverage for an ancillary structure/ garage is 10% of the lot area (27.4 m²).
The proposed detached garage will have a lot coverage of 14.6% of the lot area (39.9 m²).
- Section 10.5.60.40.(2)(B), By-law 569-2013**
The maximum permitted height for an ancillary structure is 4 m.
The proposed detached garage will have a height of 6.4 m.
Section 350-14(D)
The maximum permitted height for an accessory structure is 3.7 m, provided no part of the walls exceeds 2.5 m.
Section 10.5.60.40.(2)(B), By-law 569-2013 & Section 350-14(D)
The proposed detached garage will have a wall height of 6.15 m and will have an overall height of 5.18 m measured to the midpoint of the roof.
- Section 10.5.60.40.(3), By-law 569-2013**
A maximum of one-storey is permitted for an ancillary structure.
The proposed detached garage will be two-storeys.
- Section 350-26(A)**
A minimum of 6 m shall be provided in front of a parking space.
A total of 3 m will be provided in front of the proposed garage.
- Section 350-14(B)(2)**
The minimum required distance between a private garage and the opposite boundary of the lane is 7.5 m.
The proposed private garage will be located 6.2 m from the opposite side of the lane.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 The site plan shall be revised to include the following notations:
 - a. "The applicant must obtain all required permits from the City's Right-of-Way Management Section of Transportation Services before excavating and encroaching into the municipal road allowance."; and
 - b. "The applicant must provide a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements.
 - 2.2 The applicant shall submit a revised site plan in metric units (1:200 or 1:250) illustrating the above condition, at no cost to the City, and no later than 30 June 2018.
3. That the rear detached garage not be used as habitable space.

SIGNATURE PAGE

File Number:	A0589/16EYK	Zoning	RD & R1
Owner:	RENA COOKE ELDON BASKIER	Ward:	Etobicoke-Lakeshore (06)
Agent:	FRANCO ROMANO	Heritage:	Not Applicable
Property Address:	223 SIXTH ST	Community:	
Legal Description:	PLAN 1043 S PT LOT 478		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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Thursday, June 1, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0991/16EYK	Zoning	E 1.0
Owner(s):	MUCHER ENTERPRISES LIMITED	Ward:	Etobicoke North (01)
Agent:	GOODMANS LLP	Heritage:	Not Applicable
Property Address:	190 CARRIER DR, 1801-1811 & 1821 ALBIONRD	Community:	

Legal Description: CON 3 FTH PT LOT 38 RP 66R5293 PARTS 3 & 4 RP 66R6169 PART 2 RP 66R6571 PART 2

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a self-storage warehouse within the existing building municipally known as 190 Carrier Drive.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 60.20.20.10., By-law 569-2013**
A self-storage warehouse is not a permitted use in an E 1.0 zone.
- Section 320-18(F)(2)**
A minimum of 363 parking spaces are required.
A total of 309 parking spaces are being provided.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0991/16EYK	Zoning	E 1.0
Owner:	MUCHER ENTERPRISES LIMITED	Ward:	Etobicoke North (01)
Agent:	GOODMANS LLP	Heritage:	Not Applicable
Property Address:	190 CARRIER DR, 1801-1811 & 1821 ALBIONRD	Community:	
Legal Description:	CON 3 FTH PT LOT 38 RP 66R5293 PARTS 3 & 4 RP 66R6169 PART 2 RP 66R6571 PART 2		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, June 1, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0083/17EYK	Zoning	E 1.0 & IC1
Owner(s):	2364885 ONTARIO INC	Ward:	Etobicoke-Lakeshore (05)
Agent:	BRIAN ABBEY ADTEK BUILDING CONSULTANTS	Heritage:	Not Applicable
Property Address:	122 JUDGERD	Community:	

Legal Description: PLAN 4370 PT LOTS 4 & 5

Notice was given and a Public Hearing was held on Thursday, June 1, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert the existing parking garage into office space.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 200.5.10.1., By-law 569-2013**
A minimum of 15 parking spaces are required.
Section 320-18.C.(2)(f)
A minimum of 34 parking space are required.
Section 200.5.10.1., By-law 569-2013 & Section 320-18.C.(2)(f)
A total of 14 parking spaces are being provided.
- Section 320-18.A.**
A minimum of 6 m of access shall be provided in front of all parking spaces.
A total of 3.4 m of access will be provided in front of two rear parking spaces.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0083/17EYK	Zoning	E 1.0 & IC1
Owner:	2364885 ONTARIO INC	Ward:	Etobicoke-Lakeshore (05)
Agent:	BRIAN ABBEY ADTEK BUILDING CONSULTANTS	Heritage:	Not Applicable
Property Address:	122 JUDGE RD	Community:	
Legal Description:	PLAN 4370 PT LOTS 4 & 5		

Allan Smithies (signed)

Dominic Gulli (signed)

Douglas Colbourne (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL: Wednesday, June 21, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

Appeal Information

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TITAN SR PLAZA NOMINEE INC
C/O CENTRECORP GRAHAM MCLEAN
2851 JOHN ST SUITE 1
MARKHAM ON L3R 5R7

Friday, June 9, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0011/17EYK	Zoning:	CPL
Owner(s):	TITAN SR PLAZA NOMINEE INC TITAN SR PLAZA NOMINEE INC	Ward:	Etobicoke-Lakeshore (05)
Agent:	TIFFANY PARK HOMES	Heritage:	Not Applicable
Property Address:	1020 ISLINGTON AVE	Community:	
Legal Description:	RC PLAN 9875 PT LOT 140 RP 64R5804 PART 2		

Notice was given and the application considered on Thursday, June 1, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to create an easement/right-of-way for access purposes.

Easement - Part 1 on Plan 66R-28989

Part 1 on Plan 66R-28989 has a lot area of 402.6 m² and will be subject to an easement/right-of-way in favour of the north abutting lands municipally known as 1030 and 1040 Islington Avenue for the purposes of repairs, replacement and maintenance of the townhouses.

The Deputy Secretary-Treasurer, considered the written submissions relating to the application prior to making the decision. In so doing, **IT WAS THE DECISION OF THE SECRETARY TREASURER THAT:**

The Consent Application is Approved on Condition

The Deputy Secretary-Treasurer has considered the provisions of Section 51(24) of the Planning Act, is satisfied that a plan of subdivision is not necessary for the proper and orderly development of the municipality and therefore consents to the requested transaction, pursuant to subsection 53(42) of the Planning Act, **subject to the following conditions:**

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.

- (2) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
- (3) **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
- (4) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0011/17EYK	Zoning	CPL
Owner(s):	TITAN SR PLAZA NOMINEE INC TITAN SR PLAZA NOMINEE INC	Ward:	Etobicoke-Lakeshore (05)
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DATE DECISION MAILED ON: Friday, June 9, 2017

LAST DATE OF APPEAL : Thursday, June 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

This day of, 2017

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TITAN SR PLAZA NOMINEE INC
C/O L DIGREGORIO
130 KING ST W Unit 1400
TORONTO ON M9N 1L5

Friday, June 9, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0011/17EYK	Zoning:	CPL
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TIFFANY PARK HOMES
C/O CHRISTINE CHEA
200 KING ST W Suite 1602
TORONTO ON M5H 3T4

Friday, June 9, 2017

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CONSENT
(Section 53 of the Planning Act)

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Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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