

Thursday, August 17, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0018/17NY	Zoning	RM5/ RM (d1.0) (x474)(waiver)
Owner(s):	RED ROCK BUILDERS LIMITED	Ward:	Eglinton-Lawrence (15)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE	Community:	North York
Legal Description:	PLAN 2053 LOT 194		

Notice was given and the application considered on Thursday, August 17, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the properties to create seven new lots. It is proposed to construct three sets of semi-detached dwellings and one single detached residential dwelling.

Conveyed - Part 1 (Lot F)

The lot frontage is 6.30m and the lot area is 231.00m². The existing dwelling would be demolished. One half of a new semi-detached dwelling is proposed and variances are required as outlined in application A0234/17NY.

Conveyed - Part 2 (Lot E)

The lot frontage is 6.30m and the lot area is 230.60m². The existing dwelling would be demolished. One half of a new semi-detached dwelling is proposed and variances are required as outlined in application A0233/17NY.

Conveyed - Parts 3 & 4 (Lot D)

The lot frontage is 6.30m and the lot area is 230.70m². The existing dwelling would be demolished. One half of a new semi-detached dwelling is proposed and variances are required as outlined in application A0232/17NY.

Conveyed - Parts 5 & 6 (Lot C)

The lot frontage is 6.30m and the lot area is 230.60m². The existing dwelling would be demolished. One half of a new semi-detached dwelling is proposed and variances are required as outlined in application A0231/17NY.

Conveyed - Parts 7 & 8 (Lot B)

The lot frontage is 6.30m and the lot area is 230.40m². The existing dwelling would be demolished. One half of a new semi-detached dwelling is proposed and variances are required as outlined in application A0230/17NY.

Conveyed - Part 9 (Lot A)

The lot frontage is 6.30m and the lot area is 206.20m². The existing dwelling would be demolished. One half of a new semi-detached dwelling is proposed and variances are required as outlined in application A0229/17NY.

Conveyed - Part 10

The proposed lot frontage is 12.75m and the lot area is 246.20m². The existing dwelling would be demolished. A single detached dwelling is proposed and variances are required as outlined in application A0235/17NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

REGISTERED
 LOTS 192 TO 198 INCLUSIVE
 REGISTERED PLAN 2053
 CITY OF TORONTO
 Formerly in The City of North York
 PLAN
 YOUNG & YOUNG SURVEYING
 TORONTO, ONTARIO



PLAN 66R-
 THE CITY OF TORONTO
 THE CORPORATION OF THE CITY OF TORONTO
 THE CORPORATION OF THE CITY OF TORONTO

SCHEDULE				
LT	LT	LT	LT	LT
1	2	3	4	5
6	7	8	9	10
11	12	13	14	15
16	17	18	19	20

CARRHART STREET
 (By Registered Plan 2053)
 (Street Line Governed By Plan 214-2187)



SURVEYOR'S CERTIFICATE
 I HEREBY CERTIFY THAT THE FOREGOING IS A TRUE AND CORRECT COPY OF THE ORIGINAL RECORD OF THIS PLAN AS IT EXISTS IN THE OFFICE OF THE SURVEYOR GENERAL FOR THE PROVINCE OF ONTARIO.

LEGEND
 [Symbol] 1981-1990
 [Symbol] 1991-2000
 [Symbol] 2001-2010
 [Symbol] 2011-2020
 [Symbol] 2021-2030
 [Symbol] 2031-2040
 [Symbol] 2041-2050
 [Symbol] 2051-2060
 [Symbol] 2061-2070
 [Symbol] 2071-2080
 [Symbol] 2081-2090
 [Symbol] 2091-2100
 [Symbol] 2101-2110
 [Symbol] 2111-2120
 [Symbol] 2121-2130
 [Symbol] 2131-2140
 [Symbol] 2141-2150
 [Symbol] 2151-2160
 [Symbol] 2161-2170
 [Symbol] 2171-2180
 [Symbol] 2181-2190
 [Symbol] 2191-2200

BEARING NOTE
 BEARINGS ARE TO THE DEGREE FROM DEGREES
 CONTROL POINTS ESTABLISHED BY L.P. 18-14-93 (2088)
 THE 1983 CANADIAN MEASUREMENT SYSTEM IS USED
 TO CONTROL THIS PLAN TO THE NATIONAL GRID
 TO THE NEAREST 0.01 METRE (1/10000)
 THE 1983 CANADIAN MEASUREMENT SYSTEM IS USED
 TO CONTROL THIS PLAN TO THE NATIONAL GRID
 TO THE NEAREST 0.01 METRE (1/10000)

DISTANCE NOTE
 DISTANCES ARE TO THE NEAREST MILLIMETRE
 AND ARE CONTROLLED BY THE PLAN OF
 SURVEY TO THE NEAREST 0.01 METRE (1/10000)

METRIC
 THIS PLAN IS CONTROLLED BY THE NATIONAL GRID
 TO THE NEAREST 0.01 METRE (1/10000)

Young & Young Surveying
 (TORONTO) 2006 INC.
 200 North Beaver St., Suite 102, Toronto, ON M5C 1B1
 Tel: (416) 461-4200 Fax: (416) 461-4380
 E-mail: young@youngandyoung.com

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0229/17NY	Zoning:	RM5/ RM (d1.0) (x474)
Owner(s):	RED ROCK BUILDERS LIMITED RED ROCK BUILDERS LTD	Ward:	Eglinton-Lawrence (15)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PART 9)	Community:	North York
Legal Description:	PLAN 2053 LOT 194		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct one-half of a new semi-detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the First Floor area must be within 4.00m of the front wall.
There is 2.91m² proposed within 4.00m of the front wall.
- 2. Chapter 10.5.40.60.(1)(C), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.30m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.50m if it is no closer to a side lot line than 2.10m.
The proposed platform encroaches 2.10m into the required rear yard setback and is 1.45m from the south side lot line.
- 3. Chapter 10.5.40.60.(1)(B), By-law No. 569-2013**
A minimum of 50.00% of the front yard must be landscaping.
The proposed front yard landscaping area is 43.40%.
- 4. Chapter 10.5.40.60.(1)(D), By-law No. 569-2013**
A minimum of 75.00% of the front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 72.00%

5. **Chapter 10.80.30.10.(I)(C), By-law No. 569-2013**
The minimum required lot area is 225.00m².
The proposed lot area is 206.20m².
6. **Chapter 10.80.30.20.(I)(C), By-law No. 569-2013**
The minimum required lot frontage for a dwelling that is located on two lots is 7.50m.
The proposed lot frontage is 6.30m.
7. **Chapter 10.80.30.40.(1)A), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 41.70% of the lot area.
8. **Chapter 10.80.40.10.(1)B)(i), By-law No. 569-2013**
The maximum permitted height of the dwelling is 10.00m.
The proposed height of the dwelling is 10.10m.
9. **Chapter 10.80.40.10.(2)B)(i), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.01m.
10. **Chapter 10.80.40.10.(3)B), By-law No. 569-2013**
The minimum required side yard setback is 1.50m.
The proposed south side yard setback is 1.20m.
11. **Section 15.8/ 17(4)(f), By-law No. 7625**
The minimum required landscaping is 50.00%.
The proposed landscaping area is 43.40%.
12. **Section 15.8/ 17(4)(f), By-law No. 7625**
The minimum required soft landscaping is 75.00%.
The proposed soft landscaping is 72.00%.
13. **Section 17(43(a)/ 17(4)(a), By-law No. 7625**
The minimum required lot area is 300.00m² for each semi-detached dwelling unit and 665.00m² for each semi-detached dwelling.
The proposed lot area is 206.20m² for the semi-detached dwelling unit 436.60m² for the semi-detached dwelling.
14. **Section 17(3)(c)(i)/ 17(4)(c)(i), By-law No. 7625**
The minimum required front yard setback is 7.50m.
The proposed front yard setback is 6.27m.
15. **Section 17(3)(c)(ii)/ 17(4)(c)(ii), By-law No. 7625**
The minimum required side yard setback is 1.50m.
The proposed south side yard setback is 1.20m.

- 16. Section 17(3)(d)/ 17(4)(d), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 41.70% of the lot area.
- 17. Section 17(3)(e)/ 17(4)(e), By-law No. 7625**
The maximum permitted building height is 9.20m.
The proposed building height is 9.59m.
- 18. Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
- 19. Section 6(24)(d)(A), By-law No, 7625**
In the rear yard, unexcavated porches and deck attached to or detached from the main building shall be located no closer to the side lot lines than the minimum side yard setback; 1.80m
The proposed deck is located 1.45m from the south side lot line.
- 20. Section 17(3)(b)/ 17(4)(b), By-law No. 7625**
The minimum required lot frontage is 8.50m for each semi-detached dwelling unit and 18.00m for each semi-detached dwelling.
The proposed lot frontage is 6.30m and for each semi detached dwelling unit and 12.60m for each semi-detached dwelling.
- 21. Section 6(9)(b), By-law No. 7625**
The maximum projection of a stair in the rear yard setback is 2.10m.
The proposed stair projects 2.94m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the eastern edge of the proposed rear deck; with a minimum height of 1.5 metres from the floor of the deck.
- 2) The proposed driveway to be constructed of permeable materials.

SIGNATURE PAGE

File Number:	A0229/17NY	Zoning	RM5/ RM (d1.0) (x474)
Owner:	RED ROCK BUILDERS LIMITED	Ward:	Eglinton-Lawrence (15)
Agent:	RED ROCK BUILDERS LTD GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PART 9)	Community:	North York
Legal Description:	PLAN 2053 LOT 194		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0230/17NY	Zoning:	RM5/ RM (d1.0) (x474)
Owner(s):	RED ROCK BUILDERS LIMITED RED ROCK BUILDERS LTD	Ward:	Eglinton-Lawrence (15)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PARTS 7 & 8)	Community:	North York
Legal Description:	PLAN 2053 LOT 194		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct one-half of a new semi-detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the First Floor area must be within 4.00m of the front wall.
There is 2.97m² proposed within 4.00m of the front wall.
- 2. Chapter 10.5.40.60.(1)(C), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.30m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.50m if it is no closer to a side lot line than 2.10m.
The proposed platform encroaches 2.10m into the required rear yard setback and is 1.45m from the north side lot line.
- 3. Chapter 10.5.40.60.(1)(B), By-law No. 569-2013**
A minimum of 50.00% of the front yard must be landscaping.
The proposed front yard landscaping area is 44.30%.
- 4. Chapter 10.5.40.60.(1)(D), By-law No. 569-2013**
A minimum of 75.00% of the front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 70.00%

5. **Chapter 10.80.30.20.(1)C), By-law No. 569-2013**
The minimum required lot frontage is 7.50m.
The proposed lot frontage is 6.30m.
6. **Chapter 10.80.30.40.(1)A), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.30% of the lot area.
7. **Chapter 10.80.40.10.(1)B)(i), By-law No. 569-2013**
The maximum permitted height of the house is 10.00m.
The proposed height of the house is 10.11m.
8. **Chapter 10.80.40.10.(2)B)(i), By-law No. 569-2013**
The maximum permitted height of the side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.01m.
9. **Chapter 10.80.40.70.(3)B), By-law No. 569-2013**
The minimum required side yard setback is 1.50m.
The proposed north side yard setback is 1.20m.
10. **Section 15.8/ 17(4)(f), By-law No. 7625**
The minimum required landscaping is 50.00%.
The proposed landscaping area is 43.40%.
11. **Section 15.8/ 17(4)(f), By-law No. 7625**
The minimum required soft landscaping is 75.00%.
The proposed soft landscaping is 70.00%.
12. **Section 17(43(a)/ 17(4)(a), By-law No. 7625**
The minimum required lot area is 300.00m² for each semi-detached dwelling unit and 665.00m² for each semi-detached dwelling.
The proposed lot area is 230.40m² for the semi-detached dwelling unit 436.60m² for the semi-detached dwelling.
13. **Section 17(3)(c)(i)/ 17(4)(c)(i), By-law No. 7625**
The minimum required front yard setback is 7.50m.
The proposed front yard setback is 5.60m.
14. **Section 17(3)(c)(ii)/ 17(4)(c)(ii), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.20m.
15. **Section 17(3)(d)/ 17(4)(d), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 37.30% of the lot area.

16. Section 17(3)(e)/ 17(4)(e), By-law No. 7625

The maximum permitted building height is 9.20m.

The proposed building height is 9.59m.

17. Section 6(24)(d)(A), By-law No, 7625

In the rear yard, unexcavated porches and decks attached to or detached from the main building shall be located no closer to the side lot lines than the minimum side yard setback; 1.80m

The proposed deck is located 1.45m from the north side lot line.

18. Section 17(3)(b)/ 17(4)(b), By-law No. 7625

The minimum required lot frontage is 8.50m for each semi-detached dwelling unit and 18.00m for each semi-detached dwelling.

The proposed lot frontage is 6.30m and for each semi detached dwelling unit and 12.60m for each semi-detached dwelling.

19. Section 6(8), By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the western edge of the proposed rear deck; with a minimum height of 1.5 metres from the floor of the deck.
- 2) Permeable pavers are to be used for the proposed driveway.

SIGNATURE PAGE

File Number:	A0230/17NY	Zoning	RM5/ RM (d1.0) (x474)
Owner:	RED ROCK BUILDERS LIMITED	Ward:	Eglinton-Lawrence (15)
Agent:	RED ROCK BUILDERS LTD	Heritage:	Not Applicable
Property Address:	GLENN RUBINOFF	Community:	North York
	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PARTS 7 & 8)		
Legal Description:	PLAN 2053 LOT 194		

Beth Levy (signed) Bruce Mullock (signed) Derek Lett (signed)

Isaac Lallouz (signed) Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, August 17, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0231/17NY	Zoning:	RM5/ RM (d1.0) (x474)
Owner(s):	RED ROCK BUILDERS LIMITED RED ROCK BUILDERS LTD	Ward:	Eglinton-Lawrence (15)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PARTS 5 & 6)	Community:	North York
Legal Description:	PLAN 2053 LOT 194		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct one-half of a new semi-detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the First Floor area must be within 4.00m of the front wall.
There is 2.97m² proposed within 4.00m of the front wall.
- 2. Chapter 10.5.40.60.(1)(C), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.30m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.50m if it is no closer to a side lot line than 2.10m.
The proposed platform encroaches 2.10m into the required rear yard setback and is 1.45m from the north side lot line.
- 3. Chapter 10.5.50.10.(1)(C), By-law No. 569-2013**
A minimum of 60.00% of the front yard must be landscaping.
The proposed front yard landscaping area is 44.00%.
- 4. Chapter 10.5.50.10.(1)(D), By-law No. 569-2013**
A minimum of 75.00% of the front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 71.00%

5. **Chapter 10.80.30.20.(1)C), By-law No. 569-2013**
The minimum required lot frontage is 7.50m.
The proposed lot frontage is 6.30m.
6. **Chapter 10.80.30.40.(1)A), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.30% of the lot area.
7. **Chapter 10.80.40.10.(1)B)(i), By-law No. 569-2013**
The maximum permitted height of the house is 10.00m.
The proposed height of the house is 10.20m.
8. **Chapter 10.80.40.10.(2)B)(i), By-law No. 569-2013**
The maximum permitted height of the side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.10m.
9. **Chapter 10.80.40.70.(3)B), By-law No. 569-2013**
The minimum required side yard setback is 1.50m.
The proposed south side yard setback is 1.20m.
10. **Section 15.8/ 17(4)(f), By-law No. 7625**
The minimum required landscaping is 50.00%.
The proposed landscaping area is 44.00%.
11. **Section 15.8/ 17(4)(f), By-law No. 7625**
The minimum required soft landscaping is 75.00%.
The proposed soft landscaping is 71.00%.
12. **Section 17(43(a)/ 17(4)(a), By-law No. 7625**
The minimum required lot area is 300.00m² for each semi-detached dwelling unit and 665.00m² for each semi-detached dwelling.
The proposed lot area is 230.60m² for the semi-detached dwelling unit 461.20m² for the semi-detached dwelling.
13. **Section 17(3)(b)/ 17(4)(b), By-law No. 7625**
The minimum required lot frontage is 8.50m for each semi-detached dwelling unit and 18.00m for each semi-detached dwelling.
The proposed lot frontage is 6.30m and for each semi detached dwelling unit and 12.60m for each semi-detached dwelling.
14. **Section 17(3)(c)(i)/ 17(4)(c)(i), By-law No. 7625**
The minimum required front yard setback is 7.50m.
The proposed front yard setback is 5.60m.
15. **Section 17(3)(c)(ii)/ 17(4)(c)(ii), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.20m.

16. Section 17(3)(d)/ 17(4)(d), By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 37.30% of the lot area.

17. Section 17(3)(e)/ 17(4)(e), By-law No. 7625

The maximum permitted building height is 9.20m.
The proposed building height is 9.59m.

18. Section 6(8), By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the eastern edge of the proposed rear deck; with a minimum height of 1.5 metres from the floor of the deck.
- 2) Permeable pavers are to be used for the proposed driveway.

SIGNATURE PAGE

File Number:	A0231/17NY	Zoning	RM5/ RM (d1.0) (x474)
Owner:	RED ROCK BUILDERS LIMITED	Ward:	Eglinton-Lawrence (15)
Agent:	RED ROCK BUILDERS LTD GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PARTS 5 & 6)	Community:	North York
Legal Description:	PLAN 2053 LOT 194		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0232/17NY	Zoning:	RM5/ RM (d1.0) (x474)
Owner(s):	RED ROCK BUILDERS LIMITED RED ROCK BUILDERS LTD	Ward:	Eglinton-Lawrence (15)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PARTS 3 & 4)	Community:	North York
Legal Description:	PLAN 2053 LOT 194		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct one-half of a new semi-detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the First Floor area must be within 4.00m of the front wall.
There is 2.97m² proposed within 4.00m of the front wall.
- 2. Chapter 10.5.50.10.(1)(C), By-law No. 569-2013**
A minimum of 60.00% of the front yard must be landscaping.
The proposed front yard landscaping area is 44.00%.
- 3. Chapter 10.5.50.10.(1)(D), By-law No. 569-2013**
A minimum of 75.00% of the front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 71.00%
- 4. Chapter 10.80.30.20.(1)C), By-law No. 569-2013**
The minimum required lot frontage is 7.50m.
The proposed lot frontage is 6.30m.
- 5. Chapter 10.80.30.40.(1)A), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.30% of the lot area.

- 6. Chapter 10.80.40.10.(1)B(i), By-law No. 569-2013**
The maximum permitted height of the house is 10.00m.
The proposed height of the house is 10.20m.
- 7. Chapter 10.80.40.10.(2)B(i), By-law No. 569-2013**
The maximum permitted height of the side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.10m.
- 8. Chapter 10.80.40.70.(3)B, By-law No. 569-2013**
The minimum required side yard setback is 1.50m.
The proposed north side yard setback is 1.20m.
- 9. Chapter 10.5.40.60.(1)(C), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.30m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.50m if it is no closer to a side lot line than 2.30m.
The proposed platform encroaches 2.10m into the required rear yard setback and is 1.40m from the south side lot line.
- 10. Section 15.8/ 17(4)(f), By-law No. 7625**
The minimum required landscaping is 50.00%.
The proposed landscaping area is 44.00%.
- 11. Section 15.8/ 17(4)(f), By-law No. 7625**
The minimum required soft landscaping is 75.00%.
The proposed soft landscaping is 71.00%.
- 12. Section 17(43(a)/ 17(4)(a), By-law No. 7625**
The minimum required lot area is 300.00m² for each semi-detached dwelling unit and 665.00m² for each semi-detached dwelling.
The proposed lot area is 230.70m² for the semi-detached dwelling unit 461.20m² for the semi-detached dwelling.
- 13. Section 17(3)(b)/ 17(4)(b), By-law No. 7625**
The minimum required lot frontage is 8.50m for each semi-detached dwelling unit and 18.00m for each semi-detached dwelling.
The proposed lot frontage is 6.30m and for each semi detached dwelling unit and 12.60m for each semi-detached dwelling.
- 14. Section 17(3)(c)(i)/ 17(4)(c)(i), By-law No. 7625**
The minimum required front yard setback is 7.50m.
The proposed front yard setback is 5.60m.
- 15. Section 17(3)(c)(ii)/ 17(4)(c)(ii), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.20m.

16. Section 17(3)(d)/ 17(4)(d), By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 37.30% of the lot area.

17. Section 6(8), By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

18. Section 17(3)(e)/ 17(4)(e), By-law No. 7625

The maximum permitted building height is 9.20m.
The proposed building height is 9.54m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the western edge of the proposed rear deck; with a minimum height of 1.5 metres from the floor of the deck.
- 2) Permeable pavers are to be used for the proposed driveway.

SIGNATURE PAGE

File Number:	A0232/17NY	Zoning	RM5/ RM (d1.0) (x474)
Owner:	RED ROCK BUILDERS LIMITED	Ward:	Eglinton-Lawrence (15)
Agent:	RED ROCK BUILDERS LTD	Heritage:	Not Applicable
Property Address:	GLENN RUBINOFF	Community:	North York
	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PARTS 3 & 4)		
Legal Description:	PLAN 2053 LOT 194		

Beth Levy (signed) Bruce Mullock (signed) Derek Lett (signed)

Isaac Lallouz (signed) Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, August 17, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0233/17NY	Zoning	RM5/ RM (d1.0) (x474)
Owner(s):	RED ROCK BUILDERS LIMITED RED ROCK BUILDERS LTD	Ward:	Eglinton-Lawrence (15)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2053 LOT 194		

PURPOSE OF THE APPLICATION:

To construct one-half of a new semi-detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.40.70.(3)B, By-law No. 569-2013**
The minimum required south side yard setback is 1.50m.
The proposed south side yard setback is 1.20m.
- 2. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the First Floor area must be within 4.00m of the front wall.
There is 2.97m² proposed within 4.00m of the front wall.
- 3. Chapter 10.5.50.10.(1)B, By-law No. 569-2013**
A minimum of 50.00% of the front yard must be landscaping.
The proposed front yard landscaping area is 44.60%.
- 4. Chapter 10.5.50.10.(1)D, By-law No. 569-2013**
A minimum of 75.00% of the front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 70.00%.
- 5. Chapter 10.80.30.20.(1)C, By-law No. 569-2013**
The minimum required lot frontage is 7.50m.
The proposed lot frontage is 6.30m.

- 6. Chapter 10.80.30.40.(1)A), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.50% of the lot area.
- 7. Chapter 10.80.40.10.(2)B)(i), By-law No. 569-2013**
The maximum permitted height of the side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 7.92m.
- 8. Section 15.8/ 17(4)(f), By-law No. 7625**
The minimum required landscaping is 50.00%.
The proposed landscaping area is 44.60%.
- 9. Section 15.8/ 17(4)(f), By-law No. 7625**
The minimum required soft landscaping is 75.00%.
The proposed soft landscaping is 70.00%.
- 10. Section 17(43(a)/ 17(4)(a), By-law No. 7625**
The minimum required lot area is 300.00m² for each semi-detached dwelling unit and 665.00m² for each semi-detached dwelling.
The proposed lot area is 230.60m² for the semi-detached dwelling unit 461.60m² for the semi-detached dwelling.
- 11. Section 17(3)(b)/ 17(4)(b), By-law No. 7625**
The minimum required lot frontage is 8.50m for each semi-detached dwelling unit and 18.00m for each semi-detached dwelling.
The proposed lot frontage is 6.30m and for each semi detached dwelling unit and 12.60m for each semi-detached dwelling.
- 12. Section 17(3)(c)(i)/ 17(4)(c)(i), By-law No. 7625**
The minimum required front yard setback is 7.50m.
The proposed front yard setback is 5.75m.
- 13. Section 17(3)(c)(ii)/ 17(4)(c)(ii), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.20m.
- 14. Section 17(3)(d)/ 17(4)(d), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 37.30% of the lot area.
- 15. Section 17(3)(e)/ 17(4)(e), By-law No. 7625**
The maximum permitted building height is 9.20m.
The proposed building height is 9.49m.
- 16. Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the eastern edge of the proposed rear deck; with a minimum height of 1.5 metres from the floor of the deck.
- 2) Permeable pavers are to be used for the proposed driveway.
- 3) **The requirements of the Parks and Recreation, Urban Forestry Division;**
 - i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0233/17NY	Zoning	RM5/ RM (d1.0) (x474)
Owner:	RED ROCK BUILDERS LIMITED	Ward:	Eglinton-Lawrence (15)
Agent:	RED ROCK BUILDERS LTD GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2053 LOT 194		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0234/17NY	Zoning:	RM5/ RM (d1.0) (x474)
Owner(s):	RED ROCK BUILDERS LIMITED RED ROCK BUILDERS LTD	Ward:	Eglinton-Lawrence (15)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PART 1)	Community:	North York
Legal Description:	PLAN 2053 LOT 194		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct one-half of a new semi-detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the First Floor area must be within 4.00m of the front wall.
There is 2.97m² proposed within 4.00m of the front wall.
- 2. Chapter 10.5.40.60.(1)(C), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.30m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.50m if it is no closer to a side lot line than 2.30m.
The proposed platform encroaches 2.10m into the required rear yard setback and is 1.45m from the south side lot line.
- 3. Chapter 10.5.50.10.(1)(B), By-law No. 569-2013**
A minimum of 50.00% of the front yard must be landscaping.
The proposed front yard landscaping area is 44.60%.
- 4. Chapter 10.5.50.10.(1)(D), By-law No. 569-2013**
A minimum of 75.00% of the front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 69.00%

5. **Chapter 10.80.30.20.(1)C), By-law No. 569-2013**
The minimum required lot frontage is 7.50m.
The proposed lot frontage is 6.30m.
6. **Chapter 10.80.30.40.(1)A), By-law No. 569-2013**
The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 37.20% of the lot area.
7. **Chapter 10.80.40.10.(2)B)(i), By-law No. 569-2013**
The maximum permitted height of the side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 7.92m.
8. **Chapter 10.80.40.70.(3)B), By-law No. 569-2013**
The minimum required side yard setback is 1.50m.
The proposed north side yard setback is 1.20m.
9. **Section 15.8/ 17(4)(f), By-law No. 7625**
The minimum required landscaping is 50.00%.
The proposed landscaping area is 44.60%.
10. **Section 15.8/ 17(4)(f), By-law No. 7625**
The minimum required soft landscaping is 75.00%.
The proposed soft landscaping is 69.00%.
11. **Section 17(3)(a)/ 17(4)(a), By-law No. 7625**
The minimum required lot area is 300.00m² for each semi-detached dwelling unit and 665.00m² for each semi-detached dwelling.
The proposed lot area is 231.00m² for the semi-detached dwelling unit 461.60m² for the semi-detached dwelling.
12. **Section 17(3)(b)/ 17(4)(b), By-law No. 7625**
The minimum required lot frontage is 8.50m for each semi-detached dwelling unit and 18.00m for each semi-detached dwelling.
The proposed lot frontage is 6.30m and for each semi detached dwelling unit and 12.60m for each semi-detached dwelling.
13. **Section 17(3)(c)(i)/ 17(4)(c)(i), By-law No. 7625**
The minimum required front yard setback is 7.50m.
The proposed front yard setback is 5.60m.
14. **Section 17(3)(c)(ii)/ 17(4)(c)(ii), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.20m.
16. **Section 17(3)(d)/ 17(4)(d), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 37.20% of the lot area.

17. Section 17(3)(e)/ 17(4)(e), By-law No. 7625
The maximum permitted building height is 9.20m.
The proposed building height is 9.49m.

18. Section 6(8), By-law No. 7625
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the western edge of the proposed rear deck; with a minimum height of 1.5 metres from the floor of the deck.
- 2) Permeable pavers are to be used for the proposed driveway.

SIGNATURE PAGE

File Number:	A0234/17NY	Zoning	RM5/ RM (d1.0) (x474)
Owner:	RED ROCK BUILDERS LIMITED	Ward:	Eglinton-Lawrence (15)
Agent:	RED ROCK BUILDERS LTD GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PART 1)	Community:	North York
Legal Description:	PLAN 2053 LOT 194		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0235/17NY	Zoning:	RM5/ RM (d1.0) (x474)
Owner(s):	RED ROCK BUILDERS LIMITED	Ward:	Eglinton-Lawrence (15)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PART 10)	Community:	North York
Legal Description:	PLAN 2053 LOT 195 TO 196		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the First Floor area must be within 4.00m of the front wall.
There is 2.60m² proposed within 4.00m of the front wall.
- 2. Chapter 10.5.40.60.(1)(C), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.30m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.50m if it is no closer to a side lot line than 2.74m.
The proposed platform encroaches 1.82m into the required rear yard setback and is 1.12m from the north side lot line.
- 3. Chapter 10.80.30.10.(1)A), By-law No. 569-2013**
The minimum required lot area is 360.00m².
The propose lot area is 246.20m².
- 4. Chapter 10.80.40.10.(1)B)(i), By-law No. 569-2013**
The maximum permitted height of the dwelling is 9.93m.
The proposed height of the dwelling is 10.20m.

5. **Chapter 10.80.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 5.90m.
The proposed front yard setback is 5.60m.
6. **Chapter 10.80.40.10.(2)B(i)/ 10.80.40.10.(2)B(ii), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.13m.
7. **Section 20.2.1, By-law No. 7625**
The minimum required lot area is 550.00m².
The proposed lot area is 246.20m².
8. **Section 20.2.2, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
9. **Section 20.2.3, By-law No. 7625**
The minimum required lot frontage is 15.00m.
The proposed lot frontage is 12.75m.
10. **Section 20.2.4(a), By-law No. 7625**
The minimum required front yard setback is 7.50m.
The proposed front yard setback is 5.60m.
11. **Section 20.2.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.20m.
12. **Section 20.2.4(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.20m.
13. **Section 20.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.50m.
14. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
15. **Section 6(9)(b), By-law No. 7625**
The maximum projection of a stair in the rear yard is 2.10m.
The proposed stair projects 2.90m.
16. **Section 6(9)(n), By-law No. 7625**
The maximum cumulative width of bay windows is 50.00% of the width of the wall.
The proposed cumulative width of the front and rear 1st and 2nd storey bay windows is 56.00%

17. Section 6(24)(d), By-law No. 7625

In the rear yard, unexcavated porches and decks attached to or detached from the main building shall be located no closer to the side lot lines than the minimum side yard setback for the main building; 1.80m.

The proposed deck is located 1.12m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the western edge of the proposed rear deck; with a minimum height of 1.5 metres from the floor of the deck.
- 2) Permeable pavers are to be used for the proposed driveway.

SIGNATURE PAGE

File Number:	A0235/17NY	Zoning	RM5/ RM (d1.0) (x474)
Owner:	RED ROCK BUILDERS LIMITED	Ward:	Eglinton-Lawrence (15)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	12 & 14 CARHARTT ST & 28 MARQUETTE AVE (PART 10)	Community:	North York
Legal Description:	PLAN 2053 LOT 195 TO 196		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, August 17, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0025/17NY	Zoning	R (f7.5; u2; d0.6) (x949)/R1S Z0.60[ZZC]
Owner(s):	YUANMING DONG PIERRE HONGKUN PONG	Ward:	Eglinton-Lawrence (16)
Agent:	ARPA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	105 CRAIGHURST AVE	Community:	Toronto
Legal Description:	PLAN M53 LOT 30		

Notice was given and the application considered on Thursday, August 17, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two residential lots.

CONVEYED - PART 1

Address to be assigned

Part 1 has a lot frontage of 7.62m and a lot area is 311.20m². The lot will be redeveloped with a new detached residential dwelling.

RETAINED - PART 2

Address to be assigned

Part 2 has a lot frontage of 7.62m and a lot area is 311.20m². The lot will be redeveloped with a new detached residential dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance

Department.

- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

PLAN 65R-

RECEIVED AND DEPOSITED :

DATE: DECEMBER 9, 10, 2016

DATE: DECEMBER 9, 10, 2016

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

A. ABEELSHAHID, O.L.S.

REPRESENTATIVE FOR LAND REGISTRAR FOR THE LAND TITLES DIVISION OF THE YORK REGION REGISTRY OFFICE (No. 65)

**PLAN OF SURVEY OF
PLAN OF PART OF LOT 30
REGISTERED PLAN M-53
CITY OF TORONTO
(FORMERLY CITY OF TORONTO)**

MITSCHE & AZIZ INC., O.L.S.

METRIC: DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING SHOWN HEREON ARE GRID DERIVED FROM OBSERVED REFERENCE POINTS (OSRS V6) WHICH IS A REAL TIME NETWORK OBSERVATIONS, UTM ZONE 17, NAD 83 (OSRS V6) (EPOCH 2010.00)

INTEGRATION DATA

THE OSRS V6 GPS NETWORK SERVICE AND ARE REFERRED TO UTM ZONE 17, NAD 83 (OSRS V6) (EPOCH 2010.00) COORDINATE VALUES ARE TO URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) OF OREG 216.10 AND CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

POINT ID	NORTHING	EASTING
A	4858908.38	639308.68
B	4858865.81	639316.43
C	4858812.31	639387.45
D	4858934.87	639345.56

DISTANCE SHOWN ON THE PLAN ARE ADJUSTED GROUND DISTANCE & CAN BE USED TO COMPUTE GRID DISTANCE BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.9991602

SCHEDULE

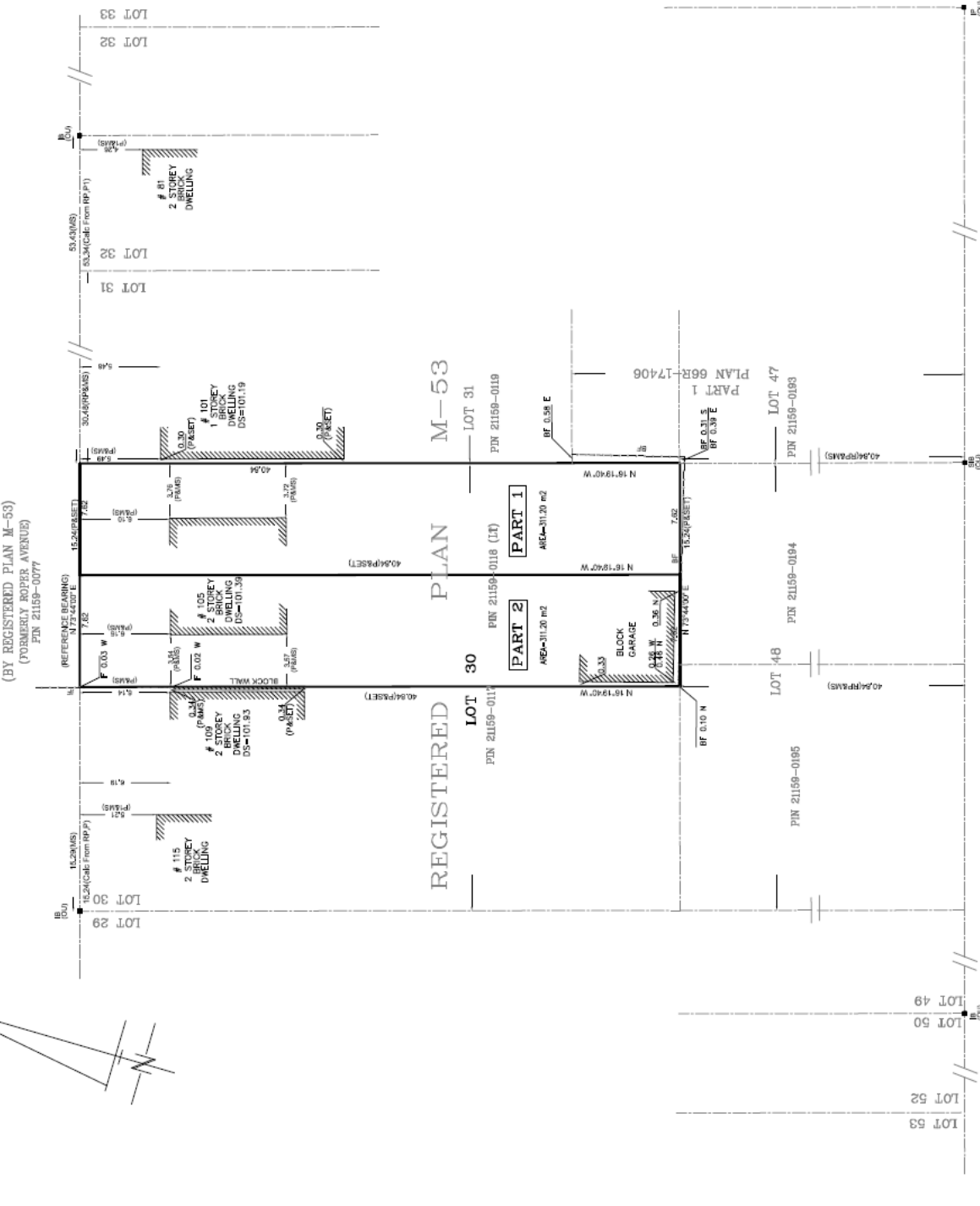
PART	LOT	REGISTERED PLAN	ALL OF PIN	AREA
1	PART OF LOT 30	M-53	21159-01181 (LT)	311.20 m ²
2	PART OF LOT 30			311.20 m ²

- LEGEND:**
- DENOTES SURVEY MONUMENT FOUND
 - SURVEY MONUMENT SET
 - STAINED IRON BAR
 - △ S.P.S.W
 - S.F.
 - C.F.
 - R.P.
 - P.
 - P.I.
- LEGENDS:**
- IB IRON BAR
 - MH MANHOLE
 - HP HYDRO POLE
 - OU ORIGIN UNKNOWN
 - MS MEASURED
 - DI DECIDUOUS TREE
 - ★ CT. CONIFEROUS TREE
 - DS DOOR SILL

MITSCHE & AZIZ INC.
ONTARIO LAND SURVEYORS
120 NEWKIRK ROAD - #31, RICHMOND HILL, ONT. L4C 9S7
Tel. (905) 237-8224 Fax: (416) 477-5465
Website: m-azizsurveyors.ca
E-Mail: aziz@m-azizsurveyors.ca

PROJECT NUMBER	105 CRAIGHURST AVENUE (SR-PR)
DRAWN BY	KU
CHECKED BY	A.A

CRAIGHURST AVENUE
(BY REGISTERED PLAN M-53)
(FORMERLY ROBER AVENUE)
PIN 21159-0077



ALBERTUS AVENUE

DUPLEX AVENUE

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf

Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0327/17NY	Zoning	R (f7.5; u2; d0.6) (x949)/R1S Z0.60[ZZC]
Owner(s):	YING SUN PIERRE HONGKUN PONG	Ward:	Eglinton-Lawrence (16)
Agent:	ARPA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	105 CRAIGHURST AVE (PART B)	Community:	Toronto
Legal Description:	PLAN M53 LOT 30		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Exception 949(A), By-law No. 569-2013**
The maximum permitted building length is 14m.
The proposed building length is 17m.
- 2. Chapter 10.10.40.40, By-law No. 569-2013**
The permitted maximum floor space index is 0.60 times the area of the lot.
The proposed floor space index is **0.72** times the area of the lot.
- 3. Chapter 10.10.40.10(2)(b), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is **9.0m**.
- 4. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth is 0.9m.
The proposed north side lot line setback is 0.46m.
- 5. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth is 0.9m.
The proposed south side lot line setback is 0.46m.

6. Section 6(3)Part II 3(II), By-law No. 438-86

The by-law requires that the proposed building be located no closer than 1.2m to the portion of the side wall of an adjacent building that contains openings.

The proposed building is located **1.07m** from the adjacent north building.

7. Section 6(3) Part II, By-law No. 438-86

The maximum permitted Gross Floor Area is 0.60 times the area of the lot.

The proposed Gross Floor Area is **0.72** times the area of the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0327/17NY	Zoning	R (f7.5; u2; d0.6) (x949)/R1S Z0.60[ZZC]
Owner:	YING SUN PIERRE HONGKUN PONG	Ward:	Eglinton-Lawrence (16)
Agent:	ARPA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	105 CRAIGHURST AVE (PART B)	Community:	Toronto
Legal Description:	PLAN M53 LOT 30		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0331/17NY	Zoning	R (f7.5; u2; d0.6) (x949)/R1S Z0.60[ZZC]
Owner(s):	YING SUN PIERRE HONGKUN PONG	Ward:	Eglinton-Lawrence (16)
Agent:	ARPA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	105 CRAIGHURST AVE (PART A)	Community:	Toronto
Legal Description:	PLAN M53 LOT 30		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Exception 949(A), By-law No. 569-2013**
The maximum permitted building length is 14m.
The proposed building length is 17m.
- 2. Chapter 10.10.40.40, By-law No. 569-2013**
The permitted maximum floor space index is 0.60 times the area of the lot.
The proposed floor space index is **0.72** times the area of the lot.
- 3. Chapter 10.10.40.10(2)(b), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is **9.00m**.
- 4. Section 6(3) Part II, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.60 times the area of the lot.
The proposed Gross Floor Area is **0.72** times the area of the lot.
- 5. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth is 0.9m.
The proposed north side lot line setback is 0.46m.

- 6. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth is 0.9m.
The proposed south side lot line setback is 0.46m.
- 7. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed north side lot line setback is 0.46m.
- 8. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed south side lot line setback is 0.46m.
- 9. Section 12.(2)112, By-law No. 438-86**
The maximum permitted building depth is 14.0m.
The proposed building depth is 17.75m.
- 10. Section 6(3)Part II 3(II), By-law No. 438-86**
The by-law requires that the proposed building be located no closer than 1.2m to the portion of the side wall of an adjacent building that contains openings.
The proposed building is located **1.07m** from the adjacent building to the south.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf. Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0331/17NY	Zoning	R (f7.5; u2; d0.6) (x949)/R1S Z0.60[ZZC]
Owner:	YING SUN PIERRE HONGKUN PONG	Ward:	Eglinton-Lawrence (16)
Agent:	ARPA ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	105 CRAIGHURST AVE	Community:	Toronto
Legal Description:	PLAN M53 LOT 30		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0546/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	VERNA BETTY SHAND	Ward:	Willowdale (24)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	5 BUNTY LANE	Community:	North York
Legal Description:	PLAN M677 LOT 86		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.100.1.(1), By-law No. 569-2013**
The maximum permitted driveway width is 6.00m.
The proposed driveway width is 7.00m.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.44m.
- 4. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 6.96m.
The proposed front yard setback is 5.45m.
- 5. Chapter 10.5.40.60.(2), By-law No. 569-2013**
A canopy, awning or similar structure not covering a platform may encroach in a front yard or rear yard: 2.50m, if it is no closer to a side lot line than the minimum required side yard setback.
The proposed canopy encroaches 3.05m.

6. **Chapter 10.5.80.40.(2), By-law No. 569-2013**
The maximum permitted combined width of all vehicle entrances through the front main wall of the residential building is 6.00m.
The proposed combined width of all vehicle entrances through the front main wall is 7.50m.
7. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550.00m².
The existing lot area is 542.05m².
8. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.20m (including 3.05m for the front canopy).
9. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.19m**.
10. **Section 6A(5)a, By-law No. 7625**
The maximum permitted driveway width is 6.00m.
The proposed driveway width is 7.00m.
11. **Section 6(30), By-law No. 7625**
The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.69m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

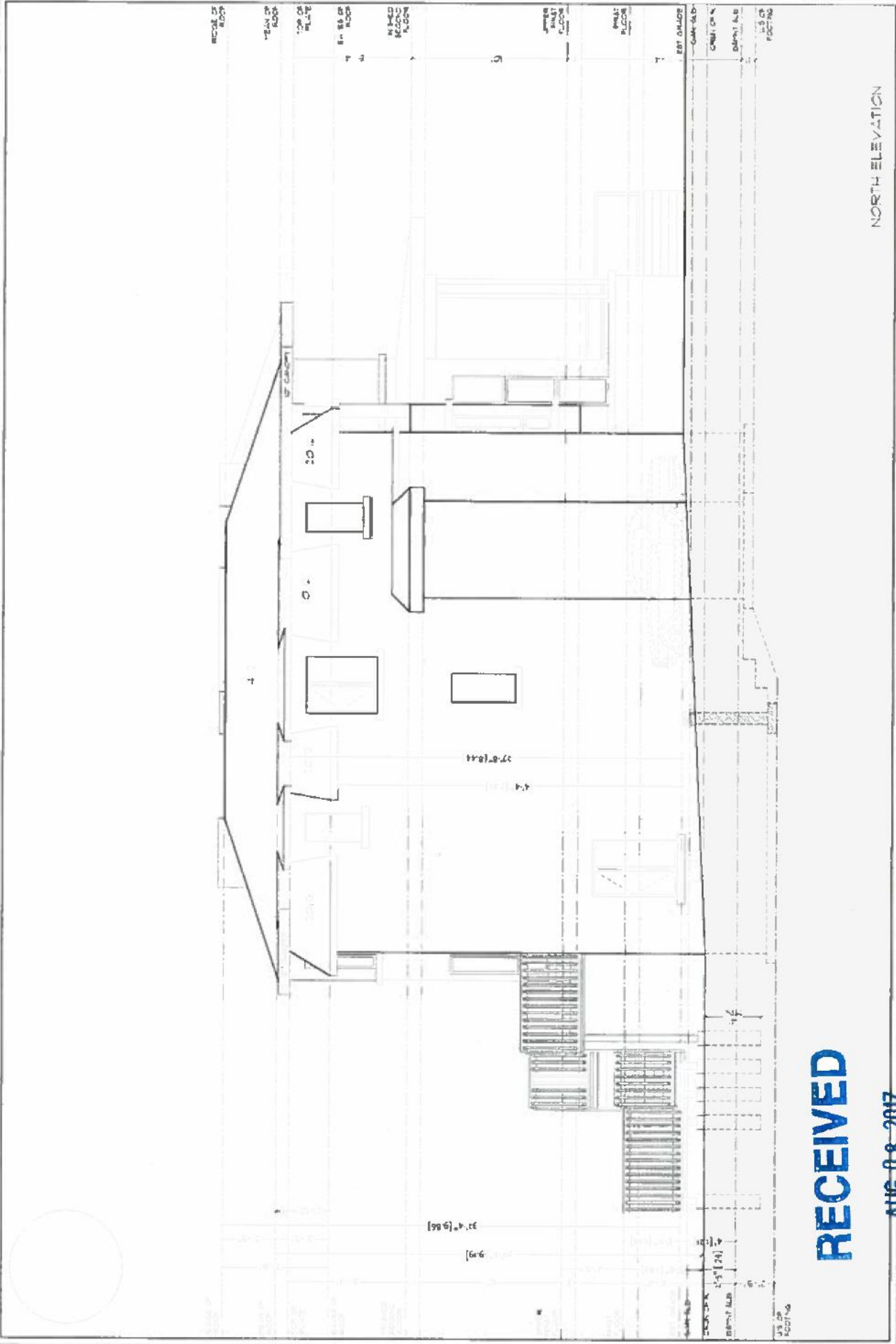
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the North Elevation and South Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 8, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

THE DETAILS ARE THE PROPERTY OF TORONTO AND NO REPRODUCTION OR USE IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS PERMITTED.



NORTH ELEVATION

RECEIVED

AUG 08 2017

Toronto City Planning
North York District

07

WEST ELEVATION

SC

5

FOUR



UNIVERSITY OF TORONTO

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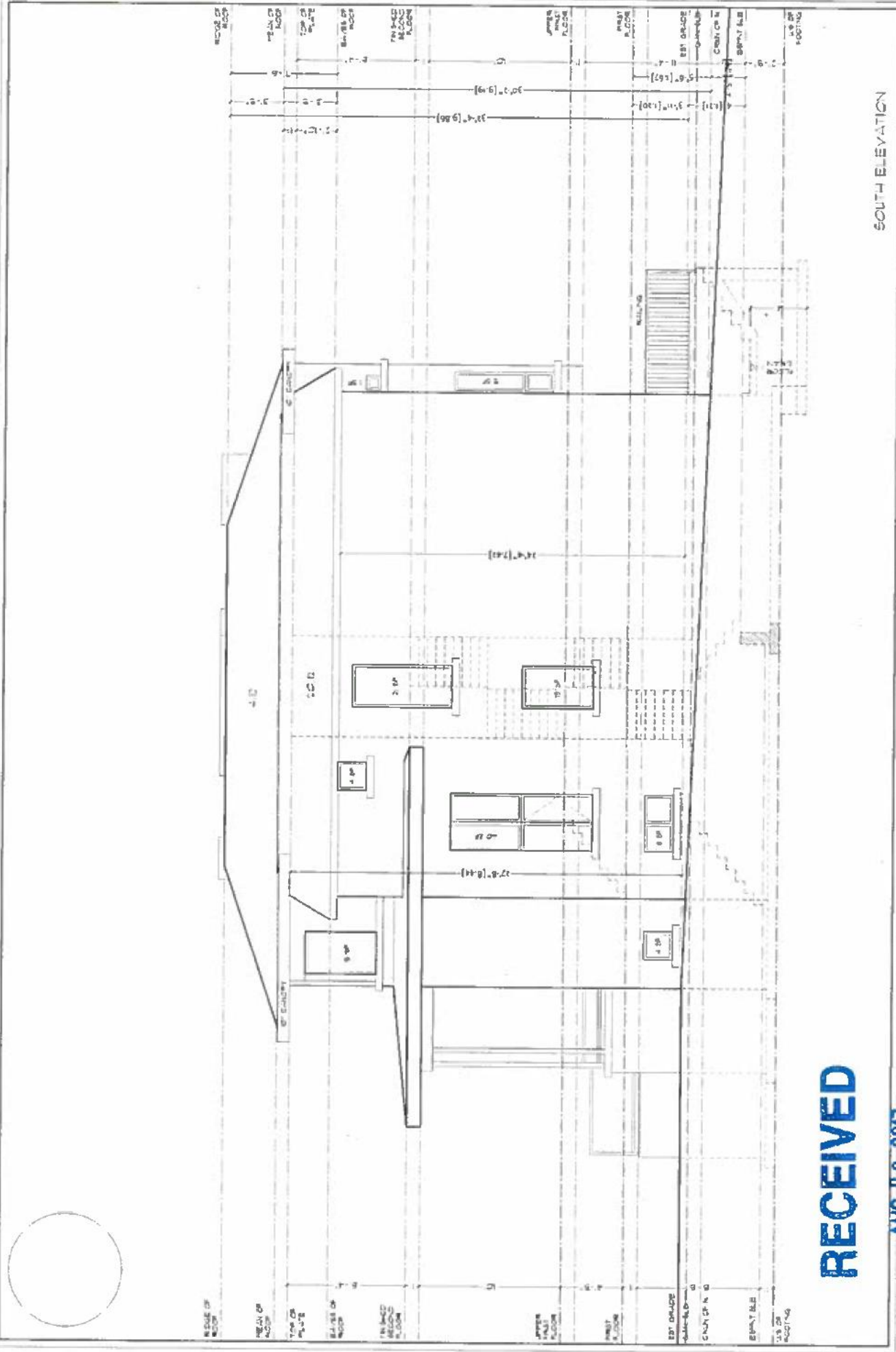
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THESE DRAWINGS ARE THE PROPERTY OF NORTEL AND ANY REPRODUCTION OR USE FOR OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE DESIGN ENGINEER IS PROHIBITED.



SOUTH ELEVATION

09

DATE	DESCRIPTION	BY	CHECKED	SCALE	TITLE
11/15/16	REVISED	W. JONES	M. JONES	1/8" = 1'-0"	SOUTH ELEVATION
08/08/17	ISSUED FOR PERMIT	W. JONES	M. JONES	1/8" = 1'-0"	SOUTH ELEVATION

RECEIVED

AUG 08 2017
Toronto City Planning
North York District

SIGNATURE PAGE

File Number:	A0546/17NY	Zoning	RD/R4 [ZZC]
Owner:	VERNA BETTY SHAND	Ward:	Willowdale (24)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	5 BUNTY LANE	Community:	North York
Legal Description:	PLAN M677 LOT 86		

Derek Lett (signed)

Nazila Atarodi (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, August 17, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0547/17NY	Zoning	RD (f18.0; a690)/R3[ZONING]
Owner(s):	AMIR NADILOEY	Ward:	Don Valley West (25)
Agent:	AFSHIN SHIRDARREH	Heritage:	Not Applicable
Property Address:	1 SILVERGROVE RD	Community:	North York
Legal Description:	PLAN 5871 LOT 7		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front street.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30.0% of the lot area.
The proposed lot coverage is 32.0% of the lot area.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 19.36m.
- 4. Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 18.6m.
- 5. Section 12.7, By-law No. 7625**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.
- 6. Section 12.6, By-law No. 7625**
The maximum lot coverage is 30.0% of the lot area.
The proposed lot coverage is 32.0% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for permit to injure or remove privately owned trees.

- 2) The proposal be constructed in accordance with the site plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 4,2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.***

NO.	DATE	DESCRIPTION
1	08/20/10	PRELIMINARY DESIGN
2	09/01/10	REVISIONS
3	10/15/10	FINAL DESIGN

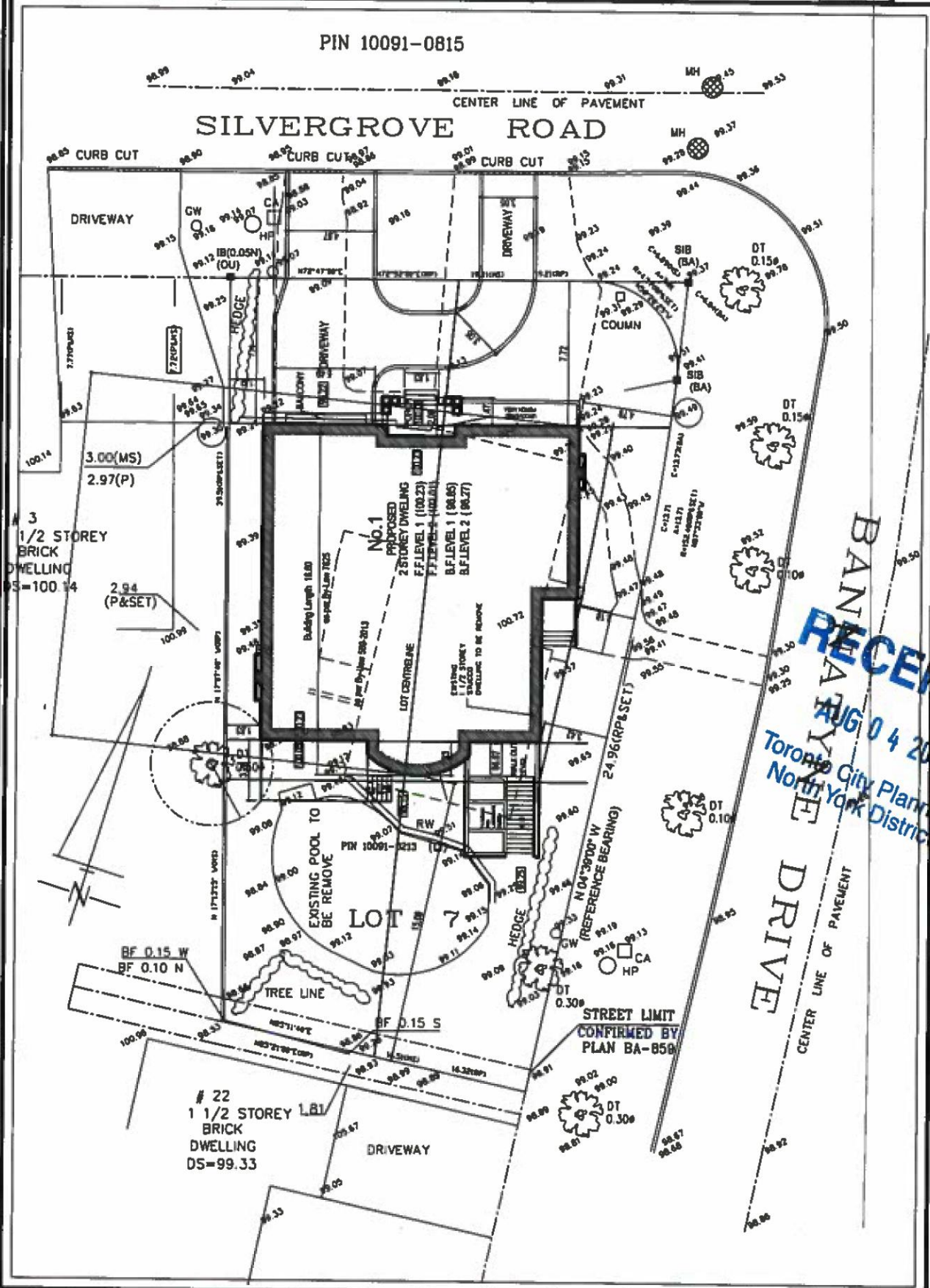
PROJECT:
No. 01
SILVERGROVE ROAD
2 STOREY DWELLING
SITE PLAN
SCALE 1:200

PAAR DESIGN INC.
214 BAYVIEW AVE. SUITE 102
SCARBOROUGH, ONTARIO M1B 2B4
TEL: 416-291-1100
WWW.PAARDESIGN.COM

PAAR DESIGN

A01

PIN 10091-0815



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AUG 04 2017
Toronto City Planning
North York District

STREET LIMIT
CONFIRMED BY
PLAN BA-858

SIGNATURE PAGE

File Number:	A0547/17NY	Zoning	RD (f18.0; a690)/R3[ZONING]
Owner:	AMIR NADILOEY	Ward:	Don Valley West (25)
Agent:	AFSHIN SHIRDARREH	Heritage:	Not Applicable
Property Address:	1 SILVERGROVE RD	Community:	North York
Legal Description:	PLAN 5871 LOT 7		

Beth Levy (signed)

Bruce Mullock (signed)

Nazila Atarodi (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0551/17NY	Zoning	RD / R4 (WAV)
Owner(s):	AARON SILVER AARON YAIR SILVER	Ward:	York Centre (10)
Agent:	IDOINE DESIGN BUILD LTD	Heritage:	Not Applicable
Property Address:	61 CHARLESWOOD DR	Community:	North York
Legal Description:	PLAN 3639 LOT 147		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey detached dwelling with integral garage. The existing dwelling will be demolished

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
There is 0 m² proposed within 4 m of the front wall.
- Chapter 10.5.40.50.(2), By-law No. 569-2013**
A platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3 m of a building must comply with the required minimum building setback for the zone: 1.8 m side yard setback.
The proposed west side yard setback to the rear deck is 1.58 m.
- Chapter 10.20.30.40.(1), By-law No. 569-2013 & Section 13.2.4, By-law No. 7625**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is **38.00%** of the lot area.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 18.44 m.
- Chapter 10.5.40.60.(7), By-law No. 569-2013**
The eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 m, if they are no closer to a lot line than 0.3 m.
The proposed eaves encroach 1.01 m into the required side yard setback and are 0.79 m from the side lot line.

6. **Chapter 900.3.10.(5) Exception RD 5, By-law No. 569-2013**
Despite regulation 10.20.40.70.(3), the required minimum side yard setback is 1.8 m.
The proposed east side yard setback is 1.22 m.
7. **Chapter 900.3.10.(5) Exception RD 5, By-law No. 569-2013**
Despite regulation 10.20.40.70.(3), the required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.22 m.
8. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15 m.
The existing lot area lot frontage is 12.19 m.
9. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The existing lot area is 465.58 m².
10. **Section 13.2.3(b), By-law No. 7625**
For lots having less than 15 m lot frontage, the minimum side yard setback otherwise required by this by-law shall be proportionately reduced at the rate of 0.1 m each side for each 1 m of lot frontage less than 15 m but in no case shall any side yard setback be less than 1.5 m. The minimum required side yard setback is 1.52 m
The proposed east side yard setback is 1.22 m.
11. **Section 13.2.3(b), By-law No. 7625**
For lots having less than 15 m lot frontage, the minimum side yard setback otherwise required by this by-law shall be proportionately reduced at the rate of 0.1 m each side for each 1 m of lot frontage less than 15 m but in no case shall any side yard setback be less than 1.5 m. The minimum required side yard setback is 1.52 m
The proposed west side yard setback is 1.22 m.
12. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m
The proposed building length is 18.44 m.
13. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 8.84 m.
14. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15 m.
The existing lot width is 12.19 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0551/17NY	Zoning	RD / R4 (ZZC)
Owner:	AARON SILVER AARON YAIR SILVER	Ward:	York Centre (10)
Agent:	IDOINE DESIGN BUILD LTD	Heritage:	Not Applicable
Property Address:	61 CHARLESWOOD DR	Community:	North York
Legal Description:	PLAN 3639 LOT 147		

Beth Levy (signed)

Nazila Atarodi (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0552/17NY	Zoning	RD/R6 [ZZC]
Owner(s):	PAYMAN GHORBANKHANI	Ward:	Willowdale (23)
Agent:	BEHZAD SABBAGHI	Heritage:	Not Applicable
Property Address:	157 PARKVIEW AVE	Community:	North York
Legal Description:	PLAN 1790 LOT 612		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **31.99%** of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 7.96m.
- 3. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 5.57m² within 4.00m of the main front wall.
- 4. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is **1.13m**.
- 5. Section 14-A(3), By-law No. 7625**
The minimum required lot area is 371.00m².
The existing lot area is 339.90m².
- 6. Section 14-A(4) & 6(8), By-law No. 7625**
The minimum required lot frontage and width is 12.00m.
The existing lot frontage and width is 9.14m.

7. **Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.20m.
The proposed east side yard setback is **1.13m**.
8. **Section 14-A(6), By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **31.99%** of the lot area.
9. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.42m**.
10. **Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is **16.98m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application.
The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0552/17NY	Zoning	RD/R6 [ZZC]
Owner:	PAYMAN GHORBANKHANI	Ward:	Willowdale (23)
Agent:	BEHZAD SABBAGHI	Heritage:	Not Applicable
Property Address:	157 PARKVIEW AVE	Community:	North York
Legal Description:	PLAN 1790 LOT 612		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0553/17NY	Zoning	R1B/RD[WAV]
Owner(s):	PEI PEN KAO	Ward:	Don Valley West (26)
Agent:	ZIGGY CEHIC	Heritage:	Not Applicable
Property Address:	165 GLENVALE BLVD	Community:	East York
Legal Description:	PLAN 3111 PT LOT 886 PT LOT 887		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space index is 0.621 times the area of the lot.
- 2. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed west side yard setback is 0.9m.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed east side yard setback is 0.6m.
- 4. Section 6.3.3, By-law No. 1916**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space index is 0.621 times the area of the lot.
- 5. Section 6.3.3, By-law No. 1916**
The minimum required side yard setback is 1.2m.
The proposed east side yard setback is 0.6m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

- 1. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space index is 0.621 times the area of the lot.
- 2. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed west side yard setback is 0.9m.
- 4. Section 6.3.3, By-law No. 1916**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space index is 0.621 times the area of the lot.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed east side yard setback is **0.90m**.
- 5. Section 6.3.3, By-law No. 1916**
The minimum required side yard setback is 1.2m.
The proposed east side yard setback is **0.90m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0553/17NY	Zoning	R1B/RD[WAV]
Owner:	PEIPEN KAO	Ward:	Don Valley West (26)
Agent:	ZIGGY CEHIC	Heritage:	Not Applicable
Property Address:	165 GLENVALE BLVD	Community:	East York
Legal Description:	PLAN 3111 PT LOT 886 PT LOT 887		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0554/17NY	Zoning	RD / R1
Owner(s):	LJUBE DODEVSKI	Ward:	Eglinton-Lawrence (16)
Agent:	DRAGI DODEVSKI	Heritage:	Not Applicable
Property Address:	1010 SPADINA RD	Community:	Toronto
Legal Description:	PLAN 3211 LOT 6		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(1), By-law No. 569-2013**
On a lot with a detached house, a minimum of 75% of the required front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 71.3%.
- 2. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building is 9.0 m.
The proposed height of the building is 10.00 m.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.0 m
The proposed height of the north side exterior wall is 7.50 m for 100%.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.0 m
The proposed height of the south side exterior wall is 9.10 m for 34% of the wall. The remaining wall will be 7.50 m.
- 5. Chapter 10.20.40.20.(1), By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m
The proposed building length is **17.89m**.

- 6. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.85 times the area of the lot.
- 7. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The required minimum rear yard setback is 7.5 m.
The proposed rear yard setback is **6.41m**.
- 8. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 0.9 m where the required minimum lot frontage is 6.0 m to less than 12.0 m.
The proposed north side yard setback is **0.81m**.
- 9. Chapter 10.5.40.10(5), By-law No. 569-2013**
A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
The proposed first floor area within 4.0 m of the front main wall is 7.80 m².
- 10. Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.6 times the area of the lot.
The proposed gross floor area is 0.85 times the area of the lot.
- 11. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The by-law requires a detached house in an R1 district, to have a minimum side lot line setback of 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.
The proposed side lot line setback is 4.19 m on the south side.
- 12. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The by-law requires a detached house in an R1 district, to have a minimum side lot line setback of 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.
The proposed side lot line setback is 0.63 m on the north side.
- 13. Section 6(3) Part II 4, By-law No. 438-86**
The by-law requires a building to have a minimum rear yard setback of 7.5 m.
The proposed rear yard setback is **6.41m**.
- 14. Section 6(3) Part III 3(d)i(D), By-law No. 438-86**
The by-law requires 75% of the front yard area not covered by a permitted driveway to be in the form of soft landscaping.
The proposed area of the yard for soft landscaping is 71.3%.
- 15. Section 6(3) Part II 3.B(II), By-law No. 438-86**
A minimum side lot line setback of 0.9 m is required for the portion of the building not exceeding 17.0 m in depth.
The proposed side lot line setback is **0.81m**.
- 16. Section 4(2), By-law No. 438-86**
The maximum permitted building height is 9.0 m.
The proposed building height is 9.13 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

- 1. Chapter 10.5.50.10.(1), By-law No. 569-2013**
On a lot with a detached house, a minimum of 75% of the required front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 71.3%.
- 2. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building is 9.0 m.
The proposed height of the building is 10.00 m.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.0 m
The proposed height of the north side exterior wall is 7.50 m for 100%.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.0 m
The proposed height of the south side exterior wall is 9.10 m for 34% of the wall. The remaining wall will be 7.50 m.
- 5. Chapter 10.20.40.20.(1), By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m
The proposed building length is **17.89m**.
- 7. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The required minimum rear yard setback is 7.5 m.
The proposed rear yard setback is **6.41m**.
- 8. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 0.9 m where the required minimum lot frontage is 6.0 m to less than 12.0 m.
The proposed north side yard setback is **0.81m**.
- 9. Chapter 10.5.40.10(5), By-law No. 569-2013**
A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
The proposed first floor area within 4.0 m of the front main wall is 7.80 m².
- 11. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The by-law requires a detached house in an R1 district, to have a minimum side lot line setback of 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.
The proposed side lot line setback is 4.19 m on the south side.
- 12. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The by-law requires a detached house in an R1 district, to have a minimum side lot line setback of 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.
The proposed side lot line setback is 0.63 m on the north side.
- 13. Section 6(3) Part II 4, By-law No. 438-86**
The by-law requires a building to have a minimum rear yard setback of 7.5 m.
The proposed rear yard setback is **6.41m**.

14. Section 6(3) Part III 3(d)i(D), By-law No. 438-86

The by-law requires 75% of the front yard area not covered by a permitted driveway to be in the form of soft landscaping.

The proposed area of the yard for soft landscaping is 71.3%.

15. Section 6(3) Part II 3.B(II), By-law No. 438-86

A minimum side lot line setback of 0.9 m is required for the portion of the building not exceeding 17.0 m in depth.

The proposed side lot line setback is **0.81m**.

16. Section 4(2), By-law No. 438-86

The maximum permitted building height is 9.0 m.

The proposed building height is 9.13 m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

6. Chapter 10.20.40.40.(1), By-law No. 569-2013

The permitted maximum floor space index is 0.6 times the area of the lot.

The proposed floor space index is **0.77** times the area of the lot.

10. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.6 times the area of the lot.

The proposed gross floor area is **0.77** times the area of the lot.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
- 2) The applicant is to provide permanent opaque screening or fencing along the north edge of the rear deck platform with a minimum height of 1.5 metres from the floor of the rear platform.

SIGNATURE PAGE

File Number:	A0554/17NY	Zoning	RD / R1
Owner:	LJUBE DODEVSKI	Ward:	Eglinton-Lawrence (16)
Agent:	DRAGI DODEVSKI	Heritage:	Not Applicable
Property Address:	1010 SPADINA RD	Community:	Toronto
Legal Description:	PLAN 3211 LOT 6		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0555/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	ATTICA-TUL-NOOR BHALLI USMAN AHMED BHALLI	Ward:	York Centre (10)
Agent:	JS BARMİ ARCHİTECT	Heritage:	Not Applicable
Property Address:	4 ARTREEVA DR	Community:	North York
Legal Description:	PLAN 5011 LOT 95		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.52m.

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.52m.

3. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the west side exterior main walls facing a side lot line is 8.81m.

4. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the east side exterior main walls facing a side lot line is 7.83m.

5. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.
The proposed building length is 17.59m.

6. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.92% of the lot area.

7. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.52m.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.52m.

9. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.
The proposed building length is 17.35m.

10. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.26m.

11. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall and a maximum height of 1.00m.
The proposed rear deck projects 3.05m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

2) The proposal be developed in accordance with the west and east elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, August 8, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

GENERAL NOTES

1. DRAWINGS MUST BE MAILED AND TO BE MADE IN CONFORMANCE WITH THE CITY OF TORONTO'S BUILDING CODE (O.C. 11.1.00000.1).

2. ALL DIMENSIONS AND APPROVALS ON THIS DRAWING MUST BE CHECKED AND VERIFIED BY THE ARCHITECT PRIOR TO ANY CONSTRUCTION. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWING. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THIS DRAWING. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY OTHER ASPECTS OF THE PROJECT, INCLUDING BUT NOT LIMITED TO, THE DESIGN AND CONSTRUCTION OF THE FOUNDATION, STRUCTURE, MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER SPECIALTIES. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DELAYS OR COST OVERRUNS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY INADEQUACIES IN THE DESIGN OR CONSTRUCTION OF THE BUILDING THAT ARE NOT SHOWN ON THIS DRAWING. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY INADEQUACIES IN THE DESIGN OR CONSTRUCTION OF THE BUILDING THAT ARE NOT SHOWN ON THIS DRAWING.

3. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY INADEQUACIES IN THE DESIGN OR CONSTRUCTION OF THE BUILDING THAT ARE NOT SHOWN ON THIS DRAWING. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY INADEQUACIES IN THE DESIGN OR CONSTRUCTION OF THE BUILDING THAT ARE NOT SHOWN ON THIS DRAWING.

DATE: 02-25-MAY-17
 CHECKED BY: JCB
 DRAWN BY: A.D.
 PROJECT: 1000-A1



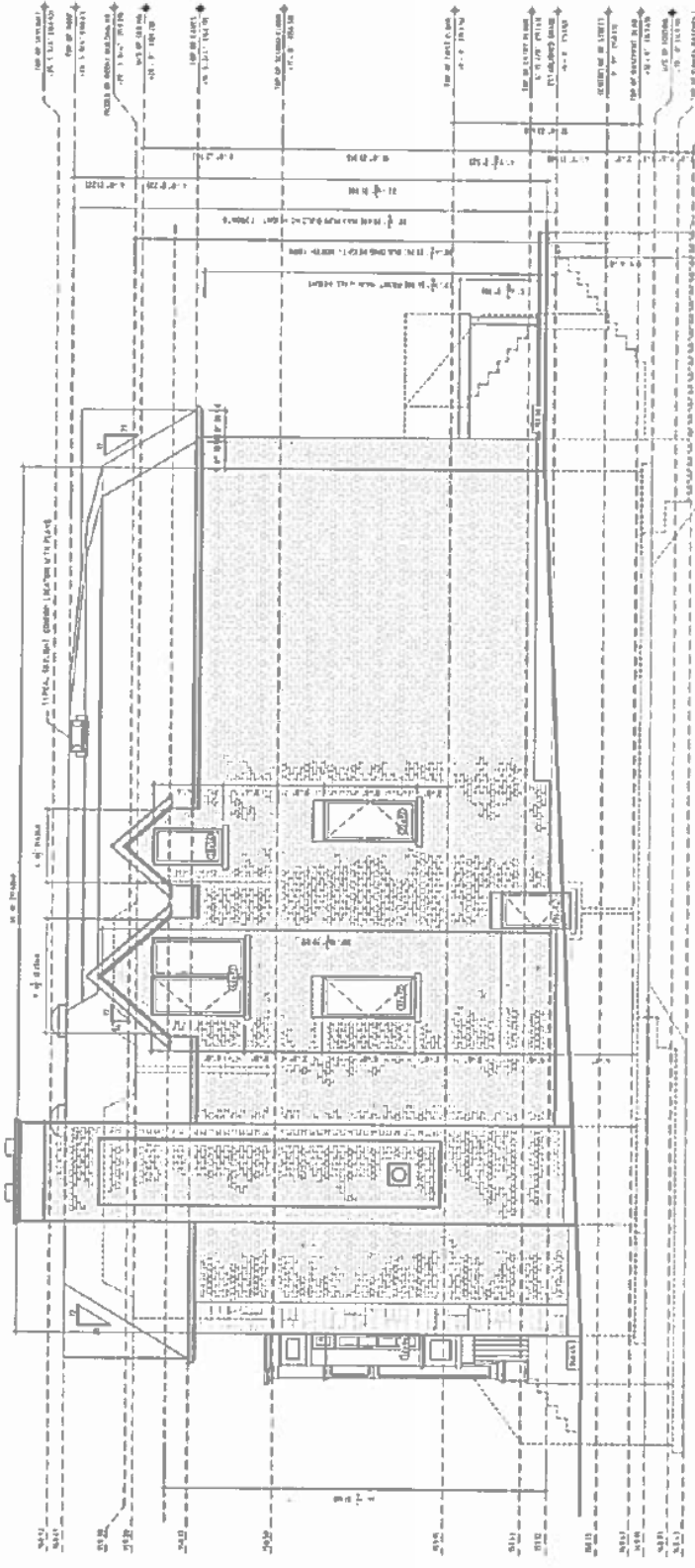
PROJECT TITLE:
 ARCHITECTURAL RESPONSE
 ARCHITECT: J.S. BARI ARCHITECT
 TORONTO, ON
 PROJECT: 1000-A1

J.S. BARI ARCHITECT

A 201

PROPOSED WEST ELEVATION

11 SHEPPARD AVENUE WEST
 TORONTO, ON M7N 0P3 CANADA
 T: (416) 977-8888 F: (416) 977-8888
 E: J.S.BARI@J.S.BARI.COM
 WWW.J.S.BARI.COM



RECEIVED

AUG 08 2017

Toronto City Planning
 North York District

PROPOSED WEST ELEVATION
 1000-A1 (1/17) - 2017

PROPOSED WEST ELEVATION

1/8" = 1'-0"

GENERAL NOTES/PATENTAL NOTING

1. DRAWINGS MUST BE KEPT AND TO BE READ IN CONNECTION WITH THE ORIGINAL NOTES AND SET.
 2. ALL DIMENSIONS AND INFORMATION ON THESE DRAWINGS MUST BE CHECKED AND VERIFIED BY THE USER. THE ARCHITECT ASSUMES NO LIABILITY FOR DAMAGE TO ANY PERSON OR PROPERTY CAUSED BY ANY PERSON USING THESE DRAWINGS FOR ANY PURPOSE OTHER THAN THAT FOR WHICH THEY WERE INTENDED.
 3. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.
 4. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.
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 9. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.
 10. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

PROJECT NO. 100-01
 DATE: 13 MAY 2017
 DRAWN BY: AD
 CHECKED BY: J.S.B.
 STAMP

PROJECT TITLE
 ARCHITECTURE RESIDENCE
 100-01
 TORONTO, ON

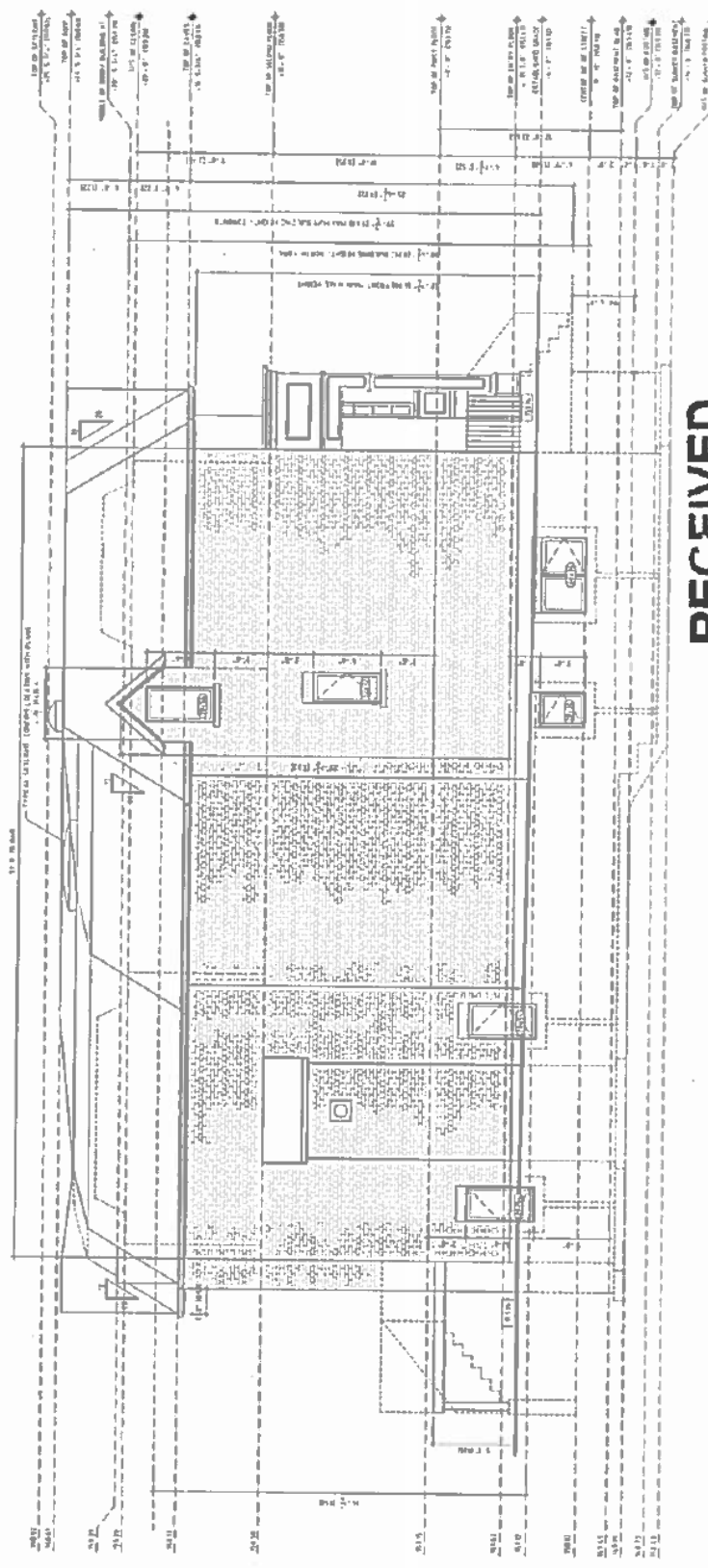


J.S. BARMİ ARCHITECT

A 203

PROPOSED EAST ELEVATION

62 SACCHARD AVENUE WEST
 TORONTO, ON M5H 1P7 CANADA
 T: +1 (416) 961-1001 F: +1 (416) 915-1014
 E: J.S.BARMI@J.S.B.A.R.C.
 WWW.J.S.B.A.R.C.CA



RECEIVED

AUG 08 2017

**Toronto City Planning
 North York District**

STAIRCASE OF THIS BUILDING FROM THIS
 DRAWING IS NOT TO BE CONSIDERED

PROPOSED EAST ELEVATION

A 1
 1/8" = 1'-0"

SIGNATURE PAGE

File Number:	A0555/17NY	Zoning	RD/R4 [ZZC]
Owner:	ATTICA-TUL-NOOR BHALLI USMAN AHMED BHALLI	Ward:	York Centre (10)
Agent:	JS BARMi ARCHITECT	Heritage:	Not Applicable
Property Address:	4 ARTREEVA DR	Community:	North York
Legal Description:	PLAN 5011 LOT 95		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0556/17NY	Zoning	RD/R4[ZONING]
Owner(s):	RAYMOND CARRAGHER MARY ELLEN BARDOUNIOTIS	Ward:	Don Valley East (34)
Agent:	MARY ELLEN BARDOUNIOTIS	Heritage:	Not Applicable
Property Address:	10 YEWFIELD CRES	Community:	North York
Legal Description:	PLAN 4760 LOT 850		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct an integral garage with habitable space above to the north portion of the existing one-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 2. Chapter 10.20.40.70.(4), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 1.12m.
- 3. Chapter 200.5.1.10.(3), By-law No. 569-2013**
The maximum permitted width of a parking space is 3.2m.
The proposed width of the parking space is 2.97m.
- 4. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 25% of the lot area.
The proposed lot coverage is 30.6% of the lot area.
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 1.12m.

6. Section 6A(3), By-law No. 7625

The minimum required parking space size is 3.2m x 5.6m.

The proposed parking space size is 2.97m x 5.33m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 25% of the lot area.

The proposed lot coverage is **27%** of the lot area.

2. Chapter 10.20.40.70.(4), By-law No. 569-2013

The minimum required side yard setback is 1.8m.

The proposed north side yard setback is **1.50m**.

4. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 25% of the lot area.

The proposed lot coverage is **27%** of the lot area.

5. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.8m.

The proposed north side yard setback is **1.50m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. Chapter 200.5.1.10.(3), By-law No. 569-2013

The maximum permitted width of a parking space is 3.2m.

The proposed width of the parking space is 2.97m.

6. Section 6A(3), By-law No. 7625

The minimum required parking space size is 3.2m x 5.6m.

The proposed parking space size is 2.97m x 5.33m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0556/17NY	Zoning	RD/R4[ZONING]
Owner:	RAYMOND CARRAGHER	Ward:	Don Valley East (34)
	MARY ELLEN		
	BARDOUNIOTIS		
Agent:	MARY ELLEN	Heritage:	Not Applicable
	BARDOUNIOTIS		
Property Address:	10 YEWFIELD CRES	Community:	North York
Legal Description:	PLAN 4760 LOT 850		

Nazila Atarodi (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0558/17NY	Zoning	R4 [ZZC]
Owner(s):	HAMMAD RAWRA	Ward:	Willowdale (23)
Agent:	HAMMAD RAWRA	Heritage:	Not Applicable
Property Address:	6 STUART AVE	Community:	North York
Legal Description:	PLAN M412 LOT 298 TO 299		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the front and rear bay windows.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.
The proposed building length is 19.18m.

2. Section 13.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.50m.
The proposed front yard setback is 5.57m.

3. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 33.00% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0558/17NY	Zoning	R4 [ZZC]
Owner:	HAMMAD RAWRA	Ward:	Willowdale (23)
Agent:	HAMMAD RAWRA	Heritage:	Not Applicable
Property Address:	6 STUART AVE	Community:	North York
Legal Description:	PLAN M412 LOT 298 TO 299		

Beth Levy (signed)

Nazila Atarodi (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
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North York Panel

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0559/17NY	Zoning	RD/R3[ZONING]
Owner(s):	NANCY RUTH TOBIN	Ward:	Willowdale (24)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	8 FRIVICK CRT	Community:	North York
Legal Description:	PLAN M911 LOT 78		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 7.97m.
- 3. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 7.99m.
The proposed front yard setback is 6.5m.
- 4. Chapter 10.5.80.40.(1), By-law No. 569-2013**
The maximum combined width of all vehicle entrances through the front main wall of the residential building is 6.0m.
The proposed combined width of all vehicle entrances through the front main wall is 7.8m.
- 5. Section 6(9), By-law No. 7625**
The maximum permitted size of deck located in the side yard is 2.3m².
The proposed size of deck is 14.5m².
- 6. Section 12.2, By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 12.19m.

7. **Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
8. **Section 12.4c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 7.89m.
9. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **9.19m**.
10. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished floor height is 1.5m.
The proposed finished floor height is **1.80m**.
11. **Section 6A(5)a, By-law No. 7625**
The maximum permitted access width for the parking area is 6m.
The proposed width to the parking is 7.8m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 7.97m.
3. **Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 7.99m.
The proposed front yard setback is 6.5m.
4. **Chapter 10.5.80.40.(1), By-law No. 569-2013**
The maximum combined width of all vehicle entrances through the front main wall of the residential building is 6.0m.
The proposed combined width of all vehicle entrances through the front main wall is 7.8m.
6. **Section 12.2, By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 12.19m.
7. **Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.

8. **Section 12.4c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 7.89m.
9. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **9.19m**.
10. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished floor height is 1.5m.
The proposed finished floor height is **1.80m**.
11. **Section 6A(5)a, By-law No. 7625**
The maximum permitted access width for the parking area is 6m.
The proposed width to the parking is 7.8m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

5. **Section 6(9), By-law No. 7625**
The maximum permitted size of deck located in the side yard is 2.3m².
The proposed size of deck is **10.00m²**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0559/17NY	Zoning	RD/R3[ZONING]
Owner:	NANCY RUTH TOBIN	Ward:	Willowdale (24)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	8 FRIVICK CRT	Community:	North York
Legal Description:	PLAN M911 LOT 78		

Nazila Atarodi (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0560/17NY	Zoning	RD / R4 (WAV)
Owner(s):	MEI-KUEN VIRGINIA LAU TIN-YAU HOWARD YAN	Ward:	Willowdale (24)
Agent:	SCOTT SHEILDS ARCHITECTS INC	Heritage:	Listed
Property Address:	42 BEARDMORE CRES	Community:	North York
Legal Description:	PLAN M1280 LOT 23		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.80.10.(3), By-law No. 569-2013**
A parking space is not permitted in a front yard or side yard abutting a street.
The parking will be in the front yard.
- 2. Chapter 10.5.60.50.(2), By-law No. 569-2013**
The maximum total floor area of all ancillary buildings or structures on a lot is 60.0 m² for a lot with a lot frontage of 12.0 m or more.
The proposed total floor area of all ancillary buildings is 65.44 m².
- 3. Chapter 10.5.60.30.(1), By-law No. 569-2013**
An Ancillary building with a height greater than 2.5 m, or a gross floor area greater than 10 m², must be at least 1.8 m from a residential building on the same lot.
The proposed ancillary building is 1.3 m from a residential building on the same lot.
- 4. Chapter 10.5.60.10.(1), By-law No. 569-2013**
An ancillary building or structure may not be located in a front yard.
The proposed ancillary building is located in the front yard.
- 5. Section 13.2.3.(b), By-law No. 7625**
The minimum required north side yard setback is 1.8 m.
The proposed north side yard setback is 1.5 m.

- 6. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 18.9 m
The proposed building length is 36.37 m.
- 7. Section 6(23)(b), By-law No. 7625**
When an accessory building that is larger than 10 square m is closer than 3.0 m from a dwelling, the accessory building shall be deemed to be a part of the dwelling, and all regulations that apply to the dwelling also apply to the accessory building as if they were one building, except that a second suite shall not be located in the accessory building.
The proposed garage is located 1.3 m from the dwelling and is 57.4 m².
- 8. Section 6A(5)a, By-law No. 7625**
The minimum/maximum access required for a parking area is 6 m.
The proposed access to the parking is 8.19 m.
- 9. Section 6(23)(a)(ii)(B), By-law No. 7625**
Accessory buildings shall not occupy more than 10% of the lot area or 56 m², whichever is the lesser.
The proposed accessory building area is 65.44 m².
- 10. Section 6(23), By-law No. 7625**
In the front yard, accessory building shall not be located between the front wall of the main building and the street line.
- 11. Section 10.5.60.40.(A), By-law No. 7625**
The permitted maximum height of an ancillary building is 2.5 m if the ancillary building is located less than 1.8 m from the residential building on the lot.
The proposed height is **3.99m**.
- 12. Section 6(23)a(iv), By-law No. 7625**
The maximum height of an accessory structure is 3.70m.
The proposed height of the accessory structure is **4.635m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 8, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

**44 BEARDMORE CRESCENT
ZONING DESIGNATION & REQUIREMENTS**
APPLICABLE ZONING BY-LAW: No. 569-2013, CHAPTER 10, RESIDENTIAL

ZONING REQUIREMENTS: RD (R15.0; a850) (x5)

- MIN. AREA: 560 sq.m.
- MIN. FRONTAGE: 15.0m
- MIN. HEIGHT: 2.0m
- MAX. STOREYS: 2.0
- MIN. SIDE YARD SETBACK: 1.5m
- MIN. FRONT YARD SETBACK: 1.5m
- MIN. BUILDING LENGTH: 17.0m
- MAX. BUILDING DEPTH: 19.0m

EXISTING PROPERTY DESCRIPTION

AREA: 2,145 sq.m.
FRONTAGE: 31.98m
HEIGHT: EXISTING
STOREYS: 2.0
FRONT YARD SETBACK: 7.74m (MATCHES)
SIDE YARD SETBACK: 8.4m
BUILDING LENGTH: 35.18m (EXISTING)
BUILDING DEPTH: 35.18m (EXISTING)
FLOOR AREA (GFA): 287.0 sq.m.
FLOOR SPACE INDEX: 0.26 (EXISTING)
ESTABLISHED GRADE: (145.89 + 146.89) / 2 = 146.39

PROPOSED GARAGE

AREA: 57.4 sq.m.
ELEVATION OF GARAGE: 146.87
ENTRANCE: 3.71m (FROM GRADE)
ESTABLISHED GRADE: 146.39
BUILDING HEIGHT: FROM ESTABLISHED GRADE: 3.95m
STOREYS: 1.0
FRONT YARD SETBACK: 7.8m
SIDE YARD SETBACK: 1.5m

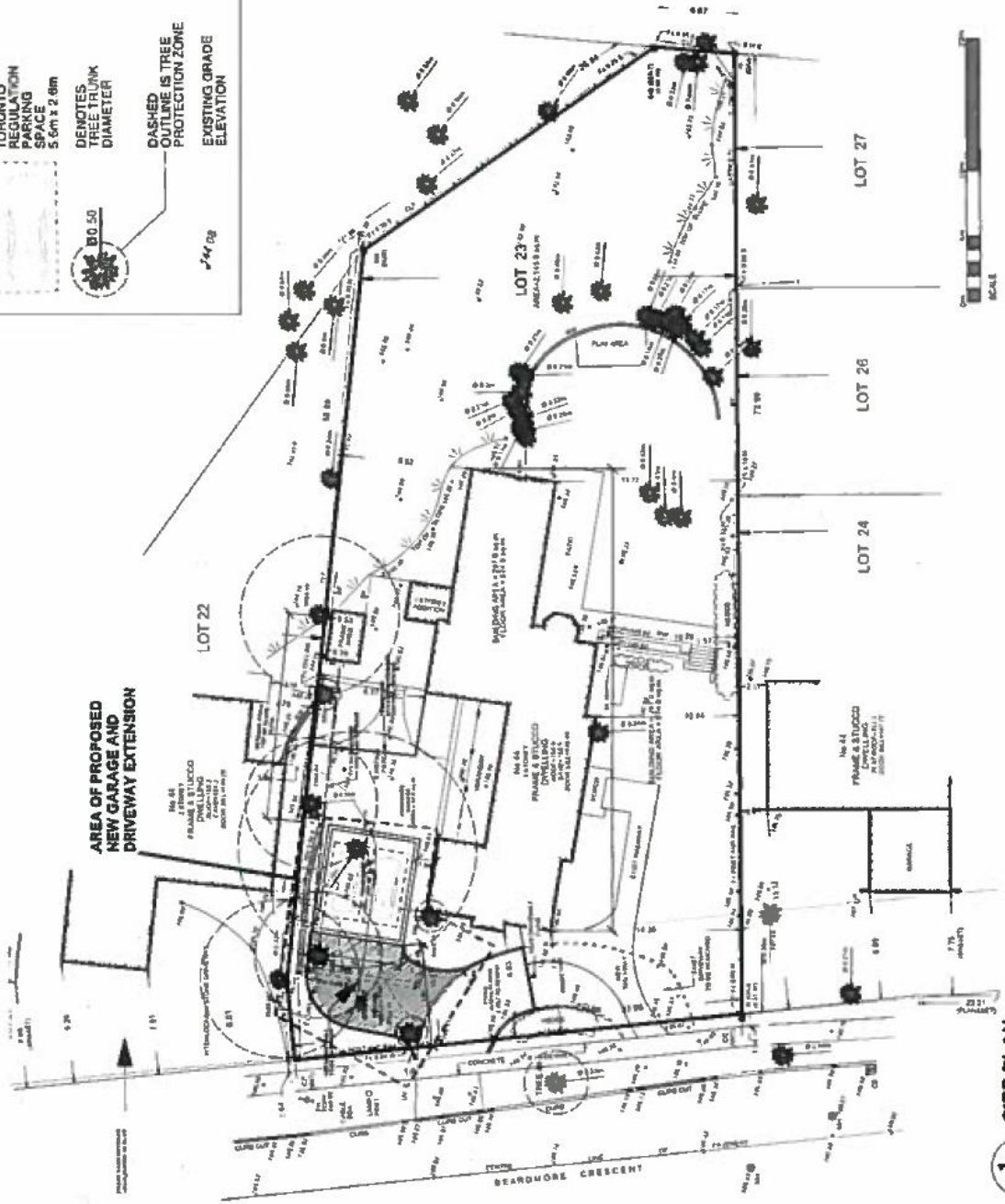
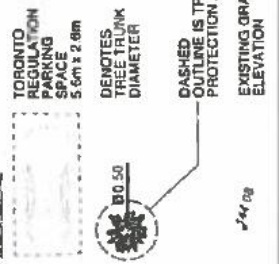
TOTAL PROPOSED

FLOOR AREA: 631.4 sq.m.
FLOOR SPACE INDEX: 0.29

DRAWING LIST

- SK-1 SITE PLAN, ZONING STATISTICS
- SK-2 SITE PLAN BLOW UP, FRONT YARD LANDSCAPE CALCULATIONS
- SK-3 GARAGE FLOOR PLAN, ROOF PLAN
- SK-4 ELEVATIONS
- SK-5 ELEVATIONS
- Survey

LEGEND



1 SITE PLAN
SK-1
1:350

RECEIVED

AUG 08 2017

SCOTT shields ARCH

**44 BEARDMORE CRESCENT
COVER PAGE - SITE PLAN, ZONING STATISTICS
COMMITTEE OF ADJUSTMENT**

Project Name: 44 BEARDMORE CRESCENT
Drawing Title: COVER PAGE - SITE PLAN, ZONING STATISTICS
Issued For: COMMITTEE OF ADJUSTMENT
Copyright: Scott Merry Architects Inc. Retains Design Copyright over Design, Drawings, & Specifications.

Toronto City Planning
North York District

SIGNATURE PAGE

File Number:	A0560/17NY	Zoning	RD / R4 (WAV)
Owner:	MEI-KUEN VIRGINIA LAU TIN-YAU HOWARD YAN	Ward:	Willowdale (24)
Agent:	SCOTT SHEILDS ARCHITECTS INC	Heritage:	Listed
Property Address:	42 BEARDMORE CRES	Community:	North York
Legal Description:	PLAN M1280 LOT 23		

Beth Levy (signed) Bruce Mullock (signed) Derek Lett (signed)

Isaac Lallouz (signed) Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

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Manager & Deputy Secretary Treasurer
North York Panel

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*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0562/17NY	Zoning	RD/R4[ZONING]
Owner(s):	MATINA LALOUDAKIS	Ward:	Eglinton-Lawrence (15)
Agent:	FRANCO ROMANO	Heritage:	Not Applicable
Property Address:	125 DELL PARK AVE	Community:	North York
Legal Description:	PLAN 2049 LOT 279		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey dwelling, including a one-storey rear addition. The applicant is also proposing a covered porch and a secondary suite.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 150.10.40.1(1), By-law No. 569-2013**
A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of a secondary suite.
The entire building was not constructed more than 5 years prior to the proposed introduction of the secondary suite.
- 2. Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5m.
The proposed front yard setback is 6.05m.
- 3. Section 13.2.3(b), By-law No. 7625**
The minimum required west side yard setback is 1.8m.
The proposed west side yard setback is 1.24m to the existing and 1.26m to the proposed.
- 4. Section 13.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.8m².
The proposed balcony area is **10.00m²**.
- 5. Section 6(2)(1), By-law No. 7625**
A second suite is a permitted use provided the whole of which dwelling is over 5 years old.
The proposed dwelling is not more than 5 years old.

6. Section 6(9)(c), By-law No. 7625

The maximum permitted deck area in a side yard is 2.3m².

The proposed deck area is 9.67m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the eastern edge of the proposed rear deck; with a minimum height of 1.5 metres from the floor of the deck.

SIGNATURE PAGE

File Number:	A0562/17NY	Zoning	RD/R4[ZONING]
Owner:	MATINA LALOUDAKIS	Ward:	Eglinton-Lawrence (15)
Agent:	FRANCO ROMANO	Heritage:	Not Applicable
Property Address:	125 DELL PARK AVE	Community:	North York
Legal Description:	PLAN 2049 LOT 279		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0563/17NY	Zoning	R / R2 (ZZC)
Owner(s):	BRENDA PUN DAN QUACH	Ward:	Don Valley West (25)
Agent:	DAN QUACH	Heritage:	Not Applicable
Property Address:	130 ROSLIN AVE	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 134		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the front main wall.
The proposed has 8.12 m².
- Chapter 10.10.40.70.(4), By-law No. 569-2013**
The required minimum side yard setback for a detached house is 0.45 m.
The proposed east side yard setback is 0.15 m.
- Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The proposed eaves project 0.38 m and are 0.07 m from the east lot line.
- Chapter 10.10.4.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is **8.15m**.
- Chapter 10.10.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.73 times the area of the lot.
- Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 50% of front yard must be landscaping.
The proposed front yard landscaping is 36%.

7. **Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 69%.
8. **Section 6(3) Part II 3. B(I), By-law No. 438-86**
A minimum side lot line setback of 0.45 m for a depth not exceeding 17.0 where the side wall contains no opening is required.
The proposed side lot line setback is 0.15 m.
9. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum gross floor area is 0.6 times the area of the lot.
The proposed gross floor area is 0.74 times the area of the lot.
10. **Section 6(3) Part II 8 D(I), By-law No. 438-86**
An uncovered platform which projects into the required set backs to a maximum of 1.2 m above grade is permitted.
The proposed height is 2.4 m above grade.
11. **Section 6(3) Part II 3(I), By-law No. 438-86**
No building can be located closer than 0.90 m to the side wall of an adjacent building that contains no opening.
The proposed building is located 0.51 m from the adjacent building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed driveway be constructed with a central landscaped strip and permeable pavers.

SIGNATURE PAGE

File Number:	A0563/17NY	Zoning	R / R2 (ZZC)
Owner:	BRENDA PUN DAN QUACH	Ward:	Don Valley West (25)
Agent:	DAN QUACH	Heritage:	Not Applicable
Property Address:	130 ROSLIN AVE	Community:	Toronto
Legal Description:	PLAN M260 PT LOT 134		

Beth Levy (signed)

Nazila Atarodi (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0564/17NY	Zoning	RD/R2 [ZZC]
Owner(s):	SHABNAM HASHEMI NASAB	Ward:	Willowdale (24)
Agent:	EZDA	Heritage:	Not Applicable
Property Address:	50 HI MOUNT DR	Community:	North York
Legal Description:	PLAN M677 L 233		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.80.40.(1), By-law No. 569-2013

The maximum combined width of all vehicle entrances through the front main wall of the residential building is 6.00m.

The proposed combined width of all vehicle entrances through the front main wall is 7.61m.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.26m.

3. Chapter 5.10.40.70.(6), By-law No. 569-2013

If the Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot, a building or structure on that lot must be set back a minimum of 10.00m from that shoreline hazard limit or stable top-of-bank.

The proposed building is set back 2.08m from the shoreline hazard limit or stable top-of-bank.

4. Chapter 5.10.40.80.(1), By-law No. 569-2013

On lands under the jurisdiction of the Toronto and Region Conservation Authority, a building or structure on a lot must be no closer than 10.00m from a shoreline hazard limit or a stable top-of-bank not on that lot.

The proposed building or structure is less than 10.00m metres from a shoreline hazard limit or a stable top-of-bank not on that lot.

5. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.63m.

6. Section 6A(5)a, By-law No. 7625

The maximum permitted driveway width is 6.00m.
The proposed driveway width is 7.61m.

7. Section 14-A(8), By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.24m.

8. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, and a maximum height of 1.00m.
The proposed rear deck projects 4.47m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the East Side Elevation and West Side Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 8,2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

GENERAL NOTES:

1. THESE DRAWINGS ARE THE PROPERTY OF EZDESIGN ASSOCIATES AND NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.
2. THESE DRAWINGS ARE FOR GENERAL INFORMATION PURPOSES. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. ANY DISCREPANCIES MUST BE REPORTED TO THE DESIGNER AND OWNER IMMEDIATELY.
3. ALL WORK SHALL BE CHECKED OUT IN WRITING BY THE DESIGNER AND OWNER BEFORE COMMENCING WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY INFORMATION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY INFORMATION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY INFORMATION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY INFORMATION.

REV.	DESCRIPTION	DATE
1	2/20/17	MAY 18 2017
2	2/20/17	MAY 18 2017
3	2/20/17	MAY 18 2017

PROJECT ADDRESS:
50 HI MOUNT DR.
TORONTO, ONTARIO

PROJECT NO: 1703-01
DRAWING TITLE:
EAST SIDE ELEVATION

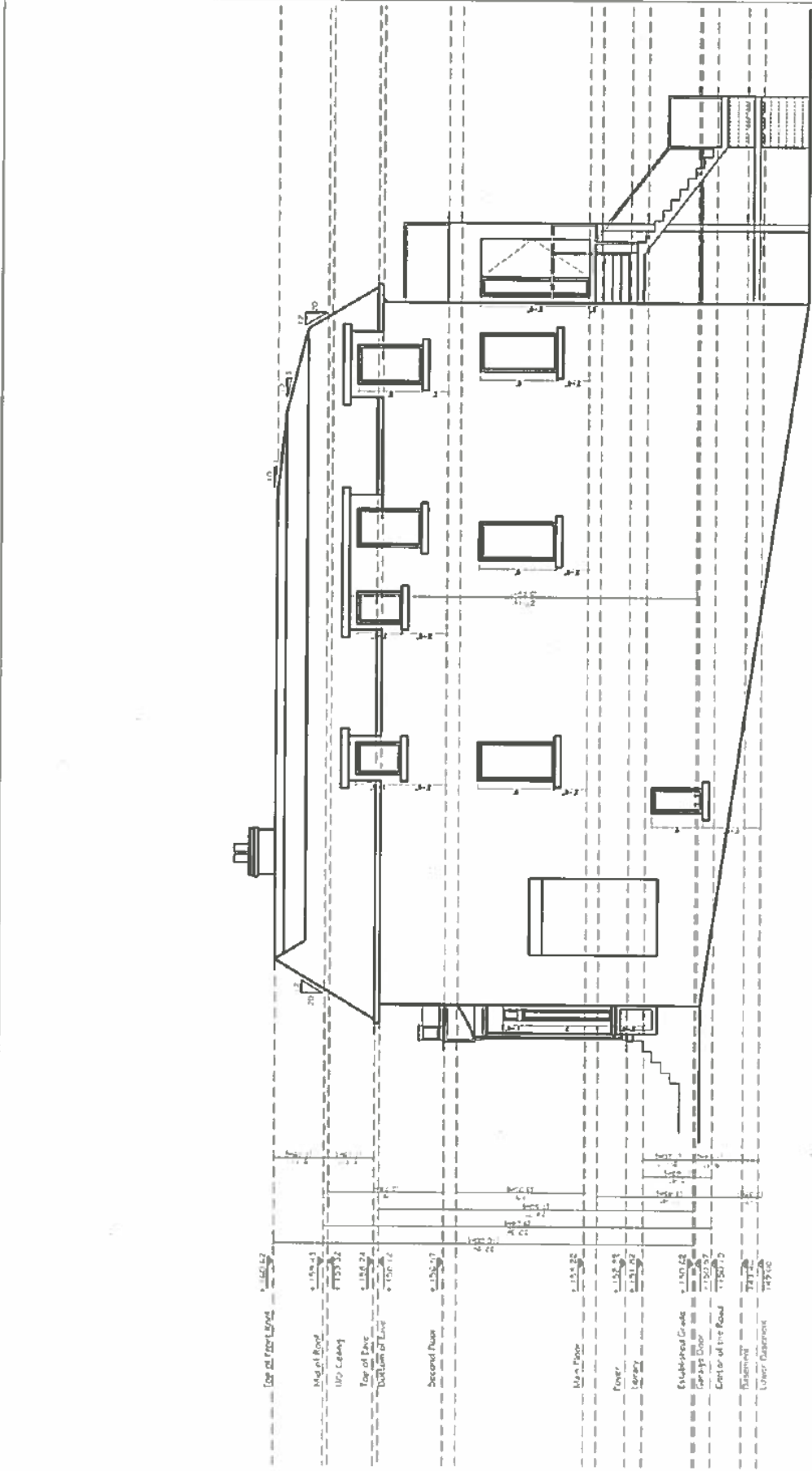
REV.	REVISION	DATE
1		
2		

EZDesignAssociates
PHONE: +1 (416) 792-0161
1188 BAYVIEW AVE. #204
SCARBOROUGH, ONTARIO M1M 3M4

STRUCTURAL ENGINEER

SCALE:	1/8" = 1'-0"
DRAWN BY:	
DATE:	

A8



RECEIVED

AUG 08 2017

Toronto City Planning
North York District

GENERAL NOTES:

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2. THESE DRAWINGS ARE FOR PERMITS ONLY. ALL APPLICABLE BY-LAWS AND REGULATIONS MUST BE OBSERVED.
3. ALL NOT-TO-SCALE DIMENSIONS ARE APPROXIMATE AND SHOULD BE CHECKED ON SITE.
4. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE LAND SURVEY INFORMATION PROVIDED TO THE DESIGNER.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL STRUCTURAL CHANGES MUST BE APPROVED BY A REGISTERED PROFESSIONAL ENGINEER.
7. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE LAND SURVEY INFORMATION PROVIDED TO THE DESIGNER.
8. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE LAND SURVEY INFORMATION PROVIDED TO THE DESIGNER.

NO.	ISSUED FOR	DATE
1	OWNER	MAY 18 2017
2	OWNER & O.A.	JUNE 7 2017
3	OWNER & O.A.	JUNE 7 2017

PROJECT ADDRESS:
50 HILMOUNT DR
TORONTO, ONTARIO

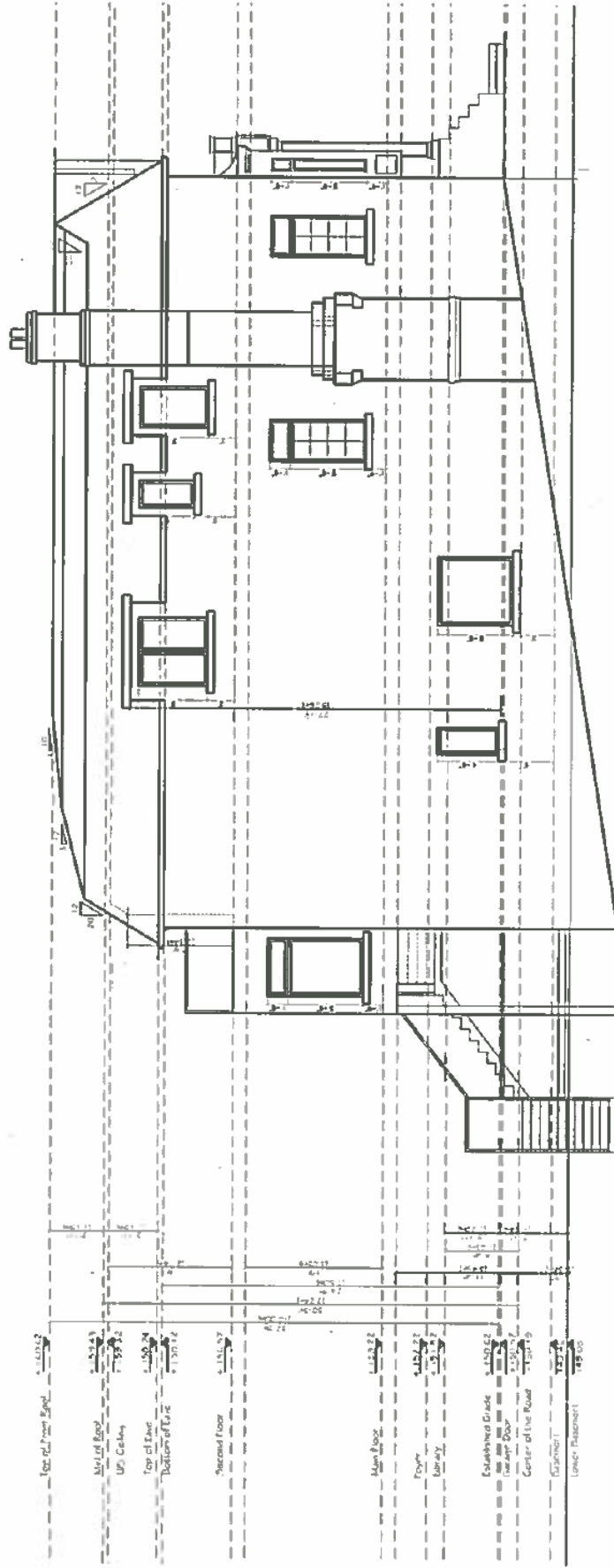
PROJECT NO: 1703-01
DRAWING TITLE:
XXXXX SIDE ELEVATION

NO.	REVISION	DATE
1		
2		

EZDesignAssociates
 Phone: 416-492-0161
 Email: EZDesign@EZDA.ca
 Suite 1010, 511 Bloor St. W.
 Toronto, ON M5S 1B5

SCALE: 1/8" = 1'-0"
 DRAWN BY:
 DATE:

A9



RECEIVED

AUG 08 2017

Toronto City Planning
North York District

SIGNATURE PAGE

File Number:	A0564/17NY	Zoning	RD/R2 [ZZC]
Owner:	SHABNAM HASHEMI NASAB	Ward:	Willowdale (24)
Agent:	EZDA	Heritage:	Not Applicable
Property Address:	50 HI MOUNT DR	Community:	North York
Legal Description:	PLAN M677 L 233		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0565/17NY	Zoning	R2/RM[ZZC]
Owner(s):	GIUSEPPE CACCAVO MARRISA ROTHER	Ward:	Eglinton-Lawrence (15)
Agent:	URBANSCAPE ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	79 ALAMEDA AVE	Community:	East York
Legal Description:	PLAN 1672 PT LOTS 59 & 60		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 8.5m.
The proposed height of the side exterior main walls facing a side lot line is **9.00m**.
- 2. Chapter 10.80.40.20.(1), By-law No. 569-2013**
The permitted maximum building length is 17.0m.
The proposed building length is 19.0m.
- 3. Chapter 10.80.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.2m.
The proposed South side yard setback is 0.91m.
- 4. Chapter 10.5.40.10.5, By-law No. 569-2013**
A minimum of 10.0m² of the first floor must be within 4.0m of the front main wall.
The proposed area of the first floor within the 4.0m of the front wall is 9.27m².
- 5. Section 3.(a), By-law No. 1-83**
The maximum permitted floor space index is 0.8.
The proposed floor space index is 0.88.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0565/17NY	Zoning	R2/RM[ZZC]
Owner:	GIUSEPPE CACCAVO MARRISA ROTHER	Ward:	Eglinton-Lawrence (15)
Agent:	URBANSCAPE ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	79 ALAMEDA AVE	Community:	East York
Legal Description:	PLAN 1672 PT LOTS 59 & 60		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0566/17NY	Zoning	RD / R4 (WAV)
Owner(s):	TAMAR TSIKLARI	Ward:	Willowdale (23)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	143 BETTY ANN DR	Community:	North York
Legal Description:	PLAN 4778 LOT 46		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed coverage is 32% of the lot area.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80 m.
The proposed west side yard setback is 1.53 m.
- Chapter 10.20.40.20.(2), By-law No. 569-2013**
The permitted maximum height for the one storey rear extension is 5.0 m.
The proposed one storey rear extension is 5.87 m.
- Chapter 10.20.40.10(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 8.26 m.
- Section 6(9)(n), By-law No. 7625**
Windows may project up to 0.30 m from the front or rear wall if glazed on only one side.
The proposed bay windows in the front wall project 0.61 m and do not have glazing on the side.
- Section 13.2.4(a), By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.

7. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80 m to the midpoint of the roof.
The proposed building height is 9.01 m to the midpoint of the roof.
8. **Section 13.2.2(b), By-law No. 7625**
The minimum required side yard setback is 1.80 m.
The proposed west side yard setback is 1.53 m.
9. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.80 m.
The proposed building length is 17.05 m.
10. **Section 13.2.5.A(3)(c), By-law No. 7625**
The maximum permitted height of a one storey rear extension is 5.0 m
The proposed height of the rear one storey extension is 6.05 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

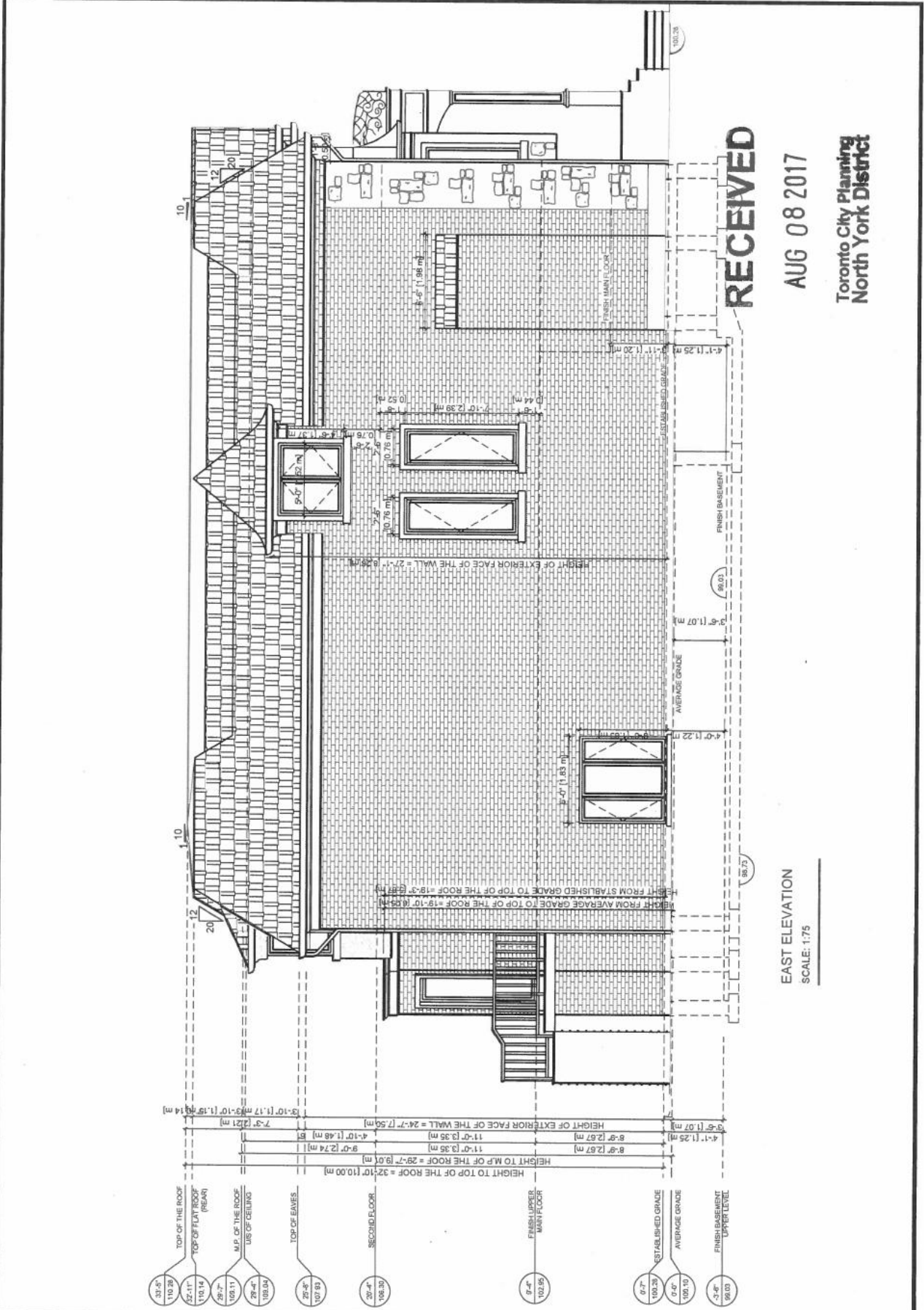
1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application.
The current cost of planting a tree is \$583.

2) The proposal be developed in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, August 8, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

REVISIONS:		DATE	NO.	DESCRIPTION	BY
THREE DRAWINGS ARE THE COPY RIGHT PROPERTY OF THE DRAWER. ANY REPRODUCTION OR DISTRIBUTION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF THE DRAWER IS STRICTLY PROHIBITED.					
ADDRESS: 143 BETTY ANN DRIVE, TORONTO, ONTARIO.					
DRAWING TITLE: ELEVATION					
SCALE: AS NOTED					
DESIGN: DRAWN					
DATE: JUN. 05, 2017					
PROJECT NO. DRAWING NO.					
FILE NO. A9					



RECEIVED

AUG 08 2017

Toronto City Planning
North York District

EAST ELEVATION
SCALE: 1:75

DATE	NO.	DESCRIPTION	BY

THIS DRAWING IS THE COPYRIGHT PROPERTY OF THE DRAWER AND SHALL REMAIN HIS/HERS UNLESS OTHERWISE SPECIFIED.

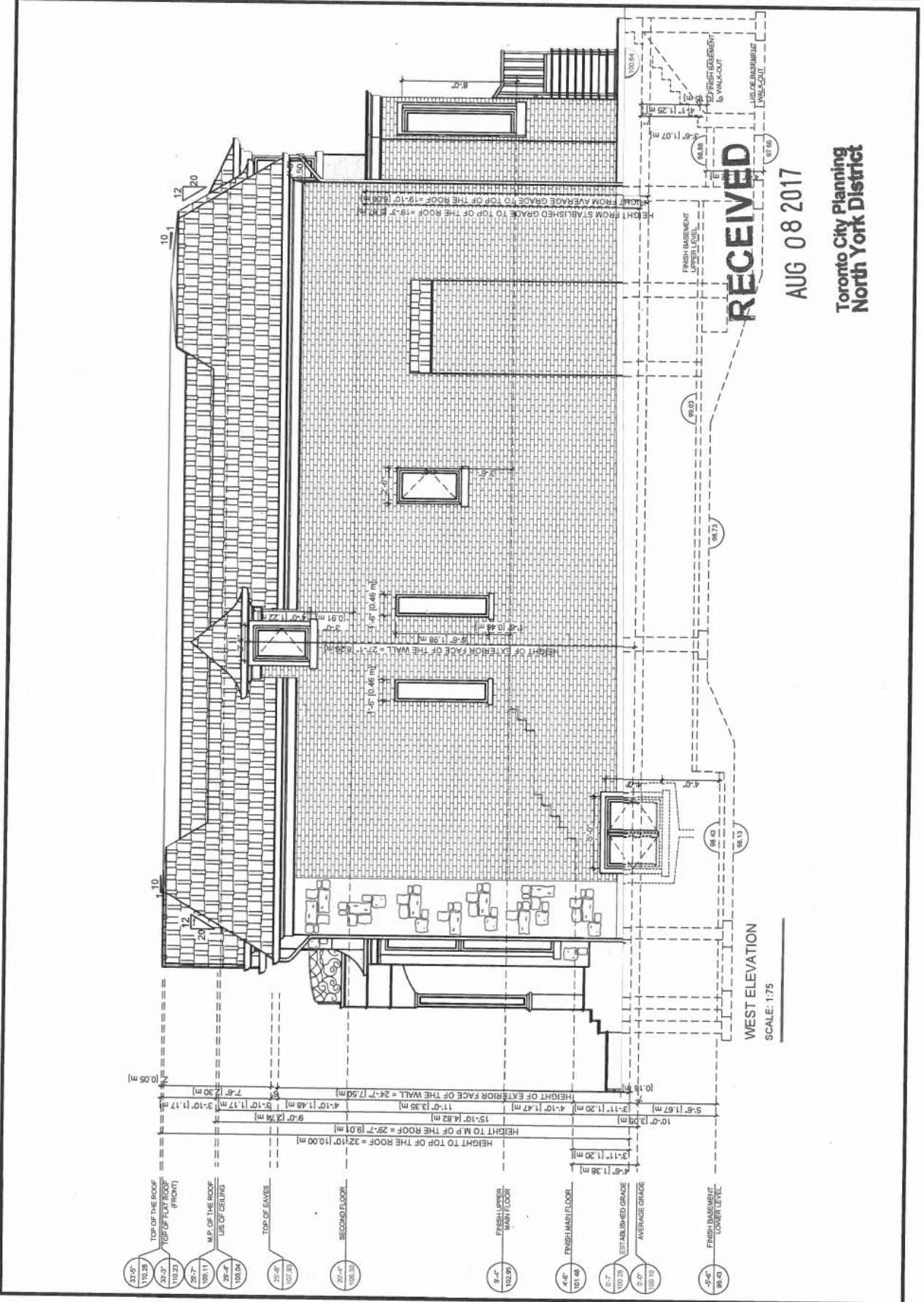
ADDRESS:
143 BETTY ANN DRIVE,
TORONTO, ONTARIO.

DRAWING TITLE:
ELEVATION

SCALE:
AS NOTED

DESIGN:
DRAWN:
CHECKED:
DATE: JUN. 05, 2017

PROJECT NO:
FILE NO: **A8**



RECEIVED

AUG 08 2017

Toronto City Planning
North York District

WEST ELEVATION
SCALE: 1:75

SIGNATURE PAGE

File Number:	A0566/17NY	Zoning	RD / R4 (WAV)
Owner:	TAMAR TSIKLARI	Ward:	Willowdale (23)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	143 BETTY ANN DR	Community:	North York
Legal Description:	PLAN 4778 LOT 46		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0567/17NY	Zoning:	RD/R1 Z0.6 [ZZC]
Owner(s):	REGAN TESSIS	Ward:	Eglinton-Lawrence (16)
Agent:	SARAH IFRAH ARCHITECT INC	Heritage:	Not Applicable
Property Address:	621 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN 3018 LOT 46		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.100.1.(5), By-law No. 569-2013

The maximum permitted driveway width is the cumulative width of side-by-side parking space(s) behind the front main wall; 4.52m.

The proposed driveway width is **5.00m**.

2. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.

The proposed first floor area is not within 4.00m of the main front wall.

3. Chapter 10.20.40.70.(2), By-law No. 569-2013

The minimum required rear yard setback is 9.68m.

The proposed rear yard setback is 7.41m.

4. Chapter 10.20.40.30.(1), By-law No. 569-2013

The maximum permitted building depth is 19.00m.

The proposed building depth is 22.17m.

5. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.60 times the lot area.

The proposed floor space index is 0.826 times the lot area.

6. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 22.17m.

7. Section 6(3) Part II 4, By-law No. 438-86

The minimum required rear yard setback is 7.50m.

The proposed rear yard setback is 7.41m.

8. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.

The proposed east side yard setback is 1.52m for the portion of the dwelling exceeding 17.00m in depth.

9. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.

The proposed west side yard setback is 1.52m for the portion of the dwelling exceeding 17.00m in depth.

10. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.60 times the lot area.

The proposed gross floor area is 0.826 times the lot area.

11. Section 6(3) Part IV (4)(a)(ii), By-law No. 438-86

The maximum permitted driveway width is 4.52m.

The proposed driveway width is **5.00m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

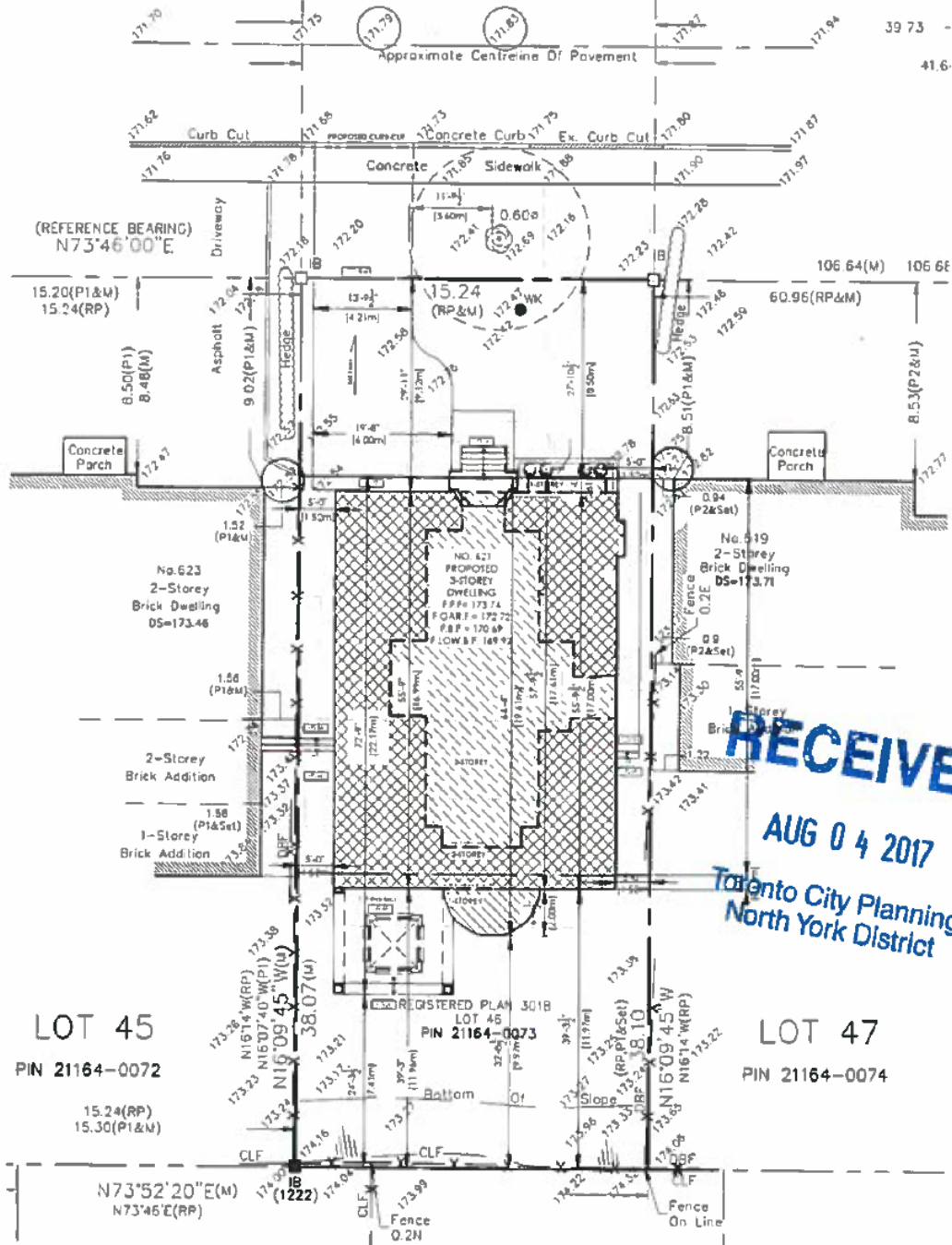
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be constructed in accordance with the site plan and west elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 4, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

BRIAR HILL
 (DEDICATED BY REGISTERED PLAN 3018)
 P.I.N. 21164 - 0213

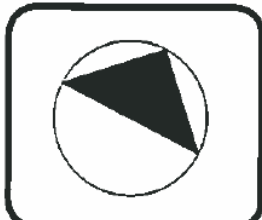


I SITE PLAN
A1 SCALE: 1/16"=1'-0"

SURVEY INFO TAKEN FROM SURVEY PREPARED BY
ERTL SURVEYORS
 ONTARIO LAND SURVEYORS
 1234 ROAD STREET, UNIT 10,
 RICHMOND HILL, ON, L4B 1C1
 TEL: (905) 731-7834

Project Name and Address

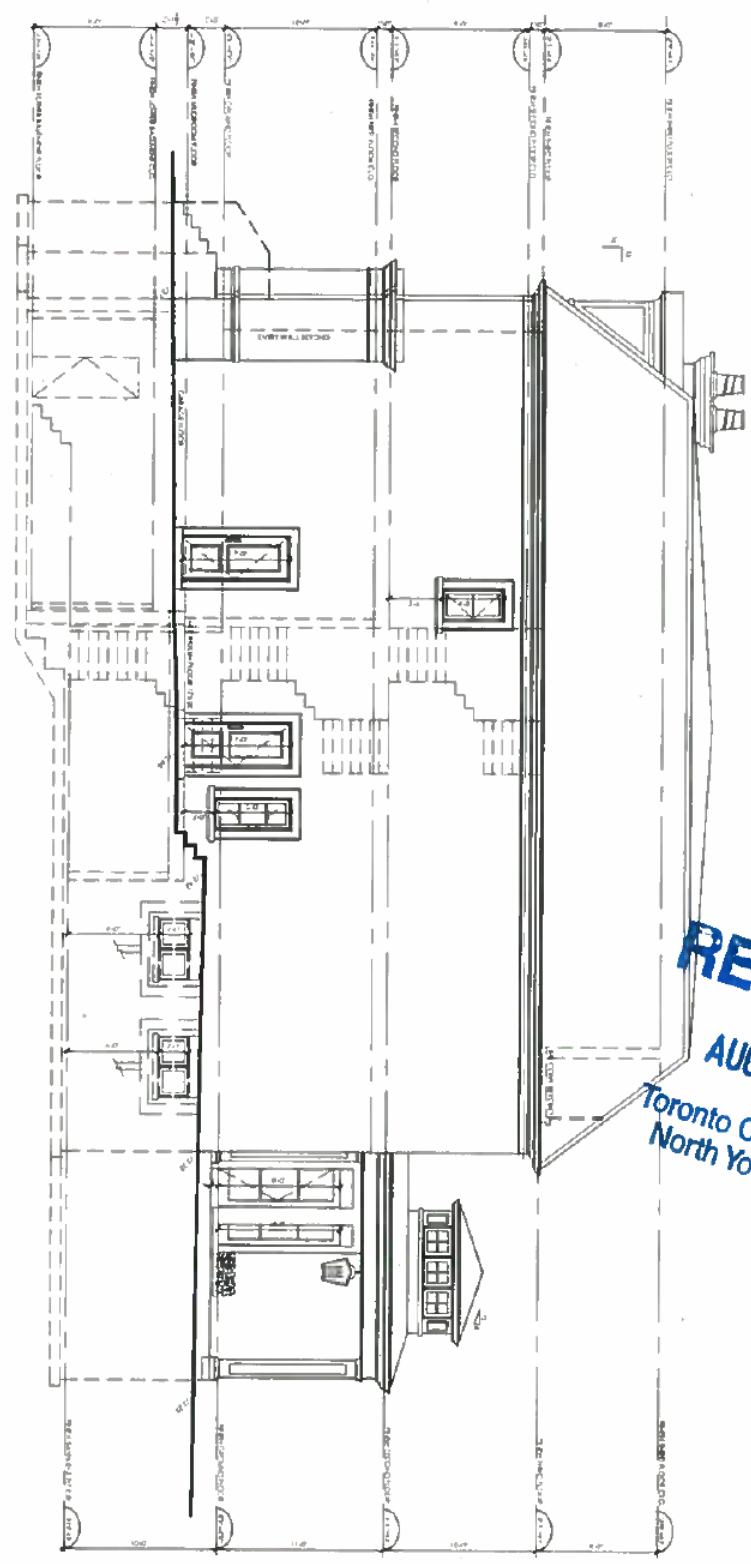
RESIDENCE
 621 BRIAR HILL AVENUE
 TORONTO, ONTARIO



sarahifrah
 ARCHITECT INC
 75 Dufferin Road 201A, Toronto, ONT M6A 1R6
 416 754 9797

Sheet	16.21	Date	A1
Issue	JUNE.02.17		
Notes	AS NOTED		

1 SIDE ELEVATION (WEST)
 A9 SCALE: 1/8"=1'-0"



RECEIVED
 AUG 04 2017
 Toronto City Planning
 North York District

Project Name and Address
RESIDENCE
 621 BRIAR HILL AVENUE
 TORONTO, ONTARIO



sarahifrah
 ARCHITECT INC
 71 Dufferin Street 201A Toronto, ON M5A 2P6
 416.784.0787

Sheet	16.21	Date	A9
Issue	JUNE 02.17		
Notes	AS NOTED		

SIGNATURE PAGE

File Number:	A0567/17NY	Zoning	RD/R1 Z0.6 [ZZC]
Owner:	REGAN TESSIS	Ward:	Eglinton-Lawrence (16)
Agent:	SARAH IFRAH ARCHITECT INC	Heritage:	Not Applicable
Property Address:	621 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN 3018 LOT 46		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0569/17NY	Zoning	RD / R1
Owner(s):	DEMETRA KOUTSOUKIS	Ward:	Eglinton-Lawrence (16)
Agent:	LINDY CONSULTING LIMITED	Heritage:	Not Applicable
Property Address:	48 GLENVIEW AVE	Community:	Toronto
Legal Description:	PLAN M87 PT LOT 290		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new third storey addition, a new ground floor and second storey addition and a proposed rear deck and enclosed front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.71(1)(C), By-law No. 569-2013**
In the Residential Zone category, if the lawful building setback of a lawfully existing building or structure is less than the required minimum building setback from a side lot line, that lawful building setback is the minimum side yard setback for that lawfully existing building or structure, 0.497 m.
The proposed west side lot line set back is 0.472 m.
- 2. Chapter 5.10.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.35 times the lot area.
The proposed floor space index is 0.562 times the area of the top-of-bank portion of the lot.
- 3. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.35 times the lot area.
The proposed floor space index is 0.38 times the area for the totality of the lot
- 4. Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The proposed eaves project 0.254 m and are 0.218 m from the west lot line.
- 5. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 8.3 m.
The proposed front yard setback is 6.4 m.

6. **Chapter 10.20.40.10.(7), By-law No. 569-2013**
The permitted maximum width of dormers is 40% or 15.74 m of the total width of the building's main walls.
The proposed width of dormers is 45.1%.
7. **Chapter 10.20.40.10.(7), By-law No. 569-2013**
The maximum permitted main wall height is 7.5 m.
The proposed main wall height is 8.69 m.
8. **Section 6(3) Part II 3.C(II), By-law No. 438-86**
The minimum required side lot line setback is 0.90 m , where the side wall contains openings.
The proposed west side lot line setback is 0.472 m.
9. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.35 times the area of the lot.
The proposed gross floor area is 0.38 times the area for the totality of the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0569/17NY	Zoning	RD / R1
Owner:	DEMETRA KOUTSOUKIS	Ward:	Eglinton-Lawrence (16)
Agent:	LINDY CONSULTING LIMITED	Heritage:	Not Applicable
Property Address:	48 GLENVIEW AVE	Community:	Toronto
Legal Description:	PLAN M87 PT LOT 290		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, August 17, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0571/17NY	Zoning	RD/R1(1)[ZZC]
Owner(s):	DANA PAUL GILMAN JEEHEE JIA GILMAN	Ward:	Don Valley West (25)
Agent:	PAUL RAFF STUDIO	Heritage:	Not Applicable
Property Address:	11 PEEBLES AVE	Community:	North York
Legal Description:	PLAN M809 LOT 58		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey accessory building on the east side of the dwelling and to enclose the walkway in order to attach the accessory structure to the dwelling. The applicant is also proposing a one-storey addition to the garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25% of the lot area.
The proposed lot coverage is 33.1% of the lot area.
- 2. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 8.4m.
The proposed rear yard setback is 1.07m.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 3.0m.
The proposed south side yard setback is 1.83m.
- 4. Chapter 10.5.50.10.(1), By-law No. 569-2013**
The minimum required front yard landscaping area is 60%.
The proposed front yard landscaping area is 56%.
- 5. Section 10.2.1(b), By-law No. 7625**
The minimum required side yard setback is 3m.
The proposed south side yard setback is 1.83m.

- 6. Section 10.2.1(c), By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 1.07m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

- 2. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 8.4m.
The proposed rear yard setback is 1.07m.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 3.0m.
The proposed south side yard setback is 1.83m.
- 4. Chapter 10.5.50.10.(1), By-law No. 569-2013**
The minimum required front yard must be landscaping area is 60%.
The proposed front yard landscaping area is 56%.
- 5. Section 10.2.1(b), By-law No. 7625**
The minimum required side yard setback is 3m.
The proposed south side yard setback is 1.83m.
- 6. Section 10.2.1(c), By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 1.07m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25% of the lot area.
The proposed lot coverage is **31.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0571/17NY	Zoning	RD/R1(1)[ZZC]
Owner:	DANA PAUL GILMAN JEEHEE JIA GILMAN	Ward:	Don Valley West (25)
Agent:	PAUL RAFF STUDIO	Heritage:	Not Applicable
Property Address:	11 PEBBLES AVE	Community:	North York
Legal Description:	PLAN M809 LOT 58		

Isaac Lallouz (signed)

Bruce Mullock (signed)

Derek Lett (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0576/17NY	Zoning	RD & R1B (WAV)
Owner(s):	PETER VOONG	Ward:	Don Valley West (25)
Agent:	WESTON CONSULTING	Heritage:	Not Applicable
Property Address:	87 NORTHDAL RD	Community:	North York
Legal Description:	PLAN 3368 PT LOT 15		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor area must be within 4 m of the front wall.
The proposed first floor is located 10.8 m from the front wall.
- 2. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building is 11.5 m.
The proposed height of the building is 11.62 m.
- 3. Chapter 10.20.40.10(2), By-law No. 569-2013**
The permitted maximum height of the exterior portion of the main walls facing a side lot line for a detached house is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 7.9 m.
- 4. Chapter 900.3.10(70)(B), By-law No. 569-2013**
The required minimum side yard setbacks are 2.4 m each side.
The proposed east side yard setback is 0.9 m.
- 5. Chapter 900.3.10(70)(B), By-law No. 569-2013**
The required minimum side yard setbacks are 2.4 m each side.
The proposed west side yard setback is 1.89 m.
- 6. Section 11.2.1 & 11.3.2, By-law No. 7625**
The minimum required lot frontage is 21 m.
The existing lot frontage is 18.29 m.

7. **Section 11.2.4(b), By-law No. 7625**
The minimum required side yard setback is 2.4 m each side
The proposed east side yard setback is 0.9 m.
8. **Section 11.2.4(b), By-law No. 7625**
The minimum required side yard setback is 2.4 m each side
The proposed west side yard setback is 1.89 m.
9. **Section 11.2.6, By-law No. 7625**
The maximum permitted building height is 9.5 m.
The proposed building height is 10.37 m.
10. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is constructed.
The lot width is less than the required lot frontage.
11. **Section 6(3)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.53 m.
12. **Section 6(9), By-law No. 7625**
The maximum permitted projection for eaves into a required side yard setback is 0.5 m
The proposed eaves project 0.6 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.50.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor area must be within 4 m of the front wall.
The proposed first floor is located 10.8 m from the front wall.
2. **Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building is 11.5 m.
The proposed height of the building is 11.62 m.
6. **Section 11.2.1 & 11.3.2, By-law No. 7625**
The minimum required lot frontage is 21 m.
The existing lot frontage is 18.29 m.
9. **Section 11.2.6, By-law No. 7625**
The maximum permitted building height is 9.5 m.
The proposed building height is 10.37 m.

10. Section 6(8), By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is constructed.

The lot width is less than the required lot frontage.

11. Section 6(3)a, By-law No. 7625

The maximum finished first floor height is 1.5 m.

The proposed finished first floor height is 1.53 m.

12. Section 6(9), By-law No. 7625

The maximum permitted projection for eaves into a required side yard setback is 0.5 m

The proposed eaves project 0.6 m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

4. Chapter 900.3.10(70)(B), By-law No. 569-2013

The required minimum side yard setbacks are 2.4 m each side.

The proposed east side yard setback is 0.9 m **for the garage portion only.**

7. Section 11.2.4(b), By-law No. 7625

The minimum required side yard setback is 2.4 m each side

The proposed east side yard setback is 0.9 m **for the garage portion only..**

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. Chapter 10.20.40.10(2), By-law No. 569-2013

The permitted maximum height of the exterior portion of the main walls facing a side lot line for a detached house is 7.5 m.

The proposed height of the side exterior main walls facing a side lot line is 7.9 m.

5. Chapter 900.3.10(70)(B), By-law No. 569-2013

The required minimum side yard setbacks are 2.4 m each side.

The proposed west side yard setback is 1.89 m.

8. Section 11.2.4(b), By-law No. 7625

The minimum required side yard setback is 2.4 m each side

The proposed west side yard setback is 1.89 m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0576/17NY	Zoning	RD & R1B (WAV)
Owner:	PETER VOONG	Ward:	Don Valley West (25)
Agent:	WESTON CONSULTING	Heritage:	Not Applicable
Property Address:	87 NORTHDAL RD	Community:	North York
Legal Description:	PLAN 3368 PT LOT 15		

Nazila Atarodi (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0579/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	ALON KRONENBERG	Ward:	York Centre (10)
Agent:	ALON KRONENBERG	Heritage:	Not Applicable
Property Address:	46 PALM DR	Community:	North York
Legal Description:	PLAN 4883 LOT 104		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

TO construct a new one storey addition to the east of the existing dwelling and a second storey addition to the existing footprint.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10(5), By-law No. 569-2013**
A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
The proposed mud room is 5.412 m² of the first within 0 m of the front main wall.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is **36.70%** of the lot area.
- Chapter 900 Exception 5, By-law No. 569-2013**
The required minimum side yard setback is 1.80 m.
The proposed east side yard setback is **1.50 m**.
- Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 39.9% of the lot area.
- Section 13.2.3.(b), By-law No. 7625**
The minimum required side yard setback is 1.80 m.
The proposed east side yard setback is **1.50 m**.
- Section 13.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.50 m.
The proposed rear yard setback is 8.05 m.

7. Section 6(24)(d), By-law No. 7625

Unexcavated porches and decks shall be permitted to encroach in the rear yard setback to a maximum of 2.10 m and a height of 1.0 m.

The proposed deck encroaches **1.07m** and is 2.362 m high.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number: A0579/17NY
Owner: ALON KRONENBERG
Agent: ALON KRONENBERG
Property Address: **46 PALM DR**
Legal Description: PLAN 4883 LOT 104

Zoning: RD / R4 (ZZC)
Ward: York Centre (10)
Heritage: Not Applicable
Community: North York

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0580/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	SHERIF FADALI	Ward:	Willowdale (24)
Agent:	HANY KALLINI	Heritage:	Not Applicable
Property Address:	20 ARROWSTOOK RD	Community:	North York
Legal Description:	PLAN 4933 LOT 32		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.53m.

3. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.

4. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.53m.

5. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.
The proposed building length is 18.98m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 8, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

UPP 201
 4833 WARD
 CITY OF TORONTO
 Approved by the City of Toronto
 Date: 11/10

DATE: 11/10
 DATE: 11/10



New Single Family Dwelling
Waffa Residence
 25 Arrowstook Rd, Toronto, Ontario

SITE PLAN
 1:150

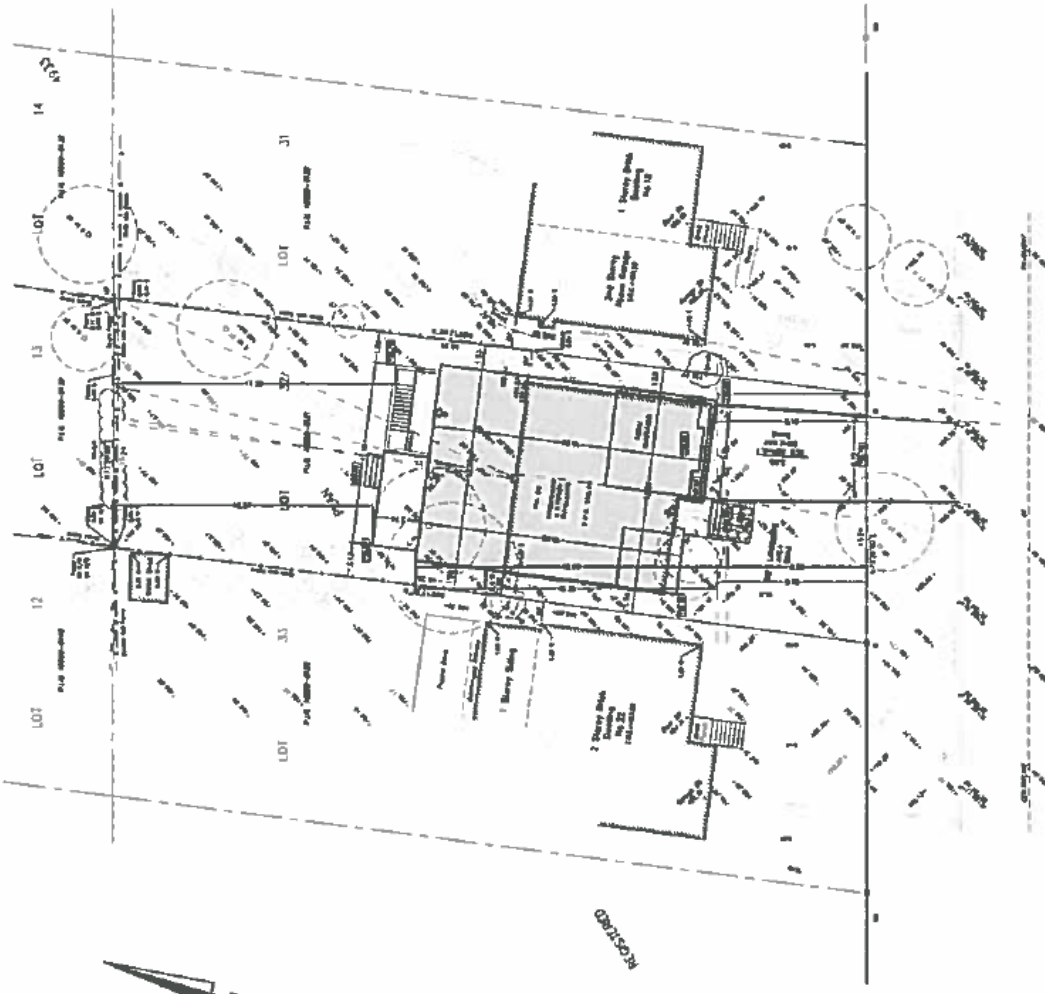


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PROPERTY DISTRICTS	
ADDRESS	PROPERTY DISTRICT
4833 WARD	WARD
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4900 WARD	WARD

RECEIVED
 AUG 08 2017
 Toronto City Planning
 North York District

- LEGEND**
- Proposed 1-Storey
 - Existing to be demolished



ARROWSTOOK ROAD
 (By Registered Plan 4833, Street Line as Confirmed by Plan BA-2050)

SIGNATURE PAGE

File Number:	A0580/17NY	Zoning	RD/R4 [ZZC]
Owner:	SHERIF FADALI	Ward:	Willowdale (24)
Agent:	HANY KALLINI	Heritage:	Not Applicable
Property Address:	20 ARROWSTOOK RD	Community:	North York
Legal Description:	PLAN 4933 LOT 32		

Beth Levy (signed)

Nazila Atarodi (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0581/17NY	Zoning	R (d0.6) (x767)/R2 Z0.6[ZZC]
Owner(s):	SHARI PINKUS PETER DALY	Ward:	Eglinton-Lawrence (16)
Agent:	BRUNO LOPES	Heritage:	Not Applicable
Property Address:	136 HELENDALE AVE	Community:	Toronto
Legal Description:	PLAN 702 PT LOT 17		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey front portion of the dwelling. The applicant is also proposing a two-storey addition at the rear and a deck. The existing deck would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.70.(2), By-law No. 569-2013**
The required minimum rear yard setback is 7.5m.
The proposed rear yard setback is 4.29m.
- 2. Chapter 10.10.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.69 times the area of the lot.
The proposed floor space index is 1.56 times the area of the lot.
- 3. Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls above established grade may encroach into the required rear yard setback of 2.5m if it is no closer to a side lot line than 0.3m.
The proposed platform encroaches 4.04m into the required rear yard setback.
- 4. Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.
The proposed eaves are 0.074m from the east lot line.
- 5. Chapter 10.10.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.0m.
The proposed height of the side exterior main walls facing a side lot line is 8.48m.

6. **Section 6(3) part II 4, By-law No. 438-86**
The minimum required rear yard setback of 7.5m.
The proposed rear yard setback is 4.29m.
7. **Section 6(3) Part II 3.B (II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth, where the side wall contains openings is 0.9m.
The proposed east side lot line setback is 0.1m.
8. **Section 6(3) Part II 3.B (II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth, where the side wall contains openings is 0.9m.
The proposed west side lot line setback is 0.46m.
9. **Section 6(3) Part I 1, By-law No. 438-86**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is 1.16 times the area of the lot.
10. **Section 6(3) Part II(3)(ii), By-law 438-86**
The minimum required wall to wall separation where there are no openings between adjacent buildings is 1.2m.
The proposed east side wall to wall separation is 0.57m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.10.40.70.(2), By-law No. 569-2013**
The required minimum rear yard setback is 7.5m.
The proposed rear yard setback is 4.29m.
3. **Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls above established grade may encroach into the required rear yard setback of 2.5m if it is no closer to a side lot line than 0.3m.
The proposed platform encroaches 4.04m into the required rear yard setback.
4. **Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.
The proposed eaves are 0.074m from the east lot line.
5. **Chapter 10.10.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.0m.
The proposed height of the side exterior main walls facing a side lot line is 8.48m.
6. **Section 6(3) part II 4, By-law No. 438-86**
The minimum required rear yard setback of 7.5m.
The proposed rear yard setback is 4.29m.

7. **Section 6(3) Part II 3.B (II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth, where the side wall contains openings is 0.9m.
The proposed east side lot line setback is 0.1m.
8. **Section 6(3) Part II 3.B (II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth, where the side wall contains openings is 0.9m.
The proposed west side lot line setback is 0.46m.
10. **Section 6(3) Part II(3)(ii), By-law 438-86**
The minimum required wall to wall separation where there are no openings between adjacent buildings is 1.2m.
The proposed east side wall to wall separation is 0.57m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

2. **Chapter 10.10.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.69 times the area of the lot.
The proposed floor space index is **1.00** times the area of the lot.
9. **Section 6(3) Part I 1, By-law No. 438-86**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is **1.00** times the area of the lot.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0581/17NY	Zoning	R (d0.6) (x767)/R2 Z0.6[ZZC]
Owner:	SHARI PINKUS PETER DALY	Ward:	Eglinton-Lawrence (16)
Agent:	BRUNO LOPES	Heritage:	Not Applicable
Property Address:	136 HELENDALE AVE	Community:	Toronto
Legal Description:	PLAN 702 PT LOT 17		

Beth Levy (signed)

Nazila Atarodi (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0582/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	EWAN GEDDES EWAN GEDDES	Ward:	Don Valley East (34)
Agent:	REPLACEMENT DESIGN INC	Heritage:	Not Applicable
Property Address:	35 SKELMORE CRES	Community:	North York
Legal Description:	PLAN M812 LOT 233		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new 1 storey addition and carport to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(2), By-law No. 569-2013**
A corner lot with a dwelling must have a minimum of 60% of the side yard abutting a street for landscaping.
The propose side yard landscaping is 4.7 %.
- 2. Chapter 10.5.50.10.(2), By-law No. 569-2013**
A corner lot with a dwelling must have a minimum of 75% of the required side yard landscaping to be soft landscaping.
The propose side yard soft landscaping is 4.7%.
- 3. 10.5.50.10.(3), By-law No. 569-2013**
A minimum of 50% of the rear yard must be soft landscaping.
The proposed rear yard soft landscaping is 45.53%
- 4. 10.5.60.20.(3), By-law No. 569-2013**
The minimum side yard setback for an ancillary building or structure located in a side yard setback, Is the minimum side yard setback required for the residential building on the lot: 1.8 m.
The proposed side yard setback for the ancillary building is 0.351 m.
- 5. Section 6(23)(a)(i)(B), By-law No. 7625**
In the side yard, accessory buildings shall not be located at a distance from the side lot lines less than the minimum side yard setback for the main building: 1.8 m.
The proposed car port is located 0.35 m from the side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

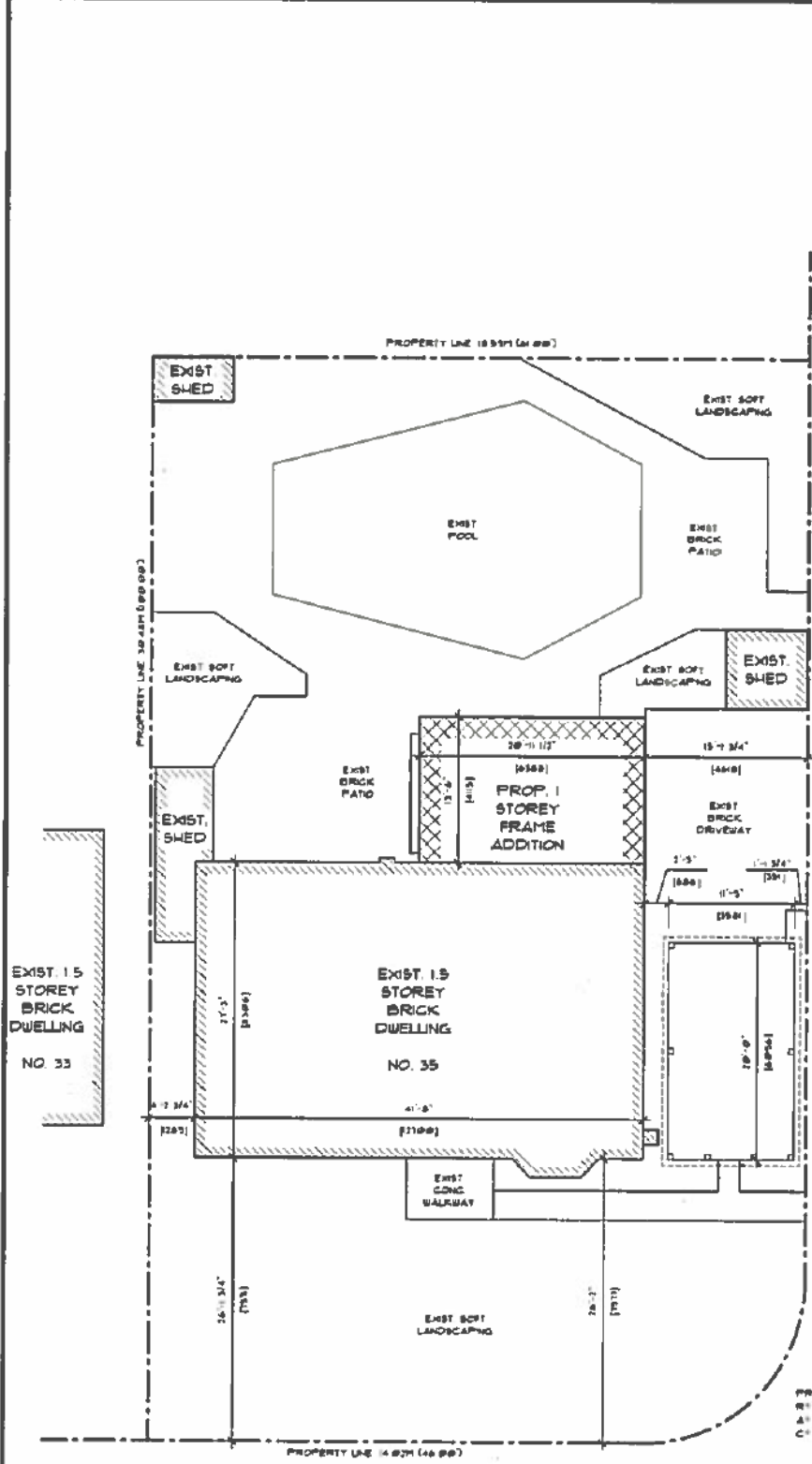
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be constructed in accordance with the site plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 4,2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) Permeable pavers are to be used for the driveway located in the side yard.
- 3) The carport is to remain open and unenclosed on all sides.



LOT AREA	562.72M ² (6051.71 S.F.)
PROPOSED COVERAGE	133.01M ² (1431.68 S.F.)
GROSS FLOOR AREAS (W/INCL COVERED PORCH)	
1ST FL EXIST.	106.72M ² (1148.74 S.F.)
1ST FL PROP.	133.01M ² (1431.68 S.F.)
EXISTING TOTAL GFA	106.72M ² (1148.74 S.F.)
PROPOSED TOTAL GFA	133.01M ² (1431.68 S.F.)
LANDSCAPED OPEN SPACE	
LOT AREA	562.72M ² (6051.71 S.F.)
PROPOSED COVERAGE	133.01M ² (1431.68 S.F.)
AREA OF LANDSCAPING	429.71M ² (4620.03 S.F.)
225.21X100° 76.34% LANDSCAPING	562.72
EXIST FRONT YARD - LANDSCAPING STATISTICS	
FRONT YARD AREA	142.01M ² (1521.74 S.F.)
HARD LANDSCAPING	
EXIST. PORCH/WALKWAY	12.07M ² (129.51 S.F.)
SOFT LANDSCAPING	
FRONT YARD AREA-HARD*	130.75M ² (1407.53 S.F.)
130.75 X100° 91.86% SOFT LANDSCAPING	142.01
PROP. SIDE YARD - LANDSCAPING STATISTICS	
SIDE YARD AREA	571.0M ² (6154.71 S.F.)
HARD LANDSCAPING	
(A)EXIST DRIVEWAY	32.64M ² (351.30 S.F.)
(B)PROP CARPORT	71.83M ² (770.00 S.F.)
TOTAL (A+B)	94.47M ² (1006.36 S.F.)
SOFT LANDSCAPING	
AREA OF LANDSCAPING-HARD*	270M ² (2891 S.F.)
270 X 47.5% SOFT LANDSCAPING	571.0
PROP. REAR YARD - LANDSCAPING STATISTICS	
REAR YARD AREA	225.22M ² (2411.32 S.F.)
HARD LANDSCAPING	
(A)EXIST DRIVEWAY	1.17M ² (12.63 S.F.)
(B)EXIST PATIO/WALKWAY	186.75M ² (2010.55 S.F.)
(C)EXIST SHEDS	14.83M ² (159.74 S.F.)
TOTAL (A+B+C)	124.85M ² (1343.96 S.F.)
SOFT LANDSCAPING	
AREA OF LANDSCAPING-HARD*	104.37M ² (1123.46 S.F.)
104.37 X 45.53% SOFT LANDSCAPING	225.22

RECEIVED
 AUG 04 2017
 Toronto City Planning
 North York District

SKELMORE CRESCENT

INFORMATION OBTAINED FROM THE SURVEY OF LOT 233 REGISTERED PLAN M-817 CITY OF NORTH YORK, PREPARED BY H.W. MOYLES ONTARIO LAND SURVEYOR DATED JUNE 4, 1984

1 SITE PLAN - PROPOSED
 22 SCALE 1/32"=1'-0"

PRINTS AND SPECIFICATIONS SHALL NOT BE REPRODUCED WITHOUT THE PERMISSION OF THE DESIGNER. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE WORK, AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING. IF THERE ARE ANY DIMENSIONAL DETAILS OR DESIGN INTENT THAT CANNOT BE DETERMINED FROM THE DRAWINGS, THE DESIGNER SHALL BE NOTIFIED PRIOR TO PROCEEDING WITH FABRICATION AND/OR CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED.

re: placement DESIGN INC.
 315 DAVENPORT ROAD
 TORONTO, ONTARIO
 TEL: 416-531-1435
 REPLACEMENTDESIGN.COM

Project: 35 SKELMORE CRES.
 TORONTO, ONTARIO
 PROPOSED ADDITION

Date: 26 APR. 2017
 Drawing No: **Z2**

SIGNATURE PAGE

File Number:	A0582/17NY	Zoning	RD / R4 (ZZC)
Owner:	EWAN GEDDES EWAN GEDDES	Ward:	Don Valley East (34)
Agent:	REPLACEMENT DESIGN INC	Heritage:	Not Applicable
Property Address:	35 SKELMORE CRES	Community:	North York
Legal Description:	PLAN M812 LOT 233		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0583/17NY	Zoning	CR/C1 [ZZC]
Owner(s):	2028643 ONTARIO LIMITED 20286430 ONTARIO LIMITED	Ward:	Eglinton-Lawrence (16)
Agent:	BRITTON CLARKSON PLANNING LIMITED	Heritage:	Not Applicable
Property Address:	2793 BATHURST ST	Community:	North York
Legal Description:	PLAN 1061 S PT LOT 10 RP 64R12669 PART 1		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey addition over the existing one-storey commercial building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 20.5.10.1 By-law No. 569-2013

The minimum number of parking spaces required is three (3).

The proposed number of parking spaces provided is zero (0).

2. Chapter 40.10.40.40. By-law No. 569-2013

The maximum permitted floor space index is 1.00 times the lot area.

The proposed floor space index is 2.53 times the lot area.

3. Chapter 230.5.10.1 By-law No. 569-2013

The minimum number of Short Term Bicycle parking spaces required is three (3).

The proposed number of Short Term Bicycle parking spaces is zero (0).

4. Chapter 40.10.50.10. By-law No. 569-2013

If a lot in the CR zone abuts a lot in the Residential Zone category or Residential Apartment Zone category, a minimum 1.50m wide strip of land used only for soft landscaping must be provided along the part of the lot line abutting the lot in the Residential Zone category or Residential Apartment Zone category.

A landscape strip has not been provided along the east lot line (0.00m).

5. Section 23.2.1, By-law No. 7625

The maximum permitted lot coverage is 33.30% of the lot area.

The existing lot coverage is 94.00% of the lot area.

6. Section 22.10.0, By-law No. 7625

The maximum permitted gross floor area is 1.00 times the lot area.
The proposed gross floor area is 2.53 times the lot area.

7. Section 6A(16)(a), By-law No. 7625

The minimum required number of loading spaces is one (1).
The proposed number of loading spaces is zero (0).

8. Section 6A(2)(a), By-law No. 7625

The minimum required number of parking spaces is eight (8).
The proposed number of parking spaces is zero (0).

9. Section 23.2.2, By-law No. 7625

The minimum required rear yard setback is 7.50m.
The existing and proposed rear yard setback is 0.00m.

10. Section 23.2.2, By-law No. 7625

The minimum required side yard setback is 4.50m.
The existing and proposed east side yard setback is 0.00m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. Chapter 40.10.40.40, By-law No. 569-2013

The maximum permitted floor space index is 1.00 times the lot area.
The proposed floor space index is 2.53 times the lot area.

3. Chapter 230.5.10.1, By-law No. 569-2013

The minimum number of Short Term Bicycle parking spaces required is three (3).
The proposed number of Short Term Bicycle parking spaces is zero (0).

4. Chapter 40.10.50.10, By-law No. 569-2013

If a lot in the CR zone abuts a lot in the Residential Zone category or Residential Apartment Zone category, a minimum 1.50m wide strip of land used only for soft landscaping must be provided along the part of the lot line abutting the lot in the Residential Zone category or Residential Apartment Zone category.
A landscape strip has not been provided along the east lot line (0.00m).

5. Section 23.2.1, By-law No. 7625

The maximum permitted lot coverage is 33.30% of the lot area.
The existing lot coverage is 94.00% of the lot area.

6. Section 22.10.0, By-law No. 7625

The maximum permitted gross floor area is 1.00 times the lot area.
The proposed gross floor area is 2.53 times the lot area.

9. Section 23.2.2, By-law No. 7625

The minimum required rear yard setback is 7.50m.
The existing and proposed rear yard setback is 0.00m.

10. Section 23.2.2, By-law No. 7625

The minimum required side yard setback is 4.50m.

The existing and proposed east side yard setback is 0.00m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. Chapter 20.5.10.1 By-law No. 569-2013

The minimum number of parking spaces required is three (3).

The proposed number of parking spaced provided is zero (0).

7. Section 6A(16)(a), By-law No. 7625

The minimum required number of loading spaces is one (1).

The proposed number of loading spaces is zero (0).

8. Section 6A(2)(a), By-law No. 7625

The minimum required number of parking spaces is eight (8).

The proposed number of parking spaces is zero (0).

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0583/17NY	Zoning	CR/C1 [ZZC]
Owner:	2028643 ONTARIO LIMITED 20286430 ONTARIO LIMITED	Ward:	Eglinton-Lawrence (16)
Agent:	BRITTON CLARKSON PLANNING LIMITED	Heritage:	Not Applicable
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Isaac Lallouz (signed)

Bruce Mullock (signed)

Derek Lett (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

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CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0584/17NY	Zoning	RD (x5)/R4[ZCC]
Owner(s):	ARASH GORJI-POUR	Ward:	Willowdale (23)
Agent:	EDEN ENGINEERING & DESIGN INC	Heritage:	Not Applicable
Property Address:	165 CHURCH AVE	Community:	North York
Legal Description:	PLAN 2633 LOT 150		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.6.10.(5), By-law No. 569-2013**
The minimum side yard setback is 1.8m.
The proposed west side yard setback is 1.52m.
- 2. Chapter 900.6.10.(5), By-law No. 569-2013**
The minimum side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.
- 3. Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10m of the first floor must be within 4m of the front main wall.
The proposed is 2.8m² of the first floor (entry foyer) within 4m of the front main wall.
- 4. Chapter 10.5.40.50.(2), By-law No. 569-2013**
A platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3m of a building, must comply with the required minimum building setback of 1.8m.
The proposed rear deck is setback from the east side lot line by 1.52m.
- 5. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all exterior main walls is 7.5m.
The proposed height of the side exterior main walls is 7.76m.

6. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 31.9% of the lot area.
7. **Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0m.
The proposed building depth is 19.39m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum side yard setback is 1.8m.
The proposed west side yard setback is 1.52m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.
10. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 19.12m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **9.20m**.
12. **Section 6(24), By-law No. 7625**
The maximum projection of an unexcavated deck in the rear is 2.1m from the wall if it is greater than 1m above all points of the adjacent ground.
The proposed rear unexcavated deck projects 2.96m.
13. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.72m.
14. **Section 6(24)(d), By-law No. 7625**
In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot line than the minimum side yard setback for the building of 1.8m.
The proposed rear deck is setback from the east side lot line by 1.52m.
15. **Section 6(9)(b), By-law No. 7625**
Exterior stairways shall be permitted to project into the minimum rear yard setback not more than 2.1m.
The proposed rear stairs project 2.8m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

3. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10m of the first floor must be within 4m of the front main wall.
The proposed is 2.8m² of the first floor (entry foyer) within 4m of the front main wall.

4. **Chapter 10.5.40.50.(2), By-law No. 569-2013**
A platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3m of a building, must comply with the required minimum building setback of 1.8m.
The proposed rear deck is setback from the east side lot line by 1.52m.
5. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all exterior main walls is 7.5m.
The proposed height of the side exterior main walls is 7.76m.
6. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 31.9% of the lot area.
7. **Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0m.
The proposed building depth is 19.39m.
10. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 19.12m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is **9.20m**.
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The maximum projection of an unexcavated deck in the rear is 2.1m from the wall if it is greater than 1m above all points of the adjacent ground.
The proposed rear unexcavated deck projects 2.96m.
13. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.72m.
14. **Section 6(24)(d), By-law No. 7625**
In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot line than the minimum side yard setback for the building of 1.8m.
The proposed rear deck is setback from the east side lot line by 1.52m.
15. **Section 6(9)(b), By-law No. 7625**
Exterior stairways shall be permitted to project into the minimum rear yard setback not more than 2.1m.
The proposed rear stairs project 2.8m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 900.6.10.(5), By-law No. 569-2013**
The minimum side yard setback is 1.8m.
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The minimum side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum side yard setback is 1.8m.
The proposed west side yard setback is 1.52m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum side yard setback is 1.8m.
The proposed east side yard setback is 1.52m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0584/17NY	Zoning	RD (x5)/R4[ZZC]
Owner:	ARASH GORJI-POUR	Ward:	Willowdale (23)
Agent:	EDEN ENGINEERING & DESIGN INC	Heritage:	Not Applicable
Property Address:	165 CHURCH AVE	Community:	North York
Legal Description:	PLAN 2633 LOT 150		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

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Manager & Deputy Secretary Treasurer
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MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0587/17NY	Zoning	RD (f 15 ; a 550) (x 5)/R4[ZZC]
Owner(s):	AZADEH MOGHAREI ALI MALEKANIAN	Ward:	Willowdale (24)
Agent:	SHAHRAM RASHVAND	Heritage:	Not Applicable
Property Address:	23 BURBANK DR	Community:	North York
Legal Description:	PLAN 4794 LOT 80		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 9.13m.
The proposed front yard setback is 8.56m.
- 2. Chapter 1.20.3(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed South side yard setback is **1.50m**.
- 3. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building or structure is 10m.
The proposed height of the building/structure is **10.30m**.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the south side exterior main walls facing a side lot line is 7.94m.
- 5. Chapter 10.20.40.10.(6), By-law No. 569-2013**
The permitted maximum height of the first floor above established grade is 1.2m.
The proposed height of the first floor above established grade is 1.47m.

6. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum required south side yard setback is 1.8m.
The proposed south side yard setback is **1.50m**.
8. **Section 13.2.4, By-law No. 7625**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
9. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 20.00m.
10. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.59m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 8.95m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 9.13m.
The proposed front yard setback is 8.56m.
2. **Chapter 1.20.3(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed South side yard setback is **1.50m**.
3. **Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building or structure is 10m.
The proposed height of the building/structure is **10.30m**.
4. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the south side exterior main walls facing a side lot line is 7.94m.
5. **Chapter 10.20.40.10.(6), By-law No. 569-2013**
The permitted maximum height of the first floor above established grade is 1.2m.
The proposed height of the first floor above established grade is 1.47m.

6. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum required south side yard setback is 1.8m.
The proposed south side yard setback is **1.50m**.
8. **Section 13.2.4, By-law No. 7625**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
9. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 20.00m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 8.95m

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

10. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.59m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0587/17NY	Zoning	RD (f 15 ; a 550) (x 5)/R4[ZZC]
Owner:	AZADEH MOGHAREI ALI MALEKANIAN	Ward:	Willowdale (24)
Agent:	SHAHRAM RASHVAND	Heritage:	Not Applicable
Property Address:	23 BURBANK DR	Community:	North York
Legal Description:	PLAN 4794 LOT 80		

Beth Levy (signed) Bruce Mullock (signed) Derek Lett (signed)

Isaac Lallouz (signed) Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, August 17, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0588/17NY	Zoning	RD (f15.0; a550)/ R4 [ZR]
Owner(s):	SERVAT NIASARI NASHLJI MOHAMMAD HOSSEIN MIRZAEI SEFIDABI FAR	Ward:	Willowdale (23)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	43 DROMORE CRES	Community:	North York
Legal Description:	PLAN 4259 LOT 249		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The exiting dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.60.1(4), By-law No. 569-2013**
An ancillary structure is not permitted prior to the construction of walls and the roof of the main building.
The ancillary structure will exist prior to the construction of walls and the roof of the main building.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30.0% of the lot area.
The proposed lot coverage is 31.40% of the lot area.
- Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey of a house is 4.00m².
The proposed area of the front, second-storey platform is 5.90m².
- Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.50m.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 17.10m.

- 6. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.50m.
- 7. Section 13.2.4, By-law No. 7625**
The permitted maximum lot coverage is 30.0% of the lot area.
The proposed lot coverage is 31.40% of the lot area.
- 8. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.29m
- 9. Section 13.2.6A, By-law no. 7625**
The maximum permitted balcony area is 3.80m².
The proposed front balcony area is 5.90m².
- 10. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.50m.
The proposed finished first floor height is 1.78m.
- 11. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 17.23m.
- 12. Section 6(23)(a)(iii)(A), By-law No. 7625**
No accessory building shall be erected prior to the erection of the main building.
The accessory building will exist prior to the erection of the main building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0588/17NY	Zoning	RD (f15.0; a550)/ R4 [ZR]
Owner:	SERVAT NIASARI NASHLJI MOHAMMAD HOSSEIN MIRZAEI SEFIDABI FAR	Ward:	Willowdale (23)
Agent:	ELMIRA ZARRABI	Heritage:	Not Applicable
Property Address:	43 DROMORE CRES	Community:	North York
Legal Description:	PLAN 4259 LOT 249		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0589/17NY	Zoning	RD(X5)/ R5 [WAIVER]
Owner(s):	MERLE ANN SALEEM	Ward:	Don Valley West (25)
Agent:	ADSTRUCT LTD	Heritage:	Not Applicable
Property Address:	5 NORDEN CRES	Community:	North York
Legal Description:	PLAN 4332 LOT 99		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.6.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.53m.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 30.30% of the lot area.
- 3. Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted height of the first floor above established grade is 1.20m.
The proposed height is 1.48m.
- 4. Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.53m.
- 5. Section 14.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.52m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

- 1. Chapter 900.6.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.53m.
- 3. Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted height of the first floor above established grade is 1.20m.
The proposed height is 1.48m.
- 4. Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.53m.
- 5. Section 14.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.52m**.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is **27.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0589/17NY	Zoning	RD(X5)/ R5 [WAIVER]
Owner:	MERLE ANN SALEEM	Ward:	Don Valley West (25)
Agent:	ADSTRUCT LTD	Heritage:	Not Applicable
Property Address:	5 NORDEN CRES	Community:	North York
Legal Description:	PLAN 4332 LOT 99		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0590/17NY	Zoning	RD/R5[ZONING]
Owner(s):	JOSEPHINE DE LUCA-ROSA	Ward:	York Centre (09)
Agent:	JOSEPHINE DE LUCA-ROSA	Heritage:	Not Applicable
Property Address:	6 SINTON CRT	Community:	North York
Legal Description:	PLAN M799 LOT 290		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey addition to the west portion of the existing dwelling including an attached garage. The existing garage and partial of the rear deck would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(4), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.22m.
- 2. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 6.77m.
The proposed rear yard setback is 3.3m.
- 3. Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.22m.
- 4. Section 14.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 3.3m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The property being developed essentially in accordance with the site plan attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

PROJECT:
 6 SINTON COURT
 NEW ADDITION TO EXISTING
 TWO STOREY BRICK DWELLING
 ISSUED FOR ZONING

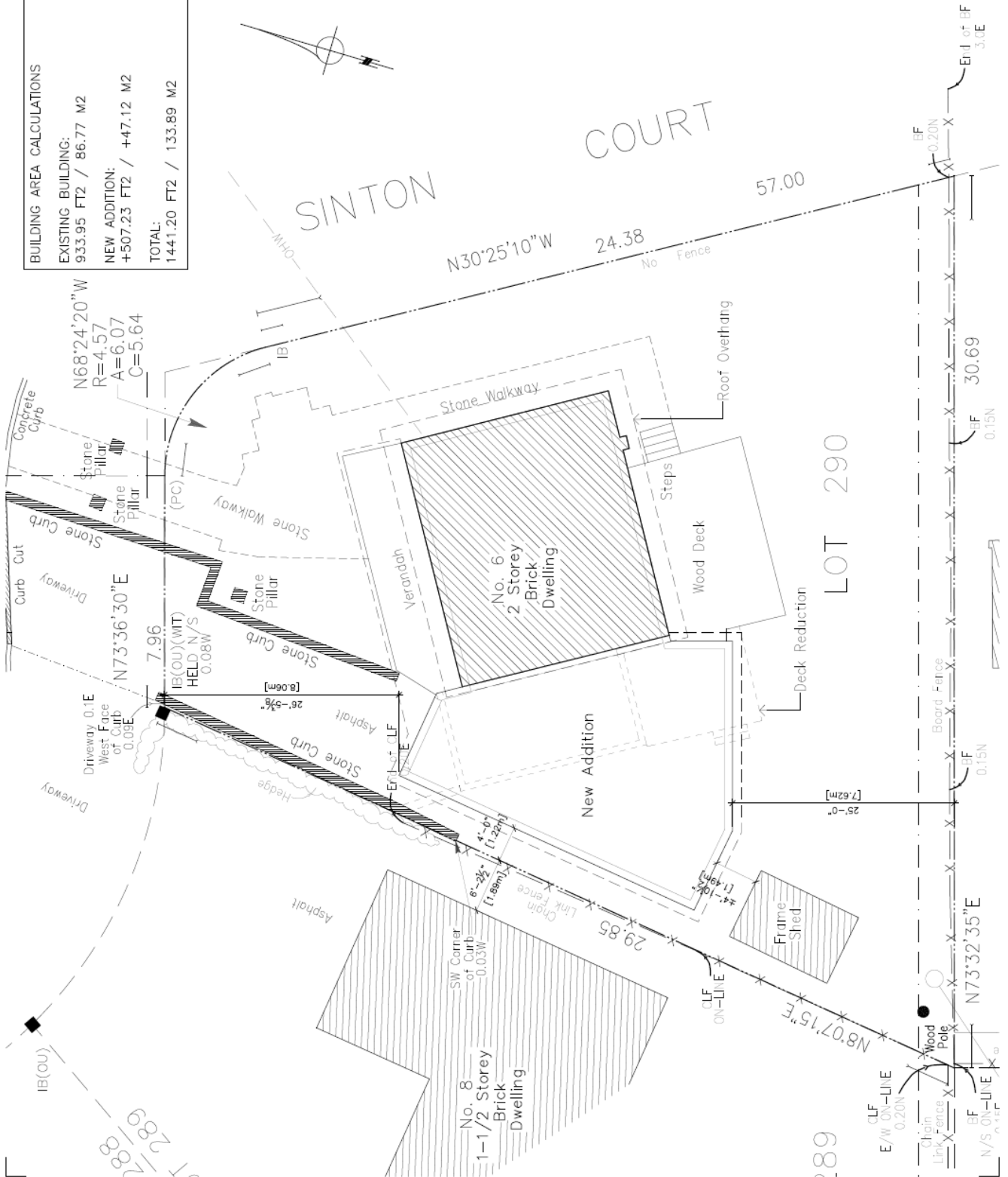
GENERAL NOTES:

- THIS DRAWING IS TO BE PLOTTED ON A PAPER SIZE OF 17" x 11". IF OTHERWISE, THE DRAWING HAS BEEN SCALED DIFFERENTLY AND SHOULD ONLY BE USED FOR REFERENCING PURPOSES.
- EXISTING SITE INFORMATION DERIVED FROM SITE SURVEY PLAN 1118-SINTONCOURT6-SPRR.DWG PROVIDED BY PEARSON AND PEARSON SURVEYING LTD.
- THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS SIGNED OFF OTHERWISE BY A PROFESSIONAL ARCHITECT/ENGINEER.
- EXISTING BUILDING OUTSIDE OF SCOPE OF WORK IS NOTED AS HATCHED AND IS ONLY INCLUDED FOR REFERENCE PURPOSES.
- ALL DIMENSIONS AND SITE ELEVATIONS TO BE PROCEDURE BEFORE ANY WORK IS TO PROCEED IN REGARDS TO SCOPE OF WORK.



DRAWING INFORMATION
 DRAWING NAME: SITE PLAN
 DRAWN BY: AA
 CHECKED BY: SS
 DATE DRAWN: 27 MARCH 2017
 SCALE: 3/32" = 1'-0"
 DRAWING NUMBER: **A1.0**

BUILDING AREA CALCULATIONS
 EXISTING BUILDING:
 933.95 FT2 / 86.77 M2
 NEW ADDITION:
 +507.23 FT2 / +47.12 M2
 TOTAL:
 1441.20 FT2 / 133.89 M2



SIGNATURE PAGE

File Number:	A0590/17NY	Zoning	RD/R5[ZONING]
Owner:	JOSEPHINE DE LUCA-ROSA	Ward:	York Centre (09)
Agent:	JOSEPHINE DE LUCA-ROSA	Heritage:	Not Applicable
Property Address:	6 SINTON CRT	Community:	North York
Legal Description:	PLAN M799 LOT 290		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

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Thursday, August 17, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0620/17NY	Zoning	RA / RM2
Owner(s):	MARIA FIORE	Ward:	Eglinton-Lawrence (15)
Agent:	THOMAS MARZOTTO ARCHITECT	Heritage:	Not Applicable
Property Address:	611 NORTHCLIFFE BLVD	Community:	York
Legal Description:	PLAN 1969 LOT 15 AND RP 66R20759 PART 1		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 15.5.100.1(1), By-law No. 569-2013**
The required minimum width of a driveway must be 3.0 m.
The proposed driveway width is 2.24 m.
- 2. Chapter 900.7.10(777)D(i), By-law No. 569-2013**
The permitted maximum floor space index is 1.0
The proposed floor space index is 1.18.
- 3. Chapter 15.10.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback in the RA zone is 6.0 m
The proposed front yard setback is 2.96 m.
- 4. Chapter 15.10.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback in the RA zone is 0.5 m on one side and 1.2 m on the other side for a detached house.
The proposed north side yard setback is 0.29 m.
- 5. Chapter 200.5.1.10.(2), By-law No. 569-2013**
The minimum required parking space must have minimum required dimensions of (i) 2.6 m in width and (ii) 5.6 m in length and 2.0 m in vertical clearance.
The proposed parking space will have a width of 2.14 m and a length of 5.46 m.

6. Section 3.2.1 (a)(i), By-law No. 1-83

A parking space shall be a minimum of 3.3 m wide and a minimum of 5.6 m long.
The proposed parking space shall be 2.14 m wide and 5.46 m long.

7. Section 10.1.2.1, By-law No. 1-83

The proposed use, a detached house, is not a permitted use in an RM2 zone.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0620/17NY	Zoning	RA / RM2
Owner:	MARIA FIORE	Ward:	Eglinton-Lawrence (15)
Agent:	THOMAS MARZOTTO ARCHITECT	Heritage:	Not Applicable
Property Address:	611 NORTHCLIFFE BLVD	Community:	York
Legal Description:	PLAN 1969 LOT 15 AND RP 66R20759 PART 1		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0688/17NY	Zoning	M2(68)(H) [WAV]
Owner(s):	SANOFI PASTEUR LIMITED	Ward:	York Centre (10)
Agent:	WBA ARCHITECTS AND ENGINEERS INC	Heritage:	Listed
Property Address:	1755 STEELES AVE W	Community:	North York
Legal Description:	YORK CON 2 WYS PT LOTS 23 TO 25 PLAN 2570 BLK C PT BLK B PT LOT 2 1 FT RESERVE PT FISHERVILLE RD PT DAVEY ST PLAN M1859 BLKS P X Y AA BB		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the construction of a three-storey bulk manufacturing facility.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 2(G), By-law No. 1297-2013

The required setbacks shall be as indicated on Schedule M2(68) and M2(68)(H) and all development on the site shall be set back a minimum of 10.00m from the long term stable top of bank as determined by the Toronto Regional Conservation Authority in September 2011.

The proposed manufacturing facility is identified as Block B in Revised Schedule M2(68)(H) and the proposed building footprint and setbacks shall be as shown on the attached Revised Schedule M2(68)(H), By-law 1297-2013.

2. Section 2(M), By-law No. 1297-2013

For lands identified on schedule M2(68)(H) as subject to a Holding (H) symbol, uses permitted prior to the removal of the (H) symbol shall be those uses permitted in an M2 zone subject to the regulations of this Exception provided the permitted uses are located within a building existing on February 1, 2013, or an addition thereto not exceeding 10.00% of the gross floor area or in a new building of less than 1,000.00m² and all other provisions of this Exception are complied with: and By-Law No. 1297-2013 Section 2(n) Prior to the removing of the Holding (H) symbol from the Schedule M2(68)(H), a Functional Servicing Report in a form and content satisfactory to the Executive Director, Technical services Division must be filed with the City outlining the private and public infrastructure required to service the proposed development.

The proposed manufacturing facility Gross Floor Area will be less than 16,000.00m² prior to the removal of the Holding (H) symbol from the Schedule M2(68)(H).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The minor variance approval shall expire on July 1, 2018.

SIGNATURE PAGE

File Number:	A0688/17NY	Zoning	M2(68)(H) [WAV]
Owner:	SANOFI PASTEUR LIMITED	Ward:	York Centre (10)
Agent:	WBA ARCHITECTS AND ENGINEERS INC	Heritage:	Listed
Property Address:	1755 STEELES AVE W	Community:	North York
Legal Description:	YORK CON 2 WYS PT LOTS 23 TO 25 PLAN 2570 BLK C PT BLK B PT LOT 2 1 FT RESERVE PT FISHERVILLE RD PT DAVEY ST PLAN M1859 BLKS P X Y AA BB		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0146/17NY	Zoning	RD / R7 (ZR)
Owner(s):	DEREK KENTON SZETO SHARON HOI LING SZETO	Ward:	Willowdale (23)
Agent:	PARC DE PRINCE INC	Heritage:	Not Applicable
Property Address:	120 GLENDORA AVE	Community:	North York
Legal Description:	PLAN 1967 LOT 919 PT LOT 918		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with attached garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted main wall height is 7.5 m.
The proposed main side wall height is 8.81 m.
- Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The proposed height of the first floor above established grade is **1.30m**.
- Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed height exceeds **9.07m**.
- Section 14-A(5)c, By-law No. 7625**
The minimum required west side yard setback is 1.8 m.
The proposed side yard setback is 1.53 m.
- Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.3 m.
The proposed building length is 17.57 m including the rear canopy.

7. Section 6(24)(c), By-law No. 7625

The maximum height of an unexcavated rear porch or deck shall be 1 m.
The rear unexcavated deck exceeds 1 m in height and projects 3.66 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

- 2) The proposal be developed in accordance with the east elevation and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, August 8, 2017.**
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

THE DRAWING IS FOR INFORMATION ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE DRAWING IS THE PROPERTY OF CIRKLAB AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE DRAWING IS THE PROPERTY OF CIRKLAB AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

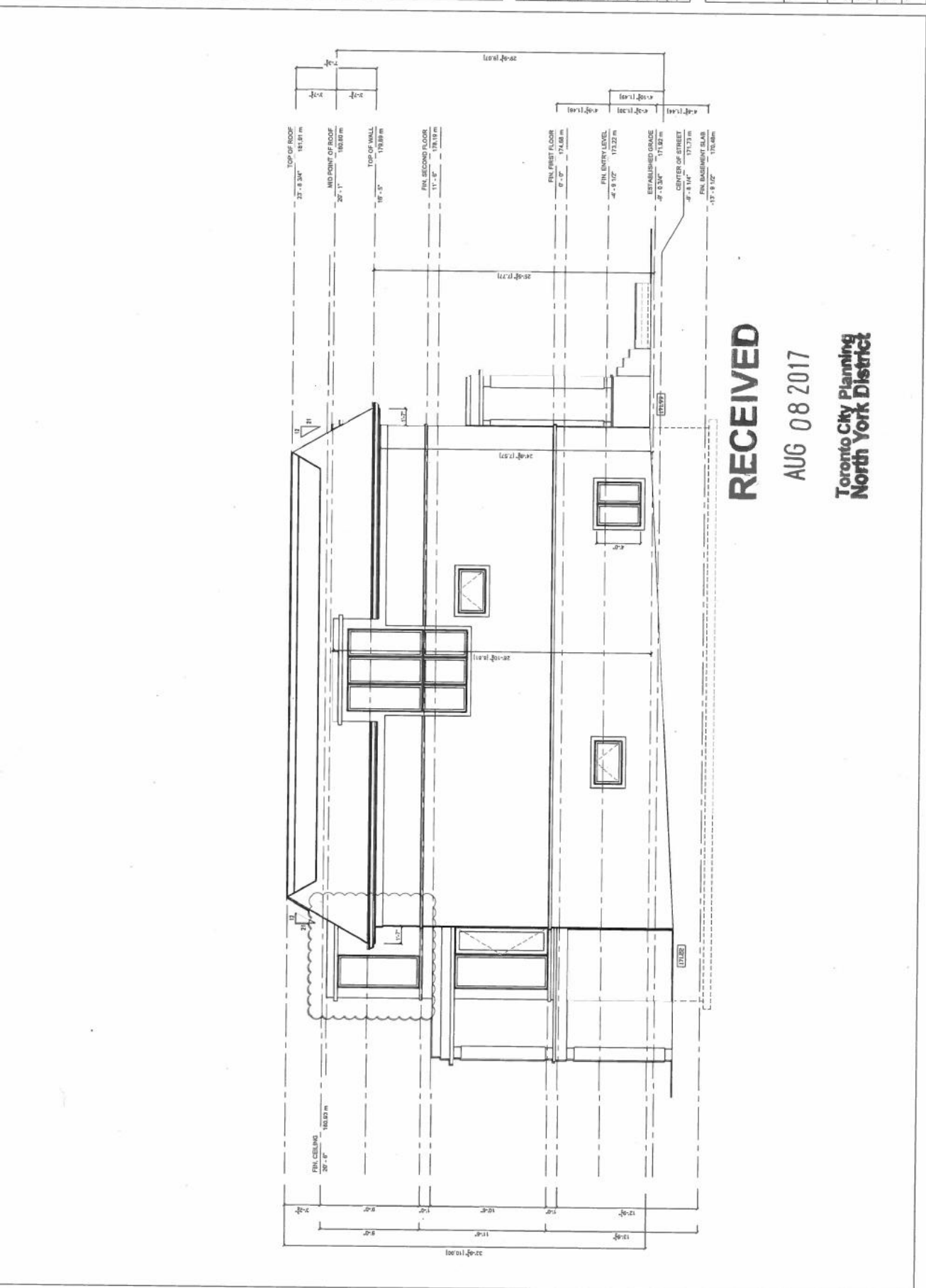
NO.	DATE	DESCRIPTION
1	JANUARY 17	ISSUED FOR CLIENT REVIEW
2	JANUARY 17	ISSUED FOR CLIENT REVIEW
3	JULY 17	REVISED AS PER CLIENT'S COMMENTS
4	JULY 17	ISSUED FOR C.O.A.

NO.	DATE	DESCRIPTION
1	JANUARY 17	ISSUED FOR CLIENT REVIEW
2	JANUARY 17	ISSUED FOR CLIENT REVIEW
3	JULY 17	REVISED AS PER CLIENT'S COMMENTS
4	JULY 17	ISSUED FOR C.O.A.

arklab
TEL: (416) 263-8888
INFO@ARKLAB.CA

PROJECT: PROPOSED DEVELOPMENT AT
120 GLENDORA AVE
M2N 2W2 - TORONTO, ON

DRAWN BY	DATE
CHECKED BY	BY JULY 2017
SCALE	
PROJECT NO.	2718
DRAWING TITLE	WEST ELEVATION
DRAWING NO.	A022



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AUG 08 2017
Toronto City Planning
North York District

THE ARCHITECT'S SERVICES ARE LIMITED TO THE DESIGN AND PREPARATION OF ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR THE CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN. THE ARCHITECT DOES NOT WARRANT THAT THE DRAWINGS OR SPECIFICATIONS WILL BE FREE FROM ERRORS OR OMISSIONS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT OR FOR THE SAFETY OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF THE PROJECT OR FOR THE SAFETY OF THE PROJECT. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF THE PROJECT OR FOR THE SAFETY OF THE PROJECT.

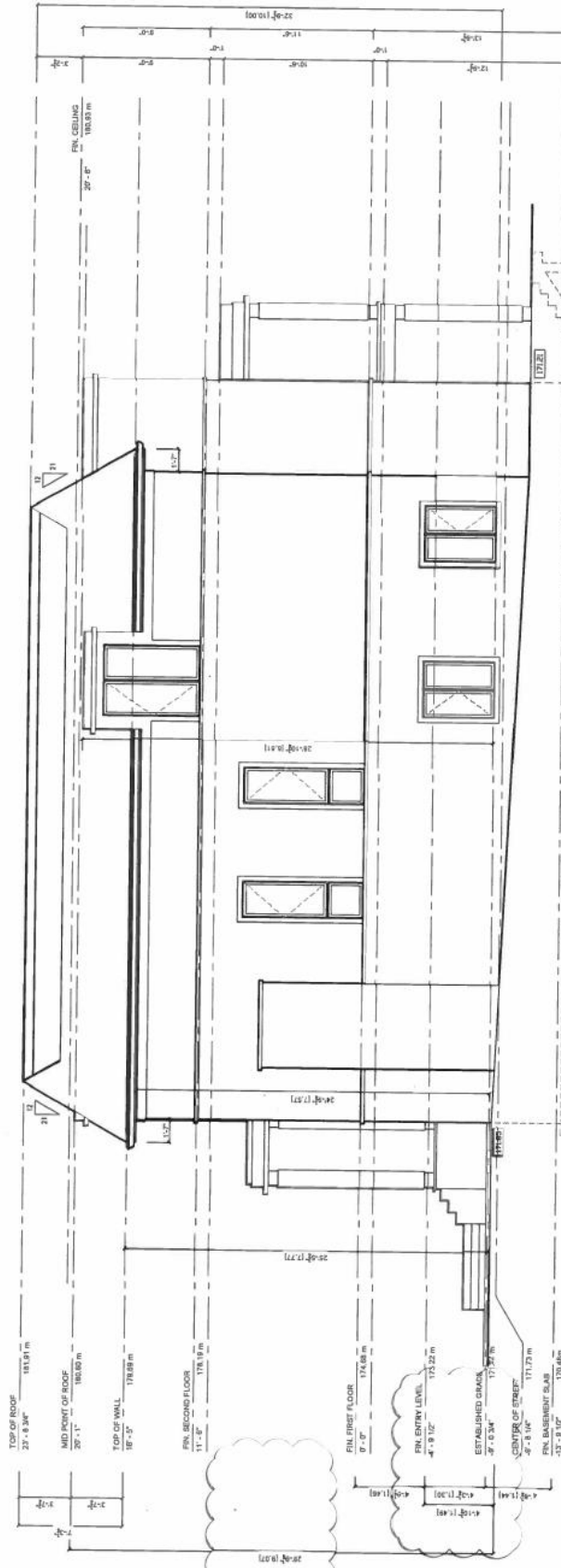
NO.	DATE	DESCRIPTION
1	JUL 11 17	ISSUED FOR C.D.A.
2	JUL 11 17	ISSUED FOR THE CLIENT'S COMMENTS
3	JUL 11 17	ISSUED FOR THE CLIENT'S COMMENTS
4	JUL 11 17	ISSUED FOR THE CLIENT'S COMMENTS
5	JUL 11 17	ISSUED FOR THE CLIENT'S COMMENTS

arklab
 TEL: 416-291-4488
 120 GLENDORA AVE.
 M2N 2W2 - TORONTO, ON

PROJECT: PROPOSED DEVELOPMENT AT
 120 GLENDORA AVE.
 M2N 2W2 - TORONTO, ON

DRAWN BY: [] DATE: 07 JULY 2017
 CHECKED BY: [] DATE: []
 SCALE: 1/8" = 1'-0"

PROJECT NO: 2718 DRAWING TITLE: EAST ELEVATION DRAWING NO: A253



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 AUG 08 2017
 Toronto City Planning
 North York District

SIGNATURE PAGE

File Number:	A0146/17NY	Zoning	RD / R7 (ZR)
Owner:	DEREK KENTON SZETO SHARON HOI LING SZETO	Ward:	Willowdale (23)
Agent:	PARC DE PRINCE INC	Heritage:	Not Applicable
Property Address:	120 GLENDORA AVE	Community:	North York
Legal Description:	PLAN 1967 LOT 919 PT LOT 918		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0363/17NY	Zoning	RD (x5)/R3[ZONING]
Owner(s):	IRENA LEVITIN OLEG LEVITIN	Ward:	York Centre (10)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	15 BARWICK DR	Community:	North York
Legal Description:	PLAN 2571 PT LOTS 794 TO 796		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10(5), By-law No. 569-2013**
An area of 10m² of the first floor must be within 4m of the front main wall.
The proposed is 4.4m² of the first floor (sunken foyer) is within 4m of the front main wall.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all front and rear exterior main walls is 7.5m.
The proposed height of the front and rear exterior main walls is 8.67m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 18.52m.
- 4. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 21.87m.
- 5. Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 21.36m.
- 6. Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 8.99m.

7. Section 6(9), By-law No. 7625

Exterior stairs shall be permitted to project into the minimum rear yard setback not more than 2.1m.
The proposed rear stairs project 2.74m into the rear yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

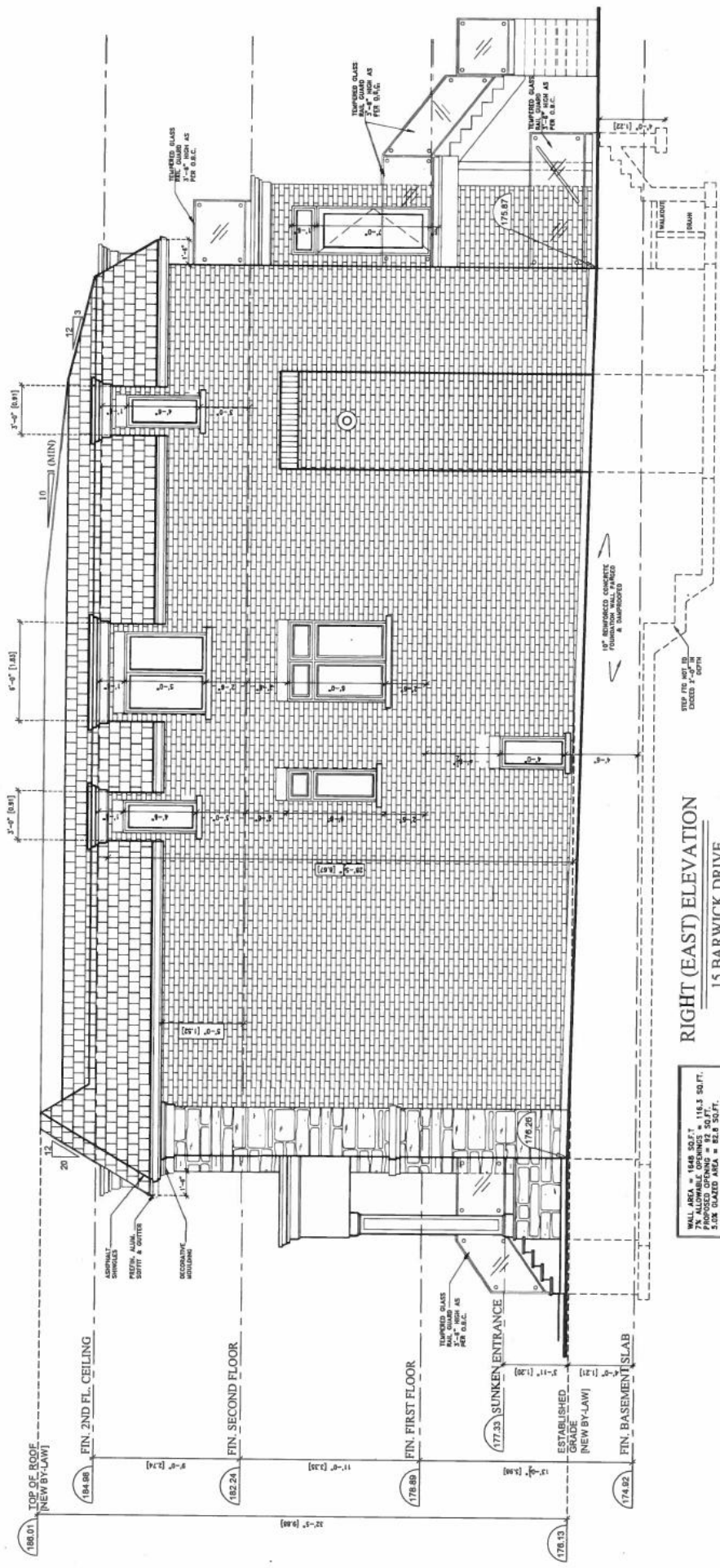
1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s).
A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

2) The proposal be developed in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, August 8, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



RIGHT (EAST) ELEVATION
15 BARWICK DRIVE

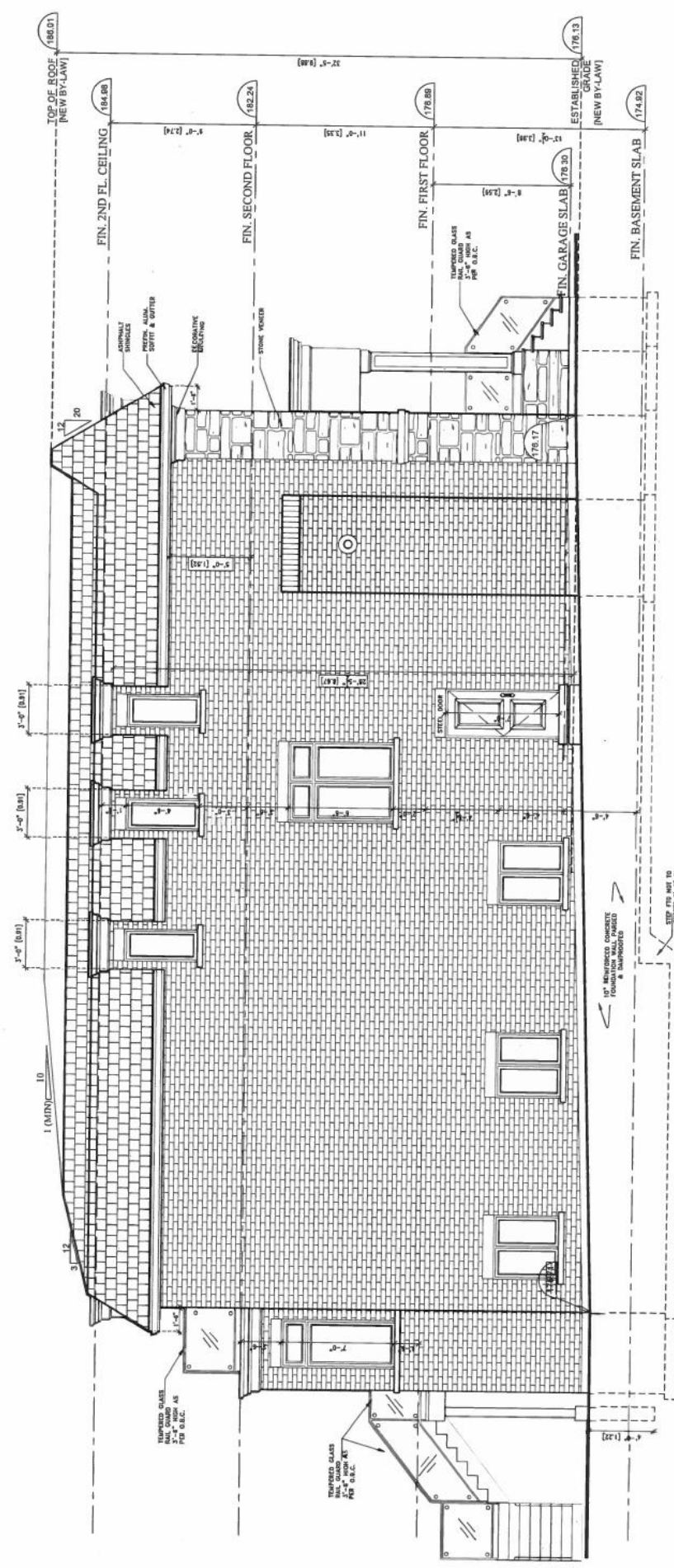
WALL AREA = 1648 SQ.F.T.
7% ALLOWABLE OPENINGS = 116.3 SQ.F.T.
5.0% GLAZED AREA = 82.8 SQ.F.T.

Rubinoff Design Group
 697 Mount Pleasant Road
 Toronto, Ontario M4S 2N4
 TEL: 416-702-2222 FAX: 416-877-5151 EMAIL: info@rubinoff.com
15 BARWICK DRIVE
 SCALE: 3/16" = 1'-0" JUNE 29, 2017

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AUG 08 2017

Toronto City Planning
North York District



LEFT (WEST) ELEVATION
15 BARWICK DRIVE

ALL MATERIALS, CONCRETE FOUNDATION, MASONRY, ROOFING & IMPROVEMENTS
STEP 275 MAY BE EXCEED 2'-0" IN DEPTH

WALL AREA = 1662 SQ.FT.
FIN. ALLOWABLE LOAD = 116.3 SQ.FT.
PROPOSED OPENING = 107.8 SQ.FT.
PLUS GRADED AREA = 96.8 SQ.FT.

Rubinoff Design Group
 697 Mount Pleasant Road
 Toronto, Ontario M4S 2N4
 TEL: 416.467.0222 FAX: 416.467.0211 EMAIL: info@rubinoffdesign.com
15 BARWICK DRIVE
 SCALE: 1/8" = 1'-0" JUNE 29, 2017

RECEIVED

AUG 08 2017

Toronto City Planning
North York District

SIGNATURE PAGE

File Number:	A0363/17NY	Zoning	RD (x5)/R3[ZONING]
Owner:	IRENA LEVITIN OLEG LEVITIN	Ward:	York Centre (10)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	15 BARWICK DR	Community:	North York
Legal Description:	PLAN 2571 PT LOTS 794 TO 796		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 17, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0964/16NY	Zoning	RD(fl5.0; a550)(x5)/ R4
Owner(s):	LAURA RUBEN MICHAEL DAVIDOVITS	Ward:	York Centre (10)
Agent:	EVANS PLANNING	Heritage:	Not Applicable
Property Address:	177 FAYWOOD BLVD	Community:	North York
Legal Description:	PLAN M1748 LOT 1		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain the existing structure post conveyance of portions of lands to 159 Almore Avenue.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.30.10(1), By-law No. 569-2013**
The minimum required lot area is 550.00m².
The proposed lot area is 537.54m².
- 2. Chapter 10.20.40.70(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.29m.
- 3. Chapter 10.20.40.70(3), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.79m.
- 4. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 30.66% of the lot area.
- 5. Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550.00m².
The proposed lot area is 537.54m².
- 6. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed north side yard setback is 1.29m.

7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.79m.

8. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 30.66% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0964/16NY	Zoning	RD(f15.0; a550)(x5)/ R4
Owner:	LAURA RUBEN MICHAEL DAVIDOVITS	Ward:	York Centre (10)
Agent:	EVANS PLANNING	Heritage:	Not Applicable
Property Address:	177 FAYWOOD BLVD	Community:	North York
Legal Description:	PLAN M1748 LOT 1		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, August 17, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0578/17NY	Zoning	C1[ZONING]
Owner(s):	2457205 ONTARIO INC 2457205 ONTARIO INC	Ward:	Willowdale (23)
Agent:	HENRY CHIU ARCHITECT	Heritage:	Not Applicable
Property Address:	5312 YONGE ST	Community:	North York
Legal Description:	CON 1 WY L		

Notice was given and a Public Hearing was held on Thursday, August 17, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To seek relief from parking requirements for the proposed new restaurant.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6A(2)a, By-law No. 7625

The minimum required number of parking spaces is 20 spaces.

The proposed number of parking spaces is 0 spaces.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0578/17NY	Zoning	C1[ZONING]
Owner:	2457205 ONTARIO INC 2457205 ONTARIO INC	Ward:	Willowdale (23)
Agent:	HENRY CHIU ARCHITECT	Heritage:	Not Applicable
Property Address:	5312 YONGE ST	Community:	North York
Legal Description:	CON 1 WY L		

Beth Levy (signed)

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, August 24, 2017

LAST DATE OF APPEAL: Wednesday, September 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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