

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0236/17TEY	Zoning:	R(d0.6) & R2 Z0.6 (ZZC)
Owner(s):	YONGEN ZHAO YONGEN ZHAO	Ward:	Beaches-East York (32)
Agent:	TONY VALENTIN	Heritage:	Not Applicable
Property Address:	<b>93 HERTLE AVE</b>	Community:	Toronto
Legal Description:	PLAN E748 PT LOT 16		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter a two-storey semi-detached dwelling by constructing a rear two-storey addition with exterior staircase and to complete the reconstruction of the rear detached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.40.(2)(A), By-law 569-2013**

The maximum permitted floor space index for additions to the rear of a semi-detached house erected before October 15, 1953 is 0.69 times the area of the lot (134.61 m<sup>2</sup>).  
The floor space index will be 0.75 times the area of the lot (146.48 m<sup>2</sup>).

**2. Chapter 200.5.1.10.(2)(A)(i), By-law 569-2013**

A required parking space must have a minimum width of 3.2 m.  
In this case, the proposed parking space will have a width of 2.74 m.

**3. Chapter 10.10.60.20.(1) (A), By-law 569-2013**

The minimum required setback for an ancillary building or structure from a rear or side lot line abutting a street or lane is 1.0 m.  
The north side lot line setback will be 0.68 m.

**1. Section 6(3) Part VI 1(I), By-law 438-86**

Additions to the rear of a semi-detached house erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building as enlarged does not exceed 0.69 times the area of the lot (134.61 m<sup>2</sup>).  
The residential gross floor area will be 0.75 times the area of the lot (146.48 m<sup>2</sup>).

2. **Section 6(3) Part VI 1(III), By-law 438-86**  
Additions to the rear of a semi-detached house erected before October 15, 1953, or to a converted house, are permitted provided no part of the addition is closer to the rear lot line than 7.5 m.  
The proposed rear lot line set back is 4.09 m.
3. **Section 4(17)(a), By-law 438-86**  
The minimum required parking space width is 3.2 m.  
The parking space width will be 2.74 m.
4. **Section 6(3) Part II 7(III), By-law 438-86**  
An accessory garden or a storage shed of less than 9.0 m<sup>2</sup> in floor area or a private garage are all required to be setback 1.5 m from the main building.  
In this case, the proposed setback will be 0.71 m from the exterior stairs.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0236/17TEY	Zoning	R(d0.6) & R2 Z0.6 (ZZC)
Owner(s):	YONGEN ZHAO YONGEN ZHAO	Ward:	Beaches-East York (32)
Agent:	TONY VALENTIN	Heritage:	Not Applicable
Property Address:	<b>93 HERTLE AVE</b>	Community:	Toronto
Legal Description:	PLAN E748 PT LOT 16		

**DISSENTED**

**ABSTAINED**

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Worrick Russell

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Nancy Oomen

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
(Section 45 of the Planning Act)

File Number:	A0427/17TEY	Zoning	RD (f12.0; d0.6)(x1430) & R1 Z0.6 (ZZC)
Owner(s):	KATHERINE TAYLOR	Ward:	Toronto Centre-Rosedale (27)
Agent:	ERIK CALHOUN	Heritage:	Not Applicable
Property Address:	<b>49 RIDGE DR</b>	Community:	Toronto
Legal Description:	PLAN 633E PT LOT 66		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey detached dwelling by constructing rear second and third storey additions, front dormers and an east side shed.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.10.(2)(B), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 8.5 m.  
The height of the side exterior main walls facing a side lot line will be 10.98 m.
- Chapter 10.20.40.50.(1)(A), By-law 569-2013**  
A maximum of one platform is permitted to be located on the rear wall at or above the second storey of a detached dwelling.  
There will be two decks located on the rear wall at or above the second storey of the altered detached dwelling.
- Chapter 10.20.40.50.(1)(B), By-law 569-2013**  
The maximum permitted area of each platform located at or above the second storey of a dwelling is 4.0 m<sup>2</sup>.  
The area of the rear second storey deck will be 6.71 m<sup>2</sup> and the area of the rear third storey deck will be **18.5 m<sup>2</sup>**.
- Chapter 10.5.60.30.(1), By-law 569-2013**  
An ancillary building or structure with a height greater than 2.5 m, or a gross floor area greater than 10 m<sup>2</sup>, must be at least 1.8 m from a residential building on the same lot.  
The east side shed will be located 0.74 m from a residential building on the same lot.

5. **Chapter 10.10.40.70.(3), By-law 569-2013**  
The minimum required west side yard setback is 0.9 m.  
The rear ground floor deck will be located 0.0 m from the west side lot line.
6. **Chapter 200.5.1.10.(2)(A)(ii), By-law 569-2013**  
The required parking space must have a minimum width of 2.9 m.  
The parking space will measure 2.36 m in width.
1. **Section 6(3) Part II 8 D(II), By-law 438-86**  
An uncovered platform is permitted to project into the required setbacks provided it does not extend beyond the side walls of the building.  
The rear ground floor deck will project beyond the side walls of the building.
2. **Section 4(17), By-law 438-86**  
The minimum required width of a parking space is 2.9 m.  
The parking space will measure 2.36 m wide.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a demolition and/or building permit, the applicant shall submit a complete application for a permit to injure or remove privately owned trees under Toronto Municipal Code, Chapter 658, to the satisfaction of the Supervisor, Ravine and Natural Feature Protection.

**SIGNATURE PAGE**

File Number:	A0427/17TEY	Zoning	RD (f12.0; d0.6)(x1430) & R1 Z0.6 (ZZC)
Owner(s):	KATHERINE TAYLOR	Ward:	Toronto Centre-Rosedale (27)
Agent:	ERIK CALHOUN	Heritage:	Not Applicable
Property Address:	<b>49 RIDGE DR</b>	Community:	Toronto
Legal Description:	PLAN 633E PT LOT 66		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0443/17TEY	Zoning	RD (f9.0,d0.6) & R1 Z0.6 (ZZC)
Owner(s):	JONATHAN EDWARD MILLMAN ERIN ELIZABETH MILLMAN	Ward:	St. Paul's (22)
Agent:	ERIN ELIZABETH MILLMAN	Heritage:	Not Applicable
Property Address:	<b>128 COLIN AVE</b>	Community:	Toronto
Legal Description:	PLAN 599E LOT 143		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a rear three-storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.10.(1)(A), By-law 569-2013**  
The maximum permitted height of a building or structure is 9.0 m.  
The altered dwelling will have a building height of 9.96 m.
- Chapter 10.20.40.20.(1), By-law 569-2013**  
The maximum permitted building length is 17.0 m.  
The altered dwelling will have a building length of 19.79 m.
- Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (223.15 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.89 times the area of the lot (332.54 m<sup>2</sup>).
- Chapter 10.20.40.70.(3)(B), By-law 569-2013**  
The minimum required side yard setback is 0.8 m.  
The altered dwelling will be located 0.44 m from the north side lot line.
- Chapter 200.5.10.1.(1), By-law 569-2013**  
A minimum of one parking space is required.  
In this case, zero parking spaces will be provided.

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted residential gross floor area is 0.6 times the area of the lot (223.15 m<sup>2</sup>).  
The altered detached dwelling will have a residential gross floor area equal to 0.89 times the area of the lot (332.54 m<sup>2</sup>).

**2. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building not exceeding a building depth of 17.0 m is 0.9 m.  
The altered dwelling will be located 0.44 m from the north side lot line.

**3. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building exceeding a depth of 17.0 m is 7.5 m.  
The 2.49 m portion of the dwelling exceeding a building depth of 17.0 m will be located 0.44 m from the north side lot line.

**4. Section 4(5)(B), By-law 438-86**

A minimum of one parking space is required.  
In this case, zero parking spaces will be provided.

**5. Section 4(2), By-law 438-86**

The maximum permitted building height is 9.0 m.  
The altered dwelling will have a building height of 9.96 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0443/17TEY	Zoning	RD (f9.0,d0.6) & R1 Z0.6 (ZZC)
Owner(s):	JONATHAN EDWARD MILLMAN ERIN ELIZABETH MILLMAN	Ward:	St. Paul's (22)
Agent:	ERIN ELIZABETH MILLMAN	Heritage:	Not Applicable
Property Address:	<b>128 COLIN AVE</b>	Community:	Toronto
Legal Description:	PLAN 599E LOT 143		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0455/17TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (ZZC)
Owner(s):	ZOE ROSSOLATOS	Ward:	Toronto-Danforth (29)
Agent:	ZOE ROSSOLATOS	Heritage:	Not Applicable
Property Address:	<b>294 LINSMORE CRES</b>	Community:	East York
Legal Description:	PLAN 3181 PT LOT 50 PT LOT 51		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing one-storey detached dwelling by constructing a partial one-storey addition, full second storey addition and rear two-storey addition with rear deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (148.28 m<sup>2</sup>).  
The lot coverage will be equal to 35.73% of the lot area (151.38 m<sup>2</sup>).
- 2. Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.45 times the area of the lot (190.65 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.63 times the area of the lot (265.60 m<sup>2</sup>).
- 1. Section 7.2.3, By-law 6752**  
The maximum permitted floor space index is 0.45 times the area of the lot (190.65 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.63 times the area of the lot (265.60 m<sup>2</sup>).
- 2. Section 7.2.3, By-law 6752**  
The maximum permitted lot coverage is 35% of the lot area (148.28 m<sup>2</sup>).  
The lot coverage will be equal to 35.3% of the lot area (149.55 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0455/17TEY	Zoning	RD (f9.0; a280; d0.45) & R1A (ZZC)
Owner(s):	ZOE ROSSOLATOS	Ward:	Toronto-Danforth (29)
Agent:	ZOE ROSSOLATOS	Heritage:	Not Applicable
Property Address:	<b>294 LINSMORE CRES</b>	Community:	East York
Legal Description:	PLAN 3181 PT LOT 50 PT LOT 51		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0457/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	EMILY ELIZABETH STERNBERG ARLEN KID STERNBERG	Ward:	Parkdale-High Park (14)
Agent:	IAN MACDONALD	Heritage:	Not Applicable
Property Address:	<b>4 INDIAN VALLEY CRES</b>	Community:	Toronto
Legal Description:	PLAN M253 PT LOT 30		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey detached dwelling and a carport.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 5.10.40.70.(6), By-law 569-2013**  
If the Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot, a building or structure is required to be setback a minimum of 10.0 m from that shoreline hazard limit or stable top-of-bank.  
In this case, the new detached dwelling main wall will be 7.53 m from the stable top-of-bank and the lightwell will be located 6.39 m from the stable top-of-bank.
- Chapter 10.10.40.10.(2)(A), By-law 569-2013**  
The maximum permitted height of all front and rear exterior main walls is 7.5 m.  
The height of the front and rear exterior main walls will be 9.94 m.
- Chapter 10.5.40.70.(1)(A), By-law 569-2013**  
The minimum required front yard setback is 18.01 m.  
The new detached dwelling will be located 15.89 m from the south front lot line.
- Chapter 10.10.60.20.(1)(A), By-law 569-2013**  
The minimum required rear lot line setback is 1.0 m.  
The new rear ancillary building will be located 0.0 m from the north rear lot line.
- Chapter 10.5.50.10.(3)(A), By-law 569-2013**  
A minimum of 50% (105.0 m<sup>2</sup>), of the rear yard shall be maintained as soft landscaping.  
In this case, 48.5% (102.22 m<sup>2</sup>), of the rear yard will be maintained as soft landscaping.

**6. Chapter 10.5.60.50.(2)(A), By-law 569-2013**

The maximum permitted total floor area of all ancillary buildings or structures on the lot is 60.0 m<sup>2</sup>.  
The total floor area of all ancillary buildings on the lot is 100 m<sup>2</sup>.

**1. Section 6(3) Part I 2, By-law 438-86**

The maximum permitted total floor area for an accessory building is 5% of the area of the lot (36.84 m<sup>2</sup>).

The accessory building will have a total floor area equal to 13.6% of the area of the lot (100.0 m<sup>2</sup>).

**2. Section 6(3) Part II 2(II), By-law 438-86**

The minimum required front lot line setback for a building on an inside lot is 18.01 m.

The altered dwelling will be located 15.89 m from the south front lot line.

**3. Section 6(3) Part II 7(I), By-law 438-86**

An accessory structure is required a minimum setback of 3.0 m from all lot lines.

The accessory structure will be located 0.0 m from the north lot line, 0.5 m from the east lot line and 1.04 m from the west lot line.

**4. Section 6(3) Part II 7(II) A, By-law 438-86**

An accessory structure is required a minimum setback of 4.5 m to an adjacent residential building.

The accessory structure will be located 2.35 m from the east adjacent residential building, 2 Indian Valley Crescent.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0457/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	EMILY ELIZABETH STERNBERG ARLEN KID STERNBERG	Ward:	Parkdale-High Park (14)
Agent:	IAN MACDONALD	Heritage:	Not Applicable
Property Address:	<b>4 INDIAN VALLEY CRES</b>	Community:	Toronto
Legal Description:	PLAN M253 PT LOT 30		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

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### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0460/17TEY	Zoning	RD(fl2.0,d0.35) & R1 Z0.35 (ZZC)
Owner(s):	TROY TERNOWETSKY	Ward:	St. Paul's (22)
Agent:	TROY TERNOWETSKY	Heritage:	Not Applicable
Property Address:	<b>53 POPLAR PLAINS RD</b>	Community:	Toronto
Legal Description:	PLAN M379 PT LOT 11 PLAN M18 PT LOT 151		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter a detached dwelling by constructing a two-storey north side addition and by reconfiguring the existing main and second floor.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.40.(1) (A), By-law 569-2013**  
The maximum permitted floor space index is 0.35 times the area of the lot (115.40 m<sup>2</sup>).  
The floor space index will be 0.70 times the area of the lot (232.35 m<sup>2</sup>).
- Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted residential gross floor area is 0.35 times the area of the lot (115.40 m<sup>2</sup>).  
The residential gross floor area will be 0.70 times the area of the lot (232.35 m<sup>2</sup>).
- Section 6(3) Part II 3.C(II), By-law 438-86**  
The minimum required side lot line setback is 0.90 m.  
The north side lot line setback will be 0.68 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0460/17TEY	Zoning	RD(fl2.0,d0.35) & R1 Z0.35 (ZZC)
Owner(s):	TROY TERNOWETSKY TROY TERNOWETSKY	Ward:	St. Paul's (22)
Agent:	TROY TERNOWETSKY	Heritage:	Not Applicable
Property Address:	<b>53 POPLAR PLAINS RD</b>	Community:	Toronto
Legal Description:	PLAN M379 PT LOT 11 PLAN M18 PT LOT 151		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0461/17TEY	Zoning	R3 Z1.5 H12.0 & Site-Specific By-law 461-2006 (ZZC)
Owner(s):	2507448 ONTARIO INC	Ward:	Trinity-Spadina (19)
Agent:	ALEKSANDAR ILIEVSKI	Heritage:	Not Applicable
Property Address:	<b>581 WELLINGTON ST W</b>	Community:	Toronto
Legal Description:	MIL RES BLK N PT LOT 23 RP63R2301 PT 1 14 & 15 WITH ROW		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey mixed-use building containing office uses and one residential dwelling unit by constructing a complete third-storey addition and below-grade access to a stacked parking garage. The building will contain a total of two residential dwelling units and one level of office uses.

**REQUESTED PERMISSION:**

The property has lawful-nonconforming status under the *Planning Act*, as the two-storey building containing office and residential dwelling uses existed prior to the passing of the Zoning By-law, which does not permit the said use in an R3 Z1.5 zone. Any change of use, alterations or additions to the building requires the permission of the Committee of Adjustment.

**Section 6(1), By-law 438-86**

The enlargement of the two-storey mixed-use building is an alteration and extension to the lawful non-conforming use.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 3.(3)(ii), By-law 461-2006**  
The maximum permitted height is 12.0 m.  
The altered building will have a height of 13.52 m.
- Section 3.(1)1.(ii), By-law 461-2006**  
The minimum required front yard setback is 5.23 m.  
The altered building will be located 0.26 m to the front lot line.

3. **Section 3(1)2, By-law 461-2006**  
The minimum required side lot line setback is 0.6 m.  
The altered building will be located 0.03 m to the west side lot line and 0.44 m to the east side lot line.
4. **Section 3(1)3, By-law 461-2006**  
The minimum required rear yard setback is 7.5 m.  
The altered building will be located 1.22 m to the rear lot line.
5. **Section 3(2), By-law 461-2006**  
The maximum permitted building depth is 17.0 m.  
The altered building will have a building depth equal to 30.03 m.
6. **Section 3.4(iii), By-law 461-2006**  
The minimum required landscaped open space is 30% of the lot area (131.7 m<sup>2</sup>).  
In this case, 20% of the lot area will be maintained as landscaped open space (86.0 m<sup>2</sup>).
7. **Section 3.4(i), By-law 461-2006**  
A minimum of 80% of the portion of the lot between the front lot line and the main front all of the building as produced to the side lot line shall be maintained in the form of soft landscaping (57.20 m<sup>2</sup>).  
In this case, 61% of the front yard will be maintained in the form of soft landscaping (57.20 m<sup>2</sup>).
8. **Section 3.4(ii), By-law 461-2006**  
The minimum required soft landscaping is 15% of the lot area (65.85 m<sup>2</sup>).  
In this case, 10% of the lot area will be maintained as soft landscaping (43.90 m<sup>2</sup>).
9. **Section 4(17)(a), By-law 461-2006**  
The minimum required length of a parking space is 5.6 m.  
In this case, the parking spaces will have a length of 5.2 m.
10. **Section 6(3) Part I 1, By-law 461-2006**  
The maximum permitted combined residential and non-residential gross floor area is 1.5 times the area of the lot (658.55 m<sup>2</sup>).  
The altered building will have a combined residential and non-residential gross floor area equal to **2.04** times the area of the lot (**889.17 m<sup>2</sup>**).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The third storey building addition shall be limited to a building depth of 17 m.
- (2) The third storey addition will be located a minimum of 7.5 m from the rear lot line.
- (3) The owner shall provide landscape screening on the rooftop terrace along the east and west sides of the terrace and along the east and west property lines in the front yard (at grade).
- (4) The owner shall provide landscaping screening such as cedars (at grade) along the north side of the property.

**SIGNATURE PAGE**

File Number:	A0461/17TEY	Zoning	R3 Z1.5 H12.0 & Site-Specific By-law 461-2006 (ZZC)
Owner(s):	2507448 ONTARIO INC	Ward:	Trinity-Spadina (19)
Agent:	ALEKSANDAR ILIEVSKI	Heritage:	Not Applicable
Property Address:	<b>581 WELLINGTON ST W</b>	Community:	Toronto
Legal Description:	MIL RES BLK N PT LOT 23 RP63R2301 PT 1 14 & 15 WITH ROW		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0462/17TEY	Zoning	CR 2.5 (c2.0;r1.5) SS2 & CR T2.5 C2.0 R1.5 (ZZC)
Owner(s):	TALON TAPES INDUSTRIES LTD.	Ward:	Trinity-Spadina (19)
Agent:	STEVEN FONG	Heritage:	Not Applicable
Property Address:	<b>211-213 OSSINGTON AVE</b>	Community:	Toronto
Legal Description:	PLAN 371 PT LOT 9		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing three-storey mixed-use building by converting the ground floor from a showroom and workshop to a retail store and by maintaining the existing six dwelling units on the second and third stories.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 200.5.10.1.(1), By-law 569-2013**

A minimum of ten parking spaces are required to be provided (four parking spaces for the retail store and six parking spaces for the dwelling units)

In this case, zero parking spaces will be provided on the lot.

**Section 4(4)(b), By-law 438-86**

A minimum of six parking spaces are required to be provided.

In this case, zero parking spaces will be provided on the lot.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The owner shall lease four parking spaces off-site, within 300 m of the subject site, and surplus to the requirements of the Zoning By-law for the donor site, or make a cash payment in lieu of providing parking, to the satisfaction of the Manager, Traffic Planning, Transportation Services, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0462/17TEY	Zoning	CR 2.5 (c2.0;r1.5) SS2 & CR T2.5 C2.0 R1.5 (ZZC)
Owner(s):	TALON TAPES INDUSTRIES LTD.	Ward:	Trinity-Spadina (19)
Agent:	STEVEN FONG	Heritage:	Not Applicable
Property Address:	<b>211-213 OSSINGTON AVE</b>	Community:	Toronto
Legal Description:	PLAN 371 PT LOT 9		

**DISSENTED**

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Worrick Russell

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0463/17TEY	Zoning	RM (f12.0;u2;d0.8)(x252) & R2 (ZZC)
Owner(s):	MARK WEINSTOCK DONNA HABSHA	Ward:	St. Paul's (21)
Agent:	SANDI SMITH	Heritage:	Not Applicable
Property Address:	<b>542 ATLAS AVE</b>	Community:	York
Legal Description:	PLAN 2339 PT LOTS 35 AND 36		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey detached dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.80.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.8 times the area of the lot (220.0 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.87 times the area of the lot (240.4 m<sup>2</sup>).
  - Chapter 10.80.40.70.(2)(A), By-law 569-2013**  
The minimum required rear yard setback is 7.5 m.  
The new detached dwelling will be located 4.8 m from the west rear lot line.
  - Chapter 10.80.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback is 1.2 m.  
The new detached dwelling will be located 0.9 m from the side lot line.
  - Chapter 200.5.1.10.(2)(A)(ii) &(iv), By-law 569-2013**  
A parking space is required a minimum of 3.2 m in width when obstructed on both sides.  
The parking space will have a width of 2.6 m.
- Section 3(a), By-law 3623-97**  
The maximum permitted floor space index is 0.8 times the area of the lot (220.0 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.87 times the area of the lot (240.4 m<sup>2</sup>).

**2. Section 8.3(a), By-law 3623-97**

The minimum required rear yard setback is 7.5 m.

The new detached dwelling will be located 4.8 m from the west rear lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0463/17TEY	Zoning	RM (f12.0;u2;d0.8)(x252) & R2 (ZZC)
Owner(s):	MARK WEINSTOCK DONNA HABSHA	Ward:	St. Paul's (21)
Agent:	SANDI SMITH	Heritage:	Not Applicable
Property Address:	<b>542 ATLAS AVE</b>	Community:	York
Legal Description:	PLAN 2339 PT LOTS 35 AND 36		

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Worrick Russell (signed)

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Nancy Oomen (signed)

---

Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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## 10. 380 ROEHAMPTON AVE

File Number:	A0465/17TEY	Zoning	R (f9.0; u2; d0.6) (x956) & R1S Z0.6 (ZZC)
Owner(s):	AMIR ETEMADI	Ward:	St. Paul's (22)
Agent:	NAFISEH ZANGIABADI	Heritage:	Not Applicable
Property Address:	<b>380 ROEHAMPTON AVE</b>	Community:	Toronto
Legal Description:	PLAN 639 PT LOT 28		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

### **PURPOSE OF THE APPLICATION:**

To alter the existing one-storey detached dwelling by constructing a complete second storey addition, a front first and second storey bay window, and a rear ground floor deck.

### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.40.60.(7), By-law 569-2013**

Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.

The roof eaves will be located 0.07 m from the east side lot line.

**2. Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**

The maximum permitted height of all side exterior main walls facing a side lot line is 7.0 m.

The height of the side exterior main walls facing a side lot line will be 7.72 m, measured to the top of the window projection.

**3. Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a detached dwelling is 0.60 times the area of the lot (140.30 m<sup>2</sup>).

The altered dwelling will have a floor space index equal to 0.805 times the area of the lot (188.41 m<sup>2</sup>).

**4. Chapter 10.10.40.70.(1), By-law 569-2013**

The minimum required front yard setback is 7.11 m.

The altered dwelling will be located 5.10 m from the south front lot line.

**5. Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**

The minimum required side yard setback is 0.9 m.

The altered dwelling will be located 0.40 m from the east side lot line.

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.60 times the area of the lot (140.30 m<sup>2</sup>).

The altered dwelling will have a gross floor area equal to 0.805 times the area of the lot (188.41 m<sup>2</sup>).

**2. Section 6(3) Part II 2(II), By-law 438-86**

The minimum required front yard setback of a building on an inside lot is 7.11 m.

The altered dwelling will be located 5.10 m from the south front lot line.

**3. Section 6(3) Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.

The portion of the altered dwelling, not exceeding a depth of 17 m will be located 0.40 m from the east side lot line.

**4. Section 6(3) Part II 8 D, By-law 438-86**

The projection of an uncovered platform into the required setbacks is restricted to a maximum of 2.50 m from the front or rear wall.

The rear ground floor deck will project 2.95 m from the rear wall.

**5. Section 6(3) Part II 8 I(I), By-law 438-86**

A bay window is permitted to project into the required setbacks provided it does not exceed 3 m in width.

The front first and second storey bay window will have a width of 3.20 m.

**MOTION**

It was moved by Ewa Modlinska, seconded by Joanne Hayes and carried unanimously that the application be **deferred, for a maximum of 3 to 6 months.** The deferral would provide the applicant with an opportunity to discuss the proposal in more detail area residents. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel A.**

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0466/17TEY	Zoning	R(d0.6)(x741) & R2 Z0.6 (ZZC)
Owner(s):	PIERRETTE WISEMAN GEOFFREY WISEMAN	Ward:	Toronto-Danforth (30)
Agent:	JASON FUNG	Heritage:	Not Applicable
Property Address:	<b>34 SANDFORD AVE</b>	Community:	Toronto
Legal Description:	PLAN E404 LOT 51		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter a two-storey dwelling by constructing a second storey deck at the front and rear and a third floor addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.40.60.(1) (B), By-law 569-2013**

A platform without main walls, attached to or less than 0.3 m from a building, with a floor higher than the first floor of the building above established grade may encroach 1.5 m into the required front yard setback, if it is no closer to a side lot line than the required side yard setback.  
The platform will encroach 3.13 m into the required front yard setback.

**2. Chapter 10.10.40.40.(2)(A), By-law 569-2013**

The maximum permitted floor space index for additions to the rear of a semi-detached house erected before October 15, 1953 is 0.69 times the area of the lot (181.08 m<sup>2</sup>).  
The floor space index will be 0.78 times the area of the lot (203.9 m<sup>2</sup>).

**1. Section 6(3) Part VI 1(I), By-law 438-86**

Additions to the rear of semi-detached house erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building as enlarged does not exceed 0.69 times the area of the lot (181.08 m<sup>2</sup>).  
The residential gross floor area will be 0.78 times the area of the lot (203.9 m<sup>2</sup>).



**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0466/17TEY	Zoning	R(d0.6)(x741) & R2 Z0.6 (ZZC)
Owner(s):	PIERRETTE WISEMAN GEOFFREY WISEMAN	Ward:	Toronto-Danforth (30)
Agent:	JASON FUNG	Heritage:	Not Applicable
Property Address:	<b>34 SANDFORD AVE</b>	Community:	Toronto
Legal Description:	PLAN E404 LOT 51		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
(Section 45 of the Planning Act)

File Number:	A0468/17TEY	Zoning	CR 3.0 (c2.0; r2.5) SS2 (x2219) & MCR T3 C2.0 R2.5, Site Specific By-laws 697-2014 & 698-2014 (ZZC)
Owner(s):	DIAM DANFORTH PROPERTY INC	Ward:	Beaches-East York (32)
Agent:	BILLY TUNG	Heritage:	Not Applicable
Property Address:	<b>2359 DANFORTH AVE</b>	Community:	Toronto
Legal Description:	PLAN 90 PT LOTS 5 TO 7 RP 63R4881 PART 1		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the re-development plan of a 10-storey mixed-use building, approved under Site-Specific By-laws 697-2014 and 698-2014 with respect to development standards associated with: accessible parking spaces, bicycle parking spaces, location of residential portions within a mixed-use building, height of the first storey, gross floor area, driveway slope, and calculation of established grade.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Section 3(B)(iv), Site-Specific By-law 698-2014**

The height of any building or structure shall be measured from a Canadian Geodetic Datum elevation of 128.75 m.

In this case, the height of the building will be measured from a Canadian Geodetic Datum elevation of 131.3 m.

**2. Section 3(B)(ix), Site-Specific By-law 698-2014**

The minimum required number of bicycle parking spaces is 144, consisting of 104 spaces for residents, 29 spaces for residential visitors and 12 spaces for the retail component.

In this case, 0 bicycle parking spaces will be provided for the retail component.

**1. Chapter 200.15.1.5(1)(A)(B), By-law 569-2013**

Accessible parking spaces must be located closest to a main pedestrian access to a building and at the same level as the pedestrian entrance to the building.

In this case, the accessible parking spaces will not be the parking spaces located closest to a main pedestrian entrance to a building and will not be located at the same level as the pedestrian entrance to the building.

2. **Chapter 230.40.1.20(1)(C), By-law 569-2013**  
A bicycle parking space for a dwelling unit may not be located in a storage locker.  
In this case, long term bicycle parking spaces will be provided within storage lockers.
3. **Chapter 230.5.1.10.(9)(B), By-law 569-2013**  
Long-term bicycle parking spaces for a dwelling unit in an apartment building or mixed-use building may be located:
  - (i) on the first storey of the building;
  - (iii) on the second storey of the building;
  - (iii) on levels of the building below-ground commencing with the first level below-ground and moving down, in one level increments when at least 50% of the area of that level is occupied by bicycle parking spaces, until all required bicycle parking spaces have been provided.In this case, the long-term bicycle parking spaces will be located on all below-grade levels, where less than 50% of the area of each level is occupied by bicycle parking spaces.
4. **Chapter 40.10.40.1.(1), By-law 569-2013**  
A mixed-use building must have all residential use portions of the building located above non-residential use portions of the building.  
In this case, the building will have residential use portions of the building located on the ground floor which is not above non-residential uses.
5. **Chapter 40.10.40.10.(5), By-law 569-2013**  
The minimum height of the first storey is 4.5 m.  
In this case, the height of the first storey will be 3.7 m.
1. **Section 4(10)(a), by-law 438-86**  
The by-law requires a driveway, within a distance of 6.0 m of a street, to have a maximum slope of 5% (driveway should be located no higher or no lower than 0.3 m of the level of the street abutting the driveway).  
In this case, the driveway will have a slope of 7.5% and 15% within 6.0 m of a street.
2. **Section 2(1), By-law 438-86**  
Bicycle parking spaces for visitors may be located indoors or outdoors but not within a secured room, enclosure or bike locker.  
In this case, the bicycle parking spaces for visitors will be located in a secured room.
1. **Section 5(c), Site-Specific By-law 697-2014**  
The height of any building or structure, as measured from grade along the Danforth Avenue frontage of the subject property or portion thereof, shall be measured from a Canadian Geodetic Datum elevation of 128.75 m.  
In this case, the height of the building, as measured from grade along the Danforth Avenue frontage of the subject property will be measured from a Canadian Geodetic Datum elevation of 131.3 m.
2. **Section 5(j), Site-Specific By-law 697-2014**  
The minimum required number of bicycle parking spaces is 144, consisting of 104 spaces for residents, 29 spaces for residential visitors and 12 spaces for the retail component.  
In this case, 0 bicycle parking spaces will be provided for the retail component.

**3. Section 5(e), Site-Specific By-law 697-2014**

The maximum combined residential and non-residential gross floor area erected on the lot shall not exceed 9,600 m<sup>2</sup>.

The altered building will have a combined total gross floor area of 9,863.3 m<sup>2</sup>.

**4. Section 5(f), Site-Specific By-law 697-2014**

The maximum residential gross floor area of the building located on the lot shall not exceed 9,120 m<sup>2</sup>.

The altered building will have a residential gross floor area equal to 9,356.3 m<sup>2</sup>.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0468/17TEY	Zoning	CR 3.0 (c2.0; r2.5) SS2 (x2219) & MCR T3 C2.0 R2.5, Site Specific By-laws 697-2014 & 698-2014 (ZZC)
Owner(s):	DIAM DANFORTH PROPERTY INC	Ward:	Beaches-East York (32)
Agent:	BILLY TUNG	Heritage:	Not Applicable
Property Address:	<b>2359 DANFORTH AVE</b>	Community:	Toronto
Legal Description:	PLAN 90 PT LOTS 5 TO 7 RP 63R4881 PART 1		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0469/17TEY	Zoning	R (d0.6)(x930) & R2 Z0.6 (ZZC)
Owner(s):	BRIDGMOUNT DEVELOPMENT & CONSTRUCTION LTD	Ward:	St. Paul's (22)
Agent:	ROBBIE ROBINSON	Heritage:	Not Applicable
Property Address:	<b>453 MERTON ST</b>	Community:	Toronto
Legal Description:	PLAN M5 PT LOT 138		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey detached dwelling with front yard parking.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.5.80.10.(3), By-law 569-2013**

A parking space may not be located in a front yard or a side yard abutting a street.  
The parking space will be located in the front yard abutting a street.

**2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (227.87 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to **0.66** times the area of the lot (**251.49 m<sup>2</sup>**).

**3. Chapter 10.10.40.10.(2)(A)(i), By-law 569-2013**

The maximum permitted height of all front and rear exterior main walls is 7 m.  
The height of the front and rear exterior main walls will be 8.1 m.

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (227.87 m<sup>2</sup>).  
The new detached dwelling will have a gross floor area equal to **0.66** times the area of the lot (**251.49 m<sup>2</sup>**).

**2. Section 6(3) Part II 3(I), By-law 438-86**

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.

The new detached dwelling will be located 0.79 m from the side wall of the east adjacent building.

**3. Section 6(3) Part IV 1(E), By-law 438-86**

A motor vehicle parking space is not permitted to be located between the front wall of the building and the front lot line.

The parking space will be located between the front wall of the building and the front lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The driveway leading to the parking space located totally on private property shall be paved with semi-permeable paving materials to the satisfaction of the Manager, Right of Way Management, Transportation Services, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0469/17TEY	Zoning	R (d0.6)(x930) & R2 Z0.6 (ZZC)
Owner(s):	BRIDGMOUNT DEVELOPMENT & CONSTRUCTION LTD	Ward:	St. Paul's (22)
Agent:	ROBBIE ROBINSON	Heritage:	Not Applicable
Property Address:	<b>453 MERTON ST</b>	Community:	Toronto
Legal Description:	PLAN M5 PT LOT 138		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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## **NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)**

File Number:	A0471/17TEY	Zoning:	R(d0.6) & R2 Z0.6 (ZZC)
Owner(s):	RUBINA SIDDIQUI SHAHEEN SIDDIQUI	Ward:	Davenport (18)
Agent:	MUHAMMAD SIDDIQUI	Heritage:	Not Applicable
Property Address:	<b>362 LANSDOWNE AVE</b>	Community:	Toronto
Legal Description:	PLAN 843 PT LOT 7		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

### **PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition, a third-storey addition with a rear balcony and to convert the dwelling into two units.

### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line is 9.7 m.
- Chapter 10.10.40.10.(1)(A), By-law 569-2013**  
The maximum permitted height of a building is 10.0 m.  
The altered dwelling will have a building height of 10.17 m.
- Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted building depth is 17.0 m.  
The altered dwelling will have a building depth of 17.37 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (131.52 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 1.01 times the area of the lot (220.8 m<sup>2</sup>).
- Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**  
The minimum required side yard setback is 0.9 m, where the side wall contains openings.  
The altered dwelling will be located 0.62 m from the south side lot line.
- Chapter 10.10.40.70.(4)(A), By-law 569-2013**  
The minimum required side yard setback is 0.45 m, where the side wall contains no openings.  
The altered dwelling will be located 0.32 m from the north side lot line.

- 7. Chapter 10.5.50.10.(1), By-law 569-2013**  
A minimum of 75% (29.69 m<sup>2</sup>), of the front yard shall be maintained as soft landscaping.  
In this case, 74.2% (29.64 m<sup>2</sup>), of the front yard will be maintained as soft landscaping.
- 8. Chapter 150.10.40.1.(3)(A), By-law 569-2013**  
A secondary suite is a permitted use provided that an addition or exterior alteration to a building to accommodate a secondary suite does not alter or add to a main wall or roof that faces a street.  
The addition will alter a main wall that faces a street.
- 1. Section 6(2) 1A (iii), By-law 438-86**  
A converted dwelling is permitted, provided there is no an exterior alteration or addition to the front main wall of the dwelling.  
In this case, the additions will alter the front main wall of the dwelling.
- 2. Section 6(2) 1A (iii), By-law 438-86**  
A converted dwelling is permitted provided there is only one addition at the time of the conversion or thereafter.  
In this case, there will be more than one addition to the dwelling at the time of conversion.
- 3. Section 6(2) 1A (iii), By-law 438-86**  
The maximum permitted gross floor area of an addition to a converted house is 0.15 times the area of the lot (32.88 m<sup>2</sup>).  
The additions will have an area equal 0.39 times the area of the lot (86.17 m<sup>2</sup>).
- 4. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted residential gross floor area is 0.6 times the area of the lot (131.52 m<sup>2</sup>).  
The altered dwelling will have a residential gross floor area equal to 1.01 times the area of the lot (220.8 m<sup>2</sup>).
- 5. Section 6(3) Part II 3.F (I)(2), By-law 438-86**  
The minimum required side lot line setback for a converted house is 1.2 m, where the side wall contains openings.  
The altered dwelling will be located 0.62 m from the south side lot line.
- 6. Section 6(3) Part II 3.F (I)(1)(A), By-law 438-86**  
The minimum required side lot line setback for a converted house is 0.45 m, where the side wall contains no openings.  
The altered dwelling will be located 0.32 m from the north side lot line.
- 7. Section 6(3) Part II 5(I), by-law 438-86**  
The maximum permitted building depth is 14.0 m.  
The altered dwelling will have a building depth of 16.78 m.
- 8. Section 4(2), By-law 438-86**  
The maximum permitted height of a building is 10.0 m.  
The altered dwelling will have a building height of 10.17 m.

**9. Section 6(2) 1(V), By-law 438-86**

A converted house is permitted provided; there is no substantial change in the appearance of the dwelling house as the result of the conversion.

In this case, the addition and alteration to the front main wall will substantial change in the appearance of the dwelling house.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

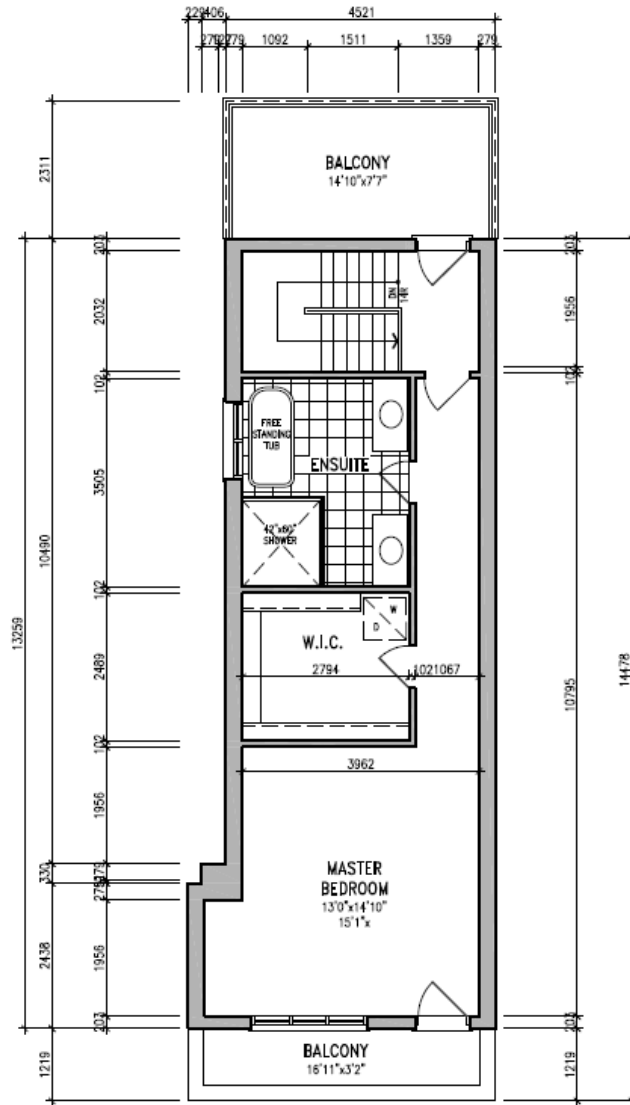
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The third floor of the proposed dwelling shall have a maximum building depth of 14.48 m, excluding the rear deck, as per the third floor plan received by the Committee of Adjustment on April 22, 2017.
- (2) The rear third storey deck shall be constructed with permanent opaque screening or fencing along the north and south edges of the deck to a minimum height of 1.5 m from the floor of the deck.



PROPOSED THIRD FLOOR PLAN

No.	Date	Revision:
A	Sep. 6, 2016	Issued for Zoning Review
A	Nov. 10, 2016	Issued for Comm. of Adj.

**ACCURATE**  
DESIGNS INC.

276 GALBRAITH BLVD,  
MILTON, ON., L9T 5Y1  
Ph: (416) 768-1290

Minor Variance

362 Lansdowne Ave  
Toronto, ON M4H 3Y3

Date:	NOV. 2016	Sheet:	A8
Drawn By:	B.L.	Sq. Ft.:	2394
Project No.:	1615		
Scale:	1:100		



**SIGNATURE PAGE**

File Number:	A0471/17TEY	Zoning	R(d0.6) & R2 Z0.6 (ZZC)
Owner(s):	RUBINA SIDDIQUI SHAHEEN SIDDIQUI	Ward:	Davenport (18)
Agent:	MUHAMMAD SIDDIQUI	Heritage:	Not Applicable
Property Address:	<b>362 LANSDOWNE AVE</b>	Community:	Toronto
Legal Description:	PLAN 843 PT LOT 7		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0472/17TEY	Zoning:	R(d0.6)(x809) & R3 Z0.6 (ZZC)
Owner(s):	ESTHER SIOK BOON LIM BRENDAN DAVID MACDONALD	Ward:	Toronto-Danforth (30)
Agent:	ALEXANDRA BISHEVSKY	Heritage:	Not Applicable
Property Address:	<b>239 PAPE AVE</b>	Community:	Toronto
Legal Description:	PLAN 850 PT LOT 1		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing an attic addition at the third floor level.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.  
The roof eaves will be located 0.17 m from the south side lot line.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a semi-detached dwelling is 0.6 times the area of the lot (122.63 m<sup>2</sup>).  
The altered semi-detached dwelling will have a floor space index equal to 0.83 times the area of the lot (170.54 m<sup>2</sup>).
- Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area of a semi-detached dwelling is 0.6 times the area of the lot (122.63 m<sup>2</sup>).  
The altered semi-detached dwelling will have a gross floor area equal to 0.83 times the area of the lot (170.54 m<sup>2</sup>).

**2. Section 6(3) Part II 3(I), By-law 438-86**

The minimum required setback from the side wall of an adjacent building that does not contain any openings is 0.9 m.

The altered semi-detached dwelling will be located 0.0 m from the side wall of the north adjacent building (241 Pape Avenue).

**3. Section 6(3) Part II 3(II), By-law 438-86**

The minimum required setback from the side wall of an adjacent building that contains openings is 1.2 m.

The altered semi-detached dwelling will be located 1.06 m from the side wall of the south adjacent building (237 Pape Avenue).

**4. Section 6(3) Part II 3.C(I), By-law 438-86**

The minimum required side lot line setback of a semi-detached dwelling is 0.45 m where the side wall contains no openings.

The altered semi-detached dwelling will be located 0.0 m from the north side lot line and 0.37 m from the south side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0472/17TEY	Zoning	R(d0.6)(x809) & R3 Z0.6 (ZZC)
Owner(s):	ESTHER SIOK BOON LIM BRENDAN DAVID MACDONALD	Ward:	Toronto-Danforth (30)
Agent:	ALEXANDRA BISHEVSKY	Heritage:	Not Applicable
Property Address:	<b>239 PAPE AVE</b>	Community:	Toronto
Legal Description:	PLAN 850 PT LOT 1		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

---

Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0476/17TEY	Zoning	R (d0.6)(x751) & R2 Z0.6 (ZZC)
Owner(s):	MICHAEL STEVENSON	Ward:	Davenport (18)
Agent:	ROCK KIM	Heritage:	Not Applicable
Property Address:	<b>1127 DUFFERIN ST</b>	Community:	Toronto
Legal Description:	PLAN 673 PT LOT 3 PT LOT 4		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two storey semi-detached dwelling by constructing a three-storey rear addition, a third storey addition with deck and an enclosed front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted building depth is 17.0 m.  
The altered dwelling will have a depth of 19.18 m.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (77.75 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 1.50 times the area of the lot (194.13 m<sup>2</sup>).
- Chapter 10.5.40.70.(1)(B), By-law 569-2013**  
The minimum required front yard setback is 2.2 m.  
The altered dwelling will be located 1.89 m from the front lot line measured from the enclosed front porch.
- Chapter 10.10.40.70.(4)(B), By-law 569-2013**  
The minimum required side yard setback is 0.45 m.  
The altered dwelling will be located 0.0 m to the north and side lot lines measured from the enclosed front porch.
- Section 6(3) Part II 3.C(I), By-law 438-86**  
The minimum required side lot line setback is 0.45 m where the side wall contains no openings.  
The altered dwelling will be located 0.30 m to the north side lot line and 0.0 m to the south side lot line at the rear two-storey addition and third floor addition.

- 2. Section 6(3) Part II 3(I), By-law 438-86**  
The minimum required setback to the side wall of an adjacent building that contains no openings is 0.90 m.  
The altered dwelling will be located 0.0 m to the adjacent building on the south side at the rear two-storey addition and third floor addition.
- 3. Section 6(3) Part II 5(II), By-law 438-86**  
The maximum permitted building depth is 17.0 m.  
The altered dwelling will have a depth of 19.18 m.
- 4. Section 6(3) Part II 3.C(I), By-law 438-86**  
The minimum required side lot line setback is 0.45 m where the side wall contains no openings.  
In this case, the third floor deck will have a side lot line setback of 0.01 m on the north side and 0.0 m on the south side.
- 5. Section 6(3) Part II 3(I), By-law 438-86**  
The minimum required setback to the side wall of an adjacent building that contains no openings is 0.90 m.  
In this case, the third floor deck will be located 0.20 m from the adjacent building on the north side and 0.0 m from the adjacent building on the south side.
- 6. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 0.6 times the area of the lot (77.75 m<sup>2</sup>).  
The altered dwelling will have a gross floor area equal to 1.50 times the area of the lot (194.13 m<sup>2</sup>).
- 7. Section 6(3) part II 2(II), By-law 438-86**  
The minimum required front yard setback is 2.2 m.  
The altered dwelling will be located 1.89 m from the front lot line measured from the enclosed front porch.
- 8. Section 6(3) Part II 3.C(I), By-law 438-86**  
The minimum required side lot line setback where the side wall contains no openings is 0.45 m.  
In this case, the enclosed front porch will be located 0.0 m to the north and south side lot lines.
- 9. Section 6(3) Part II 3(I), By-law 438-86**  
The minimum required setback to the side wall of an adjacent building that contains no openings is 0.90 m.  
In this case, the enclosed front porch will be located 0.0 m from the adjacent building on the south side.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**



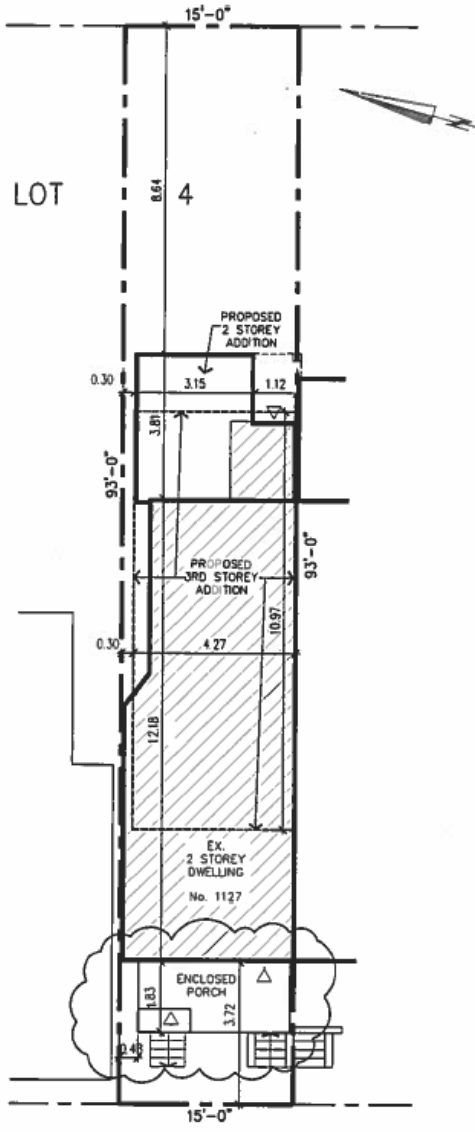
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Variance 1 of Zoning By-law 569-2013 and Variance 3 of Zoning By-law 438-86 regarding building depth shall be reduced from 19.18 metres to 17.82 metres, and not apply to the third-storey.
- (2) Variance 2 of Zoning By-law 569-2013 regarding floor space index shall be reduced from 1.5 times the lot area to 1.46 times the lot area.
- (3) Variance 6 of Zoning By-law 438-86 regarding gross floor area shall be reduced from 194.13 m<sup>2</sup> to 189.4 m<sup>2</sup>.
- (4) The altered dwelling shall be substantially built in accordance with the plans dated March 14, 2017. Any variances that may appear on these plans that are not listed in the written decision are not authorized.

SKETCH SHOWING  
Part of LOT 4  
REGISTERED PLAN 673  
CITY OF TORONTO



- LEGEND**
- 100.56 Denotes existing Grades (By Others)
  - 100.56 Denotes proposed Grade
  - F.F. Finished First Floor
  - T.W. Top Of Foundation Wall
  - B.S. Top Of Basement Slab
  - U/SF Underside Of Footing
  - SW Swale Elevation
  - ← Direction Of Drainage
  - ▽ Man Door Location
  - ▼ Drive-In Overhead Door
  - R. Riser
  - W/OB Walkout Basement

**SITE DATA**

LOT Area	129.59 Sq.m
Existing building area	
Ground floor area	52.02 Sq.m
Porch area	7.47 Sq.m
Second floor area	52.02 Sq.m
Proposed building area	
Ground floor area	10.70 Sq.m
Second floor area	16.25 Sq.m
Third floor area	46.82 Sq.m
Total index area	177.81 Sq.m (137.20 %)
Total coverage	75.83 Sq.m (58.51 %)

DUFFERIN STREET

The undersigned has reviewed & taken responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

**QUALIFICATION INFORMATION**  
Required unless design is exempt under 3.2.3.1 of the building code

NOCK INC. 31345  
RCP#  
MAR. 14/17  
Date  
48379  
RCP#  
rockkim@gmail.com 647-466-2767

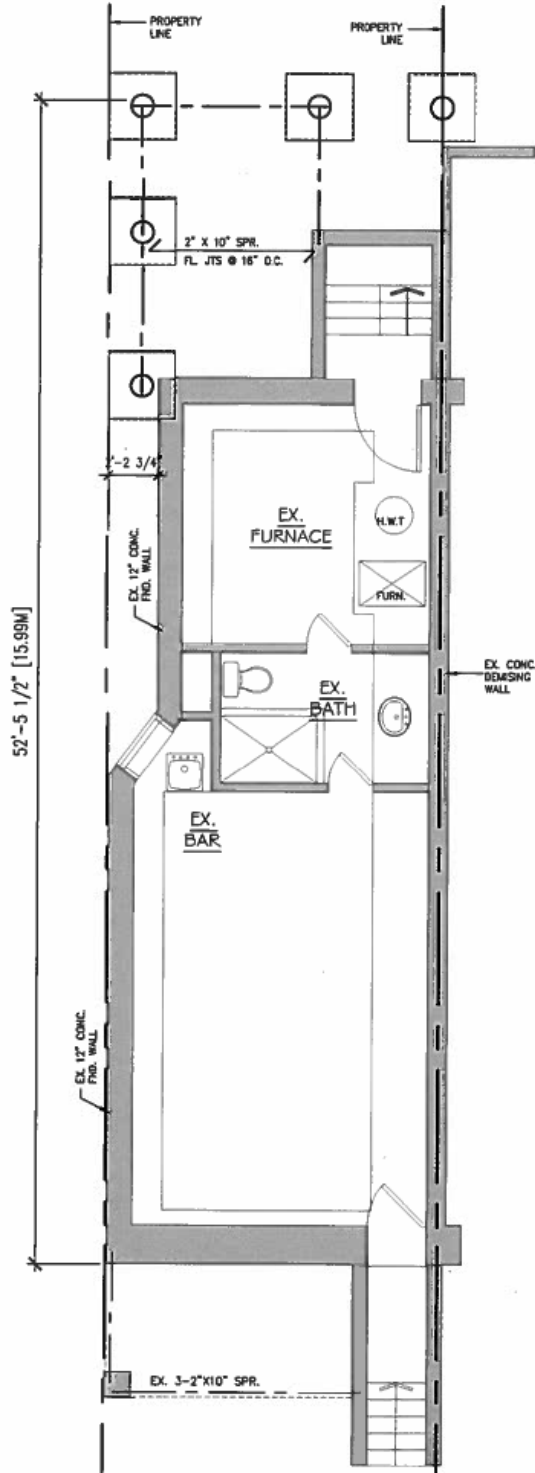
**REVISIONS**

NO.	DESCRIPTION	DATE	BY

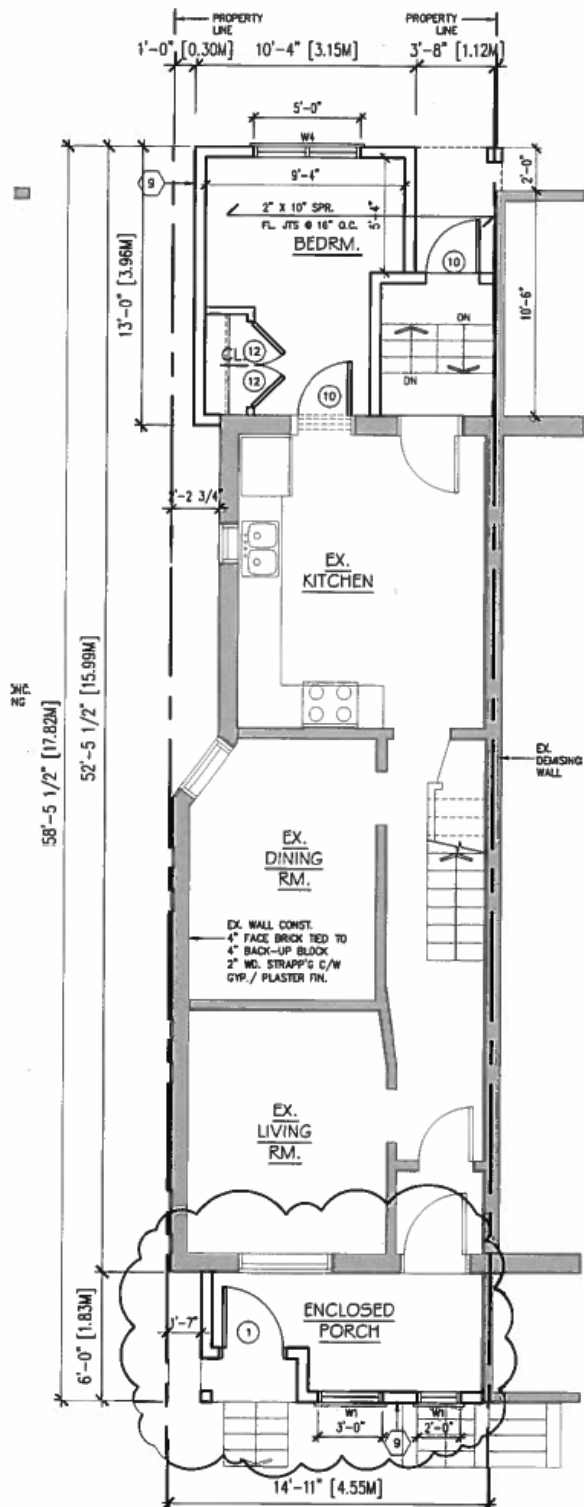
PROJECT: PROPOSED ADDITION FOR RESIDENCE  
1127 DUFFERIN STREET TORONTO, ON  
DRAWING TITLE: SITE PLAN

DRAWN BY: R.K.  
CHECKED BY:  
SCALE: 1:100  
DATE: MAR. 2017  
PROJECT NUMBER:

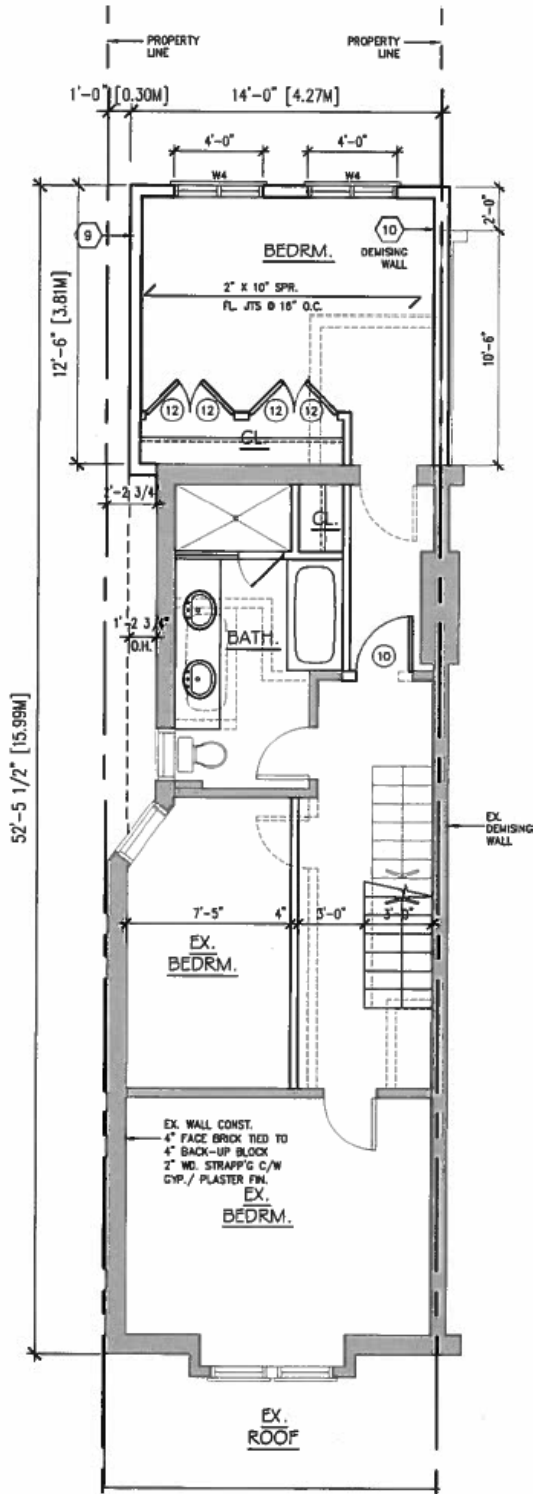
**A-1**



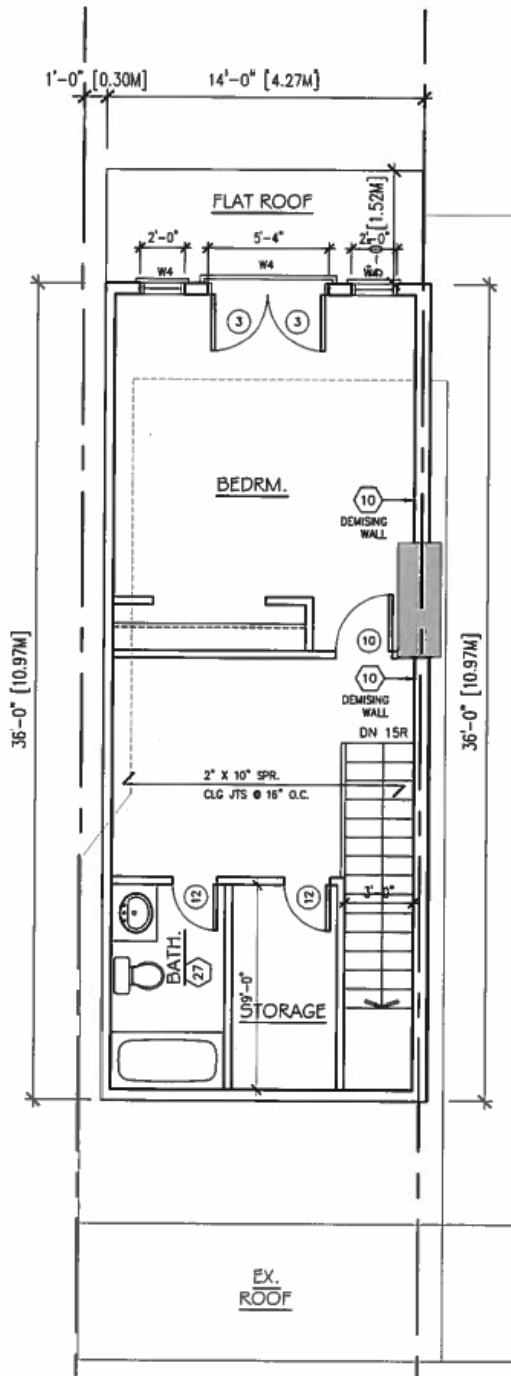
**1** BASEMENT FLOOR PLAN  
**A2** SCALE: 3/16" = 1'-0"



2  
A2  
GROUND FLOOR PLAN  
SCALE: 3/16"=1'-0"



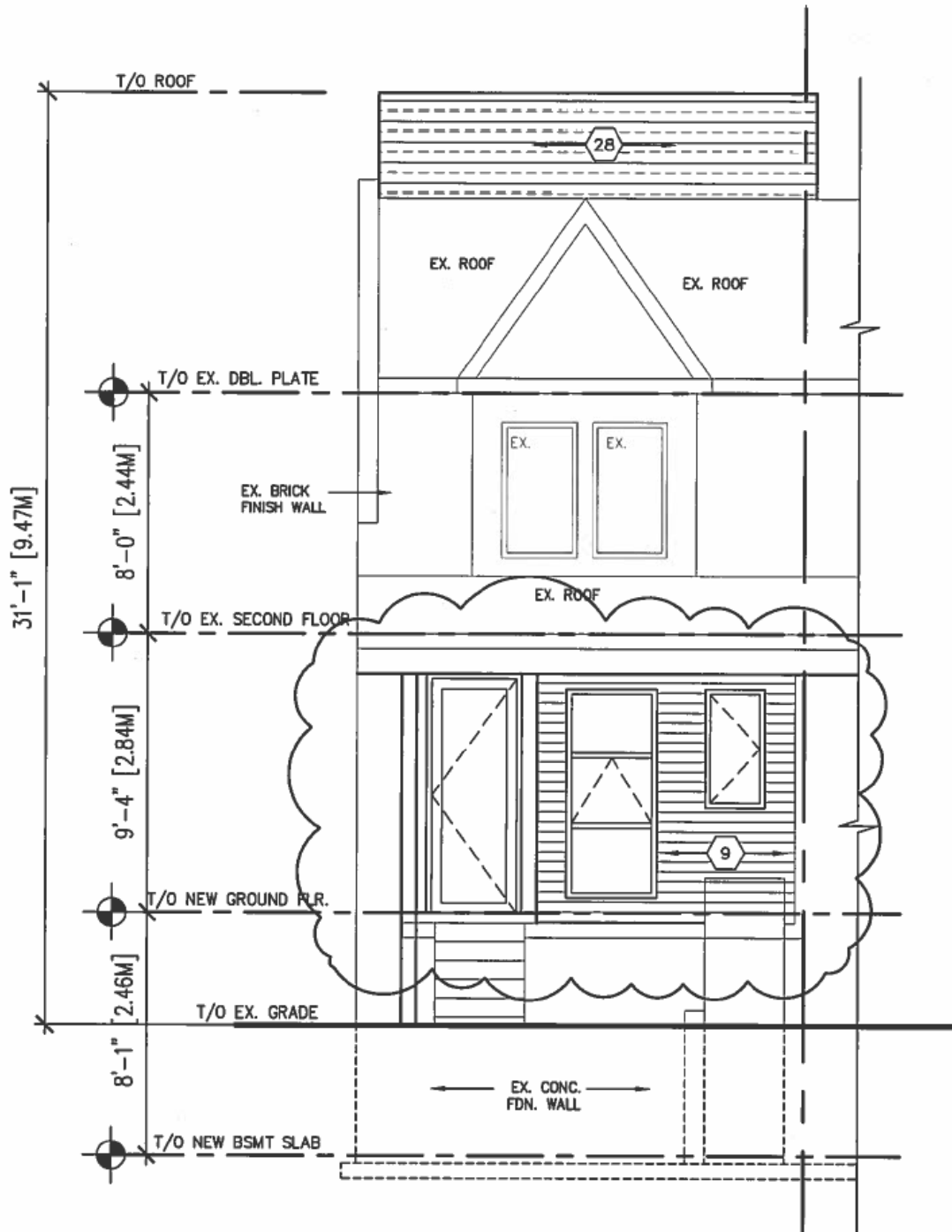
1 SECOND FLOOR PLAN  
A3 SCALE: 3/16" = 1'-0"



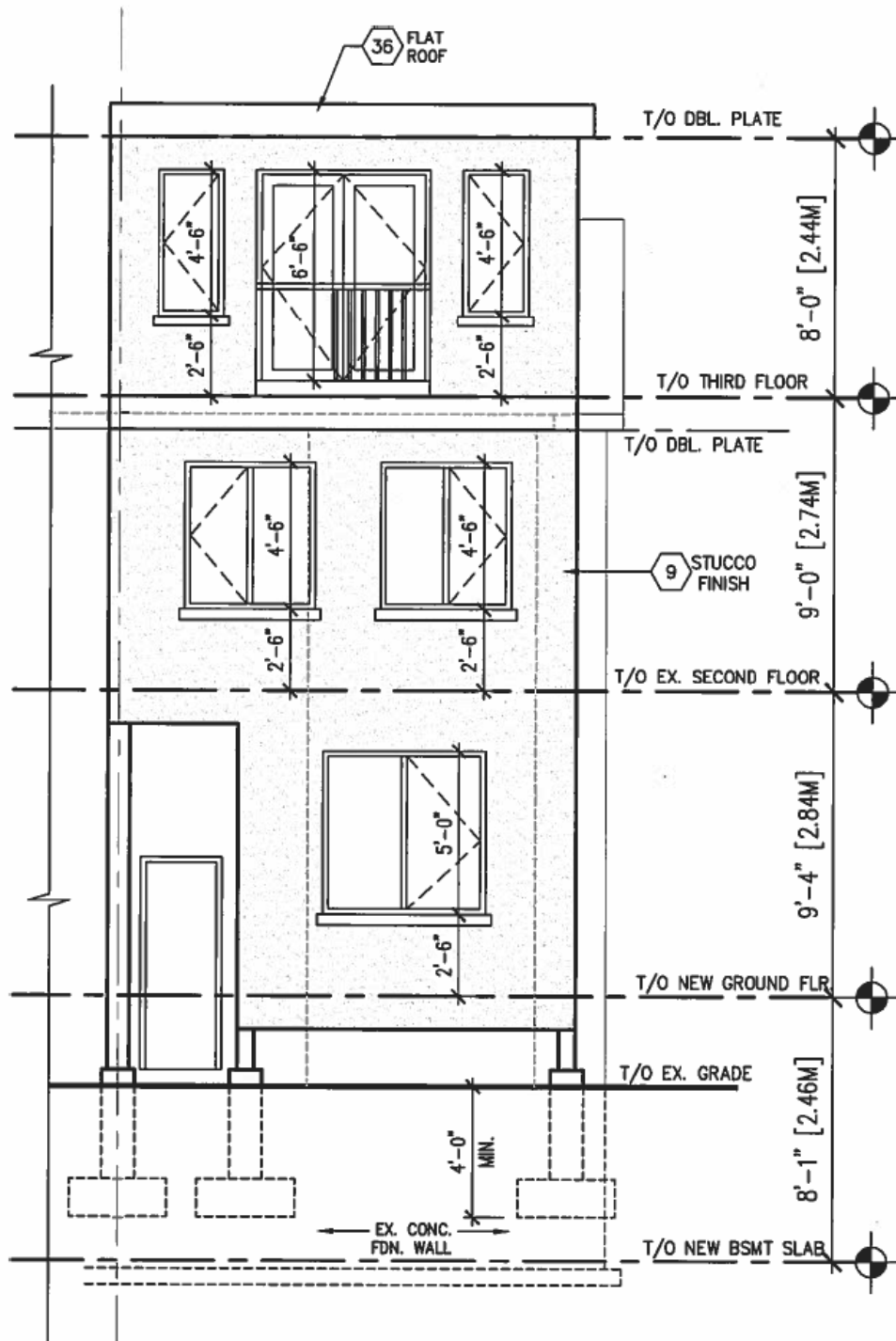
2  
A3

THIRD FLOOR PLAN

SCALE: 3/16"=1'-0"



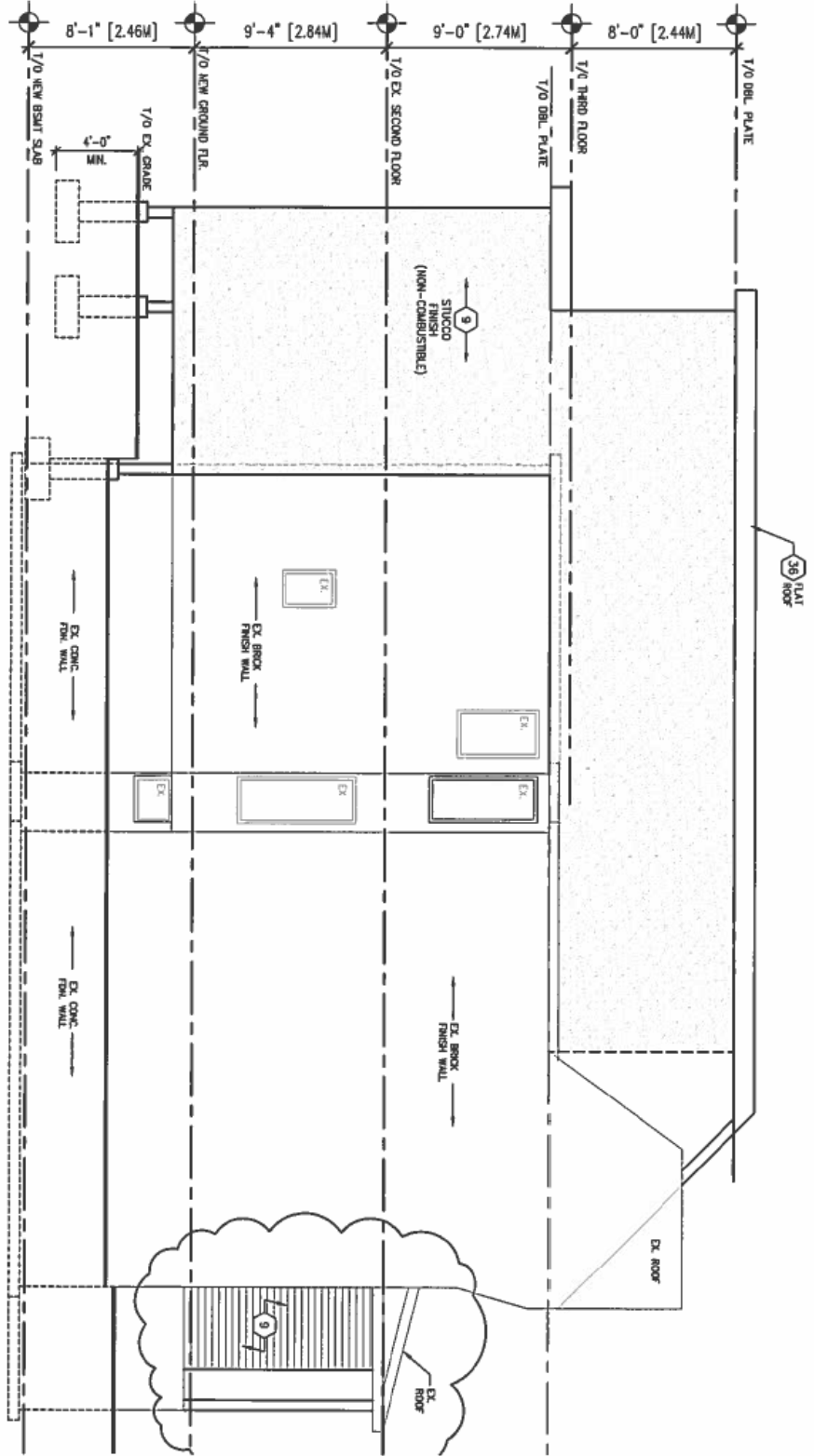
1 WEST SIDE ELEVATION  
 A4 SCALE: 3/16"=1'-0"



2  
A4

**EAST SIDE ELEVATION**  
 SCALE: 3/16"=1'-0"





1 NORTH SIDE ELEVATION  
 A5 SCALE: 3/16"=1'-0"

**SIGNATURE PAGE**

File Number:	A0476/17TEY	Zoning	R (d0.6)(x751) & R2 Z0.6 (ZZC)
Owner(s):	MICHAEL STEVENSON	Ward:	Davenport (18)
Agent:	ROCK KIM	Heritage:	Not Applicable
Property Address:	<b>1127 DUFFERIN ST</b>	Community:	Toronto
Legal Description:	PLAN 673 PT LOT 3 PT LOT 4		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

**DISSENTED**

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Ewa Modlinska

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0477/17TEY	Zoning	RS (f10.5;a325;d0.75)(x312) & R2A (ZZC)
Owner(s):	ABDUL WAHEED	Ward:	Toronto-Danforth (29)
Agent:	COLIN LIGHTBOURNE	Heritage:	Not Applicable
Property Address:	<b>251 DONLANDS AVE</b>	Community:	East York
Legal Description:	PLAN 1639 PT LOT 47		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition, a rear basement walkout, a basement secondary suite, a rear ground floor deck, and a new front porch.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.  
The roof eaves will be located 0.25 m from the south side lot line.
- Chapter 10.40.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (97.61 m<sup>2</sup>).  
The lot coverage will be equal to 40% of the lot area (111.59 m<sup>2</sup>).
- Chapter 10.40.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.  
The height of the side exterior main walls facing a side lot line will be 7.26 m.
- Chapter 10.40.40.20.(1), By-law 569-2013**  
The maximum permitted building length for a detached dwelling is 17 m.  
The altered detached dwelling will have a building length of 19.24 m.
- Chapter 10.40.40.30.(1), By-law 569-2013**  
The maximum permitted depth of a detached dwelling is 19 m.  
The altered detached dwelling will have a depth of 19.24 m.

**1. Section 5.6(b)(ii), By-law 6752**

An unenclosed porch, platform or deck which does not exceed 1.2 m in height above existing grade may project beyond a main rear wall of a dwelling to a maximum of 3.6 m.  
In this case, the rear ground floor deck will project 3.8 m from the main rear wall.

**2. Section 7.5.3, By-law 6752**

The maximum permitted lot coverage is 35% of the lot area (97.61 m<sup>2</sup>).  
The lot coverage will be equal to 37.6% of the lot area (104.99 m<sup>2</sup>).

**3. Section 7.5.3, By-law 6752**

The maximum permitted building length is 16.75 m.  
The altered detached dwelling will have a building length of 19.24 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
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- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0477/17TEY	Zoning	RS (f10.5;a325;d0.75)(x312) & R2A (ZZC)
Owner(s):	ABDUL WAHEED	Ward:	Toronto-Danforth (29)
Agent:	COLIN LIGHTBOURNE	Heritage:	Not Applicable
Property Address:	<b>251 DONLANDS AVE</b>	Community:	East York
Legal Description:	PLAN 1639 PT LOT 47		

**DECLARED INTEREST**

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

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Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0479/17TEY	Zoning:	R4 Z1.0 (ZZC)
Owner(s):	MICHAEL GOLDSTEIN	Ward:	St. Paul's (21)
Agent:	SYLVIA EDELENBOS	Heritage:	Not Applicable
Property Address:	<b>48 AUSTIN TER</b>	Community:	Toronto
Legal Description:	PLAN 1219 PT LOT 11 PT LOT 12		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey semi-detached dwelling by constructing a rear one-storey addition and a new rear deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area of a detached dwelling is 1.0 times the area of the lot (171.89 m<sup>2</sup>).  
The altered semi-detached dwelling will have a gross floor area equal to 1.14 times the area of the lot (195.2 m<sup>2</sup>).
- Section 6(3) Part II 4, By-law 438-86**  
The minimum required rear yard setback is 7.5 m.  
The altered semi-detached dwelling will be located 6.59 m from the rear lot line.
- Section 6(3) Part III 1(A), By-law 438-86**  
A minimum of 30% of the lot area (51.57 m<sup>2</sup>) shall be landscaped open space.  
In this case, 23.4% of the lot area (40.2 m<sup>2</sup>) will be landscaped open space.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**



It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0479/17TEY	Zoning	R4 Z1.0 (ZZC)
Owner(s):	MICHAEL GOLDSTEIN	Ward:	St. Paul's (21)
Agent:	SYLVIA EDELENBOS	Heritage:	Not Applicable
Property Address:	<b>48 AUSTIN TER</b>	Community:	Toronto
Legal Description:	PLAN 1219 PT LOT 11 PT LOT 12		

**ABSENT**

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Worrick Russell

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0480/17TEY	Zoning	R (d0.6) (x736) & R2 Z0.6 (ZZC)
Owner(s):	VANESSA CHAN PAUL AKOURY	Ward:	Toronto-Danforth (30)
Agent:	PEGGY CHIU	Heritage:	Not Applicable
Property Address:	<b>124 BOULTBEE AVE</b>	Community:	Toronto
Legal Description:	PLAN 384E PT LOT 118		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½ -storey semi-detached dwelling by constructing a third storey addition, a rear two-storey addition, and a rear ground floor deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

1. **Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50 m.  
The height of the side exterior main walls facing a side lot line will be 9.78 m.
2. **Chapter 10.10.40.40.(2)(A), By-law 569-2013**  
Additions to the rear of a semi-detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (134.78 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 1.01 times the area of the lot (197.94 m<sup>2</sup>).
1. **Section 6(3) Part VI 1(I), By-law 438-86**  
Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (134.78 m<sup>2</sup>).  
The altered dwelling will have a gross floor area equal to 1.01 times the area of the lot (197.94 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0480/17TEY	Zoning	R (d0.6) (x736) & R2 Z0.6 (ZZC)
Owner(s):	VANESSA CHAN PAUL AKOURY	Ward:	Toronto-Danforth (30)
Agent:	PEGGY CHIU	Heritage:	Not Applicable
Property Address:	<b>124 BOULTBEE AVE</b>	Community:	Toronto
Legal Description:	PLAN 384E PT LOT 118		

**ABSENT**

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Worrick Russell

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
(Section 45 of the Planning Act)

File Number:	A0483/17TEY	Zoning	RM(fl2.0, u2, d0.8) & R2 (ZZC)
Owner(s):	DANNY COLOMBO	Ward:	St. Paul's (21)
Agent:	DANNY COLOMBO	Heritage:	Not Applicable
Property Address:	<b>541 ARLINGTON AVE</b>	Community:	Toronto
Legal Description:	PLAN 1527 LOT 6 PT LOT 66		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a three-storey detached dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.80.40.10.(1) (A), By-law 569-2013**  
The maximum permitted height of a building or structure is 11.0 m.  
The height of the building will be 11.05 m.
- Chapter 10.80.40.10.(2)(A)(i), By-law 569-2013**  
The maximum permitted height of all front exterior main walls is 8.5 m.  
The height of the front exterior main walls will be 8.69 m.
- Chapter 10.80.40.10.(2)(A)(ii), By-law 569-2013**  
The maximum permitted height of all rear exterior main walls is 8.5 m.  
The height of the rear exterior main walls will be 8.69 m.
- Chapter 10.80.40.10.(2)(B)(i), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 8.5 m.  
The height of the side exterior main walls facing a side lot line will be 8.69 m.
- Chapter 10.80.40.50.(1) (B), By-law 569-2013**  
The maximum permitted area of each platform at or above the second storey of a detached house is 4.0 m<sup>2</sup>.  
The area of the rear platform at the second storey will be 8.81 m<sup>2</sup>.



**6. Chapter 10.5.100.1(1)(C), By-law 569-2013**

For lots with a lot frontage of 6.0 m to 23.0 m inclusive, or a townhouse dwelling unit at least 6.0 m wide, a maximum driveway width shall be the lesser of:

- (i) 6.0 m, or
  - (ii) the cumulative width of side-by-side parking spaces behind the front main wall (2.9 m)
- In this case, the proposed driveway width will be 5.28 m.

**7. Chapter 10.5.50.10.(1)(B), By-law 569-2013**

A minimum of 50% of the front yard must be landscaping (27.72 m<sup>2</sup>).  
The front yard landscaping area will be 49.5% (27.43 m<sup>2</sup>).

**8. Chapter 10.5.50.10.(1)(D), By-law 569-2013**

A minimum of 75% of the required front yard landscaping must be soft landscaping (20.29 m<sup>2</sup>).  
The front yard soft landscaping area will be 67.6% (18.74 m<sup>2</sup>).

**1. Section 3.2, By-law 1-83 & Section 1.A(C) (ii), By-law 972-2006 (as amended)**

For lots with a lot frontage of 6.0 m to 23.0 m inclusive, or a townhouse dwelling unit at least 6.0 m wide, a maximum driveway width shall be the lesser of:

- (i) 6.0 m, or
  - (ii) the cumulative width of side-by-side parking spaces behind the front main wall (2.9 m)
- In this case, the proposed driveway width will be 5.28 m.

**2. Section 8-R2, By-law 1-83 & Section 4(q)(ii)(iv), By-law 972-2006 (as amended)**

A minimum of 50% of the front yard landscaping shall be maintained as landscaping (27.72 m<sup>2</sup>).  
In this case, the front yard landscaping will be 49.5% (27.43 m<sup>2</sup>).

**3. Section 8-R2, By-law 1-83 & Section 4(q)(ii)(iv), By-law 972-2006 (as amended)**

A minimum of 75% of the front yard not covered by a permitted driveway shall be maintained as soft landscaping (20.79 m<sup>2</sup>).  
In this case, the front yard soft landscaping will be 67.6% (18.74 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) The driveway leading to the parking space located totally on private property shall be paved with semi-permeable paving materials to the satisfaction of the Manager, Right of Way Management, Transportation Services, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0483/17TEY	Zoning	RM(fl2.0, u2, d0.8) & R2 (ZZC)
Owner(s):	DANNY COLOMBO	Ward:	St. Paul's (21)
Agent:	DANNY COLOMBO	Heritage:	Not Applicable
Property Address:	<b>541 ARLINGTON AVE</b>	Community:	Toronto
Legal Description:	PLAN 1527 LOT 6 PT LOT 66		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0484/17TEY	Zoning:	RM & R2 (Waiver)
Owner(s):	JEFFREY FINE	Ward:	St. Paul's (21)
Agent:	WILLIAM TESSLER	Heritage:	Not Applicable
Property Address:	<b>185 ATLAS AVE</b>	Community:	York
Legal Description:	PLAN 2169 N PT LOT 68		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a third floor addition, a three-storey rear addition and a rear deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.80.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.8 times the area of the lot (127.57 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.98 times the area of the lot (155.69 m<sup>2</sup>).
- 2. Chapter 10.5.40.70.(1) & (2), By-law 569-2013**  
The minimum required front yard setback is 4.05 m.  
The front yard setback will be 3.68 m.
- 3. Chapter 10.80.40.70.(3), By-law 569-2013**  
The minimum required side yard setback is 1.2 m  
The addition will be located 0.12 m from the north side lot line and 0.47 m from the south side lot line.
- 4. Chapter 10.80.40.10.(2), By-law 569-2013**  
The maximum permitted height of specified pairs of main walls is 8.5 m.  
In this case, the addition will have north and south main walls with a height of 10.04 m, measured 3.05 m east of the front main wall extending to the limit of the third floor addition.
- 1. Section 3. (a) , By-Law 3623-97**  
The maximum permitted floor space index is 0.8 times the area of the lot (127.57 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 1.09 times the area of the lot (173.11 m<sup>2</sup>).

**2. Section 3. (a) , By-Law 3623-97**

The minimum required side yard setback is 0.5 m on one side and 1.2 m on the other side.

The addition will be located 0.12 m from the north side lot line and 0.47 m from the south side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0484/17TEY	Zoning	RM & R2 (Waiver)
Owner(s):	JEFFREY FINE	Ward:	St. Paul's (21)
Agent:	WILLIAM TESSLER	Heritage:	Not Applicable
Property Address:	<b>185 ATLAS AVE</b>	Community:	York
Legal Description:	PLAN 2169 N PT LOT 68		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0487/17TEY	Zoning:	RM (f12.0;u2;d0.8) & R2 Z0.8 (ZZC)
Owner(s):	1513316 ONTARIO INC JONATHAN KUDLATS	Ward:	St. Paul's (21)
Agent:	KRISTINA KOSTADINOVIC	Heritage:	Not Applicable
Property Address:	<b>569 ARLINGTON AVE</b>	Community:	York
Legal Description:	PLAN 2339 PT LOTS 190 & 191 RP 64R15549 PARTS 3 & 26		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey detached dwelling with an integral garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.80.40.10.(2)(B)(i), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 8.5 m.  
In this case, the height of the side exterior main walls facing a side lot line will be 9.0 m.
- 2. Chapter 10.80.40.40 (1)(A), By-law 569-2013**  
The permitted maximum floor space index is 0.80 times the area of the lot (249.25 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.908 times the area of the lot (282.99 m<sup>2</sup>).
- 3. Chapter 10.80.40.70 (3)(A), By-law 569-2013**  
The required minimum side yard setback is 1.2 m.  
The new detached dwelling will be located 0.60 m from the east side lot line.
- 4. Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves are permitted to project a maximum of 0.9 m provided they are located no closer than 0.3 m from a lot line.  
In this case, the new roof eaves will project 0.9 m and will be located 0.15 m from the east side lot line.

**5. Chapter 10.5.100.1.(1)(C)(ii), By-law 569-2013**

The maximum permitted driveway width is limited to the width of a parking space provided beyond the front wall, which in this case is 3.3 m.  
The driveway width will be 4.6 m.

**6. Chapter 5.10.40.70.(6), By-law 569-2013**

If the Toronto and Region Conservation Authority determines that a shoreline hazard limit or stable top-of-bank crosses a lot, a building or structure on that lot must be set back a minimum of 10 m from that shoreline hazard limit or stable top-of-bank.  
The new dwelling will be set back 2.92 m from a shoreline hazard limit or stable top-of-bank.

**1. Section 8.3.(1), By-law 1-83**

The maximum permitted floor space index is 0.8 times the area of the lot (249.25 m<sup>2</sup>).  
The new detached dwelling will have a floor space index equal to 0.908 times the area of the lot (282.99 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to refuse this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

**SIGNATURE PAGE**

File Number:	A0487/17TEY	Zoning	RM (f12.0;u2;d0.8) & R2 Z0.8 (ZZC)
Owner(s):	1513316 ONTARIO INC JONATHAN KUDLATS	Ward:	St. Paul's (21)
Agent:	KRISTINA KOSTADINOVIC	Heritage:	Not Applicable
Property Address:	<b>569 ARLINGTON AVE</b>	Community:	York
Legal Description:	PLAN 2339 PT LOTS 190 & 191 RP 64R15549 PARTS 3 & 26		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
(Section 45 of the Planning Act)

File Number:	A0490/17TEY	Zoning	RS (f10.5; a325; d0.75)(x312) & R2A (ZZC)
Owner(s):	DAVID COLLIN MACMILLAN	Ward:	Toronto-Danforth (29)
Agent:	ANDREW BRIAND	Heritage:	Not Applicable
Property Address:	<b>23 WILEY AVE</b>	Community:	East York
Legal Description:	PLAN 2239 LOT 23		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a rear two-storey addition, a roof-top terrace and a green roof, a rear ground floor deck, and a rear basement walkout.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.40.30.40.(1)(A), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (58.88 m<sup>2</sup>).  
The lot coverage will be equal to 40.5% of the lot area (68.21 m<sup>2</sup>).
- Chapter 10.40.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building height is 8.5 m.  
The altered detached dwelling will have a height of 9.14 m.
- Chapter 10.40.40.10.(2)(B)(i)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.  
The height of the side exterior main walls facing a side lot line will be 8.97 m.
- Chapter 10.40.40.50.(1)(B), By-law 569-2013**  
The maximum permitted area of each platform at or above the second storey of a detached house is 4 m<sup>2</sup>.  
In this case, the area of each platform at or above the second storey will be 12.43 m<sup>2</sup>.
- Chapter 10.40.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (126.18 m<sup>2</sup>).  
The altered detached dwelling will have a floor space index equal to 0.84 times the area of the lot (140.8 m<sup>2</sup>).

**1. Section 7.5.3, By-law 6752**

The minimum required side yard setback is 0.45 m.

The altered detached dwelling will be located 0.24 m from the north side lot line.

**2. Section 7.5.3, By-law 6752**

The maximum permitted lot coverage is 35% of the lot area (58.88 m<sup>2</sup>).

The lot coverage will be equal to 46% of the lot area, inclusive of the covered porch (77.43 m<sup>2</sup>).

**3. Section 7.5.3, By-law 6752**

The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (126.18 m<sup>2</sup>).

The altered detached dwelling will have a floor space index equal to 0.84 times the area of the lot (140.8 m<sup>2</sup>).

**4. Section 7.5.3, By-law 6752**

The maximum permitted building height is 8.5 m.

The altered detached dwelling will have a height of 9.14 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

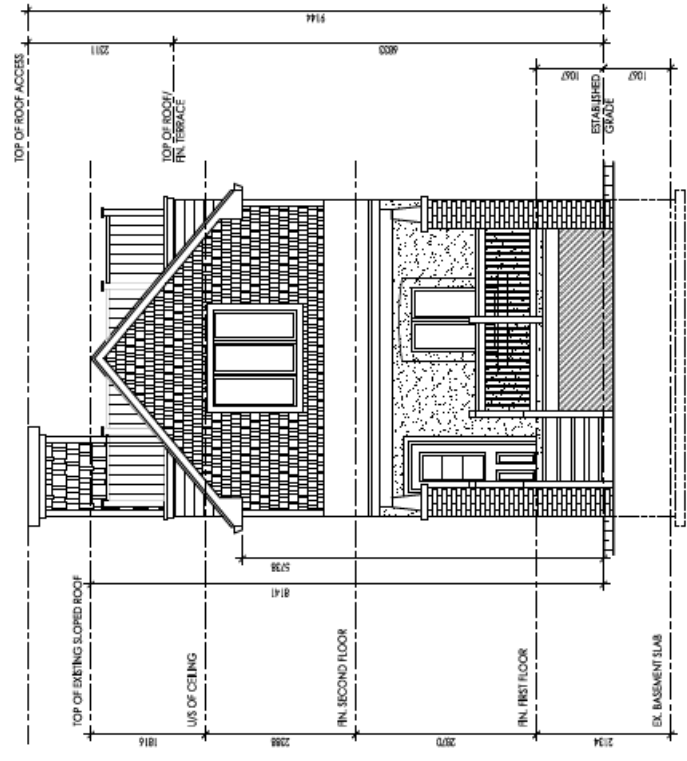
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The building height of 9.14 m shall be restricted to the stair access pop-up only, as shown on plans received by the Committee of Adjustment on May 2, 2017. The remainder of the dwelling shall comply with the height provisions of By-law 569-2013 and By-law 6752. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

**RECEIVED**  
By CoFA TEY at 8:43 am, May 02, 2017

23 WILEY AVE.



THE CONSULTANT HAS REVIEWED ALL DRAWINGS AND COMMENTS AND HAS APPROVED THE DRAWINGS FOR CONSTRUCTION. THE CONSULTANT'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWINGS AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE CONSULTANT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS OR FOR ANY CONSEQUENCES ARISING THEREFROM. THE CONSULTANT'S LIABILITY IS LIMITED TO THE PROFESSIONAL FEES PAID TO THE CONSULTANT.

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APR. 27, 2017 ISSUED TO CITY FOR REVIEW  
APR. 27, 2017 VARIANT  
APR. 04, 2017 REVISED FOR IFC  
APR. 04, 2017 REVISED FOR IFC  
MAY 18, 2017 REWARD AEP FOR CLIENT COMMENTS  
MAY 18, 2017 REWARD AEP FOR CLIENT COMMENTS  
MAY 18, 2017 REWARD AEP FOR CLIENT COMMENTS  
MAY 18, 2017 REWARD AEP FOR CLIENT COMMENTS  
MAY 18, 2017 REWARD AEP FOR CLIENT COMMENTS  
MAY 18, 2017 REWARD AEP FOR CLIENT COMMENTS

NO. DATE WORK DESCRIPTION:

**AIB**  
DESIGN  
WIKEN BINA  
REGISTERED ARCHITECT  
100 BAYVIEW AVE. SUITE 200  
SCARBOROUGH, ONTARIO M1B 2Y9  
TEL: (416) 291-1111  
WWW.AIBARCHITECTS.COM

QUALIFICATION INFORMATION:  
Registered Architect in Ontario, Canada: C. Macmillan  
Registered Architect in Ontario, Canada: D. Macmillan  
Registered Architect in Ontario, Canada: N. B. Zang  
Registered Architect in Ontario, Canada: S. Zang  
Registered Architect in Ontario, Canada: A. Zang  
Registered Architect in Ontario, Canada: M. Zang  
Registered Architect in Ontario, Canada: J. Zang  
Registered Architect in Ontario, Canada: K. Zang  
Registered Architect in Ontario, Canada: L. Zang  
Registered Architect in Ontario, Canada: P. Zang  
Registered Architect in Ontario, Canada: Q. Zang  
Registered Architect in Ontario, Canada: R. Zang  
Registered Architect in Ontario, Canada: T. Zang  
Registered Architect in Ontario, Canada: U. Zang  
Registered Architect in Ontario, Canada: V. Zang  
Registered Architect in Ontario, Canada: W. Zang  
Registered Architect in Ontario, Canada: X. Zang  
Registered Architect in Ontario, Canada: Y. Zang  
Registered Architect in Ontario, Canada: Z. Zang

**WEST ELEVATION**  
DAVID MACMILLAN  
REAR ADDITION  
MODEL: SINGLE DWELLING  
SCALE: 3/16"=1'-0"  
PROJECT NO.: 16-04  
DRAWING NO.: 5

23 WILEY AVE.

THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND CONDITIONS OF THE EXISTING WORK PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.

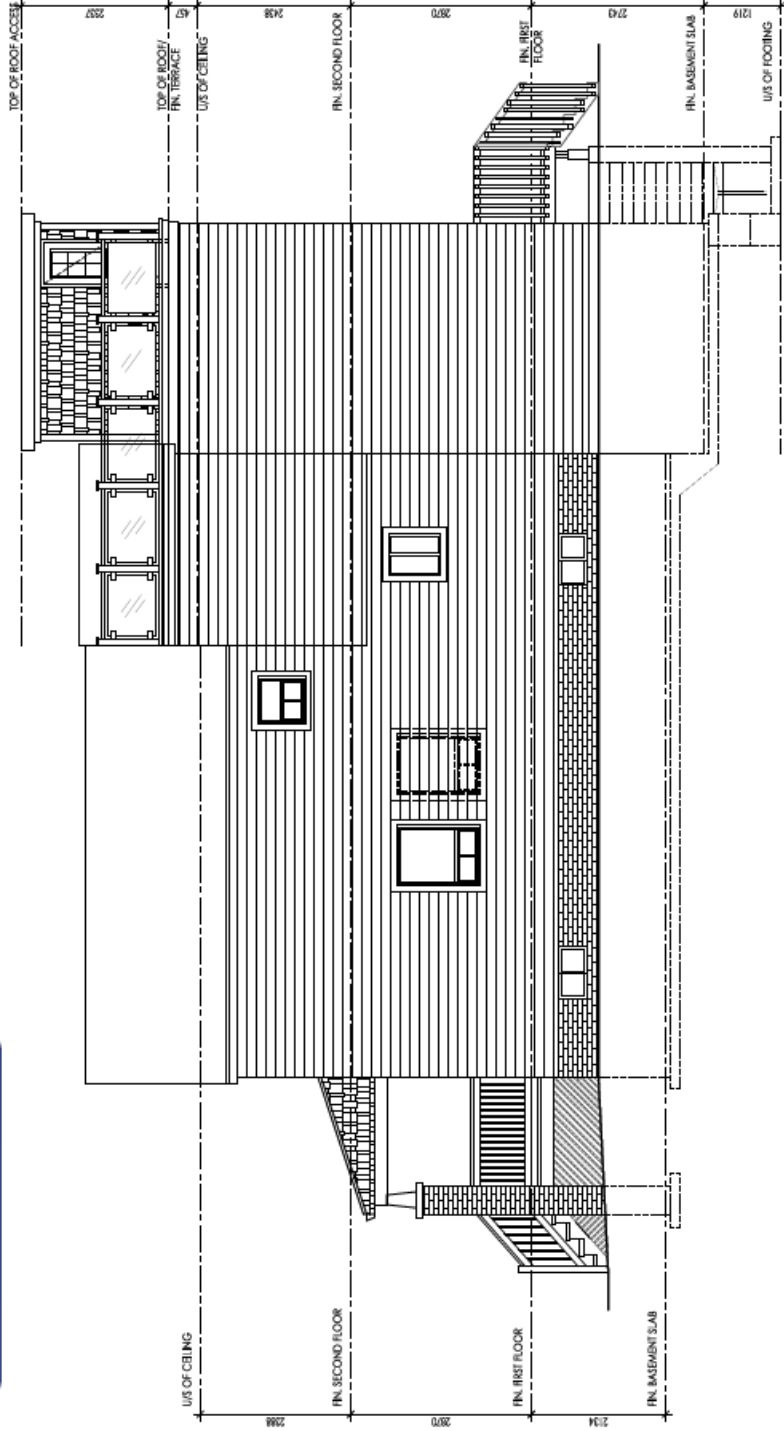
- 1
- 4 APR. 27, 2017 VARIANTS
- 5 APR. 28, 2017 REVISED FOR AC
- 4 MAR. 31, 2017 REVISED PER CLIENT COMMENTS
- 3 MAR. 18, 2017 REVISED PER CLIENT COMMENTS
- 2 JAN. 06, 2017 REVISED PER CLIENT COMMENTS & CPTRE
- 1 DEC. 30, 2016 PREPARED AND ISSUED TO CLIENT FOR REVIEW

NO. DATE WORK DESCRIPTION:  
**AIB**  
DESIGN  
INTERIOR AND EXTERIOR ARCHITECTURE  
FOR THE REAR ADDITION  
TO THE MAIN HOUSE  
23 WILEY AVE.  
SCARBOROUGH, ONTARIO

QUALIFICATION INFORMATION:  
REGISTERED ARCHITECT IN ONTARIO  
REGISTERED ARCHITECT IN ALBERTA  
REGISTERED ARCHITECT IN BRITISH COLUMBIA  
REGISTERED ARCHITECT IN MANITOBA  
REGISTERED ARCHITECT IN QUEBEC  
REGISTERED ARCHITECT IN SASKATCHEWAN  
REGISTERED ARCHITECT IN NEW BRUNSWICK  
REGISTERED ARCHITECT IN NEWFOUNDLAND  
REGISTERED ARCHITECT IN NORTHWEST TERRITORIES  
REGISTERED ARCHITECT IN YUKON

**SOUTH ELEVATION**  
DAVID MACMILLAN  
REAR ADDITION  
MODEL: SINGLE DWELLING  
SCALE: 3/16"=1'-0"  
PROJECT NO.: 16-04  
DRAWING NO.: 6

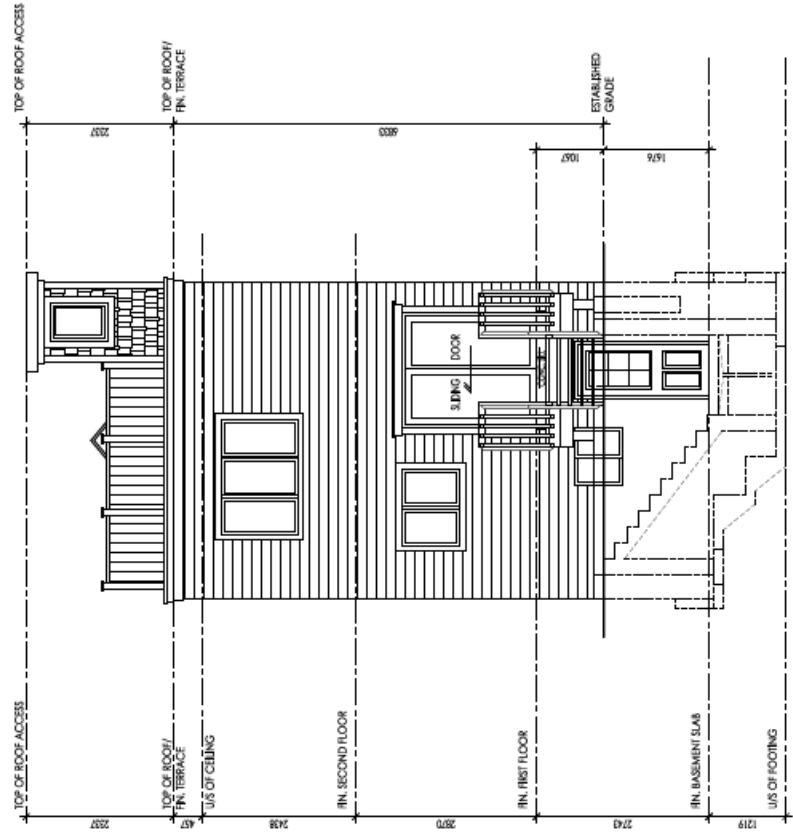
**RECEIVED**  
By CofA TEY at 8:43 am, May 02, 2017





**RECEIVED**  
By CoFA TEY at 8:43 am, May 02, 2017

23 WILEY AVE.



THE CONTRACTOR SHALL CHECK WITH ALL AGENCIES AND COMMUNITY GROUPS TO DETERMINE THE LOCATION OF ANY UTILITIES AND TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR THE PROPOSED WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

NO. DATE WORK DESCRIPTION:

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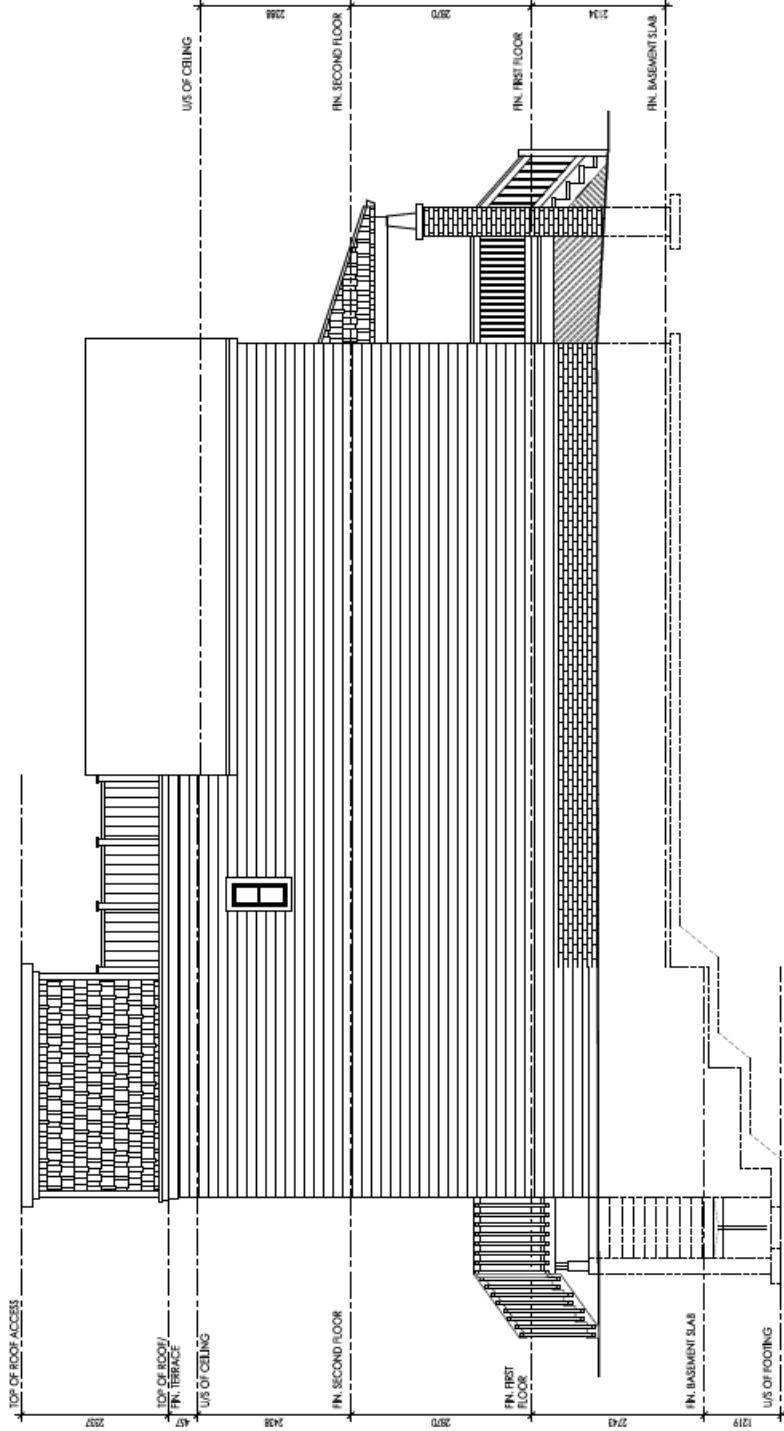
**AIB**  
DESIGN  
ANDREW BIRNBAUM  
ARCHITECTURAL FIRM  
100 BAYVIEW AVE  
SUITE 100  
TORONTO, ONTARIO  
M5S 1A5  
416-291-0100  
WWW.AIBDESIGN.COM

QUALIFICATION INFORMATION:  
Registered Architect in the Province of Ontario, C. Macmillan  
Registered Architect in the Province of Ontario, C. Macmillan  
Registered Architect in the Province of Ontario, C. Macmillan  
Registered Architect in the Province of Ontario, C. Macmillan

DATE: 3/16/17  
SCALE: 3/16=1/4"  
PROJECT NO.: 16-04  
DRAWING NO.: 7

23 WILEY AVE.

**RECEIVED**  
By CofA TEY at 8:43 am, May 02, 2017



THE CONTRACTOR SHALL CHECK WITH ALL AGENCIES AND COMMUNITY GROUPS THAT MAY BE AFFECTED BY THIS PROJECT AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

NO. DATE WORK DESCRIPTION:  
**AIB**  
**DESIGN**  
 INTERIOR AND EXTERIOR ARCHITECTURE  
 1000 BAYVIEW AVE. SUITE 100  
 TORONTO, ONTARIO  
 M5S 1A5  
 TEL: (416) 461-1111  
 WWW.AIBARCHITECTURE.COM

QUALIFICATION REQUIREMENTS:  
 Registered Professional Architect, Ontario  
 Registration No. 10000  
 Name: *N. B. Sarge*  
 License No. 10000  
 Registration No. 10000  
 Registration No. 10000

**NORTH ELEVATION**  
**DAVID MACMILLAN**  
**REAR ADDITION**  
 MODEL: SINGLE DWELLING  
 SCALE: 3/16"=1'-0"  
 PROJ. NO.: 16-04  
 DWG. NO.: 8

**SIGNATURE PAGE**

File Number:	A0490/17TEY	Zoning	RS (f10.5; a325; d0.75)(x312) & R2A (ZZC)
Owner(s):	DAVID COLLIN MACMILLAN	Ward:	Toronto-Danforth (29)
Agent:	ANDREW BRIAND	Heritage:	Not Applicable
Property Address:	<b>23 WILEY AVE</b>	Community:	East York
Legal Description:	PLAN 2239 LOT 23		

**DECLARED INTEREST**

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0491/17TEY	Zoning:	R (d0.6)(x312) & R2 Z0.6 (ZZC)
Owner(s):	SARAH CARMICHAEL MICHAEL CARMICHAEL	Ward:	Toronto-Danforth (29)
Agent:	ANDREW BRIAND	Heritage:	Not Applicable
Property Address:	<b>117 BROWNING AVE</b>	Community:	Toronto
Legal Description:	PLAN M368 PT LOT 142		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2 ½-storey semi-detached dwelling by constructing a rear third-floor addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.40.(2)(A), By-law 569-2013**

Additions to the rear a of semi-detached house erected before October 15, 1953, are permitted provided, the floor space index as enlarged does not exceed 0.69 times the area of the lot (122.65 m<sup>2</sup>).

The altered semi-detached house will have a floor space index equal to 1.13 times the area of the lot (200.05 m<sup>2</sup>).

**2. Chapter 200.5.10.1.(1), By-law 569-2013**

A minimum of one parking space is required.

In this case, zero parking spaces will be provided.

**1. Section 6(3) Part VI 1(I), By-law 438-86**

Additions to the rear a of semi-detached house erected before October 15, 1953, or to a converted house are permitted provided, the residential gross floor area as enlarged does not exceed 0.69 times the area of the lot (122.65 m<sup>2</sup>).

The altered semi-detached house will have a residential gross floor area equal to 1.13 times the area of the lot (200.05 m<sup>2</sup>).

**2. Section 4(4), By-law 438-86**

A minimum of one parking space is required.

In this case, zero parking spaces will be provided.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0491/17TEY	Zoning	R (d0.6)(x312) & R2 Z0.6 (ZZC)
Owner(s):	SARAH CARMICHAEL MICHAEL CARMICHAEL	Ward:	Toronto-Danforth (29)
Agent:	ANDREW BRIAND	Heritage:	Not Applicable
Property Address:	<b>117 BROWNING AVE</b>	Community:	Toronto
Legal Description:	PLAN M368 PT LOT 142		

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Worrick Russell (signed)

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Nancy Oomen (signed)

---

Joanne Hayes (signed)

---

Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.





**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0494/17TEY	Zoning	R(d0.6) & R2 Z0.6 (WAIVER)
Owner(s):	JAMES ANDREW M EARLE EMILY CATHERINE MAY	Ward:	Beaches-East York (32)
Agent:	JAMES ANDREW M EARLE	Heritage:	Not Applicable
Property Address:	<b>260 WILLOW AVE</b>	Community:	Toronto
Legal Description:	PLAN 406 PT LOT 59		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey semi-detached dwelling by constructing a rear two-storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Chapter 10.10.40.40.(2), By-law 569-2013**

Additions to the rear of a semi-detached dwelling erected before October 15, 1953 are permitted provided the residential floor space index of the building, as enlarged, does not exceed 0.69 times the area of the lot (132.55 m<sup>2</sup>).

The altered semi-detached dwelling will have a floor space index equal to 0.84 times the area of the lot (160.75 m<sup>2</sup>).

**Section 6(3) Part VI 1(I), By-law 438-86**

Additions to the rear of a semi-detached dwelling erected before October 15, 1953, or to a converted house, are permitted provided the residential gross floor area of the building, as enlarged, does not exceed 0.69 times the area of the lot (132.55 m<sup>2</sup>).

The altered semi-detached dwelling will have a gross floor area equal to 0.84 times the area of the lot (160.75 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0494/17TEY	Zoning	R(d0.6) & R2 Z0.6 (WAIVER)
Owner(s):	JAMES ANDREW M EARLE EMILY CATHERINE MAY	Ward:	Beaches-East York (32)
Agent:	JAMES ANDREW M EARLE	Heritage:	Not Applicable
Property Address:	<b>260 WILLOW AVE</b>	Community:	Toronto
Legal Description:	PLAN 406 PT LOT 59		

---

Worrick Russell (signed)

---

Nancy Oomen (signed)

---

Joanne Hayes (signed)

---

Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

## 26. 154 SIMPSON AVE

File Number:	A0495/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	SYLVIA TONG LUIS STEVE QUINTANA	Ward:	Toronto-Danforth (30)
Agent:	JAY SMITH	Heritage:	Not Applicable
Property Address:	<b>154 SIMPSON AVE</b>	Community:	Toronto
Legal Description:	PLAN 591 PT LOT 53		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

### **PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a third storey addition, a rear one-storey addition, a rear ground floor deck.

### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.10.(2)(B)(i), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line will be 9.6 m.
- 2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (96.99 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 1.18 times the area of the lot (190.66 m<sup>2</sup>).
- 3. Chapter 10.10.40.70.(2), By-law 569-2013**  
The minimum required rear yard setback is 7.5 m.  
The altered dwelling will be located 7.2 m from the north rear lot line.
- 4. Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.  
The roof eaves will be located 0 m from the west side lot line.
- 1. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (96.99 m<sup>2</sup>).  
The altered dwelling will have a gross floor area equal to 1.18 times the area of the lot (190.66 m<sup>2</sup>).
- 2. Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.  
The portion of the altered dwelling, not exceeding a depth of 17 m will be located 0 m from the west side lot line.
- 3. Section 6(3) Part II 4, By-law 438-86**  
The minimum required rear yard setback is 7.5 m.  
The altered dwelling will be located 7.2 m from the north rear lot line.

**MOTION**

It was moved by Ewa Modlinska, seconded by Joanne Hayes and carried that the application be **deferred, for a maximum of 3 to 6 months.** The deferral would provide the applicant with an opportunity to address the concerns raised by City Planning staff. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel A.**

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
(Section 45 of the Planning Act)

File Number:	A0496/17TEY	Zoning:	R & R2 (ZZC)
Owner(s):	SAM ATAEI	Ward:	Toronto-Danforth (30)
Agent:	TASBAZ AZADEH	Heritage:	Not Applicable
Property Address:	<b>34 HASTINGS AVE</b>	Community:	Toronto
Legal Description:	PLAN 366E LOT E		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a detached three-storey dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

1. **Chapter 10.10.40.10.(2) (B)(i), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line will be 9.57 m.
2. **Chapter 10.10.40.40.(1) (A), By-law 569-2013**  
The maximum permitted floor space index is 0.60 times the area of the lot (178.12 m<sup>2</sup>).  
The floor space index will be 0.746 times the area of the lot (221.69 m<sup>2</sup>).
1. **Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted residential gross floor area is 0.60 times the area of the lot (178.12 m<sup>2</sup>).  
The residential gross floor area of the new dwelling will be 74.6 times the area of the lot (221.69 m<sup>2</sup>).
2. **Section 6(3) Part III 3(d)(i)(d), By-law 438-86**  
The minimum required soft landscaping open space in the front yard is 22.50 m<sup>2</sup>.  
The soft landscaped open space in the front yard will be 13.90 m<sup>2</sup>.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

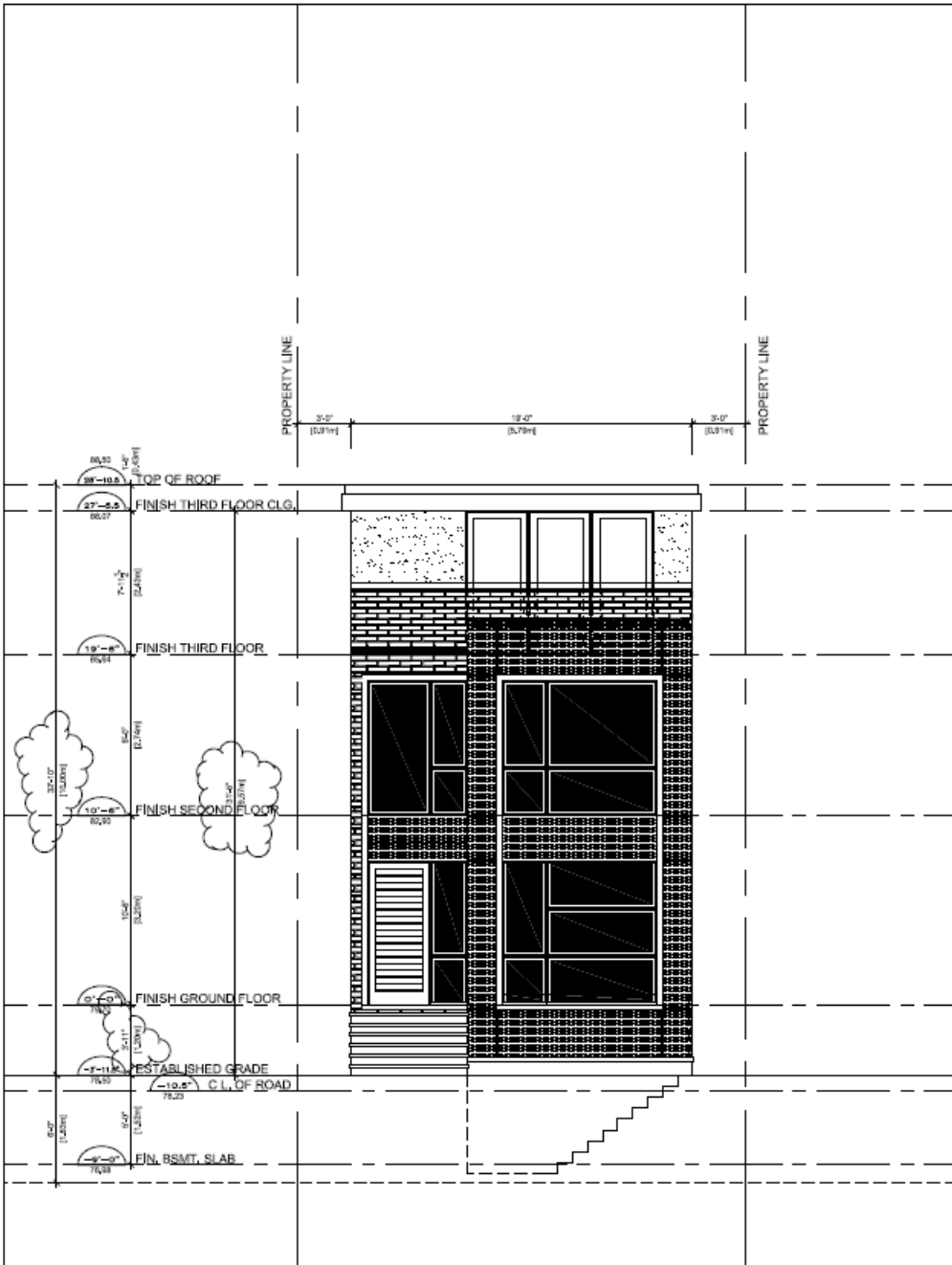
It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

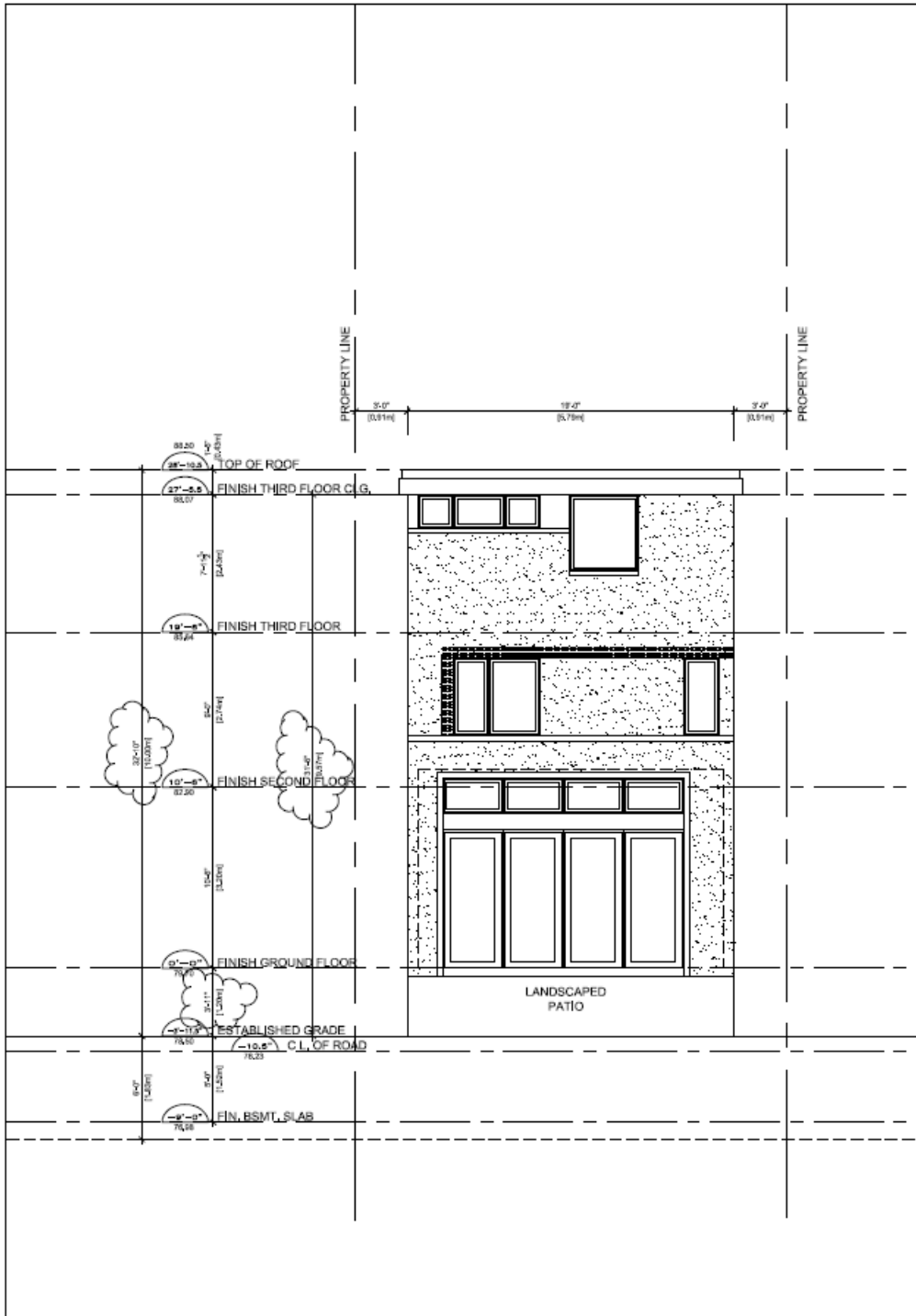
- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (3) The third storey of the new three-storey dwelling shall be located substantially in accordance to the elevation plans submitted to the Committee of Adjustment on August 17, 2017 (drawing date July 27, 2017). Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
- (4) The front walkway shall be constructed with permeable pavers.
- (5) Second floor window on the north side of the dwelling shall be with frosted glass.





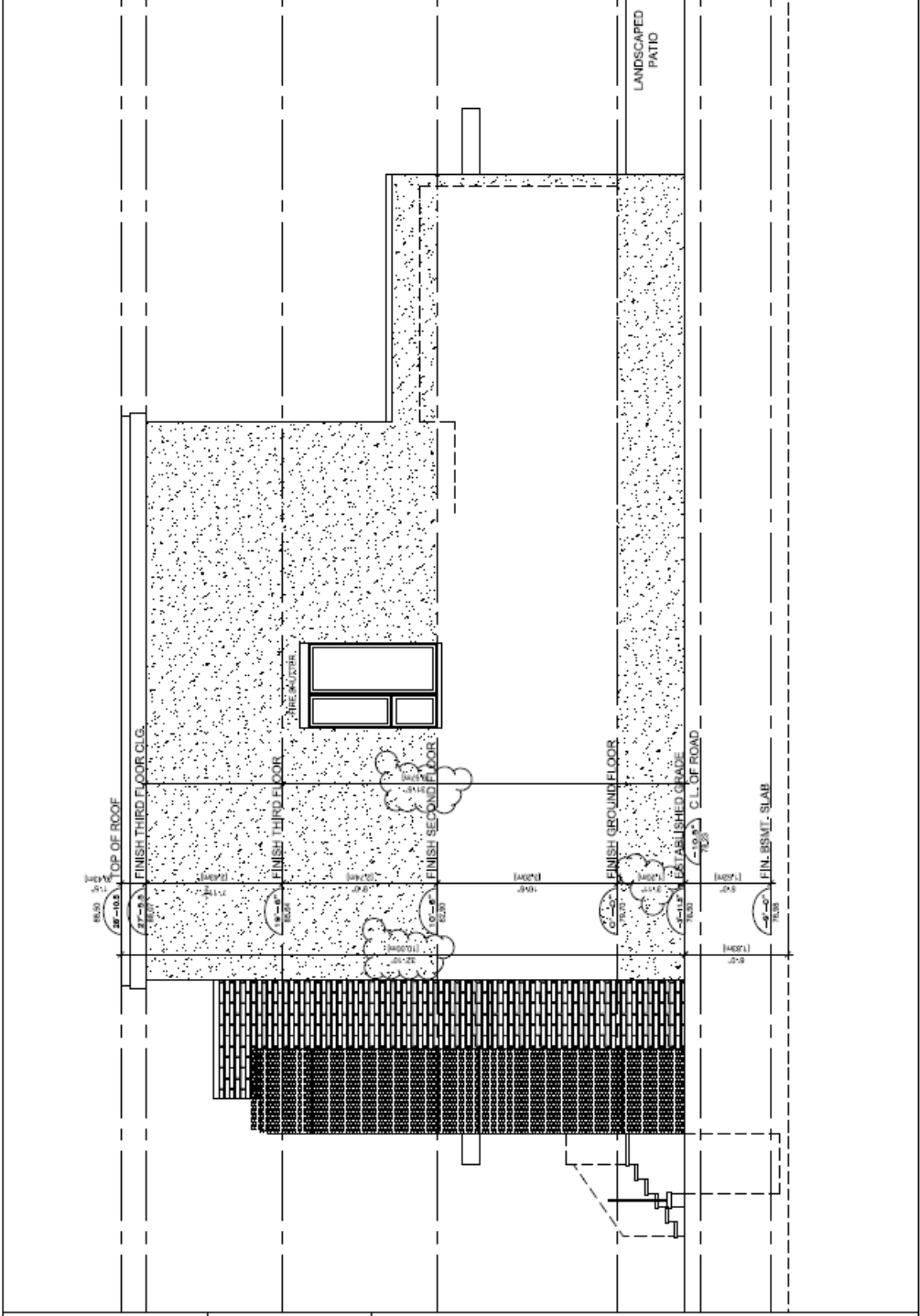
No.	REVISION
1.	ZONING JAN. 3, 2017
2.	ZONING July 27, 2017

PROJECT TITLE: PRIVATE RESIDENCE - 34 HASTINGS AVE.			
SHEET TITLE: FRONT (EAST) ELEV	SCALE: 3/16"=1'-0"	DRAWN BY: .	PROJECT NO: .
	DATE: JANUARY 3, 2017	CHECKED BY: .	DWG. NO: A9



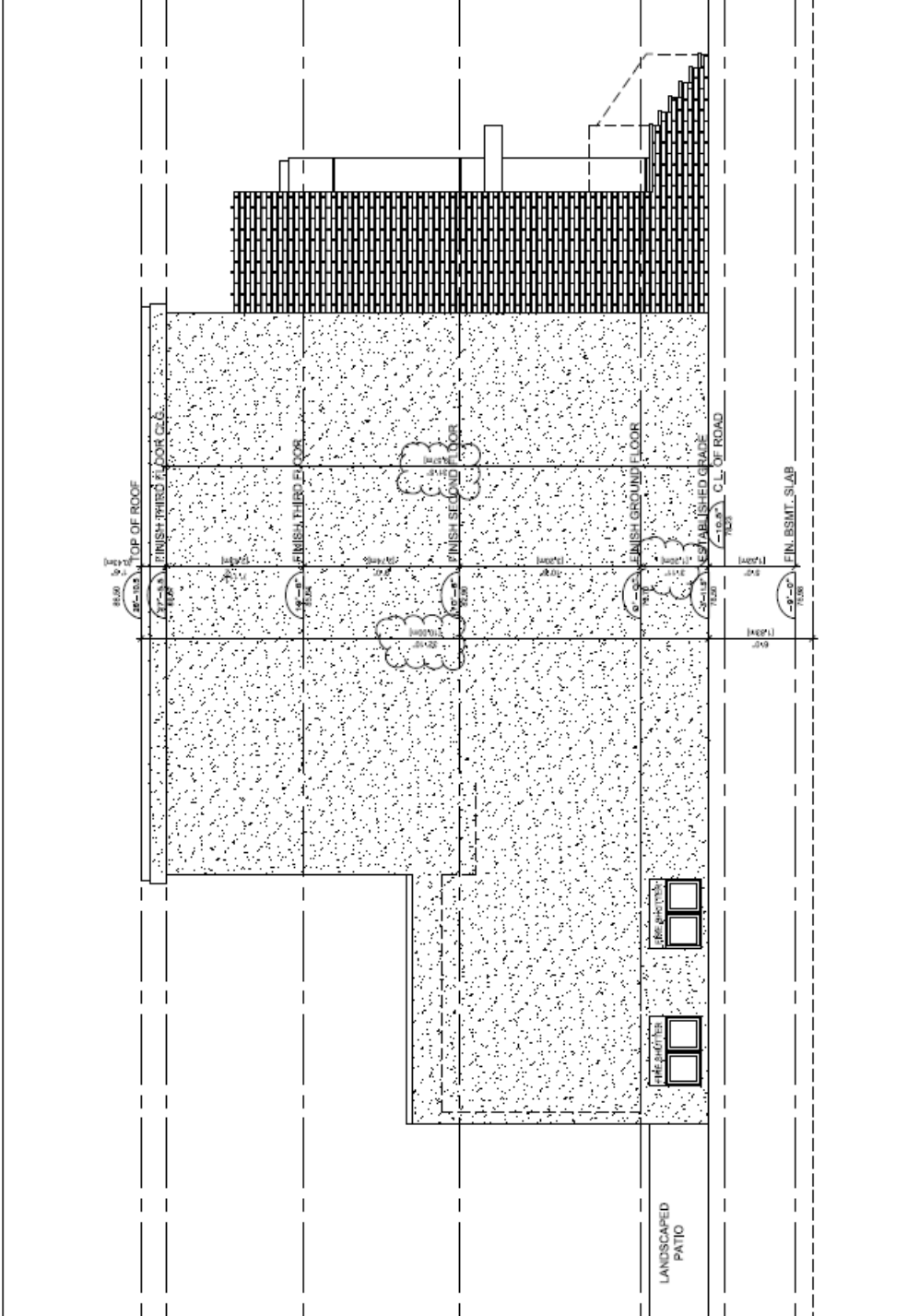
No.	REVISION
1	ZONING JAN. 3, 2017
2	ZONING July 27, 2017

PROJECT TITLE: PRIVATE RESIDENCE - 34 HASTINGS AVE.			
SHEET TITLE: REAR (WEST) ELEV	SCALE: 3/16"=1'-0"	DRAWN BY: .	PROJECT NO: .
	DATE: JANUARY 3, 2017	CHECKED BY: .	DWG. NO: A10



No.	REVISION
1	ZONING JAN. 3, 2017
2	ZONING July 27, 2017

PROJECT TITLE: PRIVATE RESIDENCE - 34 HASTINGS AVE.			
SHEET TITLE: SIDE(NORTH) ELEV.	SCALE: 3/16"=1'-0"	DRAWN BY:	PROJECT NO:
	DATE: JANUARY 3, 2017	CHECKED BY:	DWG. NO: <b>A11</b>



No.	REVISION
1	ZONING JAN. 3, 2017
2	ZONING July 27, 2017

PROJECT TITLE: PRIVATE RESIDENCE - 34 HASTINGS AVE.			
SHEET TITLE: SIDE(SOUTH) ELEV.	SCALE: 3/16"=1'-0"	DRAWN BY:	PROJECT NO:
	DATE: JANUARY 3, 2017	CHECKED BY:	DWG. NO: <b>A12</b>

**SIGNATURE PAGE**

File Number:	A0496/17TEY	Zoning	R & R2 (ZZC)
Owner(s):	SAM ATAEI	Ward:	Toronto-Danforth (30)
Agent:	TASBAZ AZADEH	Heritage:	Not Applicable
Property Address:	<b>34 HASTINGS AVE</b>	Community:	Toronto
Legal Description:	PLAN 366E LOT E		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

---

Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0497/17TEY	Zoning	RD (f15.0; d0.6) (x1438) & R1 Z0.6 (ZPR)
Owner(s):	BRYAN PATRICK HOAGE ANNE HOWARD BOWERS	Ward:	Toronto Centre-Rosedale (27)
Agent:	CRAIG CRANE	Heritage:	Designated
Property Address:	<b>51 GLEN RD</b>	Community:	Toronto
Legal Description:	PLAN 433 PT LOT 5		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2½-storey detached dwelling by constructing a rear one-storey addition with a south side terrace and a rear second floor terrace.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.20.40.20.(1), By-law 569-2013**  
The maximum permitted building length for a detached dwelling is 17 m.  
The altered dwelling will have a building length of 19.11 m.
- Chapter 10.20.40.30.(1), By-law 569-2013**  
The maximum permitted building depth for a detached dwelling is 19.0 m.  
The altered dwelling will have a depth of 19.51 m.
- Chapter 10.20.40.50.(1)(B), By-law 569-2013**  
The maximum permitted area of each platform at or above the second storey of a detached house is 4.0 m<sup>2</sup>.  
In this case, the rear platform at the second storey will have an area of 33.37 m<sup>2</sup>.
- Section 6(2)1.(iii)A, By-law 438-86**  
A converted house is a permitted use provided only one addition is erected either at the time of conversion or thereafter.  
In this case, the addition was previously erected and there will be another addition.
- Section 6(3) Part VI 1(V), By-law 438-86**  
Additions to the rear of a converted house are permitted provided the depth of the residential building, including the addition or additions, does not exceed 17.0 m.  
The altered dwelling will have a depth of 19.51 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.



## SIGNATURE PAGE

File Number:	A0497/17TEY	Zoning	RD (f15.0; d0.6) (x1438) & R1 Z0.6 (ZPR)
Owner(s):	BRYAN PATRICK HOAGE ANNE HOWARD BOWERS	Ward:	Toronto Centre-Rosedale (27)
Agent:	CRAIG CRANE	Heritage:	Designated
Property Address:	<b>51 GLEN RD</b>	Community:	Toronto
Legal Description:	PLAN 433 PT LOT 5		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0498/17TEY	Zoning:	RD (f9.0; d0.6)(x1335) & R1 Z0.6 (ZZC)
Owner(s):	ROCHELLE HOPE WAXMAN ROBERT LESLIE WAXMAN	Ward:	St. Paul's (21)
Agent:	ERIN WALSH	Heritage:	Not Applicable
Property Address:	<b>21 PARK HILL RD</b>	Community:	Toronto
Legal Description:	PLAN 1675 LOT 26 PT LOTS 25 54 AND 55 AND RP 63R3330 PART 2		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new 2½-storey detached dwelling with integral garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.20.(1), By-law 569-2013**  
The maximum permitted building length is 17.0 m.  
The new dwelling will have a building length equal to 17.89 m.
- 2. Chapter 10.20.40.40.(1), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (283.57 m<sup>2</sup>).  
The new dwelling will have a floor space index equal to 0.74 times the area of the lot (347.96 m<sup>2</sup>).
- 3. Chapter 10.20.40.70.(3)(B), By-law 569-2013**  
The minimum required side yard setback is 0.9 m.  
The new dwelling will be located 0.63 m from the south side lot line.
- 4. Chapter 200.5.10.1.(1), By-law 569-2013**  
The minimum required number of parking spaces is 1.  
In this case, 0 parking spaces will be provided.
- 1. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 0.6 times the area of the lot (283.57 m<sup>2</sup>).  
The new dwelling will have a gross floor area equal to 0.74 times the area of the lot (347.96 m<sup>2</sup>).

2. **Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback for the portion of the building exceeding 17.0 m in depth is 7.5 m.  
The new dwelling will be located 1.22 m to the north side lot line and 0.63 m to the south side lot line.
3. **Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback for the portion of the building not exceeding 17.0 m in depth where the side wall contains openings is 0.9 m  
The new dwelling will be located 0.63 m to the south side lot line.
4. **Section 6(3) Part II 3(II), By-law 438-86**  
The minimum required setback to the portion of the side wall of an adjacent building that contains openings is 1.2 m.  
The new dwelling will be located 0.9 m to the adjacent building.
5. **Section 4(4)(B), By-law 438-86**  
The minimum required number of parking spaces is 1.  
In this case, 0 parking spaces will be provided.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The driveway leading to the parking space located totally on private property shall be paved with semi-permeable paving materials to the satisfaction of the Manager, Right of Way Management, Transportation Services, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0498/17TEY	Zoning	RD (f9.0; d0.6)(x1335) & R1 Z0.6 (ZZC)
Owner(s):	ROCHELLE HOPE WAXMAN ROBERT LESLIE WAXMAN	Ward:	St. Paul's (21)
Agent:	ERIN WALSH	Heritage:	Not Applicable
Property Address:	<b>21 PARK HILL RD</b>	Community:	Toronto
Legal Description:	PLAN 1675 LOT 26 PT LOTS 25 54 AND 55 AND RP 63R3330 PART 2		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0499/17TEY	Zoning	RS (f10.5; a325; d0.75) (x312) & R2A (BLD)
Owner(s):	ALMAS MANJI MEHDI MANJI	Ward:	Beaches-East York (31)
Agent:	ROCK KIM	Heritage:	Not Applicable
Property Address:	<b>1330 WOODBINE AVE</b>	Community:	East York
Legal Description:	PLAN 2059 PT LOT 64 PT LOT 65		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing a rear two-storey addition and a rear detached carport.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.40.30.40.(1), By-law 569-2013**  
The maximum permitted lot coverage is 35% of the lot area (63.72 m<sup>2</sup>).  
The lot coverage will be equal to 47% of the lot area (85.65 m<sup>2</sup>).
- 2. Chapter 10.5.60.20.(2)(C), By-law 569-2013**  
The minimum required rear yard setback for ancillary buildings or structures is 0.3 m.  
The rear detached carport will be located 0 m from the west rear lot line.
- 3. Chapter 10.5.60.20.(3)(C)(iii), By-law 569-2013**  
The minimum required side yard setback for an ancillary building or structure located in the rear yard and 1.8 m or more from the residential building on the lot is 0.3 m.  
The rear detached carport will be located 0 m from the north and south side lot lines.
- 1. Section 5.6, By-law 6752**  
The minimum required setback of a carport from all lot lines is 0.45 m.  
The rear detached carport will be located 0 m from the north and south side lot lines and 0 m from the west rear lot line.
- 2. Section 7.5.3, By-law 6752**  
The maximum permitted lot coverage is 35% of the lot area (63.72 m<sup>2</sup>).  
The lot coverage will be equal to 47% of the lot area (85.65 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The lot coverage of the altered detached dwelling exclusive of any detached accessory structures shall be no greater than 39.5% of the lot area.



**SIGNATURE PAGE**

File Number:	A0499/17TEY	Zoning	RS (f10.5; a325; d0.75) (x312) & R2A (BLD)
Owner(s):	ALMAS MANJI MEHDI MANJI	Ward:	Beaches-East York (31)
Agent:	ROCK KIM	Heritage:	Not Applicable
Property Address:	<b>1330 WOODBINE AVE</b>	Community:	East York
Legal Description:	PLAN 2059 PT LOT 64 PT LOT 65		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Acting Deputy Secretary-Treasurer  
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City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0500/17TEY	Zoning	CR 2.5 (c1.0; r2.5) SS2 (x1579) & MCR T2.5 C1.0 R2.5 (WAIVER)
Owner(s):	PYMBO HOLDINGS INC.	Ward:	Toronto-Danforth (30)
Agent:	SCOTT MANICOM	Heritage:	Not Applicable
Property Address:	<b>1062 GERRARD ST E</b>	Community:	Toronto
Legal Description:	PLAN M105 BLK D PT LOT 1		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new bakery with a rear second storey patio for which approval from Minor Variance decision A0530/10TEY has expired.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**Section 40.10.20.100.(21)(D)(E), By-law 569-2013**

An outdoor patio must be set back at least 40.0 m from a lot in the Residential Zone category or Residential Apartment Zone category.

The rear patio will be located 25.6 from the residential zone to the north and will abut the residential zone to the west.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

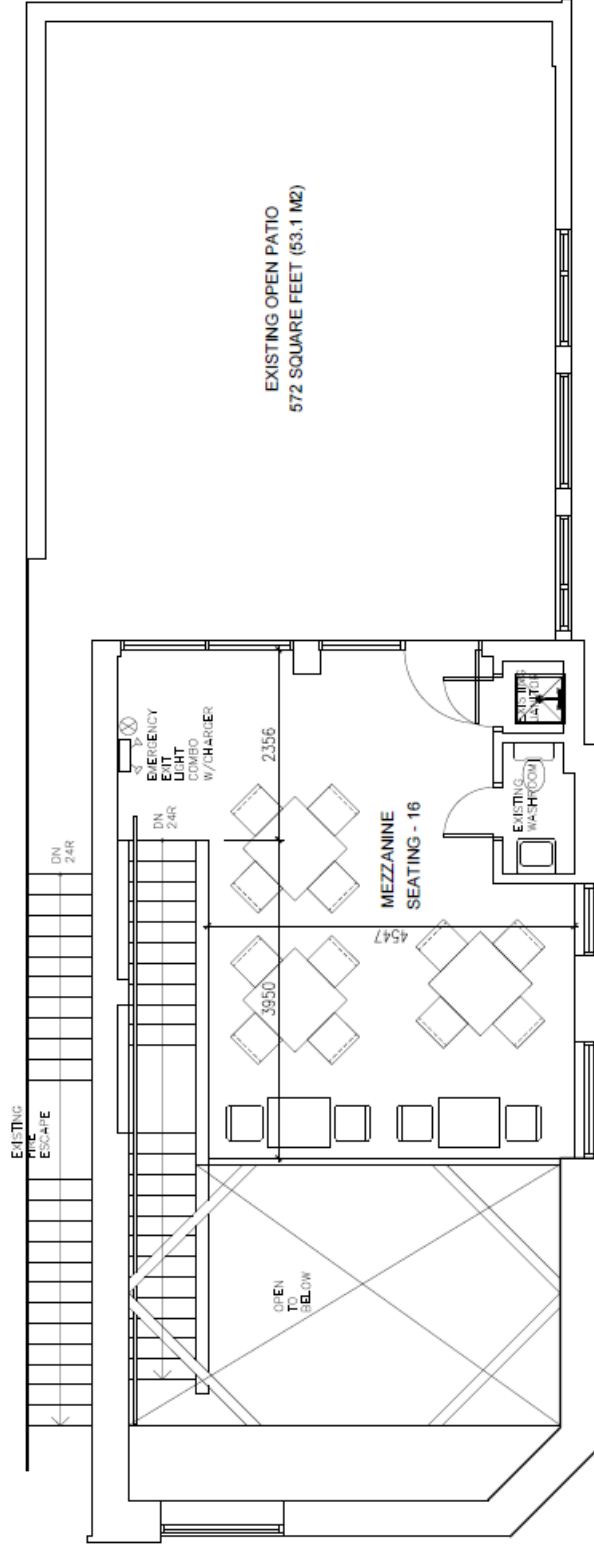
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The patio shall be located substantially in accordance as shown on the Existing Upper Level Plan as submitted to Committee of Adjustment on May 2, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
- (2) The maximum area of the patio as shown on the Existing Upper Level Plan shall not exceed 53.1 m<sup>2</sup>.
- (3) The operation of the patio (in conjunction with the commercial use) shall extend for a term of 2 years, expiring on or before August 23, 2019.
- (4) No music, artificial or amplified sound shall be permitted to be played on, or projected into the patio area.
- (5) The operating hours of the patio shall be restricted to 7:30 a.m. to 9:30 p.m., excepting on Friday and Saturday for which the operating hours of the patio will be restricted to 7:30 a.m. to 11:00 p.m.



**Brian Awde Architect Inc.**

628 Cummer Avenue North York  
Ontario M2K 2M8

Tel: (416) 226-5183 Fax: (416) 226-3266  
e-mail: brianawde@sympatico.ca



**EXISTING UPPER LEVEL PLAN**

MEZZANINE 381 SQUARE FEET (35.4 M2)

Scale: 1:50



**1062 GERRARD STREET EAST  
TORONTO ONTARIO**

**APPLICANT: SCOTT MANICOM**

**SIGNATURE PAGE**

File Number:	A0500/17TEY	Zoning	CR 2.5 (c1.0; r2.5) SS2 (x1579) & MCR T2.5 C1.0 R2.5 (WAIVER)
Owner(s):	PYMBO HOLDINGS INC.	Ward:	Toronto-Danforth (30)
Agent:	SCOTT MANICOM	Heritage:	Not Applicable
Property Address:	<b>1062 GERRARD ST E</b>	Community:	Toronto
Legal Description:	PLAN M105 BLK D PT LOT 1		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0501/17TEY	Zoning:	R (d1.0)(x516) & R3 Z1.0 (ZZC)
Owner(s):	NANCY JEAN COHEN ROBERT JOHN GALLANT	Ward:	Toronto Centre-Rosedale (28)
Agent:	ROBERT JOHN GALLANT	Heritage:	Listed
Property Address:	<b>382 BERKELEY ST</b>	Community:	Toronto
Legal Description:	PLAN D138 BLK C PT LOT 20		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey semi-detached dwelling by constructing a two-storey north side addition and a new rear detached garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.30.(1)(A), By-law 569-2013**

The maximum permitted building depth for a semi-detached dwelling is 17.0 m.  
The altered semi-dwelling will have a depth of 19.47 m.

**2. Chapter 10.10.60.20.(1)(A), By-law 569-2013**

The minimum required rear yard setback is 1.0 m.  
In this case, the new detached garage will be located 0.0 m from the rear lot line.

**3. Chapter 10.5.50.10.(3)(A), By-law 569-2013**

A minimum of 50% (45.53 m<sup>2</sup>) of the rear yard shall be maintained as soft landscaping.  
In this case, 24.93% (22.70 m<sup>2</sup>) of the rear yard will be maintained as soft landscaping.

**1. Section 4(14)(a)(i), By-law 438-86**

The minimum required setback for a building or structure from the centreline of a public lane is 2.5 m.  
The new detached garage will be located 2.44 m from the centreline of the public lane.

**2. Section 6(3) Part II 5(I), By-law 438-86**

The maximum permitted building depth is 14.0 m.  
The altered dwelling will have a depth of 19.88 m.



**3. Section 4(17)(b), By-law 438-86**

The minimum width of a parking space which gains access from a drive aisle of less than 6.0 m is 3.3 m.

In this case, the minimum width of a parking space will be 3.2 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0501/17TEY	Zoning	R (d1.0)(x516) & R3 Z1.0 (ZZC)
Owner(s):	NANCY JEAN COHEN ROBERT JOHN GALLANT	Ward:	Toronto Centre-Rosedale (28)
Agent:	ROBERT JOHN GALLANT	Heritage:	Listed
Property Address:	<b>382 BERKELEY ST</b>	Community:	Toronto
Legal Description:	PLAN D138 BLK C PT LOT 20		

**DISSENTED**

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Worrick Russell

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0502/17TEY	Zoning	R(d1.0)(x807) & R3 Z1.0 (ZPR)
Owner(s):	RAE L. BRAGER	Ward:	Toronto-Danforth (30)
Agent:	JAMES MOORE	Heritage:	Not Applicable
Property Address:	<b>130 BOOTH AVE</b>	Community:	Toronto
Legal Description:	PLAN 406E PT LOT 72		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 2 1/2-storey semi-detached dwelling by constructing a rear two-storey addition with a rear deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 1.0 times the area of the lot (150.5 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 1.07 times the area of the lot (161.52 m<sup>2</sup>).
- Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted residential gross floor area is 1.0 times the area of the lot (150.5 m<sup>2</sup>).  
The altered dwelling will have a residential gross floor area equal to 1.07 times the area of the lot (161.52 m<sup>2</sup>).
- Section 6(3) VI, By-law 438-86**  
The minimum required side lot line setback is 0.45 m, where the side wall contains no openings.  
The altered dwelling will be located 0.0 m from the east side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0502/17TEY	Zoning	R(d1.0)(x807) & R3 Z1.0 (ZPR)
Owner(s):	RAE L. BRAGER	Ward:	Toronto-Danforth (30)
Agent:	JAMES MOORE	Heritage:	Not Applicable
Property Address:	<b>130 BOOTH AVE</b>	Community:	Toronto
Legal Description:	PLAN 406E PT LOT 72		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
(Section 45 of the Planning Act)

File Number:	A0504/17TEY	Zoning	R(d0.6) & R2 Z0.5 (ZZC)
Owner(s):	JULIA JEVMEANOVA	Ward:	St. Paul's (21)
Agent:	RICHARD WENGLER	Heritage:	Not Applicable
Property Address:	<b>72 ALCINA AVE</b>	Community:	Toronto
Legal Description:	PLAN M54 LOT 143		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a three-storey detached dwelling with a garage in the rear yard.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.30.(1)(A), By-law 569-2013**  
The maximum permitted building depth for a detached house is 17.0 m.  
The building depth will be 17.70 m.
- 2. Chapter 10.10.40.40.(2)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.6 times the area of the lot (156.76 m<sup>2</sup>).  
The floor space index will be 0.92 times the area of the lot (241.06 m<sup>2</sup>).
- 3. Chapter 10.10.40.10.(2) (B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 9.5 m.  
The height of the side exterior main walls facing a side lot line will be 10.17 m.
- 1. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted floor space index is 0.6 times the area of the lot (156.76 m<sup>2</sup>).  
The floor space index will be 0.92 times the area of the lot (241.06 m<sup>2</sup>).
- 2. Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback is 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.  
The side lot line setback will be 0.47 m on the east side and 0.47 m on the west side.



**3. Section 6(3) Part II 8 F(IV), By-law 438-86,**

A roof over a first floor platform or terrace is allowed to project into the required setbacks provided the top of the roof is not used or designed to be used as a deck or terrace.

In this case, the roof is designed as a deck at the second floor (first floor roof).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0504/17TEY	Zoning	R(d0.6) & R2 Z0.5 (ZZC)
Owner(s):	JULIA JEVMEANOVA	Ward:	St. Paul's (21)
Agent:	RICHARD WENGLE	Heritage:	Not Applicable
Property Address:	<b>72 ALCINA AVE</b>	Community:	Toronto
Legal Description:	PLAN M54 LOT 143		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0505/17TEY	Zoning	RD (f9.0; d0.6)(x1397) & R1 Z0.6 (BLD)
Owner(s):	JENNIFER CHONG ANDREW CHONG	Ward:	Toronto Centre-Rosedale (27)
Agent:	ROCCO SCHIPANO	Heritage:	Not Applicable
Property Address:	<b>407 ST CLAIR AVE E</b>	Community:	Toronto
Legal Description:	PLAN 274 PT LOT 19		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey single family detached dwelling by constructing a front second floor addition, rear ground floor deck and secondary basement dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.70.(3)(B), By-law 569-2013**  
The minimum required side yard setback is 0.9 m.  
The altered dwelling will be located 0.2 m to the east side lot line measured from the rear deck.
- 2. Chapter 10.20.40.10.(4)(A), By-law 569-2013**  
The maximum permitted height is 7.2 m.  
The altered dwelling will have a height equal to 8.39 m.
- 3. Chapter 10.5.50.10.(3)(A), By-law 569-2013**  
A minimum of 50% of the rear yard shall be maintained as soft landscaping (80.56 m<sup>2</sup>).  
In this case, 20.2% of the rear yard will be maintained as soft landscaping (32.65 m<sup>2</sup>).
- 1. Section 6(2) Part 1(iii), By-law 438-86**  
A converted house is permitted provided that there is no exterior alteration of or addition to the front wall of the house.  
In this case, the addition will be to the front wall of the house.

**2. Section 6(3), Part II 3.B(II), By-law 438-86**

The minimum required side lot line setback for the portion of the building exceeding 17.0 m in depth is 7.5 m.

The altered dwelling will be located 3.15 m to the west side lot line and 0.2 m to the east side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The portion of the new driveway located behind the rear main wall of the dwelling (excluding the shared right-of-way) shall be constructed with a permeable surface.

**SIGNATURE PAGE**

File Number:	A0505/17TEY	Zoning	RD (f9.0; d0.6)(x1397) & R1 Z0.6 (BLD)
Owner(s):	JENNIFER CHONG ANDREW CHONG	Ward:	Toronto Centre-Rosedale (27)
Agent:	ROCCO SCHIPANO	Heritage:	Not Applicable
Property Address:	<b>407 ST CLAIR AVE E</b>	Community:	Toronto
Legal Description:	PLAN 274 PT LOT 19		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0506/17TEY	Zoning:	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	JEREMY EVANSON MARLENE TAYLOR	Ward:	Beaches-East York (32)
Agent:	MARLENE TAYLOR	Heritage:	Not Applicable
Property Address:	<b>189 WILLOW AVE</b>	Community:	Toronto
Legal Description:	PLAN 1064 PT LOT 60		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a front and rear ground floor addition including a covered porch and a rear patio, a rear second storey addition, and a complete third storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 10.10.40.10.(1)(A), By-law 569-2013**  
The maximum permitted building height is 10 m.  
The altered detached dwelling will have a height of 10.414 m.
- Chapter 10.10.40.10.(2)(B)(ii), By-law 569-2013**  
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.  
The height of the side exterior main walls facing a side lot line will be 9.3 m.
- Chapter 10.5.40.60.(7), By-law 569-2013**  
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.  
The roof eaves will be located 0.23 m from the south side lot line.
- Chapter 10.10.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (145.32 m<sup>2</sup>).  
The altered detached dwelling will have a floor space index equal to 0.73 times the area of the lot (177.8 m<sup>2</sup>).
- Chapter 10.10.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 8.87 m.  
The altered detached dwelling will be located 6.98 m from the west front lot line.



6. **Chapter 10.10.40.70.(3)(A)(i), By-law 569-2013**  
The minimum required side yard setback is 0.9 m.  
The altered detached dwelling will be located 0.37 m from the south side lot line.
1. **Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (145.32 m<sup>2</sup>).  
The altered detached dwelling will have a gross floor area equal to 0.73 times the area of the lot (177.8 m<sup>2</sup>).
2. **Section 6(3) Part II 2(II), By-law 438-86**  
The minimum required front yard setback is 8.76 m.  
The altered detached dwelling will be located 6.98 m from the west front lot line.
3. **Section 6(3) Part II 3(II), By-law 438-86**  
The minimum required setback from the side wall of an adjacent building that contains openings is 1.2 m.  
The altered detached dwelling will be located 0.67 m from the side wall of the south adjacent building, 187 Willow Avenue.
4. **Section 6(3) Part II 3.B(II), By-law 438-86**  
The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.  
The portion of the detached dwelling not exceeding a depth of 17 m will be located 0.75 m from the north side lot line and 0.37 m from the south side lot line.
5. **Section 6(3) Part II 8 E, By-law 438-86**  
An uncovered platform is permitted to project into the required setbacks provided it does not extend beyond the side walls of the building.  
In this case, the rear patio will extend beyond the side walls as projected.
6. **Section 4(2)(a), By-law 438-86**  
The maximum permitted building height is 10 m.  
The altered detached dwelling will have a height of 10.414 m

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

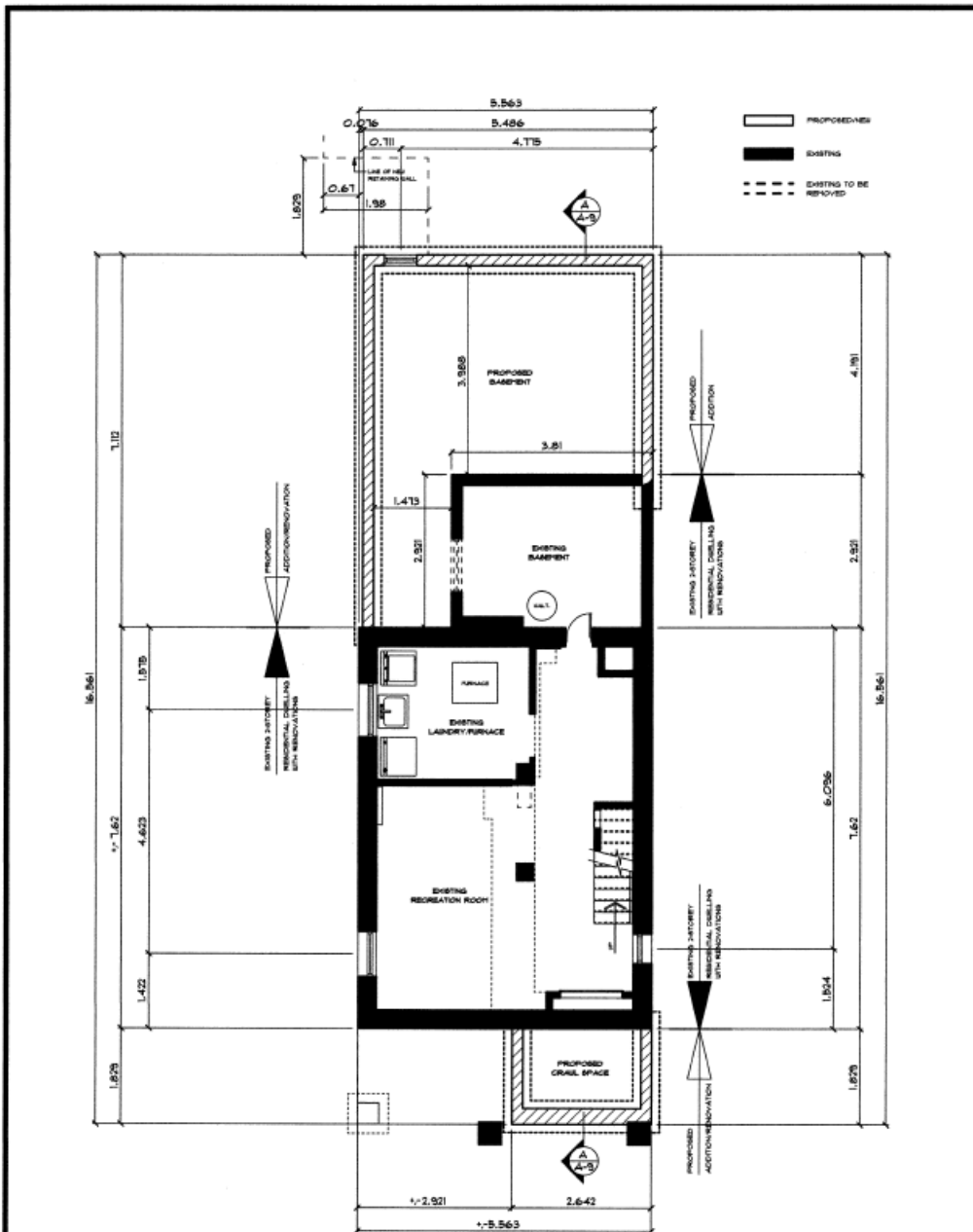
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (3) The owner shall remove the proposed crawl space from drawing A-1, Basement Floor Plan, received by Committee of Adjustment on May 9, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.



1  
A-1 **EXISTING BASEMENT FLOOR PLAN**  
WITH PROPOSED ADDITION & RENOVATION

**PRELIMINARY DRAFT**  
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No.	DATE	DESCRIPTION	BY	CLIENT:	DRAWING TITLE:	BUILDING No.
1.	04/24/17	ISSUED FOR MINOR VARIANCE APPLICATION	M.T.	Edison Designs Industrial Land Development Consulting	BASEMENT FLOOR PLAN	
<small>DO NOT SCALE DRAWINGS ALL DIMENSIONS MUST BE CHECKED AND VERIFIED BY THE CONTRACTOR BUILDING AND ENGINEERING COMPANIES SHALL BE REPORTED TO EDISON DESIGNS PRIOR TO CONSTRUCTION AND SHALL BE RECEIVED BY EDISON DESIGNS PRIOR TO CONSTRUCTION. CHANGING CONTRACTOR/CONSULTANT ASSUMES TOTAL LIABILITY AND RESPONSIBILITY. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR/ENGINEER OR SUB-CONTRACTORS PROCEED WITH ANY CONSTRUCTION WORK UNLESS THEY HAVE RECEIVED WRITTEN APPROVAL FROM EDISON DESIGNS.</small>				<b>PROJECT:</b> PROPOSED ADDITION/RENOVATION 188 WILLOW AVENUE, TORONTO, ONTARIO	<b>DRAWN BY:</b> G.A. <b>SCALE:</b> 1:75 <b>CHECKED BY:</b> DATE OCTOBER 2016	<b>PROJECT No.:</b> 16-070437 <b>DRAWING No.:</b> A-1

**SIGNATURE PAGE**

File Number:	A0506/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZZC)
Owner(s):	JEREMY EVANSON MARLENE TAYLOR	Ward:	Beaches-East York (32)
Agent:	MARLENE TAYLOR	Heritage:	Not Applicable
Property Address:	<b>189 WILLOW AVE</b>	Community:	Toronto
Legal Description:	PLAN 1064 PT LOT 60		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0507/17TEY	Zoning	R(2.5)(x886) & R3 Z2.5 (ZPR)
Owner(s):	15217476 ONTARIO INC	Ward:	Toronto Centre-Rosedale (27)
Agent:	TONY LIEU	Heritage:	Not Applicable
Property Address:	<b>25 WELLESLEY ST E</b>	Community:	Toronto
Legal Description:	PLAN D235 PT LOTS 3 TO 5 RP 66R14886 PARTS 2 TO 5		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a two-storey front addition to the existing restaurant located in a nine-storey mixed-use building.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Chapter 900.2.10.(886)(B), By-law 569-2013**  
The minimum required front yard setback is 6.0 m.  
The addition will be located **1.36 m** from the front lot line.
- Chapter 900.2.10.(886) 2.(5), By-law 569-2013**  
No part of "Building B" may be located otherwise than wholly within the area delineated by heavy lines.  
The addition will be located beyond the heavy lines.
- Chapter 900.2.10.(886) 2.(6), By-law 569-2013**  
No part, except for privacy screens on balconies, of "Building B" erected above grade and located within 8.23 metres of the northerly lot line shall project beyond a 60 degree vertical angular plane constructed over the lot measured at right angles to the northerly lot line at grade or if such lot line is curved measured perpendicular to the tangents of all points of such lot line.  
The addition will encroach within the required angular plane.
- Chapter 900.2.10.(886) 2.(11), By-law 569-2013**  
The maximum permitted commercial gross floor area is 362.3 m<sup>2</sup>.  
The altered restaurant will have a commercial gross floor area equal to 537.8 m<sup>2</sup>.

**1. Section 13 2.(5), By-law 438-86**

No part of "Building B" may be located otherwise than wholly within the area delineated by heavy lines.

The addition will be located beyond the heavy lines.

**2. Section 13 2.(6), By-law 438-86**

No part, except for privacy screens on balconies, of "Building B" erected above grade and located within 8.23 metres of the northerly lot line shall project beyond a 60 degree vertical angular plane constructed over the lot measured at right angles to the northerly lot line at grade or if such lot line is curved measured perpendicular to the tangents of all points of such lot line.

The addition will encroach within the required angular plane.

**3. Section 13 2.(11), By-law 438-86**

The maximum permitted commercial gross floor area is 362.3 m<sup>2</sup>.

The altered restaurant will have a commercial gross floor area equal to 537.8 m<sup>2</sup>.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0507/17TEY	Zoning	R(2.5)(x886) & R3 Z2.5 (ZPR)
Owner(s):	15217476 ONTARIO INC	Ward:	Toronto Centre-Rosedale (27)
Agent:	TONY LIEU	Heritage:	Not Applicable
Property Address:	<b>25 WELLESLEY ST E</b>	Community:	Toronto
Legal Description:	PLAN D235 PT LOTS 3 TO 5 RP 66R14886 PARTS 2 TO 5		

**ABSENT**

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Worrick Russell

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

### **38. 10 ROSEDALE RD**

File Number:	A0508/17TEY	Zoning	RD (f15.0;d0.6)(1435) & R1 Z0.6 (ZZC)
Owner(s):	RICHARD CRENIAN SOPHIA KONDOS	Ward:	Toronto Centre-Rosedale (27)
Agent:	TAYLOR OHLSSON	Heritage:	Designated
Property Address:	<b>10 ROSEDALE RD</b>	Community:	Toronto
Legal Description:	PL M 181 PT BLK A		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

#### **PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a rear three-storey addition and a new front covered platform with a terrace above.

#### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.5.40.60.(1)(A)(i), By-law 569-2013**  
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor above established grade and located in the front yard, is required to be located 3.0 m from the north side lot line.  
The front platform will be located 2.73 m from the north side lot line.
- 2. Chapter 10.5.40.60.(2)(B), By-law 569-2013**  
A canopy located in the front yard is permitted, provided it is located no closer than 3.0 m from the north side lot line.  
The front canopy will be located 2.43 m from the north side lot line.
- 3. Chapter 10.5.60.30.(1), By-law 569-2013**  
An ancillary building or structure is required to be setback 1.8 m from a residential building on the same lot.  
The setback between the ancillary building and the residential building on the same lot will be 1.13 m.
- 4. Chapter 10.20.40.10.(1)(A), By-law 569-2013**  
The maximum permitted height of a building or structure is 10.0 m.  
The altered dwelling will have a building height of 11.10 m, measured from established grade to the top of the skylight.
- 5. Chapter 10.20.40.30.(1)(A)(ii), By-law 569-2013**  
The maximum permitted height of all rear exterior main walls is 7.5 m.  
The height of the rear main wall will be 10.85 m, measured from established grade.
- 6. Chapter 10.20.40.30.(1), By-law 569-2013**  
The maximum permitted building depth for a detached house is 19.0m.  
The altered dwelling will have a building depth of 19.52 m.

- 7. Chapter 10.20.40.50.(1)(B), By-law 569-2013**  
The maximum permitted area of each platform at or above the second-storey of a detached house 4.0 m<sup>2</sup>.  
The front second-storey platform will have an area of 18.33 m<sup>2</sup> and the rear third-storey platform will have an area of 6.50 m<sup>2</sup>.
- 8. Chapter 900.3.10.(1435)(E)(i), By-law 569-2013**  
Additions to the rear of a detached house, erected before October 15, 1953, are permitted provided the floor space index as enlarged does not 0.69 times the area of the lot (318.09 m<sup>2</sup>).  
The altered house will have a floor space index equal to 0.81 times the area of the lot (374.6 m<sup>2</sup>).
- 9. Chapter 900.3.10.(1435)(E)(iii), By-law 569-2013**  
Additions to the rear of a detached house erected before October 15, 1953, are permitted provided no part of an addition is closer to the side lot line than the side wall of the existing building is from the side lot line 2.5 m on the south side.  
The altered house will be located 1.73 m from the south side lot line.
- 10. Chapter 900.4.10.(1435)(F), By-law 569-2013**  
In a front or rear yard, a platform with a floor level higher than the first floor of the building above established grade may not encroach into the required yard setback.  
The front second floor platform will encroach 0.26 m into the north side yard setback.
- 1. Section 6(3) Part II 7 (III), By-law 438-86**  
A private garage is required to be setback a minimum of 1.5 m from the main building.  
The existing private garage will be located 1.13 m from the main building.
- 2. Section 6(3) Part II 8 D, By-law 438-86**  
The maximum permitted projection into the required setback for a platform is 2.5 m from the front or rear wall.  
The front first floor platform will project 2.70 m from the front wall.
- 3. Section 6(3) Part II 8 F, By-law 438-86**  
A roof over a first floor platform or terrace is permitted to project into the required setback to a maximum of 2.5 m from the front wall.  
The roof above the front platform will project 2.9 m from the front wall.
- 4. Section 6(3) Part II 8 F(IV), By-law 438-86**  
A roof over a first floor platform or terrace is permitted to project into the required setback provided the top of the roof is not used or designed to be used as a deck or terrace.  
In this case, the roof above the first floor platform is designed to be used as a deck/terrace.
- 5. Section 6(3) Part VI 1(I), By-law 438-86**  
Additions to the rear of a detached house erected before October 15, 1953, or to a converted house are permitted provided the residential gross floor area as enlarged does not exceed 0.69 times the area of the lot (318.09 m<sup>2</sup>).  
The altered house will have a residential gross floor area equal to 0.81 times the area of the lot (374.6 m<sup>2</sup>).

- 6. Section 6(3) Part VI 1(IV), By-law 438-86**  
Additions to the rear of a detached house erected before October 15, 1953, are permitted provided no part of an addition is closer to the side lot line than the side wall of the existing building is from the side lot line 2.5 m on the south side.  
The altered house will be located 1.73 m from the south side lot line.
- 7. Section 6(3) Part VI 1(V), By-law 438-86**  
Additions to the rear of a detached house erected before October 15, 1953, are permitted provided the depth of the residential building including the addition or additions does not exceed 17.0 m.  
The altered house will have a residential building depth of 19.52 m.
- 8. Section 6(3) Part VI 1(VII), By-law 438-86**  
Additions to the rear of a detached house erected before October 15, 1953, are permitted provided the height of the addition or additions does not exceed 10.0 m.  
The height of the addition will be 10.44 m, measured to the top of the skylight from the average elevation along the side lot lines.

### **MOTION**

It was moved by Ewa Modlinska, seconded by Worrick Russell and carried unanimously that the application be **deferred, for a maximum of 3 to 6 months**. The deferral would provide the applicant with an opportunity to consult with area residents and City Planning staff. The applicant would be required to pay the minimum deferral fee prior to being rescheduled for public hearing by the Committee of Adjustment Toronto & East York, **Panel A**.



**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0509/17TEY	Zoning:	R1 Z0.6 (ZZC)
Owner(s):	PAUL WILLIAM HORNE	Ward:	Toronto Centre-Rosedale (28)
Agent:	DANIEL HALL	Heritage:	Not Applicable
Property Address:	<b>18 FOURTH ST</b>	Community:	Toronto
Legal Description:	PT WARDS ISLAND RP 64R14622 PART 110		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing one-storey detached dwelling by constructing a rear one-storey addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 12(2) 295(i), By-law 438-86**  
The minimum required side yard setback is 1.8 m.  
The altered dwelling will be located 1.52 m from the west side lot line.
- Section 12(2) 295(j), By-law 438-86**  
The minimum required rear yard setback is 1.2 m.  
The altered dwelling will be located 0.48 m from the south rear lot line.
- Section 12(2) 295,(n) By-law 438-86**  
The maximum permitted depth of a detached dwelling is 11 m.  
The altered dwelling will have a depth of 12.43 m.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0509/17TEY	Zoning	R1 Z0.6 (ZZC)
Owner(s):	PAUL WILLIAM HORNE	Ward:	Toronto Centre-Rosedale (28)
Agent:	DANIEL HALL	Heritage:	Not Applicable
Property Address:	<b>18 FOURTH ST</b>	Community:	Toronto
Legal Description:	PT WARDS ISLAND RP 64R14622 PART 110		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0511/17TEY	Zoning	RD (0.35)(x961) & R1 Z0.35 (ZZC)
Owner(s):	SARAH DAVIDSON CHARLES TINGLEY	Ward:	Toronto-Danforth (29)
Agent:	DAVID LANG	Heritage:	Not Applicable
Property Address:	<b>75 ELLERBECK ST</b>	Community:	Toronto
Legal Description:	PLAN 469E PT LOTS 16 & 17		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing two-storey detached dwelling by constructing a third floor.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.20.40.10.(4)(A), By-law 569-2013**  
The maximum permitted building height is 7.2 m.  
The altered dwelling will have a building height of 10.0 m.
- 2. Chapter 10.20.40.10.(4)(C), By-law 569-2013**  
The maximum permitted number of storeys is two.  
The altered dwelling will have three storeys.
- 3. Chapter 10.20.40.40.(1)(A), By-law 569-2013**  
The maximum permitted floor space index is 0.35 times the area of the lot (92.65 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.81 times the area of the lot (214.61 m<sup>2</sup>).
- 1. Section 6(3) Part I 1, By-law 438-86**  
The maximum permitted gross floor area is 0.35 times the area of the lot (92.65 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.81 times the area of the lot (214.61 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0511/17TEY	Zoning	RD (0.35)(x961) & R1 Z0.35 (ZZC)
Owner(s):	SARAH DAVIDSON CHARLES TINGLEY	Ward:	Toronto-Danforth (29)
Agent:	DAVID LANG	Heritage:	Not Applicable
Property Address:	<b>75 ELLERBECK ST</b>	Community:	Toronto
Legal Description:	PLAN 469E PT LOTS 16 & 17		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

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### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A0515/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZPR)
Owner(s):	ROBERT SPEKTOR	Ward:	Beaches-East York (32)
Agent:	ROBERT SPEKTOR	Heritage:	Not Applicable
Property Address:	<b>171 WILLOW AVE</b>	Community:	Toronto
Legal Description:	PLAN 1064 PT LOT 65		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing one-storey detached dwelling by constructing a second and third storey addition, a rear two-storey addition, a rear ground floor deck, and a rear third floor terrace.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

**1. Chapter 10.10.40.10.(2)(A), By-law 569-2013**

The maximum permitted height of all front and rear exterior main walls is 7.5 m.  
The height of the front and rear exterior main walls will be **9.03 m**.

**2. Chapter 10.10.40.40.(1)(A), By-law 569-2013**

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (164.52 m<sup>2</sup>).  
The altered dwelling will have a floor space index equal to 0.78 times the area of the lot (214.63 m<sup>2</sup>).

**1. Section 6(3) Part I 1, By-law 438-86**

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (164.52 m<sup>2</sup>).  
The altered dwelling will have a gross floor area equal to 0.78 times the area of the lot (214.63 m<sup>2</sup>).

**2. Section 6(3) Part II 3.B(I), By-law 438-86**

The minimum required side lot line setback for a detached dwelling is 0.45 m for a depth not exceeding 17.0 m and where the side walls contain no openings.  
The altered dwelling will be located 0.32 m from the north side lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.

**SIGNATURE PAGE**

File Number:	A0515/17TEY	Zoning	R (d0.6) & R2 Z0.6 (ZPR)
Owner(s):	ROBERT SPEKTOR	Ward:	Beaches-East York (32)
Agent:	ROBERT SPEKTOR	Heritage:	Not Applicable
Property Address:	<b>171 WILLOW AVE</b>	Community:	Toronto
Legal Description:	PLAN 1064 PT LOT 65		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

**DISSENTED**

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Ewa Modlinska

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0528/17TEY	Zoning	MCR T3.0 C2.0 R2.5 & Site-Specific By-law 161- 2006 (Waiver)
Owner(s):	JACOB'S TENT INVESTMENT INC	Ward:	Beaches-East York (32)
Agent:	CRAIG HUNTER	Heritage:	Not Applicable
Property Address:	<b>2575 DANFORTH AVE</b>	Community:	Toronto
Legal Description:	CON 1 FB PT LOT 3 RP 64R14519 PART 1		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing 22-storey mixed-use Building B containing ground floor commercial uses, by constructing a front and east side one-storey commercial addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

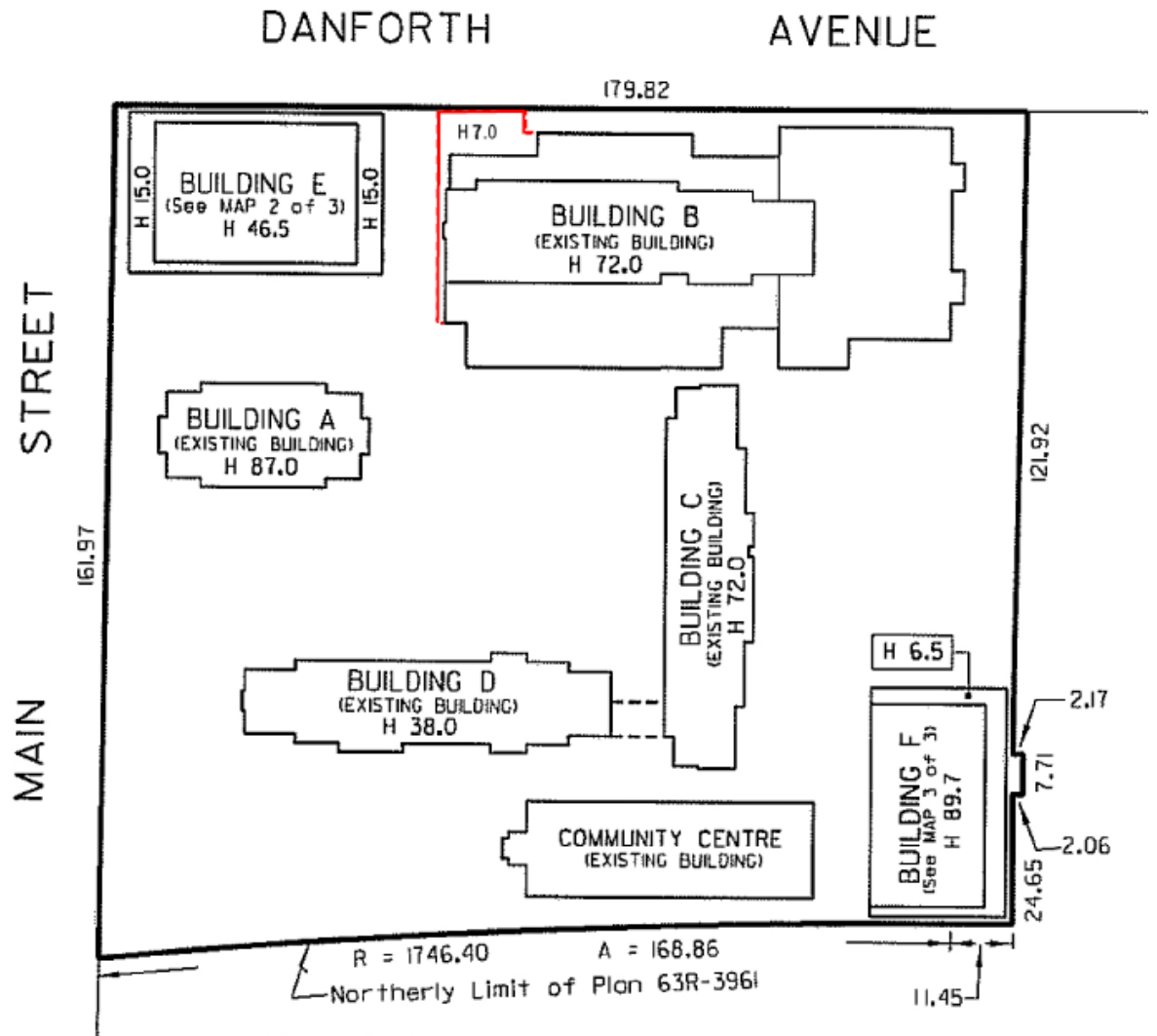
**Section 1(f), Site-Specific By-law 161-2006**




No portion of any building shall be located otherwise than wholly within the building envelopes as shown on Map 1 of By-law 161-2006, with the exclusion of the proposed new garbage facility, any elevated landscaped open space (including the outdoor daycare space), future canopies and awnings, and any required exit stairs.

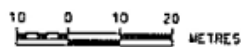
In this case, Building B will be located outside the building envelope as shown on the attached Revised Map 1.

# By-law 161-2006

## Revised Map 1



-  LANDS REFERRED TO IN SECTION 12(1)396  
(Nos. 2575 and 2625 Danforth Avenue)
-  EXISTING BRIDGE
-  BUILDING ENVELOPES
- H: DENOTES MAXIMUM HEIGHT IN METRES ABOVE GRADE



TECHNICAL SERVICES  
SURVEY AND MAPPING SERVICES  
TORONTO    JANUARY 2006  
SECTION/5121396A.DGN  
FILES: 02-22, 2402.53-3  
MAP No. 54H-323    DRAWN: VG

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**SIGNATURE PAGE**

File Number:	A0528/17TEY	Zoning	MCR T3.0 C2.0 R2.5 & Site-Specific By-law 161- 2006 (Waiver)
Owner(s):	JACOB'S TENT INVESTMENT INC	Ward:	Beaches-East York (32)
Agent:	CRAIG HUNTER	Heritage:	Not Applicable
Property Address:	<b>2575 DANFORTH AVE</b>	Community:	Toronto
Legal Description:	CON 1 FB PT LOT 3 RP 64R14519 PART 1		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0530/17TEY	Zoning:	RM (f12.0;u2;d0.8)(x252) & R2 (ZZC)
Owner(s):	JAIME SHEDLETSKY	Ward:	St. Paul's (21)
Agent:	CORY BALBOUL	Heritage:	Not Applicable
Property Address:	<b>521 ATLAS AVE</b>	Community:	York
Legal Description:	PLAN 2339 S PT LOT 52 N PT LOT 53		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new three-storey detached dwelling with an integral garage.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.80.40.10.(4), By-law 569-2013**  
The maximum permitted height of the first floor above established grade is 1.2 m.  
The height of the first floor above established grade is 1.4 m.
- 2. Chapter 10.80.40.50.(1)(A), By-law 569-2013**  
The maximum number of platforms at or above the second-storey located on the rear wall of a detached house is one.  
In this case, there are two platforms located on the rear wall.
- 3. Chapter 10.80.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback for a detached house is 1.2 m.  
The new detached dwelling will be located 0.6 m from the north and south side yard lot line.
- 4. Chapter 200.5.1.10.(2)(A)(i), By-law 569-2013**  
The minimum required parking space width is 3.2 m measured in width.  
The parking space will have a width of 3.06 m in width, inside the integral garage.
- 1. Section 3(a), By-law 3623-97**  
The minimum required side yard setback for a detached house is 1.2 m.  
The new detached dwelling will be located 0.6 m from the north and south side yard lot line.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) The owner shall submit plans and a report prepared by a licensed professional engineer demonstrating that drainage from the area will not lead to flooding and meets the Reverse Slope Driveway Guideline outlined in the Design Criteria for Sewer and Watermains, November 2009 and obtain approval from General Manager, Toronto Water for the proposal.
- (2) The owner shall enter into a legal agreement with the City of Toronto in order to indemnify the City against any loss or damage that may result from basement flooding caused by the below grade garage and furthermore, the Owner shall agree that it will not commence any legal action against the City as a result of any damage caused by basement flooding as a result of the reverse grade driveway. This agreement shall be registered on title to the property in perpetuity, to the satisfaction of the City Solicitor.
- (3) The owner shall submit confirmation from the General Manager, Toronto Water, that Condition Nos. 1 and 2 above have been satisfied.

**SIGNATURE PAGE**

File Number:	A0530/17TEY	Zoning	RM (f12.0;u2;d0.8)(x252) & R2 (ZZC)
Owner(s):	JAIME SHEDLETSKY	Ward:	St. Paul's (21)
Agent:	CORY BALBOUL	Heritage:	Not Applicable
Property Address:	<b>521 ATLAS AVE</b>	Community:	York
Legal Description:	PLAN 2339 S PT LOT 52 N PT LOT 53		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District



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**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

File Number:	A0540/17TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	SARAH ANN DITTMAR HERMAN DITTMAR	Ward:	Toronto-Danforth (30)
Agent:	STUART WATSON	Heritage:	Not Applicable
Property Address:	<b>60 SIMPSON AVE</b>	Community:	Toronto
Legal Description:	PLAN M95 LOT 28		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a two-storey rear addition, interior alterations, a basement walkout; and, convert the third floor to an attic space.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.10.40.30.(1), By-law 569-2013**  
The maximum permitted building depth of a dwelling is 17.0 m.  
The building depth will be 17.71 m.
- 2. Chapter 10.10.40.40.(2), By-law 569-2013**  
The maximum permitted floor space index of a detached dwelling erected prior to October 15, 1953 is 0.69 times the area of the lot (183.47 m<sup>2</sup>).  
The floor space index of the altered dwelling will be 0.84 times the area of the lot (223.01 m<sup>2</sup>).
- 1. Section 6(3) Part II 5(II), By-law 438-86**  
The maximum permitted building depth of a dwelling is 17.0 m.  
The building depth will be 17.71 m.
- 2. Section 6(3) Part VI 1(I), By-law 438-86**  
The maximum permitted residential gross floor area of a detached dwelling erected prior to October 15, 1953 is 0.69 times the area of the lot (183.47 m<sup>2</sup>).  
The residential gross floor area of the altered dwelling will be 0.84 times the area of the lot (223.01 m<sup>2</sup>).

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

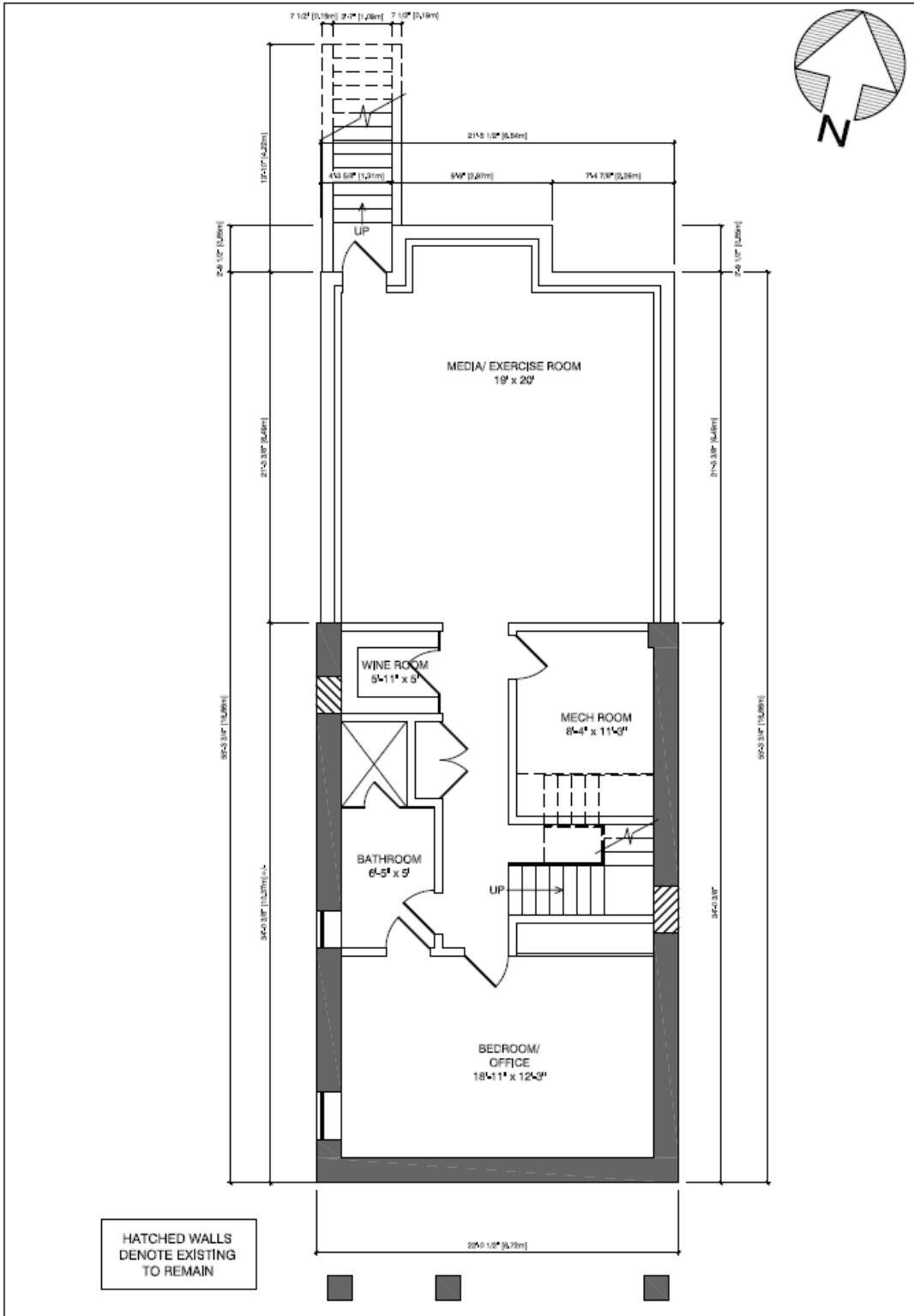
**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

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- The general intent and purpose of the Zoning By-law is maintained.
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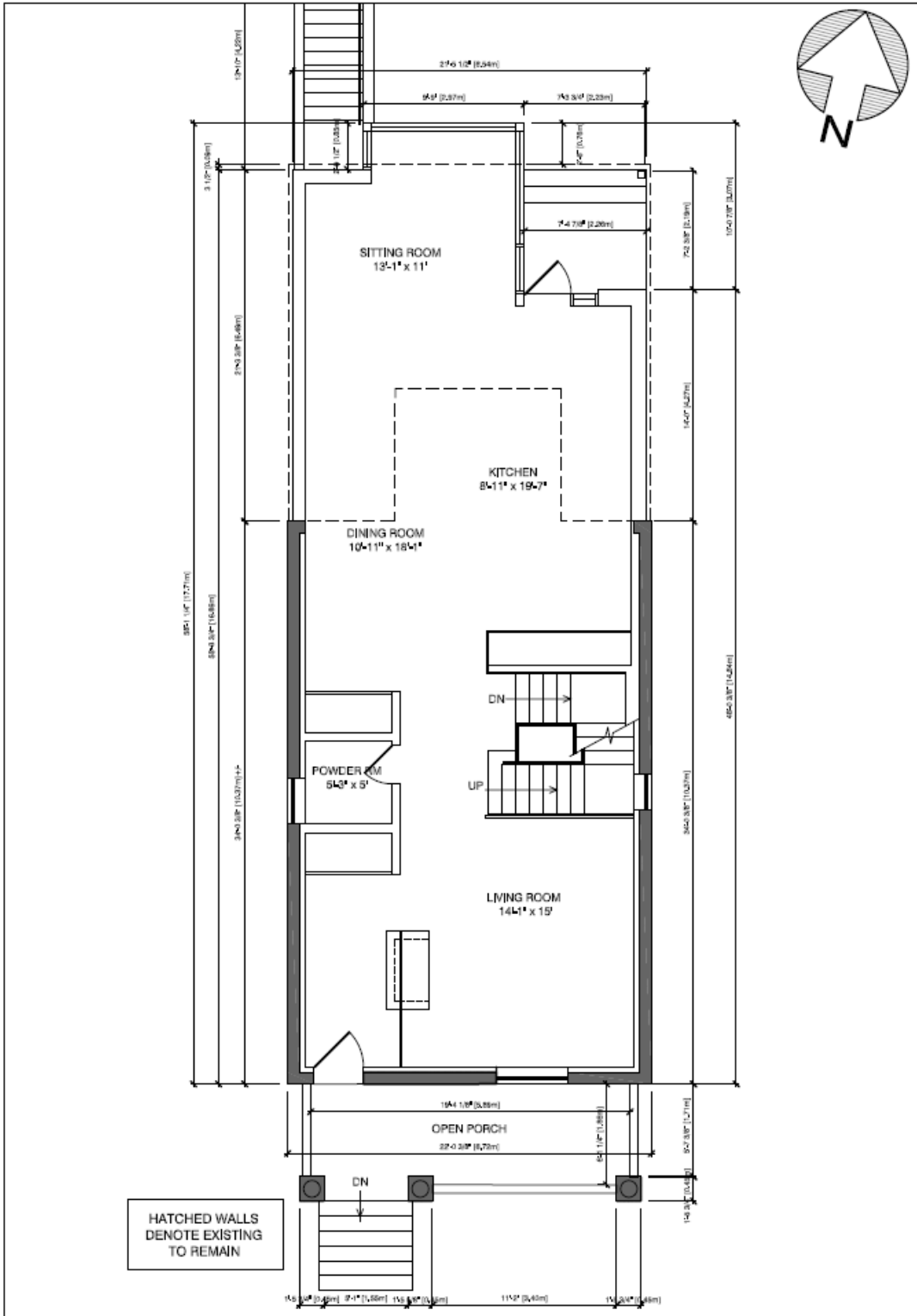
This decision is subject to the following condition(s):

The altered dwelling shall be constructed such that the building depth variance shall apply to the basement and first floor only as shown on Drawings A2.0 and A2.1. The building depth for any floor above the first floor shall be no greater than 17.0 m. Any variances that may appear on these plans that are NOT listed in the written decision are not authorized.



HATCHED WALLS  
DENOTE EXISTING  
TO REMAIN

DRAWING ROOM ARCHITECT INC. 287 MACPHERSON AVENUE, #301 TORONTO ONTARIO CANADA M4V 1A4 TEL: (416) 975-1815	Project Name	60 SIMPSON AVE	Drawing No.  <b>A2.0</b>
	Drawing Title	BASEMENT PLAN	
	Drawn By	TB	
	Date	05 MAY 2017	
	Scale	3/16" = 1'-0"	
	Project No.	16-003	



HATCHED WALLS  
DENOTE EXISTING  
TO REMAIN

DRAWING ROOM ARCHITECT INC.  
287 MACPHERSON AVENUE, #301  
TORONTO ONTARIO  
CANADA M4V 1A4  
TEL: (416) 975-1815

Project Name	60 SIMPSON AVE
Drawing Title	MAIN FLOOR PLAN
Drawn By	TB
Date	05 MAY 2017
Scale	3/16" = 1'-0"
Project No.	16-003

Drawing No.  
**A2.1**

**SIGNATURE PAGE**

File Number:	A0540/17TEY	Zoning	R(d0.6)(x736) & R2 Z0.6 (ZZC)
Owner(s):	SARAH ANN DITTMAR HERMAN DITTMAR	Ward:	Toronto-Danforth (30)
Agent:	STUART WATSON	Heritage:	Not Applicable
Property Address:	<b>60 SIMPSON AVE</b>	Community:	Toronto
Legal Description:	PLAN M95 LOT 28		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 12, 2017**

CERTIFIED TRUE COPY

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Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

File Number:	A1178/16TEY	Zoning	RM (f12.0; u2; d0.8)(x252) & R2 (ZZC)
Owner(s):	BRETT KLEIN	Ward:	St. Paul's (21)
Agent:	BRETT KLEIN	Heritage:	Not Applicable
Property Address:	<b>193 ATLAS AVE</b>	Community:	York
Legal Description:	PLAN 2169 N PT LOT 66		

Notice was given and a Public Hearing was held on **Wednesday, August 23, 2017**, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To alter the existing one-storey detached dwelling by constructing a front one-storey addition, a rear one-storey addition, a second-storey addition, a rear ground floor deck, and a rear second floor balcony.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Chapter 10.80.40.70.(1), By-law 569-2013**  
The minimum required front yard setback is 4.33 m.  
The altered dwelling will be located 2.88 m from the west front lot line.
  - 2. Chapter 10.80.40.70.(3)(A), By-law 569-2013**  
The minimum required side yard setback is 1.2 m.  
The altered dwelling will be located 0.34 m from the north side lot line, and 0.73 m from the south side lot line.
  - 3. Chapter 10.5.80.10.(3), By-law 569-2013**  
A parking space may not be located in a front yard or a side yard abutting a street.  
The parking space will be located in the front yard.
  - 4. Chapter 200.5.10.1.(1), By-law 569-2013**  
A minimum of one parking space is required to be provided behind the main front wall.  
In this case, zero parking spaces will be provided behind the main front wall.
- 1. Section 3.(b), By-law 1-83 and By-law 3623-97**  
The minimum required front yard setback is 3.38 m.  
The altered dwelling will be located 2.88 m from the west front lot line.



**2. Section 3.(a), By-law 1-83 and By-law 3623-97**

The minimum required side yard setback is 1.2 m.

The altered dwelling will be located 0.34 m from the north side lot line, and 0.73 m from the south side lot line.

**3. Section 4, By-law 1-83**

Front yard parking is permitted on lots where driveway access is less than 2.4 m in width provided that the space is a minimum of 2.5 m and a maximum of 2.8 m wide.

In this case, zero parking spaces will be provided on the lot.

**4. Section R3.4.7(a)(5), By-law 1-83**

An unenclosed deck may be constructed in the rear yard of a property provided that the sum of the floor area exclusive of the area within 2.4 m of the rear walls of the dwelling, plus the gross floor area of the dwelling, shall not exceed the maximum permitted floor space index, in this case 0.8 times the area of the lot.

In this case, the 6.37 m<sup>2</sup> portion of the rear ground floor deck beyond 2.4 m from the rear building wall, plus the gross floor area of the altered dwelling will have an area equal to 0.81 times the area of the lot.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- (1) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove privately owned trees under Municipal Chapter 813 Article III, Private trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (2) Prior to the issuance of a building permit, the applicant/owner shall submit a complete application for permit to injure or remove City owned trees under Municipal Chapter 813 Article II, Street trees, to the satisfaction of the Supervisor, Urban Forestry, Tree Protection and Plan Review, Toronto and East York District.
- (3) The owner shall submit and receive approval for an application from Transportation Services, Right-of-Way Management, under Toronto Municipal Code Chapter 918 Parking on Residential Front Yards and Boulevards, for the parking space situated mostly on the City boulevard.

**SIGNATURE PAGE**

File Number:	A1178/16TEY	Zoning	RM (f12.0; u2; d0.8)(x252) & R2 (ZZC)
Owner(s):	BRETT KLEIN	Ward:	St. Paul's (21)
Agent:	BRETT KLEIN	Heritage:	Not Applicable
Property Address:	<b>193 ATLAS AVE</b>	Community:	York
Legal Description:	PLAN 2169 N PT LOT 66		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 18, 2017**

CERTIFIED TRUE COPY

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Anita M. MacLeod  
Manager & Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

## Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



City Planning Division

Committee of Adjustment  
Toronto and East York District

100 Queen Street West, 1<sup>st</sup> Floor  
Toronto, Ontario M5H 2N2  
Tel: 416-392-7565  
Fax: 416-392-0580

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

File Number:	B0048/17TEY	Zoning	Site-Specific By-law 1079-2010 (Waiver)
Owner(s):	863880 ONTARIO LIMITED	Ward:	Trinity-Spadina (19)
Agent:	BILL DALTON	Heritage:	Not Applicable
Property Address:	<b>49 EAST LIBERTY ST - BLOCK 10</b>	Community:	Toronto
Legal Description:	PLAN 66M - 2511		

Notice was given and a Public Hearing was held on **Wednesday, July 26, 2017**, as required by the Planning Act.

#### **THE CONSENT REQUESTED:**

To obtain consent to sever a portion of the land and to create various easements/rights-of-way.

#### **Conveyed - Parts 1, 2, 3, 4 & 5, Draft Plan**

Address to be assigned

The vacant parcel of land has a width of 16 m and an area of 1,119.3 m<sup>2</sup> and will be used as a private road. Parts 1 & 2 will be subject to a right-of-way/easement in favour of 49 East Liberty Street for the purpose of construction and vehicular/pedestrian access for a temporary driveway.

Parts 1, 2 & 4 will be subject to a right-of-way/easement in favour of 49 East Liberty Street for the purpose of vehicular and pedestrian access.

#### **Retained - Part 6, Draft Plan**

Part 6 has a width of 16 m, an area of 2324.4 m<sup>2</sup> and will be for use as a future public road.

**The Committee of Adjustment considered any written and oral submissions in making its decision. For a list of submissions, please refer to the minutes.**

#### **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the transaction as shown on the plan filed with the Committee of Adjustment on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) The Owner shall enter into a revised subdivision agreement to the satisfaction of the Executive Director, Engineering & Construction Services and the City Solicitor.
- (3) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (4) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (5) **One electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
- (6) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* as it pertains to the conveyed land and/or consent transaction.

**SIGNATURE PAGE**

File Number:	B0048/17TEY	Zoning	Site-Specific By-law 1079-2010 (Waiver)
Owner(s):	863880 ONTARIO LIMITED	Ward:	Trinity-Spadina (19)
Agent:	BILL DALTON	Heritage:	Not Applicable
Property Address:	<b>49 EAST LIBERTY ST - BLOCK 10</b>	Community:	Toronto
Legal Description:	PLAN 66M - 2511		

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Worrick Russell (signed)

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Nancy Oomen (signed)

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Joanne Hayes (signed)

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Ewa Modlinska (signed)

DATE DECISION MAILED ON: **TUESDAY, AUGUST 29, 2017**

LAST DATE OF APPEAL: **TUESDAY, SEPTEMBER 18, 2017**

CERTIFIED TRUE COPY

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Sylvia Mullaste  
Acting Deputy Secretary-Treasurer  
Committee of Adjustment, Toronto and East York District

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**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.