

COMMITTEE OF ADJUSTMENT AGENDA SCARBOROUGH PANEL

Hearing Date: October 5, 2017
Time: 9:30 a.m.
Location: Council Chamber - Scarborough Civic Centre - 150 Borough Drive

1. OPENING REMARKS

- **Declarations of Interest**
- **Confirmation of Minutes from Previous Hearing**

2. DEPUTATION ITEMS

The following applications will be heard at 9:30 a.m. or shortly thereafter:

File Number	Owner	Property	Community (Ward)
<u>COMBINED APPLICATIONS</u>			
1. B0015/17SC, A0113/17SC, A0114/17SC	UJJAL CHOWDHURY	520 BIRCHMOUNT RD	Scarborough Southwest (35)
2. B0028/17SC, A0187/17SC, A0227/17SC	MICHEL PROULX NINON PROULX	18 PARKCREST DR	Scarborough Southwest (36)
3. B0038/17SC, A0242/17SC & A0245/17SC	NAILA MIRZA BABU MULLA	3763 ELLESMERE RD	Scarborough East (44)
4. B0041/17SC, A0254/17SC & A0258/17SC	NELUFAR YASMIN	28 PITT AVE	Scarborough Southwest (35)
5. B0042/17SC, A0260/17SC & A0261/17SC	LUCIA TROPIANO	434 MIDLAND AVE	Scarborough Southwest (36)

6.	B0045/17SC, A0270/17SC, A0271/17SC	ISRAT JAHAN MRIDHA	44 MAGNOLIA AVE	Scarborough Southwest (35)
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MINOR VARIANCE APPLICATIONS

7.	A0175/17SC	HARPREET GHUMAN	12 FENWOOD HTS	Scarborough Southwest (36)
8.	A0178/17SC	ALANNA SCHIFFER MICHAEL HILLS	1 HUNT CLUB DR	Scarborough Southwest (36)
9.	A0246/17SC	EFTHALIA CHALATSI NIKOLAOS MOUTZOURIS	1 ROSSFORD RD	Scarborough Centre (37)
10.	A0256/17SC	SINTHUJA MOHAN MOHAN YOGARAJAH	55 MEGAN AVE	Scarborough East (44)
11.	A0257/17SC	METROPOLITAN SEPARATE SCHOOL BOARD	10 JOHN TABOR TRL	Scarborough-Rouge River (42)
12.	A0264/17SC	ANDONIS ARTEMAKIS	27 MINFORD AVE	Scarborough Centre (37)
13.	A0268/17SC	NILUFA CHOWDHURY ABU HASNAT CHOWDHURY	123A DONSDR	Scarborough Southwest (35)
14.	A0269/17SC	NILUFA CHOWDHURY ABU HASNAT CHOWDHURY	123B DONSDR	Scarborough Southwest (35)
15.	A0274/17SC	STEPHEN JULIAN UZIELLI ROBIN LESLIE SIEGERMAN	19 LAKESIDE AVE	Scarborough Southwest (36)
16.	A0276/17SC	CHARISH ARADANAS RONALDO ARADANAS	80 NORTH WOODROW BLVD	Scarborough Southwest (35)
17.	A0279/17SC	MAJEED JAZEI	10 ROSSWOOD CRES	Scarborough Centre (37)
18.	A0280/17SC & A0283/17SC	CAPREIT VICTORIA PARK APARTMENTS CAPREIT LIMITED PARTNERSHIP	1757 & 1759 VICTORIA PARK AVE	Scarborough Centre (37)
19.	A0284/17SC	INEZ KUDRYK	4 LYNN RD	Scarborough Southwest (36)

20.	A0286/17SC	KANDASAMY SUNDARALINGAM SELVADEVI SUNDARALINGAM	53 BELLEFONTAINE ST	Scarborough-Agincourt (39)
21.	A0287/17SC	CHRISTINA AGELOPOULOS WADIE SHUHAIBAR	4 DANUBE DR	Scarborough Centre (37)
22.	A0289/17SC	ELIONA FERZAJ EDLIN BALLA	3 CAVEHILL CRES	Scarborough-Agincourt (40)
23.	A0290/17SC	2500182 ONTARIO INC	41 PYTHAGORAS DR	Scarborough East (44)
24.	A0291/17SC	2500182 ONTARIO INC	37 PYTHAGORAS DR	Scarborough East (44)
25.	A0296/17SC	KEVIN GAFFAR CHYE-HONG KOH	70 HORSELEY HILL DR	Scarborough-Rouge River (42)
26.	A0299/17SC	WENDY TITCHNER LARRY TITCHNER	29 WOODLAND PARK RD	Scarborough Southwest (36)
27.	A0302/17SC	ANTHONY CICIRELLO	423 LIVINGSTON RD N	Scarborough East (43)
28.	A0303/17SC	MOHAMED HANIF LOREDANA HANIF	62 FENWOOD HTS	Scarborough Southwest (36)
29.	A0310/17SC	CAREFIRST SENIORS AND COMMUNITY SERVICES ASSOCIATION	300 SILVER STAR BLVD	Scarborough-Rouge River (41)
30.	A0319/17SC	DEVINDER LAL GOYAL	586 MEADOWVALE RD	Scarborough East (44)
31.	A0326/17SC	MARC WHITE MELISSA STULTIENS	42 AVALON BLVD	Scarborough Southwest (36)

3. OTHER BUSINESS

None.

4. TORONTO LOCAL APPEAL BODY (TLAB)

Appeals:

There are currently no appeals from September 7, 2017 hearing.

5. **DATE OF NEXT MEETING:** **November 2, 2017**

6. **ADJOURNMENT**

* **Website for City of Toronto, Committee of Adjustment Agendas and Decisions:**

<https://www1.toronto.ca/wps/portal/contentonly?vgnextoid=29a8c64a28c0c510VgnVCM10000>

[071d60f89RCRD](https://www1.toronto.ca/wps/portal/contentonly?vgnextoid=29a8c64a28c0c510VgnVCM10000071d60f89RCRD)

Please Note: Looking for information regarding Case Manager on a file and/or hearing date prior to the agenda? Please use the following link:

* **Website for City Planning "Application Information Centre" (AIC);**

<http://app.toronto.ca/DevelopmentApplications/mapSearchSetup.do?action=init>

For Committee of Adjustment, please "select" "Committee of Adjustment" prior to entering your search information.

The following applications will be heard at 9:30 a.m. or shortly thereafter:

1. 520 BIRCHMOUNT RD

File Number:	B0015/17SC, A0113/17SC, A0114/17	Zoning	RM- Residential Multiple Dwelling Zone/ M- Multiple-Family Residential [ZZC]
Owner(s):	UJJAL CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP DEVELOPMENT SERVICES INC	Heritage:	Not Applicable
Property Address:	520 BIRCHMOUNT RD	Community:	Birchmount Park Community
Legal Description:	CON B PT LOT 31		

THE CONSENT REQUESTED:

This application is for consent to sever the land into two lots, as shown on the attached Site Plan. Lot to be created, Part 1 and Part 2 would have a frontage of 6 metres and a 245.2 square metres lot area. The owner is proposing to demolish the existing house and build two new detached houses. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0113/17SC and A0114/17SC.

Part 1 - A00113/17SC

By-law No. 569-2013

1. To permit the proposed 6.88 square metres of the first floor (area of storage room floor) within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum 10 square metres of the first floor to be within 4 metres of the front main wall.
2. To permit the proposed 245.2 square metres lot area, whereas the Zoning By-law requires a minimum 360 square metres lot area.
3. To permit the proposed 6.1 metres lot frontage, whereas the Zoning By-law requires a minimum 12 metres lot frontage.
4. To permit the proposed 8.35 metres side main wall height, whereas the Zoning By-law permits maximum 7.5 metres side main wall height.
5. To permit the proposed building depth of 20.7 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.

6. To permit the proposed building length of 18.9 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
7. To permit the proposed 0.3 metres building setback from a side lot line, whereas the Zoning By-law requires a minimum 4.65 metres building setback from a side lot line.
8. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.

By-law No. 9174

9. To permit the proposed 0.3 metres building setback from a side lot line, whereas the Zoning By-law requires a minimum 4.65 metres building setback from a side lot line.
10. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
11. To permit the proposed 10 metres building height, whereas the Zoning By-law permits a maximum 9 metres building height.

Part 2 - A0114/17SC

By-law No. 569-2013

1. To permit the proposed 6.88 square metres of the first floor (area of storage room floor) within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum 10 square metres of the first floor to be within 4 metres of the front main wall.
2. To permit the proposed 245.2 square metres lot area, whereas the Zoning By-law requires a minimum 360 square metres lot area.
3. To permit the proposed 6.1 metres lot frontage, whereas the Zoning By-law requires a minimum 12 metres lot frontage.
4. To permit the proposed 8.35 metres side main wall height, whereas the Zoning By-law permits maximum 7.5 metres side main wall height.
5. To permit the proposed building depth of 19.81 metres measured from the front yard setback requirement on a lot to the rear wall, whereas the Zoning By-law permits maximum building depth of 19 metres.
6. To permit the proposed building length of 19 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.

7. To permit the proposed 0.3 metres building setback from a side lot line, whereas the Zoning By-law requires a minimum 4.65 metres building setback from a side lot line.
8. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.

By-law No. 9174

9. To permit the proposed 0.3 metres building setback from a side lot line, whereas the Zoning By-law requires a minimum 4.65 metres building setback from a side lot line.
10. To permit the proposed 0.3 metres wide landscaping strip along the side boundary abutting the S and T zone, whereas the Zoning By-law requires a minimum 1.5 metres wide landscaping strip along rear and side boundaries abutting S and T zones.
11. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
12. To permit the proposed 10 metres building height, whereas the Zoning By-law permits a maximum 9 metres building height.

CITY OF SCARBOROUGH

Scale 1 : 150

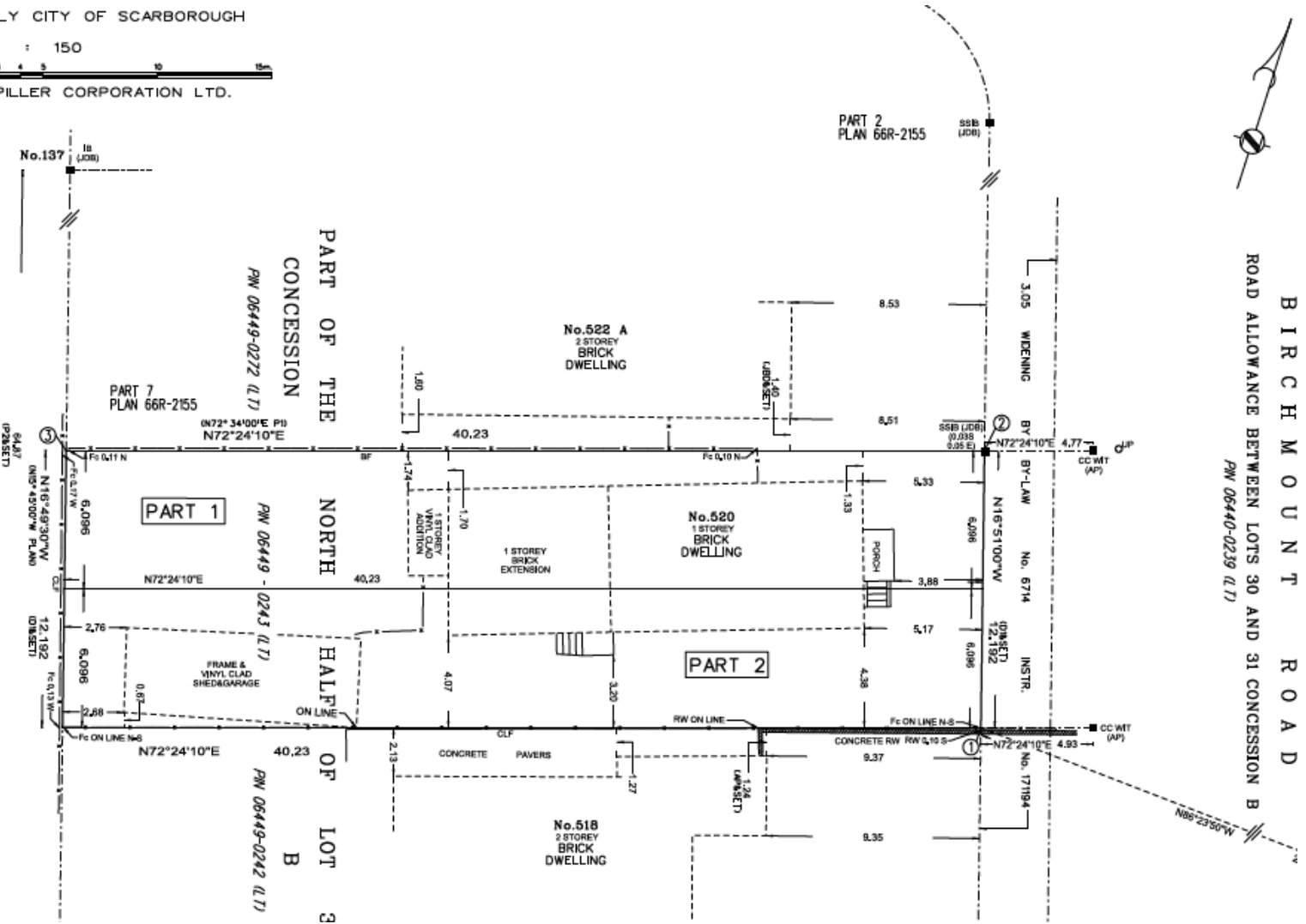


REGISTERED PLAN M - 6

REGISTERED

PLAN

M - 6



2. 18 PARKCREST DR

File Number:	B0028/17SC, A0187/17SC, A0227/17SC	Zoning	RD - Residential Detached/ S - Single Family Residential [ZZC]
Owner(s):	MICHEL PROULX NINON PROULX	Ward:	Scarborough Southwest (36)
Agent:	DESIGN PLAN SERVICES	Heritage:	Not Applicable
Property Address:	18 PARKCREST DR	Community:	Scarborough Village Community
Legal Description:	PLAN 1734 LOT 84 PT LOT 85		

THE CONSENT REQUESTED:

This application was deferred by the Committee to allow the agent to represent the proposal. The application remains the same. This application is for consent to sever the land into two lots, as shown on the attached Site Plan. Lot to be created, Part 1 would have a frontage of 63.9 metres and a 1,550.9 square metres lot area. Part 2 would have a frontage of 40 metres and a 1,745.9 square metres lot area. The owner is proposing to keep the existing house and Part 1 would be developed in the future. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0187/17SC and A0227/17SC.

Part 1- A0227/17SC

By-law No. 569-2013

1. To permit the proposed 1,550.9 square metres lot area, whereas the Zoning By-law requires a minimum 3,250 square metres lot area.

By-law No. 10010

2. To permit the proposed 1,550.9 square metres lot area, whereas the Zoning By-law requires a minimum 2,322 square metres lot area.

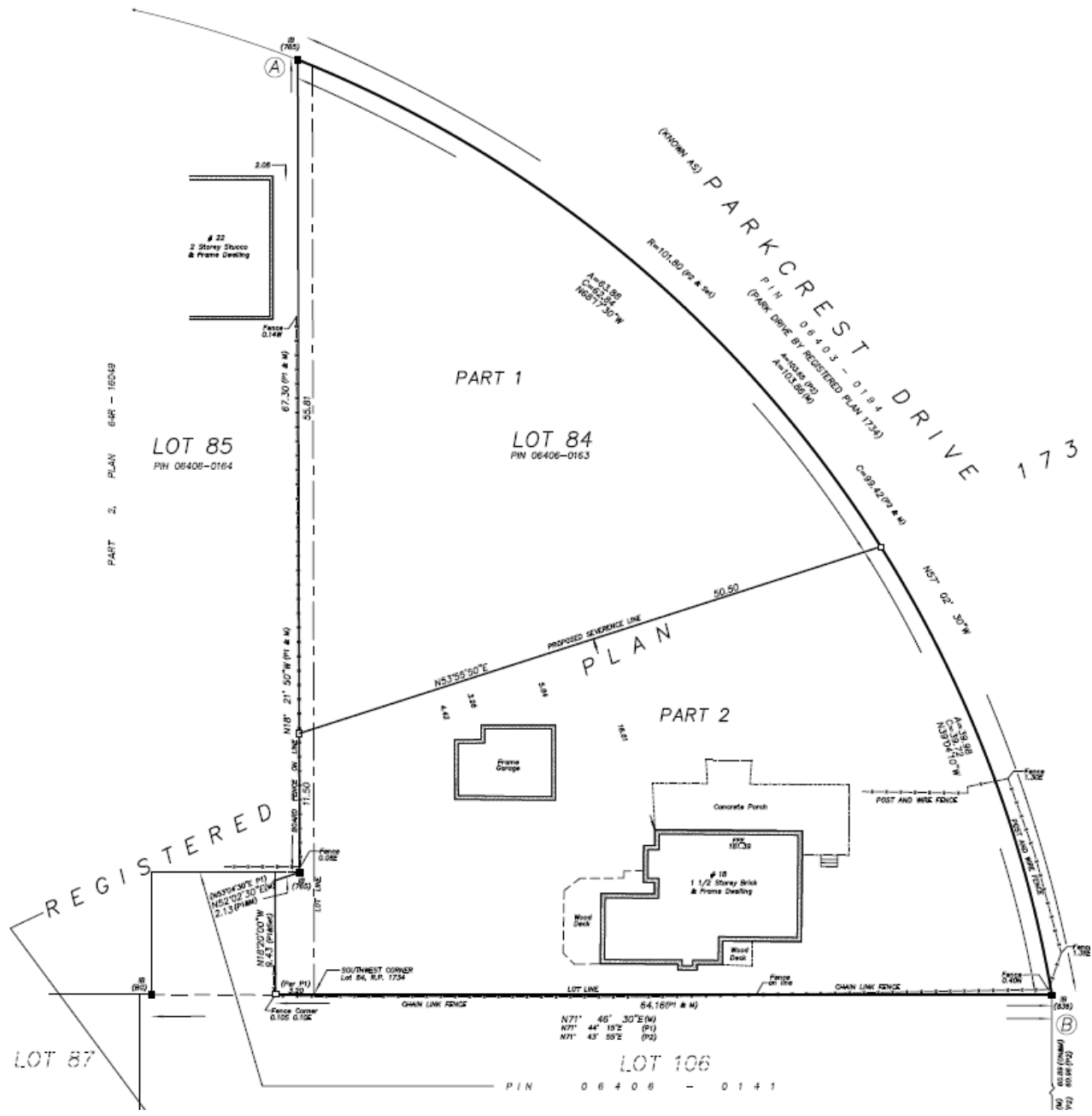
Part 2- A0187/17SC

By-law No. 569-2013

1. To permit the proposed 1,745.9 square metres lot area, whereas the Zoning By-law requires a minimum 3,250 square metres lot area.

By-law No. 10010

2. To permit the proposed 1,745.9 square metres lot area, whereas the Zoning By-law requires a minimum 2,322 square metres lot area.



PART 2, PLAN 64R-16049
PART 1, PLAN 64R-16049

LOT 85
PIN 06408-0164

PART 1

LOT 84
PIN 06408-0163

(KNOWN AS) **PARKREST DRIVE 173**

PROPOSED SEVERANCE LINE
PLAN

PART 2

REGISTERED

LOT 87

N71° 46' 30"E (M)
N71° 44' 15"E (P1)
N71° 45' 50"E (P2)

LOT 106

PIN 06408-0141

A

B

22
2 Storey Stucco
& Frame Dwelling

Frame Garage

Concrete Porch
10
1 1/2 Storey Brick
& Frame Dwelling

3. 3763 ELLESMERE RD

File Number:	B0038/17SC, A0242/17SC & A0245/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	NAILA MIRZA BABU MULLA	Ward:	Scarborough East (44)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	3763 ELLESMERE RD	Community:	Highland Creek Community
Legal Description:	PLAN 3476 LOT 30		

THE CONSENT REQUESTED:

Proposal to sever the land at 3763 Ellesmere Road into two lots for single family houses. The proposed lots are shown as Parts 1 and 2 on the attached Lot Division Plan. Each lot would have a frontage of 17.5 m on Ellesmere Road and a lot area of approximately 635 m². The land shown as Part 3 would be conveyed to the City of Toronto for a proposed widening of the road allowance.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

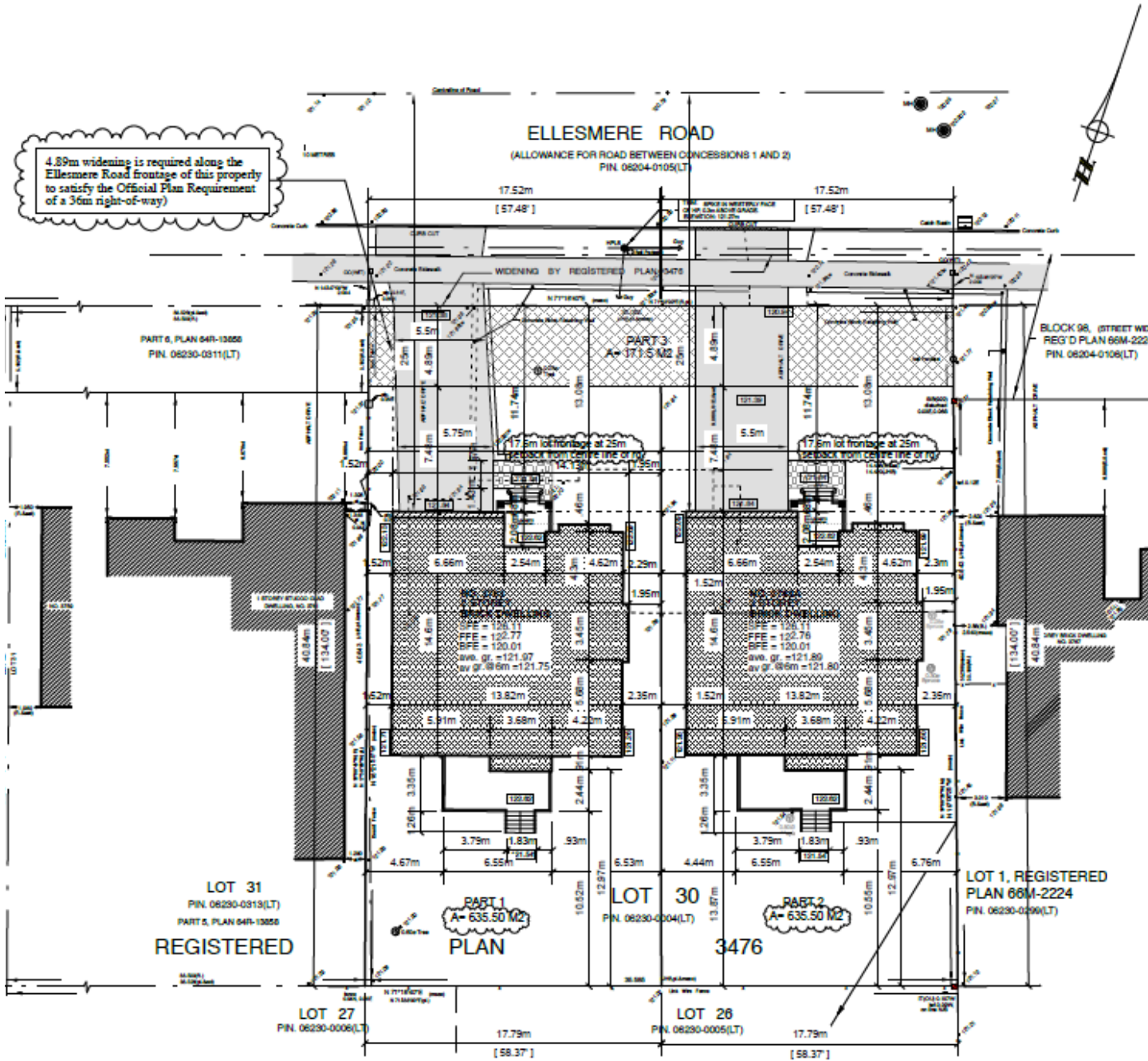
PART 1 (File A0242/17SC) and PART 2 (File A0245/17SC)

By-law No. 569-2013:

1. The proposed floor space index is 0.551 x the area of the lot
Whereas the maximum permitted floor space index is 0.4 x the area of the lot
2. The proposed lot frontage is 17.6 m
Whereas the minimum required lot frontage is that which existed on the day of the passing of the by-law (35.1 m)
3. The proposed lot area is 635 m²
Whereas the minimum required lot area is that which existed on the day of the passing of the by-law (1,442.4 m²)

By-law No. 10827:

4. The proposed floor area is 0.543 x the area of the lot
Whereas the maximum permitted floor area is 0.4 x the area of the lot
5. The proposed lot frontage is 17.5 m
Whereas the minimum required lot frontage is 21 m
6. The proposed lot area is 635 m²
Whereas the minimum required lot area is 836 m²



4. 28 PITT AVE

File Number:	B0041/17SC, A0254/17SC & A0258/17SC	Zoning	Single Family (S) & Residential Detached (RD) [ZR]
Owners:	NELUFAR YASMIN	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	28 PITT AVE	Community:	Clairlea Community
Legal Description:	PLAN 1859 LOT 116		

THE CONSENT REQUESTED:

Proposal to sever the land at 28 Pitt Avenue into two lots for single family houses. The proposed lots are shown as Part 1 and Part 2 on the attached Lot Division Plan. Each lot would have a frontage of 7.62 m on Pitt Avenue and a lot area of approximately 246 m².

REQUESTED VARIANCES TO THE ZONING BY-LAW

PART 1 (File A0254/17SC) & PART 2 (File A0258/17SC):

By-law No. 569-2013:

1. The proposed lot frontage is 7.6 m
Whereas the minimum required lot frontage is 12 m
2. The proposed lot area is 246 m²
Whereas the minimum required lot area is 371 m²
3. The proposed building height is 9.21 m (PART 1)
The proposed building height is 9.15 m (PART 2)
Whereas the maximum permitted building height is 9 m
4. The proposed house would be a three storey dwelling
Whereas the maximum permitted number of storeys is two
5. The proposed lot coverage is 44.3%
Whereas the maximum permitted lot coverage is 33%
6. The proposed south side yard setback is 0.52 m (PART 1)
The proposed north side yard setback is 0.52 m (PART 2)
Whereas the minimum required side yard setback is 0.9 m

7. A total of 51.3% of the width of the front main wall and 46.8% of the width of the rear main wall is proposed to be over 7 m in height;
Whereas the maximum permitted height is 7 m for no less than 60% of the total width of all front and rear main walls.
8. The first floor height is proposed at 1.3 m (PART 1)
The first floor height is proposed at 1.7 m (PART 2)
Whereas the permitted maximum height of the first floor above established grade is 1.2 m
9. The proposed rear deck area is 7.31 m²
Whereas a platform such as a deck or balcony with access from the second storey or above of a detached house may have a maximum area of 4.0 m²
10. A floor area of 4.2 m² is proposed within 4.0 m of the front main wall
Whereas a minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall
11. The proposed rear deck would be located 0.52 m from the south lot line (PART 1)
The proposed rear deck would be located 0.52 m from the north lot line (PART 2)
Whereas the minimum required setback is 2.19 m
12. The proposed rear deck stairs would be located 0.53 m from the south lot line (PART 1)
The proposed rear deck stairs would be located 0.53 m from the north lot line (PART 2)
Whereas the minimum required setback is 0.6 m
13. The proposed roof overhang and eavestrough would be located 0.19 m from the south side lot line (PART 1)
The proposed roof overhang and eavestrough would be located 0.19 m from the north side lot line (PART 2)
Whereas the eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 m, if they are no closer to a lot line than 0.3 m

By-law No. 8978:

14. The proposed lot frontage is 7.6 m
Whereas the minimum required lot frontage is 12 m
15. The proposed lot area is 246 m²
Whereas the minimum required lot area is 371 m²
16. The proposed side yard setback is 0.52 m from the south side lot line (PART 1)
The proposed side yard setback is 0.52 m from the north side lot line (PART 2)
Whereas the minimum required side yard setback is 0.9 m
17. The proposed lot coverage is 44.3%
Whereas the maximum permitted lot coverage is 33%

18. The proposed building height is 9.21 m (PART 1)
The proposed building height is 9.15 m (PART 2)
Whereas the maximum permitted building height is 9 m

19. The proposed house would be a three storey dwelling
Whereas the maximum permitted number of storeys is two

LOT 58
N 06001-0172 (LT)

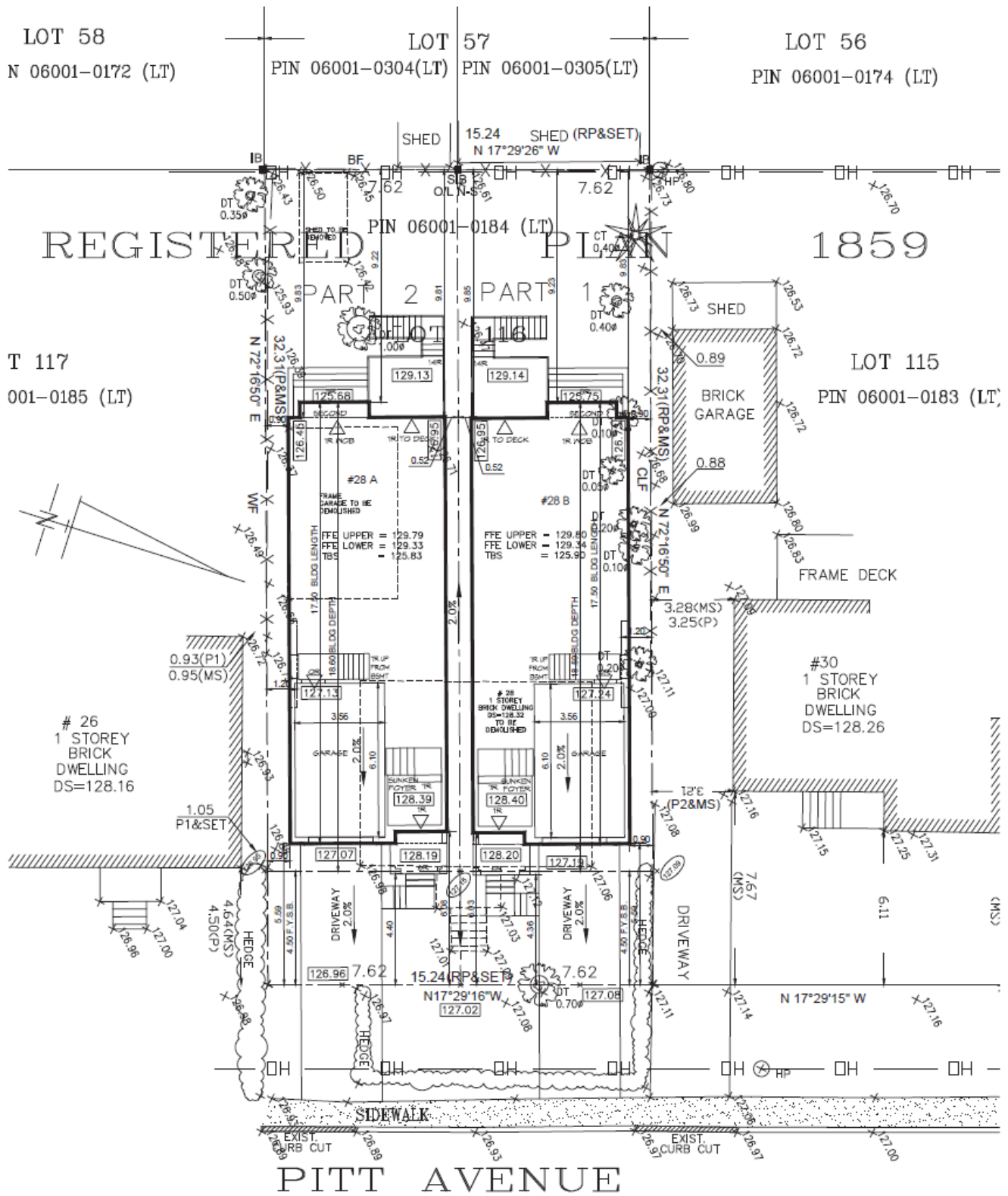
LOT 57
PIN 06001-0304(LT) PIN 06001-0305(LT)

LOT 56
PIN 06001-0174 (LT)

REGISTERED PIN 06001-0184 (LT) 1859

T 117
001-0185 (LT)

LOT 115
PIN 06001-0183 (LT)



5. 434 MIDLAND AVE

File Number:	B0042/17SC, A0260/17SC & A0261/17SC	Zoning	Residential Semi-Detached (RS) & Single-Family (S) or Two-Family (T) Res. [ZR]
Owner(s):	LUCIA TROPIANO	Ward:	Scarborough Southwest (36)
Agent:	GIUSEPPE TROPIANO	Heritage:	Not Applicable
Property Address:	434 MIDLAND AVE	Community:	Cliffcrest Community
Legal Description:	PLAN M388 PT LOT 26 PT LOT 27		

THE CONSENT REQUESTED:

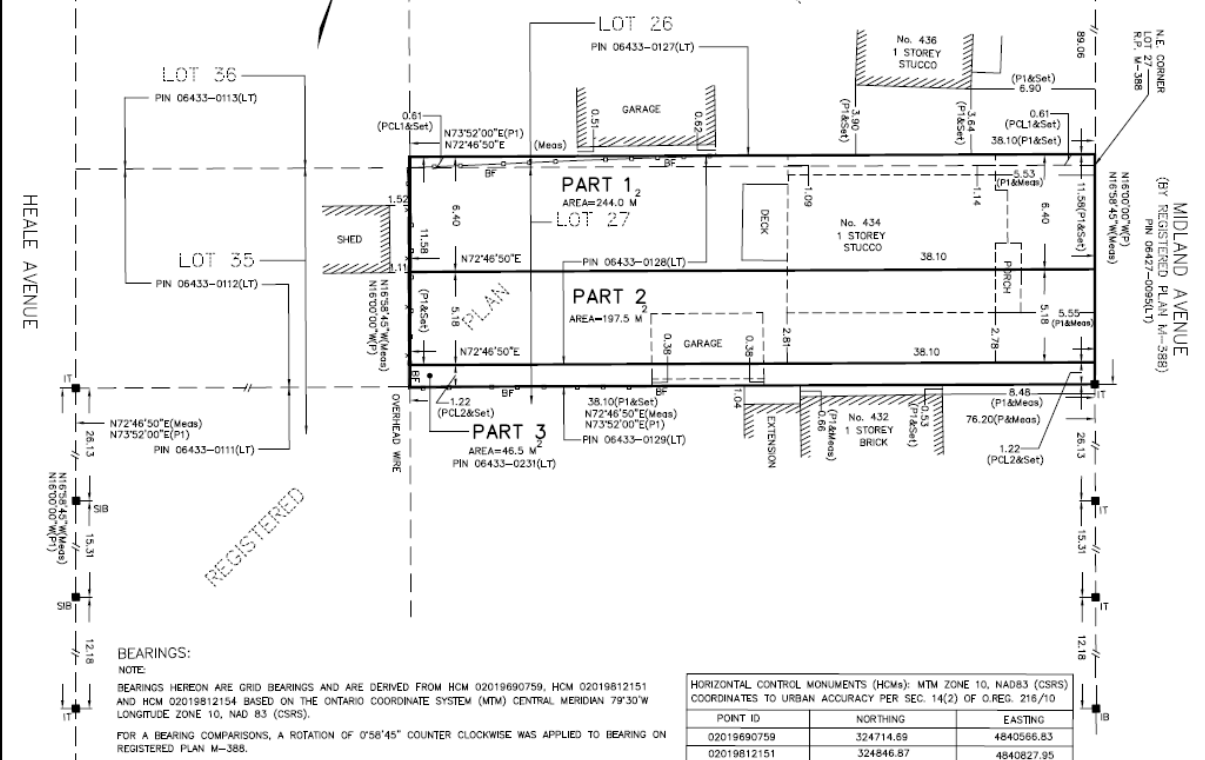
Proposal to sever the land at 434 Midland Avenue into two lots for a pair of semi-detached dwellings. The proposed lots are shown as Part 1 and Parts 2 & 3 on the attached Lot Division Plan. Each lot would have a frontage of 6.4 m on Midland Avenue and a lot area of approximately 244 m². The existing detached dwelling and detached garage will be demolished and the property will be redeveloped as the site of a pair of new two-storey semi-detached dwellings, requiring variances to the Zoning By-law.

Conveyed - Part 1 (A0260/17SC) & Retained – Part 2 (A0261/17SC)

By-law No. 569-2013 & No. 9364:

1. The existing lot frontage is 11.58 m;
Whereas the minimum required lot frontage for a pair of semi-detached dwellings is 15 m.
2. The proposed lot frontage is 6.4 m;
Whereas the minimum required lot frontage for each dwelling unit is 7.5 m.
3. The existing lot area is 441.2 m²;
Whereas the minimum required lot area for a pair of semi-detached dwellings is 540 m².
4. The proposed lot area is 243.84 m²;
Whereas the minimum required lot area for each dwelling unit is 255 m².
5. The proposed dwelling will be located 0.45 m from the side yard lot line;
Whereas the minimum required side yard setback is 2.4 m.

METRIC
DISTANCES AND COORDINATES SHOWN
ON THIS PLAN ARE IN METERS AND
CAN BE CONVERTED TO FEET BY
DIVIDING BY 0.3048



REGISTERED

BEARINGS:
NOTE:
BEARINGS HEREON ARE GRID BEARINGS AND ARE DERIVED FROM HCM 02019690759, HCM 02019812151 AND HCM 02019812154 BASED ON THE ONTARIO COORDINATE SYSTEM (MTM) CENTRAL MERIDIAN 79°30'W LONGITUDE ZONE 10, NAD 83 (CSRS).
FOR A BEARING COMPARISONS, A ROTATION OF 0°58'45" COUNTER CLOCKWISE WAS APPLIED TO BEARING ON REGISTERED PLAN M-388.
DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND LEVEL DISTANCES AND CAN BE USED TO COMPUTE GRID COORDINATES BY MULTIPLYING THE DISTANCES BY A COMBINED SCALE FACTOR OF 0.999924

HORIZONTAL CONTROL MONUMENTS (HCMs): MTM ZONE 10, NAD83 (CSRS)
COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.REG. 216/10

POINT ID	NORTHING	EASTING
02019690759	324714.69	4840566.83
02019812151	324846.87	4840827.95
02019812154	324971.56	4841120.15

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

I REQUIRE THIS PLAN TO BE DEPOSITED
UNDER THE LAND TITLES ACT.

DATE
DRAFT

OMARI B. MWINYI, O.L.S.

PLAN 66R-

RECEIVED AND DEPOSITED

DATE

REPRESENTATIVE FOR THE
LAND REGISTRAR FOR
THE LAND TITLES DIVISION OF
TORONTO REGISTRY OFFICE(No. 66)

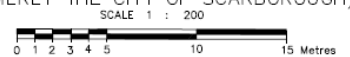
SCHEDULE

PART	PART OF LOT	REGISTERED PLAN	P.I.N.
1	26 AND 27	M-388	ALL OF 06433-0128(LT)
2	27		ALL OF 06433-0231(LT)
3			

LEGEND:

□	DENOTES SURVEY MONUMENT PLANTED	CLF	DENOTES CHAIN LINK FENCE
■	DENOTES SURVEY MONUMENT FOUND	P	DENOTES REGISTERED PLAN M-388
IB	DENOTES IRON BAR	P1	DENOTES PLAN BY D. H. BLACK, O.L.S. DATED OCTOBER 7, 1978
SIB	DENOTES STANDARD IRON BAR	PCL1	DENOTES PARCEL 26-3, SECTION M-388
IT	DENOTES IRON TUBE	PCL2	DENOTES PARCEL 27-1, SECTION M-388
BF	DENOTES BOARD FENCE		

PLAN OF SURVEY OF
PART OF LOTS 26 AND 27
REGISTERED PLAN M-388
CITY OF TORONTO
(FORMERLY THE CITY OF SCARBOROUGH)



SURVEYOR'S CERTIFICATE:
I CERTIFY THAT:

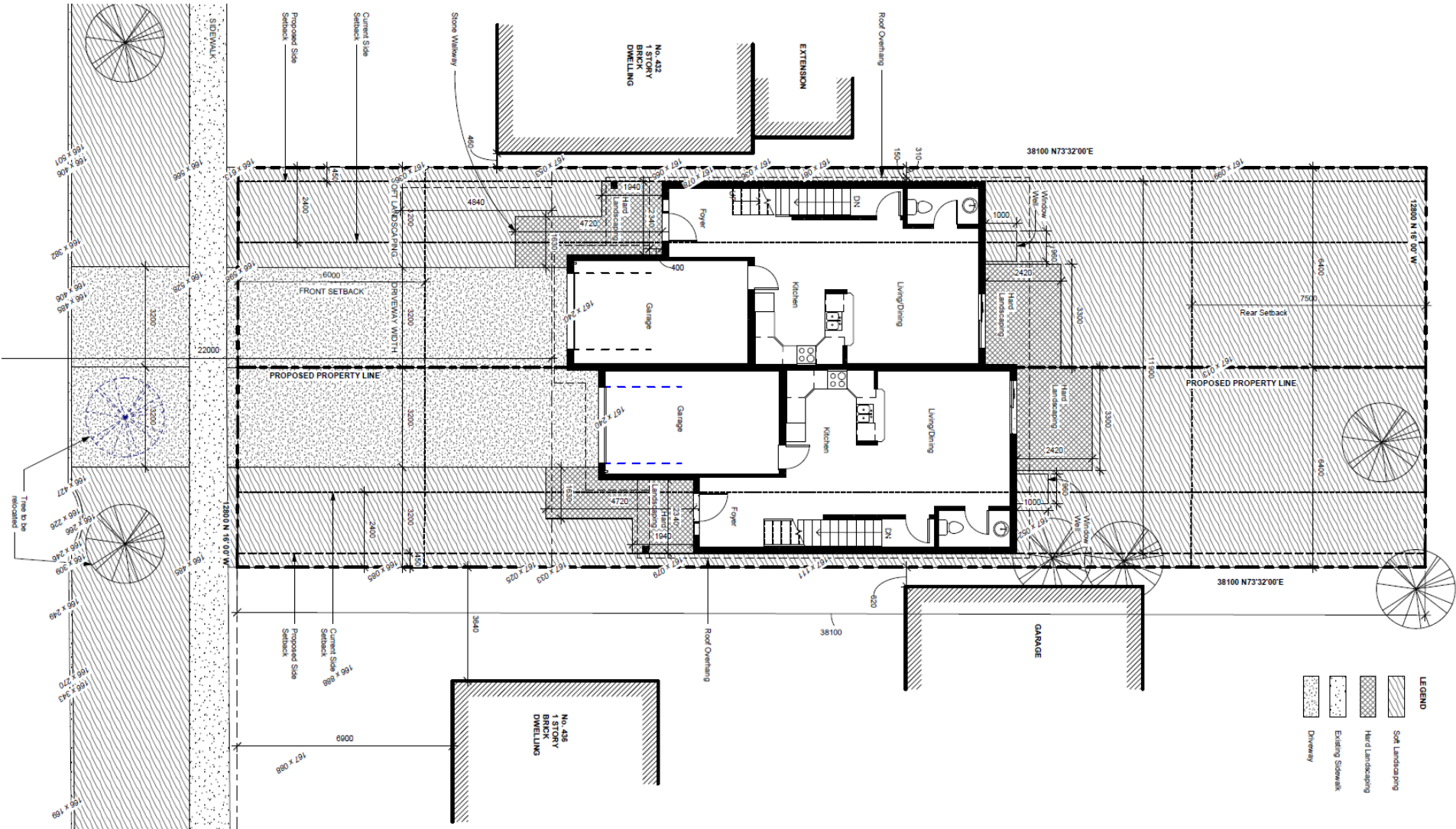
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT, AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 8TH DAY OF FEBRUARY 2017..

DATE

DRAFT

OMARI B. MWINYI
ONTARIO LAND SURVEYOR

<p>1905 PINEGROVE AVENUE PICKERING ON, L1V 6T1 Ph. (905) 831 5485 Fax: (905) 492 5485</p>	PROJECT	PROJECT No.
	434 MIDLAND AVENUE	17-013-R
	DRAFTSPERSON	CALCULATIONS
SUGI	E:\QMSL\17-013\17-013	O.M.



LEGEND

	Soft Landscaping
	Hard Landscaping
	Existing Sidewalk
	Driveway

6. 44 MAGNOLIA AVE

File Number:	B0045/17SC, A0270/17SC, A0271/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	ISRAT JAHAN MRIDHA	Ward:	Scarborough Southwest (35)
Agent:	LEO MASTANDREA	Heritage:	Not Applicable
Property Address:	44 MAGNOLIA AVE	Community:	Kennedy Park Community
Legal Description:	PLAN 1093 BLK N LOT 29 PT LOT 28 PT LOT 30		

PURPOSE OF THE APPLICATION:

This application is for consent to sever the land into two lots, as shown on the attached Site Plan. Lot to be created Part 1 would have a frontage of 9.3 metres and a lot area of 294.81 square metres. Lot to be created Part 2 would have a frontage of 9.3 metres and a lot area of 294.81 square metres. The owner is proposing to demolish the existing dwelling and build two new detached houses. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0270/17SC, and A0271/17SC.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Part 1 - A0270/17SC

By-law No. 569-2013

1. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
2. To permit the proposed 6.5 metres front yard setback, whereas the Zoning By-law requires a minimum 7.51 metres front yard setback.
3. To permit the proposed 0.89 metres south and 0.6 metres north side yard setback, whereas the Zoning By-law requires a minimum 0.9 metres side yard setback.

By-law No. 9276

4. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

Part 2 - A0271/17SC

By-law No. 569-2013

1. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

2. To permit the proposed 6.5 metres front yard setback, whereas the Zoning By-law requires a minimum 7.51 metres front yard setback.
3. To permit the proposed 0.89 metres north and 0.6 metres south side yard setback, whereas the Zoning By-law requires a minimum 0.9 metres side yard setback.

By-law No. 9276

4. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

7. 12 FENWOOD HTS

File Number:	A0175/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	HARPREET GHUMAN	Ward:	Scarborough Southwest (36)
Agent:	JOHN RAMIREZ	Heritage:	Not Applicable
Property Address:	12 FENWOOD HTS	Community:	Cliffcrest Community
Legal Description:	PLAN 3757 LOT 196		

PURPOSE OF THE APPLICATION:

This application was deferred at the July 2017 Committee of Adjustment hearing to allow the owner to speak with neighbours. The application remains the same. The applicant is seeking relief from the provisions of the Zoning By-law to permit the already constructed second storey addition with a two storey rear addition to the existing dwelling with a new two-car garage.

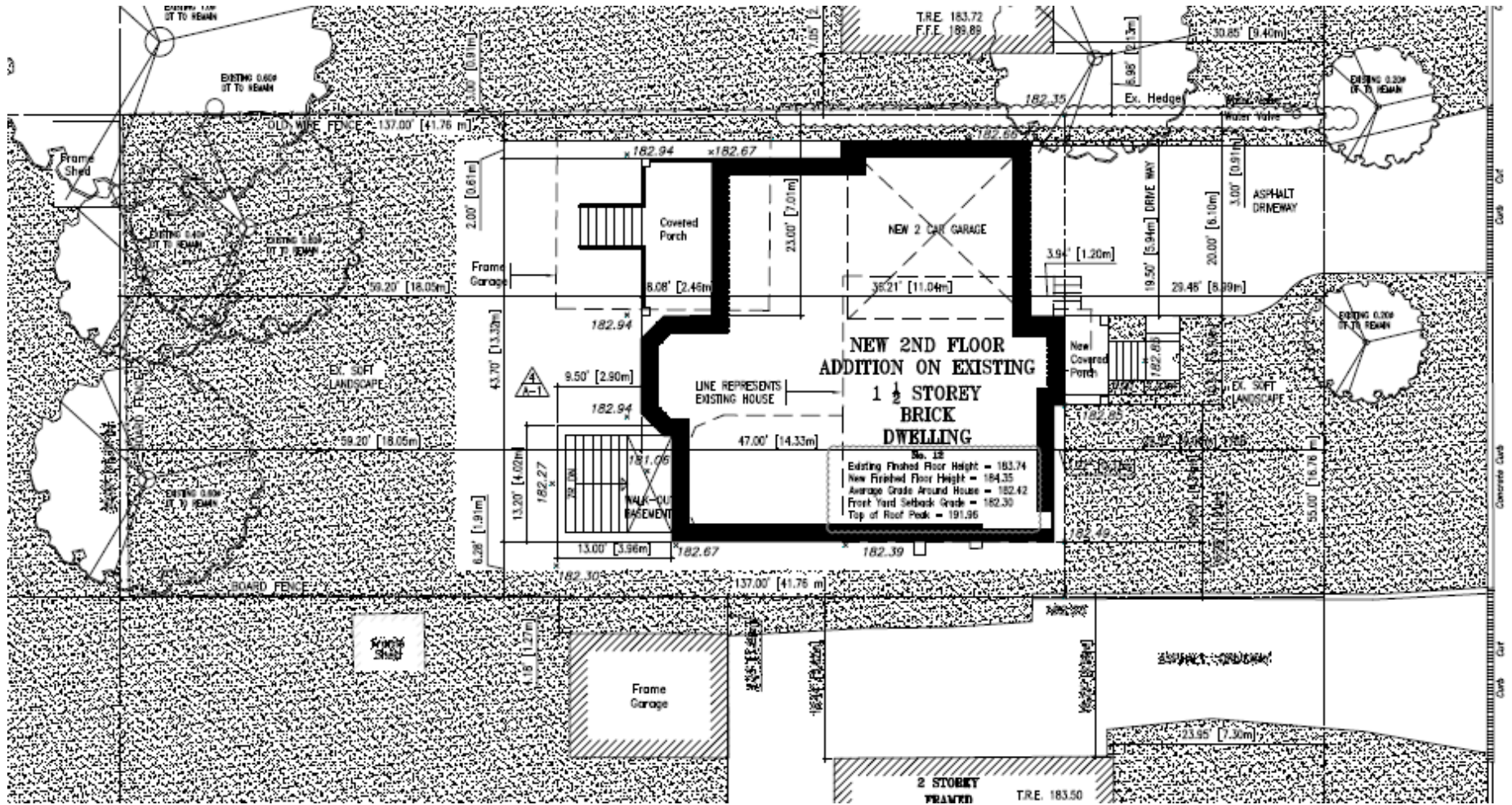
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No.9396

1. To permit the proposed/existing 9.66 metres building height, whereas the Zoning By-law permits a maximum 9 metres building height.
2. To permit the proposed/existing 1.425 metres basement height, whereas the Zoning By-law permits a maximum 1 metres building height.

VARIANCE:

- Building Height
- Basement Height



8. 1 HUNT CLUB DR

File Number:	A0178/17SC	Zoning	RD - Residential Detached/ S - Single Family Residential [ZZC]
Owner(s):	ALANNA SCHIFFER MICHAEL HILLS	Ward:	Scarborough Southwest (36)
Agent:	SPARROW STUDIO	Heritage:	Not Applicable
Property Address:	1 HUNT CLUB DR	Community:	Birchcliff Community
Legal Description:	PLAN 3153 LOT 23		

PURPOSE OF THE APPLICATION:

This applicaiton was deferred by the Committee of Adjustment on July 13, 2017, to allow the applicant to meet with the community. The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 3 metres building setback from a side lot line, whereas the Zoning By-law requires a minimum 3.6 metres building setback from a side lot line that abuts a street.
2. To permit the proposed 315 square metres floor area or 0.66 times the lot area, whereas the Zoning By-law permits maximum 237.97 square metres floor area or 0.5 times the lot area.
3. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
4. To permit the proposed 7.5 metres main walls height, whereas the Zoning By-law permits maximum 7 metres main wall height.
5. To permit the proposed building length of 18.62 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
6. To permit the proposed 69% front yard soft landscaping, whereas the Zoning By-law requires a minimum 75% front yard soft landscaping.
7. To permit the proposed parking space located in the front yard, whereas the Zoning By-law requires the parking space to be located in the rear yard.
8. To permit the proposed access to the parking space to be located in the front yard, whereas the Zoning By-law requires the parking space access to be from a flanking street that is not a major street.

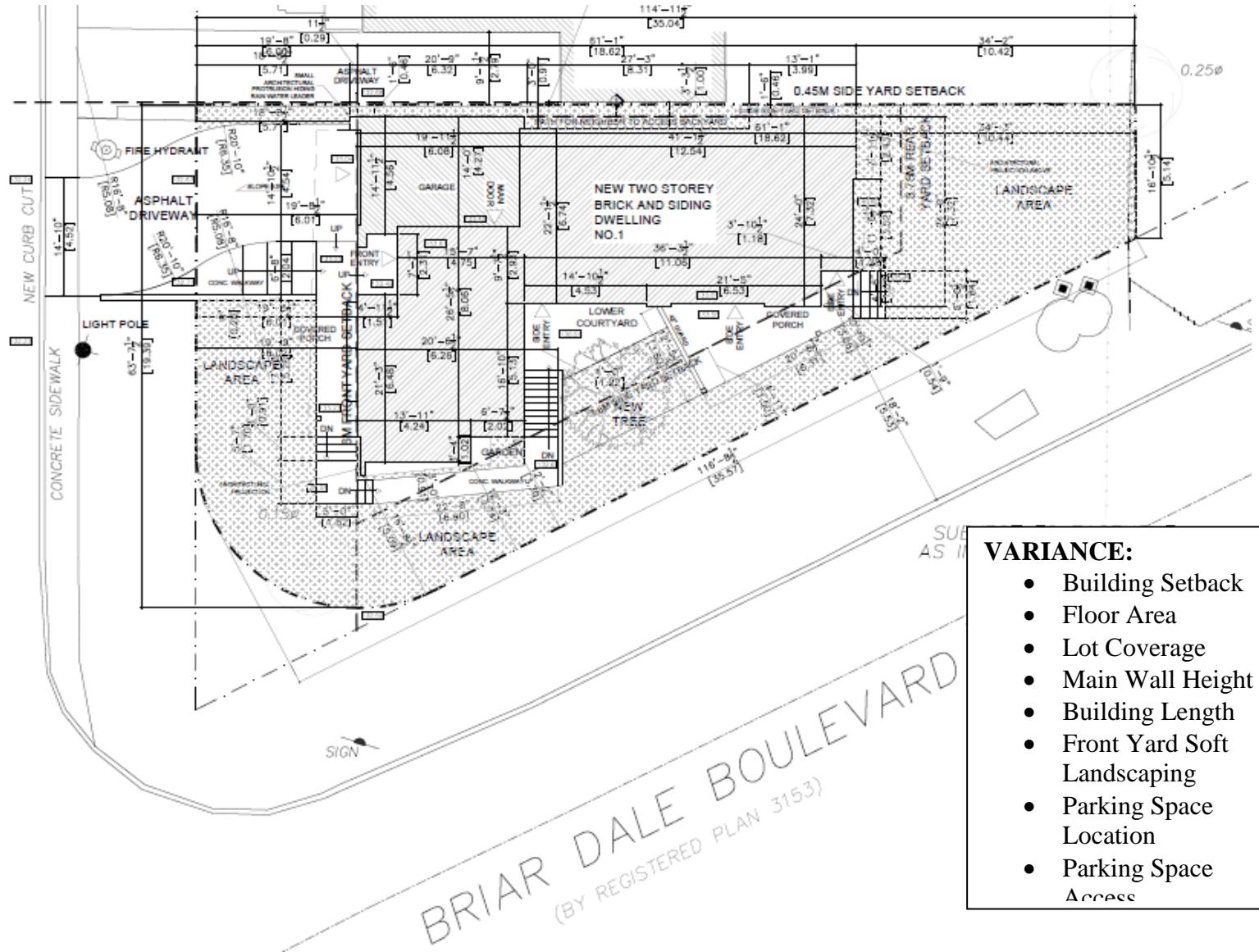
By-law No. 8786

9. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
10. To permit the proposed 315 square metres floor area or 0.66 times the lot area, whereas the Zoning By-law permits maximum 237.97 square metres floor area or 0.5 times the lot area.
11. To permit the proposed 69% front yard soft landscaping, whereas the Zoning By-law requires a minimum 75% front yard soft landscaping.
12. To permit the proposed 3 metres building setback from a side lot line, whereas the Zoning By-law requires a minimum 3.6 metres building setback from a side lot line that abuts a street.

HUNT CLUB DRIVE

(BY REGISTERED PLAN 3153)

ROAD CENTRELINE



- VARIANCE:**
- Building Setback
 - Floor Area
 - Lot Coverage
 - Main Wall Height
 - Building Length
 - Front Yard Soft Landscaping
 - Parking Space Location
 - Parking Space Access

9. 1 ROSSFORD RD

File Number:	A0246/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	EFTHALIA CHALATSI NIKOLAOS MOUTZOURIS	Ward:	Scarborough Centre (37)
Agent:	NIKOLAOS MOUTZOURIS	Heritage:	Not Applicable
Property Address:	1 ROSSFORD RD	Community:	Wexford Community
Legal Description:	PLAN 4222 LOT 33		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new second storey addition to the existing one and a half storey dwelling with a two storey front and side addition.

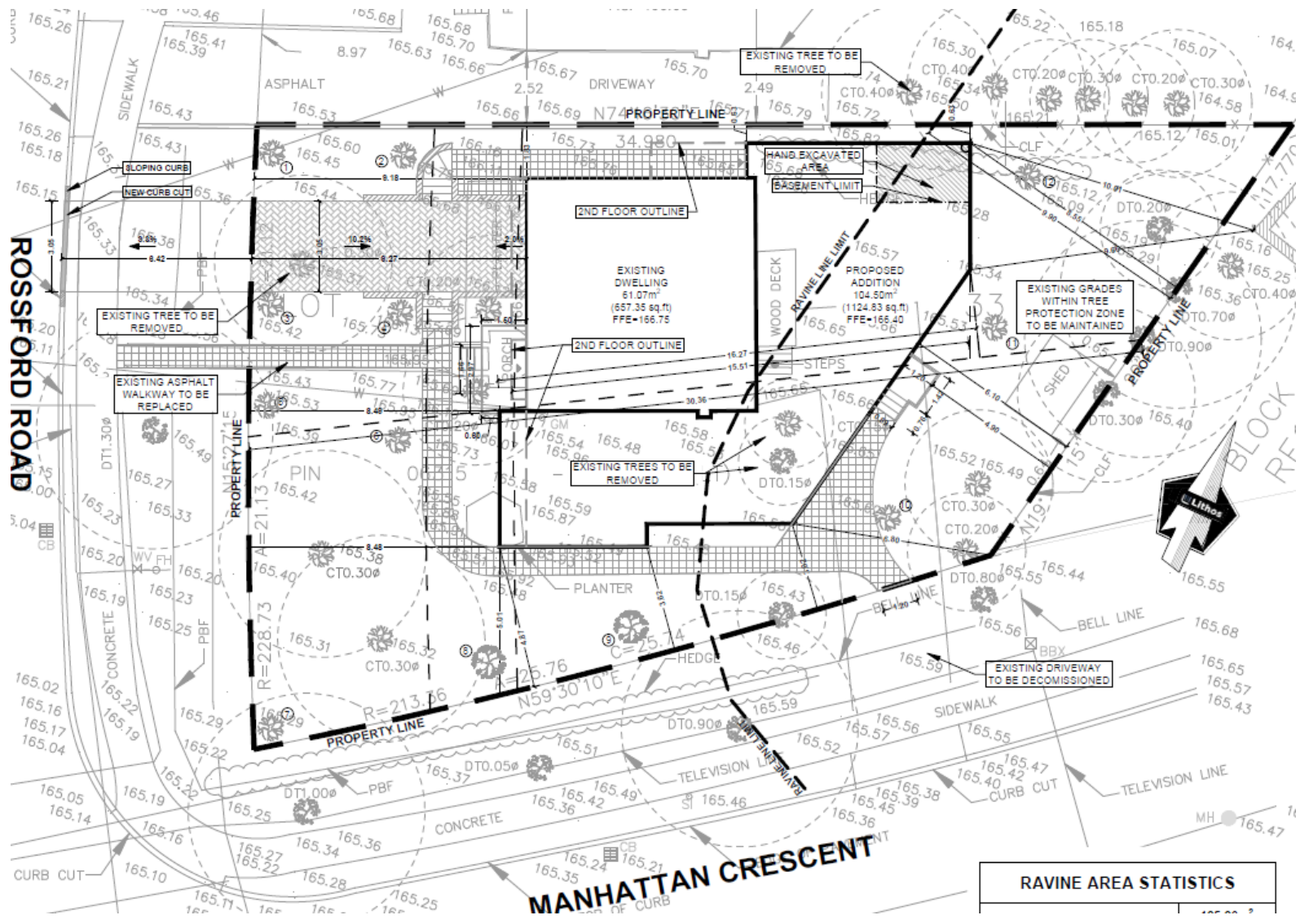
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 0.63 metres north side yard setback, whereas the Zoning By-law requires a minimum 0.9 metres side yard setback.
2. To permit the proposed 3.02 metres building setback from the side lot line that abuts a street, whereas the Zoning By-law requires a minimum 3.6 metres building setback from the side lot line that abuts a street.
3. To permit the proposed 8.48 metres front yard setback, whereas the Zoning By-law requires a minimum 8.97 metres front yard setback.
4. To permit the proposed 6.1 metres rear yard setback, whereas the Zoning By-law requires a minimum 7.59 metres rear yard setback.
5. To permit the proposed vehicle access to a parking space from the street from which the lot fronts, whereas the Zoning By-law requires vehicle access to a parking space on a corner lot to be from a flanking street that is no a major street.

By-law No. 9511

6. To permit the proposed 0.63 metres north side yard setback, whereas the Zoning By-law requires a minimum 0.9 metres side yard setback.
7. To permit the proposed 3.02 metres building setback from the side lot line that abuts a street, whereas the Zoning By-law requires a minimum 3.6 metres building setback from the side lot line that abuts a street.



RAVINE AREA STATISTICS

10. 55 MEGAN AVE

File Number:	A0256/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	SINTHUJA MOHAN MOHAN YOGARAJAH	Ward:	Scarborough East (44)
Agent:	ROCKIM DESIGN INC	Heritage:	Not Applicable
Property Address:	55 MEGAN AVE	Community:	West Hill Community
Legal Description:	PLAN 2441 PT LOT 29		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new second floor additions with a two-storey rear addition to the existing one storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

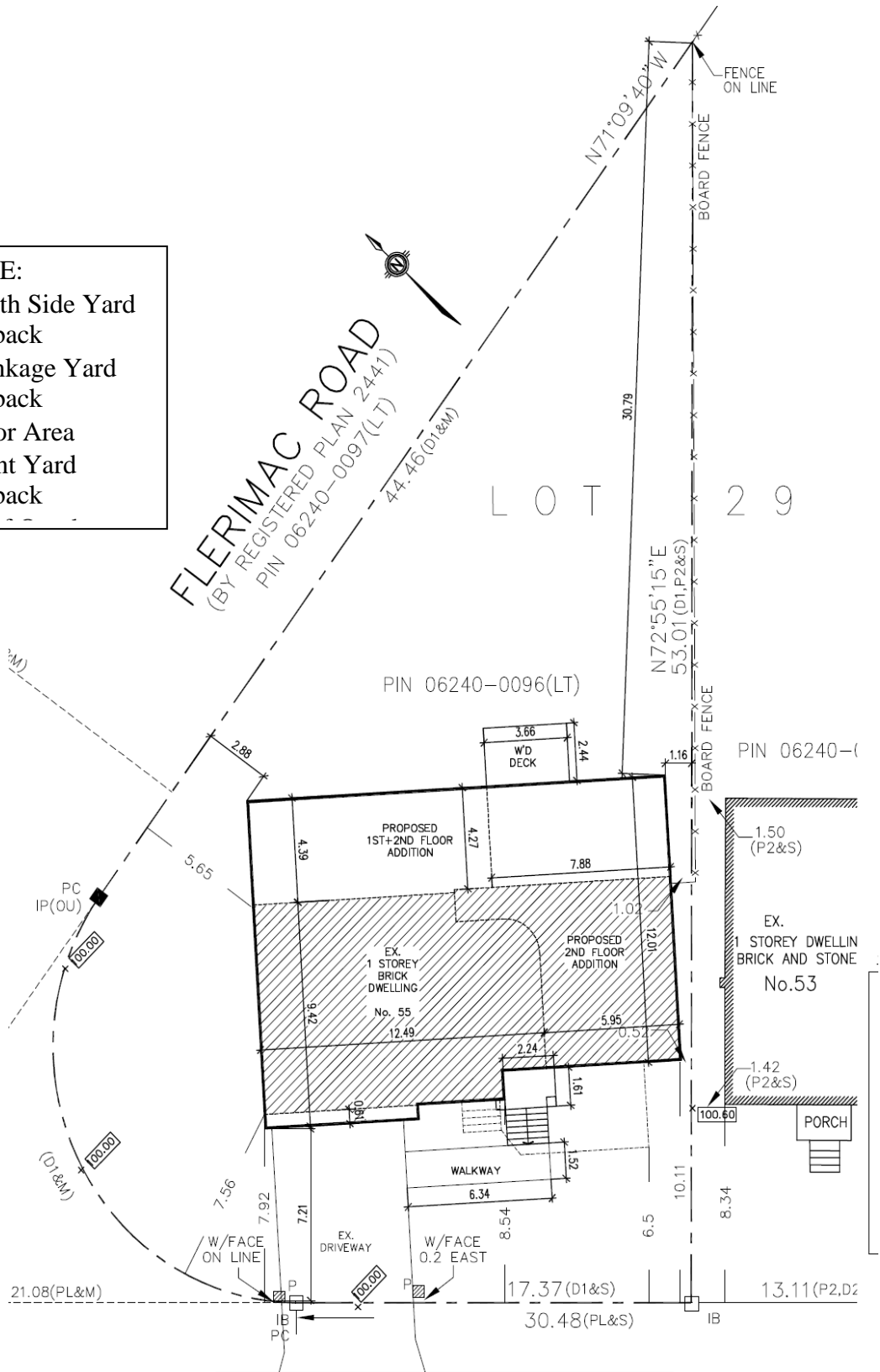
1. To permit the proposed 0.52 metres south side yard setback, whereas the Zoning By-law requires a minimum 0.9 metres side yard setback.
2. To permit the 2.88 metres setback to Flerimac Road streetline, whereas the Zoning By-law requires a minimum 3.6 metres flankage yard setback.
3. To permit the proposed 470 square metres floor area or 0.512 times the lot area, whereas the Zoning By-law permits 0.4 times to the lot area.
4. To permit the proposed 7.21 metres front yard setback, whereas the Zoning By-law requires a minimum 8.34 metres front yard setback.
5. To permit the proposed roof overhang and eavestrough of the porch roof to be located 0.12 metres close to the lot line, whereas the Zoning By-law permits eaves of a roof to encroach if they are no closer to a lot line than 0.3 metres.

By-law No. 10327

6. To permit the proposed 0.52 metres south side yard setback, whereas the Zoning By-law requires a minimum 0.9 metres side yard setback.

7. To permit the 2.88 metres setback to Flerimac Road streetline, whereas the Zoning By-law requires a minimum 3.6 metres flankage yard setback.
8. To permit the proposed 423 square metres floor area or 0.461 times the lot area, whereas the Zoning By-law permits 0.4 times to the lot area.

- VARIANCE:**
- South Side Yard Setback
 - Flankage Yard Setback
 - Floor Area
 - Front Yard Setback



TOTAL FRONT YARD LAND
= 206.20 SQ.M.(100%) m²
= 162.71 sq.m.(78.90%) m²

11. 10 JOHN TABOR TRL

File Number:	A0257/17SC	Zoning	School (SC) Zone [ZR]
Owner(s):	METROPOLITAN SEPARATE SCHOOL BOARD	Ward:	Scarborough-Rouge River (42)
Agent:	MICHAEL NICHOLAS-SCHMIDT	Heritage:	Not Applicable
Property Address:	10 JOHN TABOR TRL	Community:	Malvern Community
Legal Description:	PLAN M1607 BLK I		

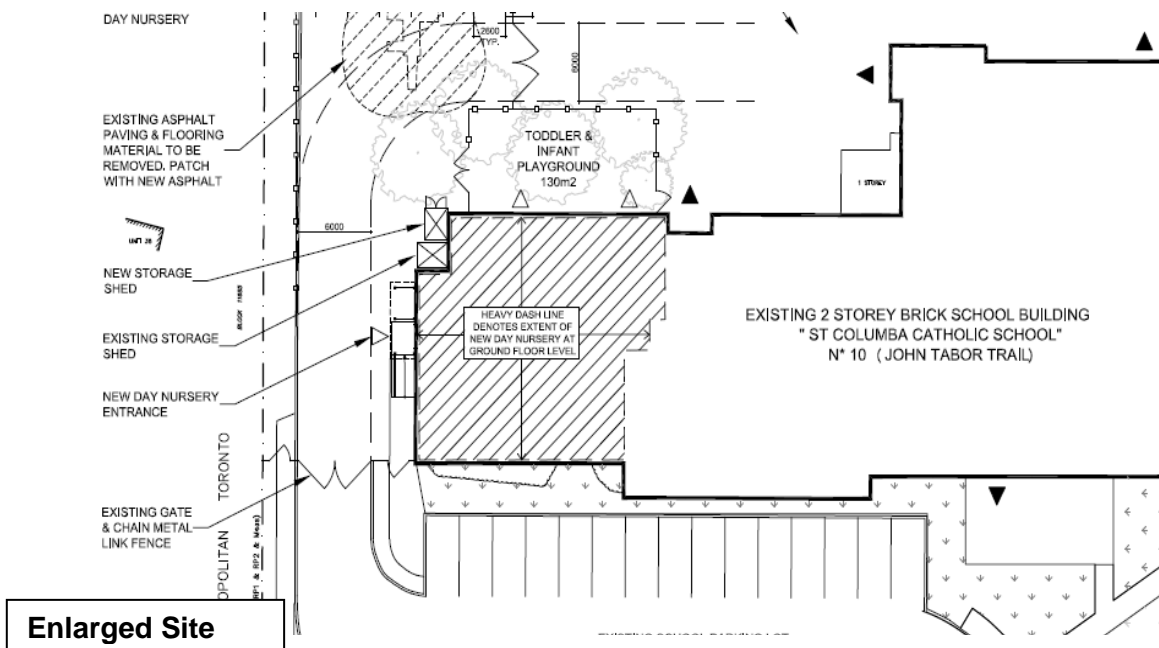
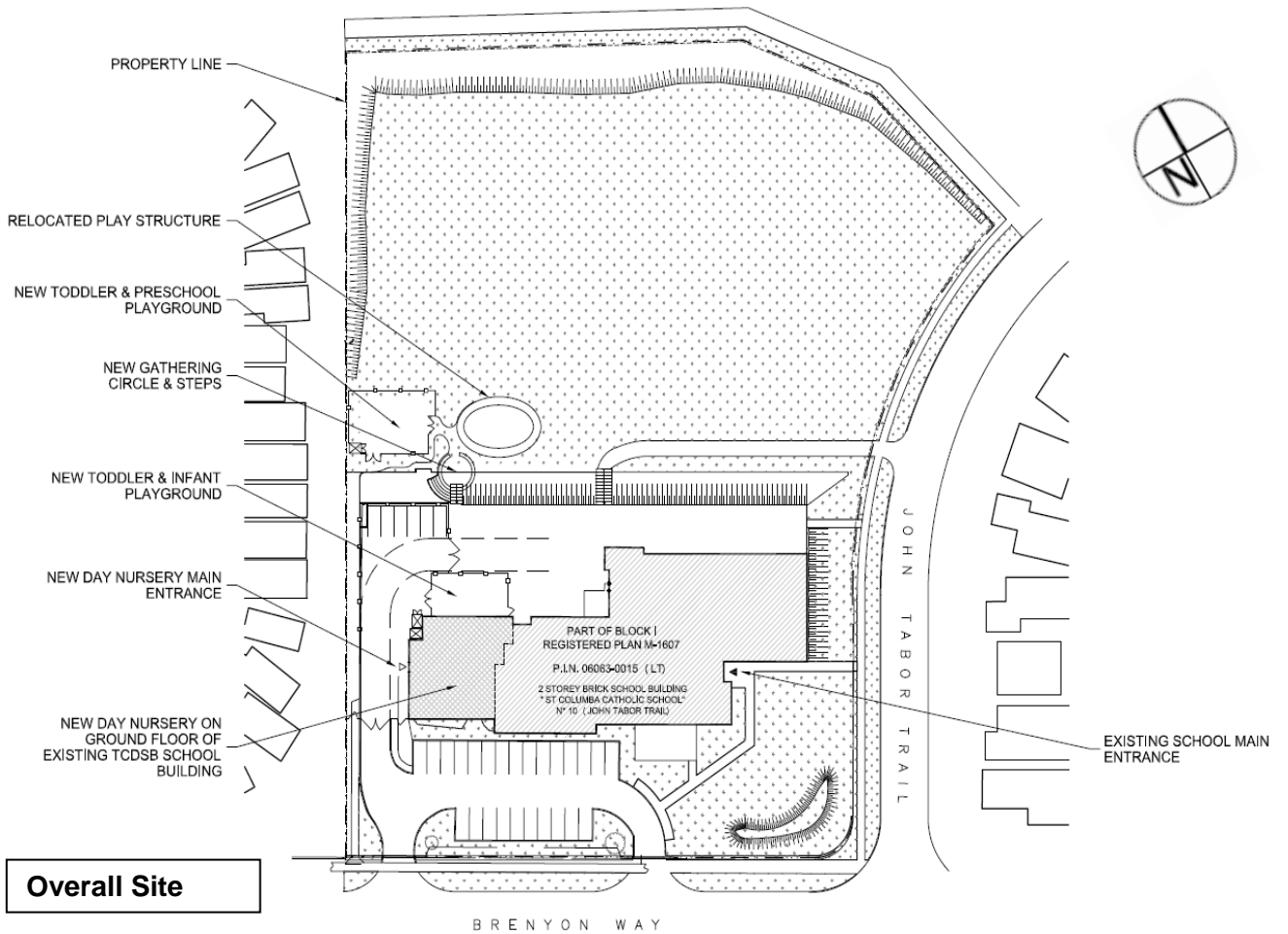
PURPOSE OF THE APPLICATION:

To permit a portion of the ground floor space to be used as a day nursery facility.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 14402:

1. To permit a day nursery to operate within the existing school;
Whereas the Zoning By-law permits only a Separate School use for the lands. A day nursery is not a permitted use.



12. 27 MINFORD AVE

File Number:	A0264/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	ANDONIS ARTEMAKIS	Ward:	Scarborough Centre (37)
Agent:	ANDONIS ARTEMAKIS	Heritage:	Not Applicable
Property Address:	27 MINFORD AVE	Community:	Wexford Community
Legal Description:	PLAN 4539 LOT 275		

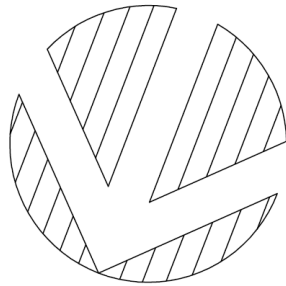
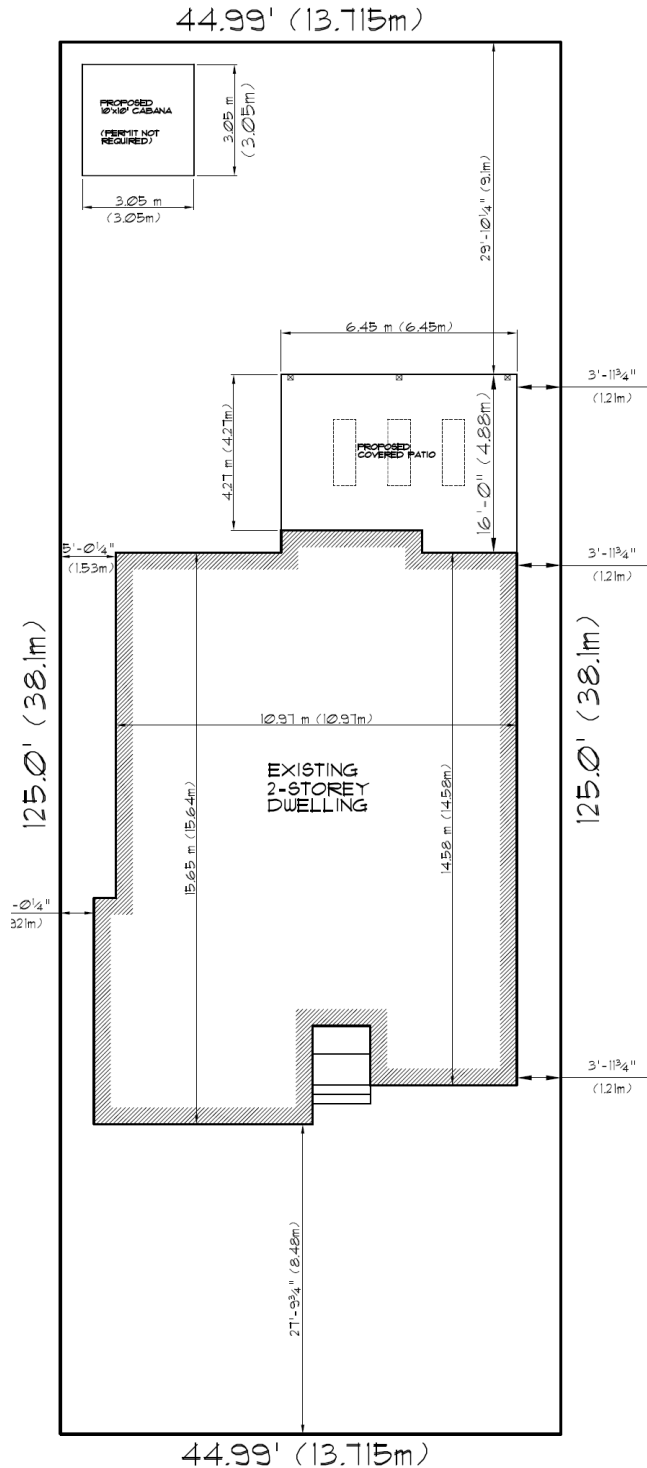
PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new rear covered patio to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 9511

1. To permit the proposed 40.1% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.



- SITE DATA & INFORMATION

SITE PLAN SHOWING
 LOT 275
 REGISTERED PLAN NO. 45:
 CITY OF TORONTO
 (FORMERLY CITY OF SCARBOROUGH)

- SITE SPECIFICATIONS

LOT AREA = 5623.75 sqft (522.46 eq.m.)

- LOT COVERAGE CALCULATIONS

EXIST. DWELLING = 1835.19 sqft. (170.49 eq.m.)
 (INCLUDES ATTACHED GARAGE & ROOF OVER FRONT PORCH)

PROPOSED REAR COVERED PATIO = 313.35 sq.ft. (29.11eq.m.)

PROPOSED REAR = 107.0 sq.ft. (9.94eq.m.)

TOTAL COVERAGE = 2255.52 sqft (209.55 eq.m.)

@ 40.1%

MINFORD DRIVE

13. 123A DONSIDE DR

File Number:	A0268/17SC	Zoning	Single Family (S) & residential Detached (RD) Zone [ZR]
Owners:	NILUFA CHOWDHURY ABU HASNAT CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	123A DONSIDE DR	Community:	Clairlea Community
Legal Description:	PLAN M464 LOT 10		

PURPOSE OF THE APPLICATION:

This application is for variances for a proposed new two storey dwelling with an attached garage on a lot created by severance.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed west side yard setback is 0.52 m
Whereas the required minimum building setback from a side lot line is 0.9 metres
2. The house is proposed as a three storey dwelling with a height of 9 m
Whereas if a detached house has a roof with a slope of less than 1.0 vertical units for every 4.0 horizontal units, for more than 50% of the total horizontal roof area, the permitted maximum height of the building is 7.2 metres, and the building may have no more than two storeys
3. The proposed height of the first floor above established grade is 1.5 m.
Whereas the permitted maximum height of the first floor above established grade is 1.2 metres.
4. The area of the proposed platform at or above the second storey is 7.41 m²
Whereas the permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m²
5. The proposed first floor area within 4.0 metres of the front main wall is 4.49 m²
Whereas a minimum of 10.0 m² of the first floor must be within 4.0 metres of the front main wall
6. The proposed roof overhang and eavestrough are 0.19 m from the west side lot line
Whereas the eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 metres, if they are no closer to a lot line than 0.3 metres.

By-law No. 8978:

7. The proposed west side yard setback is 0.52 m.
Whereas the minimum required setback is 0.9 m
8. The house is proposed as a three storey dwelling
Whereas the maximum number of storeys excluding basements is 2 storeys.

14. 123B DONSIDE DR

File Number:	A0269/17SC	Zoning	Single Family (S) & residential Detached (RD) Zone [ZR]
Owners:	NILUFA CHOWDHURY ABU HASNAT CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ARC DESIGN GROUP	Heritage:	Not Applicable
Property Address:	123B DONSIDE DR	Community:	Clairlea Community
Legal Description:	PLAN M464 LOT 10		

PURPOSE OF THE APPLICATION:

This application is for variances for a proposed new two storey dwelling with an attached garage on a lot created by severance.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed west side yard setback is 0.52 m
Whereas the required minimum building setback from a side lot line is 0.9 metres
2. The house is proposed as a three storey dwelling with a height of 9 m
Whereas if a detached house has a roof with a slope of less than 1.0 vertical units for every 4.0 horizontal units, for more than 50% of the total horizontal roof area, the permitted maximum height of the building is 7.2 metres, and the building may have no more than two storeys
3. The proposed height of the first floor above established grade is 1.4 m.
Whereas the permitted maximum height of the first floor above established grade is 1.2 metres.
4. The area of the proposed platform at or above the second storey is 7.41 m²
Whereas the permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m²
5. The proposed first floor area within 4.0 metres of the front main wall is 4.49 m²
Whereas a minimum of 10.0 m² of the first floor must be within 4.0 metres of the front main wall
6. The proposed roof overhang and eavestrough are 0.19 m from the west side lot line
Whereas the eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 metres, if they are no closer to a lot line than 0.3 metres.

By-law No. 8978:

7. The proposed west side yard setback is 0.52 m.
Whereas the minimum required setback is 0.9 m
8. The house is proposed as a three storey dwelling
Whereas the maximum number of storeys excluding basements is 2 storeys.

ASPHALT DRIVEWAY

OVERHEAD WIRE
N74°19'00"E

STAIRS
CONC. PORCH
1.46 COL

2 STOREY BRICK DWELLING
No. 115
F.S=144.47

EXISTING 1 STOREY BRICK AND ALUMINUM DWELLING TO BE DEMOLISHED

CORNER 0.26 EAST
FRAME GARAGE

CORNER 0.34 EAST

CORNER 1.13 EAST
METAL SHED 7.49

CORNER 1.11 EAST

#23A
PROPOSED 2 STOREY DWELLING
FFE = 146.36
TBS = 142.89

#23B
PROPOSED 2 STOREY DWELLING
FFE = 146.31
TBS = 142.84

LOT 9

PIN 06459-0030(LT)

LOT 11

PIN 06459-0028(LT)

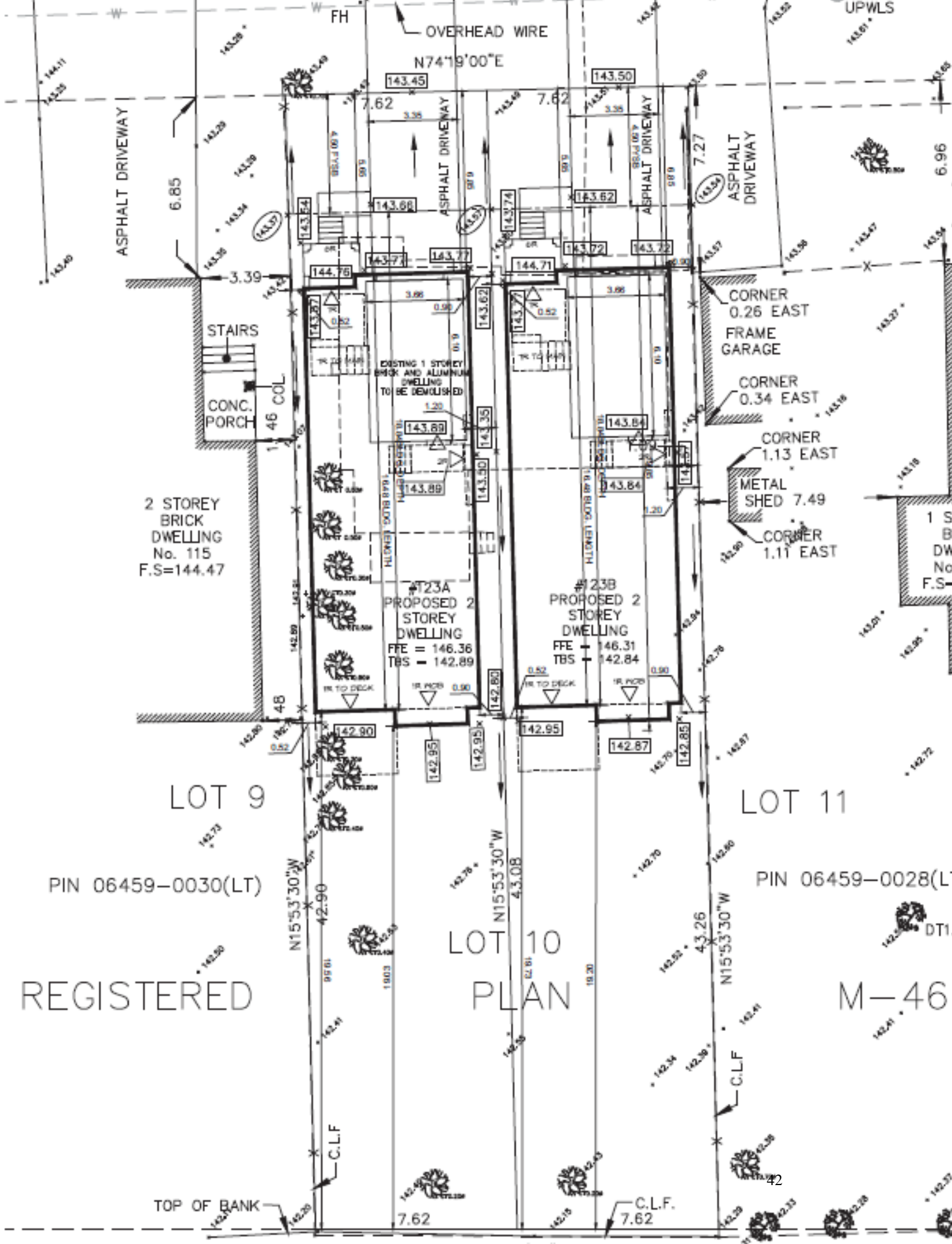
REGISTERED

LOT 10
PLAN

M-46

TOP OF BANK

C.L.F.
7.62



15. 19 LAKESIDE AVE

File Number:	A0274/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	STEPHEN JULIAN UZIELLI ROBIN LESLIE SIEGERMAN	Ward:	Scarborough Southwest (36)
Agent:	ADTEK BUILDING CONSULTANTS	Heritage:	Not Applicable
Property Address:	19 LAKESIDE AVE	Community:	Birchcliff Community
Legal Description:	PLAN 1538 LOT 22		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey side addition, to allow for an elevator shaft, to the existing two storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

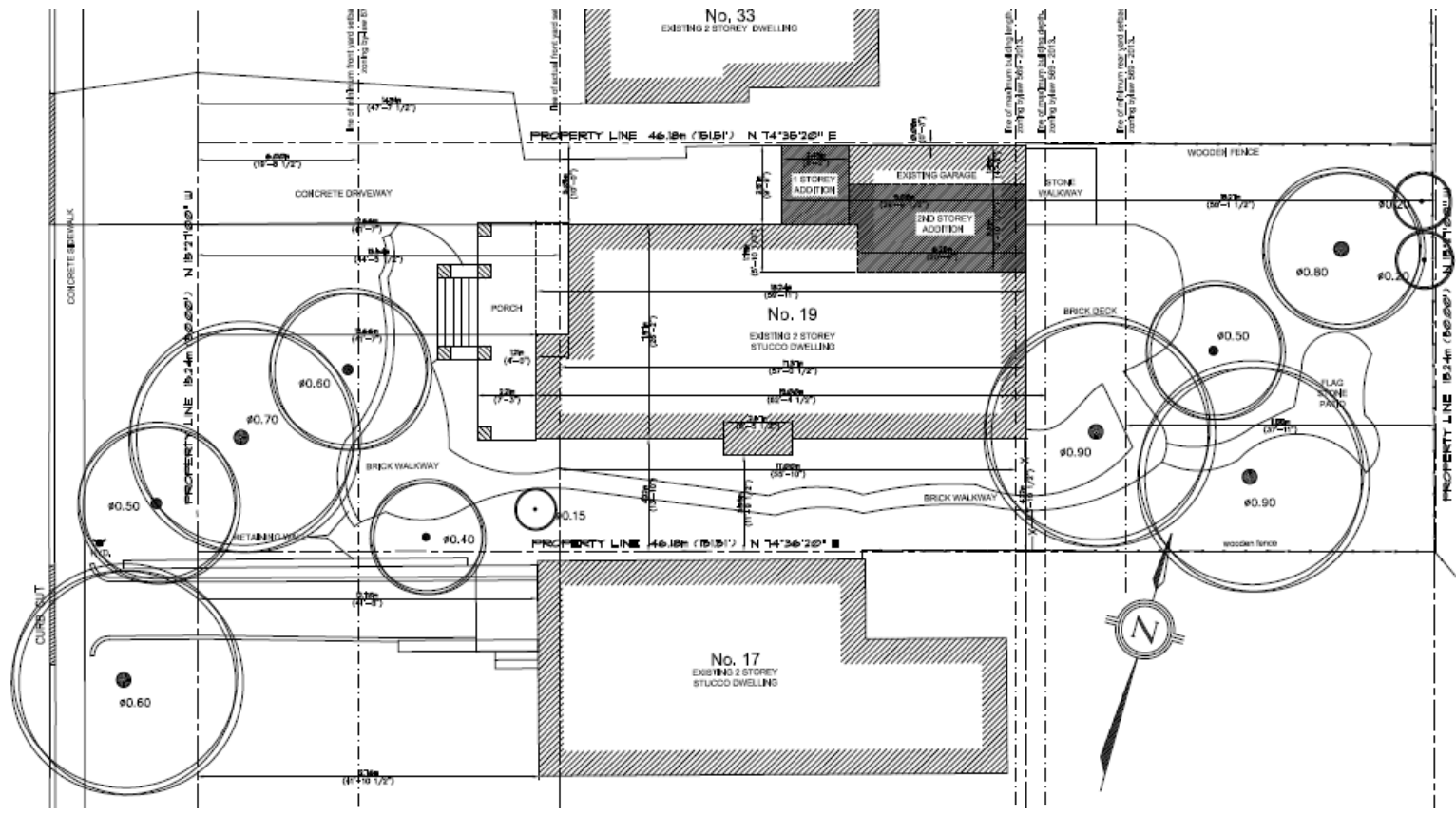
By-law No. 569-2013

1. To permit the proposed 341.75 square metres floor area or 0.43 times the lot area, whereas the Zoning By-law permits maximum 281.5 square metres or 0.4 times to the lot area.

By-law No. 8786

2. To permit the proposed 302 square metres floor area or 0.43 times the lot area, whereas the Zoning By-law permits maximum 281.5 square metres or 0.4 times to the lot area.

LAKESIDE AVENUE



16. 80 NORTH WOODROW BLVD

File Number:	A0276/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	CHARISH ARADANAS RONALDO ARADANAS	Ward:	Scarborough Southwest (35)
Agent:	GGC LTD GENERAL CONTRACTOR	Heritage:	Not Applicable
Property Address:	80 NORTH WOODROW BLVD	Community:	Birchmount Park Community
Legal Description:	PLAN 2050 LOT 33		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new second storey addition, with a two storey side addition to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 9174

1. To permit the proposed 14.7 metres building setback from the centre line of the original road allowance, whereas the Zoning By-law requires a minimum 16 metres building setback from the centre line of the original road allowance.

DIVISION OF GEOMAPLE)
SURVEYORS

info@geomaple.ca

LOT 33
REGISTERED PLAN 2050
CITY OF TORONTO
(FORMERLY CITY OF SCARBOROUGH)

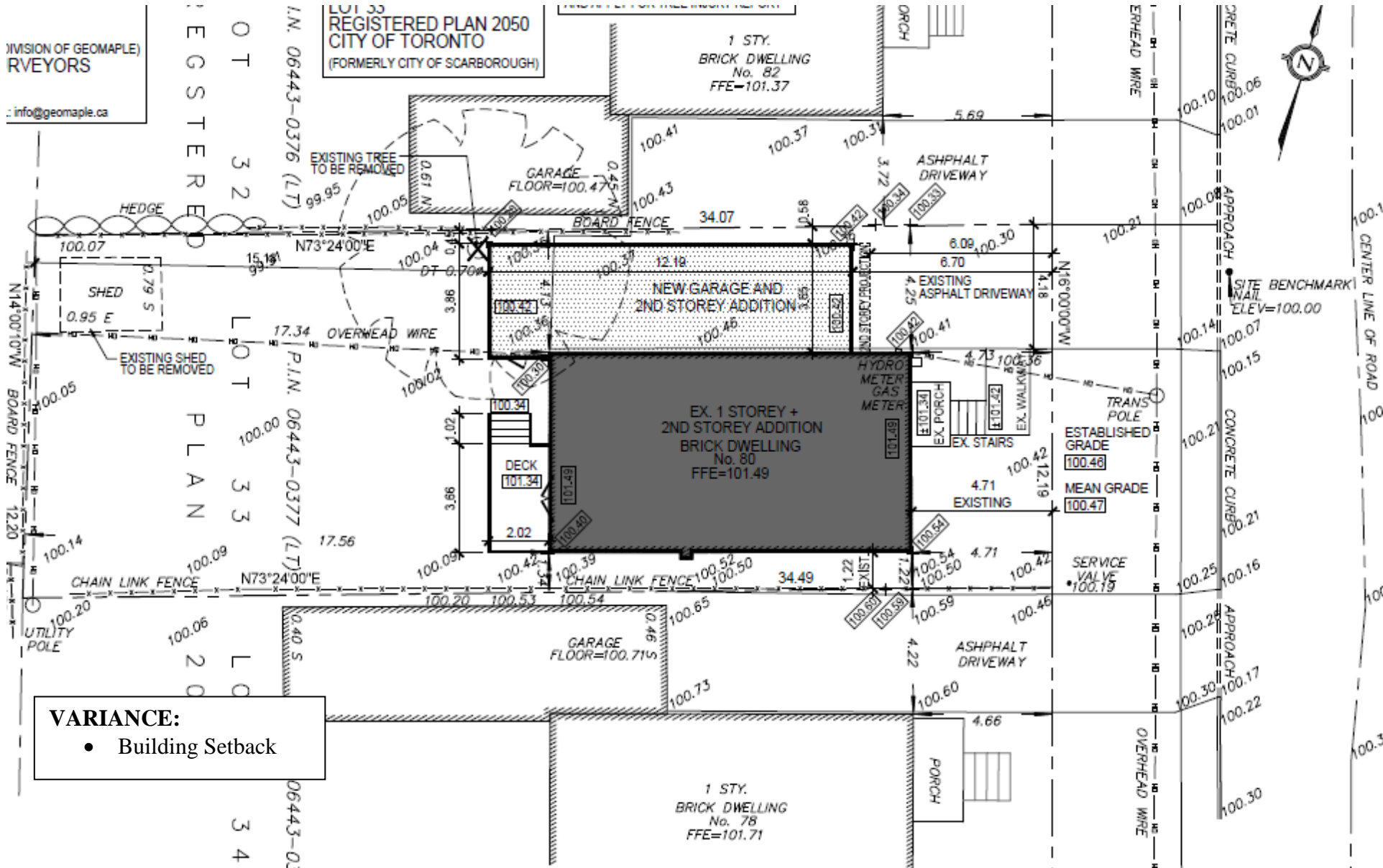
1 STY.
BRICK DWELLING
No. 82
FFE=101.37

EX. 1 STOREY +
2ND STOREY ADDITION
BRICK DWELLING
No. 80
FFE=101.49

1 STY.
BRICK DWELLING
No. 78
FFE=101.71

VARIANCE:

- Building Setback



17. 10 ROSSWOOD CRES

File Number:	A0279/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	MAJEED JAZEI	Ward:	Scarborough Centre (37)
Agent:	MAJEED JAZEI	Heritage:	Not Applicable
Property Address:	10 ROSSWOOD CRES	Community:	Bendale Community
Legal Description:	PLAN 6015 LOT 265		

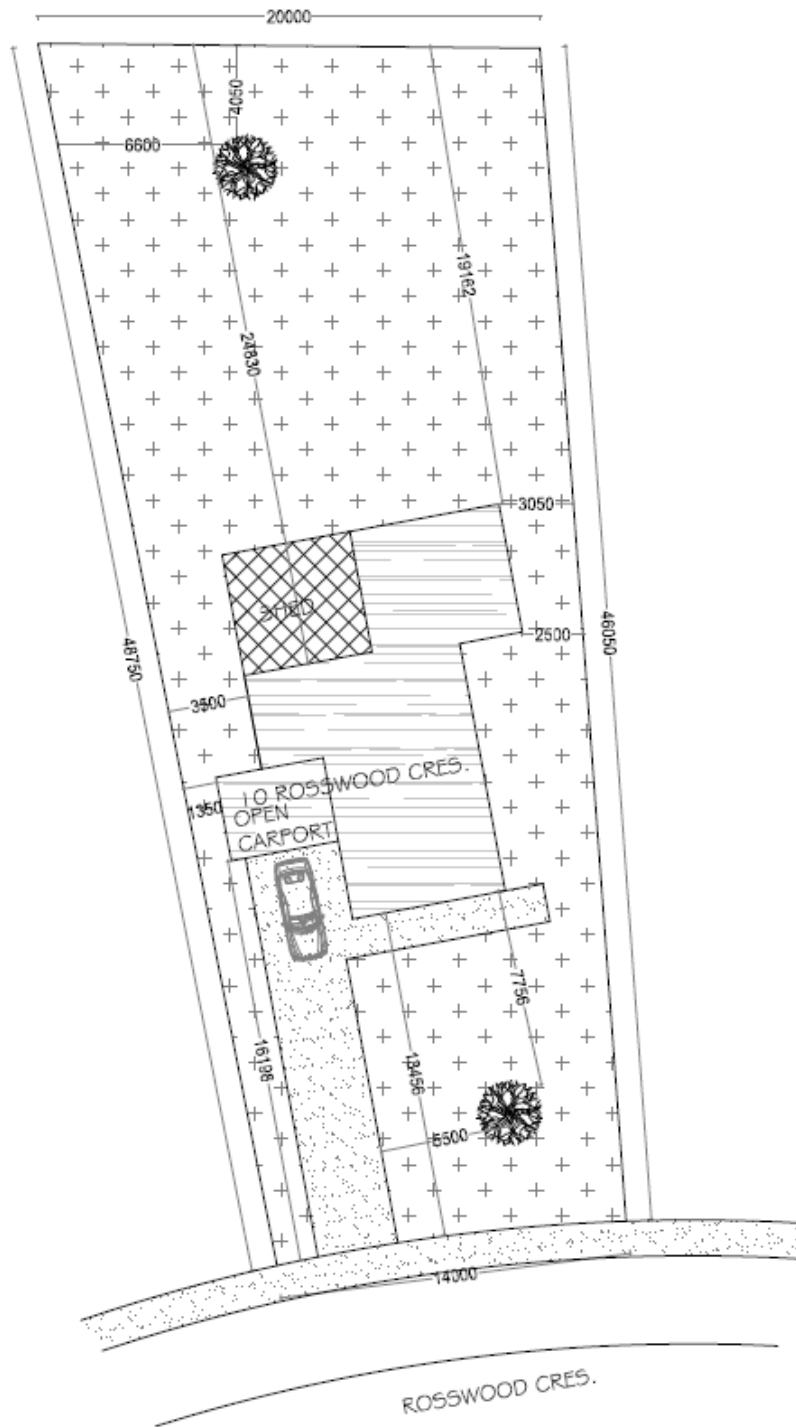
PURPOSE OF THE APPLICATION:

Proposal to enclose the carport and convert the space into a front foyer. The required parking space is proposed in front of the main wall.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 9350:

1. The proposed parking space is in the front yard.
Whereas the required parking space for the dwelling unit must be behind the front main wall of the house



18. 1757 & 1759 VICTORIA PARK AVE

File Number:	A0280/17SC & A0283/17SC	Zoning	Residential Apartment (RA) & Apartment Residential (A) Zone [ZR]
Owner(s):	CAPREIT VICTORIA PARK APARTMENTS CAPREIT LIMITED PARTNERSHIP	Ward:	Scarborough Centre (37)
Agent:	POMEROY ARCHITECTURE INC	Heritage:	Not Applicable
Property Address:	1757 & 1759 VICTORIA PARK AVE	Community:	Wexford Community
Legal Description:	CON D PT LOT 35		

PURPOSE OF THE APPLICATION:

This proposal is to convert the existing ground floor office and part of the lobby into a new two-bedroom dwelling unit and indoor amenity space. The renovations will occur in both buildings located at 1757 and 1759 Victoria Park Avenue.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1759 Victoria Park Avenue

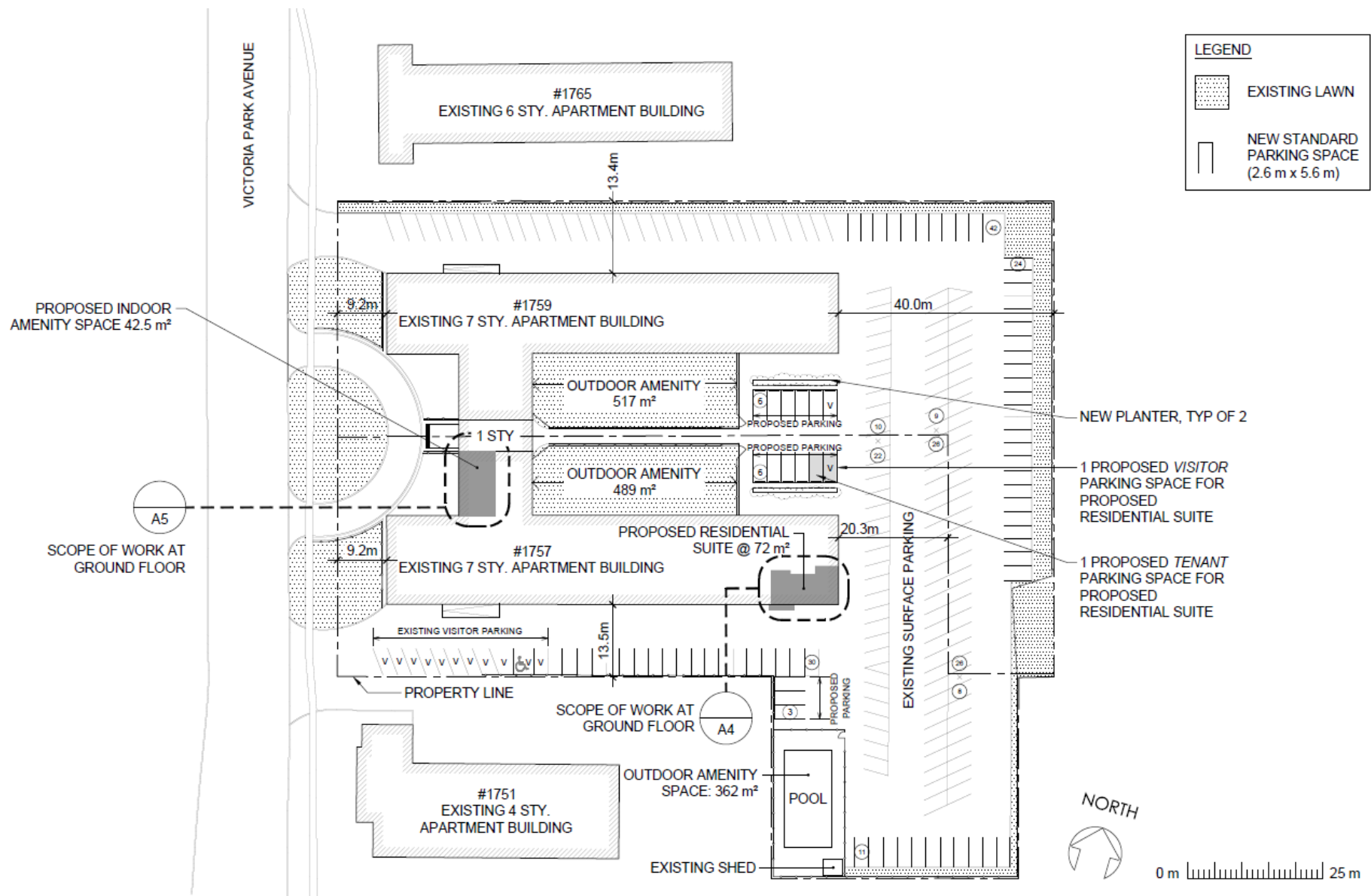
By-law No. 569-2013 & No. 9511:

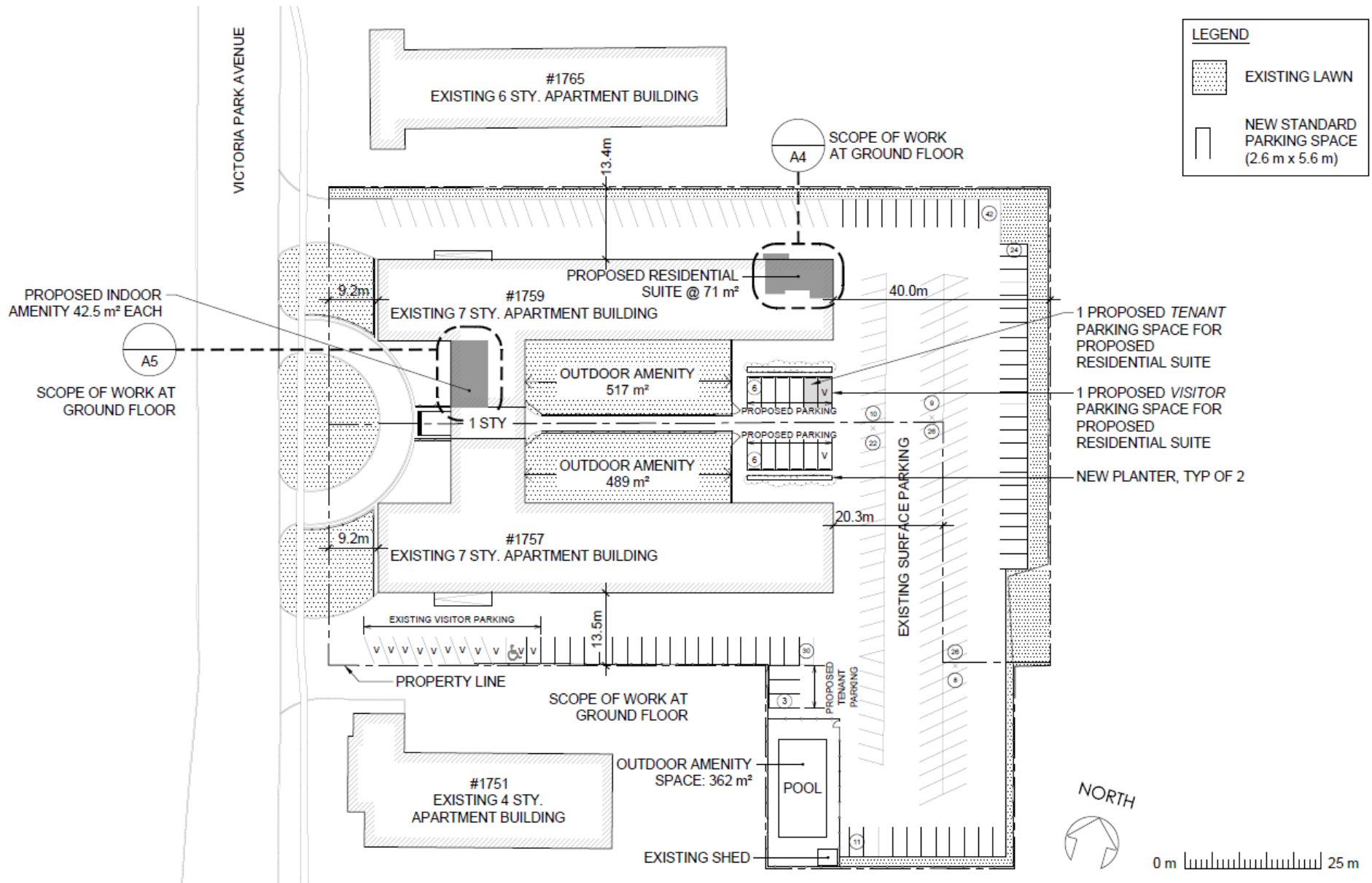
1. A total of 100 dwelling units are existing on the site and one (1) additional dwelling unit is proposed;
Whereas the maximum permissible intensity is 67 m² of lot area per dwelling unit (99 units).
2. A total of 64% of the proposed ground floor level will contain dwelling units;
Whereas a maximum of 50% of the interior floor area of the first floor may be used for dwelling units.
3. The proposed indoor amenity space will total 42.5 m² in area;
Whereas the minimum required amenity space is 91.9 m² (46 m² plus 0.9 m² for each unit in excess of 50).

1757 Victoria Park Avenue

By-law No. 569-2013 & No. 9511:

1. A total of 64% of the proposed ground floor level will contain dwelling units;
Whereas a maximum of 50% of the interior floor area of the first floor may be used for dwelling units.
2. The proposed indoor amenity space will total 42.5 m² in area;
Whereas the minimum required amenity space is 91.9 m² (46 m² plus 0.9 m² for each unit in excess of 50).





19. 4 LYNN RD

File Number:	A0284/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	INEZ KUDRYK	Ward:	Scarborough Southwest (36)
Agent:	STEPHEN G KING ARCHITECT	Heritage:	Not Applicable
Property Address:	4 LYNN RD	Community:	Birchcliff Community
Legal Description:	PLAN M410 PT LOT 88		

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition with basement, rear deck and interior renovations.

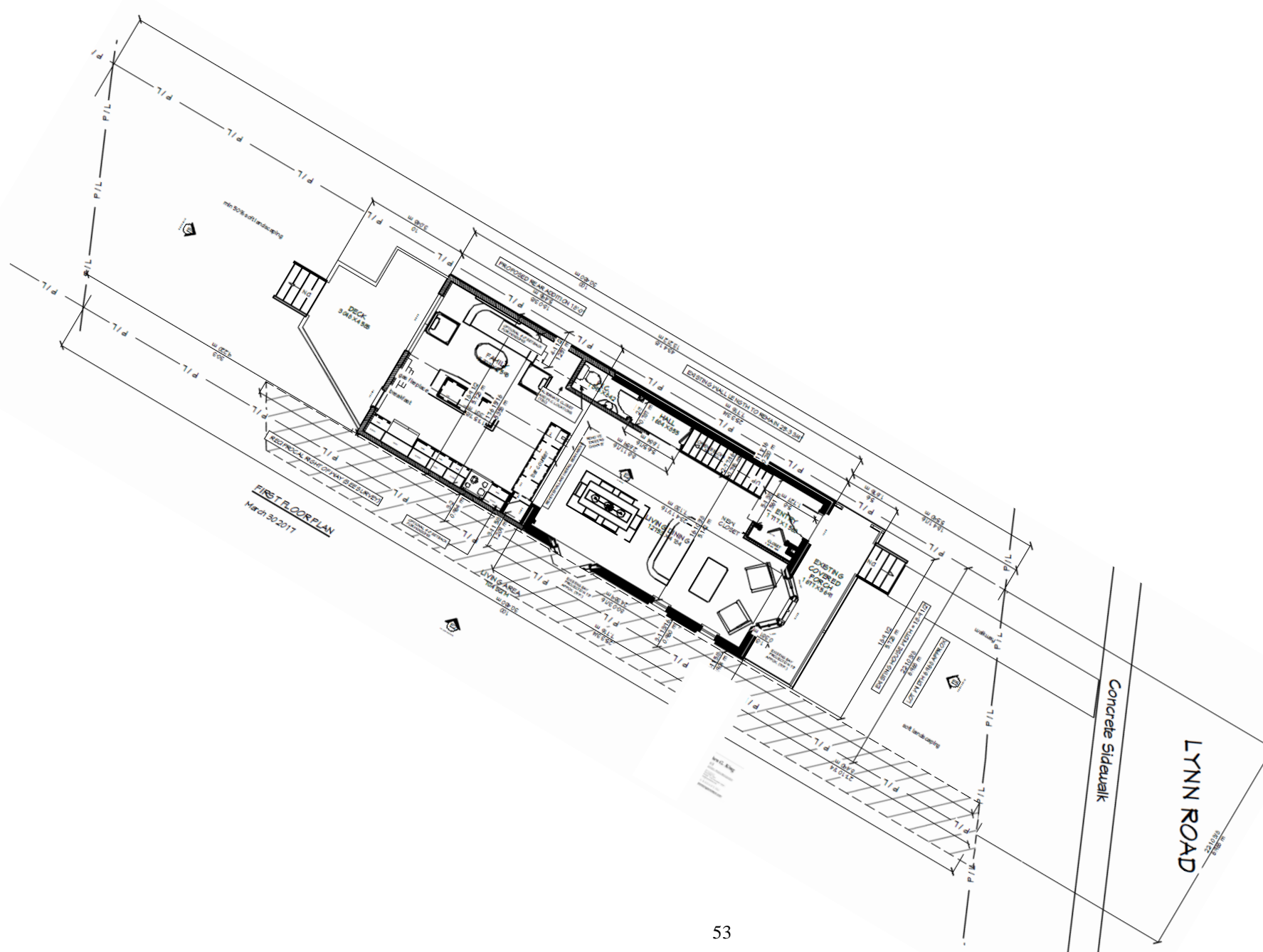
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & No. 8786:

1. The altered dwelling will cover 40.53% of the lot area (86.07 m²);
Whereas the maximum permitted coverage is 33% of the lot area (70.09 m²).
2. The altered dwelling will have a floor area equal to 0.701 times the lot area (148.79 m²);
Whereas the maximum permitted floor area is 0.6 times the lot area (127.43 m²).
3. The proposed rear addition will be located 0.28 m from the east side lot line (in line with the existing dwelling);
Whereas the minimum required side yard setback is 0.9 m.

By-law No. 569-2013:

4. The proposed eaves, including the eavestrough, will be located 0.05 m from the east side lot line;
Whereas a roof eaves may project a maximum of 0.9 m provided they are no closer than 0.3 m from the property line.



20. 53 BELLEFONTAINE ST

File Number:	A0286/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	KANDASAMY SUNDARALINGAM SELVADEVI SUNDARALINGAM	Ward:	Scarborough-Agincourt (39)
Agent:	CADAXX DESIGN LTD	Heritage:	Not Applicable
Property Address:	53 BELLEFONTAINE ST	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4401 LOT 85		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to permit the under construction two storey single family residential dwelling.

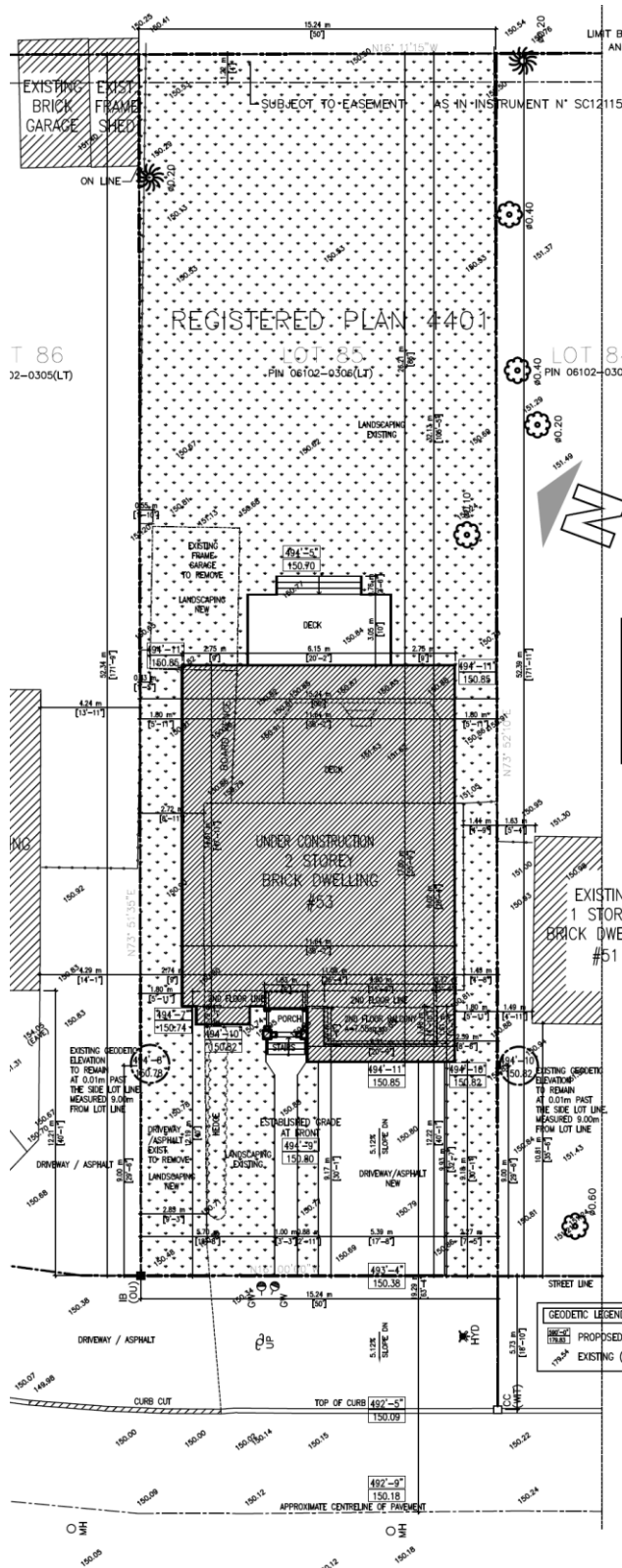
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 323.2 square metres floor area or 0.405 times the lot area, whereas the Zoning By-law permits maximum 319.2 square metres or 0.4 times to the lot area.
2. To permit the proposed 7.55 square metres platform area, whereas the Zoning By-law permits maximum 4 square metres platform area.

By-law No. 12360

3. To permit the proposed 321.2 square metres floor area or 0.403 times the lot area, whereas the Zoning By-law permits maximum 319.2 square metres or 0.4 times to the lot area.



VARIANCE:

- Floor Area
- Platform Area

Bellefontaine Street

21. 4 DUNUBE DR

File Number:	A0287/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	CHRISTINA AGELOPOULOS WADIE SHUHAIBAR	Ward:	Scarborough Centre (37)
Agent:	WADIE SHUHAIBAR	Heritage:	Not Applicable
Property Address:	4 DANUBE DR	Community:	Wexford Community
Legal Description:	PLAN 4963 LOT 56		

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing dwelling, a partial two-storey rear addition, a one-storey rear addition, interior alterations, a new rear deck and a new front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The existing/altered dwelling is located 7.74 m from the front lot line;
Whereas the minimum required front yard setback is 9.45 m.

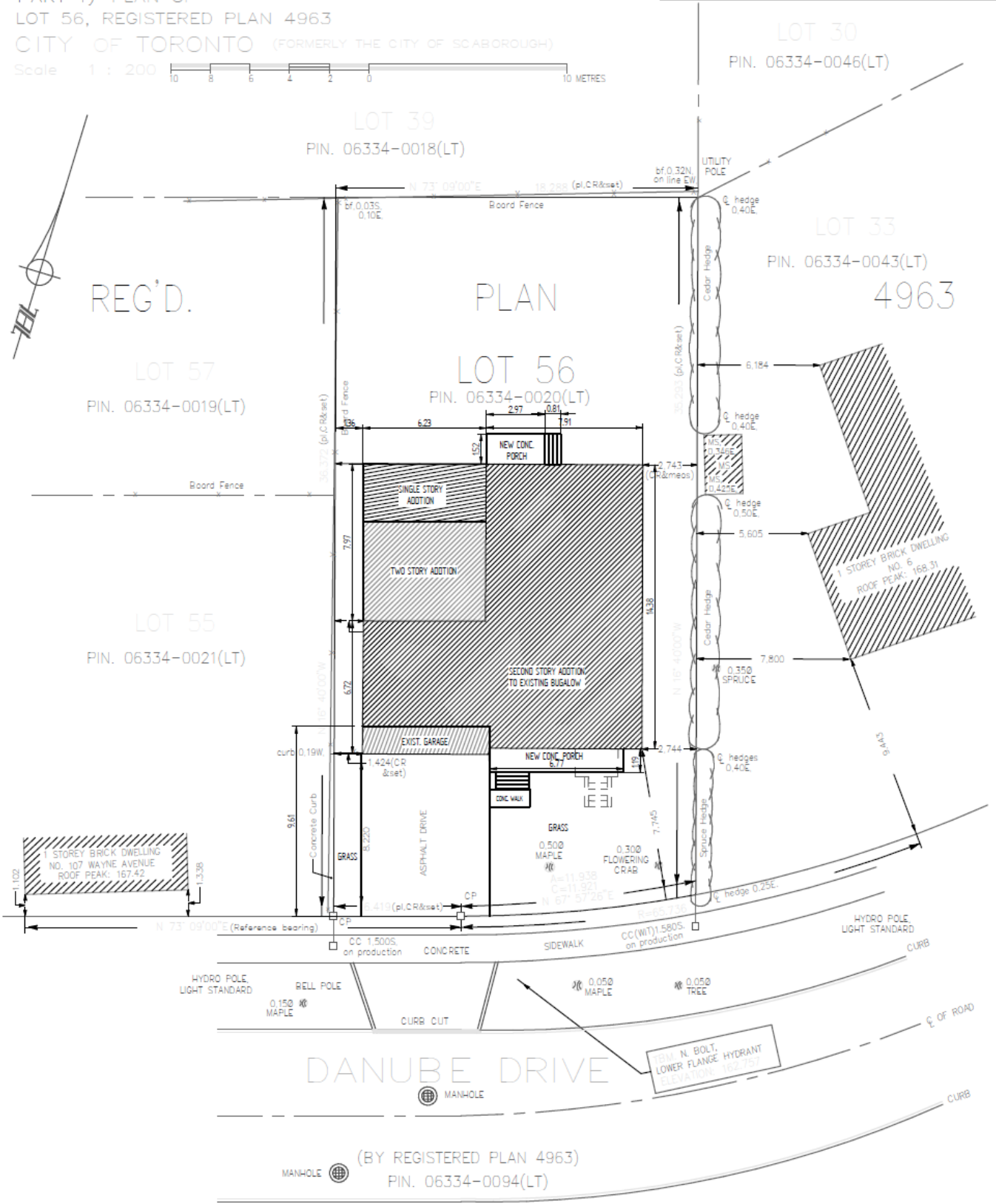
By-law No. 9511:

2. The altered dwelling will cover 33.37% of the lot area;
Whereas the maximum permitted coverage is 33% of the lot area.

SURVEYOR'S REAL PROPERTY REPORT
 PART 1) PLAN OF
 LOT 56, REGISTERED PLAN 4963
 CITY OF TORONTO (FORMERLY THE CITY OF SCARBOROUGH)
 Scale 1 : 200



METRIC DISTANCES SHOWN ON THIS PLAN ARE IN METRES
 AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048



(BY REGISTERED PLAN 4963)
 PIN. 06334-0094(LT)

22. 3 CAVEHILL CRES

File Number:	A0289/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ELIONA FERZAJ EDLIN BALLA	Ward:	Scarborough-Agincourt (40)
Agent:	NINA FANT ARCHITECT	Heritage:	Not Applicable
Property Address:	3 CAVEHILL CRES	Community:	Maryvale Community
Legal Description:	PLAN 5317 LOT 37		

PURPOSE OF THE APPLICATION:

To construct a two-storey south side addition and a second storey addition over the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

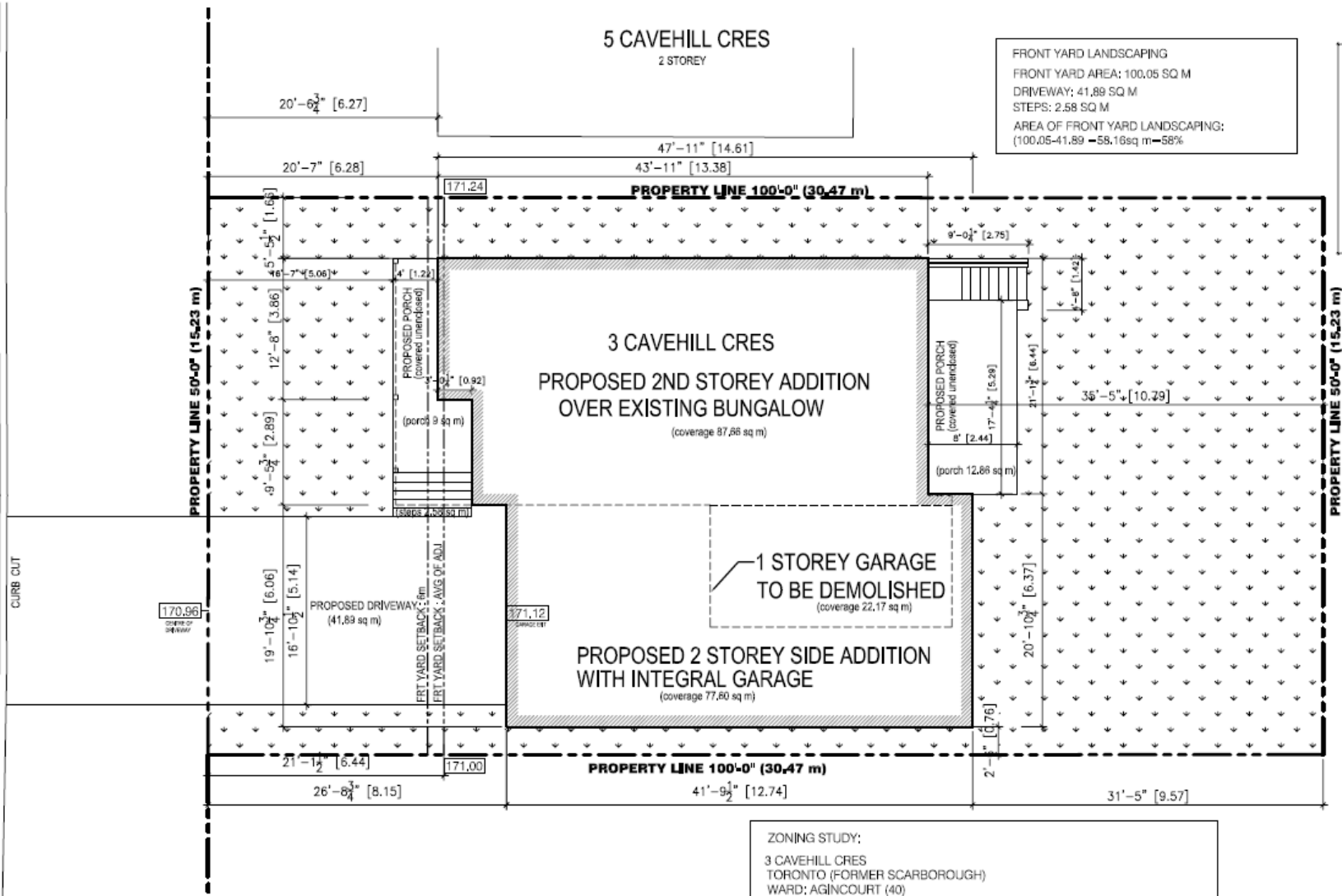
1. The altered dwelling will cover 38.4% of the lot area;
Whereas the maximum permitted coverage is 33% of the lot area.
2. The altered dwelling will be located 0.76 m from the south side lot line and 1.66 m from the north side lot line;
Whereas the minimum required side yard setback is 1.8 m.
3. The altered dwelling will have a height of 10.15 m;
Whereas the maximum permitted height is 9 m.
4. The altered dwelling will have a side main wall height of 9.7 m;
Whereas the maximum permitted height of side exterior main walls that face a side lot line is 7 m.
5. The altered dwelling will have a second-storey front platform with an area of 9 m², a second-storey rear platform with an area of 12.9 m², and a third-storey platform with an area of 9.8 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².
6. The altered dwelling is proposed to have two (2) platforms located at the rear wall;
Whereas the maximum permitted number of platforms at or above the second storey located on the rear wall is one (1).

By-law No. 9366:

7. The altered dwelling will cover 41.3% of the lot area;
Whereas the maximum permitted coverage is 33% of the lot area.

8. The altered dwelling will be located 0.76 m from the south side lot line and 1.66 m from the north side lot line (first and second storeys);
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.
9. The altered dwelling will have a height of 10.15 m;
Whereas the maximum permitted height is 9 m.

CAVEHILL CRESCENT



23. 41 PYTHAGORAS DR

File Number:	A0290/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	2500182 ONTARIO INC	Ward:	Scarborough East (44)
Agent:	VANLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	41 PYTHAGORAS DR	Community:	Highland Creek Community
Legal Description:	PLAN 2129 PT LOT 81 PLAN 66M2466 PT BLK 33 RP 66R28481 PARTS 1 & 7		

PURPOSE OF THE APPLICATION:

Proposal to construct a two-storey detached house.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The existing lot frontage is 13.41m
Whereas the minimum lot frontage is that which existed on the day of the enactment of this By-law.
2. The existing lot area is 614 m²
Whereas the minimum lot area is that which existed on the day of the enactment of this By-law.
3. The proposed building setback from a side lot line is 0.78 metres.
Whereas the minimum building setback from a side lot line is 1.2 metres in all other cases.
4. The proposed building setbacks on the east side is 0.78. The chimney on the west side encroaches into the setback by 0.43m and the basement walkout on the east side encroaches into setback by 0.24m.
Whereas the minimum building setback from a side lot line is 1.0 metres on one side and 0.9 metres on the other side and nothing may encroach into the required side yard.
5. The proposed floor space index is 50.1% of the lot area: 226.75 square metres.
Whereas the maximum floor space index for a lot with a dwelling unit in a permitted building type is 50% the lot area: 226.45 square metres.
6. The proposed front yard setback is 3.10 metres.
Whereas the required minimum front yard setback in the RD zone is 6.0 metres.

By-law No. 10927:

7. The existing lot frontage is 13.62 metres and the existing lot area is 452.9 m²
Whereas one single-family dwelling per parcel of land with a minimum of 15 m frontage on a public street, and a minimum area of 696 m².
8. The proposed front yard setback is 3.10 metres.
Whereas the required minimum front yard setback in the RD zone is 6.0 metres.

24. 37 PYTHAGORAS DR

File Number:	A0291/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owners:	2500182 ONTARIO INC	Ward:	Scarborough East (44)
Agent:	VANLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	37 PYTHAGORAS DR	Community:	Highland Creek Community
Legal Description:	PLAN 2129 PT LOT 81 PLAN 66M2466 PT BLK 33 RP 66R28481 PARTS 3 & 5		

PURPOSE OF THE APPLICATION:

Proposal to construct a two-storey detached house on a vacant lot.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The existing lot frontage is 13.41m
Whereas the minimum required lot frontage is that which existed on the day of the enactment of the By-law.
2. The existing lot area is 614 m²
Whereas the minimum lot area is that which existed on the day of the enactment of the By-law.
3. The proposed building setback from the east side lot line is 1.02 metres.
Whereas the minimum building setback from a side lot line is 1.2 metres
4. The proposed building setbacks comply but the roof eaves encroach into the sideyard setback.
Whereas the minimum building setback from a side lot line is 1.0 metres on one side and 0.9 metres on the other side and nothing may encroach into the required side yard.

By-law No. 10827:

5. The existing lot frontage is 10.43 metres and the existing lot area is 614 m²
Whereas one single-family dwelling per parcel of land with a minimum of 15 m frontage on a public street, and a minimum area of 696 m².
6. The proposed side yard setback is 1.02 metres
Whereas Minimum 1.2 m from each side for one-storey dwelling plus 600 mm for each additional or partial storey.

25. 70 HORSELEY HILL DR

File Number:	A0296/17SC	Zoning	RS - Residential Semi-Detached/S - Single Family Residential [ZZC]
Owner(s):	KEVIN GAFFAR CHYE-HONG KOH	Ward:	Scarborough-Rouge River (42)
Agent:	CONSTANTINE ARCHITECTURAL DESIGN	Heritage:	Not Applicable
Property Address:	70 HORSELEY HILL DR	Community:	Malvern West Community
Legal Description:	PLAN M1668 PT LOT 177		

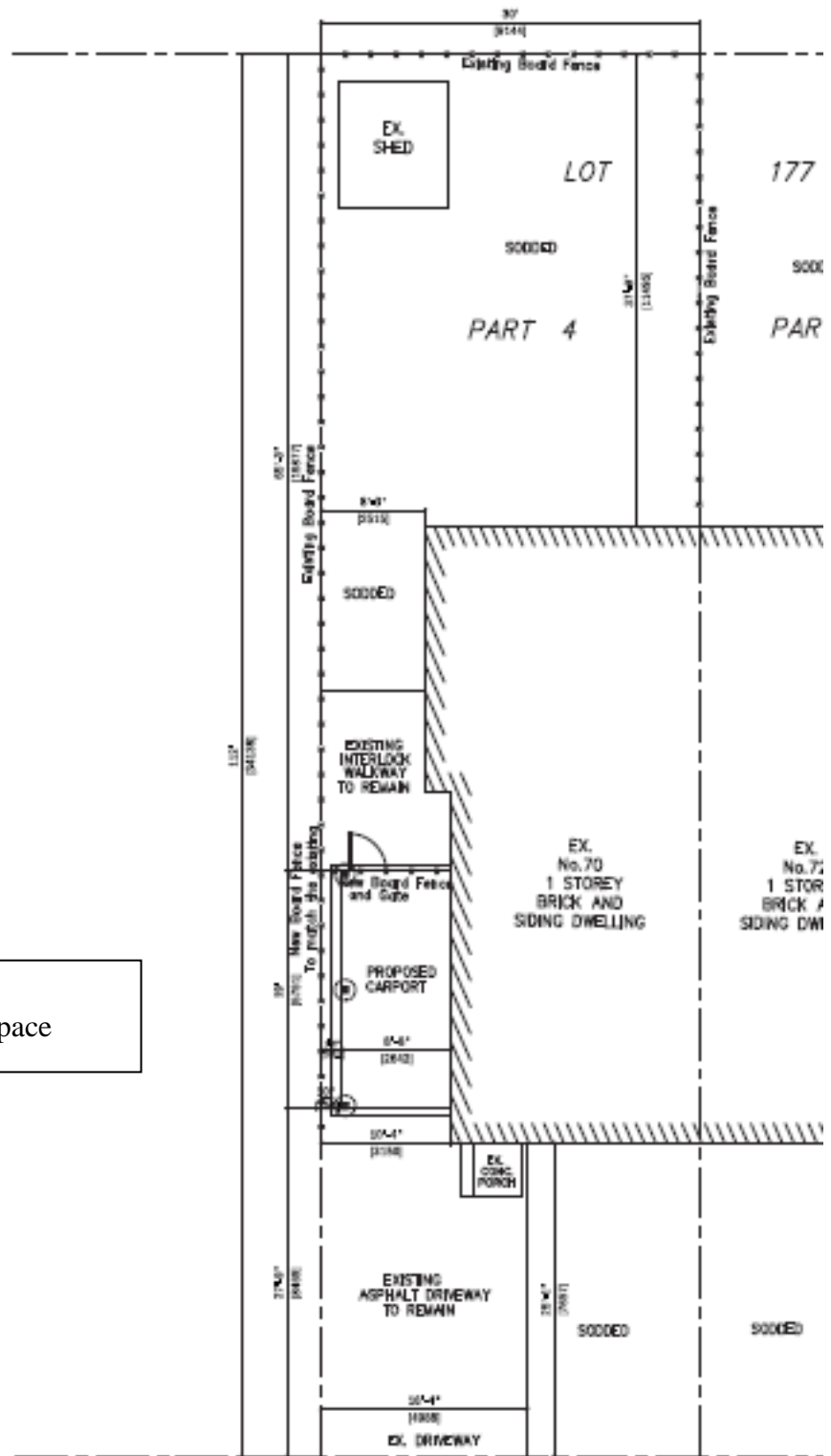
PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new carport attached to the side of the existing one storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013 & By-law No. 14402

1. To permit the proposed 5.7 metres by 2.5 metres parking space, whereas the Zoning By-law requires a minimum 5.6 metres by 3.3 metres parking space.



VARIANCE:
 • Parking Space

26. 29 WOODLAND PARK RD

File Number:	A0299/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	WENDY TITCHNER LARRY TITCHNER	Ward:	Scarborough Southwest (36)
Agent:	SCOTT PETRIE	Heritage:	Not Applicable
Property Address:	29 WOODLAND PARK RD	Community:	Birchcliff Community
Legal Description:	PLAN 3223 LOT 59		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new second storey addition, with a two storey rear addition to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

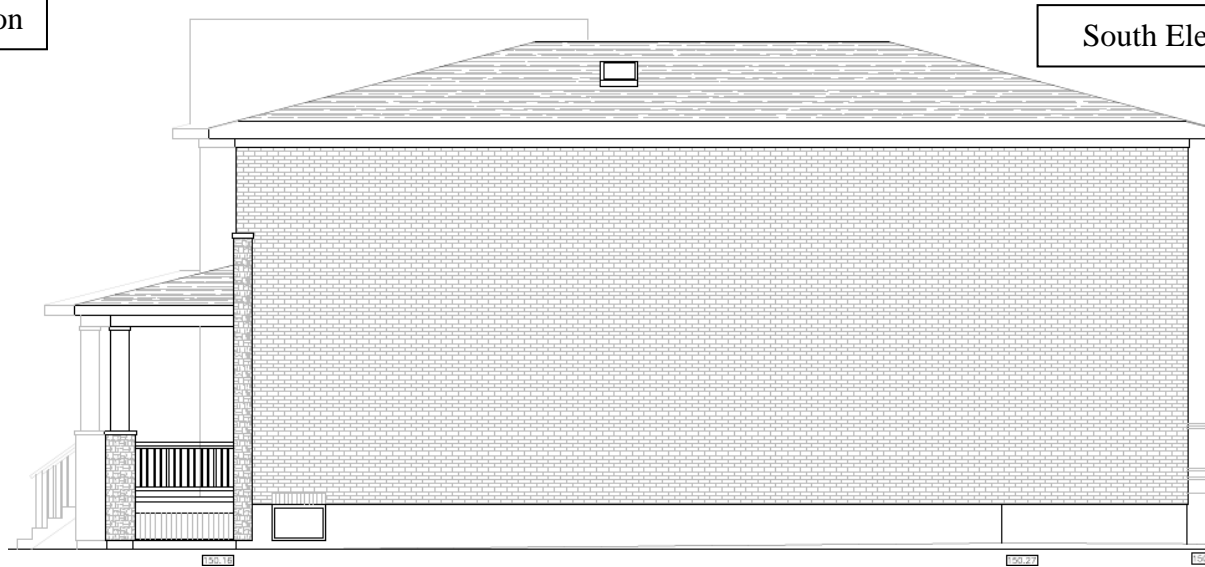
By-law No. 569-2013

1. To permit the proposed 6.5 square metres of the first floor area to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum 10 metres of the first floor area to be within 4 metres of the front main wall.
2. To permit the proposed 282 square metres floor area or 0.67 times the lot area, whereas the Zoning By-law permits maximum 279 square metres or 0.5 times to the lot area.
3. To permit the proposed 2.9 metres wide exterior front stairs, whereas the Zoning By-law permits maximum 2 metres exterior stair width.
4. To permit the proposed eaves to be 0.15 metres from the side lot line, whereas the Zoning By-law requires the eaves to be no closer than 0.3 metres to the side lot line.
5. To permit the proposed 36.2% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

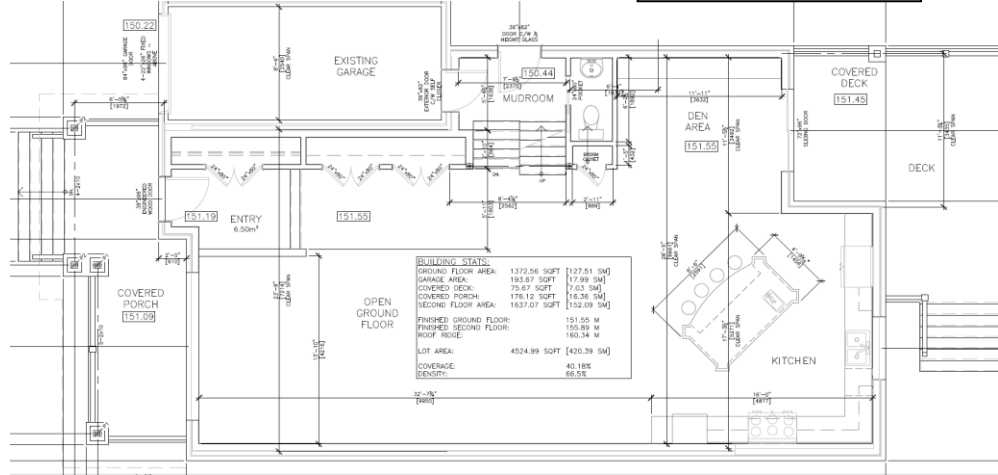
By-law No. 8786

6. To permit the proposed 3.51 metres setback to the porch and 5.62 metres setback to the front main wall, whereas the Zoning By-law requires a minimum 6 metres front yard setback.
7. To permit the proposed 280 square metres floor area or 0.67 times the lot area, whereas the Zoning By-law permits maximum 279 square metres or 0.5 times to the lot area.

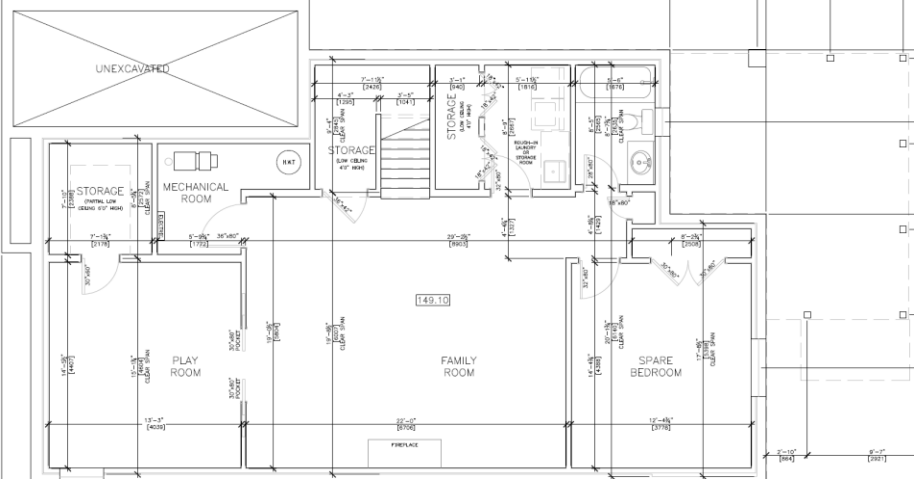
8. To permit the proposed 40.2% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
9. To permit the proposed 0.29 metres south side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.



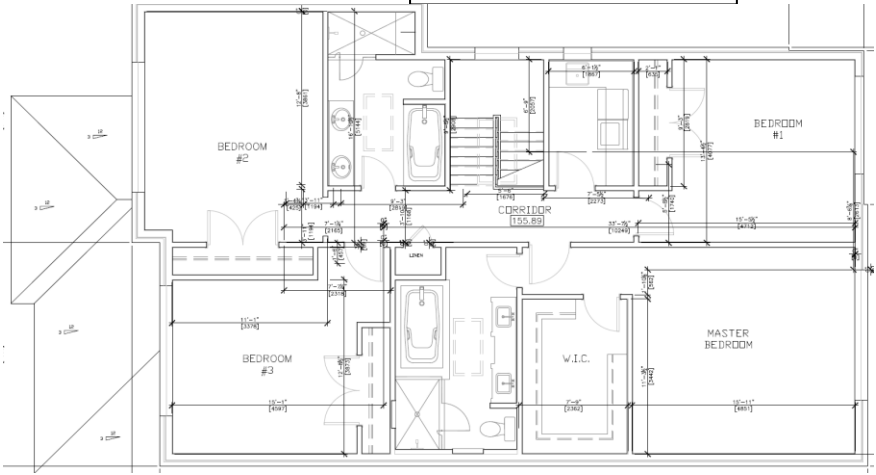
Ground Floor



Basement



Second Floor



27. 423 LIVINGSTON RD N

File Number:	A0302/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ANTHONY CICIRELLO	Ward:	Scarborough East (43)
Agent:	MANOUSH HAKIMI	Heritage:	Not Applicable
Property Address:	423 LIVINGSTON RD N	Community:	West Hill Community
Legal Description:	CON D PT LOT 14		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

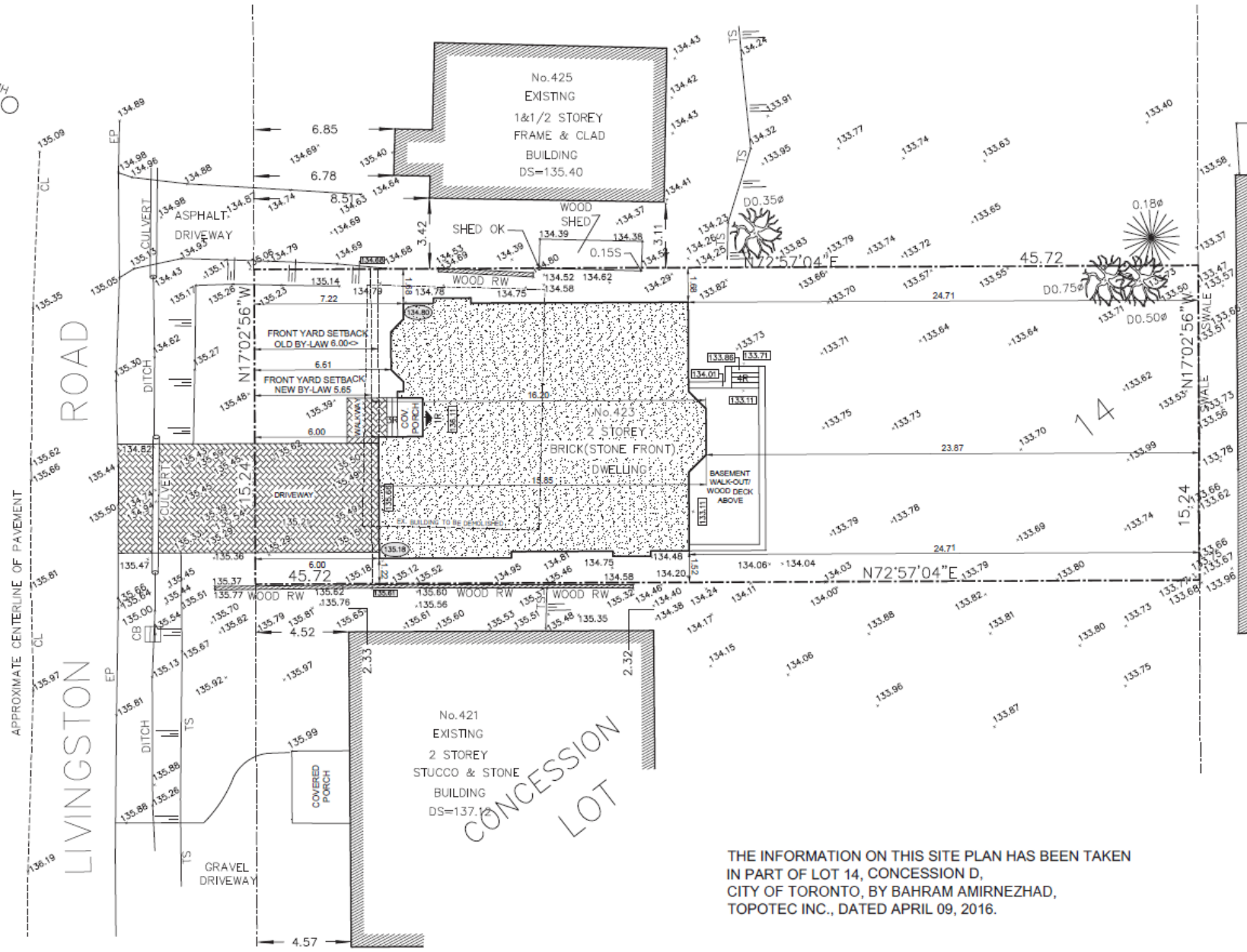
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.48 times the lot area (332.35 m²);
Whereas the maximum permitted floor space index is the lessor of 0.5 times the lot area (348.4 m²) or 279 m².

By-law No. 10327:

2. The proposed dwelling will have a floor area equal to 0.46 times the lot area (320.36 m²);
Whereas the maximum permitted floor area is the lessor of 0.5 times the lot area (348.4 m²) or 279 m².
3. The proposed dwelling will be located 1.22 m from the south side lot line and 1.68 m from the north side lot line;
Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.
4. The proposed rear deck will have dimensions of 3.71 m by 8.18 m;
Whereas the maximum permitted dimensions of an accessory structure (deck) are 7.6 m by 7.6 m.



LIVINGSTON ROAD

LIVINGSTON ROAD

CONCESSION LOT

PART PLAN
64R-9471

THE INFORMATION ON THIS SITE PLAN HAS BEEN TAKEN
IN PART OF LOT 14, CONCESSION D,
CITY OF TORONTO, BY BAHRAM AMIRNEZHAD,
TOPOTEC INC., DATED APRIL 09, 2016.

28. 62 FENWOOD HTS

File Number:	A0303/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	MOHAMED HANIF LOREDANA HANIF	Ward:	Scarborough Southwest (36)
Agent:	JR DESIGN AND CONSTRUCTION	Heritage:	Not Applicable
Property Address:	62 FENWOOD HTS	Community:	Cliffcrest Community
Legal Description:	PLAN 3757 LOT 163		

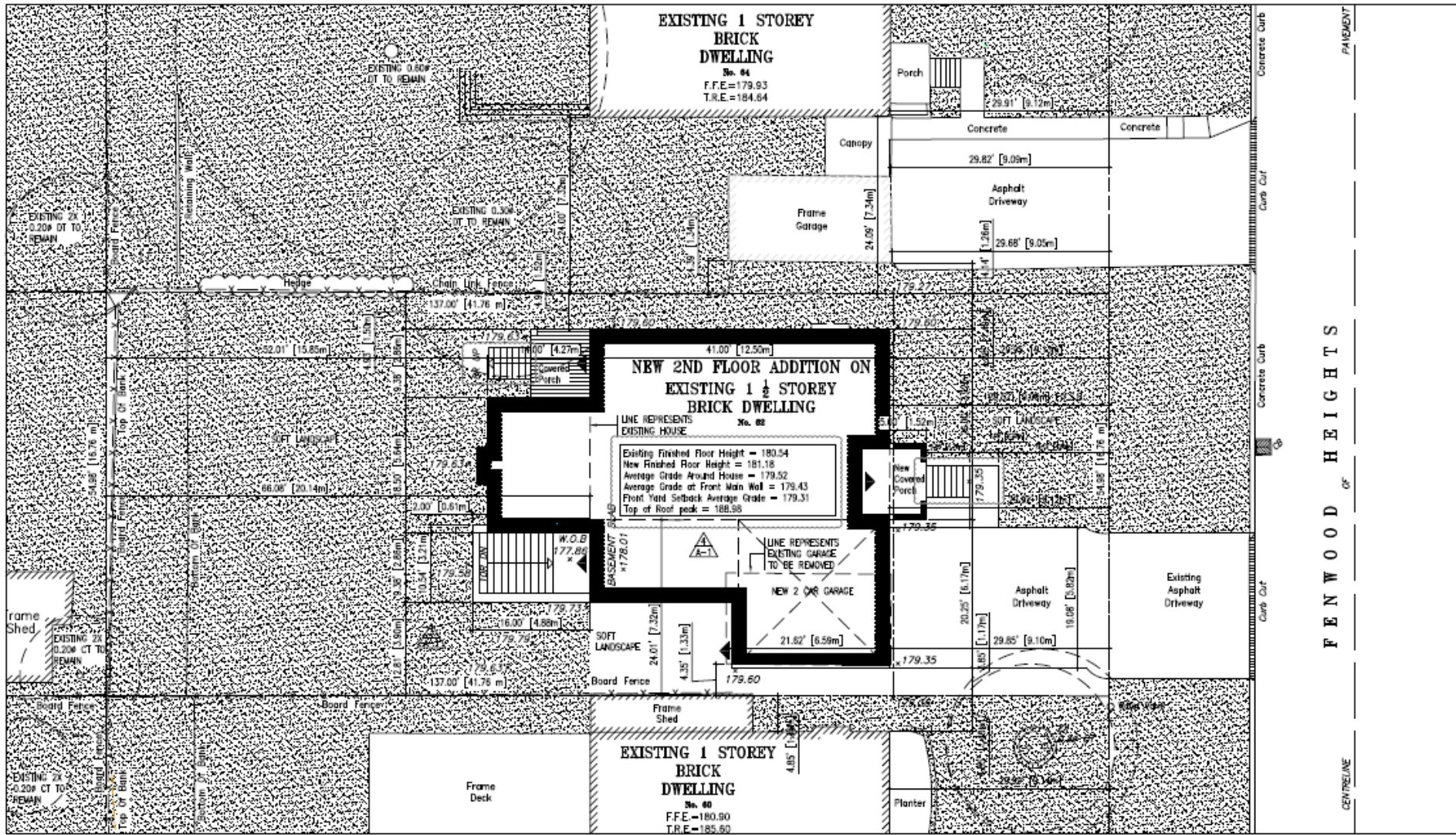
PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law for the dwelling recently constructed. The existing proposal was to construct a second storey addition over the existing dwelling and a two-storey side and rear addition, complete with interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 9396:

1. The altered dwelling has a height of 9.67 m;
Whereas the maximum permitted dwelling height is 9 m.
2. The proposed dwelling has a basement height of 1.67 m, as measured from the average grade at the front main wall to the ceiling of the basement;
Whereas the maximum permitted basement height is 1 m.



29. 300 SILVER STAR BLVD

File Number:	A0310/17SC	Zoning	Mixed Employment (ME) Zone [ZR]/[Waiver]
Owners:	CAREFIRST SENIORS AND COMMUNITY SERVICES ASSOCIATION	Ward:	Scarborough-Rouge River (41)
Agent:	LASONNE ENGINEERING LIMITED	Heritage:	Not Applicable
Property Address:	300 SILVER STAR BLVD	Employment District:	Milliken Employment District
Legal Description:	PLAN 66M2371 BLK 2		

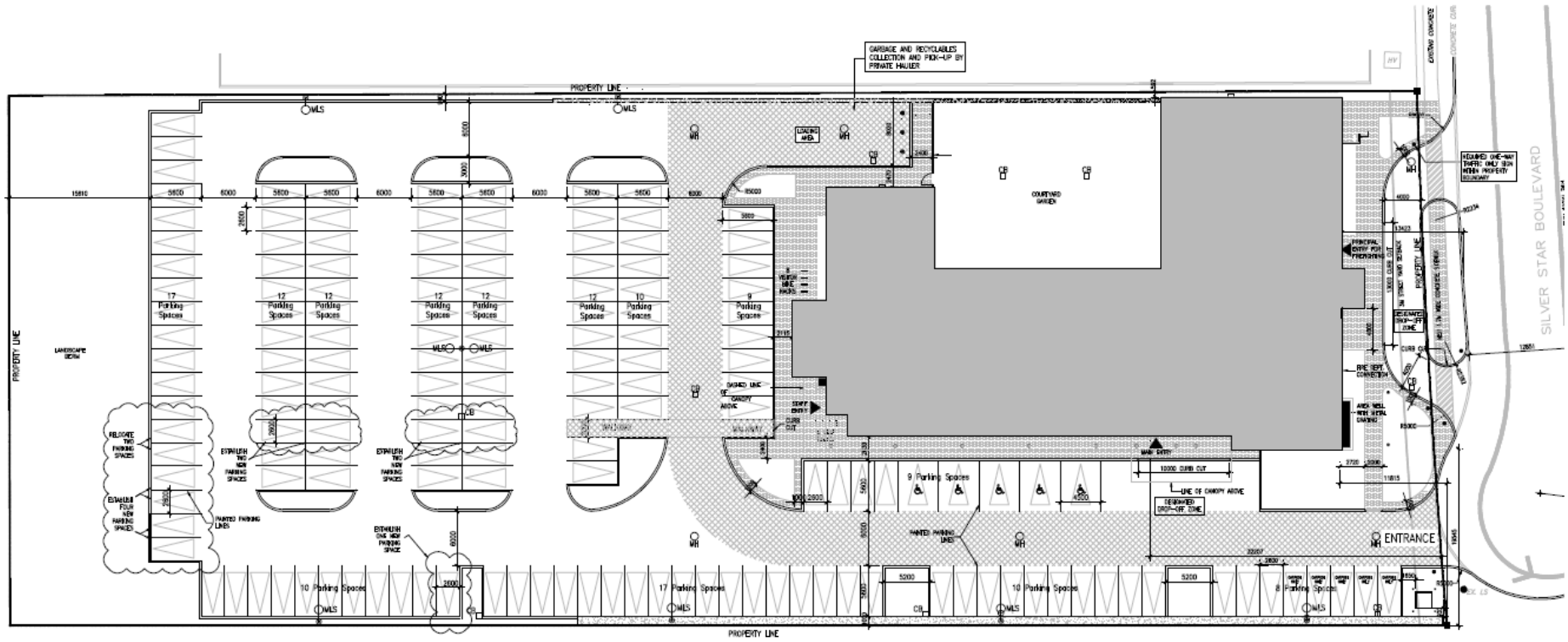
PURPOSE OF THE APPLICATION:

Carefirst Seniors and Community Services Association is applying for variances to permit 646 m² of existing basement storage space to be converted into administrative office space, a staff canteen and adult social program space. The applicants are seeking relief from the zoning by-law to permit an increase of the gross floor area, and for relief from the parking requirement for the additional floor area.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

By-law No. 24982:

1. The proposed number of parking spaces is 157
Whereas the required number of parking spaces is 165.
2. The proposed Gross Floor Area is 0.658 times the area of the lot
Whereas the maximum permitted Gross Floor Area is 0.6 times the area of the lot



30. 586 MEADOWVALE RD

File Number:	A0319/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	DEVINDER LAL GOYAL	Ward:	Scarborough East (44)
Agent:	DEVINDER LAL GOYAL	Heritage:	Not Applicable
Property Address:	586 MEADOWVALE RD	Community:	Highland Creek Community
Legal Description:	PLAN 66M2225 LOT 14		

PURPOSE OF THE APPLICATION:

To construct a one-storey sunroom addition to the rear of the existing dwelling.

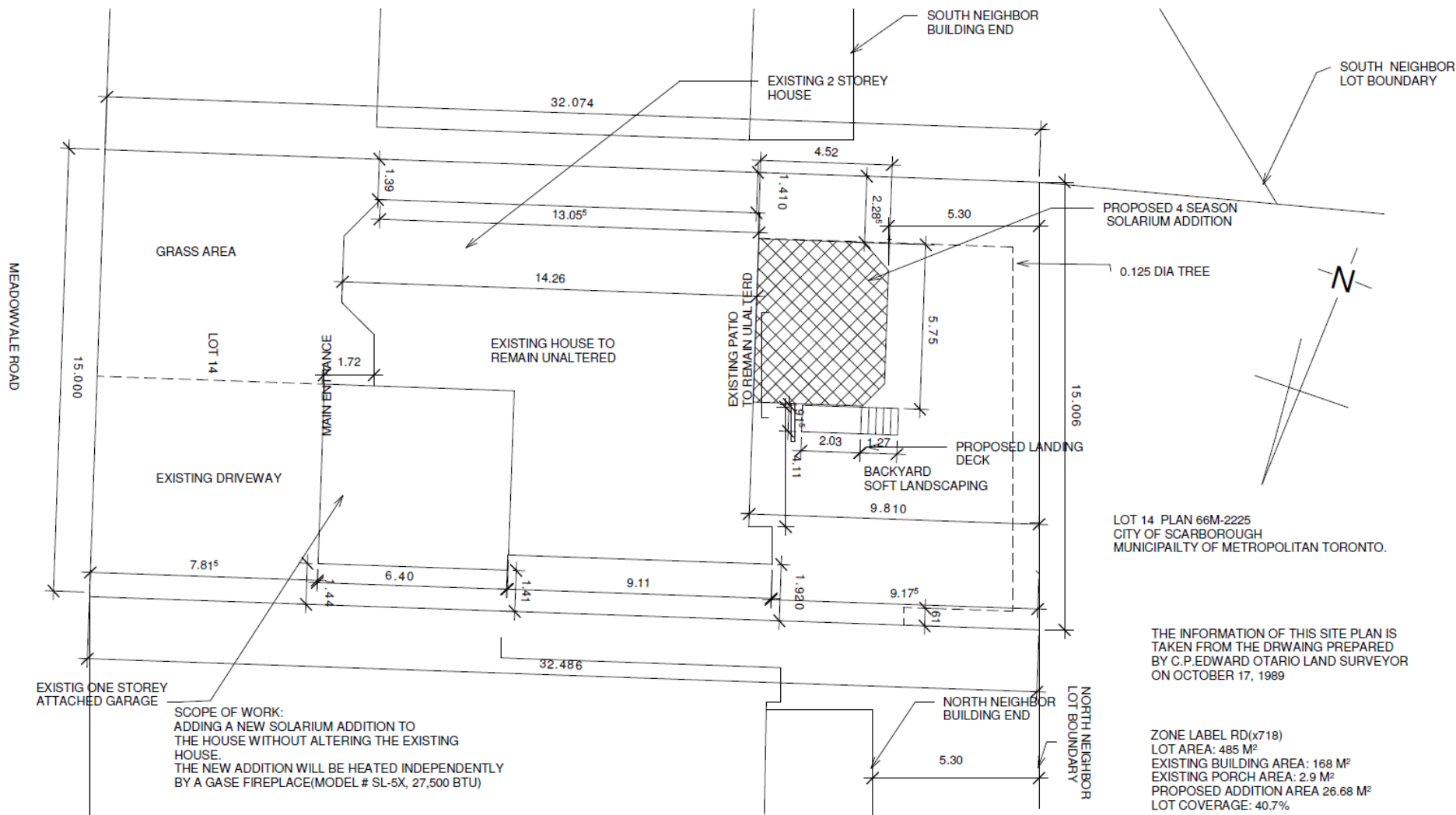
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed addition will be located 5.3 m from the rear lot line;
Whereas the minimum required rear yard setback is 8.07 m.
2. The altered dwelling will have a total length of 19.45 m;
Whereas the maximum permitted dwelling length is 17 m.
3. The altered dwelling will have a depth of 22.76 m, as measured from the required front yard setback to the rear main wall;
Whereas the maximum permitted depth is 19 m.

By-law No. 10827:

4. The proposed addition will be located 5.3 m from the rear lot line;
Whereas the minimum required rear yard setback is 7.5 m.



31. 42 AVALON BLVD

File Number:	A0326/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	MARC WHITE MELISSA STULTIENS	Ward:	Scarborough Southwest (36)
Agent:	DENNIS KURFURST	Heritage:	Not Applicable
Property Address:	42 AVALON BLVD	Community:	Birchcliff Community
Legal Description:	PLAN 3585 LOT 136		

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing dwelling. The second storey addition at the rear will overhang the proposed deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 8786:

1. The existing/altered dwelling is located 4.44 m from the front lot line;
Whereas the minimum required front yard setback is 6 m from the street line.

