

SIGNATURE PAGE

File Number:	A0691/16EYK	Zoning	RD & R2
Owner:	MARK NAGY	Ward:	Etobicoke-Lakeshore (05)
Agent:	CADAXX DESIGN	Heritage:	Not Applicable
Property Address:	31 AMBLESIDE AVE	Community:	
Legal Description:	PLAN 4337 LOT 51		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0080/17EYK	Zoning:	RD & R2
Owner(s):	SHANNON YOUNG JAMES WILLIAM YOUNG	Ward:	Etobicoke-Lakeshore (05)
Agent:	DAN HORNIBROOK	Heritage:	Not Applicable
Property Address:	21 MCCLINCHY AVE	Community:	
Legal Description:	PLAN 3209 LOT 10		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with attached garage. A previous Committee of Adjustment application (A765/15EYK) approved variances relating to lot coverage, gross floor area, side yard setback and rear yard setback.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.10(1), By-Law 569-2013 and Section 320-42.1.B(1)**
The maximum permitted height is 9.5 m.
The proposed dwelling will have a height of 9.75 m.
- Section 320-42.1.B(2)**
The maximum permitted soffit height is 6.5 m.
The proposed dwelling will have a soffit height of 6.55 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0080/17EYK	Zoning	RD & R2
Owner:	SHANNON YOUNG JAMES WILLIAM YOUNG	Ward:	Etobicoke-Lakeshore (05)
Agent:	DAN HORNIBROOK	Heritage:	Not Applicable
Property Address:	21 MCCLINCHY AVE	Community:	
Legal Description:	PLAN 3209 LOT 10		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0081/17EYK	Zoning	RD & R2
Owner(s):	NALAKA ABEYSINGHE	Ward:	Etobicoke Centre (03)
	NALIKA ABEYSINGHE		
Agent:	NALIKA ABEYSINGHE	Heritage:	Not Applicable
Property Address:	39 GENTIAN DR	Community:	
Legal Description:	PLAN M752 LOT 40		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second suite in the basement.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 200.5.1.10.(2)(A)(i), By-law 569-2013 and Section 320-18.A.(1)(a)

The minimum required length of a parking space is 5.6 m.

The proposed parking space, within the existing attached garage, will have a length of 5.34 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The site plan drawings must be revised to include the following notations, to the satisfaction of Traffic Planning / Right of Way Management:

- a. "All existing redundant curb cuts that are no longer required must be closed and restored to the satisfaction of the City of Toronto at no cost to the municipality."
- b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposal, as determined by Transportation Services." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain the exact requirements related to the MRDD.
- c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services."

SIGNATURE PAGE

File Number:	A0081/17EYK	Zoning	RD & R2
Owner:	NALAKA ABEYSINGHE NALIKA ABEYSINGHE	Ward:	Etobicoke Centre (03)
Agent:	NALIKA ABEYSINGHE	Heritage:	Not Applicable
Property Address:	39 GENTIAN DR	Community:	
Legal Description:	PLAN M752 LOT 40		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0105/17EYK	Zoning	RD & R2
Owner(s):	NASRIN AHMADI	Ward:	Etobicoke-Lakeshore (05)
Agent:	JS BARMİ ARCHITECT	Heritage:	Not Applicable
Property Address:	106 BALLACAINE DR	Community:	
Legal Description:	PLAN 4004 LOT 35		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10(42)(A)(i), By-law 569-2013 and Section 1(a), By-law 1993-109**
The maximum permitted gross floor area (including attached or detached garages) shall be 118 m² plus 25% of the lot area (239.1 m²) up to a maximum floor space index of 0.5 (233.61 m²).
The altered dwelling will have a gross floor area of 118 m² plus 29% of the lot area (254.4 m²) with a floor space index of 0.54 (254.4 m²).
- Section 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 9.57 m.
The altered dwelling will be located 7.92 m from the front lot line.
- Section 900.3.10(42)(A)(ii), By-law 569-2013 and Section 1(b), By-law 1993-109**
The minimum aggregate side yard is 2.1 m.
The altered dwelling will have an aggregate side yard setback of 1.98 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0105/17EYK	Zoning	RD & R2
Owner:	NASRIN AHMADI	Ward:	Etobicoke-Lakeshore (05)
Agent:	JS BARM ARCHITECT	Heritage:	Not Applicable
Property Address:	106 BALLACAINE DR	Community:	
Legal Description:	PLAN 4004 LOT 35		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0116/17EYK	Zoning	RD & R1
Owner(s):	AMALIA ZANETTE	Ward:	Etobicoke Centre (04)
Agent:	CHRISTINA ZANETTE	Heritage:	Not Applicable
Property Address:	1 GREAT OAK DR	Community:	
Legal Description:	PLAN 3377 LOT 27		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the dwelling by: expanding the second storey above the existing dwelling, constructing a two-storey east side addition (which will include a garage extension from the existing garage), constructing a new two-storey front enclosed lobby and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10(37)(C), By-law 569-2013 and Section 1.b(1), By-law 1992-25**
The maximum permitted gross floor area, including an attached garage, shall be 150 m² plus 25% of the lot area (316.75 m²).
The altered dwelling, including the attached garage, will have a gross floor area of 150 m² plus 27.51% of the lot area (333.5 m²).
- Section 900.3.10(37)(D)(iii), By-law 569-2013 and Section 1.c(3), By-law 1992-25**
The minimum required side yard setback is 1.5 m, provided that the aggregate of the side yards shall equal not less than 3.64 m (20% of the lot frontage).
The altered dwelling will be located 0.9 m from the east side lot line and 2.05 m from the west side lot line and will have an aggregate of side yard setback of 2.95 m (16.2% of the lot frontage).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0116/17EYK	Zoning	RD & R1
Owner:	AMALIA ZANETTE	Ward:	Etobicoke Centre (04)
Agent:	CHRISTINA ZANETTE	Heritage:	Not Applicable
Property Address:	1 GREAT OAK DR	Community:	
Legal Description:	PLAN 3377 LOT 27		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0117/17EYK	Zoning	RD & RM1
Owner(s):	ALICJA JOZEFA GRELA LUCJAN GRELA	Ward:	Etobicoke-Lakeshore (06)
Agent:	VOYTEK STASIECZEK	Heritage:	Not Applicable
Property Address:	20 DAISY AVE	Community:	
Legal Description:	PLAN 1571 E PT LOT 105 R-P 64 R-3869 PARTS 2&3		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front addition, a second storey addition above the existing garage, and a new front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.6.10.(2)(D), By-law 569-2013 and Section 330-23.A.(9)

The maximum permitted floor space index is 0.35 times the area of the lot (121.93 m²).

The altered dwelling will have a floor space index of 0.55 times the area of the lot (190.92 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0117/17EYK	Zoning	RD & RM1
Owner:	ALICJA JOZEFA GRELA LUCJAN GRELA	Ward:	Etobicoke-Lakeshore (06)
Agent:	VOYTEK STASIECZEK	Heritage:	Not Applicable
Property Address:	20 DAISY AVE	Community:	
Legal Description:	PLAN 1571 E PT LOT 105 R-P 64 R-3869 PARTS 2&3		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0130/17EYK	Zoning:	RD & R2
Owner(s):	NANCY A MCCAFFERY- BALAN WILLIAM KENNETH BALAN	Ward:	Etobicoke-Lakeshore (05)
Agent:	MAKOW ARCHITECTS ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	4 QUEEN MARYS DR	Community:	
Legal Description:	PLAN 1686 E PT LOT 41		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage, a rear detached cabana and a hot tub.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10(35)(A), By-law 569-2013**
The maximum permitted gross floor area, including the attached garage, is 150 m² plus 25% of the lot area (376.45 m²), up to a maximum floor space index of 0.5 (452.9 m²).

Section 1(a), By-law 1993-108
The maximum permitted gross floor area, including the attached garage, is 150 m² plus 25% of the lot area (376.45 m²).

Section 900.3.10(35)(A), By-law 569-2013 and Section 1(a), By-law 1993-108
The new dwelling will have a gross floor area of 150 m² plus 49.5% of the lot area (598.11 m²), with a floor space index of 0.66 (598.11 m²).
- Section 10.20.40.70.(1), By-law 569-2013 and Section 320-40(A)**
The minimum required front yard setback is 7.56 m.
The new dwelling will be located 6.02 m from the front lot line.
- Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.(B)(1)**
The maximum permitted height of a building or structure is 9.5 m.
The new dwelling will have a height of 10.87 m.
- Section 10.20.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.
The new dwelling will have a side exterior main wall height of 7.15 m facing a side lot line.

5. **Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 7.15 m.
6. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The new dwelling will have a length of 23.6 m.
7. **Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted dwelling depth is 19 m.
Section 320-42.1.(D)(1)
The maximum permitted dwelling depth is 16.5 m.
Section 10.20.40.30.(1), By-law 569-2013 and Section 320-42.1.(D)(1)
The altered dwelling will have a depth of 26.03 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
4. The proposal shall be constructed substantially in accordance with the red-lined plans submitted at the hearing and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0130/17EYK	Zoning	RD & R2
Owner:	NANCY A MCCAFFERY- BALAN	Ward:	Etobicoke-Lakeshore (05)
Agent:	WILLIAM KENNETH BALAN MAKOW ARCHITECTS ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	4 QUEEN MARYS DR	Community:	
Legal Description:	PLAN 1686 E PT LOT 41		

Allan Smithies (signed)

Dominic Gulli (signed)

Michael Clark (signed)

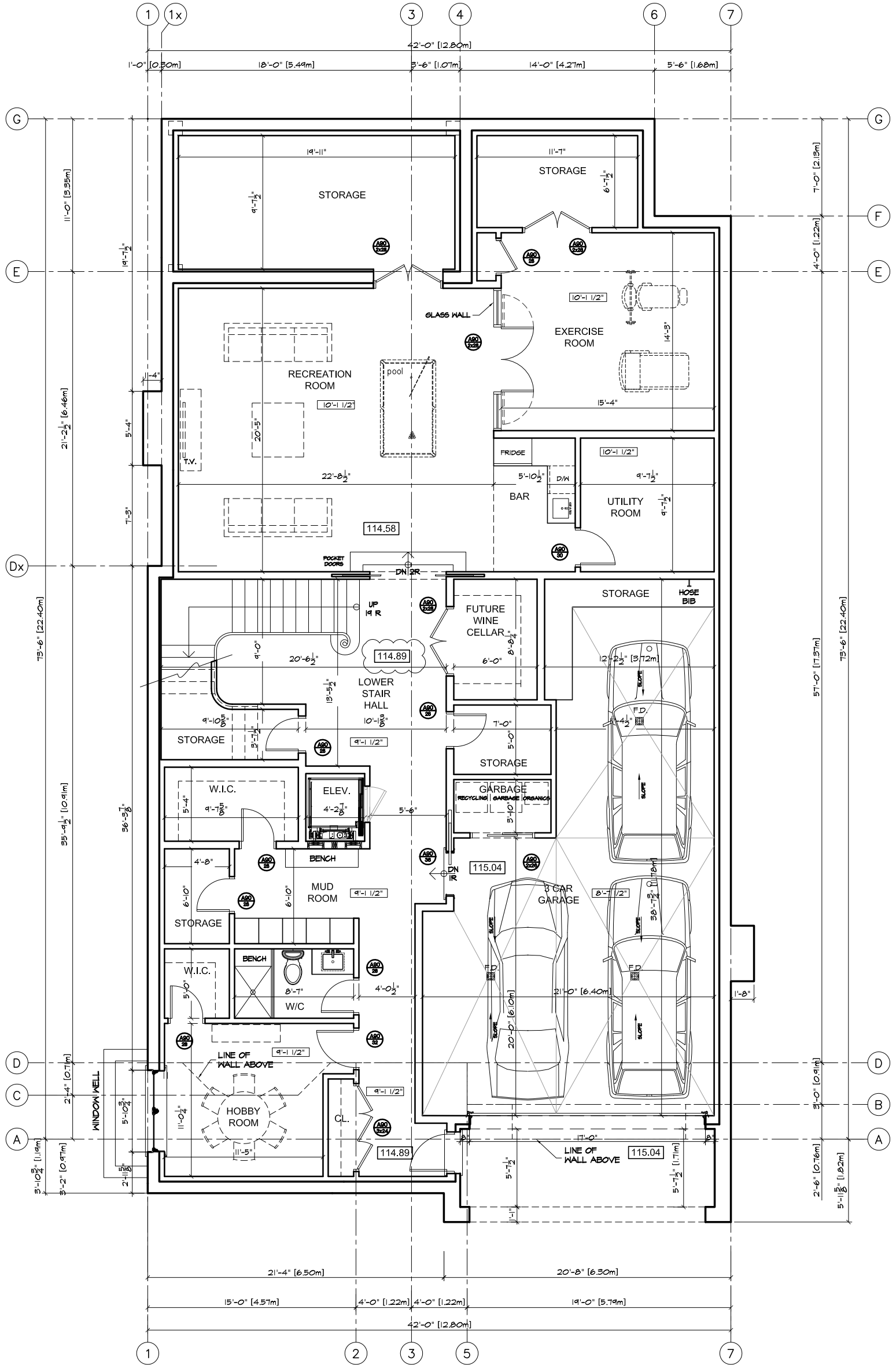
DATE DECISION MAILED ON: Wednesday, April 12, 2017

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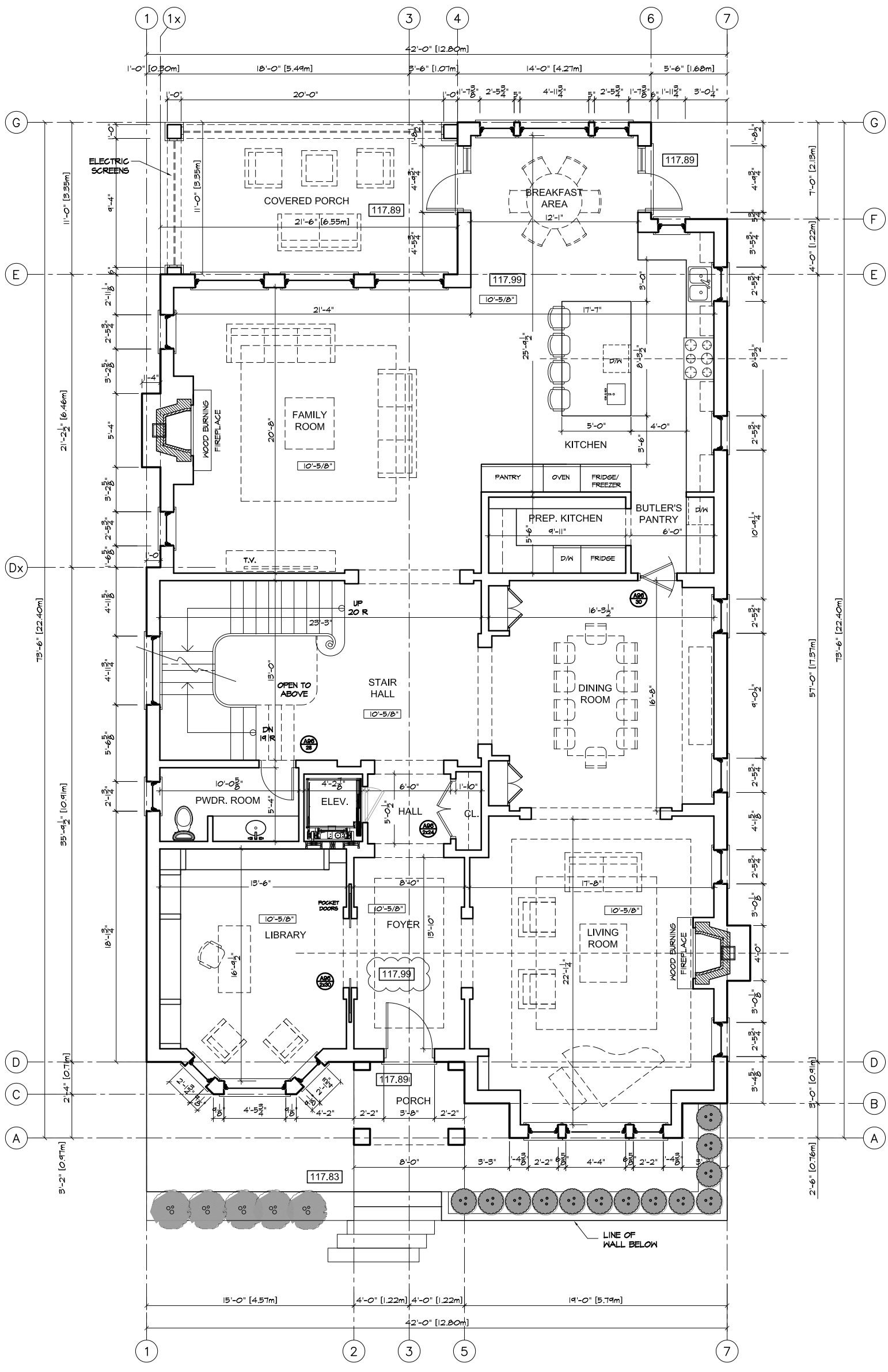
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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

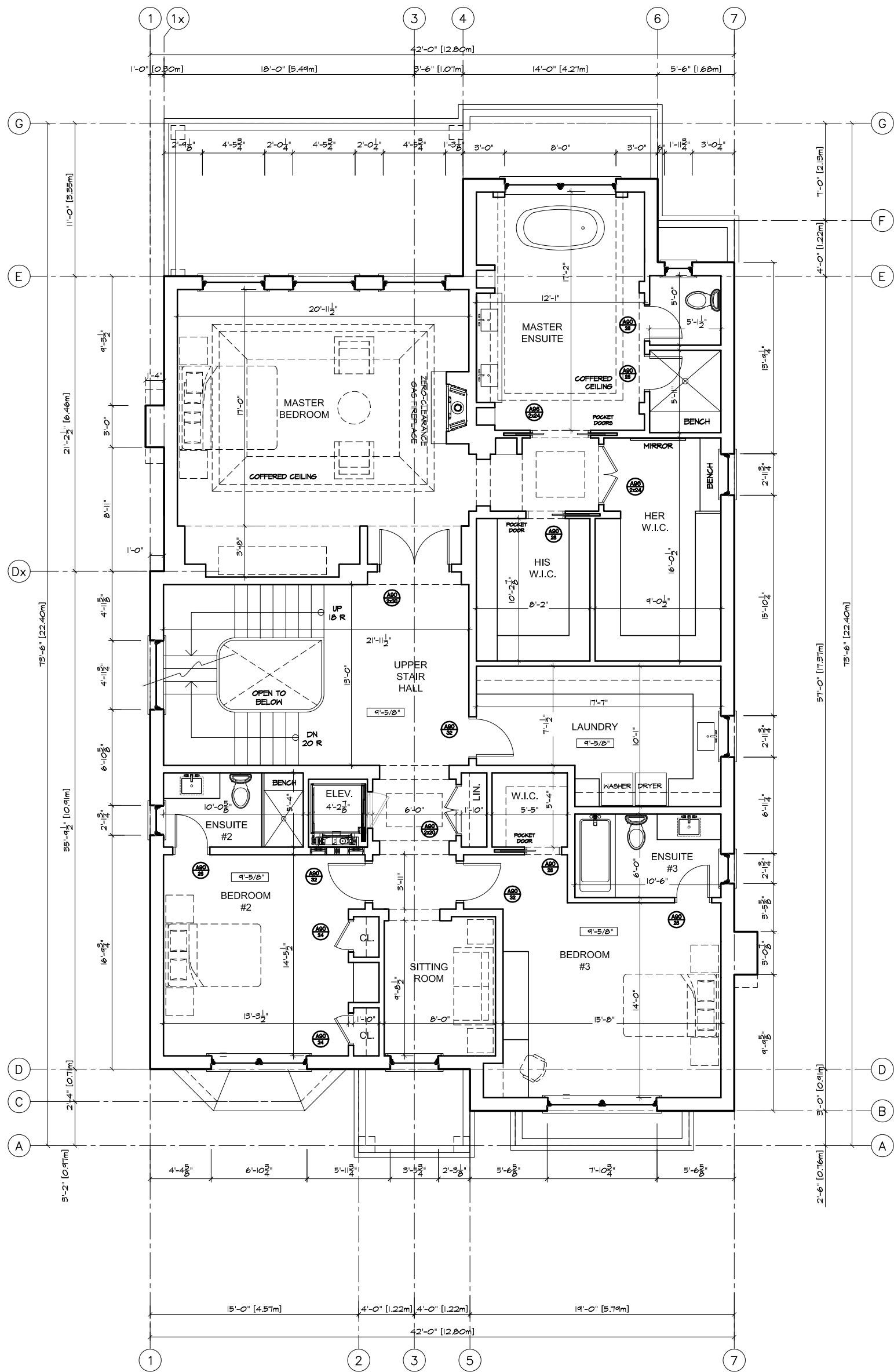
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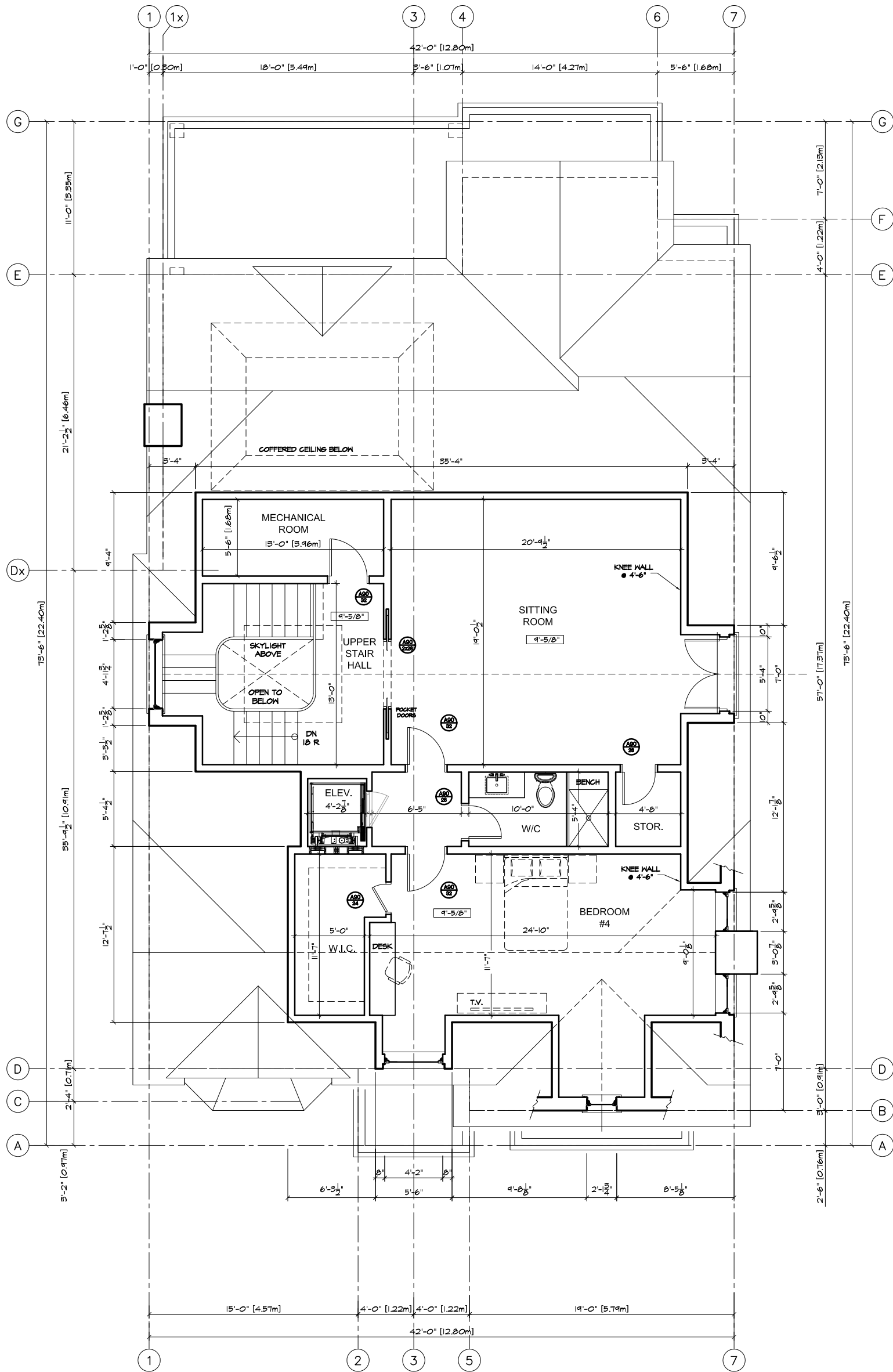
FIRST FLOOR AREA:	2,656.49 ft ² = 246.80 m ²
ELEVATOR:	20.67 ft ² = 1.92 m ²
FIRST FLOOR GFA:	2,635.82 ft ² = 244.88 m ²



SECOND FLOOR AREA:	2,533.29 ft ² = 235.35 m ²
ELEVATOR:	20.67 ft ² = 1.92 m ²
OPEN TO BELOW:	36.06 ft ² = 3.35 m ²
SECOND FLOOR GFA:	2,476.56 ft² = 230.08 m²



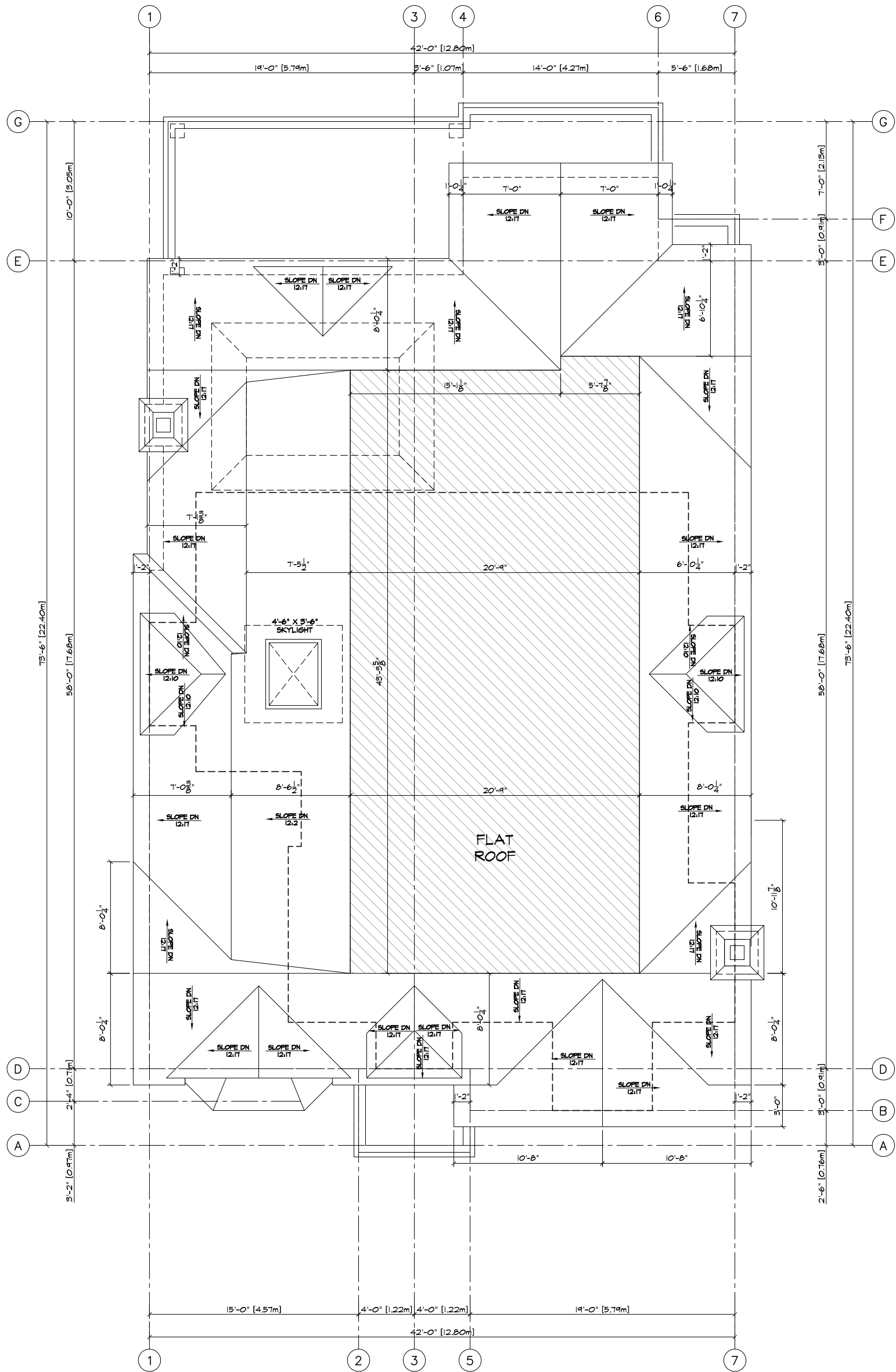
THIRD FLOOR AREA:	1,365.04 ft ² = 126.82 m ²
ELEVATOR:	20.67 ft ² = 1.92 m ²
OPEN TO BELOW:	33.35 ft ² = 3.10 m ²
MECH. ROOM:	71.50 ft ² = 6.64 m ²
<hr/>	
THIRD FLOOR GFA:	1,239.52 ft ² = 115.16 m ²
<hr/>	
TOTAL GFA:	6,351.90 ft ² = 590.11 m ²



ROOF STATISTICS

ROOF AREA: 2,783.40 ft² = 258.59 m²

FLAT ROOF AREA: 904.04 ft² = 83.99 m² = 32.48% (max. 33%)





FRONT ELEVATION
 DESIGN DEVELOPMENT
 APRIL 7, 2017
 1/16" = 1'-0"

BALAN RESIDENCE
 4 QUEEN MARYS DRIVE
 ETOBICOKE, ON

 MAKOW ASSOCIATES
 ARCHITECT INC.

3 Bridgman Avenue, Suite 201, Toronto, Ontario Canada M5R 3V4



NORTH (BACK) ELEVATION
SCALE: 1/8" = 1'-0"

REAR ELEVATION
SCHEMATIC DESIGN
APRIL 7, 2017
1/16" = 1'-0"

BALAN RESIDENCE
4 QUEEN MARYS DRIVE
ETOBICOKE, ON

 MAKOW ASSOCIATES
ARCHITECT INC.

3 Bridgman Avenue, Suite 201, Toronto, Ontario Canada M5R 3V4



127.81 32'-2 3/4"	TOP OF ROOF	127.21 30'-3.25"	U/S CEILING
124.45 121'-2.5"	THIRD FLOOR SUBFLOOR	124.09 20'-0.25"	U/S OF EAVE
121.37 111'-1.25"	SECOND FLOOR SUBFLOOR	117.99 100'-00"	GROUND FLOOR SUBFLOOR
114.89 89'-9.75"	UPPER BASEMENT TOP OF SLAB	88'-9.75" 14.58	LOWER BASEMENT TOP OF SLAB

EAST SIDE ELEVATION
 SCALE: 1/8" = 1'-0" (REV. 9.12.16)

EAST SIDE ELEVATION
 SCHEMATIC DESIGN
 APRIL 7, 2017
 1/16" = 1'-0"

BALAN RESIDENCE
 4 QUEEN MARYS DRIVE
 ETOBICOKE, ON



127.81
 32'-2 3/4"
 TOP OF ROOF
 30'-3.25"
 127.21
 U/S CEILING
 24.45
 121'-2.5"
 THIRD FLOOR SUBFLOOR
 20'-0.25"
 124.09
 U/S OF EAVE
 121.37
 111'-1.25"
 SECOND FLOOR SUBFLOOR
 117.99
 100'-00"
 GROUND FLOOR SUBFLOOR
 116.94
 ESTABLISHED GRADE AT FRONT
 114.89
 89'-4.75"
 UPPER BASEMENT TOP OF SLAB
 88'-9.75"
 114.58
 LOWER BASEMENT TOP OF SLAB

35'-8" [10.87m]
 23'-5 3/4" [7.15m]

WEST SIDE ELEVATION
 SCALE: 1/8" = 1'-0" (REV. 9.12.16)

WEST SIDE ELEVATION
 SCHEMATIC DESIGN
 APRIL 7, 2017
 1/16" = 1'-0"

BALAN RESIDENCE
 4 QUEEN MARYS DRIVE
 ETOBICOKE, ON


MAKOW ASSOCIATES
 ARCHITECT INC.

3 Bridgman Avenue, Suite 201, Toronto, Ontario Canada M5R 3V4

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0135/17EYK	Zoning	RD & R1
Owner(s):	MARQUIS MANORS LTD.	Ward:	Etobicoke Centre (04)
Agent:	EPIC DESIGNS INC	Heritage:	Not Applicable
Property Address:	68 TWYFORD RD	Community:	
Legal Description:	PLAN 4871 LOT 1 RP 64R1458 PARTS 23 & 24		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling, a south side two-storey (front) addition and a west side one-storey addition with a basement walk-out and deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the lot area (380.29 m²).
The altered dwelling will have a floor space index of 0.49 times the lot area (411.75 m²).
- 2. Section 10.20.40.70.(3)(F), By-law 569-2013**
The minimum required side yard setback is 2.4 m.
Section 320-42.1.C.(3)
The minimum required side yard setback is 1.53 m.
The altered dwelling will be located 1.46 m from the north side lot line.
- 3. Section 10.20.40.70.(5)(A), By-law 569-2013**
The minimum required side yard setback is 7.5 m, where the depth of the building is greater than 17 m.
The altered dwelling will be located 1.46 m from the north side lot line, where the depth of the building is greater than 17 m.
- 4. Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 6.7 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0135/17EYK	Zoning	RD & R1
Owner:	MARQUIS MANORS LTD.	Ward:	Etobicoke Centre (04)
Agent:	EPIC DESIGNS INC	Heritage:	Not Applicable
Property Address:	68 TWYFORD RD	Community:	
Legal Description:	PLAN 4871 LOT 1 RP 64R1458 PARTS 23 & 24		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0138/17EYK	Zoning	RD & RS
Owner(s):	SHAWN FITZPATRICK	Ward:	Etobicoke-Lakeshore (06)
Agent:	MLA DESIGN BUILD	Heritage:	Listed
Property Address:	23 THIRTY FIFTH ST	Community:	
Legal Description:	PLAN M9 BLK N LOT 5 LOT 6		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 330-23.(A)(9)**
The maximum permitted floor space index is 0.35 times the area of the lot (167.5 m²).
The altered dwelling will have a floor space index of 0.52 times the area of the lot (250.9 m²).
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 18.36 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0138/17EYK	Zoning	RD & RS
Owner:	SHAWN FITZPATRICK	Ward:	Etobicoke-Lakeshore (06)
Agent:	MLA DESIGN BUILD	Heritage:	Listed
Property Address:	23 THIRTY FIFTH ST	Community:	
Legal Description:	PLAN M9 BLK N LOT 5 LOT 6		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0139/17EYK	Zoning:	RD & R2
Owner(s):	ANDREW MCLAUHLIN NIKKI ANNE MCLAUHLIN	Ward:	Etobicoke-Lakeshore (05)
Agent:	NIKKI ANNE MCLAUHLIN	Heritage:	Not Applicable
Property Address:	53 RENOWN RD	Community:	
Legal Description:	PLAN 1602 PT LOT 115 RP 66R20042 PART 8		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(37)(C), By-law 569-2013 & Section 1(b)(1), By-law 1992-25**
The maximum permitted gross floor area, including an attached garage, is 150 m² plus 25% of the lot area (276.87 m²), up to a maximum floor space index of 0.5 (253.73 m²).
The proposed dwelling, including the attached garage, will have a floor space index of 0.54 times the lot area (276 m²).
- Section 320-42.E**
The maximum permitted encroachment for a platform into the required rear yard setback is 1.6 m.
The proposed platform will encroach 2.43 m into the required rear yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.

SIGNATURE PAGE

File Number:	A0139/17EYK	Zoning	RD & R2
Owner:	ANDREW MCLAUHLIN	Ward:	Etobicoke-Lakeshore (05)
	NIKKI ANNE MCLAUHLIN		
Agent:	NIKKI ANNE MCLAUHLIN	Heritage:	Not Applicable
Property Address:	53 RENOWN RD	Community:	
Legal Description:	PLAN 1602 PT LOT 115 RP 66R20042 PART 8		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0141/17EYK	Zoning	RD & R2
Owner(s):	2537129 ONTARIO CORP	Ward:	Etobicoke Centre (03)
Agent:	FRANK DIROMA	Heritage:	Not Applicable
Property Address:	23 ANTIOCH DR	Community:	
Legal Description:	PLAN 5057 LOT 102		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing: one-storey additions along the east and north sides, a new west side porch and to construct a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.40.70.(1), By-law 569-2013**
The minimum required front yard setback is 8.42 m.
The altered dwelling will be located 7.79 m from the front lot line.
- 2. Section 320-42(A)**
The minimum required rear yard setback is 8.38 m.
The altered dwelling will be located 6.38 m from the rear lot line.
- 3. Section 320-42.1(B)(2)**
The maximum permitted dwelling height for a flat roof is 6.5 m.
The altered dwelling will have a height of 6.98 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0141/17EYK	Zoning	RD & R2
Owner:	2537129 ONTARIO CORP	Ward:	Etobicoke Centre (03)
Agent:	FRANK DIROMA	Heritage:	Not Applicable
Property Address:	23 ANTIOCH DR	Community:	
Legal Description:	PLAN 5057 LOT 102		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

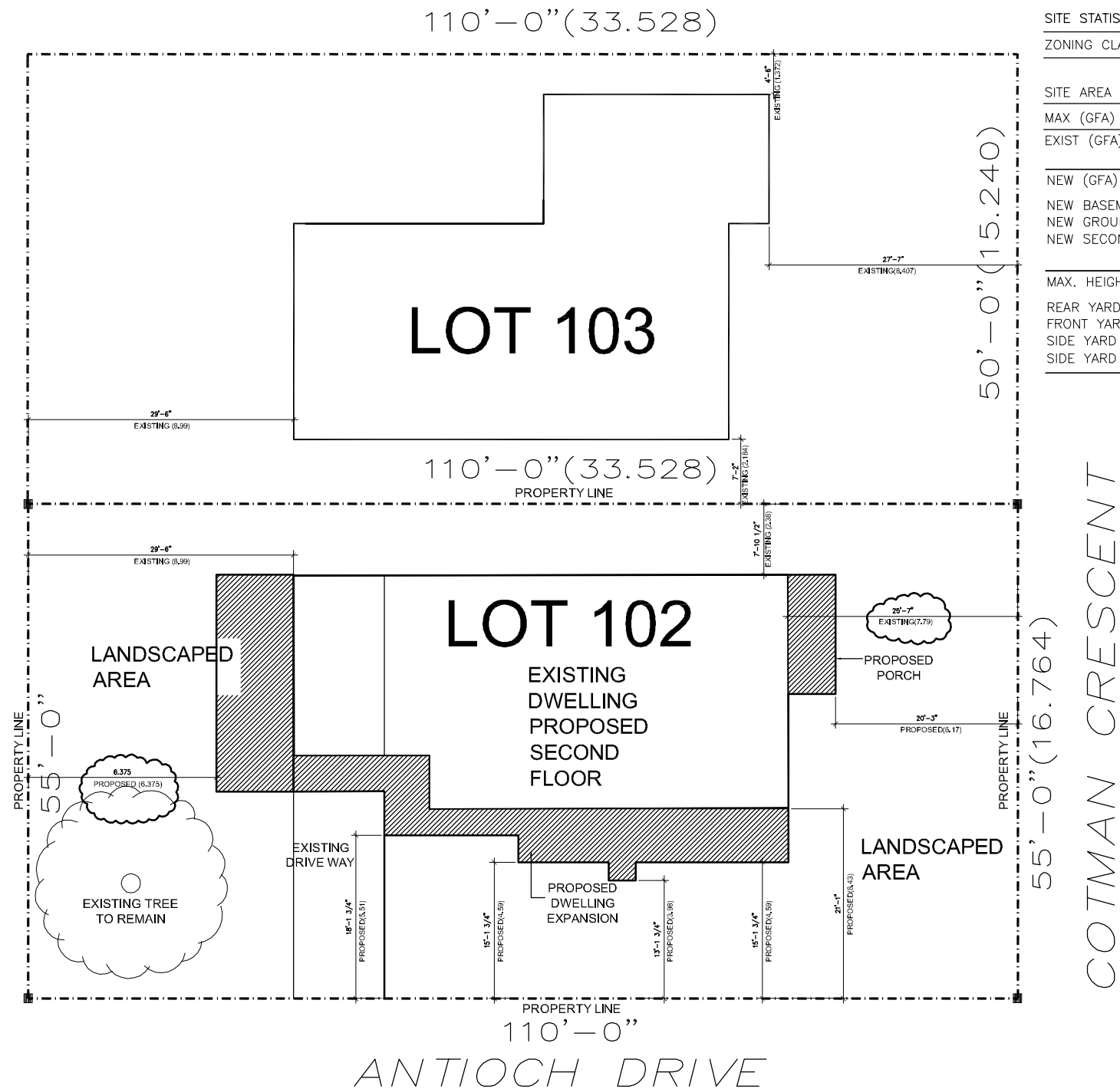
CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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PROPOSED REMODEL & 2ND FLOOR ADDITION TO EXISTING DWELLING 23 ANTIOCH DRIVE, TORONTO

PLAN OF
LOT 102
REGISTERED PLAN 5057
YORK TWP OF ETOBICOKE



SITE PLAN INFORMATION TAKEN FROM
PLAN OF SURVEY OF PART OF
LOT 102, REGISTERED PLAN 5057
CITY OF TORONTO
PREPARED BY SEWELL & SEWELL SURVEY
GROUP, O.L.S.
DATED: Sept. 28, 1958 SCALE: 1:150

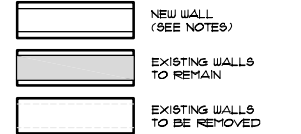
SITE STATISTICS:

ZONING CLASSIFICATION	R2- Single Family	
	SQ.FT.	SQ.M.
SITE AREA	6050	562.06
MAX (GFA) (33%)	1997.82	185.60
EXIST (GFA) (22%)	1337.24	124.23
NEW (GFA) (29%)	1758.52	163.37
NEW BASEMENT FLOOR AREA	1388	128.9
NEW GROUND FLOOR AREA	1634	151.80
NEW SECOND FLOOR AREA	1634	151.80
MAX. HEIGHT	6.5 M TOP OF ROOF	
REAR YARD SETBACK	25% OF LOT DEPTH BUT NOT LESS THAN 7.5M	
FRONT YARD SETBACK MIN.	1298.8	
SIDE YARD SETBACK MIN.	3.0M FROM ANTIOCH	
SIDE YARD SETBACK MIN.	1.2M	

GENERAL NOTES

1. ALL DIMENSIONS IMPERIAL.
2. VERIFY ALL DIMENSIONS.
3. DO NOT SCALE DRAWINGS.
4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
5. USE THE LATEST REVISED DRAWINGS ONLY.

LEGEND



CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ONLY BUILDING PERMIT ISSUED DRAWINGS SHALL BE USED FOR FABRICATION AND CONSTRUCTION PURPOSES.

Revisions

No.	Date

Refer to Approved Building Permit Drawings for construction purposes. Drawings are NOT to be scaled. Contractors must verify all dimensions on the job and report any discrepancies before proceeding with the work. All drawings and specifications are instruments of service and the property of THE DESIGNER which must be returned at the completion of the work.

The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION (required unless design is exempt under 2.17.5.1 of the building code.)

ANTHONY STANISIA 14750
Name Signature BCN

REGISTRATION INFORMATION (required unless design is exempt under 2.17.4.1 of the building code.)

DIGITECH DESIGNS 31397
Firm Name BCN

PROJECT
ANTIOCH RESIDENCE

23 Antioch Drive
Toronto, Ontario

DIGITECH DESIGNS INC

8 FRIMETTE CRESCENT
Toronto, On
L4K 3S4
647.278.5800

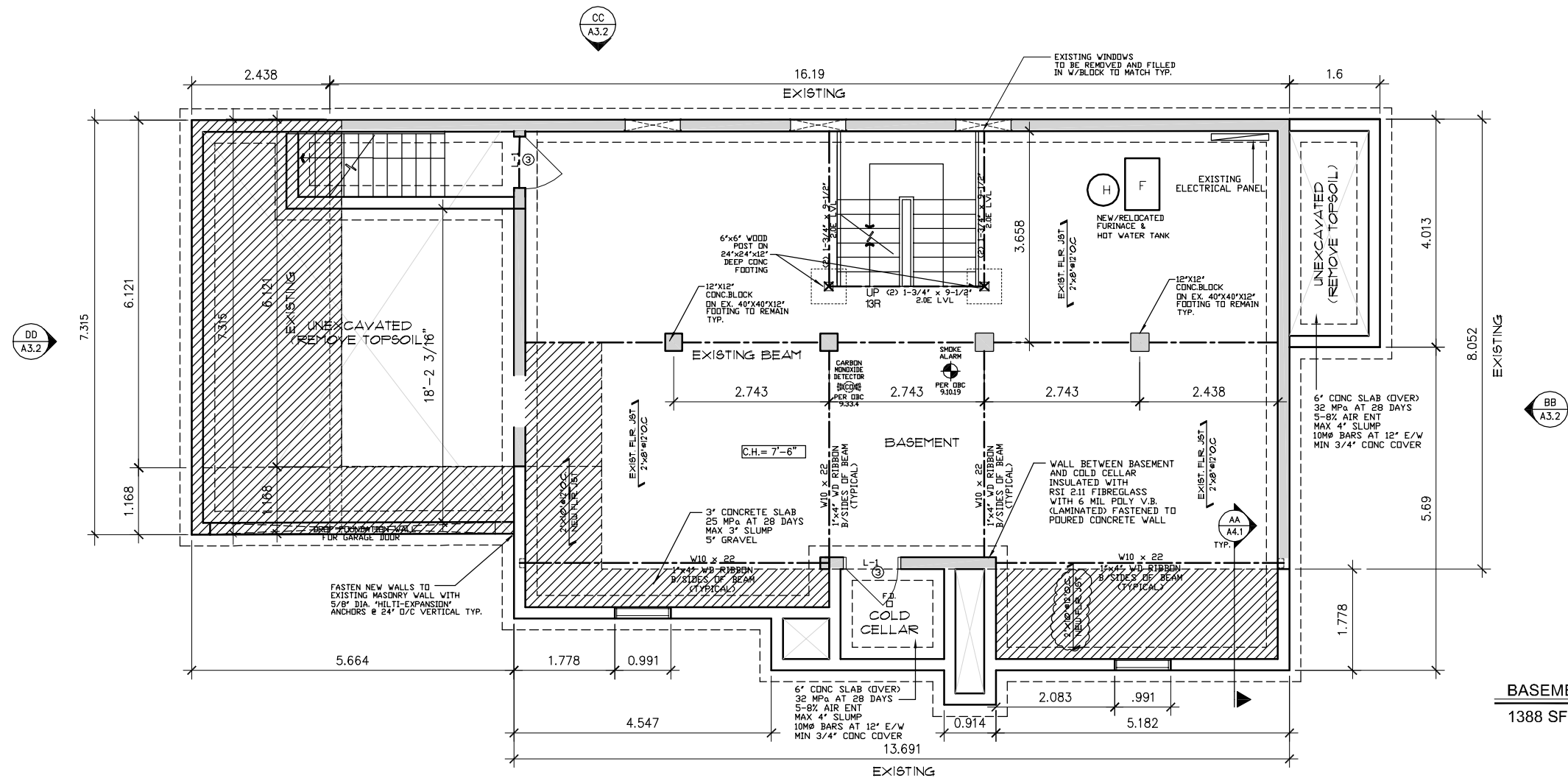
TITLE Site Plan

DATE NOVEMBER 25 2016

SCALE 1/8" = 1'-0"

DRWIN za **DRWG No.** **A1.1**

CHKD el **REV No.**

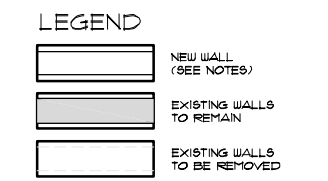


BASEMENT FLOOR PLAN
1388 SF

PERCENTAGE OF WALLS REMAINING			
	LENGTH	SF	SM
WALL A	7M	155 SF	14.4 SM
WALL B	13.7M	360 SF	33.4 SM
WALL C	8M	208 SF	19.3 SM
WALL D	13.7M	360 SF	33.4 SM
TOTAL		1083 SF	
40% MIN		433.2 SF	
WALL D REMOVED		360 SF	

NOTE: REFER TO FLOOR DRAWINGS FOR APPR. FLOOR JOIST LAYOUT

- GENERAL NOTES**
1. ALL DIMENSIONS IN IMPERIAL.
 2. VERIFY ALL DIMENSIONS.
 3. DO NOT SCALE DRAWINGS.
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Revisions

No.	Date
5	MINOR VARIANCE APPLICATION FEB.12.2017
4	ISSUE FOR REVISIONS JAN.12.2017
3	ISSUE FOR PERMIT DEC.12.2016
2	CLIENT REVIEW NOV.27.2016
1	CLIENT REVIEW OCT.31.2016

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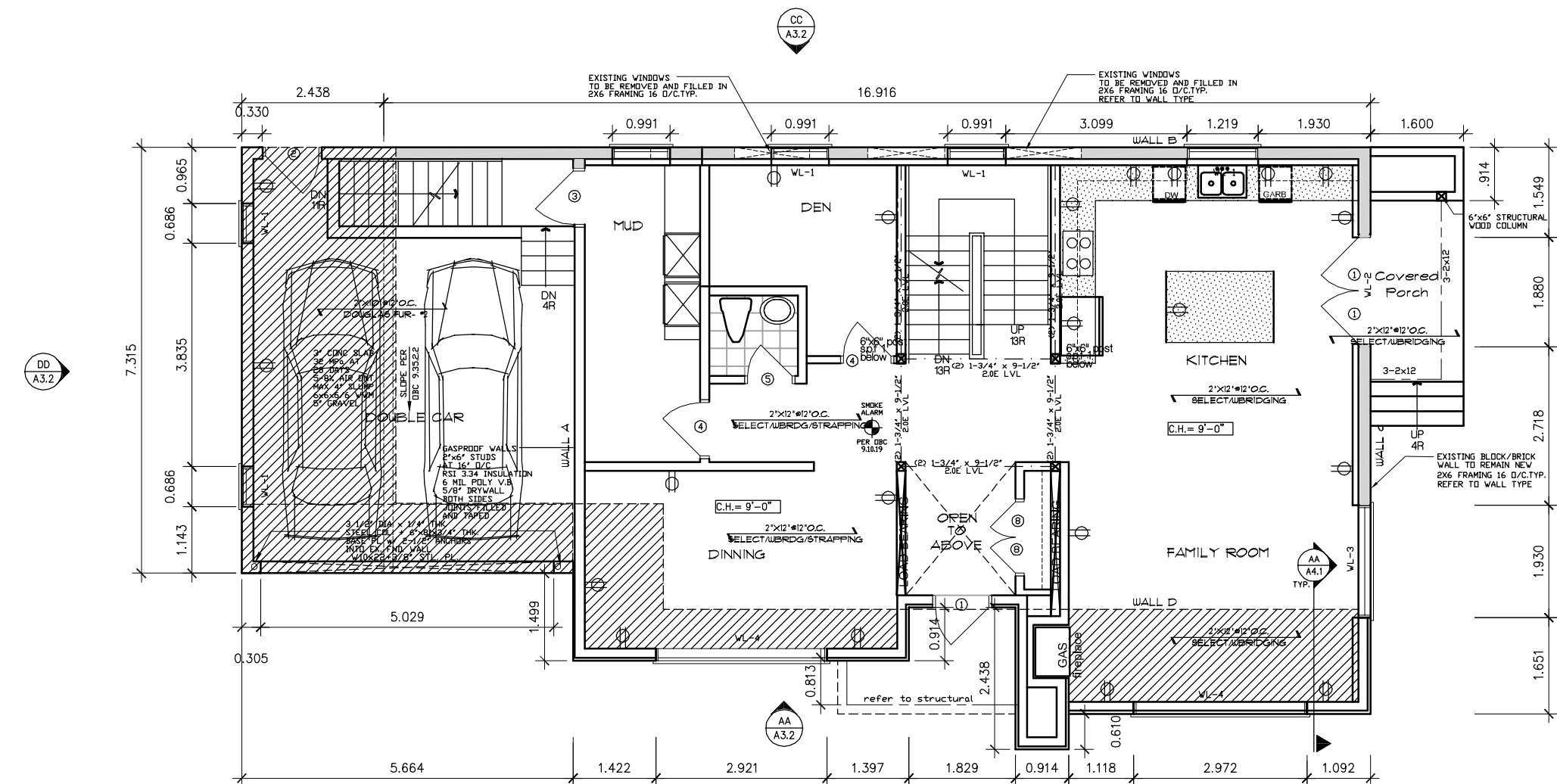
QUALIFICATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)
ANTHONY STANISIA 14750
 Name Signature BCN
REGISTRATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)

DIGITECH DESIGNS 31907
 Firm Name BCN

PROJECT
ANTIOCH RESIDENCE
 23 Antioch Drive
 Toronto, Ontario

DIGITECH DESIGNS INC
 8 FRIMETTE
 CRESCENT
 Toronto, On
 L4K 3S4
 647.278.5800

TITLE Ground Floor Plans
DATE Oct. 31, 2016
SCALE 1/4" = 1'-0"
DRWN ag **DRWG No.**
CHKD fd **REV No.** **A2.1**

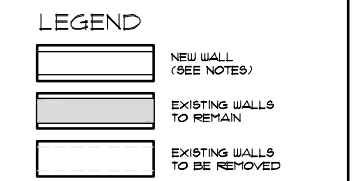


GROUND FLOOR PLAN
1634 SF

PERCENTAGE OF WALLS REMAINING			
WALL	LENGTH	SF	SM
WALL A	7M	155 SF	14.4 SM
WALL B	13.7M	360 SF	33.4 SM
WALL C	8M	208 SF	19.3 SM
WALL D	13.7M	360 SF	33.4 SM
TOTAL		1083 SF	
40% MIN		433.2 SF	
WALL D REMOVED		360 SF	

NOTE: REFER TO FLOOR DRAWINGS FOR APPR. FLOOR JOIST LAYOUT

- GENERAL NOTES**
1. ALL DIMENSIONS IN IMPERIAL.
 2. VERIFY ALL DIMENSIONS.
 3. DO NOT SCALE DRAWINGS.
 4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
 5. USE THE LATEST REVISED DRAWINGS ONLY.



CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNER WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ONLY BUILDING PERMIT ISSUED DRAWINGS SHALL BE USED FOR FABRICATION AND CONSTRUCTION PURPOSES.

Revisions

No.	Date
5	MINOR VARIANCE APPLICATION FEB.12.2017
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2	CLIENT REVIEW NOV.27.2016
1	CLIENT REVIEW OCT.31.2016

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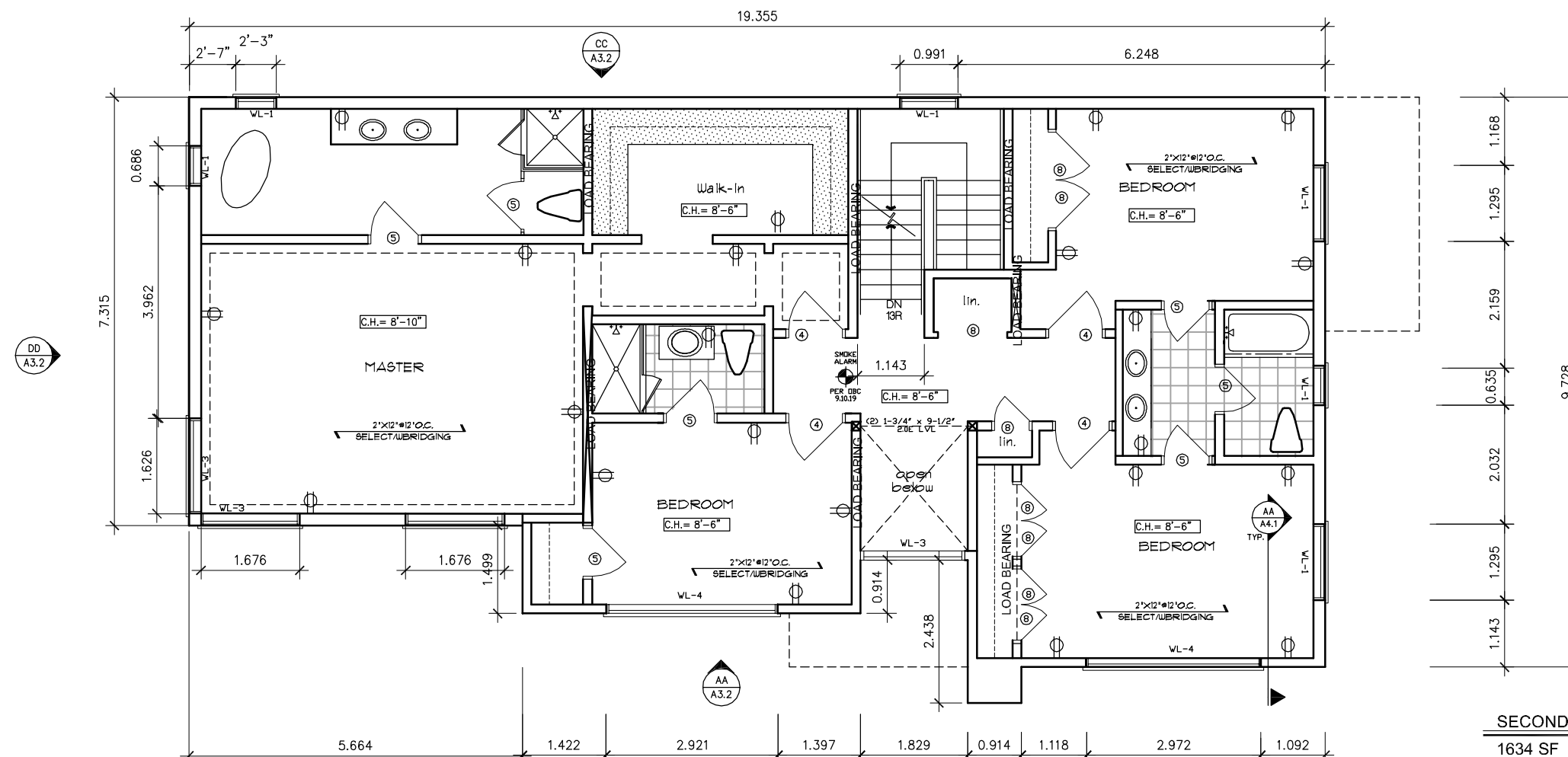
QUALIFICATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)
ANTHONY STANISIA 14750
 Name Signature BCN
REGISTRATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)

DIGITECH DESIGNS 31397
 Firm Name BCN

PROJECT
ANTIOCH RESIDENCE
 23 Antioch Drive
 Toronto, Ontario

DIGITECH DESIGNS INC
 8 FRIMETTE
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 Toronto, On
 L4K 3S4
 647.278.5800

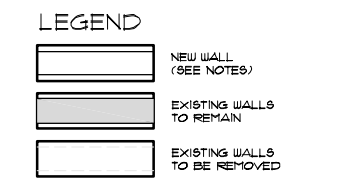
TITLE Ground Floor Plans
DATE Oct. 31, 2016
SCALE 1/4" = 1'-0"
DRWN ag **DRWG No.**
CHKD fd **REV No.** **A2.1b**



SECOND FLOOR PLAN
1634 SF

NOTE: REFER TO FLOOR DRAWINGS FOR APPR. FLOOR JOIST LAYOUT

- GENERAL NOTES**
1. ALL DIMENSIONS IMPERIAL.
 2. VERIFY ALL DIMENSIONS.
 3. DO NOT SCALE DRAWINGS.
 4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
 5. USE THE LATEST REVISED DRAWINGS ONLY.



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Revisions

No.	Date
5	MINOR VARIANCE APPLICATION FEB. 2017
4	
3	ISSUE FOR REVISIONS JAN. 2017
2	ISSUE FOR PERMIT DEC. 12, 2016
1	CLIENT REVIEW OCT. 31, 2016

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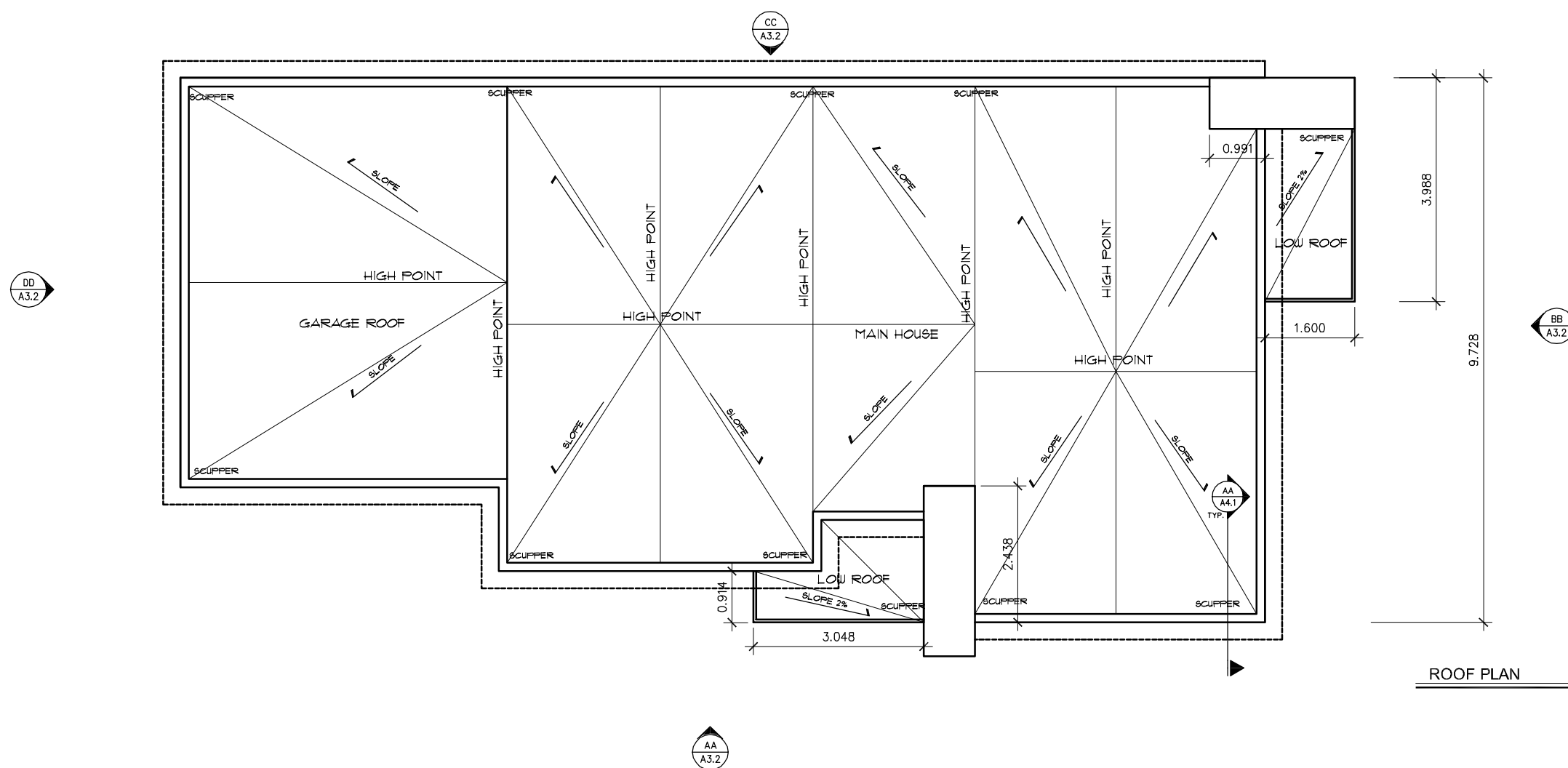
QUALIFICATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)
ANTHONY STANISIA 14750
 Name Signature BCN
 REGISTRATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)

DIGITECH DESIGNS 31397
 Firm Name BCN

PROJECT
ANTIOCH RESIDENCE
 23 Antioch Drive
 Toronto, Ontario

DIGITECH DESIGNS INC
 8 FRIMETTE
 CRESCENT
 Toronto, On
 L4K 3S4
 647.278.5800

TITLE Second Floor Plan/Roof
 DATE Oct. 31, 2016
 SCALE 1/4" = 1'-0"
 DRAWN ag
 CHECK fd
 DRWG No. REV No. **A2.2**



ROOF PLAN

NOTE: REFER TO FLOOR DRAWINGS FOR APPR. FLOOR JOIST LAYOUT

- GENERAL NOTES**
1. ALL DIMENSIONS IMPERIAL.
 2. VERIFY ALL DIMENSIONS.
 3. DO NOT SCALE DRAWINGS.
 4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
 5. USE THE LATEST REVISED DRAWINGS ONLY.

LEGEND

- NEW WALL (SEE NOTES)
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNER WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ONLY BUILDING PERMIT ISSUED DRAWINGS SHALL BE USED FOR FABRICATION AND CONSTRUCTION PURPOSES.

Revisions

5	MINOR VARIANCE APPLICATION	FEB. 2017
4		
3	ISSUE FOR REVISIONS	JAN. 2017
2	ISSUE FOR PERMIT	DEC. 12, 2016
1	CLIENT REVIEW	OCT. 31, 2016
No.		Date

Refer to Approved Building Permit Drawings for construction purposes. Drawings are NOT to be scaled. Contractors must verify all dimensions on the job and report any discrepancies before proceeding with the work. All drawings and specifications are instruments of service and the property of the DESIGNER which must be returned at the completion of the work. The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

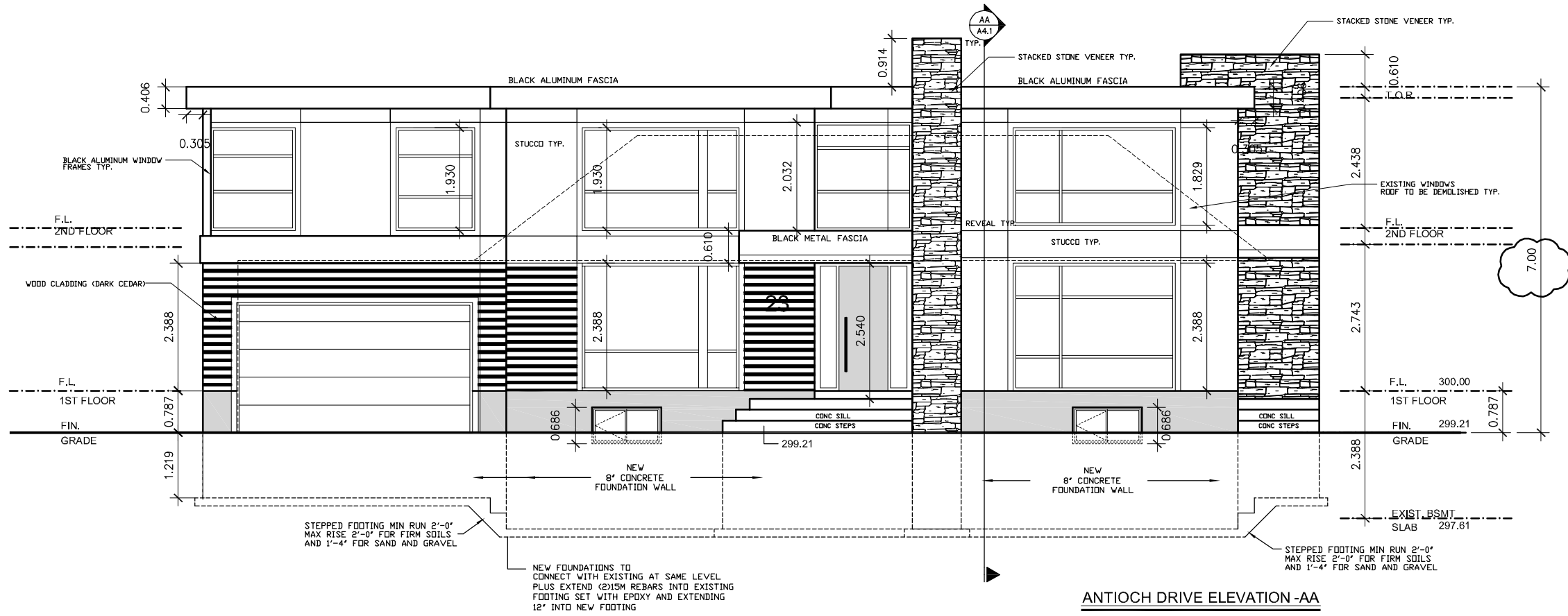
QUALIFICATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)
ANTHONY STANISCIA 14750
 Name Signature BCN

REGISTRATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)
DIGITECH DESIGNS 31397
 Firm Name BCN

PROJECT
ANTIOCH RESIDENCE
 23 Antioch Drive
 Toronto, Ontario

DIGITECH DESIGNS INC
 8 FRIMETTE
 CRESCENT
 Toronto, On
 L4K 3S4
 647.278.5800

TITLE Second Floor Plan/Roof
DATE Oct. 31, 2016
SCALE 1/4" = 1'-0"
DRWN ag **DRWG No.**
CHKD fd **REV No.** **A2.2b**



ANTIOCH DRIVE ELEVATION-AA

- GENERAL NOTES**
1. ALL DIMENSIONS IMPERIAL.
 2. VERIFY ALL DIMENSIONS.
 3. DO NOT SCALE DRAWINGS.
 4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
 5. USE THE LATEST REVISED DRAWINGS ONLY.

LEGEND

- NEW WALL (SEE NOTES)
- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED

CONTRACTOR MUST VERIFY ALL DIMENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK. ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNER WHICH MUST BE RETURNED AT THE COMPLETION OF THE WORK. ONLY BUILDING PERMIT ISSUED DRAWINGS SHALL BE USED FOR FABRICATION AND CONSTRUCTION PURPOSES.

Revisions

No.	Date
6	MINOR VARIANCE APPLICATION FEB.12.2017
5	ISSUE FOR ZONING COMMENTS JAN.30.2017
4	ISSUE FOR REVISIONS JAN.12.2017
3	ISSUE FOR PERMIT DEC.12.2016
2	CLIENT REVIEW NOV.14.2016
1	CLIENT REVIEW OCT.31.2016

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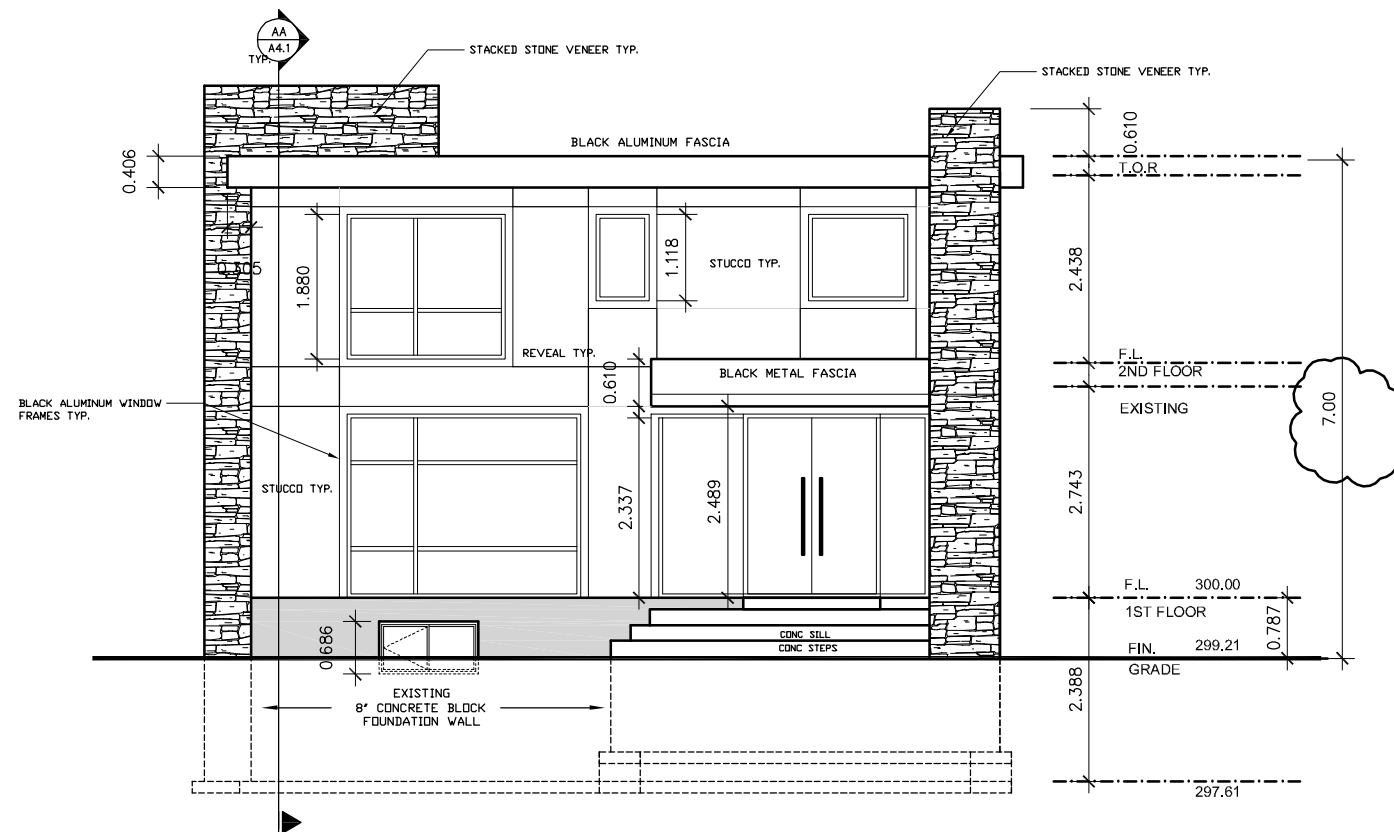
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ANTHONY STANISIA 14750
 Name Signature BCN

REGISTRATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)
DIGITECH DESIGNS 31397
 Firm Name BCN

PROJECT
ANTIOCH RESIDENCE
 23 Antioch Drive
 Toronto, Ontario

DIGITECH DESIGNS INC
 8 FRIMETTE
 CRESCENT
 Toronto, On
 L4K 3S4
 647.278.5800

TITLE Elevations
DATE Oct. 31, 2016
SCALE 1/4" = 1'-0"
DRWIN ag **DRWG No.**
CHKD fd **REV No.** **A3.1**

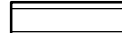

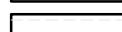


COTMAN CRESCENT ELEVATION-BB

GENERAL NOTES

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LEGEND

-  NEW WALL (SEE NOTES)
-  EXISTING WALLS TO REMAIN
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The undersigned has reviewed and takes responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

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ANTHONY STANISIA 14750
 Name Signature BCN

REGISTRATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)

DIGITECH DESIGNS 31397
 Firm Name BCN

PROJECT
ANTIOCH RESIDENCE

23 Antioch Drive
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TITLE Elevations

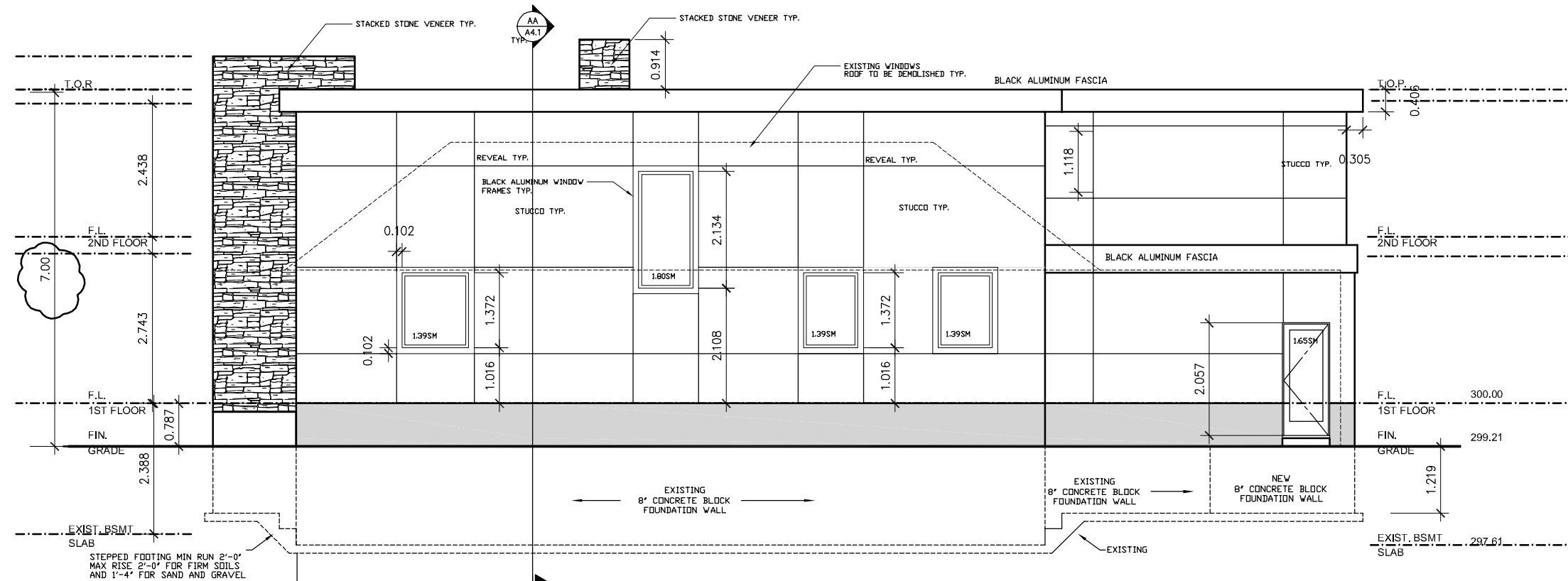
DATE Oct. 31, 2016

SCALE 1/4" = 1'-0"

DRWIN ag **DRWG No.**

CHKD fd **REV No.**

A3.1b



SIDE YARD ELEVATION-CC

ALLOWABLE UNPROTECTED OPENINGS		
ACTUAL DISTANCE	7.10 FT	2.38 M
LIMITING DISTANCE	3.94 FT	1.20 M
MAXIMUM PERCENTAGE	7.00 %	
TOTAL WALL AREA	1434 SF	133.22 SM
ALLOWABLE OPENINGS	100.38 SF	9.33 SM
ACTUAL OPENINGS	98.13 SF	9.11 SM

- GENERAL NOTES**
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- LEGEND**
- NEW WALL (SEE NOTES)
 - EXISTING WALLS TO REMAIN
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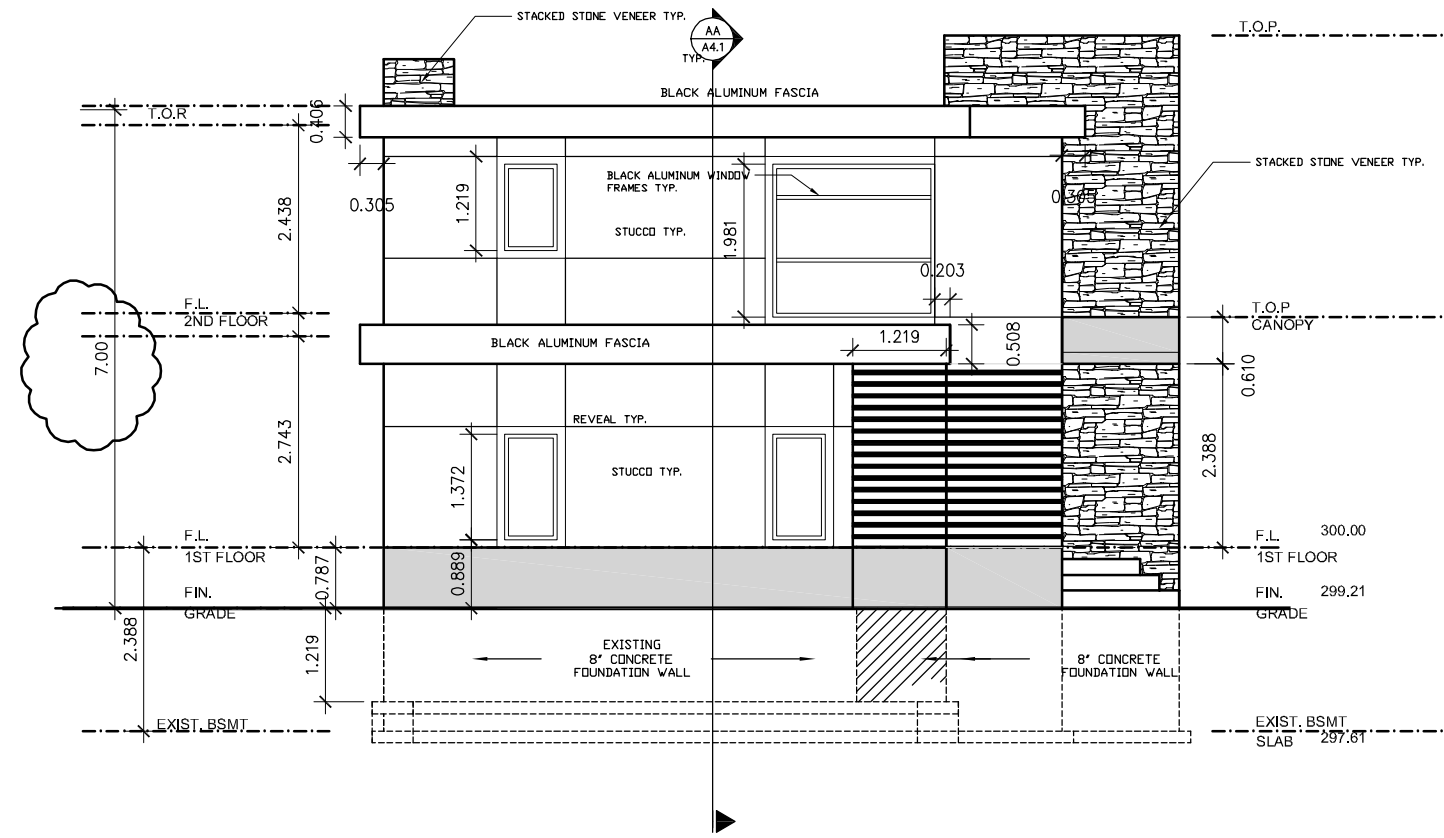
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ANTHONY STANISIA 14750
 Name Signature BCN
REGISTRATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)

DIGITECH DESIGNS 31397
 Firm Name BCN

PROJECT
ANTIOCH RESIDENCE
 23 Antioch Drive
 Toronto, Ontario

DIGITECH DESIGNS INC
 8 FRIMETTE
 CRESCENT
 Toronto, On
 L4K 3S4
 647.278.5800

TITLE Elevations
DATE Oct. 31, 2016
SCALE 1/4" = 1'-0"
DRWN ag **DRWG No.**
CHKD fd **REV No.** **A3.2**

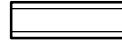




SIDE YARD ELEVATION-DD

GENERAL NOTES

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4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
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LEGEND

-  NEW WALL (SEE NOTES)
-  EXISTING WALLS TO REMAIN
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ANTHONY STANISIA 14750
 Name Signature BCN

REGISTRATION INFORMATION (required unless design is exempt under 2.17.4.1. of the building code.)

DIGITECH DESIGNS 31397
 Firm Name BCN

PROJECT
ANTIOCH RESIDENCE

23 Antioch Drive
 Toronto, Ontario

DIGITECH DESIGNS INC

8 FRIMETTE
 CRESCENT
 Toronto, On
 L4K 3S4
 647.278.5800

TITLE Elevations

DATE Oct. 31, 2016

SCALE 1/4" = 1'-0"

DRWIN ag **DRWG No.**

CHKD fd **REV No.**

A3.2b

Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0144/17EYK	Zoning	RM & R2
Owner(s):	KELSIE IRENE LEAMAN NICHOLAS JOHN MILBURY	Ward:	Etobicoke-Lakeshore (06)
Agent:	NICHOLAS JOHN MILBURY	Heritage:	Not Applicable
Property Address:	5 WHEATFIELD RD	Community:	
Legal Description:	PLAN M134 PT LOT 246		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To enclose the existing front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.80.40.70.(1), By-law 569-2013 & Section 340-30.N

The minimum required front yard setback is 7.9 m.

The altered dwelling will be located 2.81 m from the front lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0144/17EYK	Zoning	RM & R2
Owner:	KELSIE IRENE LEAMAN NICHOLAS JOHN MILBURY	Ward:	Etobicoke-Lakeshore (06)
Agent:	NICHOLAS JOHN MILBURY	Heritage:	Not Applicable
Property Address:	5 WHEATFIELD RD	Community:	
Legal Description:	PLAN M134 PT LOT 246		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0147/17EYK	Zoning	RD & R2
Owner(s):	NALAKA GAN ABEYSINGHE NALIKA THARA ABEYSINGHE	Ward:	Etobicoke Centre (03)
Agent:	NALIKA THARA ABEYSINGHE	Heritage:	Not Applicable
Property Address:	44 RANGOON RD	Community:	
Legal Description:	PLAN M752 LOT 164		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey north side addition which will include an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 320-40.C.(3)**
The minimum required front yard setback is 8.54 m.
The altered dwelling will be located 8.33 m from the front lot line.
- Section 10.20.40.70.(4), By-law 569-2013 and Section 320-42.1.C.(1)**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.77 m from the north side lot line.
- Section 10.5.40.60.(7)(B), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 320-41.D
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D
The eaves/roof projection of the altered dwelling will be located 0.21 m to the property line from the north side.
- Section 200.5.1.10.(2)(A)(iv), By-law 569-2013 and Section 320-18.(1)(c)**
The minimum required parking space width is 2.6 m and must be increase by 0.3 for each side of the parking space.
The proposed parking space, within the proposed attached garage, will have a width of 2.75 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The site plan shall be revised, to the satisfaction of Traffic Planning / Right of Way Management, to include the following notations:

- a. "The applicant must obtain all required permits from the City's Right-of-Way Management Section of Transportation Services before excavating and encroaching into the municipal road allowance;" and
- b. "The applicant shall provide a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements.

SIGNATURE PAGE

File Number:	A0147/17EYK	Zoning	RD & R2
Owner:	NALAKA GAN ABEYSINGHE NALIKA THARA ABEYSINGHE	Ward:	Etobicoke Centre (03)
Agent:	NALIKA THARA ABEYSINGHE	Heritage:	Not Applicable
Property Address:	44 RANGOON RD	Community:	
Legal Description:	PLAN M752 LOT 164		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0149/17EYK	Zoning	E & IC2
Owner(s):	MARQUES ANIBAL 2494020 ONTARIO LIMITED	Ward:	Etobicoke North (01)
Agent:	HITESH R KHATRI	Heritage:	Not Applicable
Property Address:	11 GOODMARK PL (UNIT 5)	Community:	
Legal Description:	PLAN M2009 LOT 19 BLK 34		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert a portion of the existing building (Unit 5) into a vehicle related use (truck and trailer repair).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 304-32

A vehicle related use (truck and trailer repair) is not permitted in a multiple-occupancy building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0149/17EYK	Zoning	E & IC2
Owner:	MARQUES ANIBAL 2494020 ONTARIO LIMITED	Ward:	Etobicoke North (01)
Agent:	HITESH R KHATRI	Heritage:	Not Applicable
Property Address:	11 GOODMARK PL (UNIT 5)	Community:	
Legal Description:	PLAN M2009 LOT 19 BLK 34		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0150/17EYK	Zoning:	RM & R2
Owner(s):	2312883 ONTARIO INC. 2312883 ONTARIO INC	Ward:	Etobicoke-Lakeshore (06)
Agent:	RASEK ARCHITECTS	Heritage:	Not Applicable
Property Address:	22 SIXTEENTH ST	Community:	
Legal Description:	PLAN 1712 PT LOT 183		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a new second storey addition above the existing dwelling, a new integral garage and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 350-31(F)(2)**
The maximum permitted floor space index/ gross floor area is 0.6 times the lot area (140.2 m²).
The altered dwelling will have a floor space index/ gross floor area of 0.92 times the lot area (216 m²).
- Section 900.6.10(23)(D)(i), By-law 569-2013 and Section 350-31(A)(4)**
The minimum required side yard setback is 0.6 m.
The altered dwelling will be located 0.36 m from the south side lot line.
- Section 10.80.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The front exterior main wall height of the altered dwelling will be 8 m.
- Section 10.80.40.10.(4), By-law 569-2013**
The maximum permitted first floor height is 1.2 m above established grade.
The altered dwelling will have a first floor height of 2.44 m above established grade.
- Section 350-26(A)(4)**
A minimum of 6 m of access is required in front of a parking space.
A total of 2.64 m of access will be provided in front of the parking space.
- Section 10.5.50.10.(1)(D), By-law 569-2013 and Section 350-30.9(A), as amended by By-law 973-2006**
A minimum of 75% of the required front yard landscaping must be maintained as soft landscaping (9.9 m²).
A total of 64.7% of the required front yard landscaping will be maintained as soft landscaping (8.5 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 The site plan must be revised to indicate that the portion of the redundant asphalt driveway between the north edge of the proposed driveway and the property line with 24 Sixteenth Street will be removed and restored with sod;
 - 2.2 The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 2.3 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed new driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;
 - 2.4 The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits to construct any proposed the driveway from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)";

SIGNATURE PAGE

File Number:	A0150/17EYK	Zoning	RM & R2
Owner:	2312883 ONTARIO INC. 2312883 ONTARIO INC	Ward:	Etobicoke-Lakeshore (06)
Agent:	RASEK ARCHITECTS	Heritage:	Not Applicable
Property Address:	22 SIXTEENTH ST	Community:	
Legal Description:	PLAN 1712 PT LOT 183		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0152/17EYK	Zoning:	RD
Owner(s):	OKSANA CHERCHYK BOHDAN CHERCHYK	Ward:	Etobicoke-Lakeshore (05)
Agent:	STOYANOVSKYY ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	34 SWAN AVE	Community:	
Legal Description:	PLAN 4455 LOT 2		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.3.10.(21)(C), By-law 569-2013 & Section 1(b)(1), By-law 1992-23

The maximum permitted gross floor area is 135 m² plus 25% of the lot area (234 m²).

The proposed dwelling will have a gross floor area of 135 m² plus 35% of the lot area (300 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0152/17EYK	Zoning	RD
Owner:	OKSANA CHERCHYK BOHDAN CHERCHYK	Ward:	Etobicoke-Lakeshore (05)
Agent:	STOYANOVSKYY ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	34 SWAN AVE	Community:	
Legal Description:	PLAN 4455 LOT 2		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0165/17EYK	Zoning	RD & R2
Owner(s):	LARYSA TERSHAKOWEC GREGORY TERSHAKOWEC	Ward:	Etobicoke Centre (03)
Agent:	SAVA MIOKOVIC	Heritage:	Not Applicable
Property Address:	4 SAVALON CRT	Community:	
Legal Description:	PLAN 7168 LOT 4		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.70.(2)(B), By-law 569-2013 and Section 320-42.A

The minimum required rear yard setback is 8.39 m.

The altered dwelling will be located 6.47 m from the rear lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the site and elevation plans submitted and held on file by the Committee of Adjustment office and date stamped as received on February 22, 2017, the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0165/17EYK	Zoning	RD & R2
Owner:	LARYSA TERSHAKOWEC GREGORY TERSHAKOWEC	Ward:	Etobicoke Centre (03)
Agent:	SAVA MIOKOVIC	Heritage:	Not Applicable
Property Address:	4 SAVALON CRT	Community:	
Legal Description:	PLAN 7168 LOT 4		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

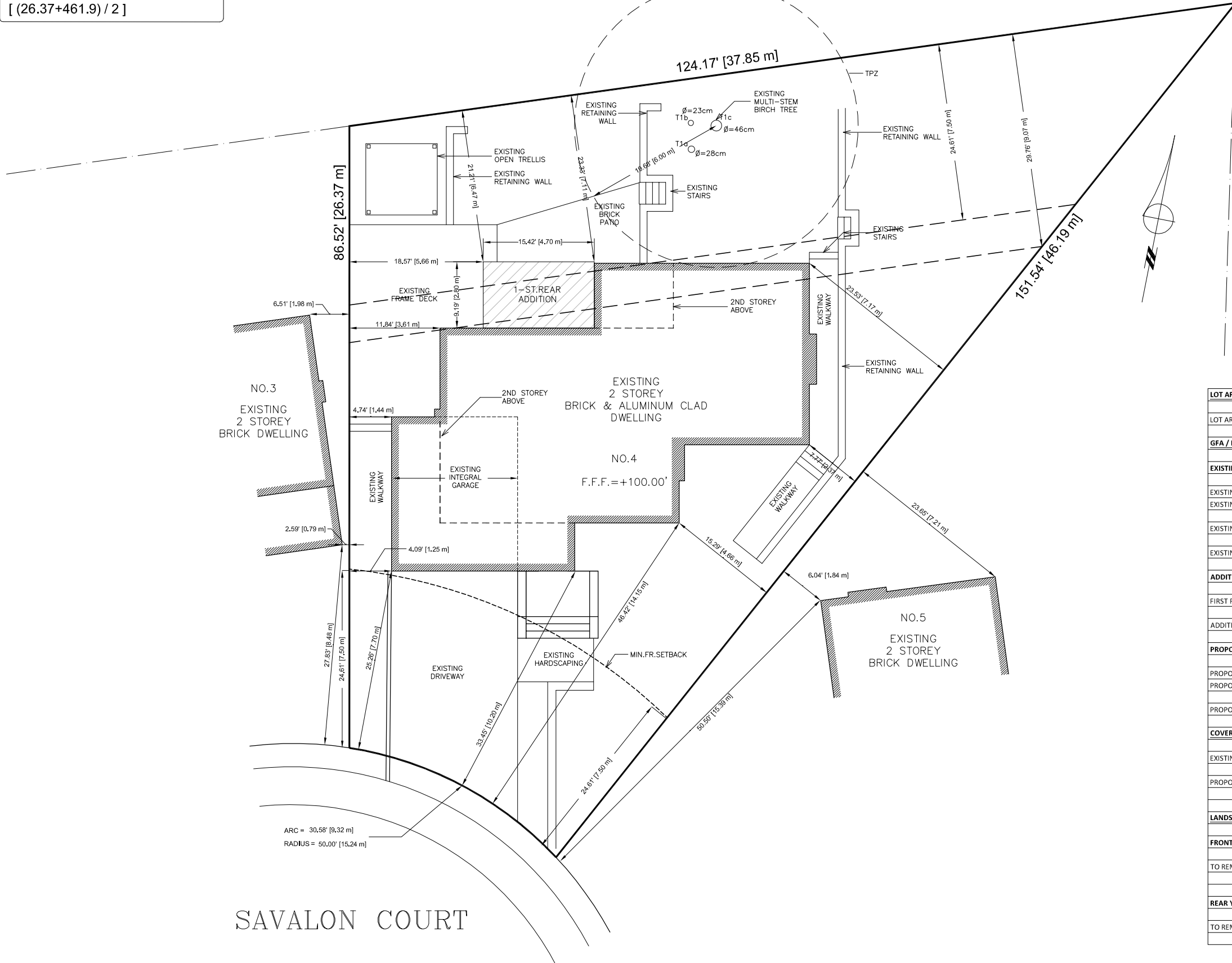
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

AVERAGE LOT DEPTH = 36.28M
 [(26.37+461.9) / 2]



DATA SCHEDULE OF WORK
 A-01

- NEW CONSTRUCTION
- FIRST FLOOR ----- 13.35 SQ.M.
- INTERIOR ALTERATIONS
- FIRST FLOOR ----- 20.00 SQ.M.

DATA DESIGN DATA
 A-01

LOT AREA	sq.ft.	sq.m.	FSI
LOT AREA	7663.23	711.94	
GFA / FSI			
EXISTING GFA			
EXISTING FIRST FLOOR	1371.48	127.41	17.90%
EXISTING SECOND FLOOR	1365.19	126.83	17.81%
EXISTING GARAGE	337.37	31.34	4.40%
EXISTING TOTAL GFA	2736.67	254.24	35.71%
ADDITIONAL GFA			
FIRST FLOOR ADDITION	143.67	13.35	1.87%
ADDITIONAL TOTAL FSI	143.67	13.35	1.87%
PROPOSED GFA			
PROPOSED FIRST FLOOR GFA	1515.15	140.76	19.77%
PROPOSED SECOND FLOOR GFA	1365.19	126.83	17.81%
PROPOSED TOTAL GFA	2880.34	267.59	37.59%
COVERAGE			
EXISTING	1739.17	161.57	22.69%
PROPOSED	1882.84	174.92	24.57%
LANDSCAPING			
FRONT YARD			
TO REMAIN UNCHANGED			
REAR YARD			
TO REMAIN UNCHANGED			

PROJECT	1-STOREY REAR ADDITION/EXTERIOR ALT.	SCALE:	1:180
	4 SAVALON COURT, ETOBICOKE	DATE:	JAN 18,2017
DRAWING TITLE	SITE PLAN	DRAWN BY	S.MIOKOVIC
		CHECKED BY	B.MIOKOVIC

**PRAXIS
DESIGN
GROUP**

office: 416-769-0333
 mobile: 416-887-2396
 info@praxisdesigngroup.ca
 www.praxisdesigngroup.ca

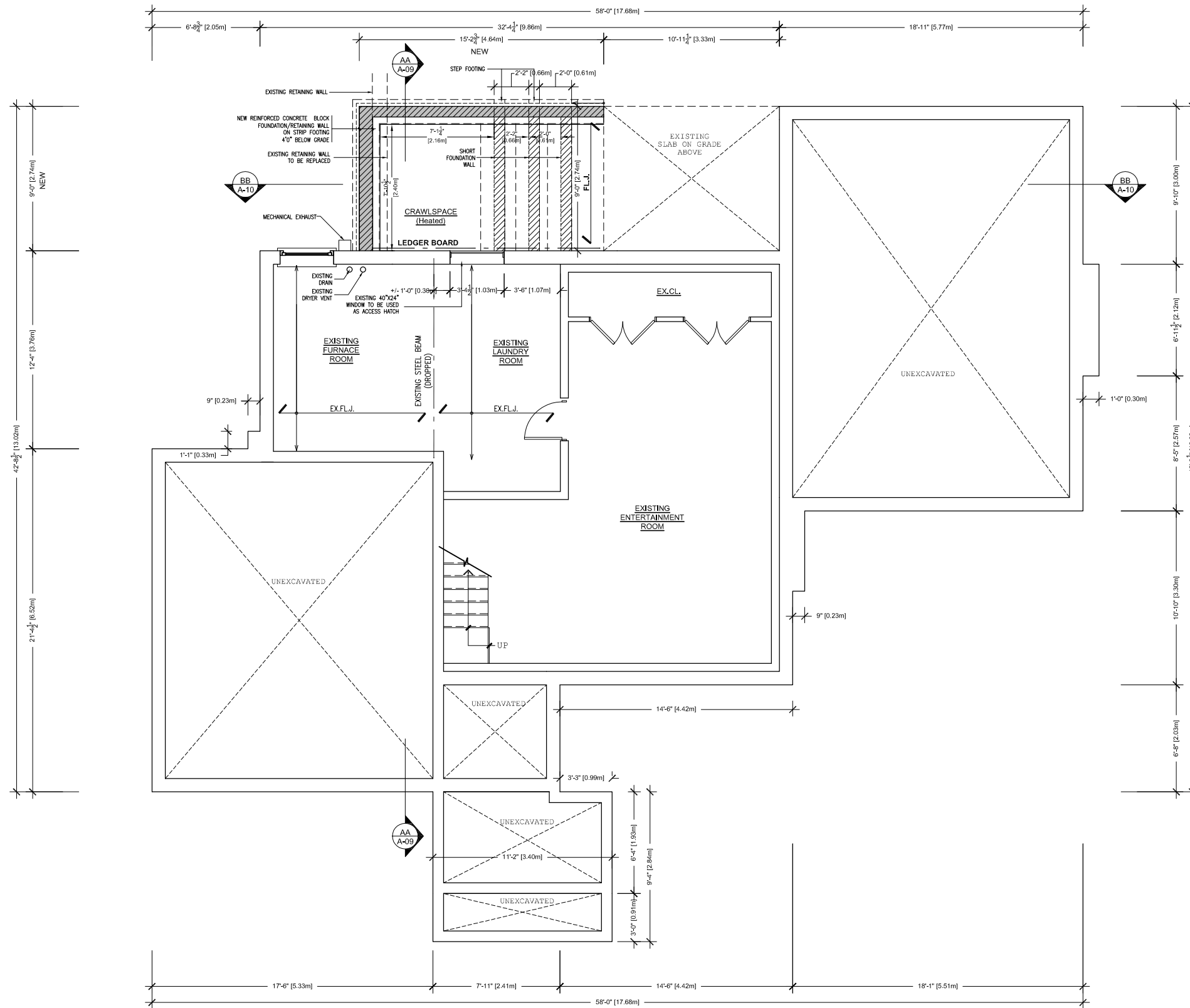
SHEET:

A-01

71 Pine Crest Road / Toronto / ON / M6P 3G6

DRAWING LEGEND:

- EXISTING WALL
- TO BE DEMOLISHED
- NEW WALLS
- E.D. EXISTING DOOR
- N.D. NEW DOOR
- R.D. REPLACE DOOR
- E.W. EXISTING WINDOW
- N.W. NEW WINDOW
- R.W. REPLACE WINDOW

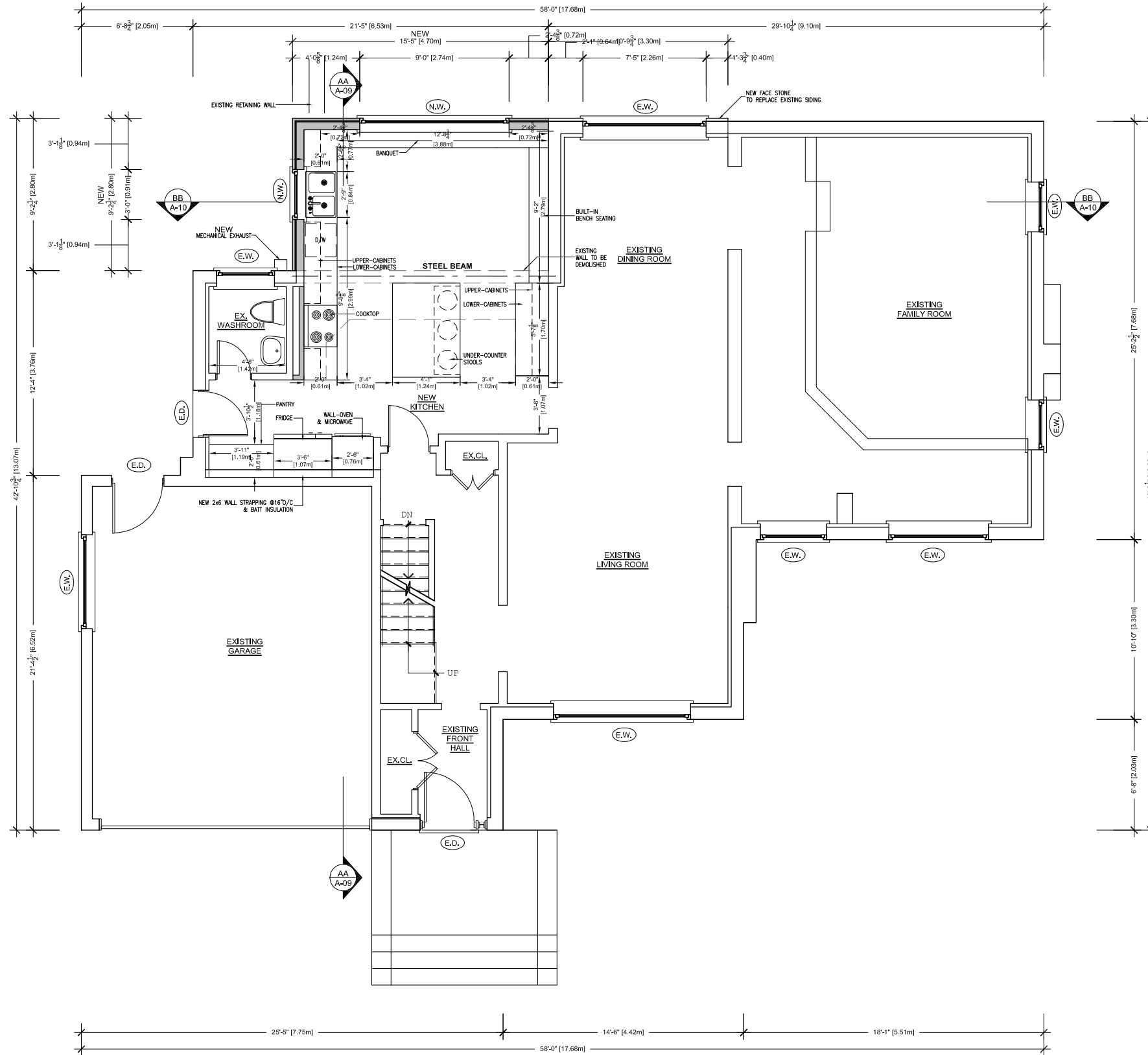


PROJECT 1-STOUREY REAR ADDITION/EXTERIOR ALT. 4 SAVALON COURT, ETOBICOKE	SCALE: 1:90 DATE: JAN 18,2017 DRAWN BY S.MIOKOVIC CHECKED BY S.MIOKOVIC
DRAWING TITLE BASEMENT FLOOR PLAN	

	PRAXIS DESIGN GROUP	office: 416-769-0333 mobile: 416-887-2396 info@praxisdesigngroup.ca www.praxisdesigngroup.ca	SHEET: A-02
71 Pine Crest Road / Toronto / ON / M6P 3G6			

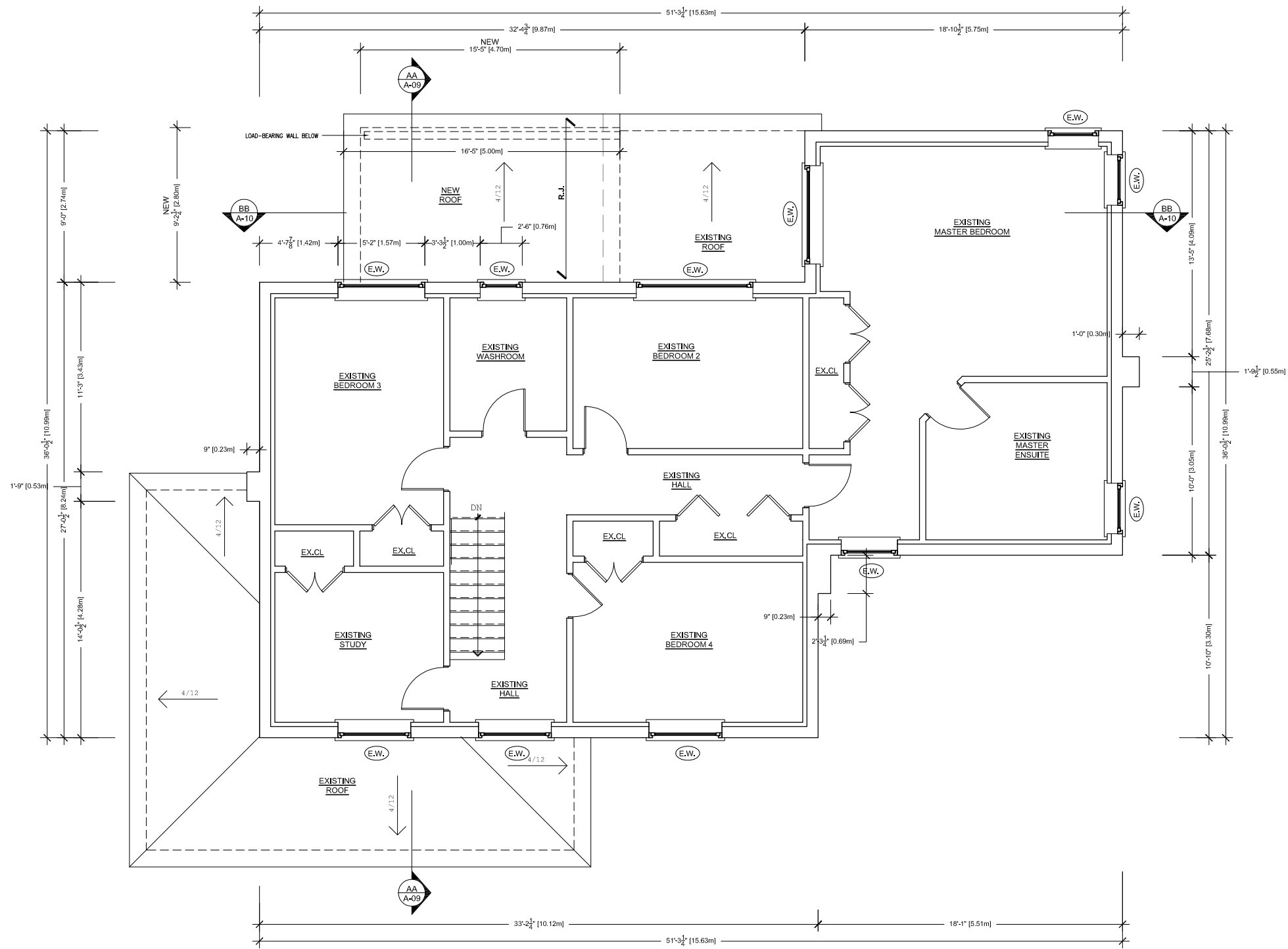
DRAWING LEGEND:

- EXISTING WALL
- TO BE DEMOLISHED
- NEW WALLS
- E.D. EXISTING DOOR
- N.D. NEW DOOR
- R.D. REPLACE DOOR
- E.W. EXISTING WINDOW
- N.W. NEW WINDOW
- R.W. REPLACE WINDOW



PROJECT 1-STOREY REAR ADDITION/EXTERIOR ALT. 4 SAVALON COURT, ETOBICOKE	SCALE: 1:90 DATE: JAN 18, 2017 DRAWN BY S.MIOKOVIC CHECKED BY S.MIOKOVIC
DRAWING TITLE FIRST FLOOR PLAN	

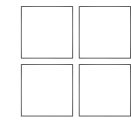
	PRAXIS DESIGN GROUP	office: 416-769-0333 mobile: 416-887-2396 info@praxisdesigngroup.ca www.praxisdesigngroup.ca	SHEET: A-03
71 Pine Crest Road / Toronto / ON / M6P 3G6			



PROJECT
 1-STOREY REAR ADDITION/EXTERIOR ALT.
 4 SAVALON COURT, ETOBICOKE

SCALE: 1:90
 DATE: JAN 18, 2017
 DRAWN BY S.MIOKOVIC
 CHECKED BY S.MIOKOVIC

DRAWING TITLE
SECOND FLOOR PLAN



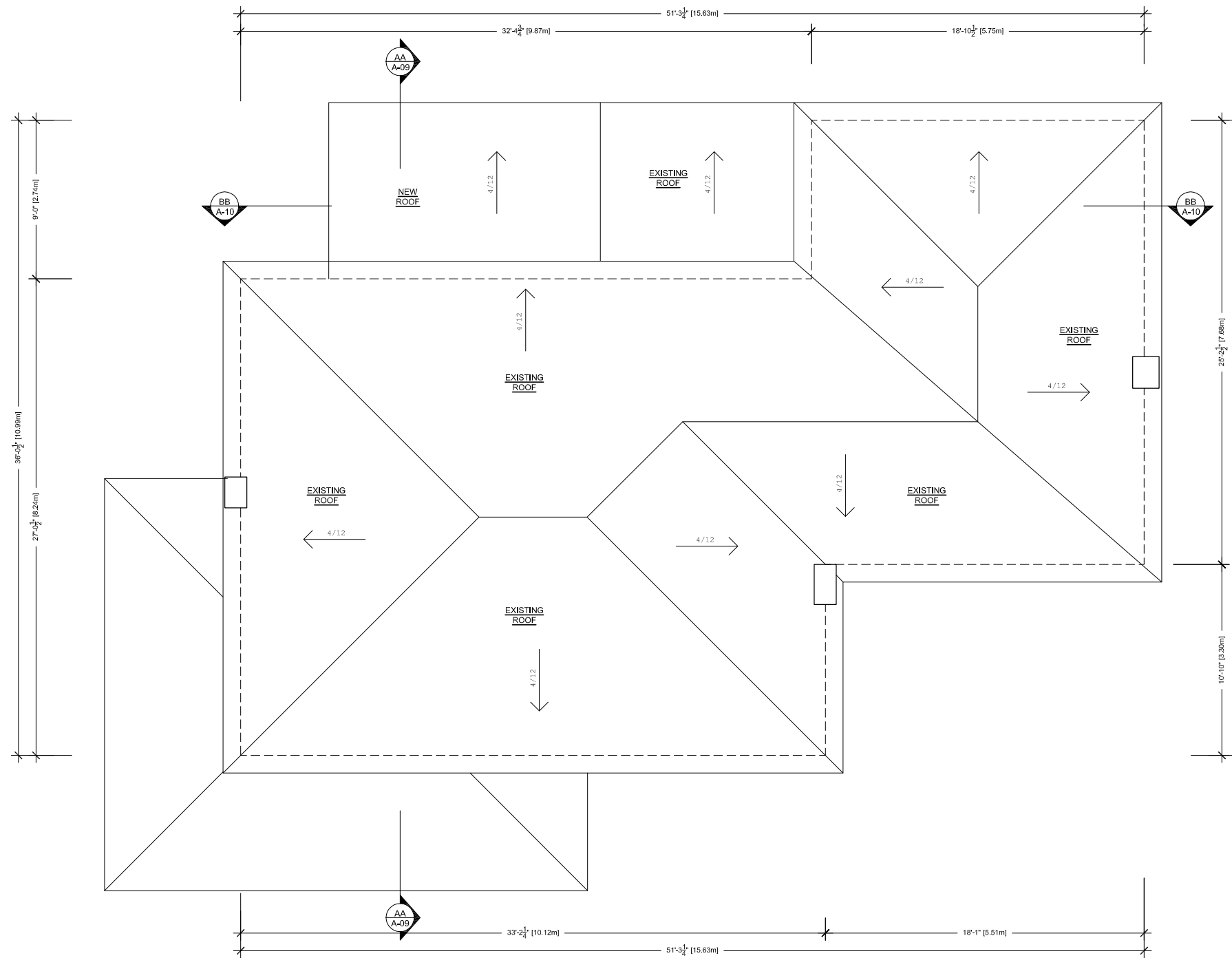
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 GROUP**

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 info@praxisdesigngroup.ca
 www.praxisdesigngroup.ca

71 Pine Crest Road / Toronto / ON / M6P 3G6

SHEET:

A-04



PROJECT
 1-STORY REAR ADDITION/EXTERIOR ALT.
 4 SAVALON COURT, ETOBICOKE

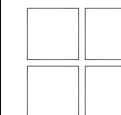
DRAWING TITLE
ROOF PLAN

SCALE: 1:90

DATE: JAN 18, 2017

DRAWN BY S.MIOKOVIC

CHECKED BY S.MIOKOVIC



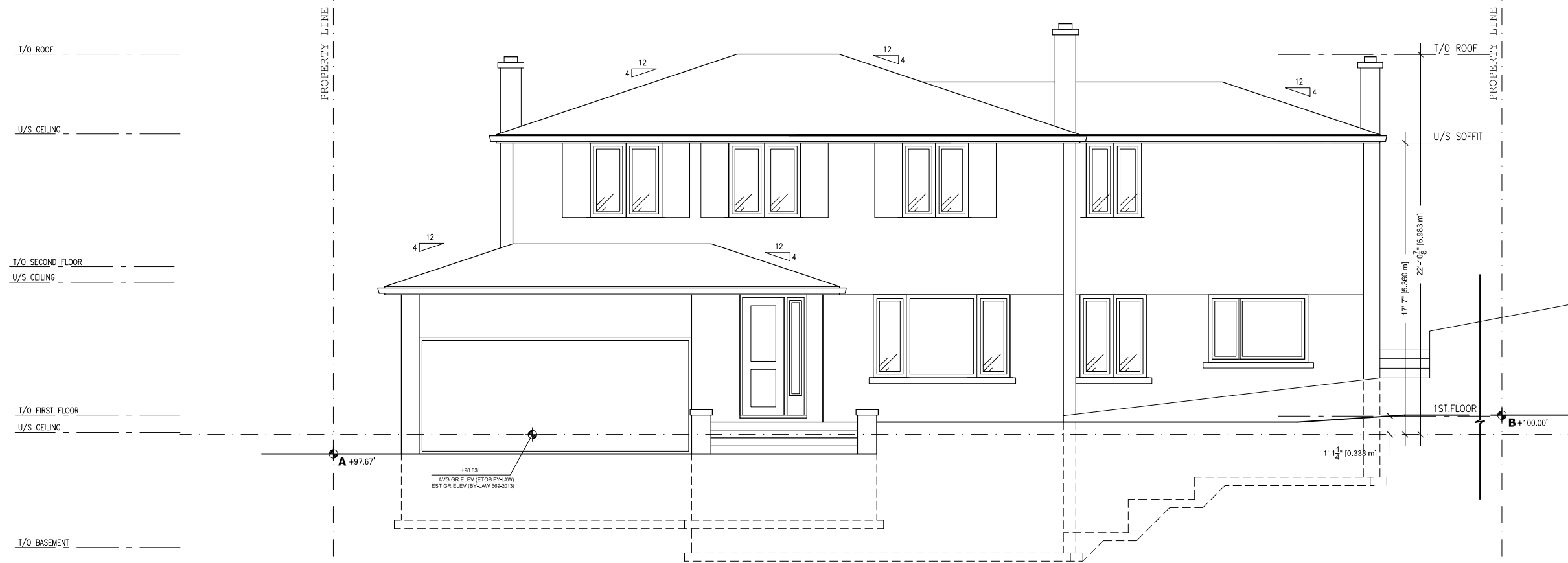
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 www.praxisdesigngroup.ca

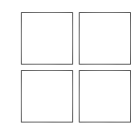
SHEET:

A-05



ELEV SOUTH ELEVATION
A-06 SCALE= 1:90

PROJECT 1-STOREY REAR ADDITION/EXTERIOR ALT. 4 SAVALON COURT, ETOBICOKE	SCALE: 1:90
	DATE: JAN 18,2017
	DRAWN BY S.MIOKOVIC
	CHECKED BY S.MIOKOVIC
DRAWING TITLE ELEVATIONS	



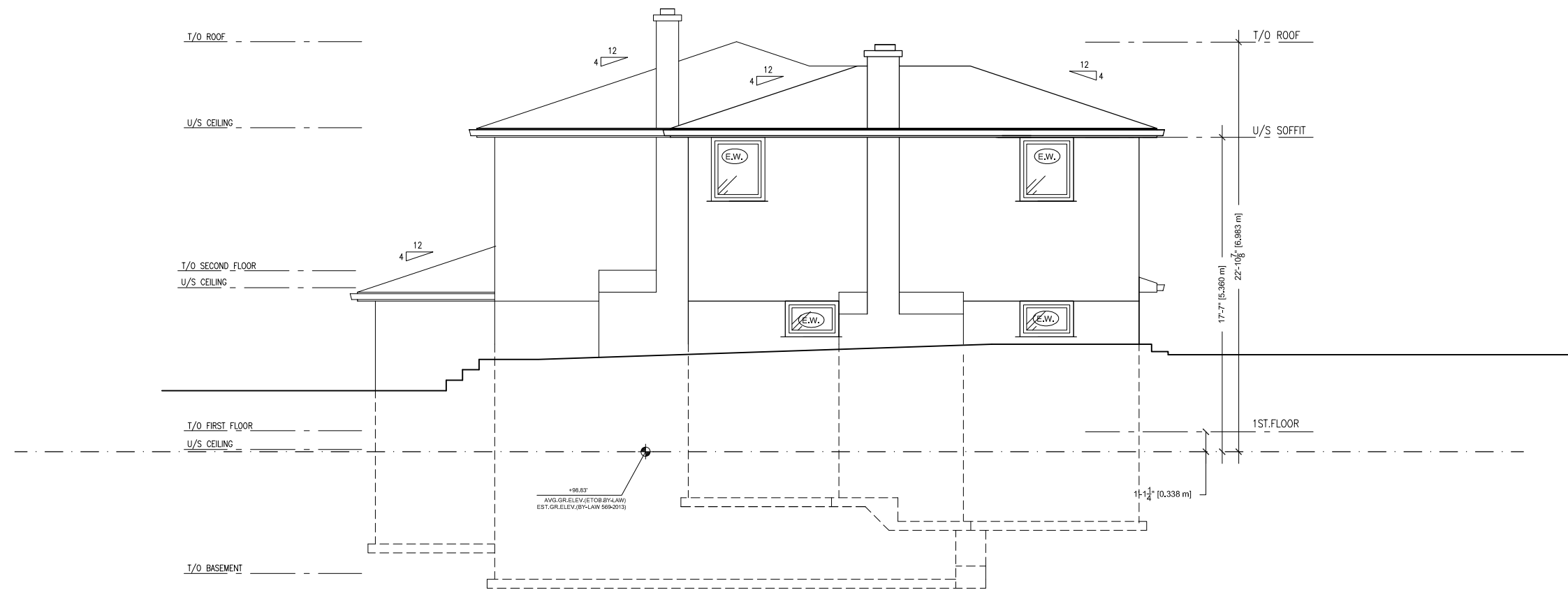
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mobile: 416-887-2396
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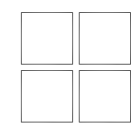
SHEET:

A-06A



ELEV EAST ELEVATION
A-06 SCALE= 1:90

PROJECT	SCALE: 1:90
1-STOREY REAR ADDITION/EXTERIOR ALT. 4 SAVALON COURT, ETOBICOKE	DATE: JAN 18, 2017
DRAWING TITLE	DRAWN BY S.MIOKOVIC
ELEVATIONS	CHECKED BY S.MIOKOVIC



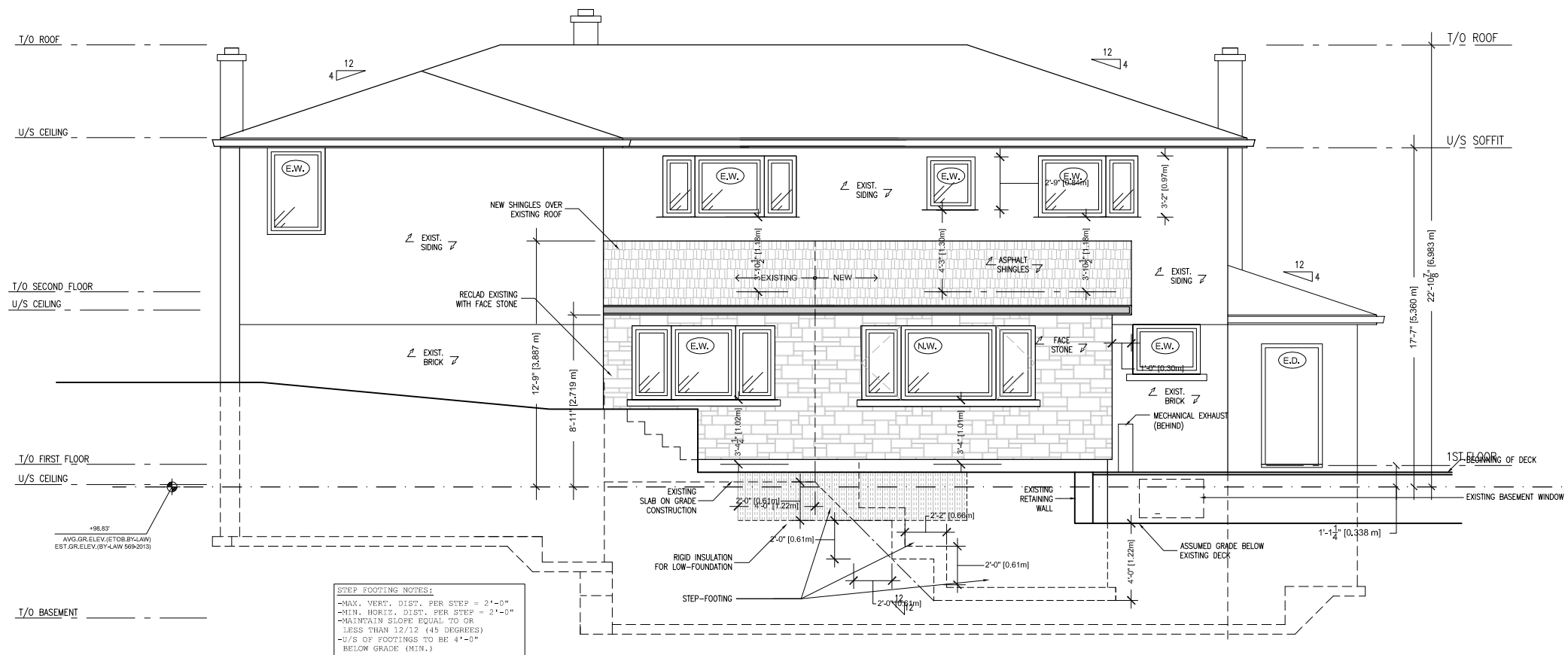
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DESIGN
GROUP**

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mobile: 416-887-2396
info@praxisdesigngroup.ca
www.praxisdesigngroup.ca

71 Pine Crest Road / Toronto / ON / M6P 3G6

SHEET:

A-06B



PROJECT
 1-STOREY REAR ADDITION/EXTERIOR ALT.
 4 SAVALON COURT, ETOBICOKE

DRAWING TITLE
NORTH ELEVATION

SCALE: 1:60

DATE: JAN 18, 2017

DRAWN BY S.MIOKOVIC

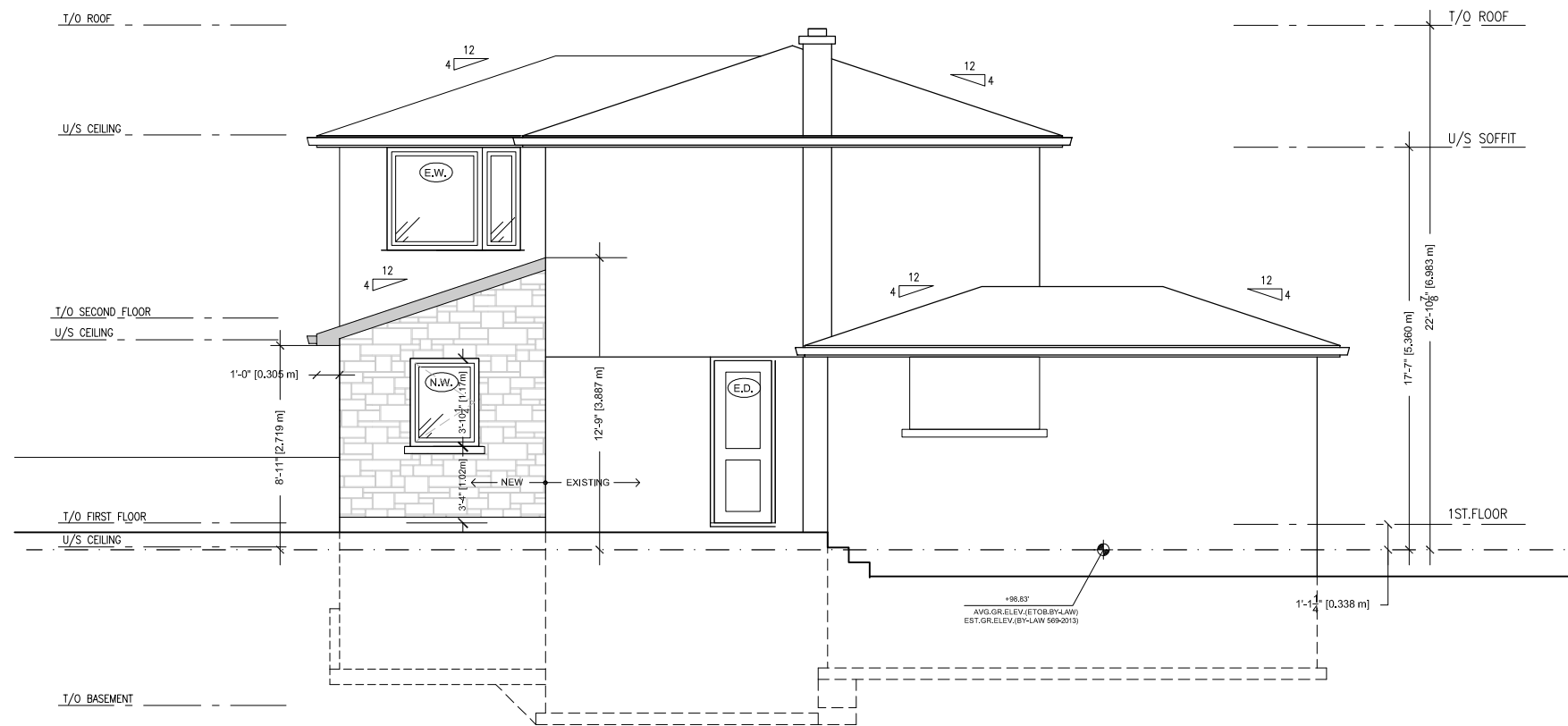
CHECKED BY S.MIOKOVIC

PRAXIS DESIGN GROUP

office: 416-769-0333
 mobile: 416-887-2396
 info@praxisdesigngroup.ca
 www.praxisdesigngroup.ca

71 Pine Crest Road / Toronto / ON / M6P 3G6

SHEET:
 A-07



PROJECT	SCALE: 1:90
1-STOREY REAR ADDITION/EXTERIOR ALT.	DATE: JAN 18, 2017
4 SAVALON COURT, ETOBICOKE	DRAWN BY S.MIOKOVIC
DRAWING TITLE	CHECKED BY S.MIOKOVIC
WEST ELEVATION	

	PRAXIS DESIGN GROUP	office: 416-769-0333	SHEET:
		mobile: 416-887-2396	
		info@praxisdesigngroup.ca	A-08
		www.praxisdesigngroup.ca	
71 Pine Crest Road / Toronto / ON / M6P 3G6			

T/O ROOF

U/S CEILING

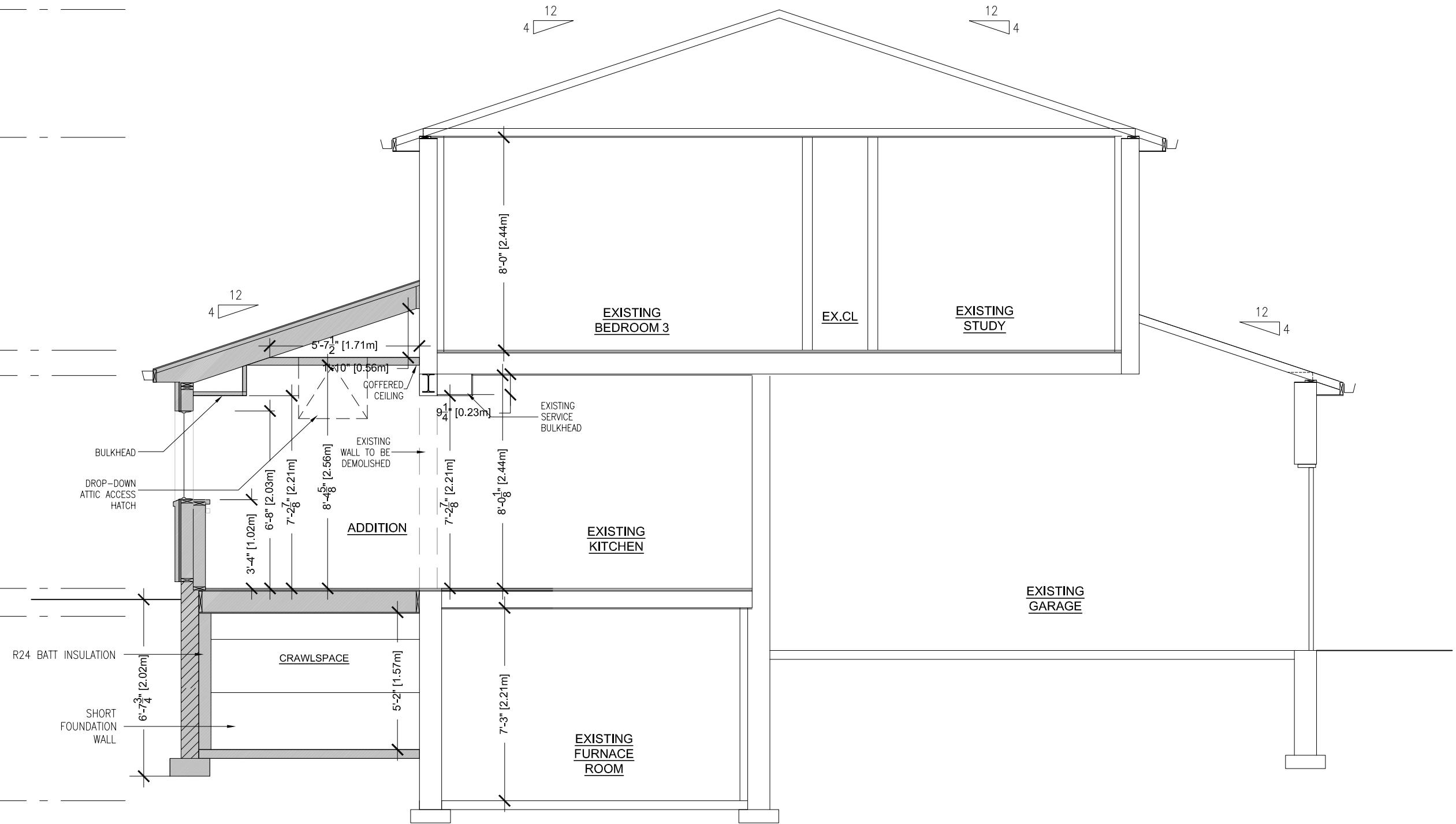
T/O SECOND FLOOR

U/S CEILING

T/O FIRST FLOOR

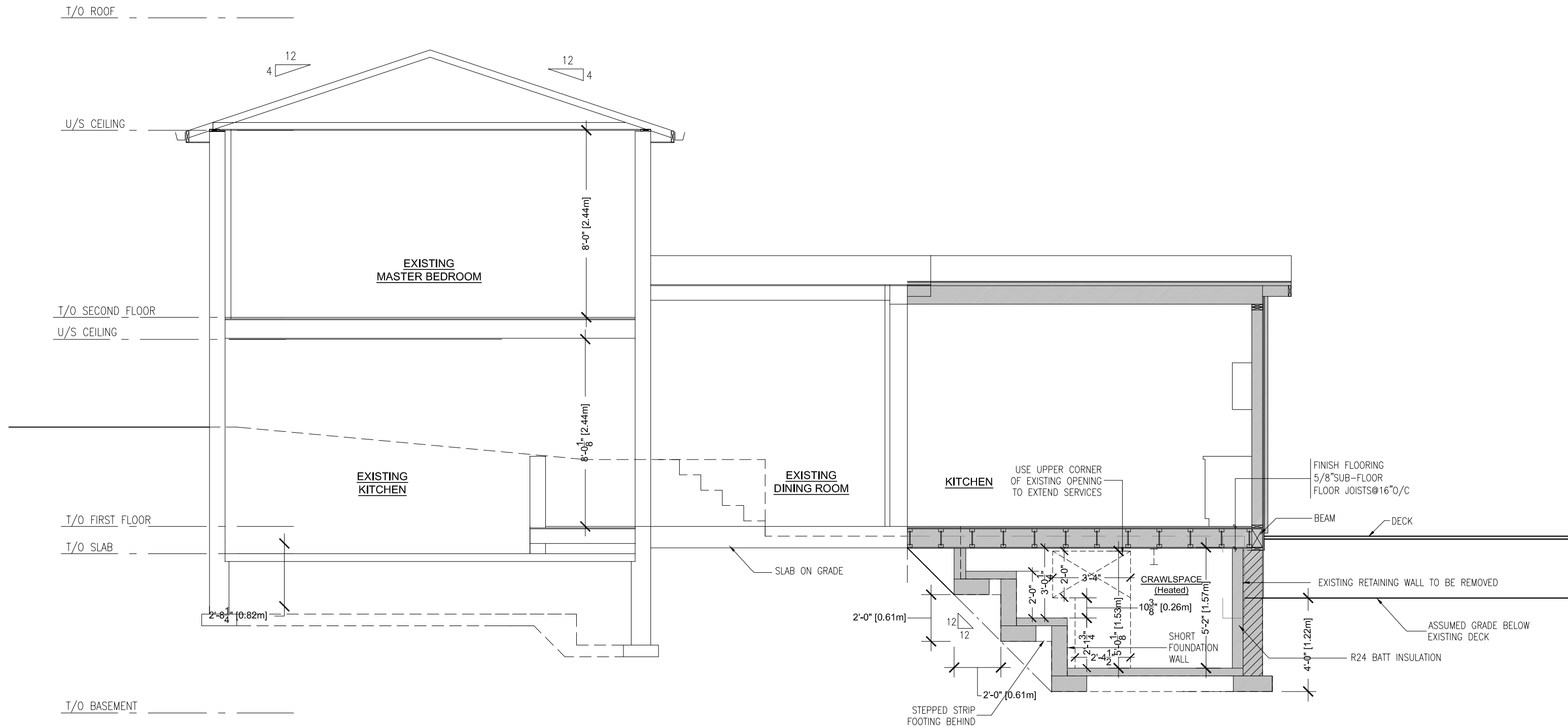
U/S CEILING

T/O BASEMENT



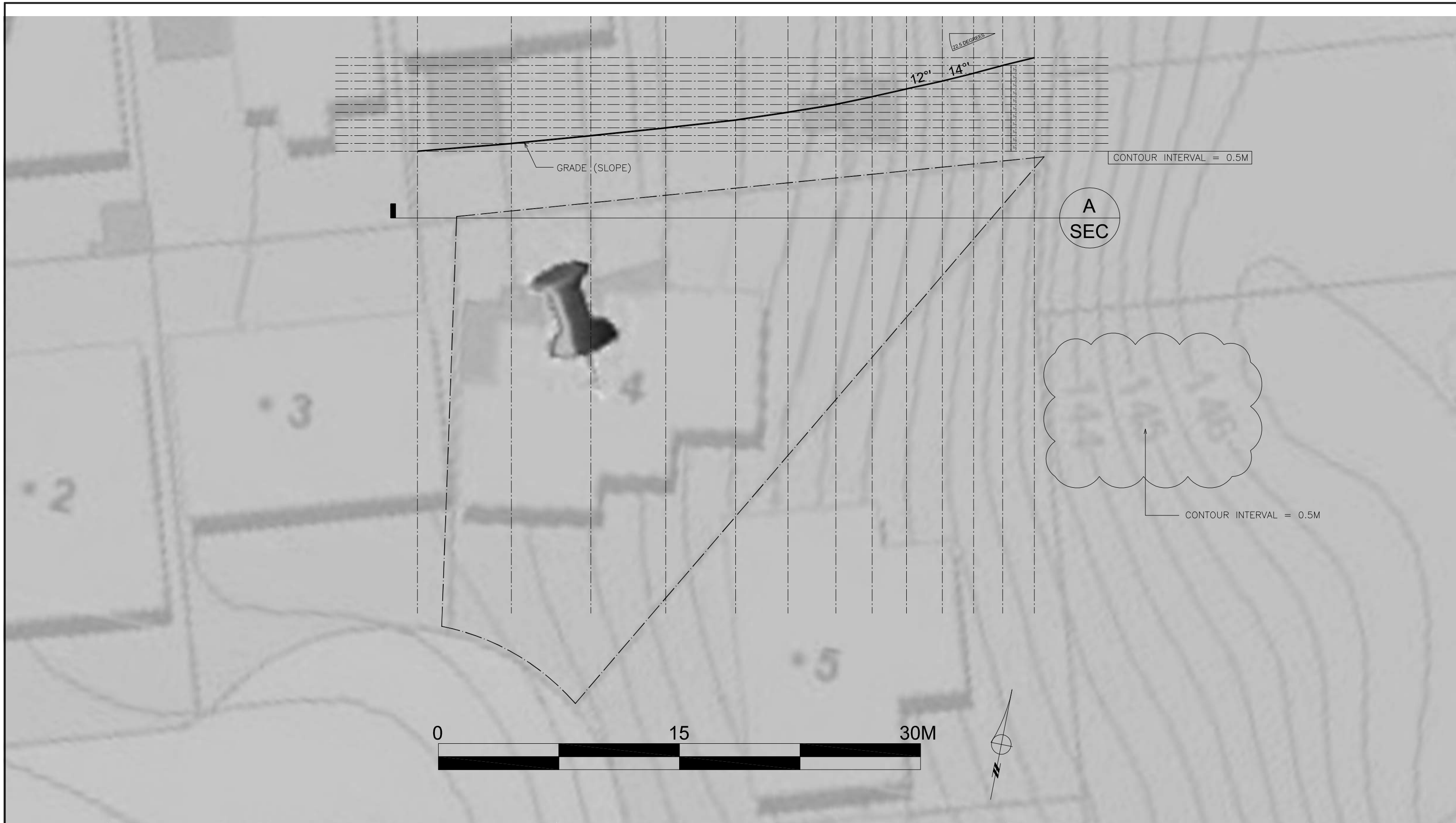
PROJECT	SCALE: 1:50
1-STOREY REAR ADDITION/EXTERIOR ALT.	DATE: JAN 18, 2017
4 SAVALON COURT, ETOBICOKE	DRAWN BY S.MIOKOVIC
DRAWING TITLE	CHECKED BY S.MIOKOVIC
CROSS SECTION AA	

	PRAXIS DESIGN GROUP	office: 416-769-0333	SHEET:
		mobile: 416-887-2396	
		info@praxisdesigngroup.ca	
		www.praxisdesigngroup.ca	
71 Pine Crest Road / Toronto / ON / M6P 3G6			A-09



PROJECT	1-STOREY REAR ADDITION/EXTERIOR ALT. 4 SAVALON COURT, ETOBICOKE	SCALE:	1:50
		DATE:	JAN 18, 2017
DRAWING TITLE	CROSS SECTION BB	DRAWN BY	S.MIOKOVIC
		CHECKED BY	S.MIOKOVIC

	PRAXIS DESIGN GROUP	office:	416-769-0333	SHEET:	A-10
		mobile:	416-887-2396		
		info@praxisdesigngroup.ca			
		www.praxisdesigngroup.ca			
71 Pine Crest Road / Toronto / ON / M6P 3G6					



PROJECT	SCALE: 1:50
1-STOREY REAR ADDITION/EXTERIOR ALT.	DATE: FEB 10, 2017
4 SAVALON COURT, ETOBICOKE	DRAWN BY S.MI KOVIC
DRAWING TITLE	CHECKED BY B.MI KOVIC
SITE SECTION	

	PRAXIS DESIGN GROUP	office: 416-769-0333	SHEET:
		mobile: 416-887-2396	
		Info@praxisdsgngrp.ca	
		www.praxisdesigngroup.ca	
71 Pine Crest Road / Toronto / ON / M6P 3G6			

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0179/17EYK	Zoning:	RM & R2
Owner(s):	ANDREA HARTLING JOSHUA PAUL DISHER	Ward:	Etobicoke-Lakeshore (06)
Agent:	MLA DESIGN BUILD	Heritage:	Not Applicable
Property Address:	31 FOURTH ST	Community:	
Legal Description:	PLAN 1478 N PT LOT 61		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second and third storey addition above the existing dwelling and to construct a new front porch

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.(1)(A), By-law 569-2013 & Section 350-31.F.(2)**
The maximum permitted floor space index is 0.6 times the lot area (133.78 m²).
The altered dwelling will have a floor space index is 0.84 times the lot area (186.57 m²).
- Section 900.3.10.(23)(D)(i), By-law 569-2013 & Section 350-31.A.(4)**
The minimum required side yard setback is 0.6 m.
The altered dwelling will be located 0.44 m from the north side lot line.
- Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 350-13.B
The minimum required side yard setback for eaves is 0.3 m.
Section 10.5.40.60.(7), By-law 569-2013 & Section 350-13.B
The eaves of the alerted dwelling will be located 0.04 m from the north side lot line.
- Section 350-13.A**
The maximum permitted front yard projection is 1.6 m.
The altered covered front porch will project 1.91 m into the required front yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0179/17EYK	Zoning	RM & R2
Owner:	ANDREA HARTLING JOSHUA PAUL DISHER	Ward:	Etobicoke-Lakeshore (06)
Agent:	MLA DESIGN BUILD	Heritage:	Not Applicable
Property Address:	31 FOURTH ST	Community:	
Legal Description:	PLAN 1478 N PT LOT 61		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A639/15EYK	Zoning	RM & R2
Owner(s):	LESLIE SAMUEL ESAU	Ward:	Etobicoke-Lakeshore (06)
Agent:	PETER JARUCZIK	Heritage:	Not Applicable
Property Address:	47 EIGHTH ST	Community:	
Legal Description:	PLAN 1592 N PT LOT 252		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law & Section 350-31(F)(2)**
The maximum permitted floor space index is 0.6 times the lot area (174.2 m²).
The new dwelling will have a floor space index of 0.75 times the lot area (218.2 m²).
- Section 900.6.10.(23)(D)(i), By-law 569-2013 & Section 350-31(A)(4)**
The minimum required side yard setback is 0.6 m.
The new dwelling will be located 0.47 m from the north side lot line.
- Section 900.6.10.(23)(C), By-law 569-2013 & Section 350-31(A)(8)**
The maximum permitted height is 9.5 m.
The new dwelling will have a height of 9.66 m.
- Section 10.80.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The new dwelling will have a front exterior main wall height of 8.29 m.
- Section 10.80.40.10.(4), By-law 569-2013**
The maximum permitted first floor height is 1.2 m above established grade.
The new dwelling will have a first floor height of 2.56 m above established grade.
- Section 350-13(B)**
The minimum required setback for eaves is 0.5 m from all side lot lines.
The eaves of the new dwelling will be located 0.32 m from the north side lot line.
- Section 350-26(A)(4)**
A minimum of 6 m of access is required in front of a parking space.
A total of 4.55 m of access will be provided in front of the parking space.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The site plan drawings must be revised to clearly dimension and identify the portions of existing curb cut that will be closed.
 - 3.2 The site plan must include the following notations:
 - a. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality";
 - b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A639/15EYK	Zoning	RM & R2
Owner:	LESLIE SAMUEL ESAU	Ward:	Etobicoke-Lakeshore (06)
Agent:	PETER JARUCZIK	Heritage:	Not Applicable
Property Address:	47 EIGHTH ST	Community:	
Legal Description:	PLAN 1592 N PT LOT 252		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.