File Number:A0691/16EYKOwner:MARK NAGYAgent:CADAXX DESIGNProperty Address:**31 AMBLESIDE AVE**Legal Description:PLAN 4337 LOT 51

Zoning Ward: Heritage: Community: RD & R2 Etobicoke-Lakeshore (05) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0080/17EYK |
|--------------------|-------------------------|
| Owner(s): | SHANNON YOUNG |
| | JAMES WILLIAM YOUNG |
| Agent: | DAN HORNIBROOK |
| Property Address: | 21 MCCLINCHY AVE |
| Legal Description: | PLAN 3209 LOT 10 |

Zoning Ward: Heritage: Community:

RD & R2 Etobicoke-Lakeshore (05)

Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with attached garage. A previous Committee of Adjsutment applciation(A765/15EYK) approved variances relating to lot coverage, gross floor area, side yard setback and rear yard setback.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 10.20.40.10(1), By-Law 569-2013 and Section 320-42.1.B(1) The maximum permitted height is 9.5 m. The proposed dwelling will have a height of 9.75 m.

2. Section 320-42.1.B(2)

The maximum permitted soffit height is 6.5 m. The proposed dwelling will have a soffit height of 6.55 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

- The general intent and purpose of the Official Plan is maintained. •
- The general intent and purpose of the Zoning By-law is maintained. •
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor. •

File Number:A0080/17EYKOwner:SHANNON YOUNGJAMES WILLIAM YOUNGAgent:DAN HORNIBROOKProperty Address:**21 MCCLINCHY AVE**Legal Description:PLAN 3209 LOT 10

Zoning Ward: RD & R2 Etobicoke-Lakeshore (05)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0081/17EYK |
|--------------------|----------------------|
| Owner(s): | NALAKA ABEYSINGHE |
| | NALIKA ABEYSINGHE |
| Agent: | NALIKA ABEYSINGHE |
| Property Address: | 39 GENTIAN DR |
| Legal Description: | PLAN M752 LOT 40 |

Zoning Ward: Heritage: Community:

RD & R2 Etobicoke Centre (03)

Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second suite in the basement.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 200.5.1.10.(2)(A)(i), By-law 569-2013 and Section 320-18.A.(1)(a)

The minimum required length of a parking space is 5.6 m.

The proposed parking space, within the existing attached garage, will have a length of 5.34 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The site plan drawings must be revised to include the following notations, to the satisfaction of Traffic Planning / Right of Way Management:

- a. "All existing redundant curb cuts that are no longer required must be closed and restored to the satisfaction of the City of Toronto at no cost to the municipality."
- b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposal, as determined by Transportation Services." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain the exact requirements related to the MRDD.
- c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services."

File Number:A0081/17EYKOwner:NALAKA ABEYSINGHENALIKA ABEYSINGHENALIKA ABEYSINGHEAgent:NALIKA ABEYSINGHEProperty Address:**39 GENTIAN DR**Legal Description:PLAN M752 LOT 40

Zoning Ward: RD & R2 Etobicoke Centre (03)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:A0105/17EYKOwner(s):NASRIN AHMADIAgent:JS BARMI ARCHITECTProperty Address:106 BALLACAINE DRLegal Description:PLAN 4004 LOT 35

Zoning Ward: Heritage: Community: RD & R2 Etobicoke-Lakeshore (05) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10(42)(A)(i), By-law 569-2013 and Section 1(a), By-law 1993-109
 The maximum permitted gross floor area (including attached or detached garages) shall be 118 m² plus 25% of the lot area (239.1 m²) up to a maximum floor space index of 0.5 (233.61 m²).
 The altered dwelling will have a gross floor area of 118 m² plus 29% of the lot area (254.4 m²) with a floor space index of 0.54 (254.4 m²).
- Section 10.20.40.70.(1), By-law 569-2013
 The minimum required front yard setback is 9.57 m.
 The altered dwelling will be located 7.92 m from the front lot line.

3. Section 900.3.10(42)(A)(ii), By-law 569-2013 and Section 1(b), By-law 1993-109 The minimum aggregate side yard is 2.1 m. The altered dwelling will have an aggregate side yard setback of 1.98 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0105/17EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

File Number:A0105/17EYKOwner:NASRIN AHMADIAgent:JS BARMI ARCHITECTProperty Address:106 BALLACAINE DRLegal Description:PLAN 4004 LOT 35

Zoning Ward: Heritage: Community: RD & R2 Etobicoke-Lakeshore (05) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0116/17EYK |
|--------------------|-------------------|
| Owner(s): | AMALIA ZANETTE |
| Agent: | CHRISTINA ZANETTE |
| Property Address: | 1 GREAT OAK DR |
| Legal Description: | PLAN 3377 LOT 27 |

Zoning Ward: Heritage: Community: RD & R1 Etobicoke Centre (04) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the dwelling by: expanding the second storey above the existing dwelling, constructing a two-storey east side addition (which will include a garage extension from the existing garage), constructing a new two-storey front enclosed lobby and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10(37)(C), By-law 569-2013 and Section 1.b)(1), By-law 1992-25
 The maximum permitted gross floor area, including an attached garage, shall be 150 m² plus 25% of the lot area (316.75 m²).
 The altered dwelling, including the attached garage, will have a gross floor area of 150 m² plus 27.51% of the lot area (333.5 m²).
- 2. Section 900.3.10(37)(D)(iii), By-law 569-2013 and Section 1.c)(3), By-law 1992-25

The minimum required side yard setback is 1.5 m, provided that the aggregate of the side yards shall equal not less than 3.64 m (20% of the lot frontage).

The altered dwelling will be located 0.9 m from the east side lot line and 2.05 m from the west side lot line and will have an aggregate of side yard setback of 2.95 m (16.2% of the lot frontage).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0116/17EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

File Number:A0116/17EYKOwner:AMALIA ZANETTEAgent:CHRISTINA ZANETTEProperty Address:1 GREAT OAK DRLegal Description:PLAN 3377 LOT 27

Zoning Ward: Heritage: Community: RD & R1 Etobicoke Centre (04) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0117/17EYK | Zoning | RD & RM1 |
|--------------------|-------------------------------|----------------|--------------------------|
| Owner(s): | ALICJA JOZEFA GRELA | Ward: | Etobicoke-Lakeshore (06) |
| | LUCJAN GRELA | | |
| Agent: | VOYTEK STASIECZEK | Heritage: | Not Applicable |
| Property Address: | 20 DAISY AVE | Community: | |
| Legal Description: | PLAN 1571 E PT LOT 105 R-P 64 | R-3869 PARTS 2 | 2&3 |

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front addition, a second storey addition above the existing garage, and a new front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.6.10.(2)(D), By-law 569-2013 and Section 330-23.A.(9)

The maximum permitted floor space index is 0.35 times the area of the lot (121.93 m^2) . The altered dwelling will have a floor space index of 0.55 times the area of the lot (190.92 m^2) .

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

RD & RM1 File Number: A0117/17EYK Zoning Ward: Owner: ALICJA JOZEFA GRELA Etobicoke-Lakeshore (06) LUCJAN GRELA Agent: VOYTEK STASIECZEK Heritage: Not Applicable Property Address: **20 DAISY AVE** Community: Legal Description: PLAN 1571 E PT LOT 105 R-P 64 R-3869 PARTS 2&3

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0130/17EYK | Zoning | RD & R2 |
|--------------------|-----------------------|------------|--------------------------|
| Owner(s): | NANCY A MCCAFFERY- | Ward: | Etobicoke-Lakeshore (05) |
| | BALAN | | |
| | WILLIAM KENNETH BALAN | | |
| Agent: | MAKOW ARCHITECTS | Heritage: | Not Applicable |
| | ASSOCIATES LTD | | |
| Property Address: | 4 QUEEN MARYS DR | Community: | |
| Legal Description: | PLAN 1686 E PT LOT 41 | | |

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage, a rear detached cabana and a hot tub.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 900.3.10(35)(A), By-law 569-2013

The maximum permitted gross floor area, including the attached garage, is 150 m^2 plus 25% of the lot area (376.45 m²), up to a maximum floor space index of 0.5 (452.9 m²).

Section 1(a), By-law 1993-108

The maximum permitted gross floor area, including the attached garage, is $150 \text{ m}^2 \text{ plus } 25\%$ of the lot area (376.45 m²).

Section 900.3.10(35)(A), By-law 569-2013 and Section 1(a), By-law 1993-108

The new dwelling will have a gross floor area of 150 m² plus 49.5% of the lot area (598.11 m²), with a floor space index of 0.66 (598.11 m²).

2. Section 10.20.40.70.(1), By-law 569-2013 and Section 320-40(A) The minimum required front yard setback is 7.56 m.

The new dwelling will be located 6.02 m from the front lot line.

3. Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.(B)(1)

The maximum permitted height of a building or structure is 9.5 m. The new dwelling will have a height of 10.87 m.

4. Section 10.20.40.10.(2)(B)(ii), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7 m. The new dwelling will have a side exterior main wall height of 7.15 m facing a side lot line.

- Section 320-42.1.B.(2) The maximum permitted soffit height is 6.5 m. The new dwelling will have a soffit height of 7.15 m.
 Section 10.20.40.20.(1), By-law 569-2013
- The maximum permitted dwelling length is 17 m. The new dwelling will have a length of 23.6 m.
- Section 10.20.40.30.(1), By-law 569-2013 The maximum permitted dwelling depth is 19 m.
 Section 320-42.1.(D)(1) The maximum permitted dwelling depth is 16.5 m.
 Section 10.20.40.30.(1), By-law 569-2013 and Section 320-42.1.(D)(1) The altered dwelling will have a depth of 26.03 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

- 2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- 3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
- 4. The proposal shall be constructed substantially in accordance with the red-lined plans submitted at the hearing and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

| File Number: Owner: | A0130/17EYK NANCY A MCCAFFERY- BALAN | Zoning Ward: | RD & R2 Etobicoke-Lakeshore (05) |
|------------------------|--|-----------------|-------------------------------------|
| | WILLIAM KENNETH BALAN | | |
| Agent: | MAKOW ARCHITECTS | Heritage: | Not Applicable |
| | ASSOCIATES LTD | | |
| Property Address: | 4 QUEEN MARYS DR | Community: | |
| Legal Description: | PLAN 1686 E PT LOT 41 | | |
| | | | |

Allan Smithies (signed)

Dominic Gulli (signed)

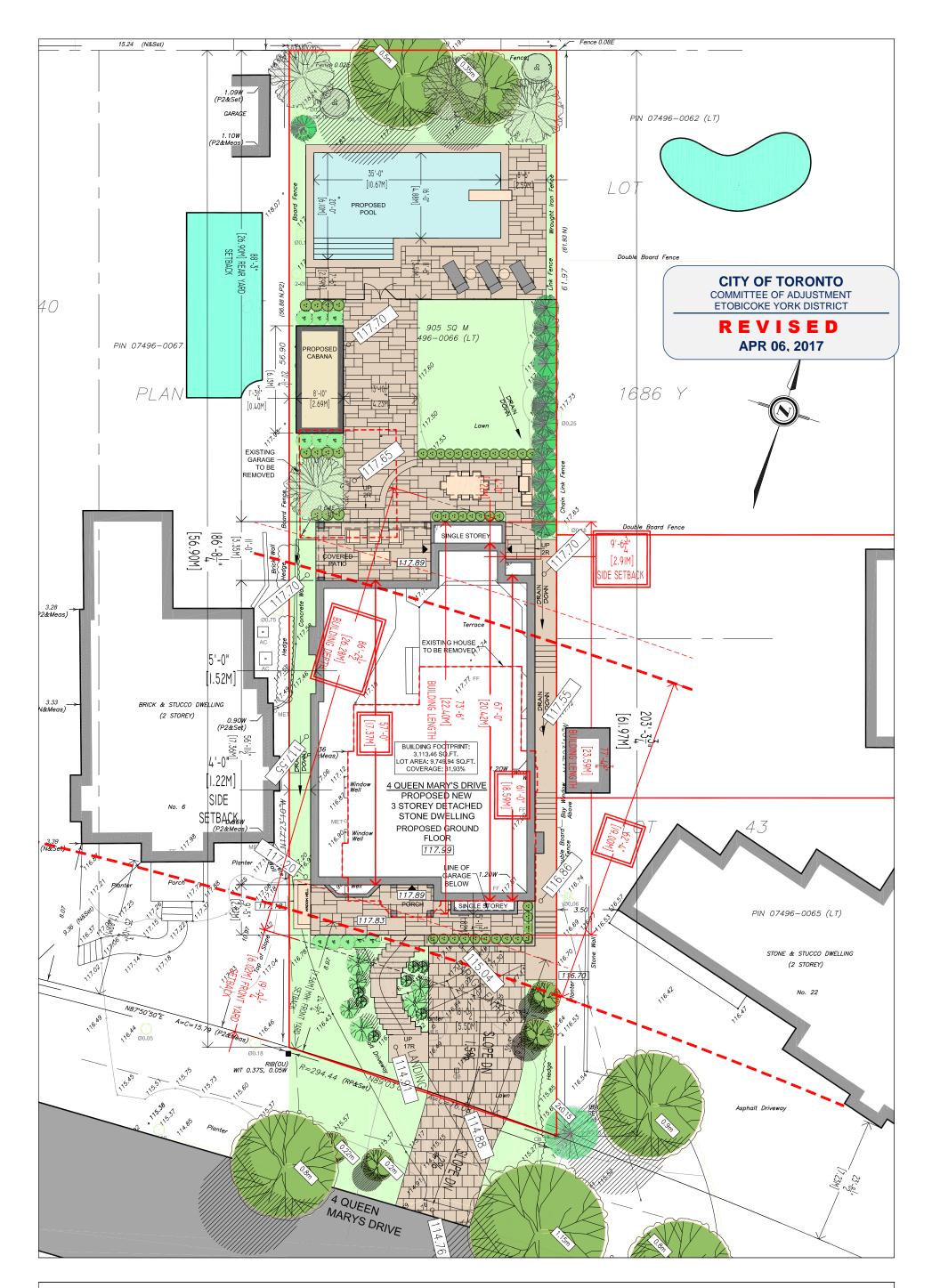
Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

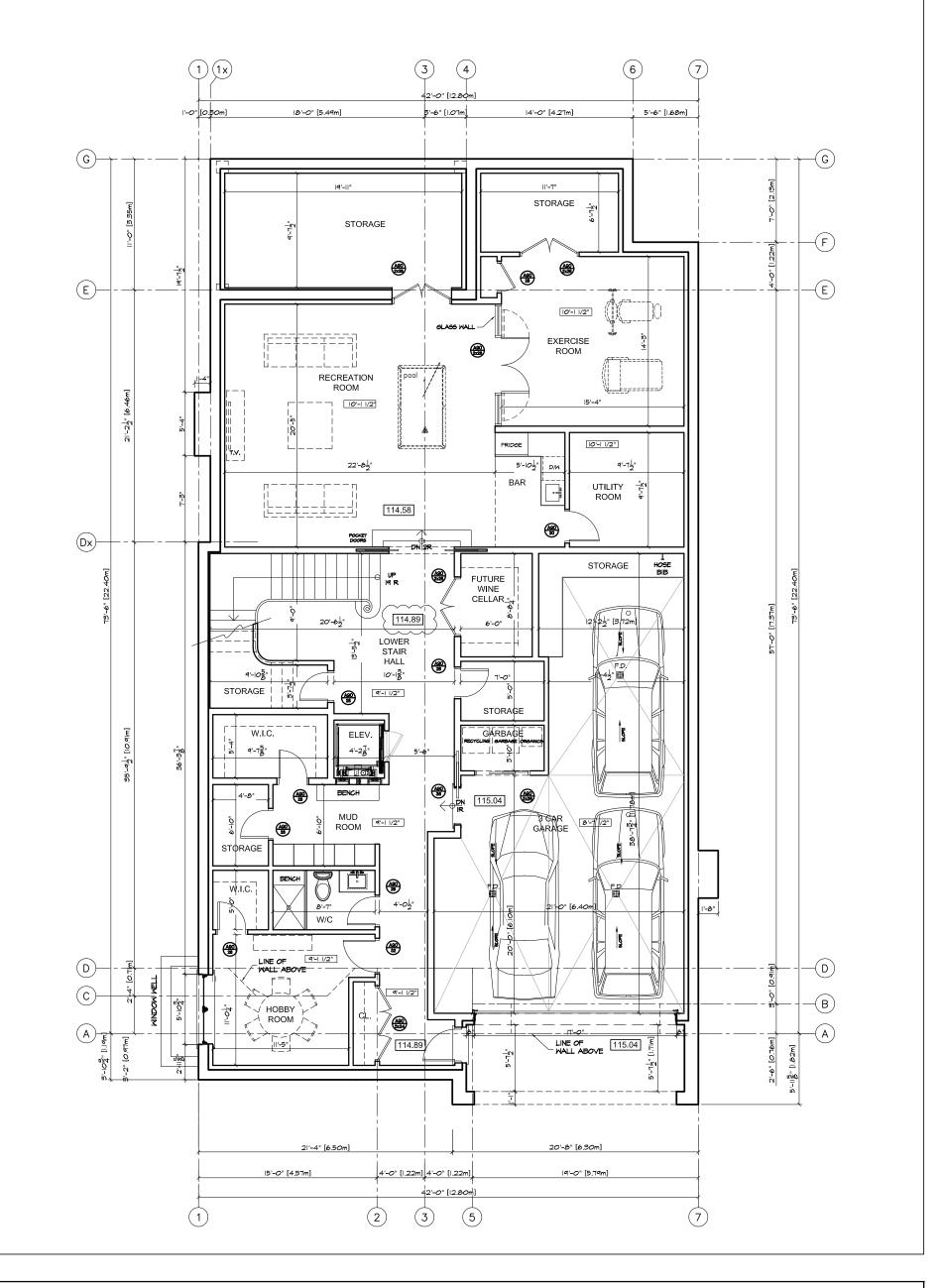
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

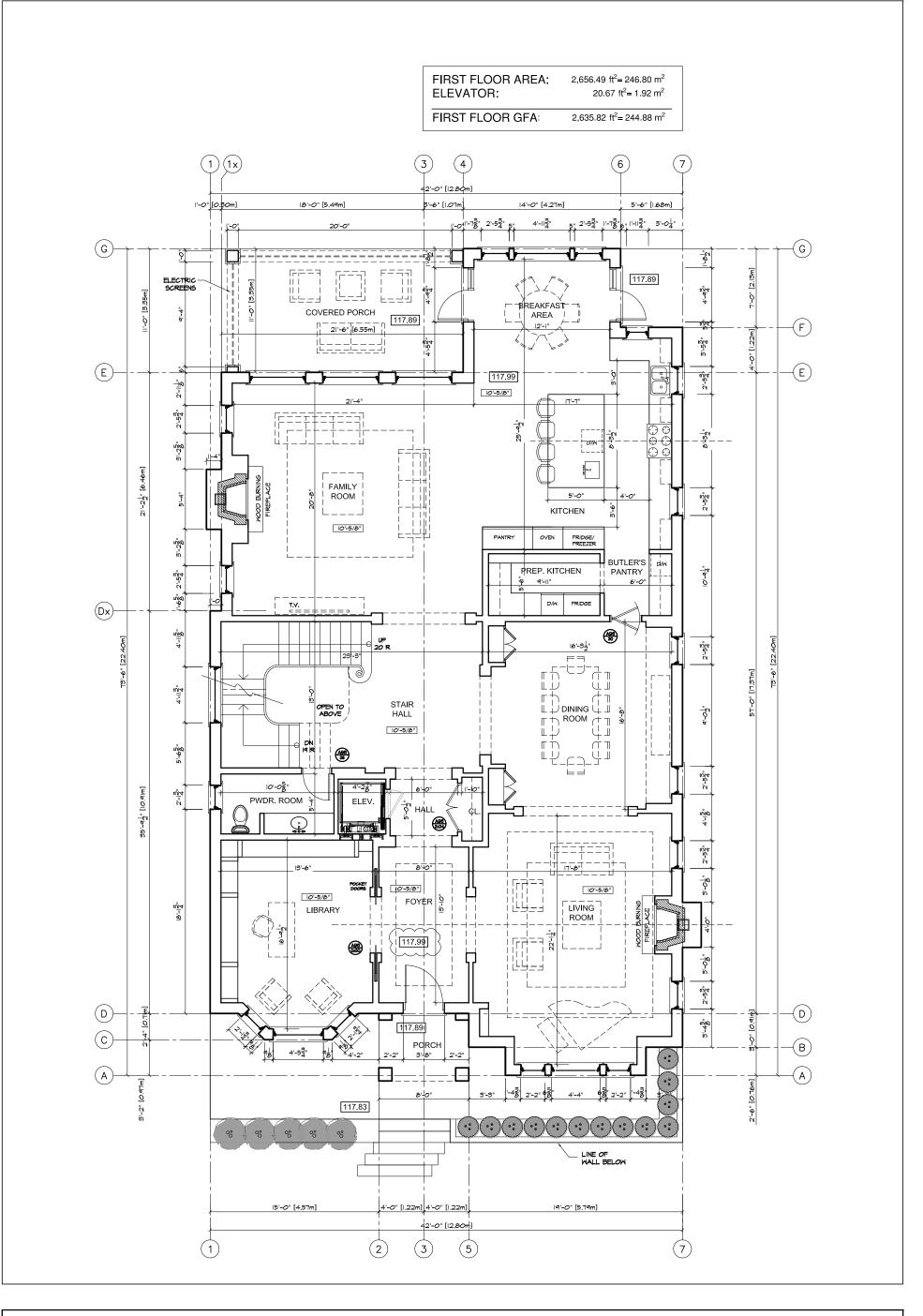
Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



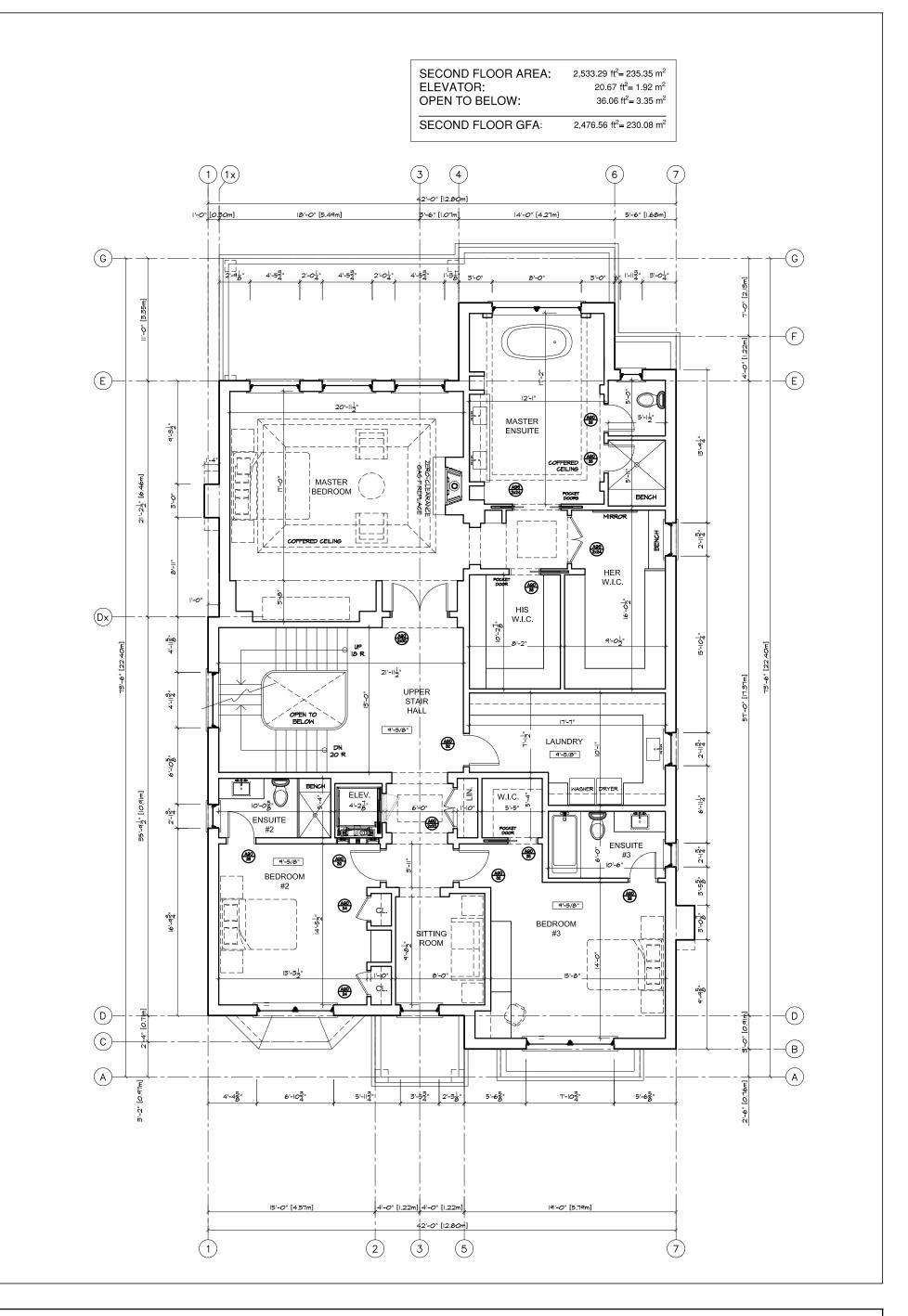
| | BALAN RESIDENCE | SITE PLAN - SET B |
|------------------------------------|--------------------------------------|--|
| MAKOW ASSOCIATES ARCHITECT INC. | 4 QUEEN MARYS DRIVE ETOBICOKE, ON | SCHEMATIC DESIGN APRIL 7, 2017 1/16" = 1'-0" |



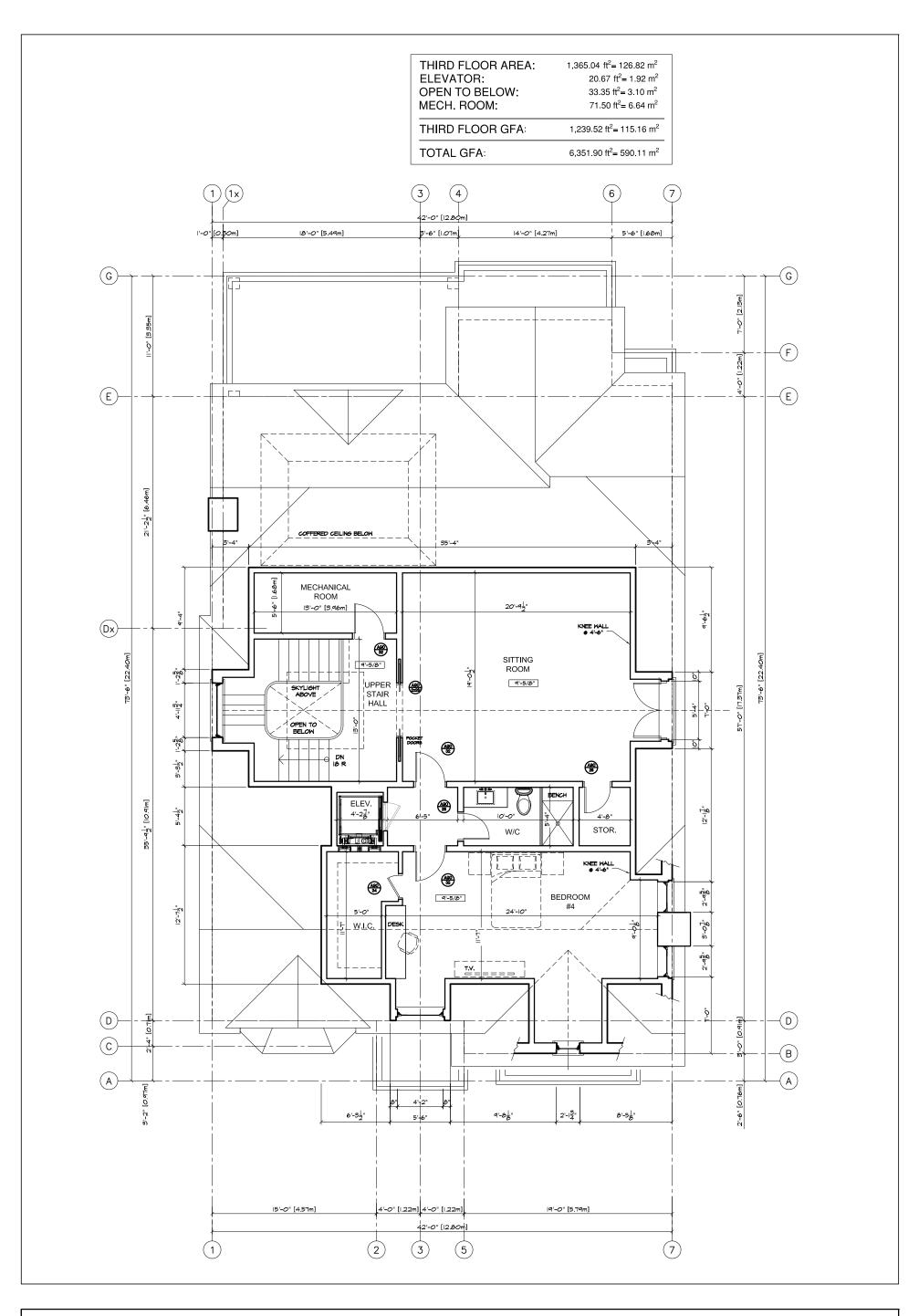
| \bigcirc | BALAN RESIDENCE | SCHEMATIC DESIGN BASEMENT FLOOR PLAN - SET B |
|------------------|---------------------|---|
| MAKOW ASSOCIATES | 4 QUEEN MARYS DRIVE | APRIL 7, 2017 |
| ARCHITECT INC. | ETOBICOKE, ON | SCALE: 1/8" = 1'-0" |



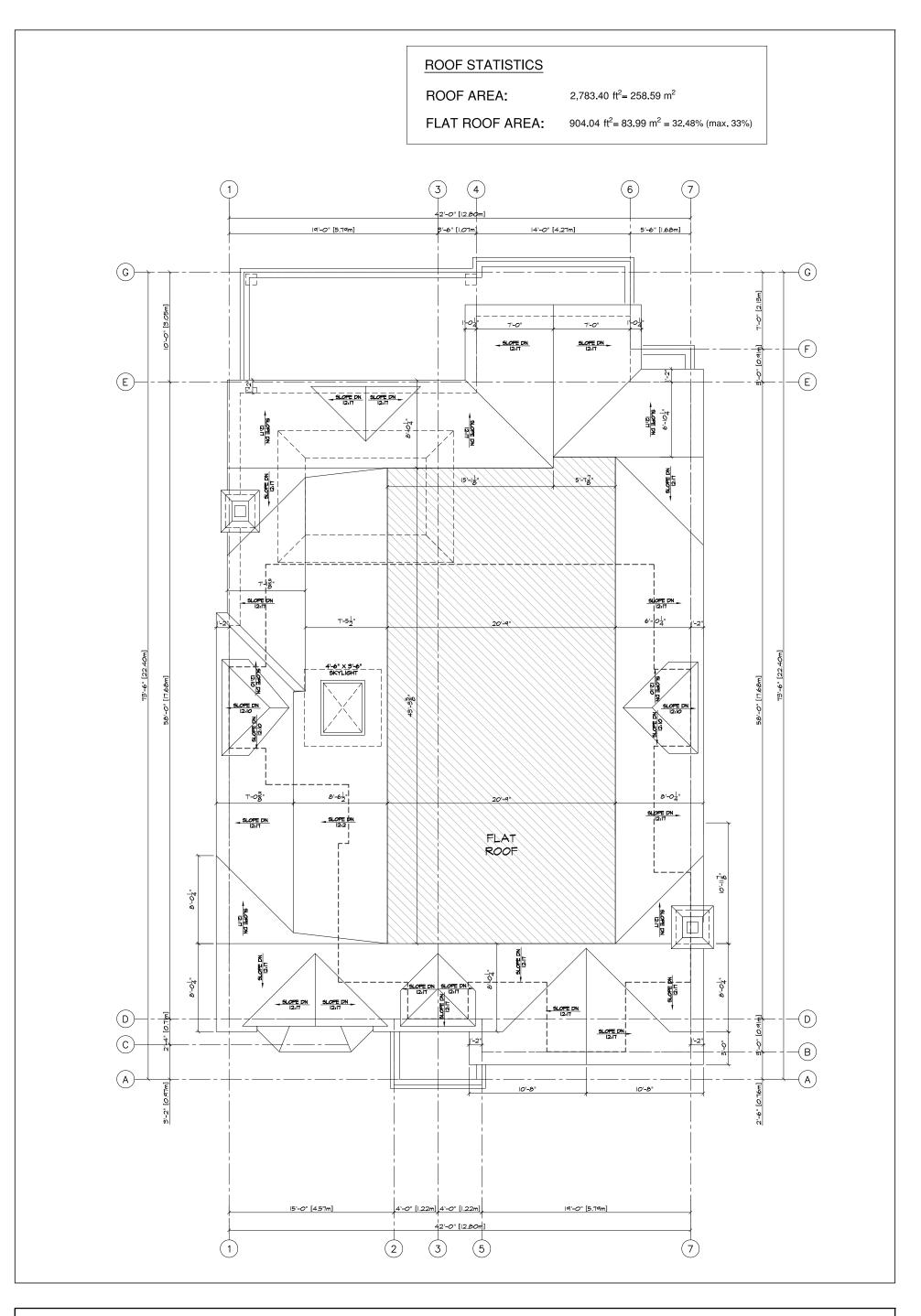
| \bigcirc | BALAN RESIDENCE | SCHEMATIC DESIGN GROUND FLOOR PLAN - SET B |
|------------------|---------------------|---|
| MAKOW ASSOCIATES | 4 QUEEN MARYS DRIVE | APRIL 7, 2017 |
| ARCHITECT INC. | ETOBICOKE, ON | SCALE: 1/8" = 1'-0" |



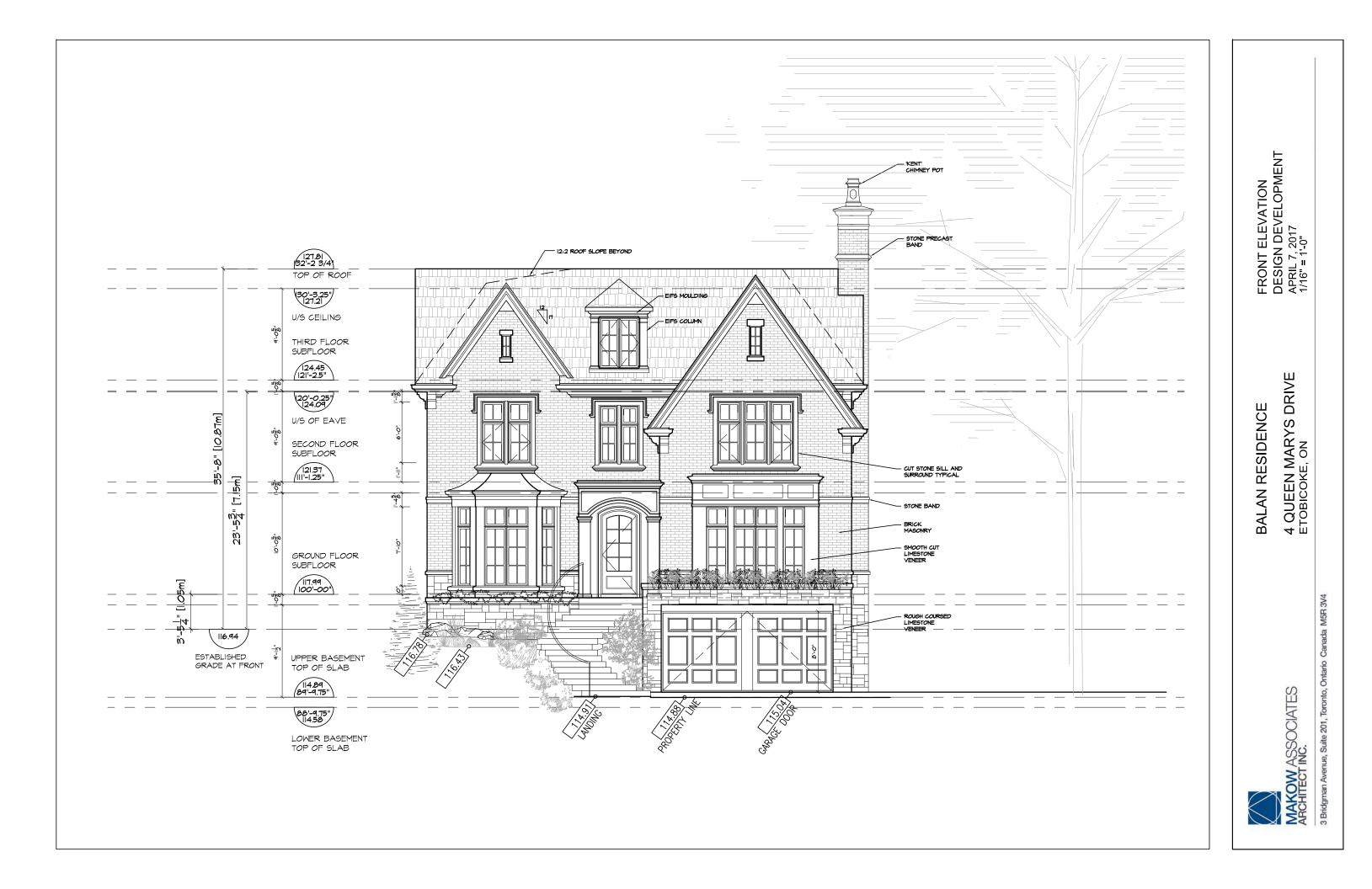
| \bigcirc | BALAN RESIDENCE | SCHEMATIC DESIGN SECOND FLOOR PLAN - SET B |
|------------------|---------------------|---|
| MAKOW ASSOCIATES | 4 QUEEN MARYS DRIVE | APRIL 7, 2017 |
| ARCHITECT INC. | ETOBICOKE, ON | SCALE: 1/8" = 1'-0" |



| BAL | AN RESIDENCE | SCHEMATIC DESIGN THIRD FLOOR PLAN - SET B |
|-----|--------------------------------|--|
| | JEEN MARYS DRIVE BICOKE, ON | APRIL 7, 2017 SCALE: 1/8" = 1'-0" |



| | BALAN RESIDENCE | SCHEMATIC DESIGN ROOF PLAN - SET B |
|------------------|---------------------|---------------------------------------|
| MAKOW ASSOCIATES | 4 QUEEN MARYS DRIVE | APRIL 7, 2017 |
| ARCHITECT INC. | ETOBICOKE, ON | SCALE: 1/8" = 1'-0" |





| | | | Р |
|--|--|--|-------|
|--|--|--|-------|







Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0135/17EYK | Zoning | RD & R1 |
|--------------------|-------------------------------|--------------|-----------------------|
| Owner(s): | MARQUIS MANORS LTD. | Ward: | Etobicoke Centre (04) |
| Agent: | EPIC DESIGNS INC | Heritage: | Not Applicable |
| Property Address: | 68 TWYFORD RD | Community: | |
| Legal Description: | PLAN 4871 LOT 1 RP 64R1458 PA | ARTS 23 & 24 | |

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling, a south side two-storey (front) addition and a west side one-storey addition with a basement walk-out and deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 320-42.1.A.(1)

The maximum permitted floor space index is 0.45 times the lot area (380.29 m^2). The altered dwelling will have a floor space index of 0.49 times the lot area (411.75 m^2).

- Section 10.20.40.70.(3)(F), By-law 569-2013
 The minimum required side yard setback is 2.4 m.
 Section 320-42.1.C.(3)
 The minimum required side yard setback is 1.53 m.
 The altered dwelling will be located 1.46 m from the north side lot line.
- 3. Section 10.20.40.70.(5)(A), By-law 569-2013

The minimum required side yard setback is 7.5 m, where the depth of the building is greater than 17 m. The altered dwelling will be located 1.46 m from the north side lot line, where the depth of the building is greater than 17 m.

4. Section 320-42.1.B.(2)

The maximum permitted soffit height is 6.5 m. The altered dwelling will have a soffit height of 6.7 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0135/17EYK

The Minor Variance Application is Approved

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

File Number: RD & R1 A0135/17EYK Zoning Ward: Etobicoke Centre (04) Owner: MARQUIS MANORS LTD. Heritage: Not Applicable Agent: **EPIC DESIGNS INC** Property Address: Community: 68 TWYFORD RD Legal Description: PLAN 4871 LOT 1 RP 64R1458 PARTS 23 & 24

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0138/17EYK |
|--------------------|---------------------------|
| Owner(s): | SHAWN FITZPATRICK |
| Agent: | MLA DESIGN BUILD |
| Property Address: | 23 THIRTY FIFTH ST |
| Legal Description: | PLAN M9 BLK N LOT 5 LOT 6 |

Zoning Ward: Heritage: Community**:** RD & RS Etobicoke-Lakeshore (06) Listed

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

 Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 330-23.(A)(9) The maximum permitted floor space index is 0.35 times the area of the lot (167.5 m²). The altered dwelling will have a floor space index of 0.52 times the area of the lot (250.9 m²).

2. Section 10.20.40.20.(1), By-law 569-2013

The maximum permitted building length is 17 m. The altered dwelling will have a length of 18.36 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

File Number:A0138/17EYKOwner:SHAWN FITZPATRICKAgent:MLA DESIGN BUILDProperty Address:**23 THIRTY FIFTH ST**Legal Description:PLAN M9 BLK N LOT 5 LOT 6

Zoning Ward: Heritage: Community: RD & RS Etobicoke-Lakeshore (06) Listed

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0139/17EYK | Zoning | RD & R2 |
|--------------------|------------------------------|-------------|--------------------------|
| Owner(s): | ANDREW MCLAUCHLIN | Ward: | Etobicoke-Lakeshore (05) |
| | NIKKI ANNE MCLAUCHLIN | | |
| Agent: | NIKKI ANNE MCLAUCHLIN | Heritage: | Not Applicable |
| Property Address: | 53 RENOWN RD | Community: | |
| Legal Description: | PLAN 1602 PT LOT 115 RP 66R2 | 0042 PART 8 | |

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.3.10.(37)(C), By-law 569-2013 & Section 1(b)(1), By-law 1992-25
 The maximum permitted gross floor area, including an attached garage, is 150 m² plus 25% of the lot area (276.87 m²), up to a maximum floor space index of 0.5 (253.73 m²).
 The proposed dwelling, including the attached garage, will have a floor space index of 0.54 times the lot area (276 m²).

2. Section 320-42.E

The maximum permitted encroachment for a platform into the required rear yard setback is 1.6 m. The proposed platform will encroach 2.43 m into the required rear yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.

RD & R2 File Number: A0139/17EYK Zoning Ward: Owner: ANDREW MCLAUCHLIN Etobicoke-Lakeshore (05) NIKKI ANNE MCLAUCHLIN Agent: NIKKI ANNE MCLAUCHLIN Heritage: Not Applicable Community: Property Address: **53 RENOWN RD** PLAN 1602 PT LOT 115 RP 66R20042 PART 8 Legal Description:

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0141/17EYK |
|--------------------|----------------------|
| Owner(s): | 2537129 ONTARIO CORP |
| Agent: | FRANK DIROMA |
| Property Address: | 23 ANTIOCH DR |
| Legal Description: | PLAN 5057 LOT 102 |

Zoning Ward: Heritage: Community: RD & R2 Etobicoke Centre (03) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing: one-storey additions along the east and north sides, a new west side porch and to construct a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.70.(1), By-law 569-2013 The minimum required front yard setback is 8.42 m. The altered dwelling will be located 7.79 m from the front lot line.
- Section 320-42(A) The minimum required rear yard setback is 8.38 m. The altered dwelling will be located 6.38 m from the rear lot line.

3. Section 320-42.1(B)(2)

The maximum permitted dwelling height for a flat roof is 6.5 m. The altered dwelling will have a height of 6.98 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0141/17EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. Submission of a complete application for permit to injure or destroy privately owned trees.
- 2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

File Number:A0141/17EYKOwner:2537129 ONTARIO CORPAgent:FRANK DIROMAProperty Address:23 ANTIOCH DRLegal Description:PLAN 5057 LOT 102

Zoning Ward: Heritage: Community: RD & R2 Etobicoke Centre (03) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

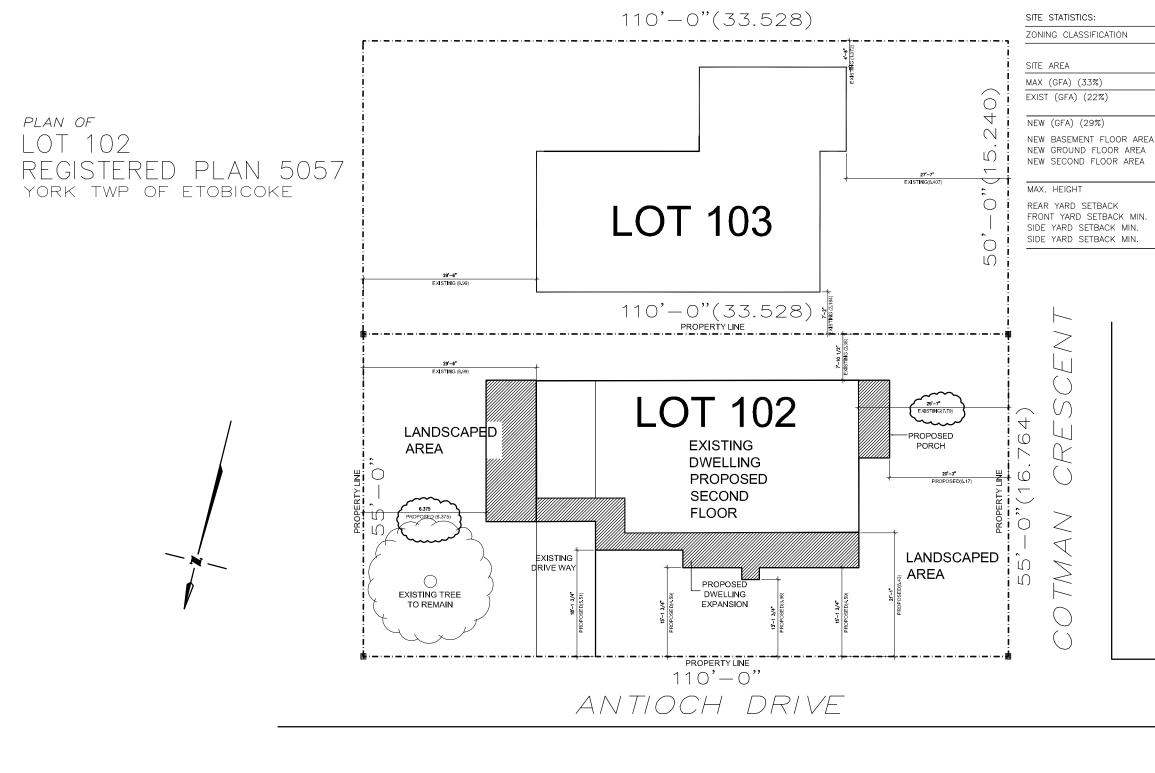
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

PROPOSED REMODEL & 2ND FLOOR ADDITION TO EXISTING DWELLING 23 ANTIOCH DRIVE, TORONTO

SITE PLAN INFORMATION TAKEN FROM PLAN OF SURVEY OF PART OF LOT 102, REGISTERED PLAN 5051 CITY OF TORONTO PREPARED BY SEWELL & SEWELL SUR GROUP. O.L.S. DATED:Sept. 28, 1958 SCALE: 1:150



| | GENERAL NOTES |
|----------|--|
| | ALL DIMENSIONS IN IMPERAL VERIEY ALL DIMENSIONS. |
| | 2. VENT FALL DIVERSIONS. 3. DO NOT SCALE DRAWINGS. |
| | 4. CHECK DRAWINGS AGAINST SPECIFICATIONS. |
| | 5. USE THE LATEST REVISED DRAWINGS ONLY. |
| | |
| | LEGEND |
| | NEW WALL |
| | (SEE NOTES) |
| | EXISTING WALLS TO REMAIN |
| | EXISTING WALLS |
| | TO BE REMOVED |
| | |
| | CONTRACTOR MUST VERIFY ALL DINENSIONS ON THE JOB AND REPORT ANY DISCREPANOLY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK |
| | PROCEEDING WITH THE WORK ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE ROPERTY OF THE DESIGNERWIGH MUST BE RETURNED AT THE COMPLETIONOF THE WORK ONLY BUILDING PERUIT SISIED FOR WOMPAS SMALL BELIED |
| | ONLY BUILDING FRANT ISSUED DRAWINGS SHALL BUSED FOR FABRICATION AND CONSTRUCTION PURPOSES. |
| | Revisions |
| | |
| | |
| | |
| | |
| | A VERPONIERIEMETER DED OMP |
| | |
| | No. Date Date Discussed |
| | Refer to Approved Building Permit Drawings for construction purposes. |
| БМ СН | All drawings and specifications are instruments of service and the property of THE DEBIONER which must be returned at the completion of the work. The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the requirements set out in the Ontario Building Code to be a designer. |
| | must be returned at the completion of the work. The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the requirements set out in the Ontario Building Code to be a designer. QUALFICATION INFORMATION (regimed) misss design is exempt under 2:17.5.1 of the building ogds.) |
| | must be returned at the completion of the work. The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the requirements set out in the Ontario Building Code to be a designer. QUALFICATION INFORMATION (regulated misss design is exempt under 2:17.5.1 of the building odds) ANTHONY STANSCIA Hense Bigmature BCR REGISTRATION INFORMATION (regulated unless design REGISTRATION INFORMATION (regulated unless design |
| | The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the requirements set out in the Omfario Building Code to be a designer. QUALIFICATION INFORMATION (regimed mises design is exempt under 217.5.1 of the briding odds) ANTHONY STANISCIA Henre Signature BC |
| | must be returned at the completion of the work. The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the requirements set out in the Ontario Building Code to be a designer. QUALFICATION INFORMATION (regulated misss design is exempt under 2:17.5.1 of the building odds) ANTHONY STANSCIA Hense Bigmature BCR REGISTRATION INFORMATION (regulated unless design REGISTRATION INFORMATION (regulated unless design |
| | The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the regarments set out in the Ontario Building Code to be a designer. OUALFICATION NFORMATION (regarding odds) ANTHONY STANISCIA Name Bignature REGISTRATION NFORMATION (regard unless design excempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 |
| | The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the regarments set out in the Ontario Building Code to be a designer. OUALFICATION NFORMATION (regarding odds) ANTHONY STANISCIA Name Bignature REGISTRATION NFORMATION (regard unless design excempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 |
| | The undergined has reviewed and takes responsibility for this design and has the qualification and meets the regularements set out in the Ontario Building Code to be a designer. OUALFICATION NFORMATION (regulared meets design is exempt under 2:17.4.1 of the building code.) DIGITECH DESIGNS 31397 Frm Name BCR |
| | Inust be returned at the completion of the work. The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the regultremonis set out in the Ontario Building Code to be a designer. OUALFICATION INFORMATION (regultred prices design is exempt under 2:17.5.1 of the building code.) ANTHONY STANSCIA Menne Signature Bignature BCR PEGISTRATION INFORMATION (regultred unless design exempt under 2:17.4.1 of the building code.) DIGITECH DESIGNS 31397 Finn Name BCR PROJECT ANTHOCH |
| | Inust be returned at the completion of the work. The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the requirements set out in the Ontario Building Code to be a designer. CUALFICATION INFORMATION treatment places design is exempt under 2.17.6.1 of the building code.) DIGITECH DESIGNS 31397 Firm Name BCR PROJECT |
| | Inter the redurmed at the completion of the work. The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the regurments set out in the Ontario Building Code to be a designer. CULALFICATION INFORMATION (regulated phases design is exempt under 2:17.6.1 of the building odd.) ANTHONY STANSCIA PEGASTRATION INFORMATION (regulated unless design exempt under 2:17.6.1 of the building code.) DIGITECH DESIGNS Firm Name PROJECT ANTIOCH RESIDENCE |
| | Inter the reference of at the completion of the work. The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the regarisments set out in the Ontario Building Code to be a designer. CULALFICATION INFORMATION (required mease design is exempt under 2.17.4.1 of the building code.) ANTHONY STANSCIA Meme Signature Bignature BCR PEGBSTRATION INFORMATION (required unless design exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 Firm Name BCR PROJECT ANTIOCH RESIDENCE 23 Antioch Drive |
| | Inter the redurmed at the completion of the work. The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the regurments set out in the Ontario Building Code to be a designer. CULALFICATION INFORMATION (regulated phases design is exempt under 2:17.6.1 of the building odd.) ANTHONY STANSCIA PEGASTRATION INFORMATION (regulated unless design exempt under 2:17.6.1 of the building code.) DIGITECH DESIGNS Firm Name PROJECT ANTIOCH RESIDENCE |
| | must be returned at the completion of the work. The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the regularements set out in the Ontario Building Code to be a designer. CULLEFICATION INFORMATION (regulared meets design is exempt under 2:17.4.1 of the building code.) ANTHONY STANSCIA 14750 Name Signiture BEGISTRATION INFORMATION (regulared unless design exempt under 2:17.4.1 of the building code.) DIGITECH DESIGNS 31397 Frm Name BCR PROJECT ANTHOCH RESIDENCE 23 Antioch Drive Toronto, Ontario |
| | Inter the reference of at the completion of the work. The undersigned has reviewed and takes responsibility for this design and has the qualification and meets the regarisments set out in the Ontario Building Code to be a designer. CULALFICATION INFORMATION (required mease design is exempt under 2.17.4.1 of the building code.) ANTHONY STANSCIA Meme Signature Bignature BCR PEGBSTRATION INFORMATION (required unless design exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 Firm Name BCR PROJECT ANTIOCH RESIDENCE 23 Antioch Drive |
| | Inter the reference of at the competition of the work. The undersigned has revewed and takes responsibility for this design and has the qualification and meets the regarisments set out in the Ontario Building Code to be a designer. CULALFICATION INFORMATION (regarised unless design is exempt under 2:17.6.1 of the building odd.) AITHONY STANSCIA Meme Signature Bignature Bignature REGRETRATION INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHONY STANSCIA PEGRETRATION INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHONY STANSCIA PEGRETRATION INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHONY STANSCIA PEGRETRATION INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHONY STANSCIA PEGRETRATION INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHONY STANSCIA PEGRETRATION INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHON INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHON INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHON INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHON INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHON INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHON INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHON INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHON INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHON INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHON INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) MITHON INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) |
| | Inter the reference of at the competition of the work. The undersigned has revewed and takes responsibility for this design and has the qualification and meets the regarismonis set out in the Ontario Building Code to be a designer. CULALFICATION INFORMATION transfered unless design is exempt under 2:17.5.1 of the building code.) ANTHONY STANSCIA PEGRETRATION INFORMATION transfered unless design exempt under 2:17.5.1 of the building code.) DIGITECH DESIGNS PTm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT |
| | Inter the reference of at the competition of the work. The undersigned has revewed and takes responsibility for this design and has the qualification and meets the regarisments set out in the Ontario Building Code to be a designer. CULALFICATION INFORMATION (regarised unless design is exempt under 2:17.6.1 of the building odd.) AITHONY STANSCIA Meme Signature Bignature Bignature REGISTRATION INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) AITHONY STANSCIA PEGESTRATION INFORMATION (regarised unless design exempt under 2:17.6.1 of the building odd.) DIGITECH DESIGNS PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INCC |
| | Inter the reference of at the competition of the work. The undersigned has reviewed and takes responsibility for this design and hes the qualification and meets the regativements set out in the Ontario Building Code to be a designer. OUALFICATION INFORMATION (regative) reses design is exempt under 2:17.4.1 of the building code. DIGITECH DESIGNS 31397 Frm Name BCR PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario BIGITECH DESIGNS INC S FRIMETE S FRIMETE CRESCENT Toronto, On |
| | Inter the redurmed at the competion of the work. The undersigned has revewed and takes responsibility for this design and has the qualification and meets the regurments set out in the Ontario Building Code to be a designer. OUALFICATION INFORMATION (required meets design is exempt under 2:17.4.1 of the building code) ANTHONY STANSCIA Meme Signiture Bigniture BCR PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario BIGITECH DESIGNS INC S FRIMETER S |
| | Inter the redurmed at the competion of the work. The undersigned has revewed and takes responsibility for this design and has the qualification and meets the regurments set out in the Ontario Building Code to be a designer. OUALFICATION INFORMATION (required meets design is exempt under 2:17.4.1 of the building code) ANTHONY STANSCIA Meme Signiture Bigniture BCR PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario BIGITECH DESIGNS INC S FRIMETER S |
| | Inter the redurmed at the competion of the work. The undersigned has revewed and takes responsibility for this design and has the qualification and meets the regurments set out in the Ontario Building Code to be a designer. OUALFICATION INFORMATION (required meets design is exempt under 2:17.4.1 of the building code) ANTHONY STANSCIA Meme Signiture Bigniture BCR PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario BIGITECH DESIGNS INC S FRIMETER S |
| | Inter the redurmed at the competion of the work. The undersigned has revewed and takes responsibility for this design and has the qualification and meets the regurments set out in the Ontario Building Code to be a designer. OUALFICATION INFORMATION (required meets design is exempt under 2:17.4.1 of the building code) ANTHONY STANSCIA Meme Signiture Bigniture BCR PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario BIGITECH DESIGNS INC S FRIMETER S |
| | Inter the redurmed at the competion of the work. The undersigned has revewed and takes responsibility for this design and has the qualification and meets the regurments set out in the Ontario Building Code to be a designer. OUALFICATION INFORMATION (required meets design is exempt under 2:17.4.1 of the building code) ANTHONY STANSCIA Meme Signiture Bigniture BCR PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario BIGITECH DESIGNS INC S FRIMETER S |
| | Inter the reference of the work. The undersigned has revealed and takes responsibility for this design and has the qualification and meets the regarisments set out in the Ontario Building Code to be a designer. CUALFICATION INFORMATION tracking odd.) ANTHONY STANSCIA Meme Signature Code PEGESTRATION INFORMATION tracking code.) DIGITECH DESIGNS 31397 Firm Name BCR PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INCC 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 |
| | Inter the reference of at the completion of the work. The undersigned has revewed and takes responsibility for this design and has the qualification and meets the regativements set out in the Ontario Building Code to be a designer. OUALFICATION INFORMATION (regative) mess design is exempt under 2:17.4.1 of the building code. DIGITECH DESIGNS 31397 Frm Name BCR PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario BIGGITECH DESIGNS INCC 8 FRIMETE 8 FRIMETE 8 FRIMETE CRESCENT Toronto, On L4K 354 |

1/8" = 1'-0"

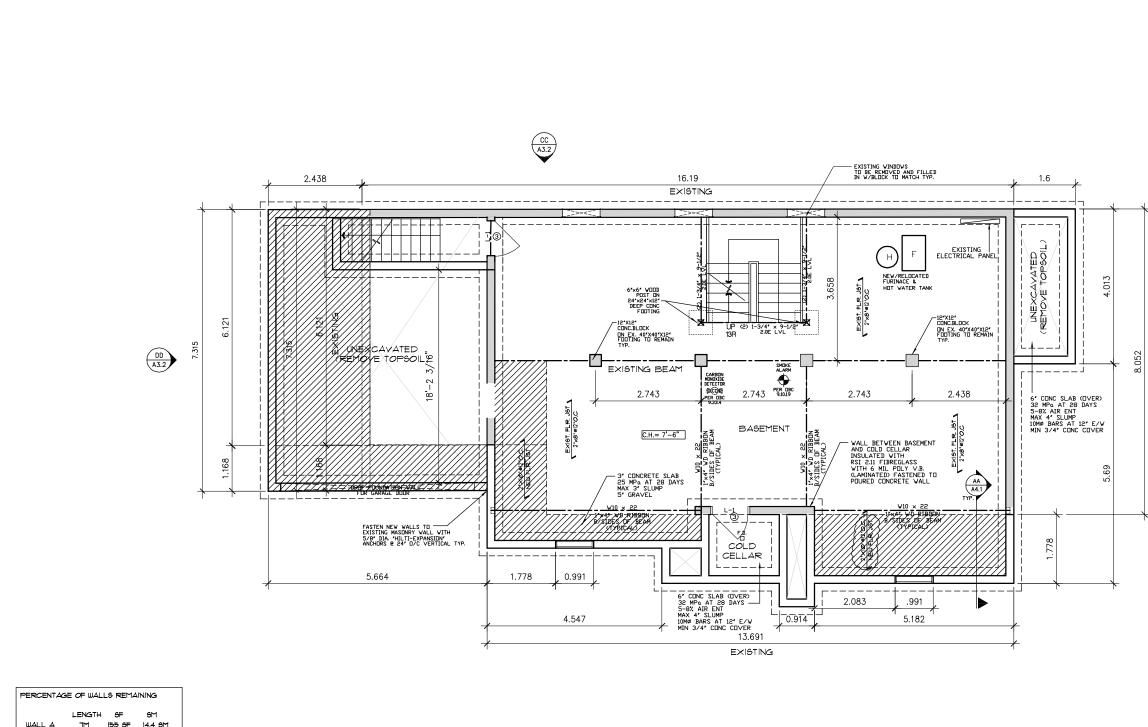
DRWG No. REV No.

A1.

SCALE

| 2T OF AN 5057 | |
|------------------|--|
| SEWELL SURVEY | |
| LE: 1:15Ø | |
| | |

| | | | | | R2 | – Sir | ngle | Family | |
|---|-----|----|-----|-------|-----|----------|------------|--------------|-----|
| | | | | | | SQ.F | ·T. | SQ.M | • |
| | | | | | | 6050 |) | 562.0 | 6 |
| | | | | | | 1997 | 7.82 | 185.6 | 0 |
| | | | | | | 1337 | 7.24 | 124.2 | 3 |
| | | | | | | 1758 | 3.52 | 163.3 | 37 |
| 4 | | | | | | 13 16 | 34 | 128. 151. | |
| | | | | | | 16 | 34 | 151. | 80 |
| | | | | | | 6.5 | ΜТ | OP OF | ROC |
| | 25% | OF | LOT | DEPTH | BUT | 1298 | 3.8 M F | IS THAN | |



| | LENGTH | SF | SM |
|-----------|--------|----------------------------|---------|
| WALL A | ЯΜ | 155 SF | 14.4 SM |
| WALL B | 13.7M | 360 SF | 33.4 SM |
| WALL C | ВM | 2 <i>Ø8</i> S F | 19.3 SM |
| WALL D | 13.7M | 36Ø 5₽ | 33.4 SM |
| TOTAL | | lØ83 6F | |
| 40% MIN | | 433.2 S F | |
| WALL D RE | MOVED | 360 SF | |

| U |
|----------|
| É |
| <u>છ</u> |
| Ж |
| |

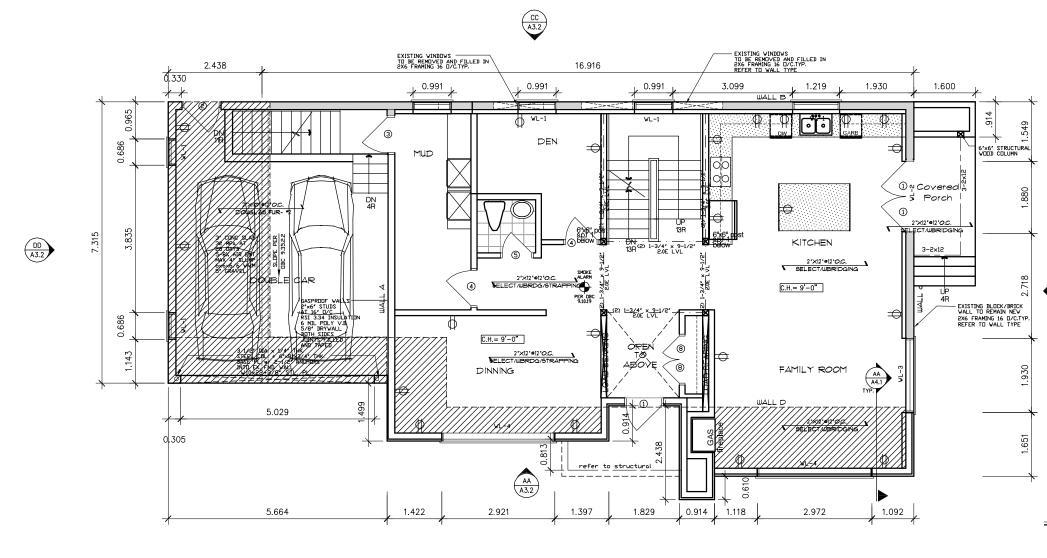


BASEMENT FLOOR PLAN

1388 SF

NOTE: REFER TO FLOOR DRAWINGS FOR APPR. FLOOR JOIST LAYOUT

| GENERAL NOTES | |
|--|---|
| 2. VERIFY ALL DIMENSIONS. | |
| DO NOT SCALE DRAWINGS. CHECK DRAWINGS AGAINST SPECIFICATIONS. | |
| CHECK DRAWINGS AGAINST SPELIFICATIONS. USE THE LATEST REVISED DRAWINGS ONLY. | |
| | |
| | |
| LEGEND | |
| NEW W. (SEE N | |
| | |
| EXISTI TO RE | NG WALLS Main |
| EXIST | NG WALLS |
| 10 BE | REMOVED |
| CONTRACTOR MUST VERIFY ALL DIVENSI | DNS ON THE JOB |
| AND REPORT ANY DISCREPANCY TO THE D PROCEEDING WITH THE WORK ALL DRAWINGS AND SPECIFICATIONS AR | ESIGNER BEFORE |
| ALL DRAWING AND BEEDIFICATIONS AND ALL DRAWINGS AND DEPEDIFICATIONS AR SERVICE AND THE PROPERTY OF THE DE MUST BE RETURNED AT THE COMPLETIO ONLY BUILDING PERMIT SUED DRAWIN FOR FABRICATION AND CONSTRUCTOR P | SIGNER WHICH NOF THE WORK BS SHALL BE USED |
| FOR FABRICATION AND CONSTRUCTION F | URPUBES. |
| Revisions | |
| | |
| | |
| | |
| 5 MINOR VARIANCE APPLICATION 4 ISSUE FOR REVISIONS | FEB 12 2017 JAN 9 2017 |
| 3 ISSUE FOR PERMIT | DEC.12.2016 |
| 2 CLIENT REVIEW 1 CLIENT REVIEW | NOV 27 2016 OCT 31 2016 |
| No. | Date |
| Refer to Approved Building Permi | it Drawings for |
| construction purposes. Drawings are NOT to be scaled. | |
| Contractors must verify all dimer and report any discrepancies bei | ore proceeding with |
| the work. All drawings and specifications a | re instruments of |
| service and the property of THE must be returned at the completi | DESIGNER which on of the work. |
| The undersigned has reviewed an responsibility for this design and | has the qualifications |
| and meets the requirements set (Building Code to be a designer. | out in the Ontario |
| QUALIFICATION INFORMATION (n | gured unless design |
| is exempt under 2.17.5.1. of the b ANTHONY STANISCIA | sing code.) 14750 |
| ANTHONY STANISON & | |
| Name Signature / | BCIN |
| | ignired unless design is |
| Name Signature REGISTRATION INFORMATION (re exempt under 2.17.4.1, of the build | iquired unless design is ling code.) |
| Name Signature / REGISTRATION INFORMATION (re | ignired unless design is |
| Name Signature REGISTRATION INFORMATION (re exempt under 2.17.4.1. of the build DIGITECH DESIGNS | iquired unless design is ling code.) 31397 |
| Name Signature REGISTRATION INFORMATION (re exempt under 2.17.4.1. of the build DIGITECH DESIGNS | iquired unless design is ling code.) 31397 |
| Name Signature REGISTRATION INFORMATION (re exempt under 2.17.4.1. of the build DIGITECH DESIGNS | iquired unless design is ling code.) 31397 |
| Name Signature REGISTRATION INFORMATION (re exempt under 2.17.4.1. of the build DIGITECH DESIGNS | iquired unless design is ling code.) 31397 |
| Name Signature REGISTRATION INFORMATION (re exempt under 2.17.4.1. of the build DIGITECH DESIGNS | iquired unless design is ling code.) 31397 |
| Name Signature REGISTRATION INFORMATION (re exempt under 2.17.4.1. of the build DIGITECH DESIGNS | iquired unless design is ling code.) 31397 |
| Name Signature REGISTRATION INFORMATION (re exempt under 2.17.4.1. of the build DIGITECH DESIGNS | iquired unless design is ling code.) 31397 |
| Name Signature REGISTRATION INFORMATION (re exempt under 2.17.4.1. of the build DIGITECH DESIGNS | iquired unless design is ling code.) 31397 |
| Neme Signature // REGISTRATION INFORMATION for exempt under 2:17.4.1. of the build DIGITECH DESIGNS Firm Neme PROJECT ANTIOCH | iquired unless design is ling code.) 31397 |
| Name Signsture [] RESISTRATION INFORMATION (re- exempt under 2.17.4.1. of the bulk DIGHTECH DESIGNS Firm Name PROJECT | iquired unless design is ling code.) 31397 |
| Neme Signature // REGISTRATION INFORMATION for exempt under 2:17.4.1. of the build DIGITECH DESIGNS Firm Neme PROJECT ANTIOCH | iquired unless design is ling code.) 31397 |
| Nene Signature // REGISTRATION INFORMATION for exempt water 2,17.4.1. of the bulk DIGITECH DESIGNS Firm Nene PROJECT ANTIOCH RESIDENCE | iquired unless design is ling code.) 31397 |
| Neme Signature // REGISTRATION INFORMATION for exempt under 2:17.4.1. of the build DIGITECH DESIGNS Firm Neme PROJECT ANTIOCH | iquired unless design is ling code.) 31397 |
| Name Signature () PESSISTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESIGNS Firm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive | iquired unless design is ling code.) 31397 |
| Nene Signature // PESISTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESIGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ngåred uniese design in ing ocde.) 31397 BCN |
| Name Signature () PESSISTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESIGNS Firm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive | ngåred untess design in <u>313897</u> BCN BCN SIGNS INC |
| Nene Signature // PESISTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESIGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | SIGNS INC 8 FRIMETTE |
| Nene Signature // PESSSTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESKGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | SIGNS INC 8 FRIMETTE CRESCENT |
| Nene Signature // PESSSTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESKGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | SIGNS INC 8 FRIMETTE |
| Nene Signature // PESSSTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESKGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On |
| Nene Signature // PESSSTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESKGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Nene Signature // PESSSTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESKGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Nene Signature // PESSSTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESKGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Nene Signature // PESSSTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESKGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Nene Signature // PESSSTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESKGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Nene Signature // PESSSTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESKGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Nene Signature // PESSSTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESKGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Nene Signsture // PEGISTRATION INFORMATION for covering under 2:17.4.1 of the build DIGITECH DESIGNS Frim Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontatio DIGITECH DES | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Nene Signature // PESISTRATION INFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESIGNS Frm Nene PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Neme Segnsture // PEGESTRATION DEFORMATION for covering under 2:17.4.1 of the bulk DIGITECH DESIGNS Frim Neme PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontato DIGITECH DES DIGITECH DES TITLE Ground Floor Plans DITE Oct. 31, 2016 | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| New Signature / PEGISTRATION REFORMATION for exempt under 2:17.4.1 of the bulk DIGITECH DESIGNS Frim Neme PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontato DIGITECH DES DIGITECH DES | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Neme Signature // PEGASTRATION DRFORMATION for covernot under 2174.1 of the bulk DIGITECH DESIGNS Frm Neme PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DES 23 Antioch Drive Toronto, Ontario TILE Ground Floor Plans DATE Oct. 31, 2016 SCALE 1/4" = 11-0" | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Neme Signature / PEGISTRATION DEFORMATION for scenario under 2:17.4.1 of the back DIGITECH DESIGNS Frim Neme PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontato DIGITECH DES DIGITECH DES TITLE Ground Floor Plans DATE Oct. 31, 2016 SCALE 1/4" = 11-0" | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |



| PERCENTAG | E OF WAL | LS REMA | INING |
|-----------|----------|----------------------|---------|
| | LENGTH | SF | SM |
| WALL A | ٦M | 155 SF | 14.4 SM |
| WALL B | 13.7M | 360 SF | 33.4 SM |
| WALL C | 8M | 2Ø8 SF | 19.3 SM |
| WALL D | 13.7M | 36Ø SF | 33.4 SM |
| TOTAL | | lØ83 S F | |
| 40% MIN | | 433.2 S F | |
| WALL D RE | MOVED | 360 SF | |
| | | | |

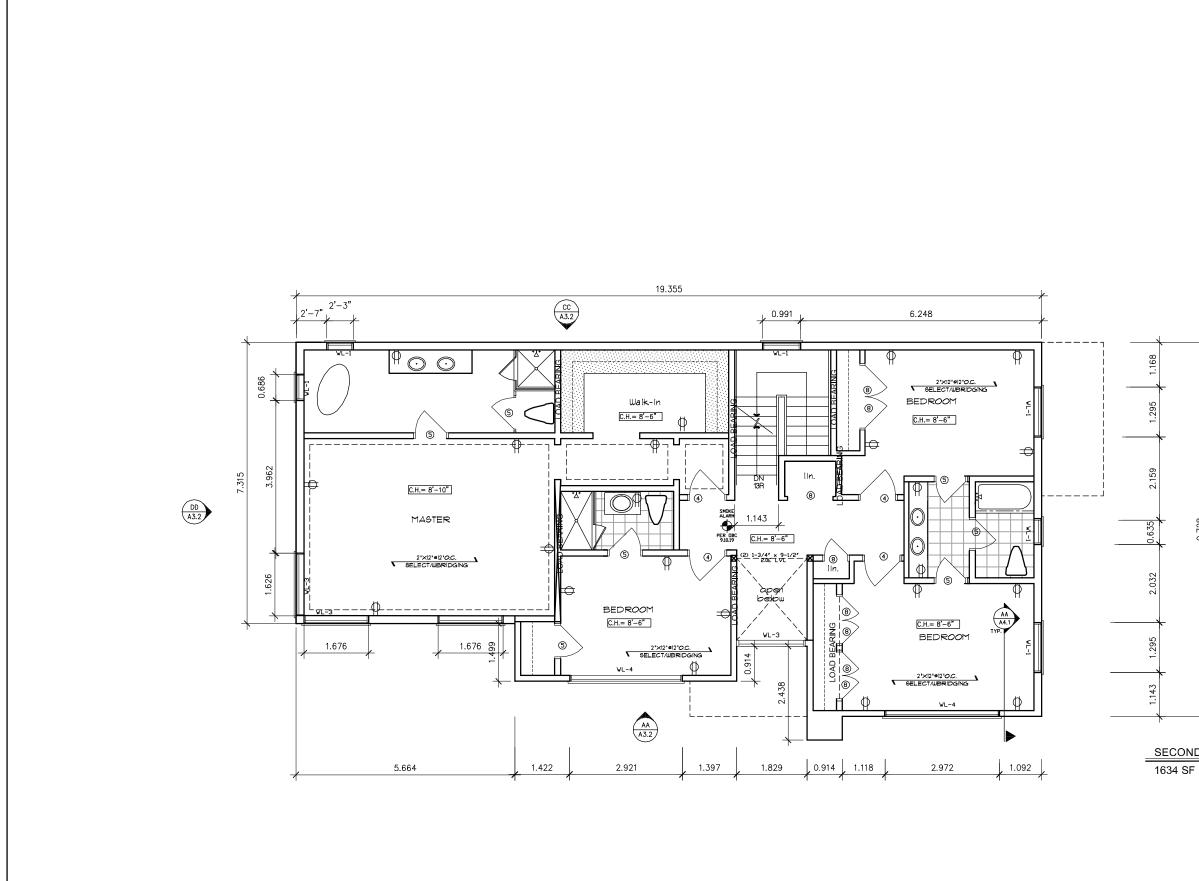
| 1. ALL DIME 2. VERIFY / 3. DO NOT 4. CHECK I | AL NOTES Instans Interedul Al Dienedone Scale drawings Scale drawings against specificatione Latest revised drawings only. | |
|---|---|--|
| | | E DESIGNER BEFORE AREINSTRUMENTS OF DESIGNER/WHICH TIDNOFTE WORK |
| Revisions | | |
| 4 ISSU | R VARIANCE APPLICATION E FOR REVISIONS | JAN 9.2017 |
| 2 CLIE | E FOR PERMIT | DEC.12.2016 NOV.27.2016 |
| 1 CLIEI No. | NT REVIEW | OCT.31.2016 Date |
| and report the work. All drawls service a must be i The under responsib and meet Building C QUALIFIC is exempt <u>ANTHOI</u> Name REGISTR/ | gs and specifications nd the property of Ti returned at the compl | efore proceeding with are instruments of HE DEBIONER which blood the work. and takes Id has the qualificatione t out in the Ontario (regured piece design |
| PROJECT | Ch Drive | (required unless design is |
| PROJECT ANTIO RESI 23 Antic Toronto | nder 2.17.4.1. of the ba | (required unless design is alding code.) 31397 |
| PROJECT ANTIO RESI 23 Antio Toronto | nder 2.17.4.1. of the ba | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PROJECT ANTIO RESI 23 Antio Toronto | Ander 217.4.1 of the ba | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PROJECT ANTIO RESI 23 Antio Toronto DI | Ander 2.17.4.1. of the ba | SIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |

BB A3.2

GROUND FLOOR PLAN

1634 SF

NOTE: REFER TO FLOOR DRAWINGS FOR APPR. FLOOR JOIST LAYOUT



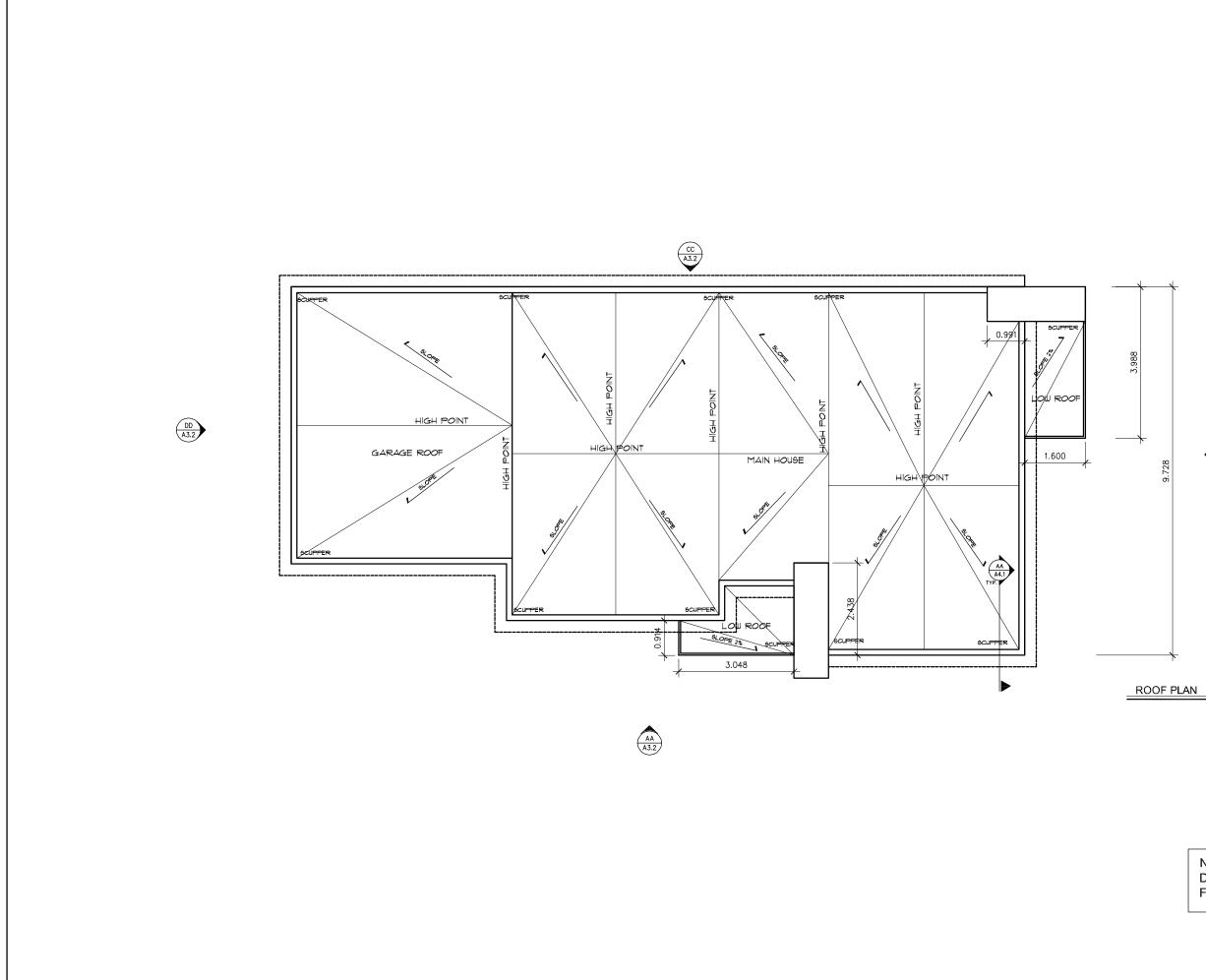
| | GENERAL NOTES |
|----------------------|---|
| | 1. ALL DIMENSIONS INIMPERIAL |
| | 2. VERIFY ALL DIMENSIONS. |
| | OD NOT SCALE DRAWINGS. CHECK DRAWINGS AGAINST SPECIFICATIONS. |
| | CHELK DRAWINGS ADAIRST SPECIFICATIONS USE THE LATEST REVISED DRAWINGS ONLY. |
| | |
| | |
| | LEGEND |
| | |
| | NEW WALL (SEE NOTES) |
| | EXISTING WALLS |
| | TO REMAIN |
| | EXISTING WALLS |
| | TO BE REMOVED |
| | |
| | CONTRACTOR MUST VERIFY ALL DIVENSIONS ON THE JOB AND REPORT ANY DISCREPANICY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK |
| | ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNERWHICH |
| | PROCEEDING WITH THE WORK ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIDERTWICH MUST BE RETURNED AT THE CORFERENCE THAN ONLY BULIONIC PERMIT ISSUED DRAWINGS SHULLE LISED FOR FARMATION AND CONSTRUCTION THEREOSE. |
| | |
| | Revisions |
| | |
| | |
| | <u> </u> |
| | 5 MINOR VARIANCE APPLICATION FEB.8.2017 |
| | 4 3 ISSUE FOR REVISIONS JAN 9.2017 |
| | 3 ISSUE FOR REVISIONS JAN 9.2017 2 ISSUE FOR PERMIT DEC.12.2016 |
| | 1 CLIENT REVIEW OCT.31.2016 |
| | No. Date |
| | Refer to Approved Building Permit Drawings for |
| | construction purposes. Drawings are NOT to be scaled. |
| | Contractors must verify all dimensions on the job and report any discrepancies before proceeding with |
| | the work. All drawings and specifications are instruments of |
| | service and the property of THE DESIGNER which must be returned at the completion of the work. |
| | The undersigned has reviewed and takes |
| | responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer. |
| | - |
| | QUALIFICATION INFORMATION (regured unless design is exempt under 2.17.5.1. of the building code.) |
| | ANTHONY STANISCIA 14750 |
| | |
| | Name Signature BCIN |
| | |
| | Name Bignature / BCN REGISTRATION INFORMATION (regulared unless design is exempt under 2.17.4.1. of the building code.) |
| | Name Signature BCIN REGISTRATION INFORMATION (required unless design is |
| | Name Signature BCN REGISTRATION INFORMATION (registred unless design is exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 |
| | Name Signature BCN REGISTRATION INFORMATION (registred unless design is exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 |
| | Name Signature BCN REGISTRATION INFORMATION (registred unless design is exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 |
| | Name Signature BCN REGISTRATION INFORMATION (registred unless design is exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 |
| | Name Signature BCN REGISTRATION INFORMATION (registred unless design is exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 |
| | Name Signature BCN REGISTRATION INFORMATION (registred unless design is exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 |
| | Name Signature BCN REGISTRATION INFORMATION (registred unless design is exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 |
| | Name Signature DCN RESISTRATION INFORMATION (required unless design is exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 Pire Name BCN BCN BCN BCN |
| | Name Signature DON RESISTRATION INFORMATION (required unless design is exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 Pira Name BON BON BON BON |
| | Name Signature DON PEGSSTRATION INFORMATION (registred unless design in exempt under 2.17.4.1 of the building code.) DigitECH DESIGNS 31397 PIGNECH DESIGNS S1397 PIRA Name BCN |
| | Name Signature DON RESISTRATION INFORMATION (required unless design is exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 Pira Name BON BON BON BON |
| | Name Signature DON PEGSSTRATION INFORMATION (registred unless design in exempt under 2.17.4.1 of the building code.) DigitECH DESIGNS 31397 PIGNECH DESIGNS S1397 PIRA Name BCN |
| | Name Signature DON PEGSSTRATION INFORMATION (registred unless design in exempt under 2.17.4.1 of the building code.) DigitECH DESIGNS 31397 PIGNECH DESIGNS S1397 PIRA Name BCN |
| | Name Signature DON PEGSSTRATION INFORMATION (registred unloss design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PIGNECH DESIGNS 31397 Pira Name BCN PROJECT ANTIOCH RESIDENCE Sidence |
| | Name Signature DON PEGESTRATION INFORMATION (required unless design is exempt under 2.17.4. of the building code.) DIGITECH DESIGNS 31397 PIGITECH DESIGNS 31397 Pirm Name BCN PROJECT ANTIOCH RESIDENCE 23 Antioch Drive |
| | Name Signature DON HEGISTRATION INFORMATION (registred unders a design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 Firm Name BCN BCN BCN PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto Contacto |
| | Name Signature DON PEGSETRATION INFORMATION (registred unloss design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS \$1397 PROJECT ANTIOCH RESIDENCE BON BON 23 Antioch Drive Toronto, Ontarto DIGITECH DESIGNS INC BON |
| | Name Signature DON PEGSETRATION INFORMATION (registred unloss design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PROJECT S1397 BCN BCN PROJECT ANTIOCH RESIDENCE BCN 23 Antioch Drive Toronto, Ontarto BCN BCN DIGITECH DESIGNS INC 8 FRIMETTE BCN |
| | Neme Signature DRN PEGSETRATION INFORMATION (registred unloss design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PROJECT ANTIOCH RESIDENCE BCN BCN 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT |
| | Neme Signature Dick PEGSETRATION INFORMATION (registred unloss design in exempt under 2.17.4.1 of the building code.) Dick 31397 DIGITECH DESIGNS 31397 Proxect BCN PROJECT ANTIOCH RESIDENCE BCN BCN 23 Antioch Drive Toronto, Ontarto BCN BCN BCN BIGITECH DESIGNS INC CRESCENT Toronto, On 8 FRIMETTE CRESCENT Toronto, On CRESCENT Toronto, On |
| | Neme Signature DRN PEGSETRATION INFORMATION (registred unless design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PROJECT ANTIOCH RESIDENCE 3000 2000 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| | Neme Signature Dick PEGSETRATION INFORMATION (registred unloss design in exempt under 2.17.4.1 of the building code.) Dick 31397 DIGITECH DESIGNS 31397 Proxect BCN PROJECT ANTIOCH RESIDENCE BCN BCN 23 Antioch Drive Toronto, Ontarto BCN BCN BCN BIGITECH DESIGNS INC CRESCENT Toronto, On 8 FRIMETTE CRESCENT Toronto, On CRESCENT Toronto, On |
| | Neme Signature DRN PEGSETRATION INFORMATION (registred unless design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PROJECT ANTIOCH RESIDENCE 3000 2000 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| | Neme Signature DRN PEGSETRATION INFORMATION (registred unless design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PROJECT ANTIOCH RESIDENCE 3000 2000 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| | Neme Signature DRN PEGSETRATION INFORMATION (registred unless design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PROJECT ANTIOCH RESIDENCE 3000 2000 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| | Neme Signature DRN PEGSETRATION INFORMATION (registred unless design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PROJECT ANTIOCH RESIDENCE 3000 2000 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| TO FLOOR | Neme Signature DRN PEGSETRATION INFORMATION (registred unless design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PROJECT ANTIOCH RESIDENCE 3000 2000 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| TO FLOOR DR APPR. | Neme Signature DRN PEGSETRATION INFORMATION (registred unless design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PROJECT ANTIOCH RESIDENCE 3000 2000 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| | Neme Signature DRN PEGSETRATION INFORMATION (registred unless design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PROJECT ANTIOCH RESIDENCE 3000 2000 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| OR APPR. | New Signature DRN PEGSETRATION INFORMATION (registred unless design in exempt under 2.17.4.10 the building code.) DIGITECH DESNGNS \$1397 PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario BCR DIGITECH DESIGNS SISON BCR DIGITECH DIVE Toronto, Ontario S FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 |
| OR APPR. | Neme Signature DRN PEGSETRATION INFORMATION (registred unless design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PROJECT ANTIOCH RESIDENCE 3000 2000 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| OR APPR. | New Signature DRN PEGSETRATION INFORMATION (registered unloss design in exempt under 2.17.4.1 of the building code.) DIGITECH DESIGNS 31397 PROJECT ANTIOCH RESIDENCE 31397 BCN 23 Antioch Drive Toronto, Ontario BCR BCR DIGITECH DESIGNS INCC 8 FRIMETTE CRESCENT Toronto, Ontario 8 FRIMETTE CRESCENT Genome, On L4K 354 647.278.5800 |
| OR APPR. | New Signature DRN PEGSETRATION INFORMATION (registred unless design in exempt under 2.17.4.10 the building code.) DIGITECH DESNGNS \$1397 PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario BCR DIGITECH DESIGNS SISON BCR DIGITECH DIVE Toronto, Ontario S FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 |
| OR APPR. | New Signature DRN HEGSTRATION INFORMATION (registred unloses) design in exempt unlose 2.17.4.10 the building code.) DIG/TECH DESKINS 31397 PROJECT ANTIOCH RESIDENCE 31397 BCN 23 Antioch Drive Toronto, Ontarto BCR BCR DIGITECH DESKINS 8 FRIMETTE CRESCENT Toronto, Ontarto 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 TILE Second Floor Plan/Roof DIE SOLE 1/4" = 1-0" |
| OR APPR. | New Signature DRN HEGSTRATION INFORMATION (registred unloses) design in exempt unlose 2.17.4.10 the building code.) DIG/TECH DESKINS 31397 PROJECT ANTIOCH RESIDENCE 31397 BCN 23 Antioch Drive Toronto, Ontarto BCR BCR DIGITECH DESKINS 8 FRIMETTE CRESCENT Toronto, Ontarto 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 TILE Second Floor Plan/Roof DIE SOLE 1/4" = 1-0" |
| OR APPR. | New Signature // Editional performance DRN PEGSETRATION INFORMATION (registred unless design in exempt under 2.17.4.10 the building code.) DIGITECH DESNGNS \$1397 PROJECT ANTIOCH RESIDENCE 31397 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC DIGITECH DIVE Toronto, Ontario \$17.4.10 cm DIGITECH DESIGNS INC \$19.7 cm 23 Antioch Drive Toronto, Ontario \$17.4.10 cm DIGITECH DESIGNS INC \$19.7 cm Intervention \$17.4.10 cm DIGITECH DESIGNS INC \$19.7 cm DIGITECH DESIGNS INC \$19.7 cm Intervention \$19.7 cm DIGITECH DESIGNS INC \$19.7 cm Intervention \$19.7 cm DIGITECH DESIGNS INC \$19.7 cm Intervention \$19.7 |

SECOND FLOOR PLAN

BB A3.2

9.728

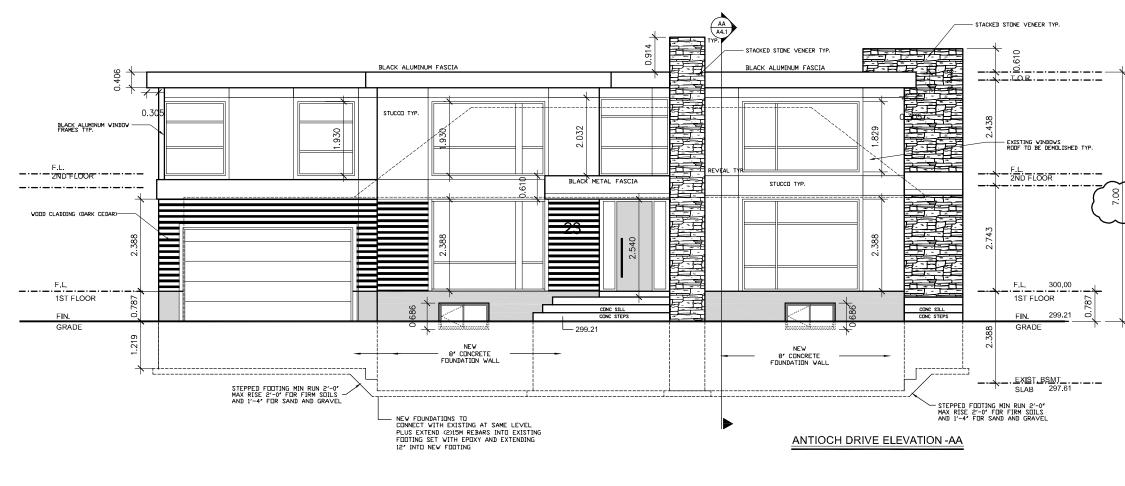
NOTE: REFER DRAWINGS FC FLOOR JOIST



| GENERAL NOTES | NEW WALL (SEE NOTES) EXISTING WALLS TO REMAIN EXISTING WALLS TO BE REMOVED |
|---|---|
| DO NOT SCALEDRIVINES ORECK DRAVINGS AGAINET SPECI USE THE LATEST REVISED DRAVING USE THE LATEST REVISED DRAVING ONTRACTOR MUST VERI | NEW WALL (SEE NOTES) EXISTING WALLS TO REMAIN EXISTING WALLS TO BE REMOVED |
| CHECK DRAWINGS AGAINSTSEED USE THE LATEST REVISED DRAWING | NEW WALL (SEE NOTES) EXISTING WALLS TO REMAIN EXISTING WALLS TO BE REMOVED |
| | NEW WALL (SEE NOTES) EXISTING WALLS TO REMAIN EXISTING WALLS TO BE REMOVED |
| CONTRACTOR MUST VERI | (SEE NOTES) EXISTING WALLS TO REMAIN EXISTING WALLS TO BE REMOVED |
| CONTRACTOR MUST VERI | (SEE NOTES) EXISTING WALLS TO REMAIN EXISTING WALLS TO BE REMOVED |
| CONTRACTOR MUST VERI | (SEE NOTES) EXISTING WALLS TO REMAIN EXISTING WALLS TO BE REMOVED |
| | (SEE NOTES) EXISTING WALLS TO REMAIN EXISTING WALLS TO BE REMOVED |
| | EXISTING WALLS TO REMAIN EXISTING WALLS TO BE REMOVED |
| | |
| | |
| | |
| | |
| | |
| SERVICE AND THE PROPE | ORK |
| MUST BE RETURNED AT T | RTY OF THE DESIGNER WHICH HE COMPLETION OF THE WORK. |
| FOR FABRICATION AND CO | DISTRUCTION PURPOSES |
| | |
| Revisions | |
| | |
| | |
| 5 MINOR VARIANCE APPL | CATION FEB.8.2017 |
| 4 3 ISSUE FOR REVISIONS | JAN 9.2017 |
| 2 SSUE FOR PERMIT | DEC 12 2016 |
| 1 CLIENT REVIEW | OCT.31.2016 |
| No. | Date |
| Refer to Approved Build construction purposes. Drawings are NOT to be | ing Permit Drawings for |
| Drawings are NOT to be Contractors must verify | all dimensions on the job noise before proceeding with |
| and report any discreps the work. | ncies before proceeding with |
| | |
| REGISTRATION INFORMA exempt under 2.17.4.1. of | |
| Digitech designs | ATION (required unless design i |
| | ATION (required unless design is the building code.) |
| Firm Name | ATION (required unless design is |
| | ATION (required unless design in the building code.) 31397 |
| | ATION (required unless design in the building code.) 31397 |
| | ATION (required unless design in the building code.) 31397 |
| | ATION (required unless design in the building code.) 31397 |
| | ATION (required unless design in the building code.) 31397 |
| | ATION (required unless design in the building code.) 31397 |
| | ATION (required unless design in the building code.) 31397 |
| Firm Name | ATION (required unless design in the building code.) 31397 |
| Firm Name | ATION (required unless design) the building code.) 31397 |
| Frm Name PROJECT ANTIOCH | ATION (required unless design in the building code.) 31397 |
| Project ANTIOCH RESIDENCE | ATION (required unless design in the building code.) 31397 |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive | ATION (required unless design) the building code.) 31397 |
| Project ANTIOCH RESIDENCE | ATION (required unless design) the building code.) 31397 |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ITION (registed unless design i the building code.) 31397 BCIN |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATION (required unless design) the building code.) 31397 |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | 1710N Gradiend unters design i the building code.) 31397 BGN BGN BGN BGN BGN BGN BGN BGN BGN BGN |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATTON Gradiend urtees design I 31397 BCIN BCIN I DESIGNS INC 8 FRIMETTE CRESCENT |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATTON Gradiend urtees design I 31397 BCM BCM BCM BCM BCM BCM BCM BCM BCM BCM |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATTON Gradiend urtees design I 31397 BCIN BCIN I DESIGNS INC 8 FRIMETTE CRESCENT |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATTON Gradiend unteres design i 31397 BGN BGN BGN BGN BGN BGN BGN BGN |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATTON Gradiend unteres design i 31397 BGN BGN BGN BGN BGN BGN BGN BGN |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATTON Gradiend unteres design i 31397 BGN BGN BGN BGN BGN BGN BGN BGN |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATTON Gradiend unteres design i 31397 BGN BGN BGN BGN BGN BGN BGN BGN |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATTON Gradiend unteres design i 31397 BGN BGN BGN BGN BGN BGN BGN BGN |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATTON Gradured unteres design is 31397 BCH BCH BCH BCH BCH BCH BCH BCH |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATTON Gradured unteres design is 31397 BCH BCH BCH BCH BCH BCH BCH BCH |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATTON Gradured unteres design is 31397 BCH BCH BCH BCH BCH BCH BCH BCH |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | ATTON Gradund unteres design in 31397 BOIN BOI |
| Frin Nerve PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto DIGITECH DIGITECH | ATTON Gradiend unteres design in 31397 BCH BCH BCH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 r Plan/Roof |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH | ATTON Gradiend unteres design in 31397 BCH BCH BCH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 r Plan/Roof |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto DIGITECH | ATTON Gradiend unteres design is 31397 BCH BCH BCH BCH BCH BCH CRESCENT Toronto, On L4K 354 647.278.5800 r Plan/Roof |
| PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DIGITECH | ATTON Gradiend unteres design i 31397 BGN BGN BGN BGN BGN BGN CRESCENT Toronto, On L4K 354 647.278.5800 r Plan/Roof |
| Firm Name | ATION (required unless design in the building code.) 31397 |

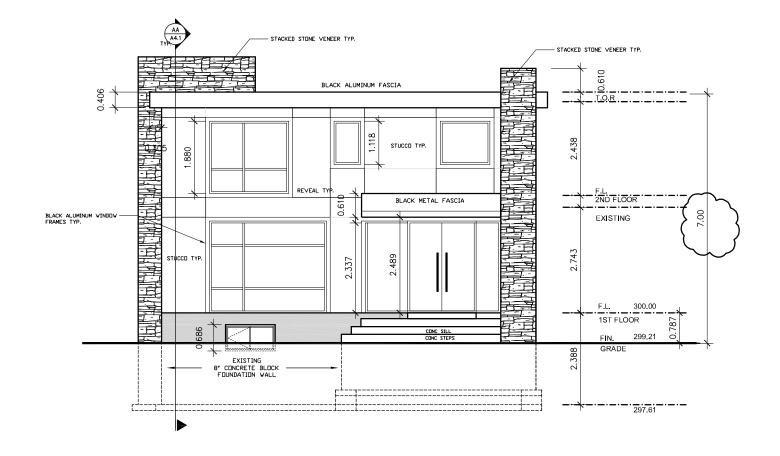
BB A3.2 9.728

NOTE: REFER TO FLOOR DRAWINGS FOR APPR. FLOOR JOIST LAYOUT



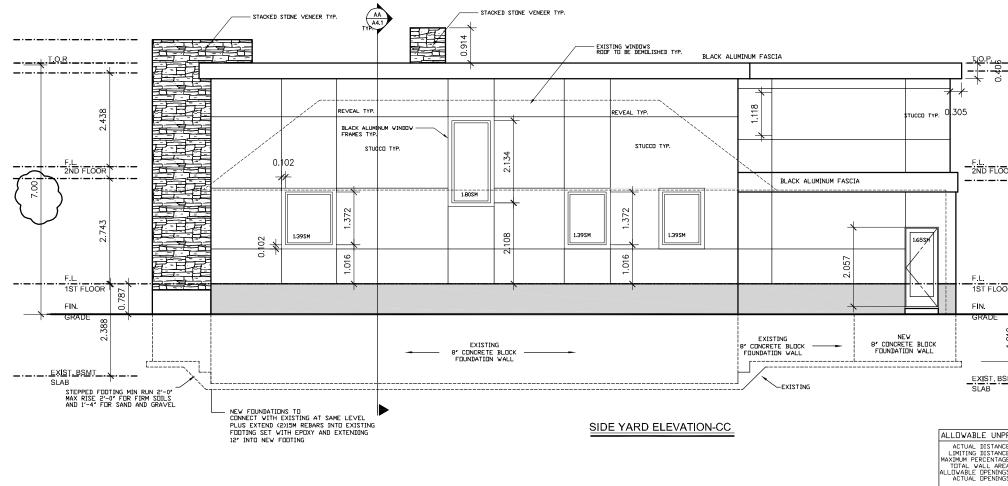
| GENERAL NOTES | |
|---|--|
| 1. ALL DIMENSIONS IN IMPERIAL | |
| VERIFY ALL DIMENSIONS. DO NOT SCALEDRAWINGS. | |
| 4. CHECK DRAWINGS AGAINST SPI | |
| 5. USE THE LATEST REVISED DRAW | NGS DNLY. |
| | |
| | |
| LEGEND | |
| | NEW WALL |
| | (SEE NOTES) |
| | EXISTING WALLS TO REMAIN |
| | |
| | EXISTING WALLS TO BE REMOVED |
| | |
| CONTRACTOR MUST VE | RIFY ALL DIVENSIONS ON THE JOB PANCY TO THE DESIGNER BEFORE |
| PROCEEDING WITH THEY ALL DRAWINGS AND SP | NORK. CIFICATIONS ARE INSTRUMENTS OF PERTY OF THE DESIGNER/WHICH THE COMPLETION OF THE WORK. |
| MUST BE RETURNED AT ONLY BUILDING PERMIT | THE COMPLETION OF THE WORK ISSUED DRAWINGS SHALL BE USED CONSTRUCTION PURPOSES. |
| TONTADIONIONAD | |
| | |
| Revisions | |
| | |
| | |
| 6 MINOR VARIANCE APP 5 ISSUE FOR ZONING CO | |
| 4 ISSUE FOR REVISIONS | JAN 9.2017 |
| 3 ISSUE FOR PERMIT 2 CLIENT REVIEW | DEC 12 2016 NOV 14 2016 |
| 1 CLIENT REVIEW | OCT 31 2016 |
| No. | Date |
| Refer to Approved Built | ding Permit Drawings for |
| construction purposes. Drawings are NOT to b | e scaled. |
| Contractors must verify | all dimensions on the job |
| the work. | |
| service and the proper | ications are instruments of ty of THE DESIGNER which |
| | e completion of the work. |
| The undersigned has re responsibility for this d | esign and has the qualifications |
| and meets the requirem Building Code to be a (| ents set out in the Ontario Jesigner. |
| QUALIFICATION INFORM | |
| is exempt under 2.17.5.1 | . of the by ding code.) |
| | |
| ANTHONY STANIS | |
| ANTHONY STANIS | gnature BCIN |
| ANTHONY STANIS | gnature BCIN IATION (required unless design is |
| ANTHONY STANIS Name 8i REGISTRATION INFORM exempt under 2.17.4.1. o | gnature BCIN IATION (required unless design is f the building code.) |
| ANTHONY STANIS | gnature BCIN IATION (required unless design is f the building code.) |
| ANTHONY STANIS Name Si REGISTRATION INFORM exempt under 2.17.4.1. o DIGITECH DESIGNS | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANIS Name Si REGISTRATION INFORM exempt under 2.17.4.1. o DIGITECH DESIGNS | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANIS Name Si REGISTRATION INFORM exempt under 2.17.4.1. o DIGITECH DESIGNS | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANIS Name Si REGISTRATION INFORM exempt under 2.17.4.1. o DIGITECH DESIGNS | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANIS Name Si REGISTRATION INFORM exempt under 2.17.4.1. o DIGITECH DESIGNS | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANIS Name Si REGISTRATION INFORM exempt under 2.17.4.1. o DIGITECH DESIGNS | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANIS Name Si REGISTRATION INFORM exempt under 2.17.4.1. o DIGITECH DESIGNS | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANIS Name Si REGISTRATION INFORM exempt under 2.17.4.1. o DIGITECH DESIGNS | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANIS Name Si REGISTRATION INFORM exempt under 2.17.4.1. o DIGITECH DESIGNS | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANIS Name 88 REGISTRATION INFORM exempt under 2.17.4.1 of DIGITECH DESIGNS Firm Name | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANS Name 8 RECENTRATION BFORM exempt under 21741 of DIGITECH DESIGNS Firm Name | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANIS Name 88 REGISTRATION INFORM exempt under 2.17.4.1 of DIGITECH DESIGNS Firm Name | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANS Name 8 RECENTRATION BFORM exempt under 21741 of DIGITECH DESIGNS Firm Name | gnature BCIN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANS Name 8 RECENTRATION BFORM exempt under 21741 of DIGITECH DESIGNS Firm Name | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANS Name 88 Resistration serons exempt under 217.41.0 DIGITECH DESIGNS Firm Name PROJECT ANTIOCH RESIDENCE | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANIS Name 8 FECISTRATION SFORM exempt under 21741 c DIGITECH DESIGNS Frm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive | gnature BCN IATION (required unless design is if the building code.) 3 31397 |
| ANTHONY STANIS Name 88 PECISTRATION BFORM exempt under 2174.1 c DIGITECH DESIGNS Frm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | grature / BCN ATION (required unless design is f the building code.) <u>\$ 31397</u> BCN |
| ANTHONY STANIS Name 88 PECISTRATION BFORM exempt under 2174.1 c DIGITECH DESIGNS Frm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | H DESIGNS INC |
| ANTHONY STANIS Name 88 PECISTRATION BFORM exempt under 2174.1 c DIGITECH DESIGNS Frm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | BCN IATION (registred unless design in the building code) 3 31397 BCN BCN BCN A DESIGNS INC 8 FRIMETTE |
| ANTHONY STANIS Name 88 PECISTRATION BFORM exempt under 2174.1 c DIGITECH DESIGNS Frm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | H DESIGNS INC |
| ANTHONY STANIS Name 88 PECISTRATION BFORM exempt under 2174.1 c DIGITECH DESIGNS Frm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | ATION (regarded unless design in the building code) 3 31397 BCN BCN A DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On |
| ANTHONY STANIS Name 88 PECISTRATION BFORM exempt under 2174.1 c DIGITECH DESIGNS Frm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | BCN IATION (reckred unless design in the building code) 3 31397 BCN BCN BCN A DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| ANTHONY STANIS Name 88 PECISTRATION BFORM exempt under 2174.1 c DIGITECH DESIGNS Frm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | BCN IATION (recpired unless design in the building code) 3 31397 BCN BCN BCN BCN BCN BCN BCN BCN |
| ANTHONY STANIS Name 88 PECISTRATION BFORM exempt under 2174.1 c DIGITECH DESIGNS Frm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | BCN IATION (recpired unless design in the building code) 3 31397 BCN BCN BCN A DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| ANTHONY STANIS Name 88 PECISTRATION BFORM exempt under 2174.1 c DIGITECH DESIGNS Frm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | BCN IATION (recpired unless design in the building code) 3 31397 BCN BCN BCN A DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| ANTHONY STANIS Name 88 PECISTRATION BFORM exempt under 2174.1 c DIGITECH DESIGNS Frm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | BCN IATION (recpired unless design in the building code) 3 31397 BCN BCN BCN A DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| ANTHONY STANIS Name 88 PECISTRATION DEFORM exempt under 2174.1 c DIGITECH DESIGNS Firm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | BCN IATION (recpired unless design in the building code) 3 31397 BCN BCN BCN A DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| ANTHONY STANIS Name 88 PECISTRATION DEFORM exempt under 2174.1 c DIGITECH DESIGNS Firm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | BCN IATION (recpired unless design in the building code) 3 31397 BCN BCN BCN A DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| ANTHONY STANIS Name 88 PECISTRATION DEFORM exempt under 2174.1 c DIGITECH DESIGNS Firm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | BCN IATION (recpired unless design in the building code) 3 31397 BCN BCN BCN A DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| ANTHONY STANIS Name 88 PECISTRATION DEFORM exempt under 2174.1 c DIGITECH DESIGNS Firm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | BCN IATION (recpired unless design in the building code) 3 31397 BCN BCN BCN A DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| ANTHONY STANIS Name 88 PECISTRATION DEFORM exempt under 2174.1 c DIGITECH DESIGNS Firm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | BCN IATION (reckred unless design in the building code) 3 31397 BCN BCN BCN A DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| ANTHONY STANS Name 8 PECISTRATION BFORM exempt under 2174.1 c DIGITECH DESIGNS Frm Neme PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontatio DIGITECI | BCN IATION (recpired unless design in the building code) 3 31397 BCN BCN BCN A DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| ANTHONY STANIS Name 88 PECISTRATION DEFORM exempt under 2174.1 c DIGITECH DESIGNS Firm Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario | BCN IATION (recpired unless design in the building code) 3 31397 BCN BCN BCN A DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| ANTHONY STANS Name 88 PECISTRATION INFORM Exempt under 21741 c DIGITECH DESIGNS Frin Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontatio DIGITECI | BCN (ATON (reported unless design in the building code) 3 31397 BCN 4 DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 |
| ANTHONY STANS Name 88 PECISTRATION BYFORM exempt under 217.41 c DIGITECH DESIGNS Frin Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontato DIGITECI | BCN (ATON (reported unless design in the building code) 3 31397 BCN 4 DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 |
| ANTHONY STANS Name 8 PECISTRATION INFORM Exempt under 2.17.4.1 c DIGITECH DESIGNS Frin Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontatio DIGITECCI DIGITECCI TIME Elevations DIE Oct. 31, 201 SOJE 1/4" = 1-0" | 6 |
| ANTHONY STANS Name 8 PECISTRATION BYFORM exempt under 2.17.4.1 c DIGITECH DESIGNS Frin Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontato DIGITECI DIGITECI 23 Antioch Drive Toronto, Ontato DIGITECI DIGITECI DIGITECI DIGITECI DIGITECI DIGITECI DIGITECI DIGITECI DIGITECI DIGITECI DIGITECI DIGITECI DIGITECI | BCN (ATON (reported unless design in the building code) 3 31397 BCN 4 DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 |
| ANTHONY STANS Name 8 PECISTRATION INFORM Exempt under 2.17.4.1 c DIGITECH DESIGNS Frie Neine PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontatio DIGITECI DIGITECI STRE Elevations DIGITECI SCALE 1/4" = 1-0" DRIMIN ag D | BCN IATON (reported unless design in the building code) 3 31397 BCN BCN BCN BCN BCN BCN BCN BCN |



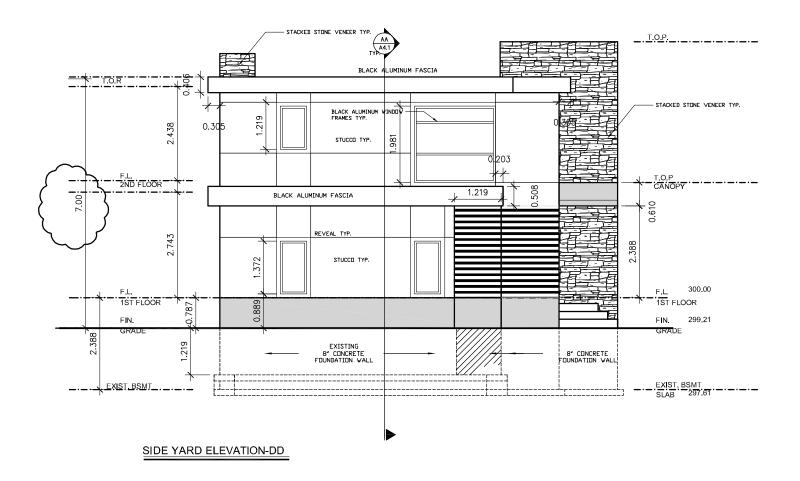


COTMAN CRESCENT ELEVATION-BB

| GENERAL N | OTES |
|--|--|
| 1. ALL DIMENSIONS | |
| 2. VERIFY ALL DIVE | |
| 3. DO NOT SCALED | DRAWINGS. |
| | GS AGAINST SPECIFICATIONS. |
| 5. USE THE LATEST | REVISED DRAWINGS DNLY. |
| | |
| | |
| LEGE | END |
| | |
| | NEW WALL (SEE NOTES) |
| | |
| · · · · · · · · · · · · · · · · · · · | EXISTING WALLS TO REMAIN |
| | |
| | EXISTING WALLS TO BE REMOVED |
| | |
| CONTRAC | CTOR MURT VERIEV, MURNERSKE ONTHE LOR |
| AND REPI | CTOR MUST VERIFY ALL DIVENSIONS ON THE JOB ORT ANY DISCREPANCY TO THE DESIGNER BEFORE DING WITH THE WORK |
| ALL DRAV SERVICE | WINGS AND SPECIFICATIONS ARE INSTRUMENTS OF AND THE PROPERTY OF THE DESIGNER WHICH |
| ONLY BU FOR FAB | UNITY TRADEPARTS IN THE DESIGNED BEFORE DOINS WITH THE WORK WINGS AND SPECIFICATIONS ARE INSTRUMENTS OF AND THE ROPERTY OF THE COSERATIVACH RETURNED AT THE COMPLETION OF THE WORK UNITY OF REMITTING SUBJECT AND AND ADDRESS SHALL BE USED SRICATION AND CONSTRUCTION PURPOSES. |
| L | |
| | |
| Revisions | |
| | |
| | |
| 6 MINOR VAR | RIANCE APPLICATION FEB.12.2017 |
| 5 ISSUE FOR | ZONING COMMENTS JAN 30.2017 |
| - | REVISIONS JAN.9.2017 |
| 3 ISSUE FOR 2 CLIENT REV | |
| 1 CLIENT REV | |
| No. | Date |
| | oved Building Permit Drawings for |
| construction p | oved suiking Permit Drawings for purposes. NOT to be scaled. |
| Drawings are Contractors = | NOT to be scaled. nust verify all dimensions on the job |
| and report any | y discrepancies before proceeding with |
| the work. All drawings a | und specifications are instruments of |
| service and th | ne property of THE DESIGNER which ned at the completion of the work. |
| The undersign | ed has reviewed and takes |
| responsibility f | for this design and has the qualifications requirements set out in the Ontario |
| Building Code | to be a designer. |
| QUALIFICATIO | N INFORMATION (regured mises design |
| is exempt uno | ler 2.17.5.1. of the by ding code.) |
| | |
| | STANISCIA 14750 |
| Name | Signature BCIN |
| Name REGISTRATION | |
| Name REGISTRATION exempt under | Signature / BCIN N INFORMATION (required unless design 2.17.4.1. of the building code.) |
| Name REGISTRATION | Signature / BCIN N INFORMATION (required unless design 2.17.4.1. of the building code.) |
| Name REGISTRATION exempt under DIGITECH D | Signature / BCIN N INFORMATION (required unless design 2.17.4.1. of the building code.) DESIGNS 31397 |
| Name REGISTRATION exempt under DIGITECH D | Signature / BCIN N INFORMATION (required unless design 2.17.4.1. of the building code.) DESIGNS 31397 |
| Name REGISTRATION exempt under DIGITECH D | Signature / BCIN N INFORMATION (required unless design 2.17.4.1. of the building code.) DESIGNS 31397 |
| Name REGISTRATION exempt under DIGITECH D | Signature / BCIN N INFORMATION (required unless design 2.17.4.1. of the building code.) DESIGNS 31397 |
| Name REGISTRATION exempt under DIGITECH D | Signature / BCIN N INFORMATION (required unless design 2.17.4.1. of the building code.) DESIGNS 31397 |
| Name REGISTRATION exempt under DIGITECH D | Signature / BCIN N INFORMATION (required unless design 2.17.4.1. of the building code.) DESIGNS 31397 |
| Name REGISTRATION exempt under DIGITECH D | Signature / BCIN N INFORMATION (required unless design 2.17.4.1. of the building code.) DESIGNS 31397 |
| Name REGISTRATION exempt under DIGITECH D | Signature / BCIN N INFORMATION (required unless design 2.17.4.1. of the building code.) DESIGNS 31397 |
| Name REGISTRATION exempt under DIGITECH D | Signature / BCIN N INFORMATION (required unless design 2.17.4.1. of the building code.) DESIGNS 31397 |
| Name REGISTRATION exempt under DIGITECH D | Signature / BCIN N INFORMATION (required unless design 2.17.4.1. of the building code.) DESIGNS 31397 |
| Name REGISTRATIC exempt under DIGITECH D Firm Name | Signature / BCN N NFORMATION (regulated unises design 2.17.4.1. of the building code) XESIGNS 31397 BCN |
| Name PEGETTRATIO exempt under DIGITECH D Finn Nemo PROJECT ANTIOCI | NeFORMATION (registed unless design 1 2.17.41. of the building code.) MESIGNS 31397 BCR |
| Name REGISTRATIC exempt under DIGITECH D Firm Name | NeFORMATION (registed unless design 1 2.17.41. of the building code.) MESIGNS 31397 BCR |
| Name PEGETTRATIO exempt under DIGITECH D Finn Nemo PROJECT ANTIOCI | NeFORMATION (registed unless design 1 2.17.41. of the building code.) MESIGNS 31397 BCR |
| Name PEGSTRATIO exempt under DIGITECH D Prim Neme Procept ANTIOC RESIDEI | H NECENTRATION (regulated unless design 2014.1. of the building code.) NESIGNS 31397 BCN BCN H NCE |
| Name PIEGSTRATIO exempt under DIGITECH D Firm Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI | Bigneture / BCN N NFORMATION (regulated unlose design 217.4.1. of the building code.) <u>XESIGNS 31397 BCN</u> BCN |
| Name PEGSTRATIO exempt under DIGITECH D Prim Neme Procept ANTIOC RESIDEI | Bigneture / BCN N NFORMATION (regulated unlose design 217.4.1. of the building code.) <u>XESIGNS 31397 BCN</u> BCN |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | N Bigneture / BCN N NFORMATION (regulated unbase dealign 1 2017.41. of the building code) <u>VESIGNS 31397</u> BCN BCN H NCE |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (regulated unlose design 217.4.1. of the building code.) <u>XESIGNS 31397 BCN</u> BCN |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (registed unless design 1 2274.1. of the building code.) XESIGNS 31397 BCN H NCE NCE TECH DESIGNS INC |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (registed unless design 1 2274.1. of the building code) XESIGINS 31397 BCN H NCE trive arto TEECH DESIGNS INC 8 FRIMETTE |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (registed unless design) 2274.1. of the building code) XESIGINS 31397 BCN H NCE inve arto TECH DESIGNS INC 8 FRIMETTE CRESCENT |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (registed unless design 1 2274.1. of the building code) XESIGINS 31397 BCN H NCE trive arto TEECH DESIGNS INC 8 FRIMETTE |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (registed unless design 1 2274.1. of the building code) XESIGINS 31397 BCN H NCE inve arto TECH DESIGNS INC 8 FRIMETTE CRESCENT |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (registed unless design 1 2274.1. of the building code.) XESKINS 31397 BCN BCN H NCE inve anto TECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (received unless design 2274.1. of the building code) XESKINS 31397 BCN H NCE nive anto TECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (received unless design 2274.1. of the building code) XESKINS 31397 BCN H NCE nive anto TECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (received unless design 2274.1. of the building code) XESKINS 31397 BCN H NCE nive anto TECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (received unless design 2274.1. of the building code) XESKINS 31397 BCN H NCE nive anto TECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (received unless design 2274.1. of the building code) XESKINS 31397 BCN H NCE nive anto TECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (received unless design 2274.1. of the building code) XESKINS 31397 BCN H NCE nive anto TECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (received unless design 2274.1. of the building code) XESKINS 31397 BCN H NCE nive anto TECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (received unless design 2274.1. of the building code) XESKINS 31397 BCN H NCE nive anto TECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Name PEGSTRATIC exempt under DIGITECH D Pro Neme PROJECT ANTIOCI RESIDEI 23 Antioch DI Toronto, Onta | Bigneture / BCN N NFORMATION (received unless design 2274.1. of the building code) XESKINS 31397 BCN H NCE nive anto TECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Name PEGESTRATIC exempti under DIGITECH D ProJECT ANTIOCI RESIDEI 23 Antioch Di Toronto, Onte | Signature / Commonsee design 1 NEFORMATION (recented unless design 1 SESNANS 31397 BCN H NCE rive ato TECH DESIGNS INC S FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 |
| Name PEGESTRATIO exempt under DIGITECH D Fin Nemo PROJECT ANTIOCI RESIDEI 23 Antioch Di Toronto, Onta | Bigneture / BCN N NFORMATION (received unless design 2274.1. of the building code) XESKINS 31397 BCN H NCE nive anto TECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| Name PEGESTRATIO exempt under DIGHTECH D PROJECT ANTIOC RESIDEI 23 Antioch DI Toronto, Onta DIGHT DIGHT Ele | Signature / Commonsments of consigned universe densign 1 2000 (1990) (19 |
| Name PEGBSTRATICO exempti under DIGITECH D Provect ANTIOCI RESIDEI 23 Antioch D Toronto, Onta DIGIT UTTE Ele DATE OC | H NECE Signature / Constant of the building code) SESNANS 31397 SCAN SESNANS 31397 SCAN NCE AND SCAN SCA |
| Name PEGESTRATICO exempti under DIGITECH D Provect ANTIOCI RESIDEI 23 Antioch Di Toronto, Ontr DIGIT Toronto, Ontr DIGIT | Signature / Commonsments of consigned universe densign 1 2000 (1990) (19 |
| Name PEGBSTRATICO exempti under DIGITECH D Provect ANTIOCI RESIDEI 23 Antioch D Toronto, Onta DIGIT UTTE Ele DATE OC | Signature / Commonstrained unitseen densign i XESHGINS 31397 XESHGINS 31397 RECH DESIGNS INC TECH DESIGNS INC CRESCENT Toronto, On L4K 354 647.278.5800 Eventions St. 31, 2016 4* = 1-0* |
| Name PEGESTRATIO covernpt under DIGHTECH D Pron Neme PROJECT ANTIOC RESIDEI 23 Antioch Di Toronto, Onta DIGHT DIGHT Else DATE Cc SCALE 1/4 DRVIN ag | Signature / Commonstrained unitseen densign i XESHGINS 31397 XESHGINS 31397 RECH DESIGNS INC TECH DESIGNS INC CRESCENT Toronto, On L4K 354 647.278.5800 Eventions St. 31, 2016 4* = 1-0* |
| Name PEGESTRATIO covernpt under DIGHTECH D Pron Neme 23 Antioch D Toronto, Onta DIGHT 23 Antioch D Toronto, Onta DIGHT Coverno DIGHT Coverno Scale 1/4 | Signature / Commonstrained universe densign 1 XESHGINS 31397 XESHGINS 31397 NCE TECCH DESIGNS INC TECCH DESIGNS INC S FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 evations 4. 31, 2016 4" = 140" |



| | I |
|---|--|
| | GENERAL NOTES |
| | |
| | 1. ALL DIMENSIONS IN IMPERAL. |
| | VERIFY ALL DIVENSIONS. |
| | 3. DO NOT SCALE DRAWINGS. |
| | CHECK DRAWINGS AGAINST SPECIFICATIONS. |
| | USE THE LATEST REVISED DRAWINGS DNLY. |
| | |
| | |
| | |
| | LEGEND |
| | |
| | NEW WALL (SEE NOTES) |
| | |
| | EXISTING WALLS |
| | TO REMAIN |
| | |
| | EXISTING WALLS TO BE REMOVED |
| | ID BE REPOVED |
| | |
| | CONTRACTOR MUST VERIFY ALL DWENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE |
| | PROCEEDING WITH THE WORK. |
| | PROCEEDING WITH THE WORK ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNERWHOCH MUST BE RETURNED AT THE COMPLETION OF THE WORK |
| | ONLY BUILDING PERAIT ISSUED DRAWINGS SHALLBE USED FOR FABRICATION AND CONSTRUCTION PURPOSES. |
| | |
| | |
| | Revisions |
| | |
| | |
| | |
| | 6 MINOR VARIANCE APPLICATION FEB.12,2017 |
| | 5 ISSUE FOR ZONING COMMENTS JAN 30.2017 |
| | 4 ISSUE FOR REVISIONS JAN 9.2017 |
| | 4 ISSUE FOR REVISIONS JAN 9/2017 3 ISSUE FOR PERMIT DEC.12.2016 |
| | 2 CLENT REVIEW NOV. 14.2016 |
| | 1 CLENT REVIEW OCT.31.2016 |
| | |
| | No. Date |
| | Refer to Approved Building Permit Drawings for |
| | construction purposes. Drawings are NOT to be scaled. |
| | Contractors must verify all dimensions on the job |
| | and report any discrepancies before proceeding with |
| | the work. All drawings and specifications are instruments of |
| | service and the property of THE DESIGNER which |
| | must be returned at the completion of the work. |
| | The undersigned has reviewed and takes |
| | responsibility for this design and has the qualifications and meets the requirements set out in the Ontario |
| | Building Code to be a designer. |
| | QUALIFICATION INFORMATION (regard values design |
| | QUALIFICATION INFORMATION (required unless design is exempt under 2.17.5.1, of the bygging code.) |
| | ANTHONY STANISCIA 14750 |
| | Name Signature BCIN |
| | REGISTRATION INFORMATION (required unless design is |
| OR | exempt under 2.17.4.1. of the building code.) |
| | |
| 299.21 | DIGITECH DESIGNS 31397 |
| | Firm Name BCIN |
| თ | |
| | |
| | |
| | |
| P | |
| <u>SMT</u> | |
| | |
| | |
| | |
| | |
| | |
| | SRA ETT |
| | PROJECT |
| PROTECTED OPENINGS | |
| PROTECTED OPENINGS | ANTIOCH |
| PRDTECTED DPENINGS DE 7.10 FT 2.38 M DE 3.94 FT 1.20 M DF 7.00 Z | |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH |
| PRDTECTED DPENINGS DE 7.10 FT 2.38 M DE 3.94 FT 1.20 M DF 7.00 Z | ANTIOCH RESIDENCE |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto DIGITECH DESIGNS INC |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto DIGITECH DESIGNS INC |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarlo DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontato DIGITECH DESIGNS INC & FRIMETTE CRESCENT Toronto, On |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarlo DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontato DIGITECH DESIGNS INC & FRIMETTE CRESCENT Toronto, On |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarlo DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarlo DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarlo DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarlo DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarlo DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarlo DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontato B FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontato B FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontato DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 TILE Elevations DATE Oct. 31, 2016 SOLE 1/4* = 11-0* |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontato DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 TILE Elevations DATE Oct. 31, 2016 SOLE 1/4* = 11-0* |
| PRDTECTED DPENINGS CE 7.10 FT 2.38 M CE 3.94 FT 1.20 M GE 7.00 X EA 1434 SF 133.22 SM EA 1434 SF 133.23 SM | ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontato DIGITECH DESIGNS INC 8 FRIMETTE CRESCENT Toronto, On L4K 354 647.278.5800 TILE Elevations DNE Oct. 31, 2016 SOLE 1/4" = 1'-0" |



| GENERAL NOTES | |
|--|---|
| 1. ALL DIMENSIONS IN IMPERIAL | |
| VERIFY ALL DIVENSIONS. DO NOT SCALE DRAWINGS. | |
| 4. CHECK DRAWINGS AGAINST SPECIFICATIONS. | |
| 5. USE THE LATEST REVISED DRAWINGS DNLY. | |
| | |
| | |
| | |
| NEW WA | |
| | JIE5/ |
| EXISTIN TO REM | G WALLS 14IN |
| | |
| to BE | ig Walls Removed |
| | |
| CONTRACTOR MUST VERIFY ALL DIVENSIO AND REPORT ANY DISCREPANCY TO THE DE | NS ON THE JOB SIGNER BEFORE |
| ALL DRAWINGS AND SPECIFICATIONS ARE SERVICE AND THE PROPERTY OF THE DESI | NSTRUMENTS OF SNERWHICH |
| AND REPORT ANT DISDEPART. TO THE USE PROCEEDING WITH THE WORK ALL DRAWINGS AND SPECIFICATIONS ARE SERVICE AND THE PROPERTY OF THE CSS MUST BE RETURNED AT THE COMPETION ONLY BUILDING PERMIT ISSUED DRAWING FOR FABRICATION AND CONSTRUCTION PUR | S SHALL BE USED POSES. |
| | |
| Revisions | |
| | |
| | |
| 6 MINOR VARIANCE APPLICATION | FEB.12.2017 |
| 5 ISSUE FOR ZONING COMMENTS 4 ISSUE FOR REVISIONS | JAN 30.2017 |
| 4 ISSUE FOR REVISIONS 3 ISSUE FOR PERMIT | JAN 9.2017 DEC.12.2016 |
| 2 CLIENT REVIEW | NOV 14 2016 |
| 1 CLIENT REVIEW | OCT.31.2016 Date |
| | |
| Refer to Approved Building Permit construction purposes. Drawings are NOT to be scaled. | Livawing8 for |
| Contractors must verify all dimensi | sions on the job |
| and report any discrepancies befor the work. | |
| All drawings and specifications are service and the property of THE | DESIGNER which |
| must be returned at the completio | n of the work. |
| | as the qualifications |
| The undersigned has reviewed and responsibility for this design and h | |
| The undersioned has reviewed and | and the second se |
| The undersigned has reviewed and responsibility for this design and it and meets the requirements set o Building Code to be a designer. QUALIFICATION INFORMATION (re | Gired Unless design |
| The undersigned has reviewed and responsibility for this design and i and meets the requirements set o Building Code to be a designer. QUALIFICATION INFORMATION (re is exempt under 2.17.6.1, of the build | |
| The undersigned has reviewed and responsibility for this design and it and meets the requirements set o Building Code to be a designer. QUALIFICATION INFORMATION (re | Gired unless design bing code.) 14750 BCIN |
| The undersigned has reviewed and responsibility for this design and I and meets the requirements set o Building Code to be a designer. QUALIFICATION BNORMATION (re- is exempt under 2:17.5.1. of the by ANTHONY STANISCIA Name Signature Redistration Nercemation (re- | 14750 BCN BCN |
| The undersigned has reviewed and responsibility for this design and i and meets the requirements set o Building Code to be a designer. OUALFICATION INFORMATION (re- is exempt under 2:17.5.1, of the build ANTHONY STANISCIA Name Signature RECENTRATION INFORMATION (re- exempt under 2:17.4.1, of the build | pared unless design is ng code.) |
| The undersigned has reviewed and responsibility for this design and I and meets the requirements act o Building Code to be a designer. QUALIFICATION INFORMATION (re is exempt under 2:17.6.1. of the build ANTHONY STANISCIA Name Signature Received the standard of the build DIGITECH DESIGNS | 14750 BCN BCN |
| The undersigned has reviewed and responsibility for this design and i and meets the requirements set o Building Code to be a designer. OUALFICATION INFORMATION (re- is exempt under 2:17.5.1, of the build ANTHONY STANISCIA Name Signature RECENTRATION INFORMATION (re- exempt under 2:17.4.1, of the build | ing code.) 14750 BCN BCN ag code.) 31397 |
| The undersigned has reviewed and responsibility for this design and I and meets the requirements act o Building Code to be a designer. QUALIFICATION INFORMATION (re is exempt under 2:17.6.1. of the build ANTHONY STANISCIA Name Signature Received the standard of the build DIGITECH DESIGNS | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and responsibility for this design and I and meets the requirements act o Building Code to be a designer. QUALIFICATION INFORMATION (re is exempt under 2:17.6.1. of the build ANTHONY STANISCIA Name Signature REGISTRATION INFORMATION (re exempt under 2:17.4.1. of the build DIGITECH DESIGNS | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and responsibility for this design and I and meets the requirements act o Building Code to be a designer. QUALIFICATION INFORMATION (re is exempt under 2:17.6.1. of the build ANTHONY STANISCIA Name Signature REGISTRATION INFORMATION (re exempt under 2:17.4.1. of the build DIGITECH DESIGNS | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and responsibility for this design and I and meets the requirements act o Building Code to be a designer. QUALIFICATION INFORMATION (re is exempt under 2:17.6.1. of the build ANTHONY STANISCIA Name Signature REGISTRATION INFORMATION (re exempt under 2:17.4.1. of the build DIGITECH DESIGNS | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and responsibility for this design and I and meets the requirements act o Building Code to be a designer. QUALIFICATION INFORMATION (re is exempt under 2:17.6.1. of the build ANTHONY STANISCIA Name Signature REGISTRATION INFORMATION (re exempt under 2:17.4.1. of the build DIGITECH DESIGNS | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and responsibility for this design and I and meets the requirements act o Building Code to be a designer. QUALIFICATION INFORMATION (re is exempt under 2:17.6.1. of the build ANTHONY STANISCIA Name Signature REGISTRATION INFORMATION (re exempt under 2:17.4.1. of the build DIGITECH DESIGNS | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and responsibility for this design and I and meets the requirements set o Building Code to be a designer. QUALIFICATION INFORMATION (re is exempt under 2.17.6.1 of the build ANTHONY STANISCIA Name Signsture REGISTRATION INFORMATION (rec exempt under 2.17.4.1 of the build DIGITECH DESIGNS Firm Name | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and responsibility for this design and I and meets the requirements set o Building Code to be a designer. GUALIFICATION INFORMATION (re is exempt under 2.17.6.1. of the build ANTHONY STANISCIA Name Signsture REGISTRATION INFORMATION (re exempt under 2.17.4.1 of the build DIGITECH DESIGNS Firm Name | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and responsibility for this design and I and meets the regularements act o Building Code to be a designer. GUALIFICATION BIFORMATION for is exempt under 2.17.6.1. of the building the exempt under 2.17.4.1. of the building the exempt under 2.17.4.1. of the building DIGITECH DESIGNS Firm Name PROJECT ANTIOCH | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and responsibility for this design and I and meets the requirements set o Building Code to be a designer. GUALIFICATION INFORMATION (re is exempt under 2.17.6.1. of the build ANTHONY STANISCIA Name Signsture REGISTRATION INFORMATION (re exempt under 2.17.4.1 of the build DIGITECH DESIGNS Firm Name | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and responsibility for this design and I and meets the regularements act o Building Code to be a designer. GUALIFICATION BIFORMATION for is exempt under 2.17.6.1. of the building the exempt under 2.17.4.1. of the building the exempt under 2.17.4.1. of the building DIGITECH DESIGNS Firm Name PROJECT ANTIOCH | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and responsibility for this design and i and meets the requirements set o Building Cods to be a designer. OULLFICATION INFORMATION (re- is exempt under 2:17.5.1. of the build ANTHONY STANISCIA Name Signature REGISTRATION INFORMATION (re- exempt under 2:17.4.1 of the build DIGITECH DESIGNS Firm Name | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and responsibility for this design and I and meets the regularements act o Building Code to be a designer. GUALIFICATION BIFORMATION for is exempt under 2.17.6.1. of the building the exempt under 2.17.4.1. of the building the exempt under 2.17.4.1. of the building DIGITECH DESIGNS Firm Name PROJECT ANTIOCH | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and readmets the requirements set o Building Code to be a designer. CULLFICATION INFORMATION for exempt under 2.17.6.1. of the build ANTHONY STANISCIA Name Biggasture REGISTRATION INFORMATION (re- exempt under 2.17.4.1 of the build DIGITECH DESIGNS Firm Name | 14750 BCN pared unless design is ng code.) 31397 |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Descript under 2.17.6.1. of the build DIGITECH DESIGNS Provent under 2.17.4.1 of the build DIGITECH DESIGNS Prim Name | stred unless design is ng code.) 31397 BCN BCN |
| The undersigned has reviewed and readmets the requirements act o Building Code to be a designer. CULLFICATION INFORMATION for exempt under 2.17.6.1. of the build ANTHONY STANISCIA Name Biggasture REGISTRATION INFORMATION (re- exempt under 2.17.4.1 of the build DIGITECH DESIGNS Firm Name | stred unless design is ng code.) 31397 BCN BCN |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Prim Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | III IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Prim Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | IIGNS INC |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Prim Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | III IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Prim Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | I 14750 SCN SCN SCN SCN SCN SCN SCN SCN SCN SCN |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Prim Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | III IIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIIII |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Prim Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | I 14750 SCN SCN SCN SCN SCN SCN SCN SCN SCN SCN |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Prim Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | I 14750 SCN SCN SCN SCN SCN SCN SCN SCN SCN SCN |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Prim Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | I 14750 SCN SCN SCN SCN SCN SCN SCN SCN SCN SCN |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Prim Name PROJECT ANTIOCH RESIDENCE 23 Antioch Drive Toronto, Ontarto | I 14750 SCN SCN SCN SCN SCN SCN SCN SCN SCN SCN |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Provert under 2.17.4.1 of the build DIGITECH DESIGNS Prim Name | I 14750 SCN SCN SCN SCN SCN SCN SCN SCN SCN SCN |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Provert under 2.17.4.1 of the build DIGITECH DESIGNS Prim Name | I 14750 SCN SCN SCN SCN SCN SCN SCN SCN SCN SCN |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Provert under 2.17.4.1 of the build DIGITECH DESIGNS Prim Name | I 14750 SCN SCN SCN SCN SCN SCN SCN SCN SCN SCN |
| The undersigned has reviewed and recombility for this design and 1 and the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for the building of the exempt under 2.17.6.1. of the build and the exempt under 2.17.6.1. of the build DIGITECH DESIGNS Procept and the | I 14750 SCN SCN SCN SCN SCN SCN SCN SCN SCN SCN |
| The undersigned has reviewed and reeponebility for this design and I and meets the requirements set of Building Code to be a designer. CUALFICATION INFORMATION for is exempt under 2.17.6.1. of the bill ANTHONY STANISCIA ANTHONY STANISCIA Precision of the second under 2.17.6.1. of the build DIGITECH DESIGNS Provert under 2.17.4.1 of the build DIGITECH DESIGNS Prim Name | I 14750 SCN SCN SCN SCN SCN SCN SCN SCN SCN SCN |
| The undersigned has reviewed are regramebility for this designs." Conservation of the second second Building Code to be a designs." COLLIFICATION INFORMATION for exempt under 2.17.6.1 of the build ANTHONY STANISCIA Name Biggsture REGISTRATION INFORMATION for exempt under 2.17.6.1 of the build DIGITECH DESIGNS Frm Name 23 Antioch Drive Toronto, Ontario DIGITECH DESIGNS DIGITECH DESIGNS Toronto, Ontario | I 14750 SCN SCN SCN SCN SCN SCN SCN SCN SCN SCN |
| The undersigned has reviewed are regramebility for this designs." Building Code to be a designer. CULL FICATION INFORMATION for exempt under 2.17.6.1. of the build ANTHONY STANISCIA Name RECENTRATION INFORMATION for exempt under 2.17.6.1. of the build DIGITECH DESIGNS Frim Name 23 Antioch Drive Toronto, Ontarto DIGITECH DESIGNS FIT Name EXEMPTION INFORMATION for Toronto, Contarto DIGITECH DESIGNS | I 14750 SCN SCN SCN SCN SCN SCN SCN SCN SCN SCN |
| The undersigned has reviewed and read method for this designs." CPULLFICATION INFORMATION for exempt under 2.17.6.1. of the build ANTHONY STANISCIA Name Biggsture RECISTRATION INFORMATION for exempt under 2.17.6.1. of the build DIGITECH DESIGNS Firm Name 23 Antioch Drive Toronto, Ontarto DIGITECH DESIGNS Firm Name EXEMPTION INFORMATION for Toronto, Ontarto DIGITECH DESIGNS Firm Name | I 14750 SCN SCN SCN SCN SCN SCN BCN BCN BCN SCN SCN SCN SCN SCN SCN SCN SCN SCN S |
| The undersigned has reviewed and regramebrity for this design and for Building Code to be a designer. Contraction of the building of the buil | I 14750 SCN SCN SCN SCN SCN SCN BCN BCN BCN SCN SCN SCN SCN SCN SCN SCN SCN SCN S |
| The undersigned has reviewed and read method for this designs." CPULLFICATION INFORMATION for exempt under 2.17.6.1. of the build ANTHONY STANISCIA Name Biggsture RECISTRATION INFORMATION for exempt under 2.17.6.1. of the build DIGITECH DESIGNS Firm Name 23 Antioch Drive Toronto, Ontarto DIGITECH DESIGNS Firm Name EXEMPTION INFORMATION for Toronto, Ontarto DIGITECH DESIGNS Firm Name | III 14760 BCN Bred uriese design is 31397 BCN BCN BCN BCN BCN BCN BCN BCN BCN BCN |



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0144/17EYK | Zoning | RM & R2 |
|--------------------|-----------------------|------------|--------------------------|
| Owner(s): | KELSIE IRENE LEAMAN | Ward: | Etobicoke-Lakeshore (06) |
| | NICHOLAS JOHN MILBURY | | |
| Agent: | NICHOLAS JOHN MILBURY | Heritage: | Not Applicable |
| Property Address: | 5 WHEATFIELD RD | Community: | |
| Legal Description: | PLAN M134 PT LOT 246 | | |

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To enclose the existing front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.80.40.70.(1), By-law 569-2013 & Section 340-30.N

The minimum required front yard setback is 7.9 m. The altered dwelling will be located 2.81 m from the front lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

File Number:A0144/17EYKOwner:KELSIE IRENE LEAMANNICHOLAS JOHN MILBURYAgent:NICHOLAS JOHN MILBURYProperty Address:**5 WHEATFIELD RD**Legal Description:PLAN M134 PT LOT 246

Zoning Ward: RM & R2 Etobicoke-Lakeshore (06)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0147/17EYK | Zoning | RD & R2 |
|--------------------|-----------------------|------------|-----------------------|
| Owner(s): | NALAKA GAN ABEYSINGHE | Ward: | Etobicoke Centre (03) |
| | NALIKA THARA | | |
| | ABEYSINGHE | | |
| Agent: | NALIKA THARA | Heritage: | Not Applicable |
| | ABEYSINGHE | | |
| Property Address: | 44 RANGOON RD | Community: | |
| Legal Description: | PLAN M752 LOT 164 | | |

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey north side addition which will include an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 320-40.C.(3) The minimum required front yard setback is 8.54 m. The altered dwelling will be located 8.33 m from the front lot line.
- 2. Section 10.20.40.70.(4), By-law 569-2013 and Section 320-42.1.C.(1) The minimum required side yard setback is 0.9 m. The altered dwelling will be located 0.77 m from the north side lot line.
- Section 10.5.40.60.(7)(B), By-law 569-2013
 The minimum required side yard setback for eaves is 0.3 m.

 Section 320-41.D
 The minimum required side yard setback for eaves is 0.4 m.

 Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D
 The eaves/roof projection of the altered dwelling will be located 0.21 m to the property line from the north side.
- Section 200.5.1.10.(2)(A)(iv), By-law 569-2013 and Section 320-18.(1)(c)
 The minimum required parking space width is 2.6 m and must be increase by 0.3 for each side of the parking space.
 The proposed parking space, within the proposed attached garage, will have a width of 2.75 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0147/17EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The site plan shall be revised, to the satisfaction of Traffic Planning / Right of Way Management, to include the following notations:

- a. "The applicant must obtain all required permits from the City's Right-of-Way Management Section of Transportation Services before excavating and encroaching into the municipal road allowance;" and
- b. "The applicant shall provide a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements.

| File Number: Owner: | A0147/17EYK NALAKA GAN ABEYSINGHE NALIKA THARA | Zoning Ward: | RD & R2 Etobicoke Centre (03) |
|------------------------|--|-----------------|----------------------------------|
| | ABEYSINGHE | | |
| Agent: | NALIKA THARA | Heritage: | Not Applicable |
| | ABEYSINGHE | | |
| Property Address: | 44 RANGOON RD | Community: | |
| Legal Description: | PLAN M752 LOT 164 | | |
| | | | |

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0149/17EYK | Zoning | E & IC2 |
|--------------------|--------------------------|------------|----------------------|
| Owner(s): | MARQUES ANIBAL | Ward: | Etobicoke North (01) |
| | 2494020 ONTARIO LIMITED | | |
| Agent: | HITESH R KHATRI | Heritage: | Not Applicable |
| Property Address: | 11 GOODMARK PL (UNIT 5) | Community: | |
| Legal Description: | PLAN M2009 LOT 19 BLK 34 | | |

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert a portion of the existing building (Unit 5) into a vehicle related use (truck and trailer repair).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 304-32

A vehicle related use (truck and trailer repair) is not permitted in a multiple-occupany building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

E & IC2 File Number: A0149/17EYK Zoning Ward: Owner: MARQUES ANIBAL Etobicoke North (01) 2494020 ONTARIO LIMITED Agent: HITESH R KHATRI Heritage: Not Applicable Property Address: 11 GOODMARK PL (UNIT 5) Community: Legal Description: PLAN M2009 LOT 19 BLK 34

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

Zoning

| File Number: | A0150/17EYK |
|--------------------|----------------------|
| Owner(s): | 2312883 ONTARIO INC. |
| | 2312883 ONTARIO INC |
| Agent: | RASEK ARCHITECTS |
| Property Address: | 22 SIXTEENTH ST |
| Legal Description: | PLAN 1712 PT LOT 183 |

Ward: Etobicoke-Lakeshore (06) Heritage: Not Applicable Community:

RM & R2

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a new second storey addition above the existing dwelling, a new integral garage and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 350-31(F)(2) The maximum permitted floor space index/ gross floor area is 0.6 times the lot area (140.2 m²). The altered dwelling will have a floor space index/ gross floor area of 0.92 times the lot area (216 m²).
- 2. Section 900.6.10(23)(D)(i), By-law 569-2013 and Section 350-31(A)(4) The minimum required side yard setback is 0.6 m. The altered dwelling will be located 0.36 m from the south side lot line.
- 3. Section 10.80.40.10.(2)(A)(i), By-law 569-2013 The maximum permitted height of all front exterior main walls is 7 m. The front exterior main wall height of the altered dwelling will be 8 m.
- 4. Section 10.80.40.10.(4), By-law 569-2013

The maximum permitted first floor height is 1.2 m above established grade. The altered dwelling will have a first floor height of 2.44 m above established grade.

5. Section 350-26(A)(4)

A minimum of 6 m of access is required in front of a parking space. A total of 2.64 m of access will be provided in front of the parking space.

6. Section 10.5.50.10.(1)(D), By-law 569-2013 and Section 350-30.9(A), as amended by By-law 973-2006 A minimum of 75% of the required front yard landscaping must be maintained as soft landscaping (9.9 m²). A total of 64.7% of the required front yard landscaping will be maintained as soft landscaping (8.5 m²). The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- 2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 The site plan must be revised to indicate that the portion of the redundant asphalt driveway between the north edge of the proposed driveway and the property line with 24 Sixteenth Street will be removed and restored with sod;
 - 2.2 The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 2.3 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed new driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;
 - 2.4 The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits to construct any proposed the driveway from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)";

File Number:A0150/17EYKOwner:2312883 ONTARIO INC.2312883 ONTARIO INC2312883 ONTARIO INCAgent:RASEK ARCHITECTSProperty Address:**22 SIXTEENTH ST**Legal Description:PLAN 1712 PT LOT 183

Zoning Ward: RM & R2 Etobicoke-Lakeshore (06)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0152/17EYK | Zoning | RD |
|--------------------|-----------------|------------|--------------------------|
| Owner(s): | OKSANA CHERCHYK | Ward: | Etobicoke-Lakeshore (05) |
| | BOHDAN CHERCHYK | | |
| Agent: | STOYANOVSKYY | Heritage: | Not Applicable |
| | ARCHITECTS INC | | |
| Property Address: | 34 SWAN AVE | Community: | |
| Legal Description: | PLAN 4455 LOT 2 | | |

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached gargage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.3.10.(21)(C), By-law 569-2013 & Section 1(b)(1), By-law 1992-23

The maximum permitted gross floor area is 135 m^2 plus 25% of the lot area (234 m^2). The proposed dwelling will have a gross floor area of 135 m^2 plus 35% of the lot area (300 m^2).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

File Number: A0152/17EYK Zoning Ward: Owner: OKSANA CHERCHYK **BOHDAN CHERCHYK** Agent: STOYANOVSKYY Heritage: ARCHITECTS INC **34 SWAN AVE** Property Address: Community: Legal Description: PLAN 4455 LOT 2

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

RD

Etobicoke-Lakeshore (05)

Not Applicable

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

| File Number: | A0165/17EYK | Zoning | RD & R2 |
|--------------------|---------------------|------------|-----------------------|
| Owner(s): | LARYSA TERSHAKOWEC | Ward: | Etobicoke Centre (03) |
| | GREGORY TERSHAKOWEC | | |
| Agent: | SAVA MIOKOVIC | Heritage: | Not Applicable |
| Property Address: | 4 SAVALON CRT | Community: | |
| Legal Description: | PLAN 7168 LOT 4 | | |

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.70.(2)(B), By-law 569-2013 and Section 320-42.A

The minimum required rear yard setback is 8.39 m. The altered dwelling will be located 6.47 m from the rear lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the site and elevation plans submitted and held on file by the Committee of Adjustment office and date stamped as received on February 22, 2017, the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

RD & R2 File Number: A0165/17EYK Zoning Ward: Owner: LARYSA TERSHAKOWEC Etobicoke Centre (03) **GREGORY TERSHAKOWEC** Agent: SAVA MIOKOVIC Heritage: Not Applicable Property Address: Community: **4 SAVALON CRT** Legal Description: PLAN 7168 LOT 4

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

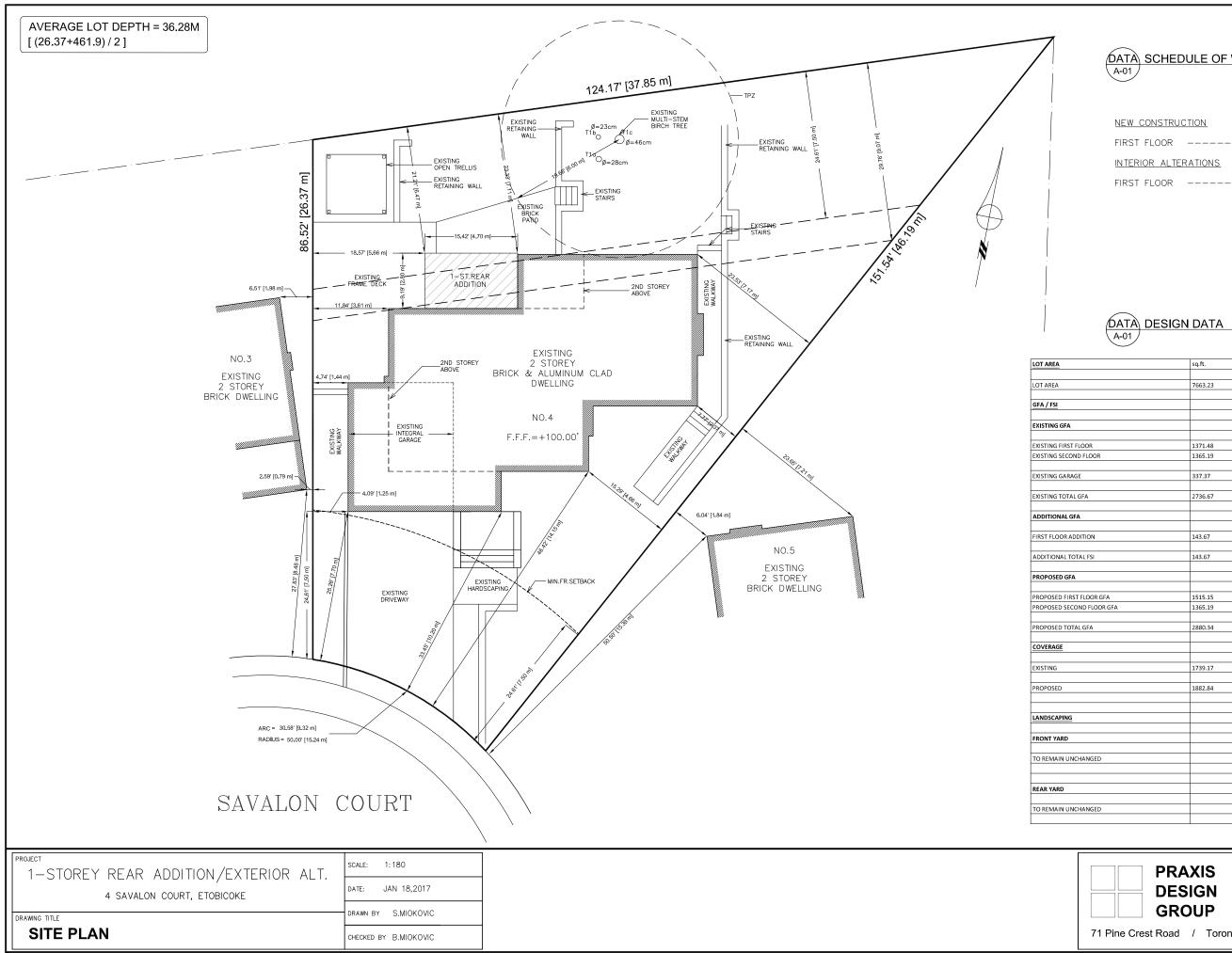
Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



| ATA | SCHEDULE OF WORK |
|------------|------------------|
| A-01 | |

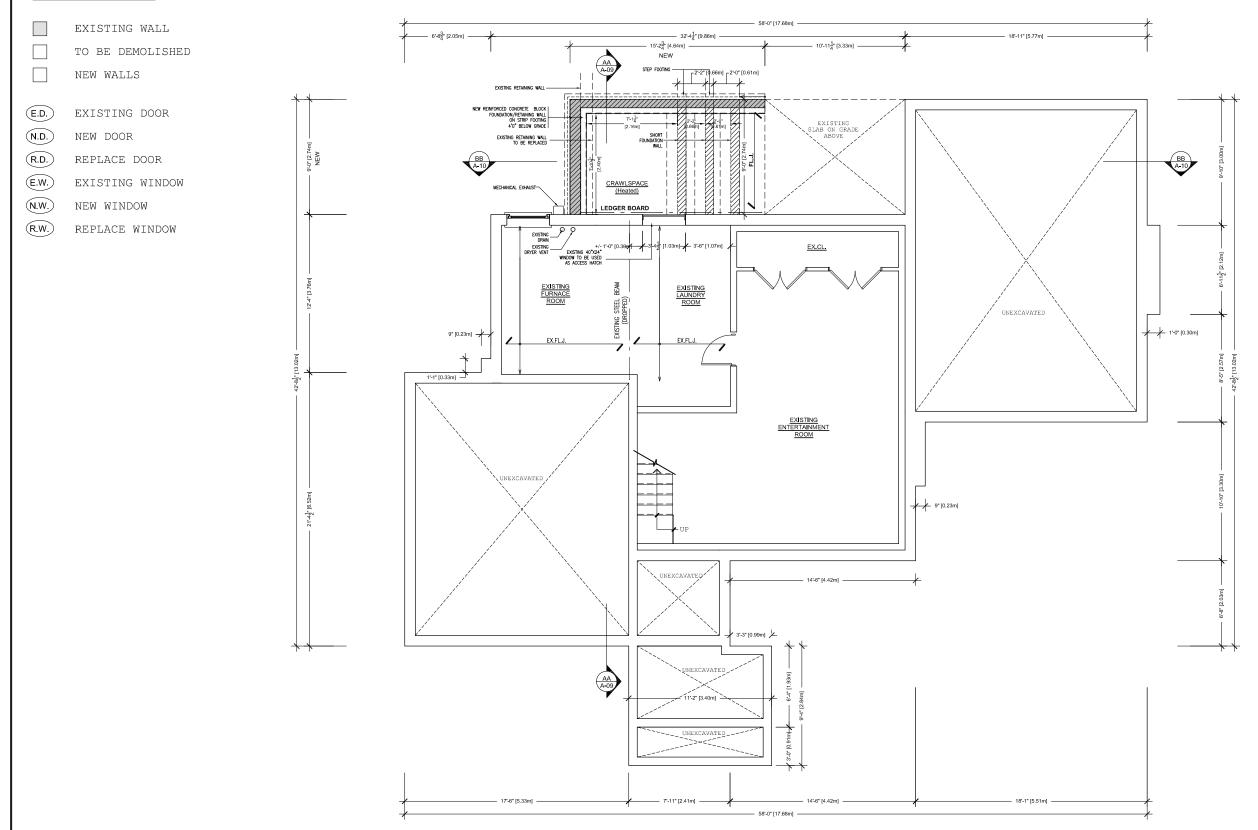
FIRST FLOOR ----- 13.35 SQ.M.

FIRST FLOOR ----- 20.00 SQ.M.

| | sq.ft. | sq.m. | FSI | |
|----|---------|--------|----------|--|
| | | | | |
| | 7663.23 | 711.94 | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | 1371.48 | 127.41 | 17.90% | |
| | 1365.19 | 126.83 | 17.81% | |
| | 1505.15 | 120.65 | 17.01% | |
| | 227.27 | 24.24 | 4.400/ | |
| | 337.37 | 31.34 | 4.40% | |
| | | | | |
| | 2736.67 | 254.24 | 35.71% | |
| | | | | |
| | | | | |
| | | | | |
| | 143.67 | 13.35 | 1.87% | |
| | | | | |
| | 143.67 | 13.35 | 1.87% | |
| | | | | |
| | | | | |
| | | | | |
| | 1515.15 | 140.76 | 19.77% | |
| -A | 1365.19 | 126.83 | 17.81% | |
| | | | | |
| | 2880.34 | 267.59 | 37.59% | |
| | 2000101 | 20/100 | 0,100,10 | |
| | | | | |
| | | | | |
| | 1739.17 | 161.57 | 22.69% | |
| | 1/35.1/ | 101.57 | 22.0378 | |
| | 1002.04 | 174.02 | 24.570/ | |
| | 1882.84 | 174.92 | 24.57% | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

| PRAXIS DESIGN GROUP | | ile: @praxis | 41 des | 6-769-0333 6-887-2396 igngroup.ca igngroup.ca | Sheet: A — () 1 |
|---------------------------|---|-----------------|-----------|--|--------------------|
| Pine Crest Road / Toronto | 1 | ON | / | M6P 3G6 | |

DRAWING LEGEND:

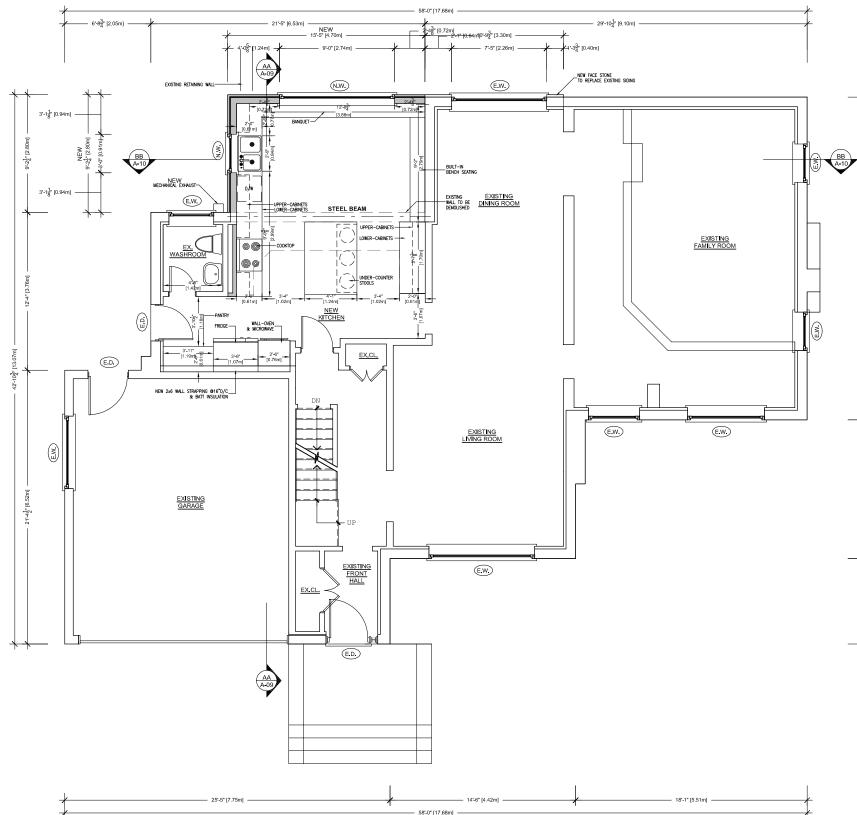


| ſ | PROJECT 1-STOREY REAR ADDITION/EXTERIOR ALT. | SCALE: 1:90 |
|---|---|-----------------------|
| | 4 SAVALON COURT, ETOBICOKE | date: JAN 18,2017 |
| | DRAWING TITLE | drawn by S.MIOKOVIC |
| | BASEMENT FLOOR PLAN | CHECKED BY S.MIOKOVIC |



DRAWING LEGEND:

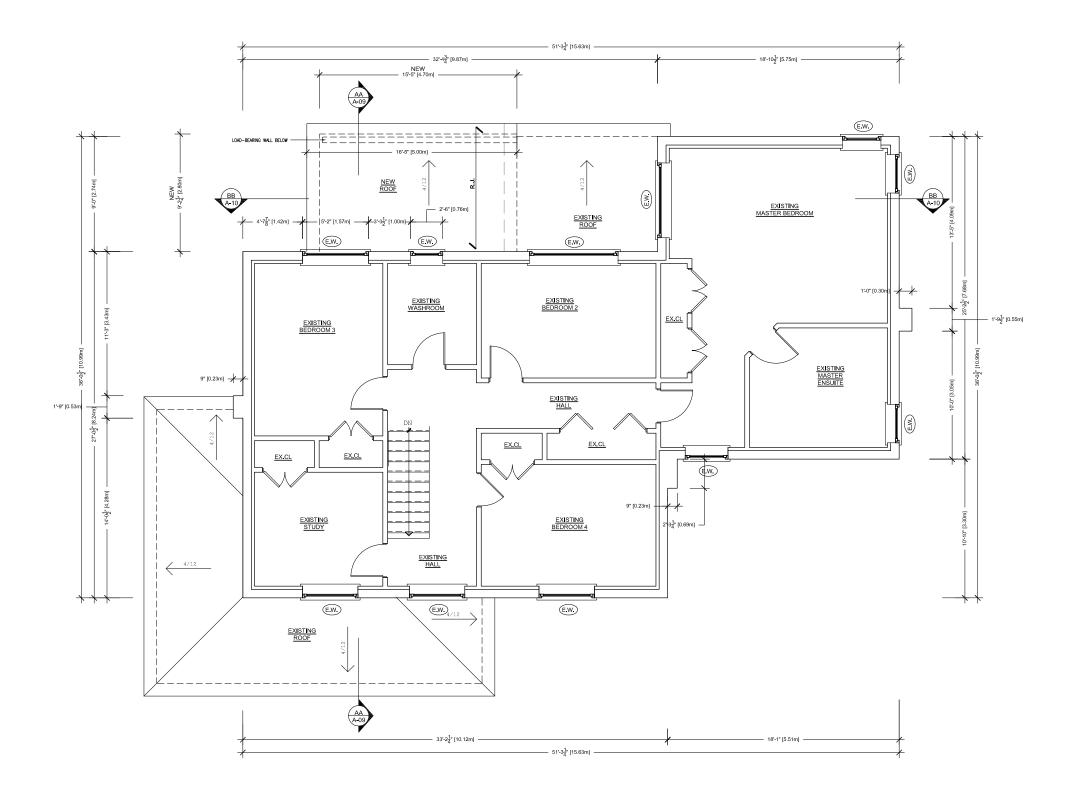




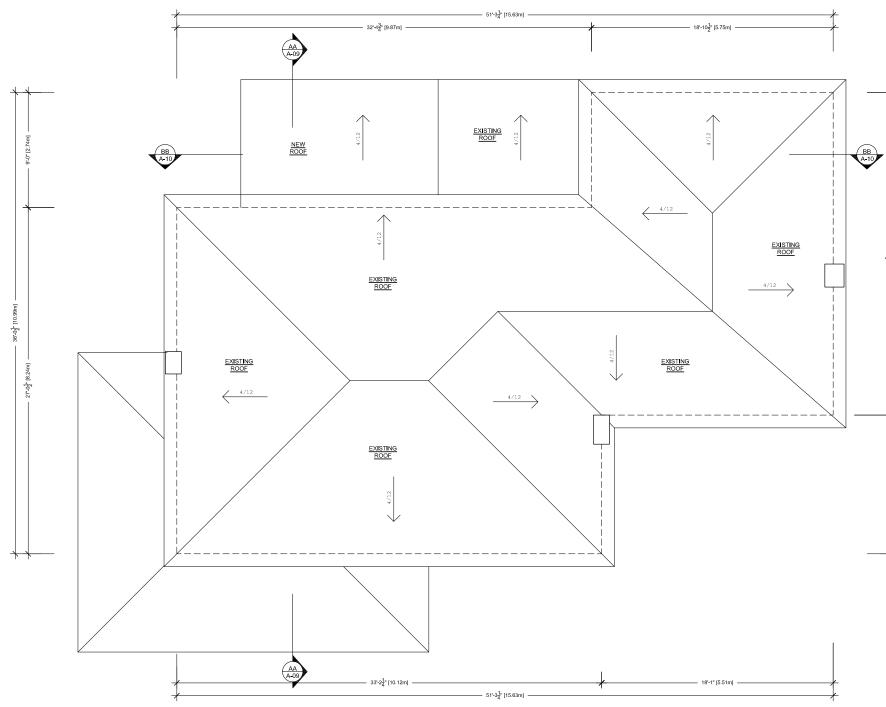
| 1-STOREY REAR ADDITION/EXTERIOR ALT. | SCALE: 1:90 |
|--------------------------------------|-----------------------|
| 4 SAVALON COURT, ETOBICOKE | DATE: JAN 18,2017 |
| DRAWING TITLE | drawn by S.MIOKOVIC |
| FIRST FLOOR PLAN | CHECKED BY S.MIOKOVIC |





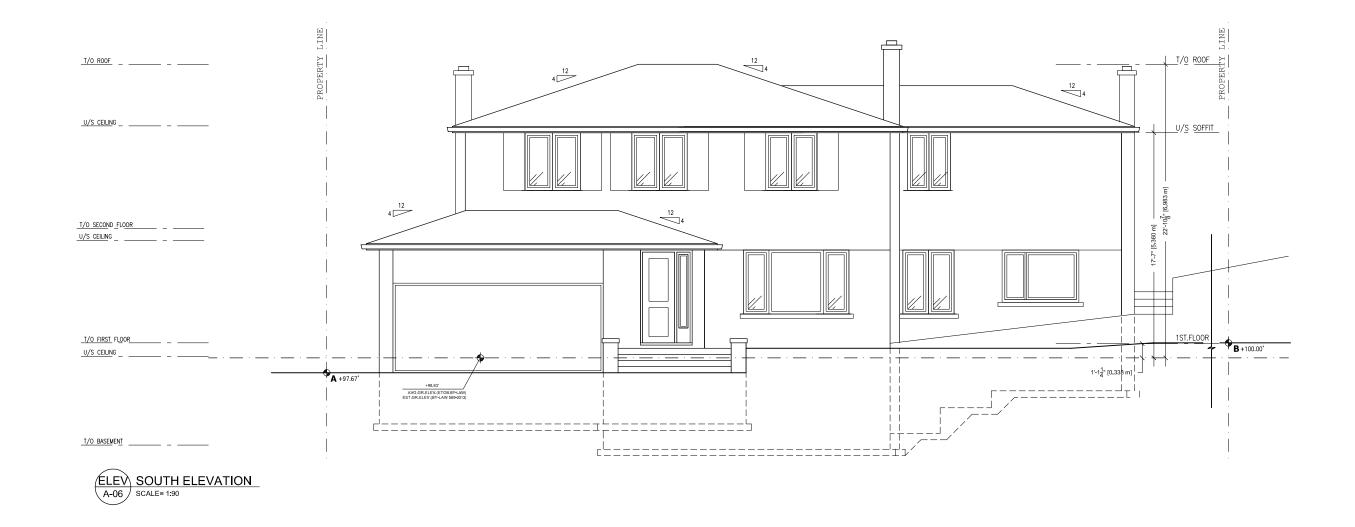






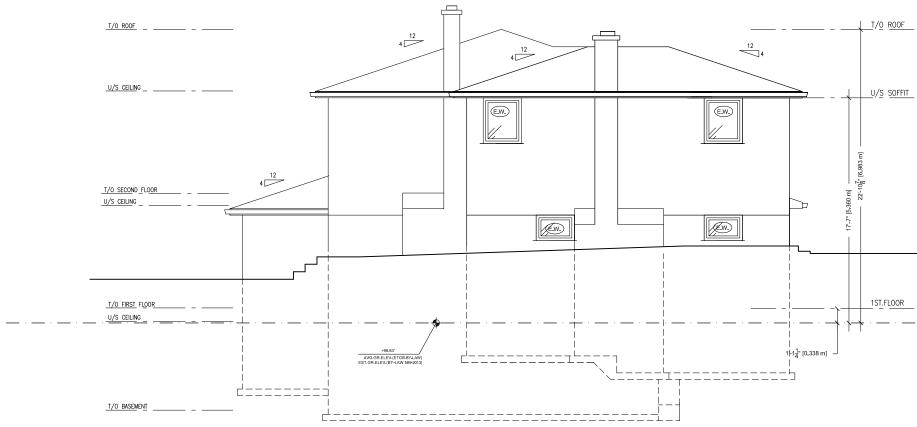






| PROJECT 1-STOREY REAR ADDITION/EXTERIOR ALT. | SCALE: 1:90 |
|---|-----------------------|
| 4 SAVALON COURT, ETOBICOKE | date: JAN 18,2017 |
| DRAWING TITLE | drawn by S.MIOKOVIC |
| ELEVATIONS | CHECKED BY S.MIOKOVIC |

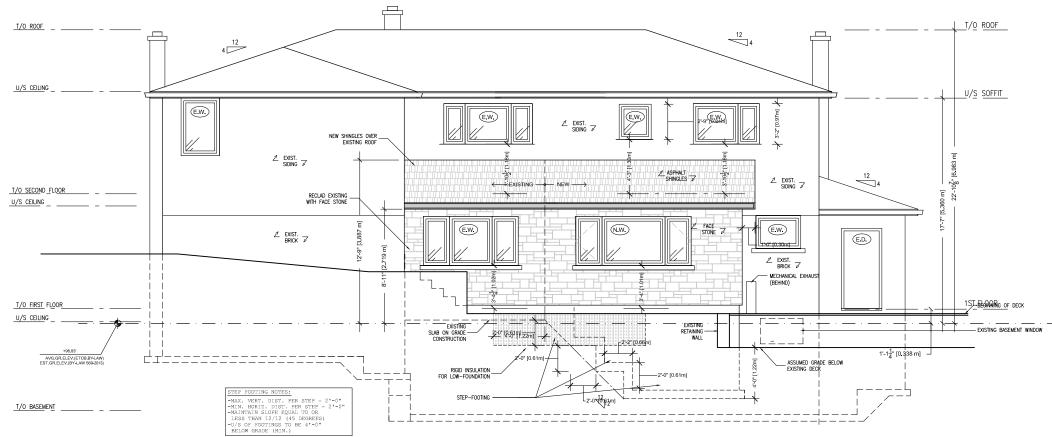






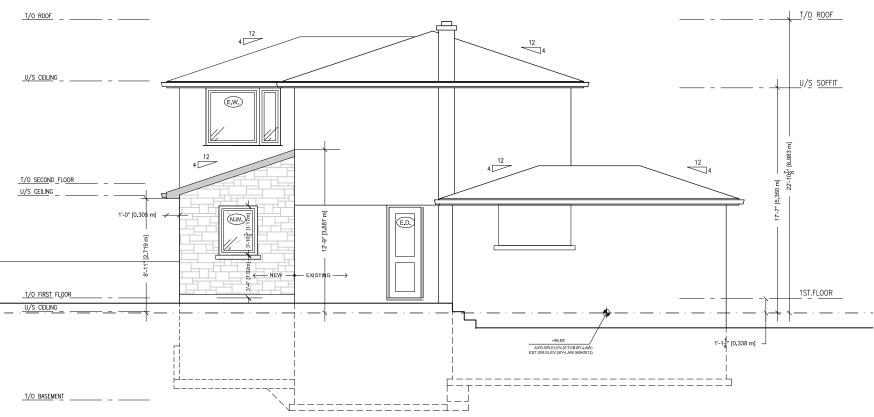
| PROJECT 1-STOREY REAR ADDITION/EXTERIOR ALT. | scale: 1:90 |
|---|-----------------------|
| , | date: JAN 18,2017 |
| DRAWING TITLE | drawn by S.MIOKOVIC |
| ELEVATIONS | CHECKED BY S.MIOKOVIC |

| PRAXIS DESIGN GROUP | www.praxis | 416-769-0333 416-887-2396 sdesigngroup.ca sdesigngroup.ca / M6P 3G6 | sheet: A — () 6 b |
|---------------------------|------------|---|-----------------------------|



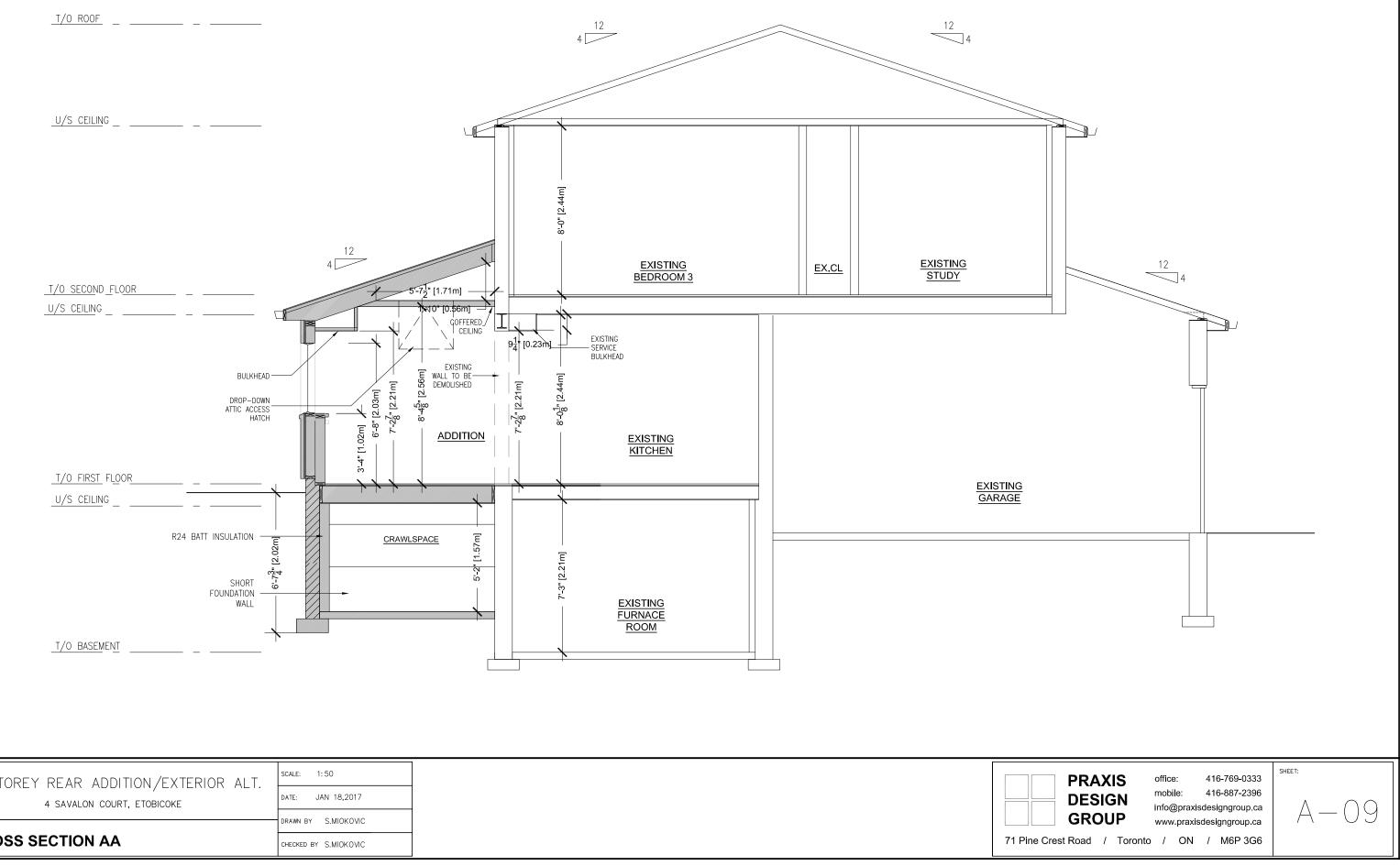
| PROJECT 1-STOREY REAR ADDITION/EXTERIOR ALT. | SCALE: 1:60 |
|---|---------------------|
| 4 SAVALON COURT, ETOBICOKE | date: JAN 18,2017 |
| DRAWING TITLE NORTH ELEVATION | DRAWN BY S.MIOKOVIC |



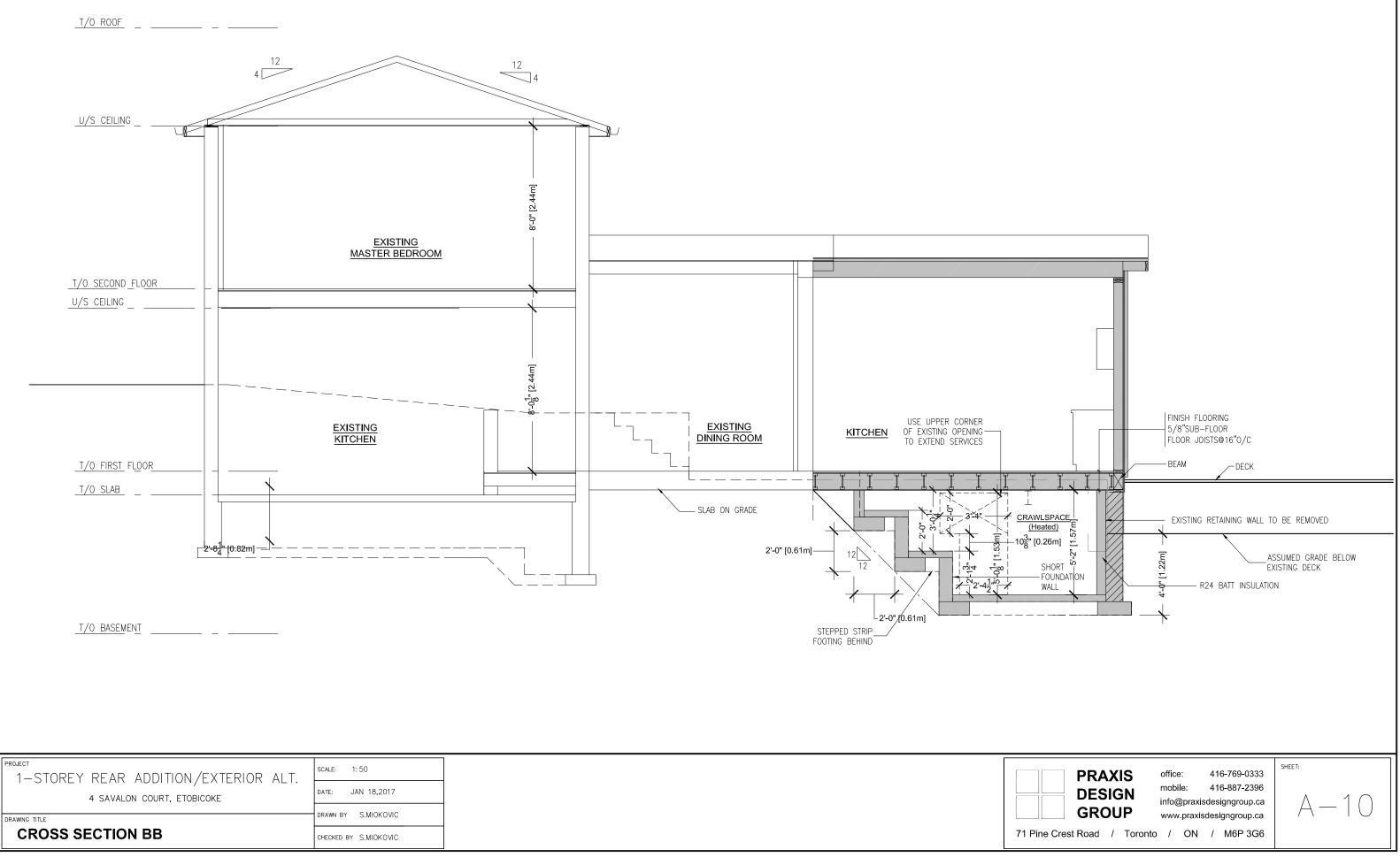


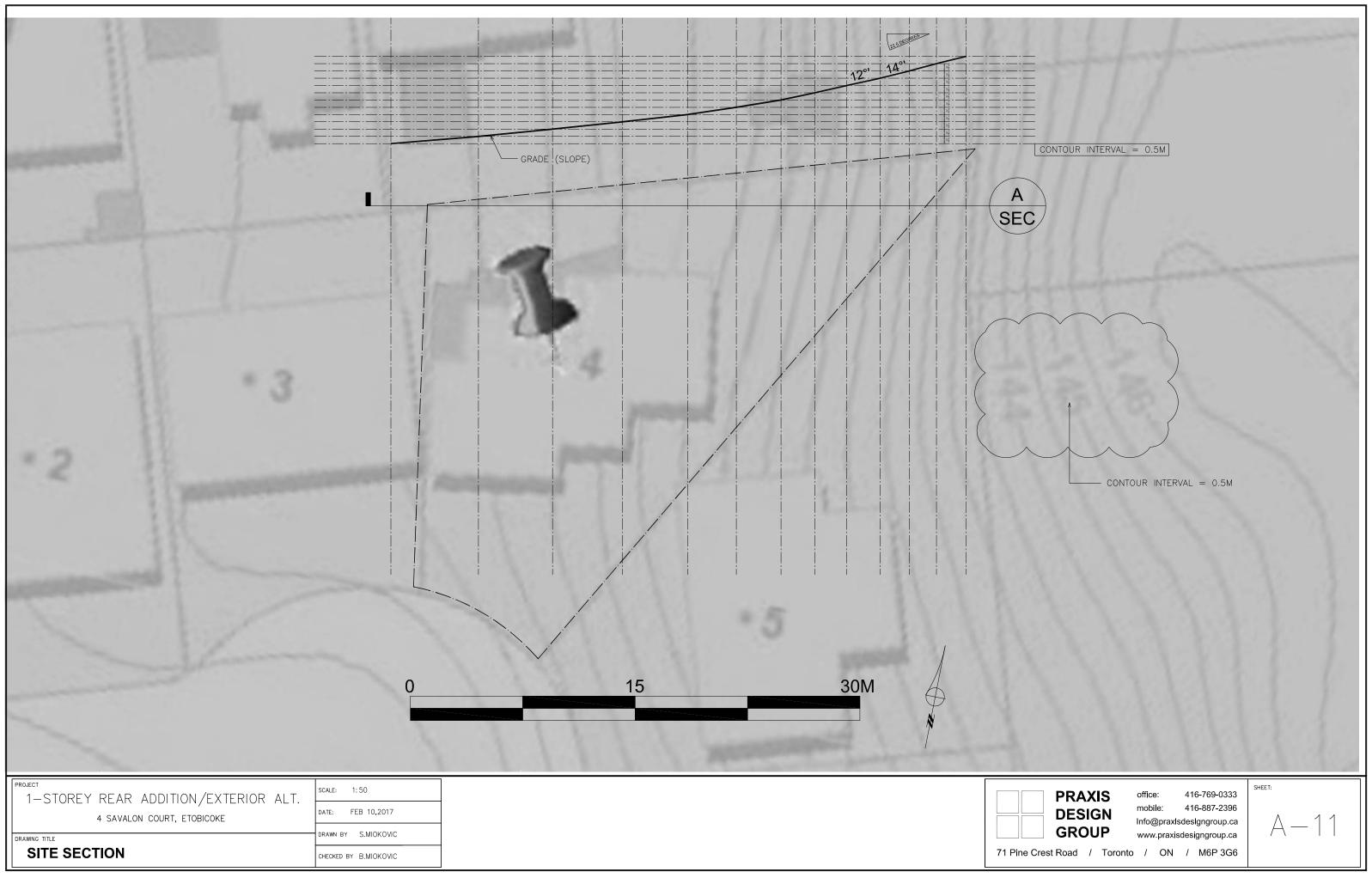
| | CHECKED BY S.MIOKOVIC |
|--------------------------------------|-----------------------|
| 4 SAVALON COURT, ETOBICOKE | DRAWN BY S.MIOKOVIC |
| | date: JAN 18,2017 |
| 1-STOREY REAR ADDITION/EXTERIOR ALT. | SCALE: 1:90 |

SHEET: PRAXIS office: 416-769-0333 mobile: 416-887-2396 DESIGN 08 info@praxisdesigngroup.ca A-GROUP www.praxisdesigngroup.ca Pine Crest Road / Toronto / ON / M6P 3G6



| PROJECT 1-STOREY REAR ADDITION/EXTERIOR ALT. | SCALE: 1:50 |
|---|-----------------------|
| 4 SAVALON COURT, ETOBICOKE | date: JAN 18,2017 |
| DRAWING TITLE | DRAWN BY S.MIOKOVIC |
| CROSS SECTION AA | CHECKED BY S.MIOKOVIC |





| PRAXIS DESIGN | office: 416-769-0333 mobile: 416-887-2396 Info@praxlsdeslgngroup.ca | | | 6-887-2396 Igngroup.ca | Sheet: |
|---------------------------------|---|--------------|-----------|---------------------------|--------|
| GROUP Pine Crest Road / Toronto | • | oraxis ON | desi / | gngroup.ca M6P 3G6 | |



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

Zoning

| File Number: | A0179/17EYK |
|--------------------|-----------------------|
| Owner(s): | ANDREA HARTLING |
| | JOSHUA PAUL DISHER |
| Agent: | MLA DESIGN BUILD |
| Property Address: | 31 FOURTH ST |
| Legal Description: | PLAN 1478 N PT LOT 61 |

Ward: Heritage: Community: RM & R2 Etobicoke-Lakeshore (06)

Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second and third storey addition above the existing dwelling and to construct a new front porch

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.(1)(A), By-law 569-2013 & Section 350-31.F.(2) The maximum permitted floor space index is 0.6 times the lot area (133.78 m²). The altered dwelling will have a floor space index is 0.84 times the lot area (186.57 m²).
- Section 900.3.10.(23)(D)(i), By-law 569-2013 & Section 350-31.A.(4) The minimum required side yard setback is 0.6 m. The altered dwelling will be located 0.44 m from the north side lot line.
- Section 10.5.40.60.(7), By-law 569-2013
 The minimum required side yard setback for eaves is 0.3 m.
 Section 350-13.B
 The minimum required side yard setback for eaves is 0.3 m.
 Section 10.5.40.60.(7), By-law 569-2013 & Section 350-13.B
 The eaves of the alerted dwelling will be located 0.04 m from the north side lot line.

4. Section 350-13.A

The maximum permitted front yard projection is 1.6 m. The altered covered front porch will project 1.91 m into the required front yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0179/17EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at <u>www.toronto.ca/trees/pdfs/contractor services agreement information.pdf</u>.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

File Number:A0179/17EYKOwner:ANDREA HARTLINGJOSHUA PAUL DISHERAgent:MLA DESIGN BUILDProperty Address:**31 FOURTH ST**Legal Description:PLAN 1478 N PT LOT 61

Zoning Ward: RM & R2 Etobicoke-Lakeshore (06)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:A639/15EYKOwner(s):LESLIE SAMUEL ESAUAgent:PETER JARUCZIKProperty Address:47 EIGHTH STLegal Description:PLAN 1592 N PT LOT 252

Zoning Ward: Heritage: Community: RM & R2 Etobicoke-Lakeshore (06) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.80.40.40.(1)(A), By-law & Section 350-31(F)(2) The maximum permitted floor space index is 0.6 times the lot area (174.2 m²). The new dwelling will have a floor space index of 0.75 times the lot area (218.2 m²).
- 2. Section 900.6.10.(23)(D)(i), By-law 569-2013 & Section 350-31(A)(4) The minimum required side yard setback is 0.6 m. The new dwelling will be located 0.47 m from the north side lot line.
- 3. Section 900.6.10.(23)(C), By-law 569-2013 & Section 350-31(A)(8) The maximum permitted height is 9.5 m. The new dwelling will have a height of 9.66 m.
- 4. Section 10.80.40.10.(2)(A)(i), By-law 569-2013 The maximum permitted height of all front exterior main walls is 7 m. The new dwelling will have a front exterior main wall height of 8.29 m.
- 5. Section 10.80.40.10.(4), By-law 569-2013 The maximum permitted first floor height is 1.2 m above established grade. The new dwelling will have a first floor height of 2.56 m above established grade.

6. Section 350-13(B)

The minimum required setback for eaves is 0.5 m from all side lot lines. The eaves of the new dwelling will be located 0.32 m from the north side lot line.

7. Section 350-26(A)(4)

A minimum of $\hat{6}$ m of access is required in front of a parking space. A total of 4.55 m of access will be provided in front of the parking space. The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
- 2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
- 3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The site plan drawings must be revised to clearly dimension and identify the portions of existing curb cut that will be closed.
 - 3.2 The site plan must include the following notations:
 - a. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality";
 - b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

File Number:A639/15EYKOwner:LESLIE SAMUEL ESAUAgent:PETER JARUCZIKProperty Address:47 EIGHTH STLegal Description:PLAN 1592 N PT LOT 252

Zoning Ward: Heritage: Community: RM & R2 Etobicoke-Lakeshore (06) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel