File Number:A0691/16EYKOwner:MARK NAGYAgent:CADAXX DESIGNProperty Address:**31 AMBLESIDE AVE**Legal Description:PLAN 4337 LOT 51

Zoning Ward: Heritage: Community: RD & R2 Etobicoke-Lakeshore (05) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0080/17EYK
Owner(s):	SHANNON YOUNG
	JAMES WILLIAM YOUNG
Agent:	DAN HORNIBROOK
Property Address:	21 MCCLINCHY AVE
Legal Description:	PLAN 3209 LOT 10

Zoning Ward: Heritage: Community:

RD & R2 Etobicoke-Lakeshore (05)

Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with attached garage. A previous Committee of Adjsutment applciation(A765/15EYK) approved variances relating to lot coverage, gross floor area, side yard setback and rear yard setback.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 10.20.40.10(1), By-Law 569-2013 and Section 320-42.1.B(1) The maximum permitted height is 9.5 m. The proposed dwelling will have a height of 9.75 m.

2. Section 320-42.1.B(2)

The maximum permitted soffit height is 6.5 m. The proposed dwelling will have a soffit height of 6.55 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

- The general intent and purpose of the Official Plan is maintained. •
- The general intent and purpose of the Zoning By-law is maintained. •
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor. •

File Number:A0080/17EYKOwner:SHANNON YOUNGJAMES WILLIAM YOUNGAgent:DAN HORNIBROOKProperty Address:**21 MCCLINCHY AVE**Legal Description:PLAN 3209 LOT 10

Zoning Ward: RD & R2 Etobicoke-Lakeshore (05)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0081/17EYK
Owner(s):	NALAKA ABEYSINGHE
	NALIKA ABEYSINGHE
Agent:	NALIKA ABEYSINGHE
Property Address:	39 GENTIAN DR
Legal Description:	PLAN M752 LOT 40

Zoning Ward: Heritage: Community:

RD & R2 Etobicoke Centre (03)

Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second suite in the basement.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 200.5.1.10.(2)(A)(i), By-law 569-2013 and Section 320-18.A.(1)(a)

The minimum required length of a parking space is 5.6 m.

The proposed parking space, within the existing attached garage, will have a length of 5.34 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The site plan drawings must be revised to include the following notations, to the satisfaction of Traffic Planning / Right of Way Management:

- a. "All existing redundant curb cuts that are no longer required must be closed and restored to the satisfaction of the City of Toronto at no cost to the municipality."
- b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposal, as determined by Transportation Services." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain the exact requirements related to the MRDD.
- c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services."

File Number:A0081/17EYKOwner:NALAKA ABEYSINGHENALIKA ABEYSINGHENALIKA ABEYSINGHEAgent:NALIKA ABEYSINGHEProperty Address:**39 GENTIAN DR**Legal Description:PLAN M752 LOT 40

Zoning Ward: RD & R2 Etobicoke Centre (03)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

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Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:A0105/17EYKOwner(s):NASRIN AHMADIAgent:JS BARMI ARCHITECTProperty Address:106 BALLACAINE DRLegal Description:PLAN 4004 LOT 35

Zoning Ward: Heritage: Community: RD & R2 Etobicoke-Lakeshore (05) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10(42)(A)(i), By-law 569-2013 and Section 1(a), By-law 1993-109
 The maximum permitted gross floor area (including attached or detached garages) shall be 118 m² plus 25% of the lot area (239.1 m²) up to a maximum floor space index of 0.5 (233.61 m²).
 The altered dwelling will have a gross floor area of 118 m² plus 29% of the lot area (254.4 m²) with a floor space index of 0.54 (254.4 m²).
- Section 10.20.40.70.(1), By-law 569-2013
 The minimum required front yard setback is 9.57 m.
 The altered dwelling will be located 7.92 m from the front lot line.

3. Section 900.3.10(42)(A)(ii), By-law 569-2013 and Section 1(b), By-law 1993-109 The minimum aggregate side yard is 2.1 m. The altered dwelling will have an aggregate side yard setback of 1.98 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0105/17EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

File Number:A0105/17EYKOwner:NASRIN AHMADIAgent:JS BARMI ARCHITECTProperty Address:106 BALLACAINE DRLegal Description:PLAN 4004 LOT 35

Zoning Ward: Heritage: Community: RD & R2 Etobicoke-Lakeshore (05) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0116/17EYK
Owner(s):	AMALIA ZANETTE
Agent:	CHRISTINA ZANETTE
Property Address:	1 GREAT OAK DR
Legal Description:	PLAN 3377 LOT 27

Zoning Ward: Heritage: Community: RD & R1 Etobicoke Centre (04) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the dwelling by: expanding the second storey above the existing dwelling, constructing a two-storey east side addition (which will include a garage extension from the existing garage), constructing a new two-storey front enclosed lobby and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10(37)(C), By-law 569-2013 and Section 1.b)(1), By-law 1992-25
 The maximum permitted gross floor area, including an attached garage, shall be 150 m² plus 25% of the lot area (316.75 m²).
 The altered dwelling, including the attached garage, will have a gross floor area of 150 m² plus 27.51% of the lot area (333.5 m²).
- 2. Section 900.3.10(37)(D)(iii), By-law 569-2013 and Section 1.c)(3), By-law 1992-25

The minimum required side yard setback is 1.5 m, provided that the aggregate of the side yards shall equal not less than 3.64 m (20% of the lot frontage).

The altered dwelling will be located 0.9 m from the east side lot line and 2.05 m from the west side lot line and will have an aggregate of side yard setback of 2.95 m (16.2% of the lot frontage).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0116/17EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

File Number:A0116/17EYKOwner:AMALIA ZANETTEAgent:CHRISTINA ZANETTEProperty Address:1 GREAT OAK DRLegal Description:PLAN 3377 LOT 27

Zoning Ward: Heritage: Community: RD & R1 Etobicoke Centre (04) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0117/17EYK	Zoning	RD & RM1
Owner(s):	ALICJA JOZEFA GRELA	Ward:	Etobicoke-Lakeshore (06)
	LUCJAN GRELA		
Agent:	VOYTEK STASIECZEK	Heritage:	Not Applicable
Property Address:	20 DAISY AVE	Community:	
Legal Description:	PLAN 1571 E PT LOT 105 R-P 64	R-3869 PARTS 2	2&3

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front addition, a second storey addition above the existing garage, and a new front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.6.10.(2)(D), By-law 569-2013 and Section 330-23.A.(9)

The maximum permitted floor space index is 0.35 times the area of the lot (121.93 m^2) . The altered dwelling will have a floor space index of 0.55 times the area of the lot (190.92 m^2) .

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

RD & RM1 File Number: A0117/17EYK Zoning Ward: Owner: ALICJA JOZEFA GRELA Etobicoke-Lakeshore (06) LUCJAN GRELA Agent: VOYTEK STASIECZEK Heritage: Not Applicable Property Address: **20 DAISY AVE** Community: Legal Description: PLAN 1571 E PT LOT 105 R-P 64 R-3869 PARTS 2&3

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0130/17EYK	Zoning	RD & R2
Owner(s):	NANCY A MCCAFFERY-	Ward:	Etobicoke-Lakeshore (05)
	BALAN		
	WILLIAM KENNETH BALAN		
Agent:	MAKOW ARCHITECTS	Heritage:	Not Applicable
	ASSOCIATES LTD		
Property Address:	4 QUEEN MARYS DR	Community:	
Legal Description:	PLAN 1686 E PT LOT 41		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage, a rear detached cabana and a hot tub.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 900.3.10(35)(A), By-law 569-2013

The maximum permitted gross floor area, including the attached garage, is 150 m^2 plus 25% of the lot area (376.45 m²), up to a maximum floor space index of 0.5 (452.9 m²).

Section 1(a), By-law 1993-108

The maximum permitted gross floor area, including the attached garage, is $150 \text{ m}^2 \text{ plus } 25\%$ of the lot area (376.45 m²).

Section 900.3.10(35)(A), By-law 569-2013 and Section 1(a), By-law 1993-108

The new dwelling will have a gross floor area of 150 m² plus 49.5% of the lot area (598.11 m²), with a floor space index of 0.66 (598.11 m²).

2. Section 10.20.40.70.(1), By-law 569-2013 and Section 320-40(A) The minimum required front yard setback is 7.56 m.

The new dwelling will be located 6.02 m from the front lot line.

3. Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.(B)(1)

The maximum permitted height of a building or structure is 9.5 m. The new dwelling will have a height of 10.87 m.

4. Section 10.20.40.10.(2)(B)(ii), By-law 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7 m. The new dwelling will have a side exterior main wall height of 7.15 m facing a side lot line.

- Section 320-42.1.B.(2) The maximum permitted soffit height is 6.5 m. The new dwelling will have a soffit height of 7.15 m.
 Section 10.20.40.20.(1), By-law 569-2013
- The maximum permitted dwelling length is 17 m. The new dwelling will have a length of 23.6 m.
- Section 10.20.40.30.(1), By-law 569-2013 The maximum permitted dwelling depth is 19 m.
 Section 320-42.1.(D)(1) The maximum permitted dwelling depth is 16.5 m.
 Section 10.20.40.30.(1), By-law 569-2013 and Section 320-42.1.(D)(1) The altered dwelling will have a depth of 26.03 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

- 2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- 3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
- 4. The proposal shall be constructed substantially in accordance with the red-lined plans submitted at the hearing and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

File Number: Owner:	A0130/17EYK NANCY A MCCAFFERY- BALAN	Zoning Ward:	RD & R2 Etobicoke-Lakeshore (05)
	WILLIAM KENNETH BALAN		
Agent:	MAKOW ARCHITECTS	Heritage:	Not Applicable
	ASSOCIATES LTD		
Property Address:	4 QUEEN MARYS DR	Community:	
Legal Description:	PLAN 1686 E PT LOT 41		

Allan Smithies (signed)

Dominic Gulli (signed)

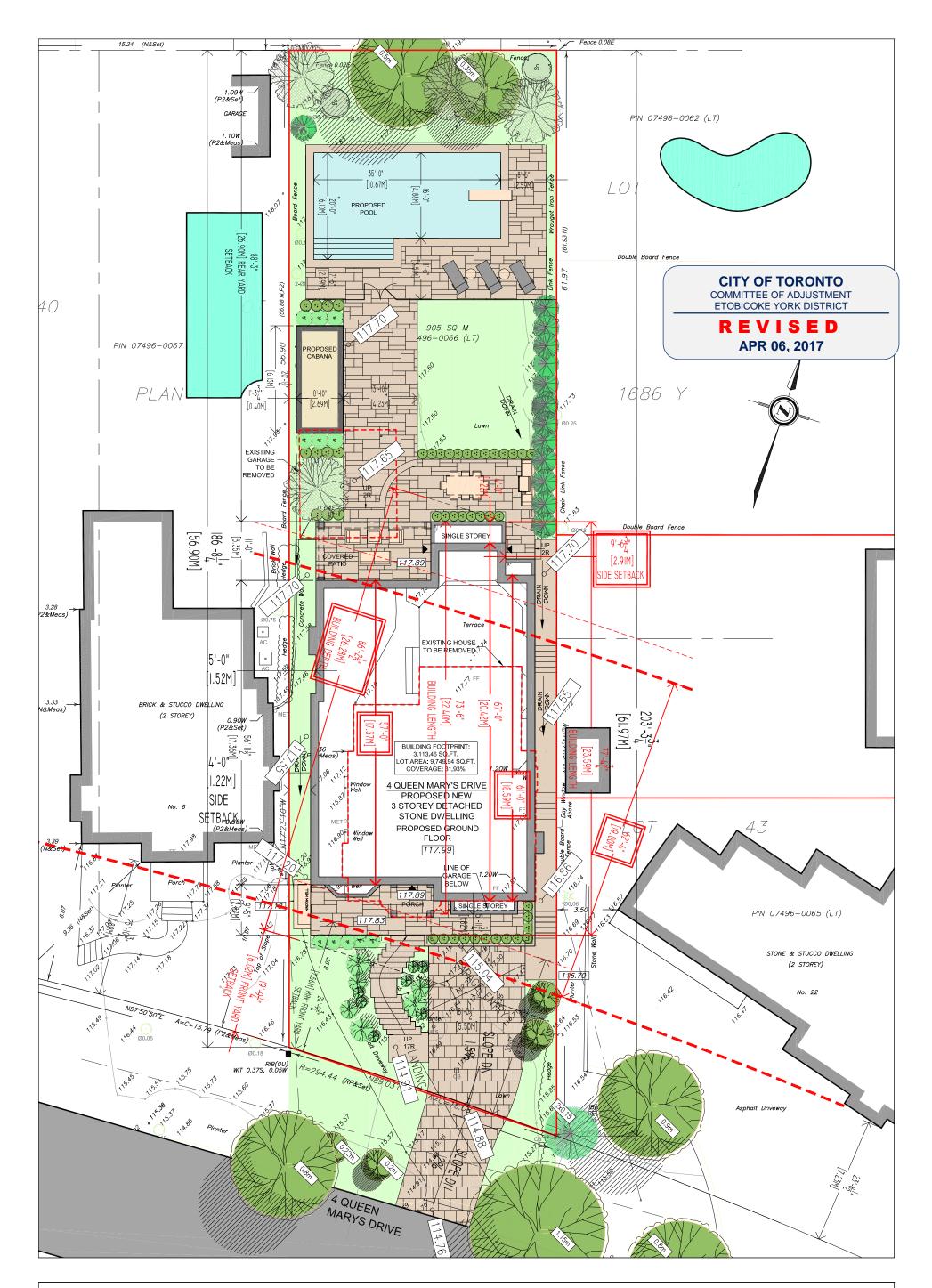
Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

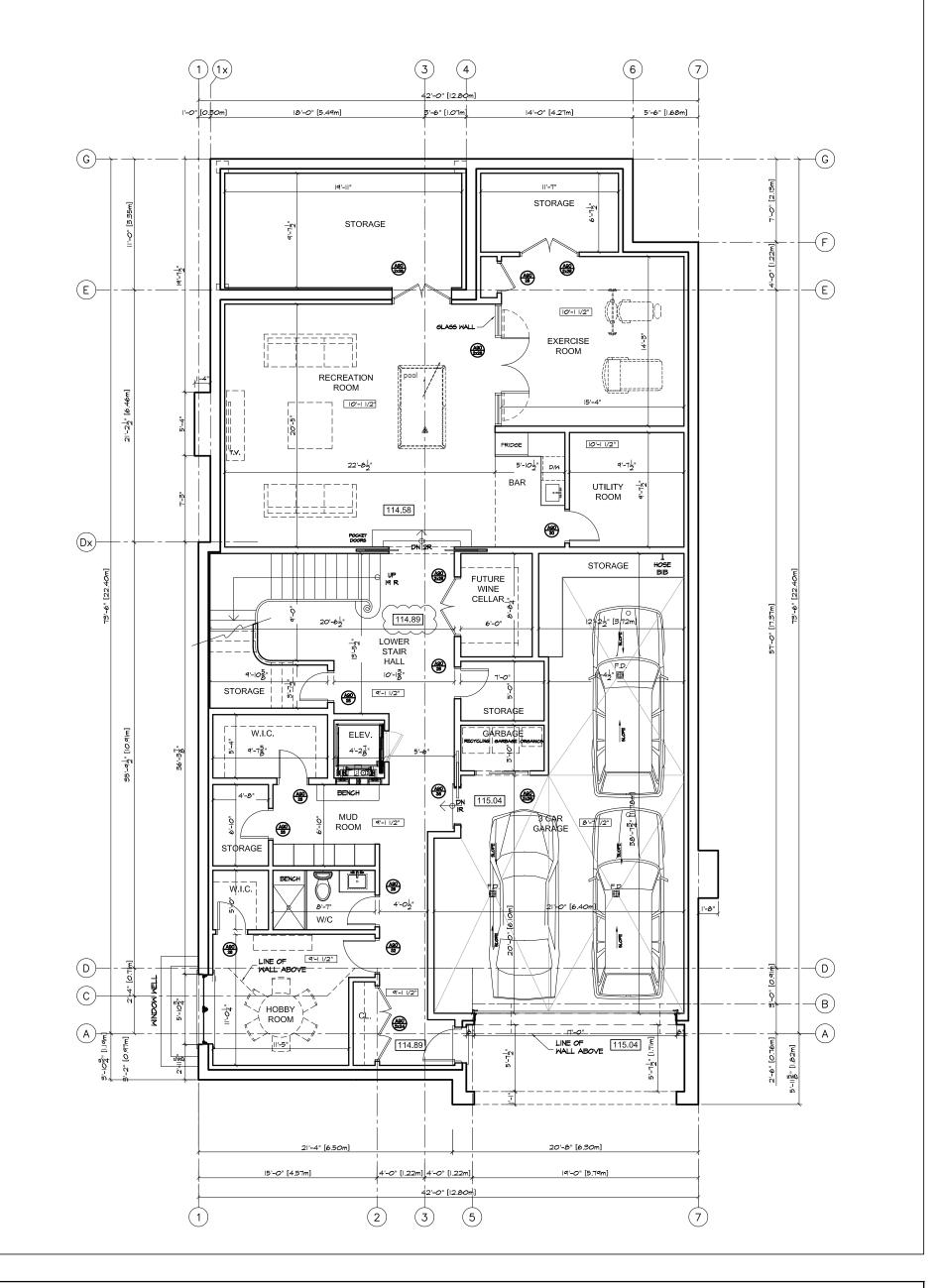
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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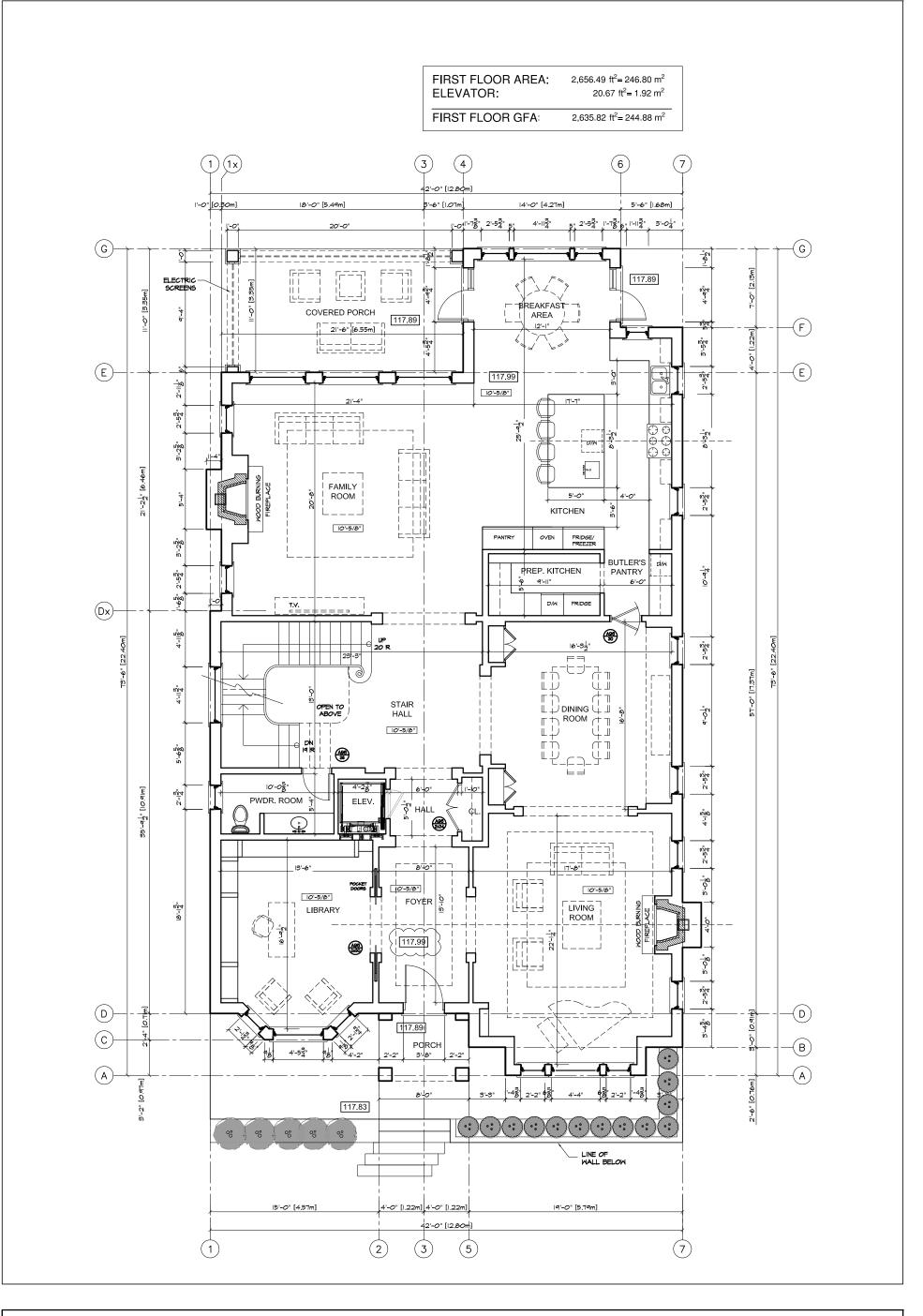
Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



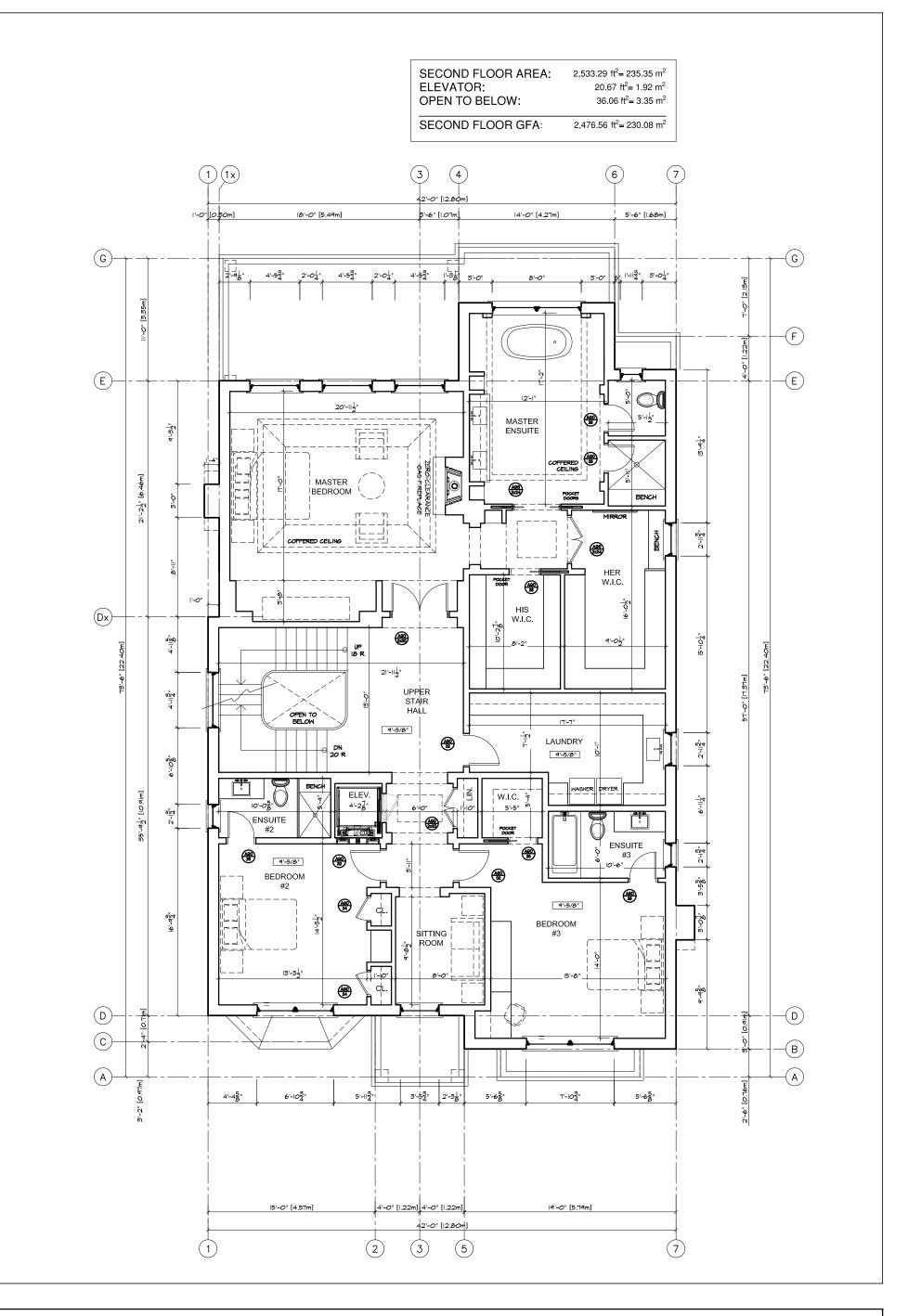
	BALAN RESIDENCE	SITE PLAN - SET B
MAKOW ASSOCIATES ARCHITECT INC.	4 QUEEN MARYS DRIVE ETOBICOKE, ON	SCHEMATIC DESIGN APRIL 7, 2017 1/16" = 1'-0"



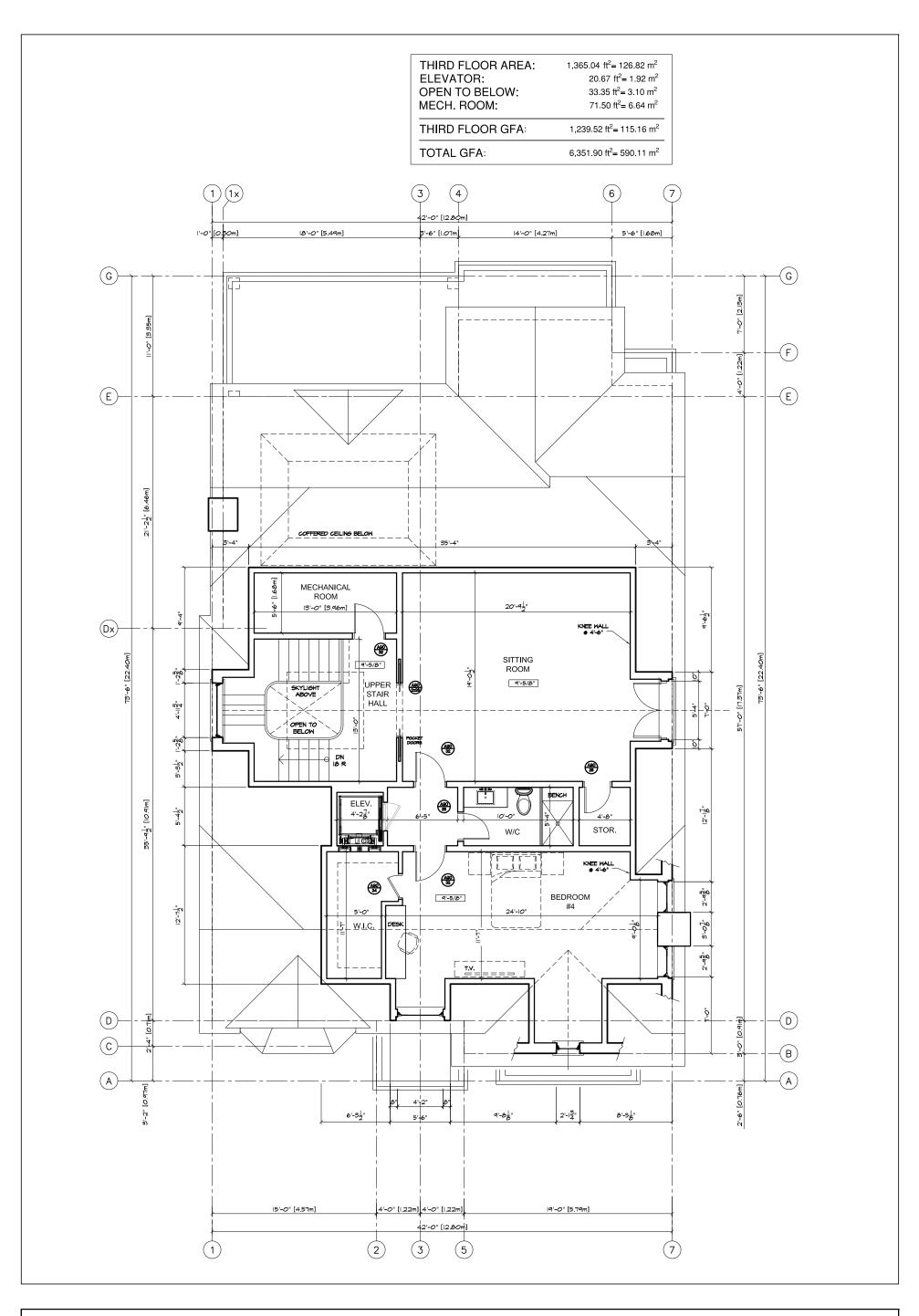
\bigcirc	BALAN RESIDENCE	SCHEMATIC DESIGN BASEMENT FLOOR PLAN - SET B
MAKOW ASSOCIATES	4 QUEEN MARYS DRIVE	APRIL 7, 2017
ARCHITECT INC.	ETOBICOKE, ON	SCALE: 1/8" = 1'-0"



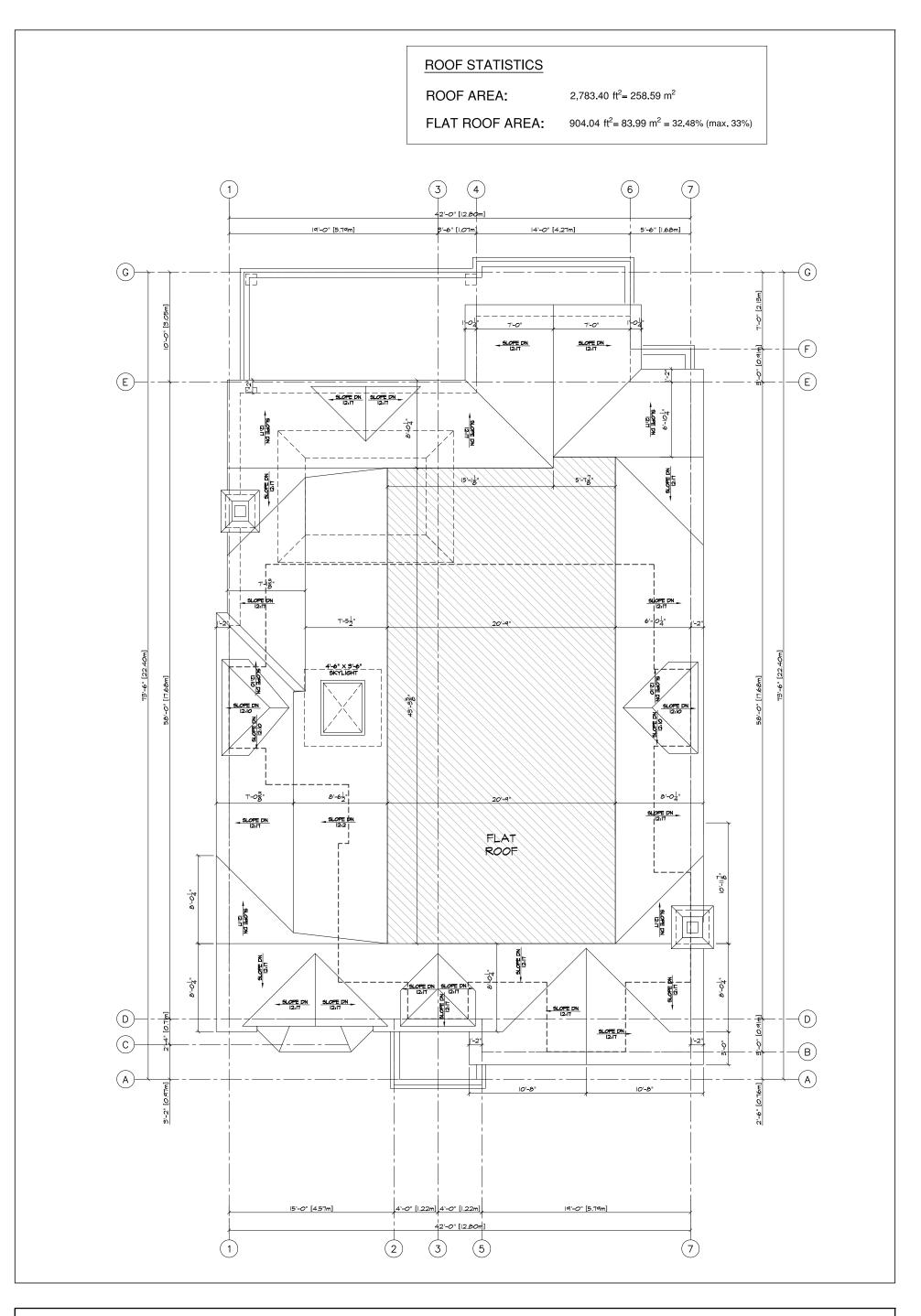
\bigcirc	BALAN RESIDENCE	SCHEMATIC DESIGN GROUND FLOOR PLAN - SET B
MAKOW ASSOCIATES	4 QUEEN MARYS DRIVE	APRIL 7, 2017
ARCHITECT INC.	ETOBICOKE, ON	SCALE: 1/8" = 1'-0"



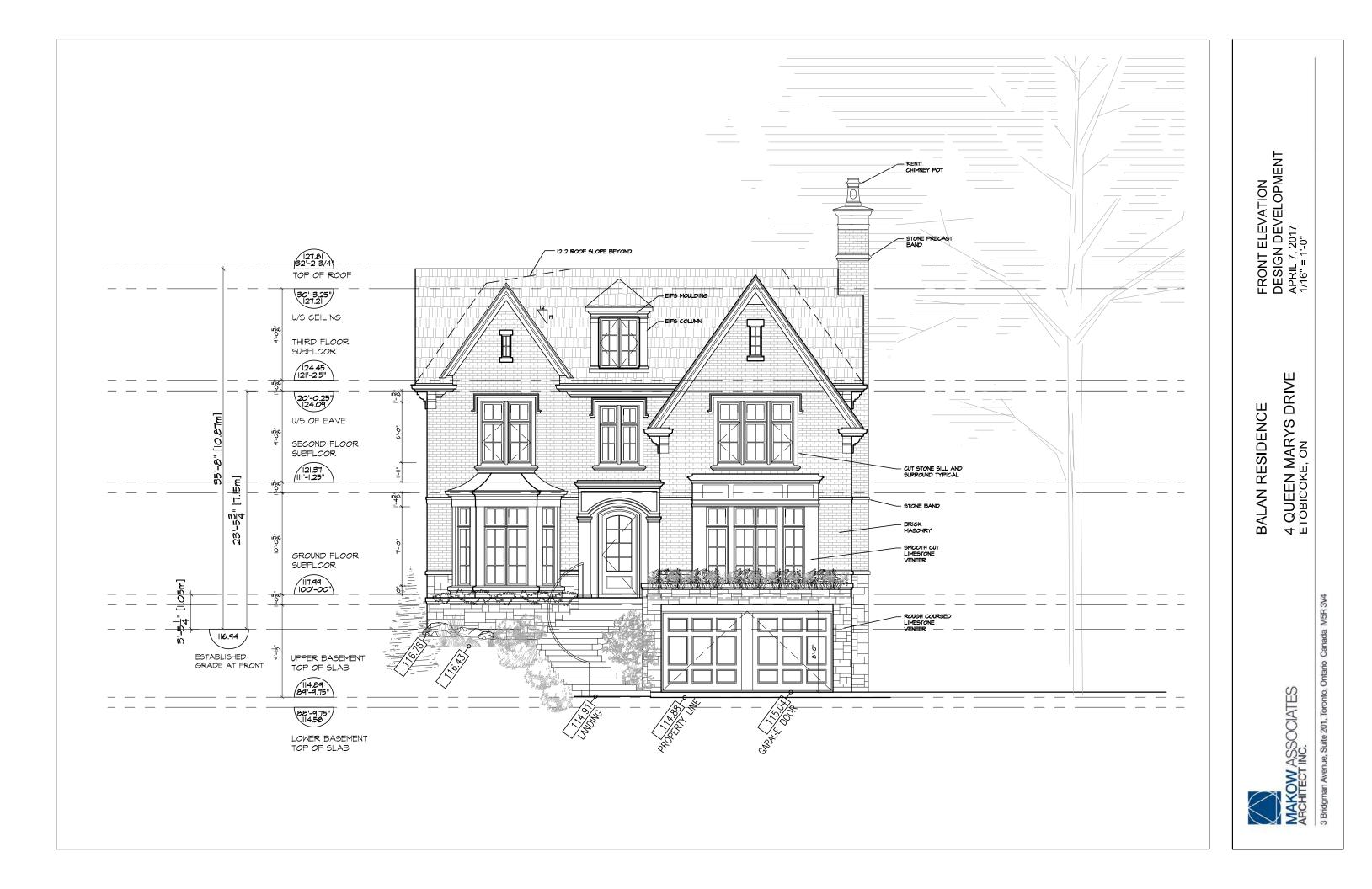
\bigcirc	BALAN RESIDENCE	SCHEMATIC DESIGN SECOND FLOOR PLAN - SET B
MAKOW ASSOCIATES	4 QUEEN MARYS DRIVE	APRIL 7, 2017
ARCHITECT INC.	ETOBICOKE, ON	SCALE: 1/8" = 1'-0"



BAL	AN RESIDENCE	SCHEMATIC DESIGN THIRD FLOOR PLAN - SET B
	JEEN MARYS DRIVE BICOKE, ON	APRIL 7, 2017 SCALE: 1/8" = 1'-0"



	BALAN RESIDENCE	SCHEMATIC DESIGN ROOF PLAN - SET B
MAKOW ASSOCIATES	4 QUEEN MARYS DRIVE	APRIL 7, 2017
ARCHITECT INC.	ETOBICOKE, ON	SCALE: 1/8" = 1'-0"





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Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0135/17EYK	Zoning	RD & R1
Owner(s):	MARQUIS MANORS LTD.	Ward:	Etobicoke Centre (04)
Agent:	EPIC DESIGNS INC	Heritage:	Not Applicable
Property Address:	68 TWYFORD RD	Community:	
Legal Description:	PLAN 4871 LOT 1 RP 64R1458 PA	ARTS 23 & 24	

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling, a south side two-storey (front) addition and a west side one-storey addition with a basement walk-out and deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 320-42.1.A.(1)

The maximum permitted floor space index is 0.45 times the lot area (380.29 m^2). The altered dwelling will have a floor space index of 0.49 times the lot area (411.75 m^2).

- Section 10.20.40.70.(3)(F), By-law 569-2013
 The minimum required side yard setback is 2.4 m.
 Section 320-42.1.C.(3)
 The minimum required side yard setback is 1.53 m.
 The altered dwelling will be located 1.46 m from the north side lot line.
- 3. Section 10.20.40.70.(5)(A), By-law 569-2013

The minimum required side yard setback is 7.5 m, where the depth of the building is greater than 17 m. The altered dwelling will be located 1.46 m from the north side lot line, where the depth of the building is greater than 17 m.

4. Section 320-42.1.B.(2)

The maximum permitted soffit height is 6.5 m. The altered dwelling will have a soffit height of 6.7 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0135/17EYK

The Minor Variance Application is Approved

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

File Number: RD & R1 A0135/17EYK Zoning Ward: Etobicoke Centre (04) Owner: MARQUIS MANORS LTD. Heritage: Not Applicable Agent: **EPIC DESIGNS INC** Property Address: Community: 68 TWYFORD RD Legal Description: PLAN 4871 LOT 1 RP 64R1458 PARTS 23 & 24

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0138/17EYK
Owner(s):	SHAWN FITZPATRICK
Agent:	MLA DESIGN BUILD
Property Address:	23 THIRTY FIFTH ST
Legal Description:	PLAN M9 BLK N LOT 5 LOT 6

Zoning Ward: Heritage: Community**:** RD & RS Etobicoke-Lakeshore (06) Listed

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

 Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 330-23.(A)(9) The maximum permitted floor space index is 0.35 times the area of the lot (167.5 m²). The altered dwelling will have a floor space index of 0.52 times the area of the lot (250.9 m²).

2. Section 10.20.40.20.(1), By-law 569-2013

The maximum permitted building length is 17 m. The altered dwelling will have a length of 18.36 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

File Number:A0138/17EYKOwner:SHAWN FITZPATRICKAgent:MLA DESIGN BUILDProperty Address:**23 THIRTY FIFTH ST**Legal Description:PLAN M9 BLK N LOT 5 LOT 6

Zoning Ward: Heritage: Community: RD & RS Etobicoke-Lakeshore (06) Listed

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0139/17EYK	Zoning	RD & R2
Owner(s):	ANDREW MCLAUCHLIN	Ward:	Etobicoke-Lakeshore (05)
	NIKKI ANNE MCLAUCHLIN		
Agent:	NIKKI ANNE MCLAUCHLIN	Heritage:	Not Applicable
Property Address:	53 RENOWN RD	Community:	
Legal Description:	PLAN 1602 PT LOT 115 RP 66R2	0042 PART 8	

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.3.10.(37)(C), By-law 569-2013 & Section 1(b)(1), By-law 1992-25
 The maximum permitted gross floor area, including an attached garage, is 150 m² plus 25% of the lot area (276.87 m²), up to a maximum floor space index of 0.5 (253.73 m²).
 The proposed dwelling, including the attached garage, will have a floor space index of 0.54 times the lot area (276 m²).

2. Section 320-42.E

The maximum permitted encroachment for a platform into the required rear yard setback is 1.6 m. The proposed platform will encroach 2.43 m into the required rear yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.

RD & R2 File Number: A0139/17EYK Zoning Ward: Owner: ANDREW MCLAUCHLIN Etobicoke-Lakeshore (05) NIKKI ANNE MCLAUCHLIN Agent: NIKKI ANNE MCLAUCHLIN Heritage: Not Applicable Community: Property Address: **53 RENOWN RD** PLAN 1602 PT LOT 115 RP 66R20042 PART 8 Legal Description:

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0141/17EYK
Owner(s):	2537129 ONTARIO CORP
Agent:	FRANK DIROMA
Property Address:	23 ANTIOCH DR
Legal Description:	PLAN 5057 LOT 102

Zoning Ward: Heritage: Community: RD & R2 Etobicoke Centre (03) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing: one-storey additions along the east and north sides, a new west side porch and to construct a second storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.70.(1), By-law 569-2013 The minimum required front yard setback is 8.42 m. The altered dwelling will be located 7.79 m from the front lot line.
- Section 320-42(A) The minimum required rear yard setback is 8.38 m. The altered dwelling will be located 6.38 m from the rear lot line.

3. Section 320-42.1(B)(2)

The maximum permitted dwelling height for a flat roof is 6.5 m. The altered dwelling will have a height of 6.98 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0141/17EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. Submission of a complete application for permit to injure or destroy privately owned trees.
- 2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

File Number:A0141/17EYKOwner:2537129 ONTARIO CORPAgent:FRANK DIROMAProperty Address:23 ANTIOCH DRLegal Description:PLAN 5057 LOT 102

Zoning Ward: Heritage: Community: RD & R2 Etobicoke Centre (03) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

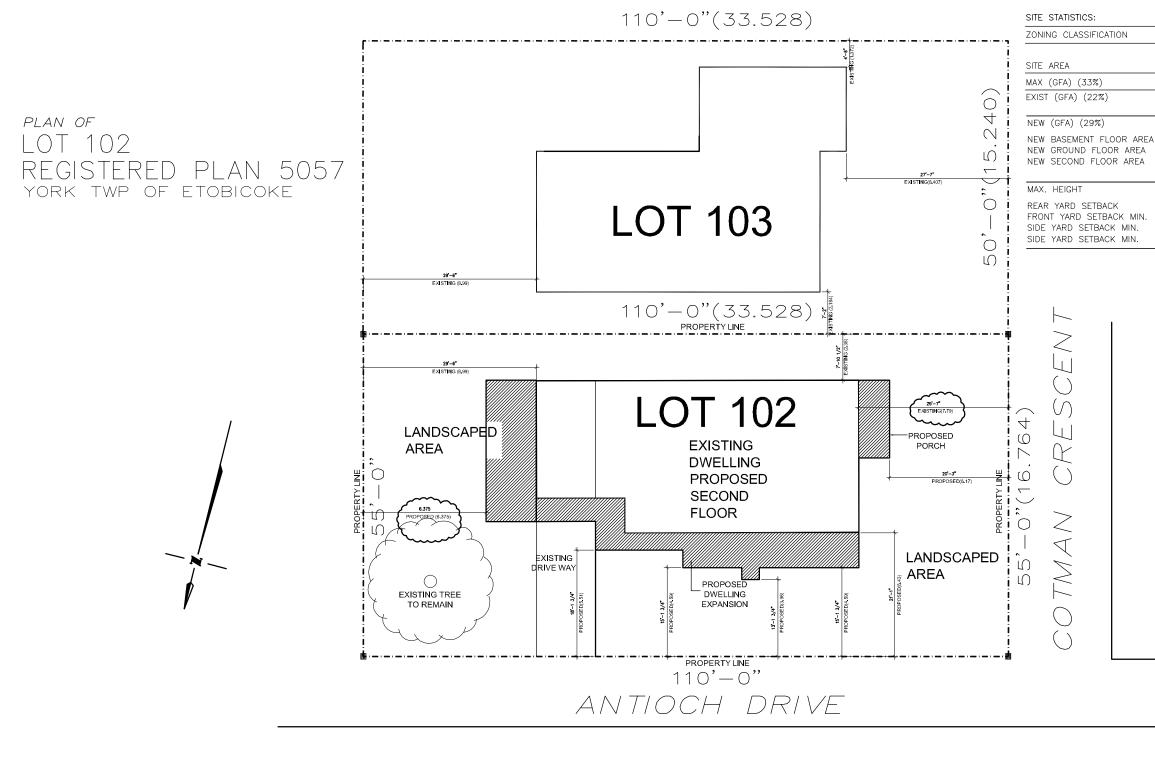
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

PROPOSED REMODEL & 2ND FLOOR ADDITION TO EXISTING DWELLING 23 ANTIOCH DRIVE, TORONTO

SITE PLAN INFORMATION TAKEN FROM PLAN OF SURVEY OF PART OF LOT 102, REGISTERED PLAN 5051 CITY OF TORONTO PREPARED BY SEWELL & SEWELL SUR GROUP. O.L.S. DATED:Sept. 28, 1958 SCALE: 1:150



	GENERAL NOTES
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	4. CHECK DRAWINGS AGAINST SPECIFICATIONS.
	5. USE THE LATEST REVISED DRAWINGS ONLY.
	LEGEND
	NEW WALL
	(SEE NOTES)
	EXISTING WALLS TO REMAIN
	EXISTING WALLS
	TO BE REMOVED
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	Refer to Approved Building Permit Drawings for construction purposes.
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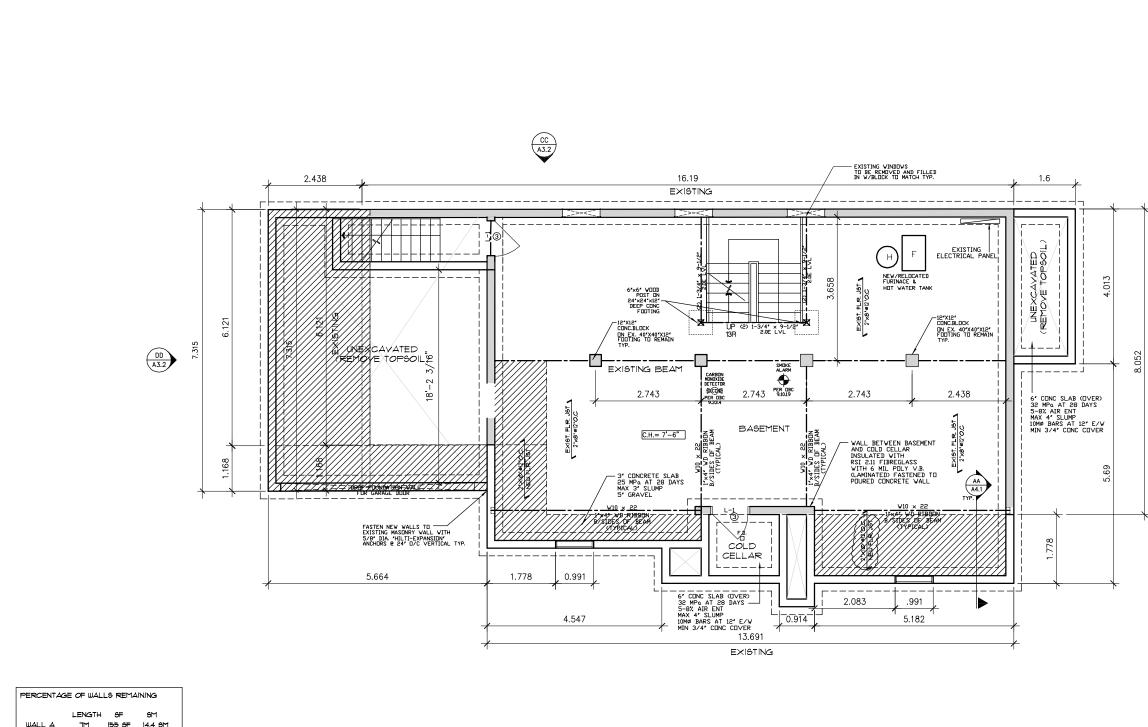
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WALL B	13.7M	360 SF	33.4 SM
WALL C	ВM	2 <i>Ø8</i> S F	19.3 SM
WALL D	13.7M	36Ø 5₽	33.4 SM
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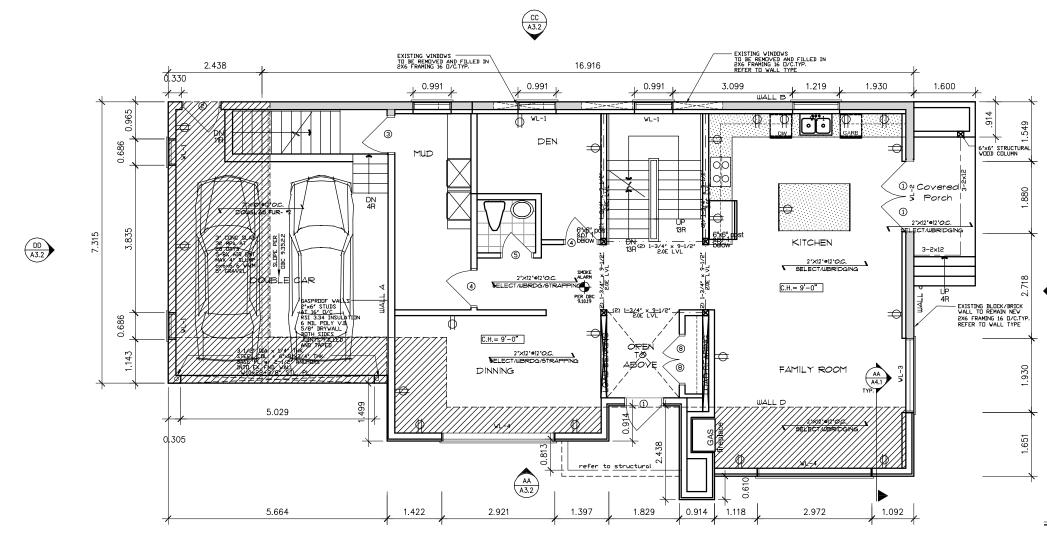


BASEMENT FLOOR PLAN

1388 SF

NOTE: REFER TO FLOOR DRAWINGS FOR APPR. FLOOR JOIST LAYOUT

GENERAL NOTES	
2. VERIFY ALL DIMENSIONS.	
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5 MINOR VARIANCE APPLICATION 4 ISSUE FOR REVISIONS	FEB 12 2017 JAN 9 2017
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	LENGTH	SF	SM
WALL A	٦M	155 SF	14.4 SM
WALL B	13.7M	360 SF	33.4 SM
WALL C	8M	2Ø8 SF	19.3 SM
WALL D	13.7M	36Ø SF	33.4 SM
TOTAL		lØ83 S F	
40% MIN		433.2 S F	
WALL D RE	MOVED	360 SF	

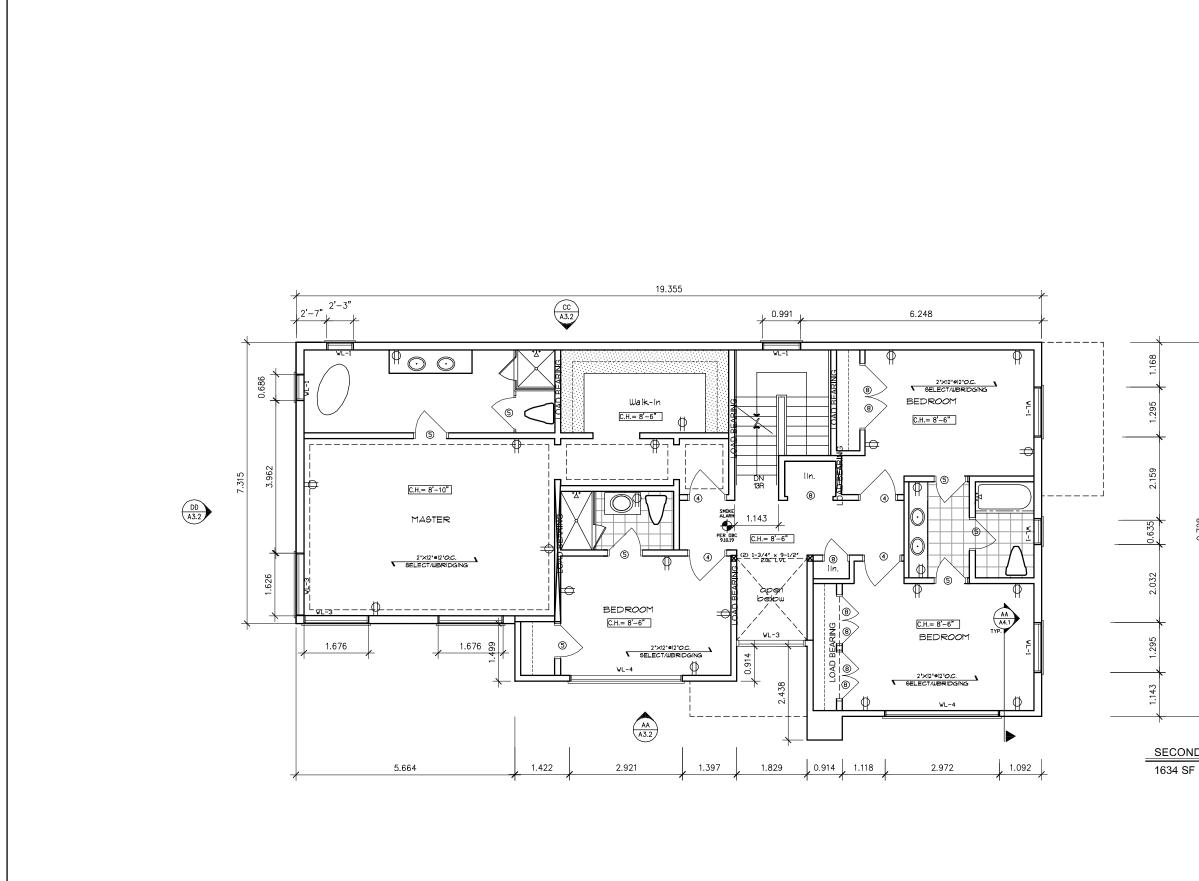
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GROUND FLOOR PLAN

1634 SF

NOTE: REFER TO FLOOR DRAWINGS FOR APPR. FLOOR JOIST LAYOUT



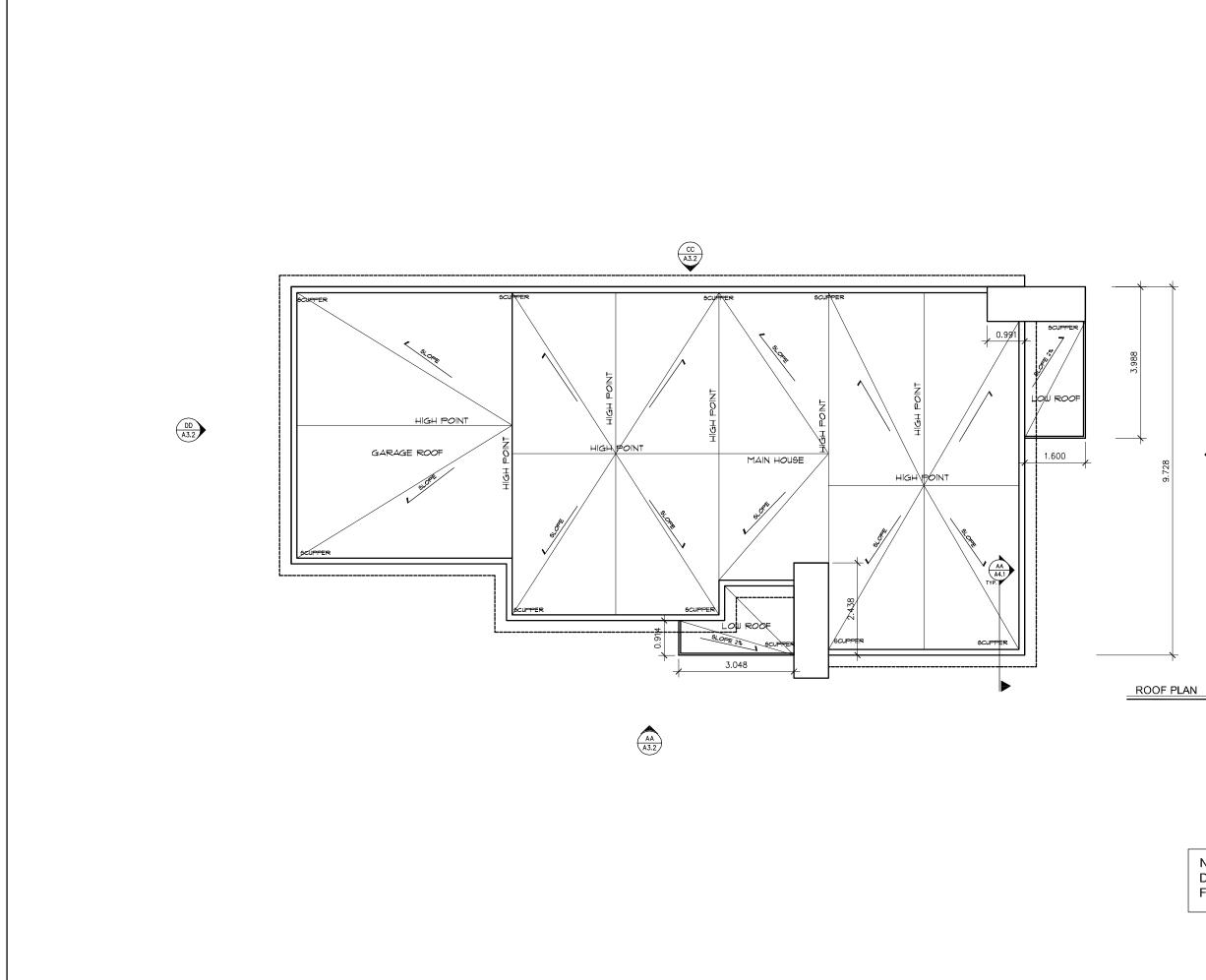
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	CONTRACTOR MUST VERIFY ALL DIVENSIONS ON THE JOB AND REPORT ANY DISCREPANICY TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK
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	1 CLIENT REVIEW OCT.31.2016
	No. Date
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	construction purposes. Drawings are NOT to be scaled.
	Contractors must verify all dimensions on the job and report any discrepancies before proceeding with
	the work. All drawings and specifications are instruments of
	service and the property of THE DESIGNER which must be returned at the completion of the work.
	The undersigned has reviewed and takes
	responsibility for this design and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
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SECOND FLOOR PLAN

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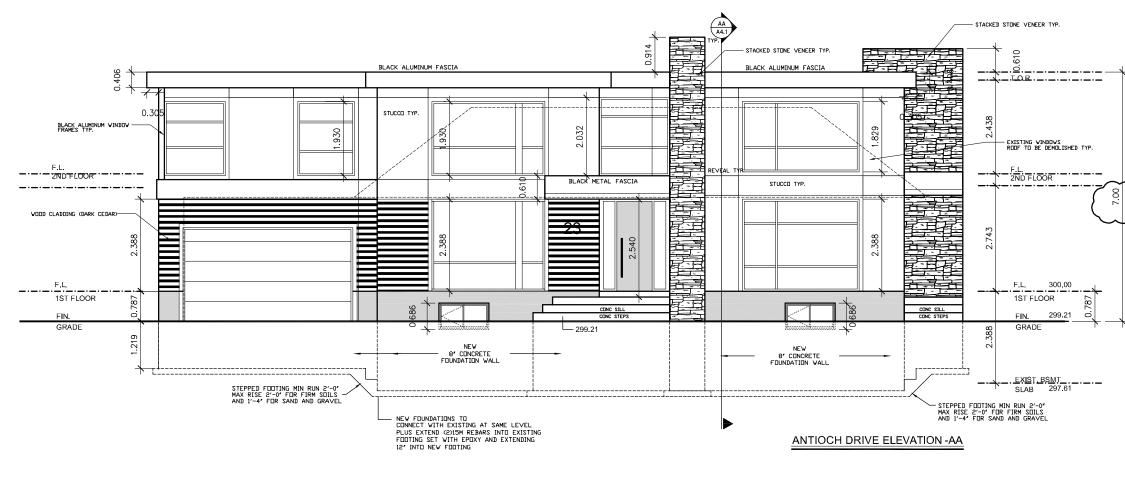
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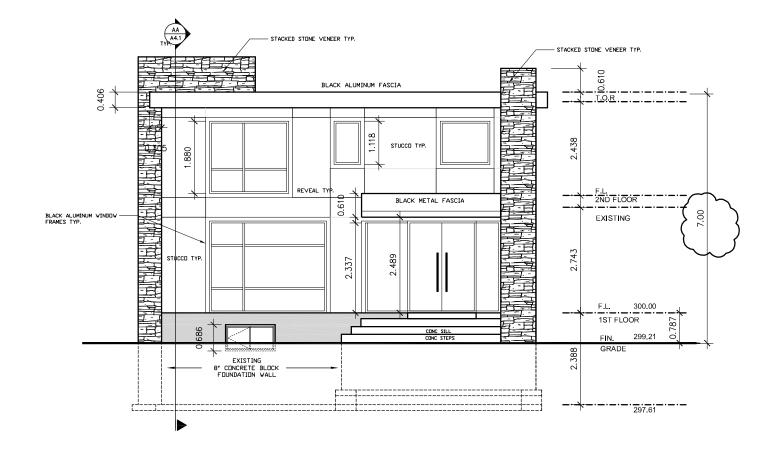
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NOTE: REFER TO FLOOR DRAWINGS FOR APPR. FLOOR JOIST LAYOUT



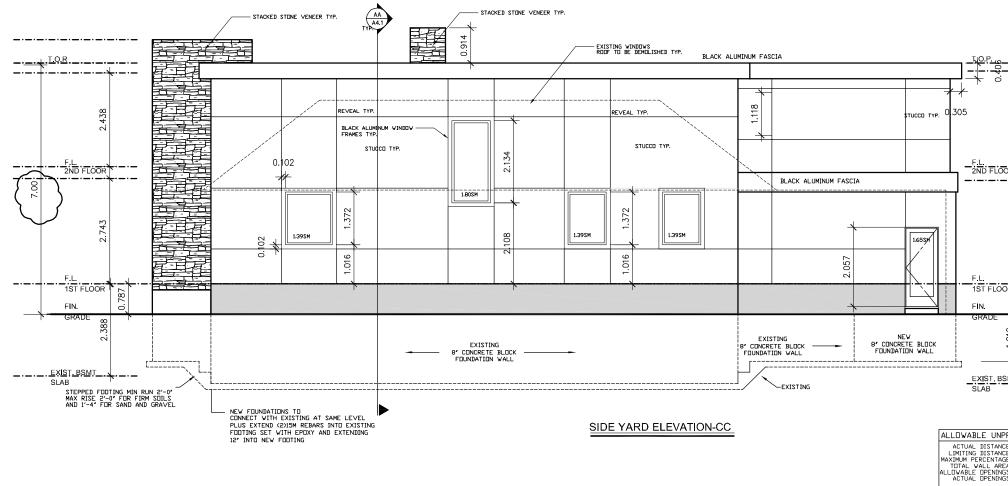
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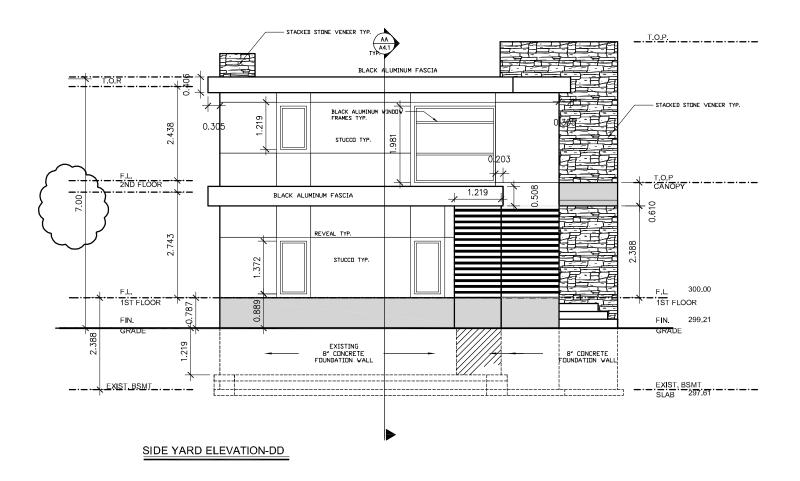


COTMAN CRESCENT ELEVATION-BB

GENERAL N	OTES
1. ALL DIMENSIONS	
2. VERIFY ALL DIVE	
3. DO NOT SCALED	DRAWINGS.
	GS AGAINST SPECIFICATIONS.
5. USE THE LATEST	REVISED DRAWINGS DNLY.
LEGE	END
	NEW WALL (SEE NOTES)
· · · · · · · · · · · · · · · · · · ·	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE REMOVED
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Revisions	
6 MINOR VAR	RIANCE APPLICATION FEB.12.2017
5 ISSUE FOR	ZONING COMMENTS JAN 30.2017
-	REVISIONS JAN.9.2017
3 ISSUE FOR 2 CLIENT REV	
1 CLIENT REV	
No.	Date
	oved Building Permit Drawings for
construction p	oved suiking Permit Drawings for purposes. NOT to be scaled.
Drawings are Contractors =	NOT to be scaled. nust verify all dimensions on the job
and report any	y discrepancies before proceeding with
the work. All drawings a	und specifications are instruments of
service and th	ne property of THE DESIGNER which ned at the completion of the work.
The undersign	ed has reviewed and takes
responsibility f	for this design and has the qualifications requirements set out in the Ontario
Building Code	to be a designer.
QUALIFICATIO	N INFORMATION (regured mises design
is exempt uno	ler 2.17.5.1. of the by ding code.)
	STANISCIA 14750
Name	Signature BCIN
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	GENERAL NOTES
	1. ALL DIMENSIONS IN IMPERAL.
	VERIFY ALL DIVENSIONS.
	3. DO NOT SCALE DRAWINGS.
	 CHECK DRAWINGS AGAINST SPECIFICATIONS.
	 USE THE LATEST REVISED DRAWINGS DNLY.
	LEGEND
	NEW WALL (SEE NOTES)
	EXISTING WALLS
	TO REMAIN
	EXISTING WALLS TO BE REMOVED
	ID BE REPOVED
	CONTRACTOR MUST VERIFY ALL DWENSIONS ON THE JOB AND REPORT ANY DISCREPANCY TO THE DESIGNER BEFORE
	PROCEEDING WITH THE WORK.
	PROCEEDING WITH THE WORK ALL DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF SERVICE AND THE PROPERTY OF THE DESIGNERWHOCH MUST BE RETURNED AT THE COMPLETION OF THE WORK
	ONLY BUILDING PERAIT ISSUED DRAWINGS SHALLBE USED FOR FABRICATION AND CONSTRUCTION PURPOSES.
	Revisions
	6 MINOR VARIANCE APPLICATION FEB.12,2017
	5 ISSUE FOR ZONING COMMENTS JAN 30.2017
	4 ISSUE FOR REVISIONS JAN 9.2017
	4 ISSUE FOR REVISIONS JAN 9/2017 3 ISSUE FOR PERMIT DEC.12.2016
	2 CLENT REVIEW NOV. 14.2016
	1 CLENT REVIEW OCT.31.2016
	No. Date
	Refer to Approved Building Permit Drawings for
	construction purposes. Drawings are NOT to be scaled.
	Contractors must verify all dimensions on the job
	and report any discrepancies before proceeding with
	the work. All drawings and specifications are instruments of
	service and the property of THE DESIGNER which
	must be returned at the completion of the work.
	The undersigned has reviewed and takes
	responsibility for this design and has the qualifications and meets the requirements set out in the Ontario
	Building Code to be a designer.
	QUALIFICATION INFORMATION (regard values design
	QUALIFICATION INFORMATION (required unless design is exempt under 2.17.5.1, of the bygging code.)
	ANTHONY STANISCIA 14750
	Name Signature BCIN
	REGISTRATION INFORMATION (required unless design is
OR	exempt under 2.17.4.1. of the building code.)
299.21	DIGITECH DESIGNS 31397
	Firm Name BCIN
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PROTECTED OPENINGS	ANTIOCH
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Revisions	
6 MINOR VARIANCE APPLICATION	FEB.12.2017
5 ISSUE FOR ZONING COMMENTS 4 ISSUE FOR REVISIONS	JAN 30.2017
4 ISSUE FOR REVISIONS 3 ISSUE FOR PERMIT	JAN 9.2017 DEC.12.2016
2 CLIENT REVIEW	NOV 14 2016
1 CLIENT REVIEW	OCT.31.2016 Date
Refer to Approved Building Permit construction purposes. Drawings are NOT to be scaled.	Livawing8 for
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Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0144/17EYK	Zoning	RM & R2
Owner(s):	KELSIE IRENE LEAMAN	Ward:	Etobicoke-Lakeshore (06)
	NICHOLAS JOHN MILBURY		
Agent:	NICHOLAS JOHN MILBURY	Heritage:	Not Applicable
Property Address:	5 WHEATFIELD RD	Community:	
Legal Description:	PLAN M134 PT LOT 246		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To enclose the existing front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.80.40.70.(1), By-law 569-2013 & Section 340-30.N

The minimum required front yard setback is 7.9 m. The altered dwelling will be located 2.81 m from the front lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

File Number:A0144/17EYKOwner:KELSIE IRENE LEAMANNICHOLAS JOHN MILBURYAgent:NICHOLAS JOHN MILBURYProperty Address:**5 WHEATFIELD RD**Legal Description:PLAN M134 PT LOT 246

Zoning Ward: RM & R2 Etobicoke-Lakeshore (06)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0147/17EYK	Zoning	RD & R2
Owner(s):	NALAKA GAN ABEYSINGHE	Ward:	Etobicoke Centre (03)
	NALIKA THARA		
	ABEYSINGHE		
Agent:	NALIKA THARA	Heritage:	Not Applicable
	ABEYSINGHE		
Property Address:	44 RANGOON RD	Community:	
Legal Description:	PLAN M752 LOT 164		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey north side addition which will include an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 320-40.C.(3) The minimum required front yard setback is 8.54 m. The altered dwelling will be located 8.33 m from the front lot line.
- 2. Section 10.20.40.70.(4), By-law 569-2013 and Section 320-42.1.C.(1) The minimum required side yard setback is 0.9 m. The altered dwelling will be located 0.77 m from the north side lot line.
- Section 10.5.40.60.(7)(B), By-law 569-2013
 The minimum required side yard setback for eaves is 0.3 m.

 Section 320-41.D
 The minimum required side yard setback for eaves is 0.4 m.

 Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D
 The eaves/roof projection of the altered dwelling will be located 0.21 m to the property line from the north side.
- Section 200.5.1.10.(2)(A)(iv), By-law 569-2013 and Section 320-18.(1)(c)
 The minimum required parking space width is 2.6 m and must be increase by 0.3 for each side of the parking space.
 The proposed parking space, within the proposed attached garage, will have a width of 2.75 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0147/17EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The site plan shall be revised, to the satisfaction of Traffic Planning / Right of Way Management, to include the following notations:

- a. "The applicant must obtain all required permits from the City's Right-of-Way Management Section of Transportation Services before excavating and encroaching into the municipal road allowance;" and
- b. "The applicant shall provide a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements.

File Number: Owner:	A0147/17EYK NALAKA GAN ABEYSINGHE NALIKA THARA	Zoning Ward:	RD & R2 Etobicoke Centre (03)
	ABEYSINGHE		
Agent:	NALIKA THARA	Heritage:	Not Applicable
	ABEYSINGHE		
Property Address:	44 RANGOON RD	Community:	
Legal Description:	PLAN M752 LOT 164		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0149/17EYK	Zoning	E & IC2
Owner(s):	MARQUES ANIBAL	Ward:	Etobicoke North (01)
	2494020 ONTARIO LIMITED		
Agent:	HITESH R KHATRI	Heritage:	Not Applicable
Property Address:	11 GOODMARK PL (UNIT 5)	Community:	
Legal Description:	PLAN M2009 LOT 19 BLK 34		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert a portion of the existing building (Unit 5) into a vehicle related use (truck and trailer repair).

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 304-32

A vehicle related use (truck and trailer repair) is not permitted in a multiple-occupany building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

E & IC2 File Number: A0149/17EYK Zoning Ward: Owner: MARQUES ANIBAL Etobicoke North (01) 2494020 ONTARIO LIMITED Agent: HITESH R KHATRI Heritage: Not Applicable Property Address: 11 GOODMARK PL (UNIT 5) Community: Legal Description: PLAN M2009 LOT 19 BLK 34

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

Zoning

File Number:	A0150/17EYK
Owner(s):	2312883 ONTARIO INC.
	2312883 ONTARIO INC
Agent:	RASEK ARCHITECTS
Property Address:	22 SIXTEENTH ST
Legal Description:	PLAN 1712 PT LOT 183

Ward: Etobicoke-Lakeshore (06) Heritage: Not Applicable Community:

RM & R2

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a new second storey addition above the existing dwelling, a new integral garage and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 350-31(F)(2) The maximum permitted floor space index/ gross floor area is 0.6 times the lot area (140.2 m²). The altered dwelling will have a floor space index/ gross floor area of 0.92 times the lot area (216 m²).
- 2. Section 900.6.10(23)(D)(i), By-law 569-2013 and Section 350-31(A)(4) The minimum required side yard setback is 0.6 m. The altered dwelling will be located 0.36 m from the south side lot line.
- 3. Section 10.80.40.10.(2)(A)(i), By-law 569-2013 The maximum permitted height of all front exterior main walls is 7 m. The front exterior main wall height of the altered dwelling will be 8 m.
- 4. Section 10.80.40.10.(4), By-law 569-2013

The maximum permitted first floor height is 1.2 m above established grade. The altered dwelling will have a first floor height of 2.44 m above established grade.

5. Section 350-26(A)(4)

A minimum of 6 m of access is required in front of a parking space. A total of 2.64 m of access will be provided in front of the parking space.

6. Section 10.5.50.10.(1)(D), By-law 569-2013 and Section 350-30.9(A), as amended by By-law 973-2006 A minimum of 75% of the required front yard landscaping must be maintained as soft landscaping (9.9 m²). A total of 64.7% of the required front yard landscaping will be maintained as soft landscaping (8.5 m²). The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- 2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 The site plan must be revised to indicate that the portion of the redundant asphalt driveway between the north edge of the proposed driveway and the property line with 24 Sixteenth Street will be removed and restored with sod;
 - 2.2 The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 2.3 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed new driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;
 - 2.4 The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits to construct any proposed the driveway from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)";

File Number:A0150/17EYKOwner:2312883 ONTARIO INC.2312883 ONTARIO INC2312883 ONTARIO INCAgent:RASEK ARCHITECTSProperty Address:**22 SIXTEENTH ST**Legal Description:PLAN 1712 PT LOT 183

Zoning Ward: RM & R2 Etobicoke-Lakeshore (06)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0152/17EYK	Zoning	RD
Owner(s):	OKSANA CHERCHYK	Ward:	Etobicoke-Lakeshore (05)
	BOHDAN CHERCHYK		
Agent:	STOYANOVSKYY	Heritage:	Not Applicable
	ARCHITECTS INC		
Property Address:	34 SWAN AVE	Community:	
Legal Description:	PLAN 4455 LOT 2		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached gargage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.3.10.(21)(C), By-law 569-2013 & Section 1(b)(1), By-law 1992-23

The maximum permitted gross floor area is 135 m^2 plus 25% of the lot area (234 m^2). The proposed dwelling will have a gross floor area of 135 m^2 plus 35% of the lot area (300 m^2).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

File Number: A0152/17EYK Zoning Ward: Owner: OKSANA CHERCHYK **BOHDAN CHERCHYK** Agent: STOYANOVSKYY Heritage: ARCHITECTS INC **34 SWAN AVE** Property Address: Community: Legal Description: PLAN 4455 LOT 2

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

RD

Etobicoke-Lakeshore (05)

Not Applicable

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0165/17EYK	Zoning	RD & R2
Owner(s):	LARYSA TERSHAKOWEC	Ward:	Etobicoke Centre (03)
	GREGORY TERSHAKOWEC		
Agent:	SAVA MIOKOVIC	Heritage:	Not Applicable
Property Address:	4 SAVALON CRT	Community:	
Legal Description:	PLAN 7168 LOT 4		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.70.(2)(B), By-law 569-2013 and Section 320-42.A

The minimum required rear yard setback is 8.39 m. The altered dwelling will be located 6.47 m from the rear lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the site and elevation plans submitted and held on file by the Committee of Adjustment office and date stamped as received on February 22, 2017, the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

RD & R2 File Number: A0165/17EYK Zoning Ward: Owner: LARYSA TERSHAKOWEC Etobicoke Centre (03) **GREGORY TERSHAKOWEC** Agent: SAVA MIOKOVIC Heritage: Not Applicable Property Address: Community: **4 SAVALON CRT** Legal Description: PLAN 7168 LOT 4

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

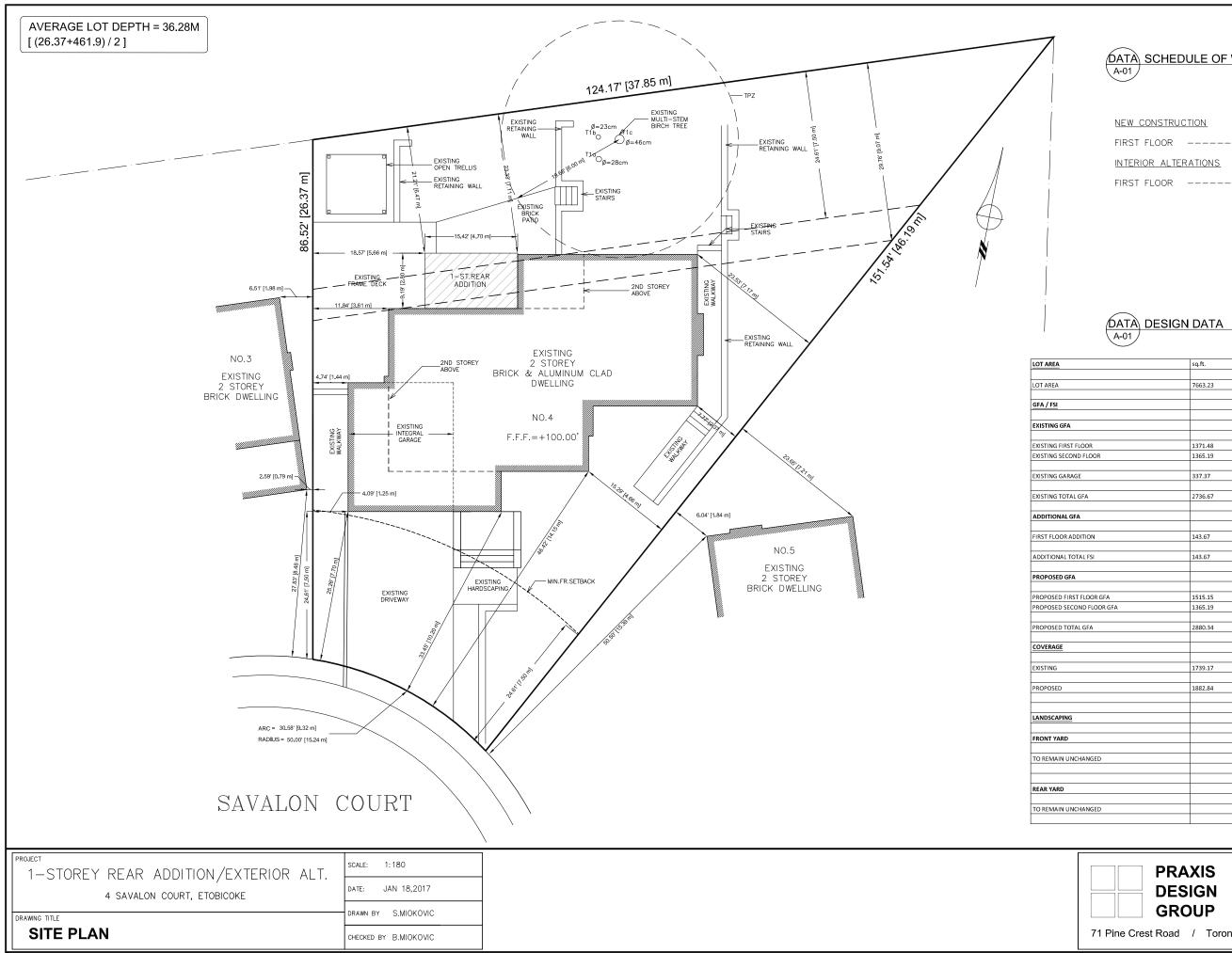
Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



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A-01	

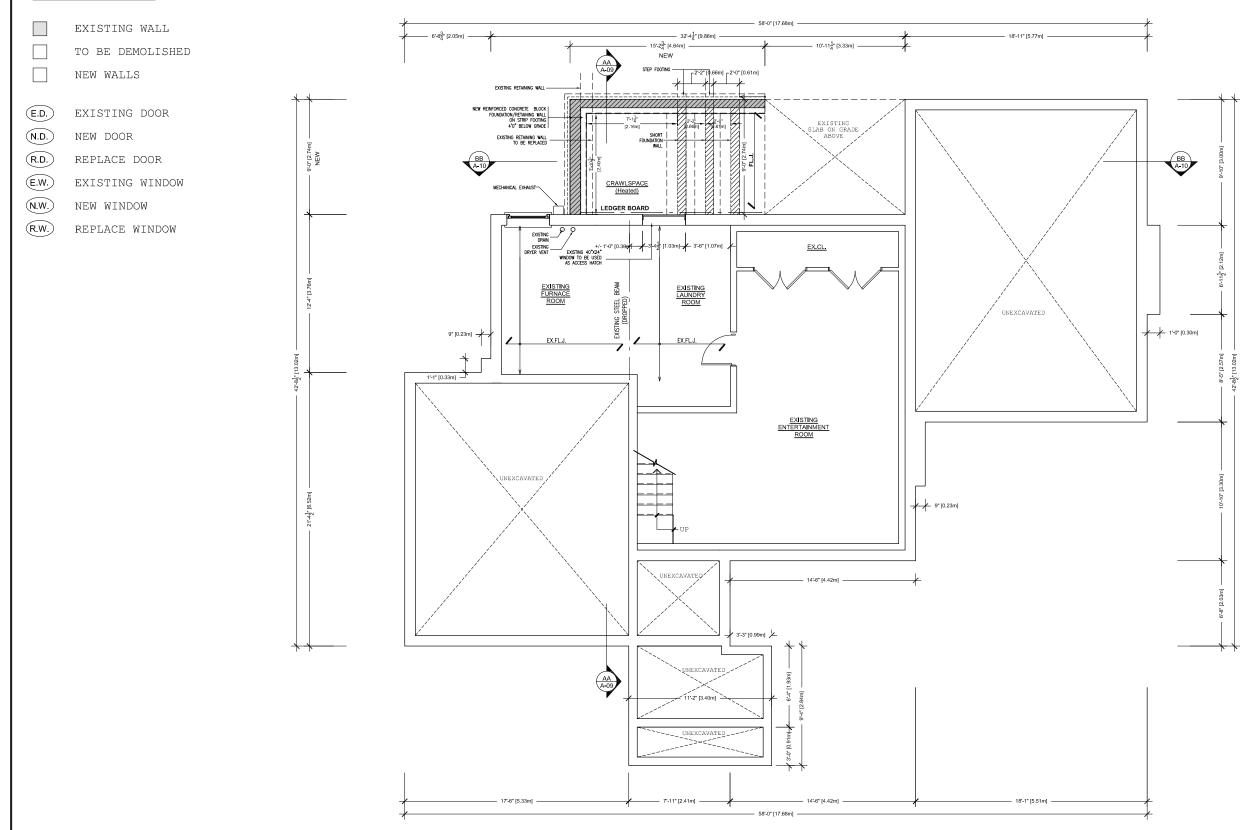
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FIRST FLOOR ----- 20.00 SQ.M.

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	1365.19	126.83	17.81%	
	1505.15	120.65	17.01%	
	227.27	24.24	4.400/	
	337.37	31.34	4.40%	
	2736.67	254.24	35.71%	
	143.67	13.35	1.87%	
	143.67	13.35	1.87%	
	1515.15	140.76	19.77%	
-A	1365.19	126.83	17.81%	
	2880.34	267.59	37.59%	
	2000101	20/100	0,100,10	
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	1/35.1/	101.57	22.0378	
	1002.04	174.02	24.570/	
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PRAXIS DESIGN GROUP		ile: @praxis	41 des	6-769-0333 6-887-2396 igngroup.ca igngroup.ca	Sheet: A — () 1
Pine Crest Road / Toronto	1	ON	/	M6P 3G6	

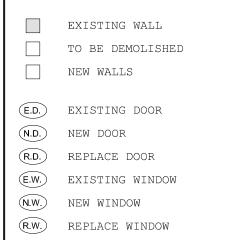
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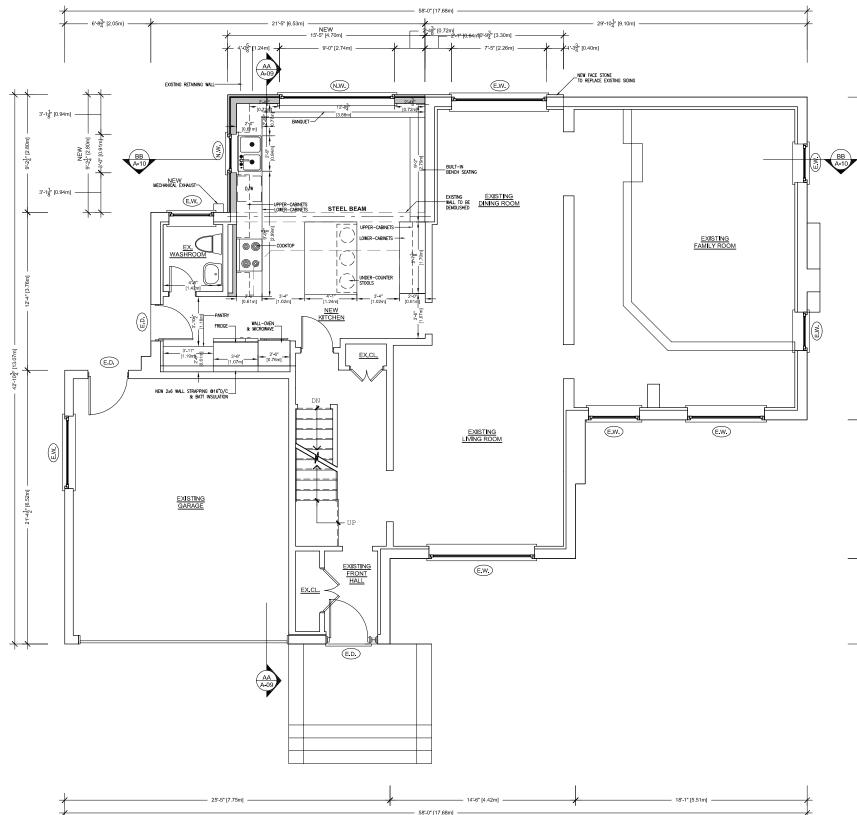


ſ	PROJECT 1-STOREY REAR ADDITION/EXTERIOR ALT.	SCALE: 1:90
	4 SAVALON COURT, ETOBICOKE	date: JAN 18,2017
	DRAWING TITLE	drawn by S.MIOKOVIC
	BASEMENT FLOOR PLAN	CHECKED BY S.MIOKOVIC



DRAWING LEGEND:

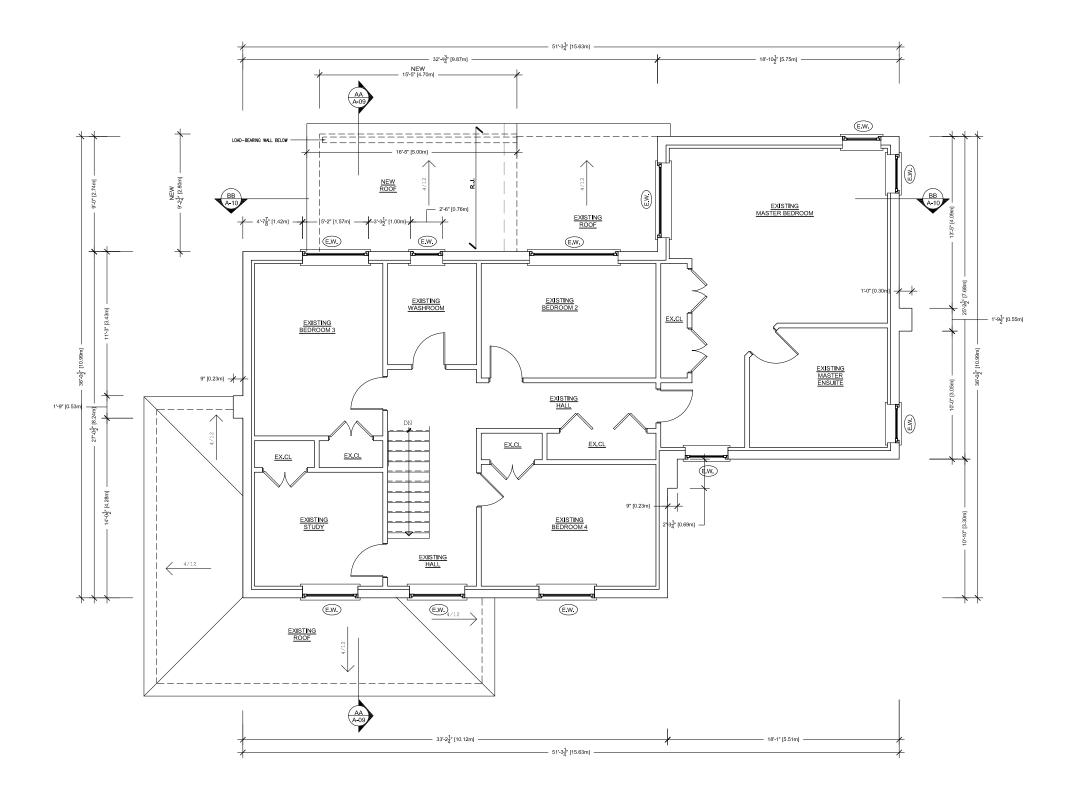




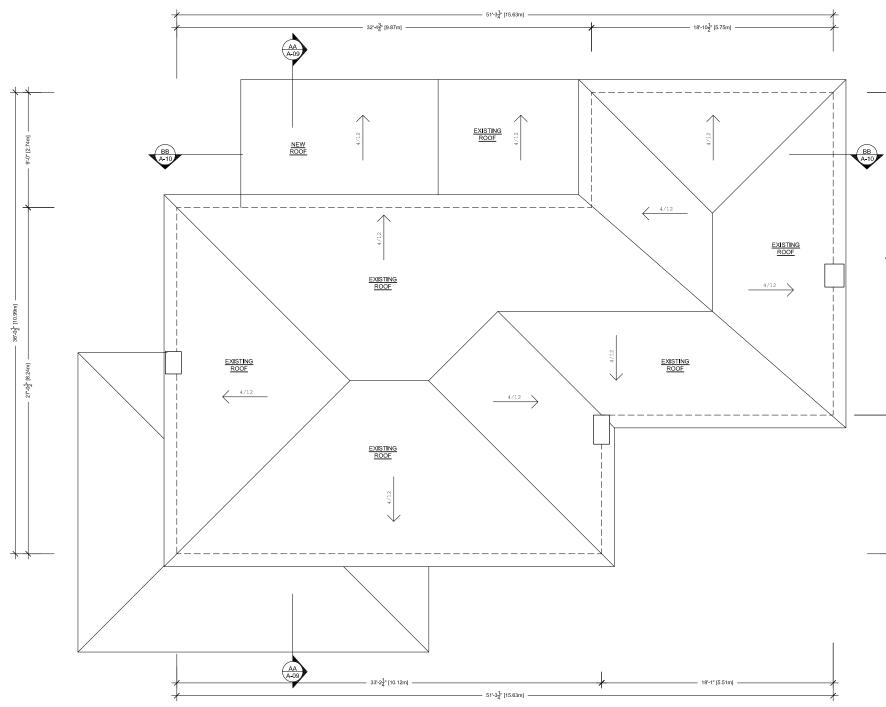
1-STOREY REAR ADDITION/EXTERIOR ALT.	SCALE: 1:90
4 SAVALON COURT, ETOBICOKE	DATE: JAN 18,2017
DRAWING TITLE	drawn by S.MIOKOVIC
FIRST FLOOR PLAN	CHECKED BY S.MIOKOVIC





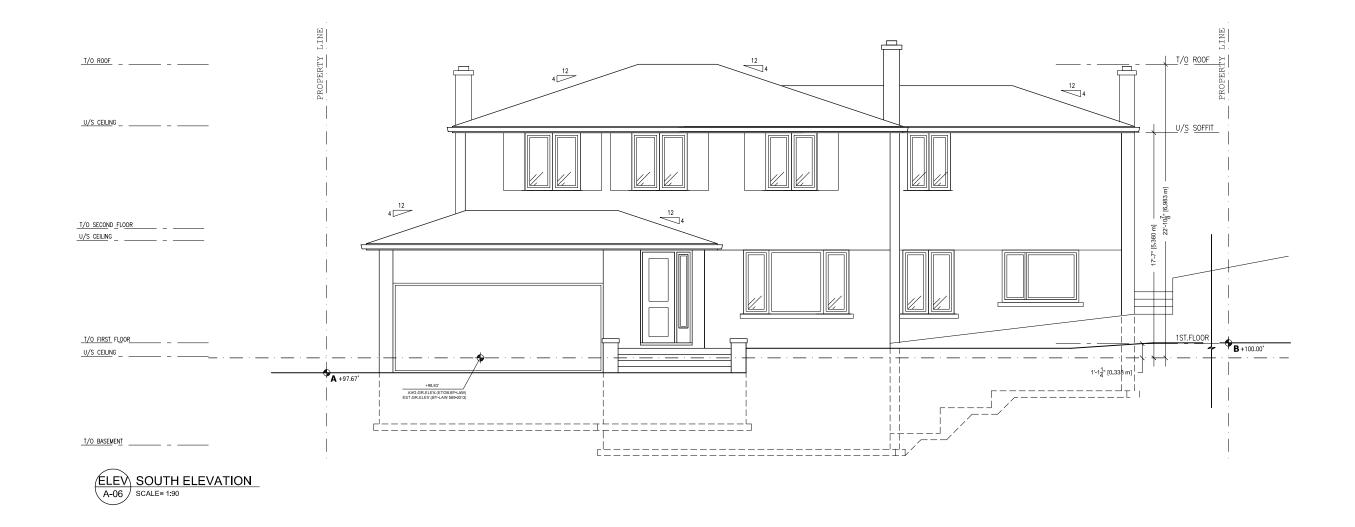






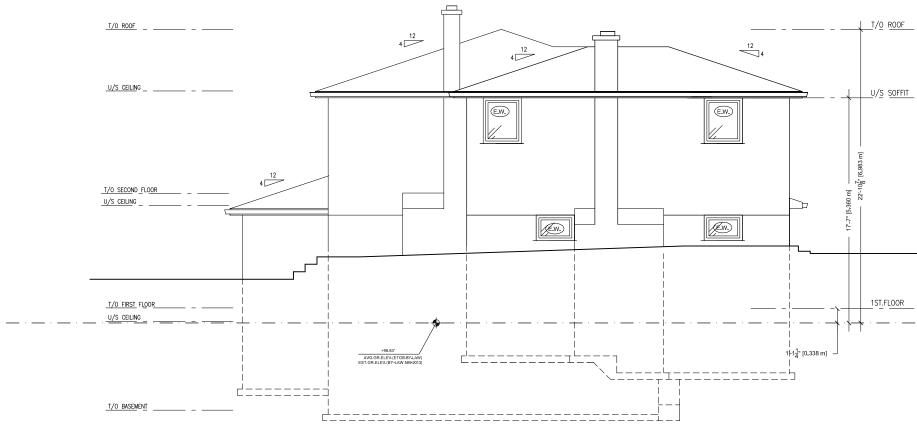






PROJECT 1-STOREY REAR ADDITION/EXTERIOR ALT.	SCALE: 1:90
4 SAVALON COURT, ETOBICOKE	date: JAN 18,2017
DRAWING TITLE	drawn by S.MIOKOVIC
ELEVATIONS	CHECKED BY S.MIOKOVIC

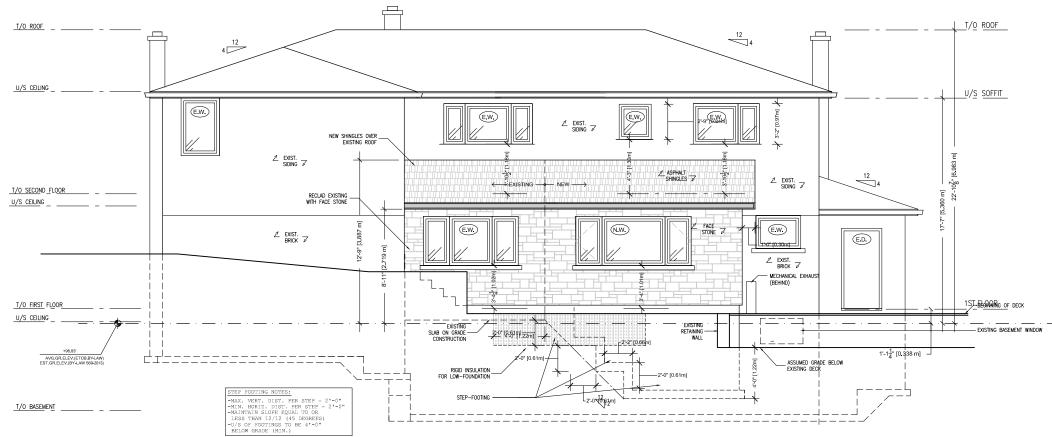






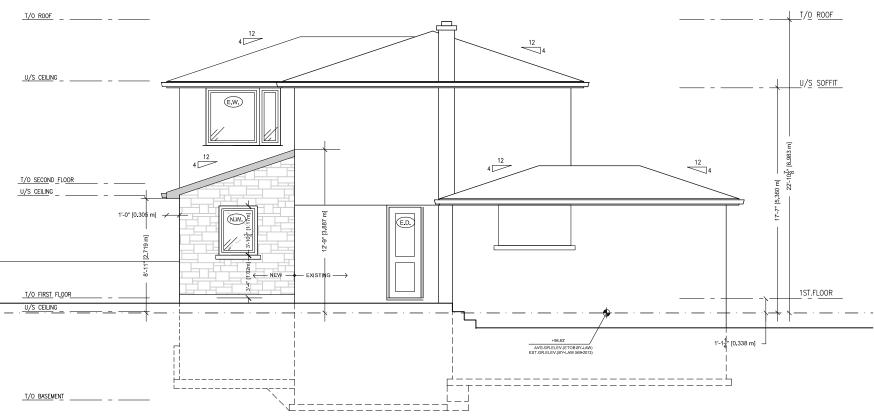
PROJECT 1-STOREY REAR ADDITION/EXTERIOR ALT.	scale: 1:90
,	date: JAN 18,2017
DRAWING TITLE	drawn by S.MIOKOVIC
ELEVATIONS	CHECKED BY S.MIOKOVIC

PRAXIS DESIGN GROUP	www.praxis	416-769-0333 416-887-2396 sdesigngroup.ca sdesigngroup.ca / M6P 3G6	sheet: A — () 6 b



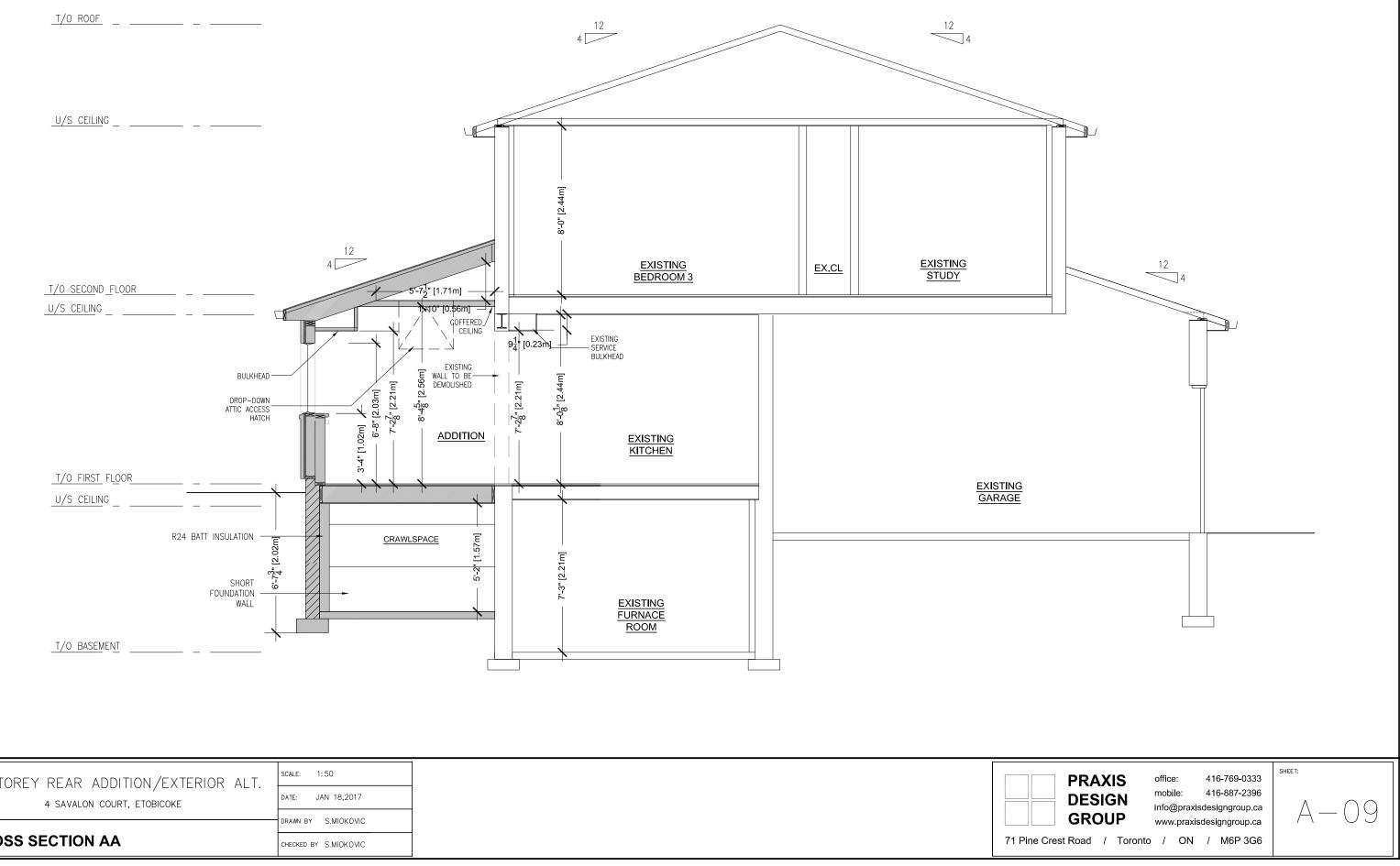
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4 SAVALON COURT, ETOBICOKE	date: JAN 18,2017
DRAWING TITLE NORTH ELEVATION	DRAWN BY S.MIOKOVIC



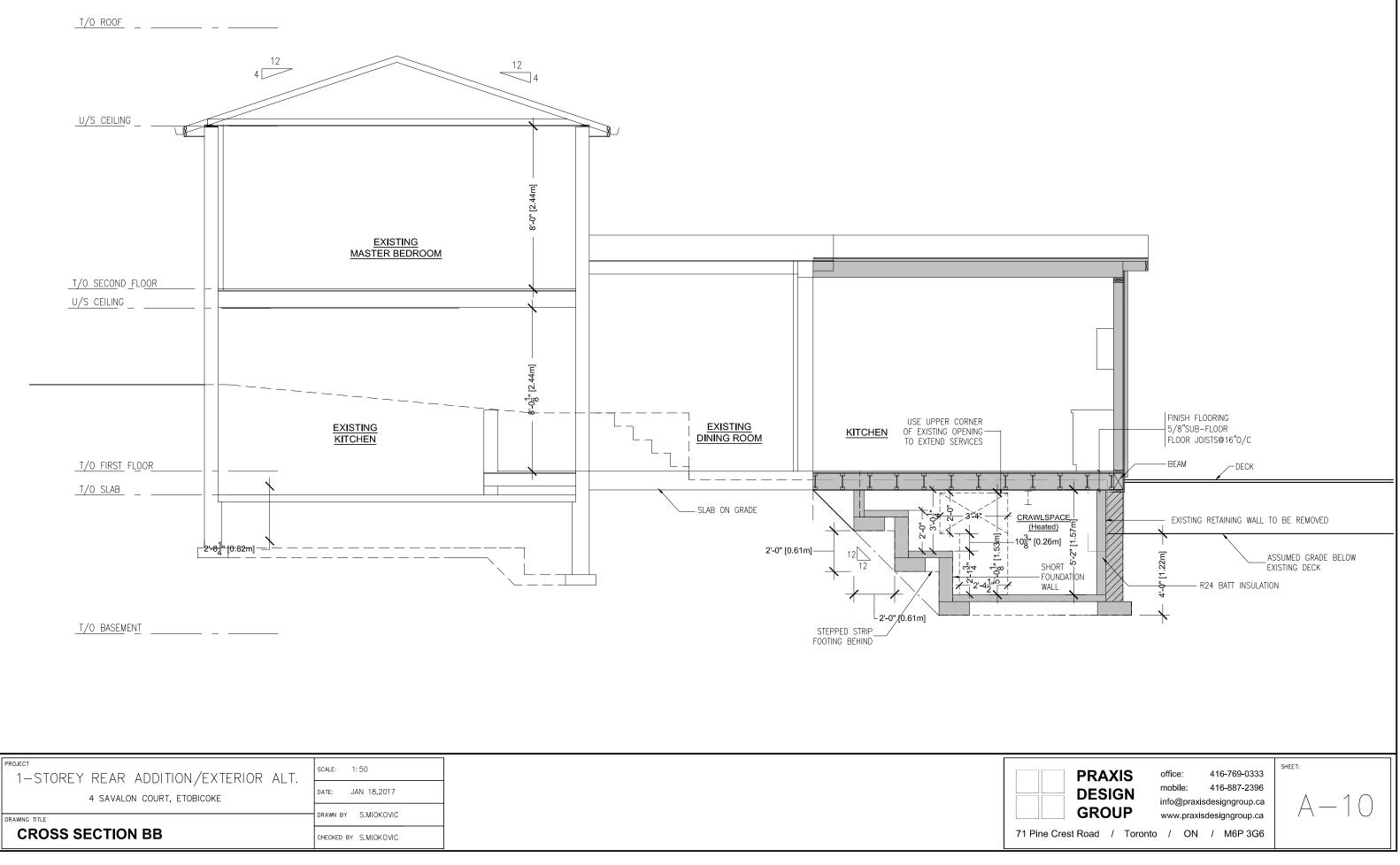


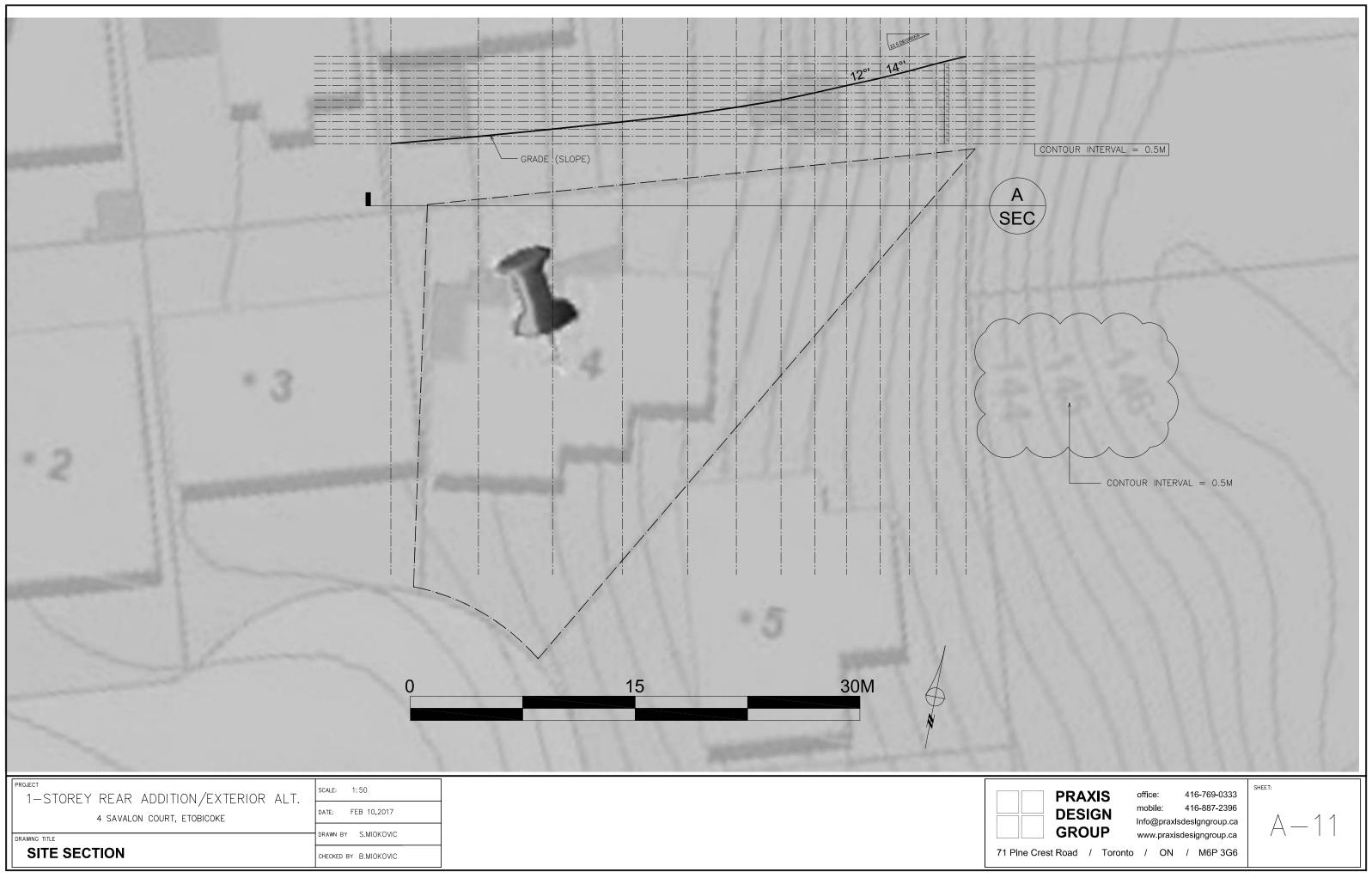
	CHECKED BY S.MIOKOVIC
4 SAVALON COURT, ETOBICOKE	DRAWN BY S.MIOKOVIC
	date: JAN 18,2017
1-STOREY REAR ADDITION/EXTERIOR ALT.	SCALE: 1:90

SHEET: PRAXIS office: 416-769-0333 mobile: 416-887-2396 DESIGN 08 info@praxisdesigngroup.ca A-GROUP www.praxisdesigngroup.ca Pine Crest Road / Toronto / ON / M6P 3G6



PROJECT 1-STOREY REAR ADDITION/EXTERIOR ALT.	SCALE: 1:50
4 SAVALON COURT, ETOBICOKE	date: JAN 18,2017
DRAWING TITLE	DRAWN BY S.MIOKOVIC
CROSS SECTION AA	CHECKED BY S.MIOKOVIC





PRAXIS DESIGN	office: 416-769-0333 mobile: 416-887-2396 Info@praxlsdeslgngroup.ca			6-887-2396 Igngroup.ca	Sheet:
GROUP Pine Crest Road / Toronto	•	oraxis ON	desi /	gngroup.ca M6P 3G6	



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

Zoning

File Number:	A0179/17EYK
Owner(s):	ANDREA HARTLING
	JOSHUA PAUL DISHER
Agent:	MLA DESIGN BUILD
Property Address:	31 FOURTH ST
Legal Description:	PLAN 1478 N PT LOT 61

Ward: Heritage: Community: RM & R2 Etobicoke-Lakeshore (06)

Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second and third storey addition above the existing dwelling and to construct a new front porch

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.80.40.(1)(A), By-law 569-2013 & Section 350-31.F.(2) The maximum permitted floor space index is 0.6 times the lot area (133.78 m²). The altered dwelling will have a floor space index is 0.84 times the lot area (186.57 m²).
- Section 900.3.10.(23)(D)(i), By-law 569-2013 & Section 350-31.A.(4) The minimum required side yard setback is 0.6 m. The altered dwelling will be located 0.44 m from the north side lot line.
- Section 10.5.40.60.(7), By-law 569-2013
 The minimum required side yard setback for eaves is 0.3 m.
 Section 350-13.B
 The minimum required side yard setback for eaves is 0.3 m.
 Section 10.5.40.60.(7), By-law 569-2013 & Section 350-13.B
 The eaves of the alerted dwelling will be located 0.04 m from the north side lot line.

4. Section 350-13.A

The maximum permitted front yard projection is 1.6 m. The altered covered front porch will project 1.91 m into the required front yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0179/17EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at <u>www.toronto.ca/trees/pdfs/contractor services agreement information.pdf</u>.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

File Number:A0179/17EYKOwner:ANDREA HARTLINGJOSHUA PAUL DISHERAgent:MLA DESIGN BUILDProperty Address:**31 FOURTH ST**Legal Description:PLAN 1478 N PT LOT 61

Zoning Ward: RM & R2 Etobicoke-Lakeshore (06)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:A639/15EYKOwner(s):LESLIE SAMUEL ESAUAgent:PETER JARUCZIKProperty Address:47 EIGHTH STLegal Description:PLAN 1592 N PT LOT 252

Zoning Ward: Heritage: Community: RM & R2 Etobicoke-Lakeshore (06) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.80.40.40.(1)(A), By-law & Section 350-31(F)(2) The maximum permitted floor space index is 0.6 times the lot area (174.2 m²). The new dwelling will have a floor space index of 0.75 times the lot area (218.2 m²).
- 2. Section 900.6.10.(23)(D)(i), By-law 569-2013 & Section 350-31(A)(4) The minimum required side yard setback is 0.6 m. The new dwelling will be located 0.47 m from the north side lot line.
- 3. Section 900.6.10.(23)(C), By-law 569-2013 & Section 350-31(A)(8) The maximum permitted height is 9.5 m. The new dwelling will have a height of 9.66 m.
- 4. Section 10.80.40.10.(2)(A)(i), By-law 569-2013 The maximum permitted height of all front exterior main walls is 7 m. The new dwelling will have a front exterior main wall height of 8.29 m.
- 5. Section 10.80.40.10.(4), By-law 569-2013 The maximum permitted first floor height is 1.2 m above established grade. The new dwelling will have a first floor height of 2.56 m above established grade.

6. Section 350-13(B)

The minimum required setback for eaves is 0.5 m from all side lot lines. The eaves of the new dwelling will be located 0.32 m from the north side lot line.

7. Section 350-26(A)(4)

A minimum of $\hat{6}$ m of access is required in front of a parking space. A total of 4.55 m of access will be provided in front of the parking space. The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
- 2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
- 3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The site plan drawings must be revised to clearly dimension and identify the portions of existing curb cut that will be closed.
 - 3.2 The site plan must include the following notations:
 - a. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality";
 - b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

File Number:A639/15EYKOwner:LESLIE SAMUEL ESAUAgent:PETER JARUCZIKProperty Address:47 EIGHTH STLegal Description:PLAN 1592 N PT LOT 252

Zoning Ward: Heritage: Community: RM & R2 Etobicoke-Lakeshore (06) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel