



Z:\15-013 47 Eight Street (Leslie Esau)\Siting & Grading\47 EIGHT ST - Site Plan_02.dwg



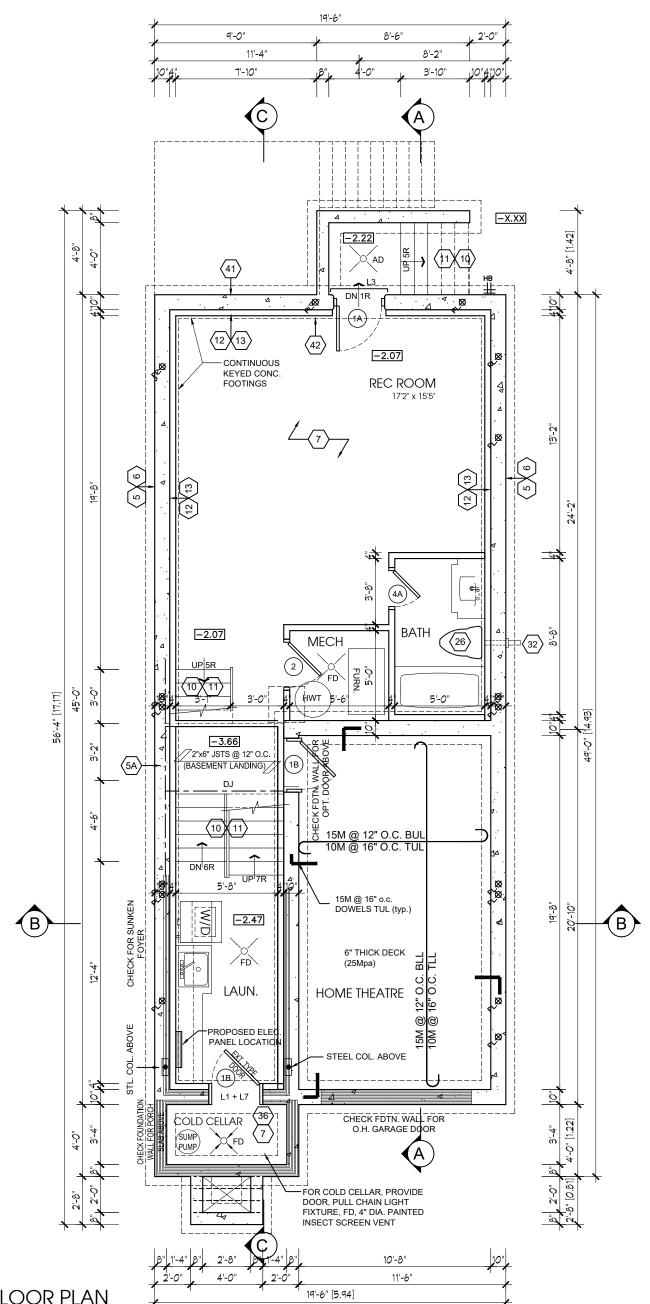
CUSTOM 47 EIGHTH STREET TORONTO, ONTARIO

TABLE 2.1.1.2.A				
COMPLIANCE PACKAGE				
COMPONENT	J			
CEILING WITH ATTIC SPACE MINIMUM RSI (R)-VALUE	8.81 (R50)			
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R)-VALUE	5.46 (R31)			
EXPOSED FLOOR MINIMUM RSI (R)-VALUE	5.46 (R31)			
WALLS ABOVE GRADE MINIMUM RSI (R)-VALUE	3.87 (R22)			
BASEMENT WALLS MINIMUM RSI (R)-VALUE	2.11 (R12)			
BELOW GRADE SLAB ENTIRE SURFACE >600 mm BELOW GRADE MINIMUM RSI (R)-VALUE	-			
EDGE OF BELOW GRADE SLAB <600 mm BELOW GRADE MINIMUM RSI (R)-VALUE	1.76 (R10)			
HEATED SLAB OR SLAB < 600 mm BELOW GRADE MINIMUM RSI (R)-VALUE	1.76 (R10)			
WINDOWS AND SIDING GLASS DOORS MAXIMUM U-VALUE	1.8			
SKYLIGHTS MAXIMUM U-VALUE	2.8			
SPACE HEATING EQUIPMENT MINIMUM AFUE	94%			
HRV MINIMUM EFFICIENCY	60%			
DOMESTIC HOT WATER HEATER MINIMUM EF	.67			

BUILDING AREAS	AREA		
LOWER MAIN FLOOR AREA (FOYER)	108 SF	10.03 m2	
UPPER MAIN FLOOR FLOOR AREA	778 SF	72.28 m2	
	0.45.05	70 50 0	

SECOND FLOOR AREA SUBTOTAL	845 SF 1731 SF	78.50 m2 160.81 m2	
DEDUCT ALL OPEN AREAS	9 SF	9 SF	
TOTAL NET AREA	1722 SF	160.0 m2	
FINISHED BSMT AREA	634 SF	58.9 m2	
COVERAGE (incl. PORCH, REAR WALKUP)	947 SF	88.0 m2	

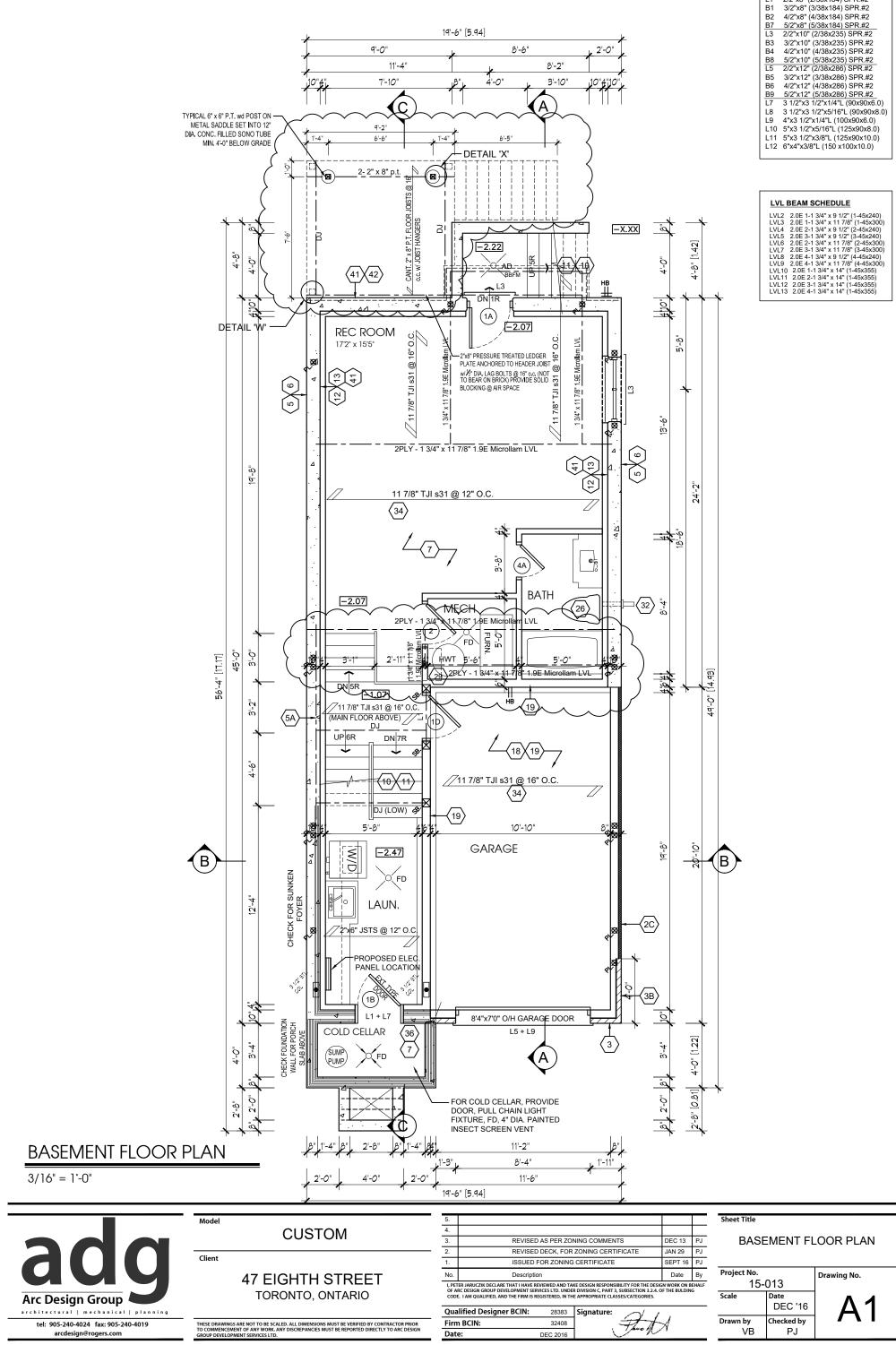




FOUNDATION FLOOR PLAN

3/16" = 1*-0"





LINTEL / BEAM SCHEDULE

L1	2/2"x8" (2/38x184) SPR.#2
B1	3/2"x8" (3/38x184) SPR.#2
B2	4/2"x8" (4/38x184) SPR.#2
B7	5/2"x8" (5/38x184) SPR.#2
L3	2/2"x10" (2/38x235) SPR.#2
B3	3/2"x10" (3/38x235) SPR.#2
B4	4/2"x10" (4/38x235) SPR.#2
B8	5/2"x10" (5/38x235) SPR.#2
L5	2/2"x12" (2/38x286) SPR.#2
B5	3/2"x12" (3/38x286) SPR.#2
B6	4/2"x12" (4/38x286) SPR.#2
B9	5/2"x12" (5/38x286) SPR.#2
L7	3 1/2"x3 1/2"x1/4"L (90x90x6.0)
L8	3 1/2"x3 1/2"x5/16"L (90x90x8.0)
L9	4"x3 1/2"x1/4"L (100x90x6.0)
L10	5"x3 1/2"x5/16"L (125x90x8.0)
L11	5"x3 1/2"x3/8"L (125x90x10.0)
L12	6"x4"x3/8"L (150 x100x10.0)

LVL BEAM SCHEDULE
UVL2 2.0E 1-1 3/4" × 9 1/2" (1-45x240) LVL3 2.0E 1-1 3/4" × 11 7/8" (1-45x300) UVL4 2.0E 1-3 3/4" × 11 7/8" (1-45x240) LVL5 2.0E 2-1 3/4" × 9 1/2" (2-45x240) LVL5 2.0E 2-1 3/4" × 9 1/2" (2-45x300) LVL6 2.0E 2-1 3/4" × 9 1/2" (4-45x300) LVL7 2.0E 4-1 3/4" × 9 1/2" (4-45x300) LV18 2.0E 4-1 3/4" × 9 1/2" (4-45x300) LV19 2.0E 4-1 3/4" × 11 1/8" (4-45x300) LV10 2.0E 1-1 3/4" × 14" (1-45x355) LV110 2.0E 2.1 3/4" × 14" 1/45x355) LV112 2.0E 4-1 3/4" × 14" 1/45x355) LV112 2.0E 4-1 4/4"× 14" 1/45x355)

LVL BEAM SCHEDULE

 LVL BEAM SCHEUDLE

 LVL2 2.0E 1-1 3/4" x 9 1/2" (1-45x240)

 LVL3 2.0E 1-1 3/4" x 17 7/8" (1-45x300)

 LVL4 2.0E 2-1 3/4" x 9 1/2" (2-45x240)

 LVL5 2.0E 3-1 3/4" x 9 1/2" (2-45x240)

 LVL5 2.0E 3-1 3/4" x 9 1/2" (2-45x240)

 LVL7 2.0E 3-1 3/4" x 17 7/8" (2-45x240)

 LVL7 2.0E 3-1 3/4" x 17 7/8" (2-45x240)

 LVL7 2.0E 3-1 3/4" x 17 7/8" (2-45x240)

 LVL9 2.0E 4-1 3/4" x 17 7/8" (4-45x240)

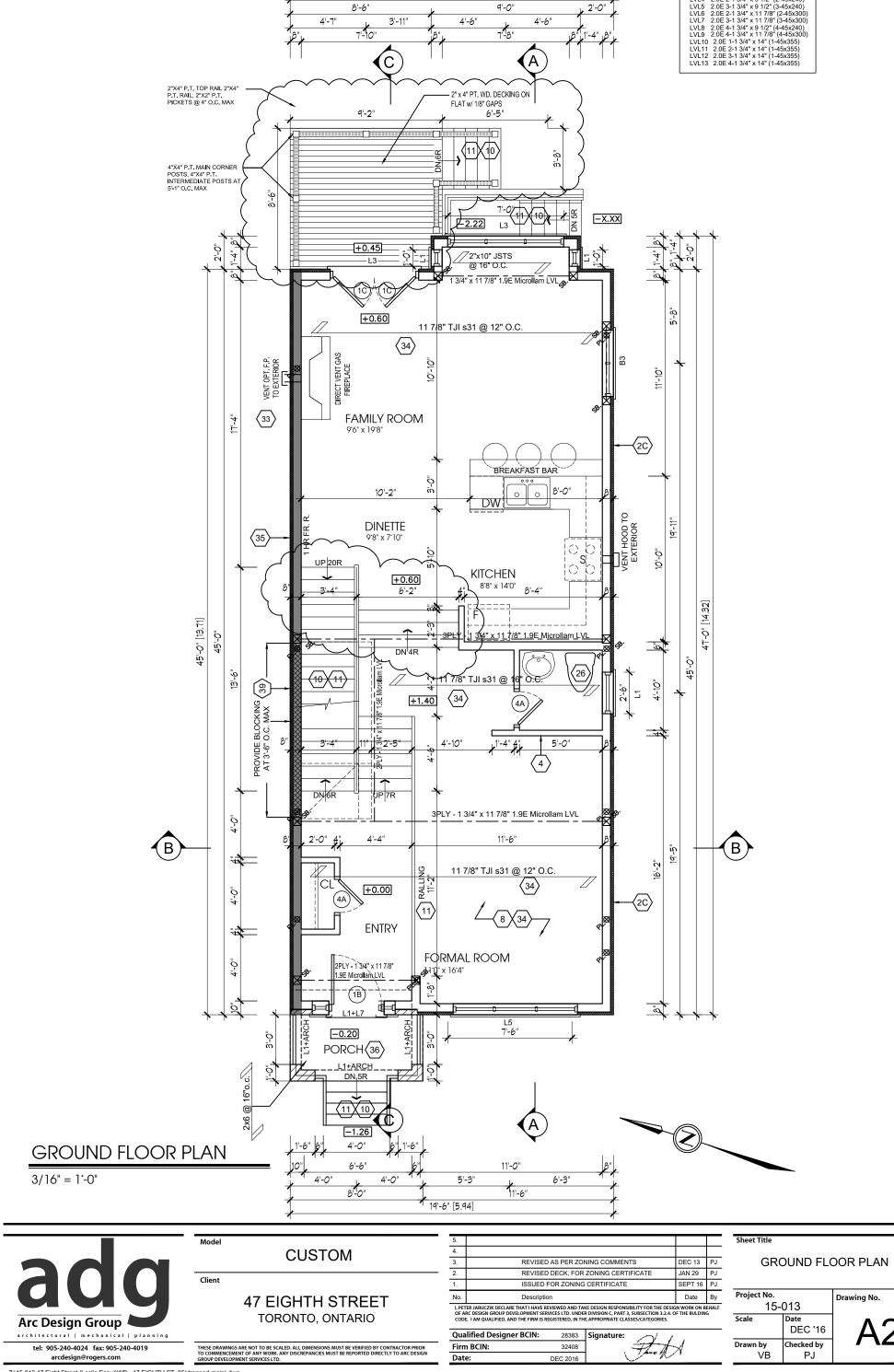
 LVL9 2.0E 4-1 3/4" x 17 7/8" (4-45x240)

 LVL9 2.0E 2-3 13/4" x 14" (1-45x355)

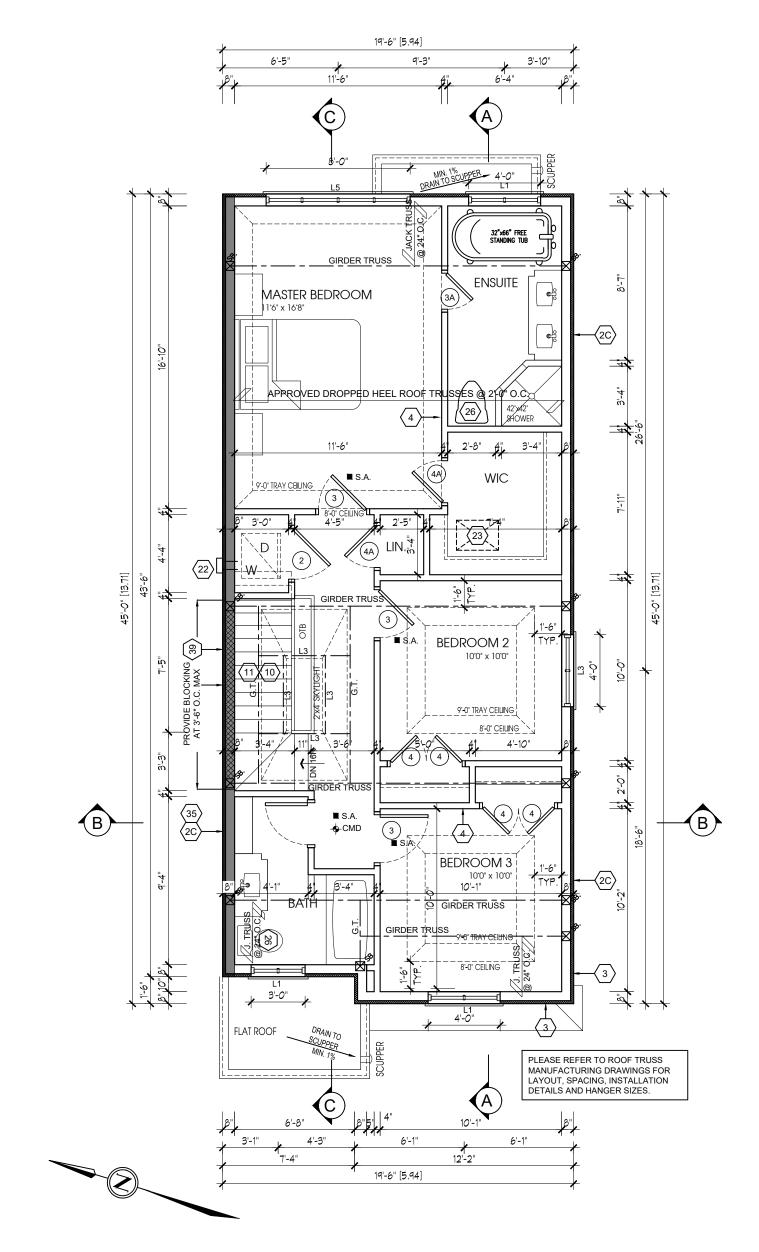
 LVL11 2.0E 2-1 3/4" x 14" (1-45x355)

 LVL12 2.0E 3-1 3/4" x 14" (1-45x355)

 LVL13 2.0E 4-1 3/4" x 14" (1-45x355)

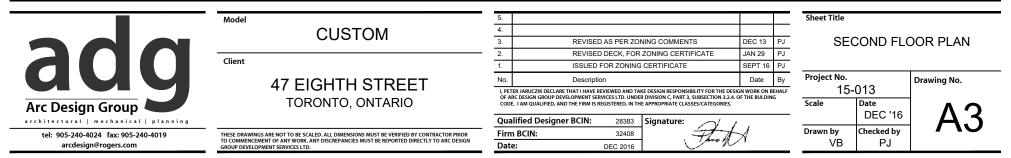


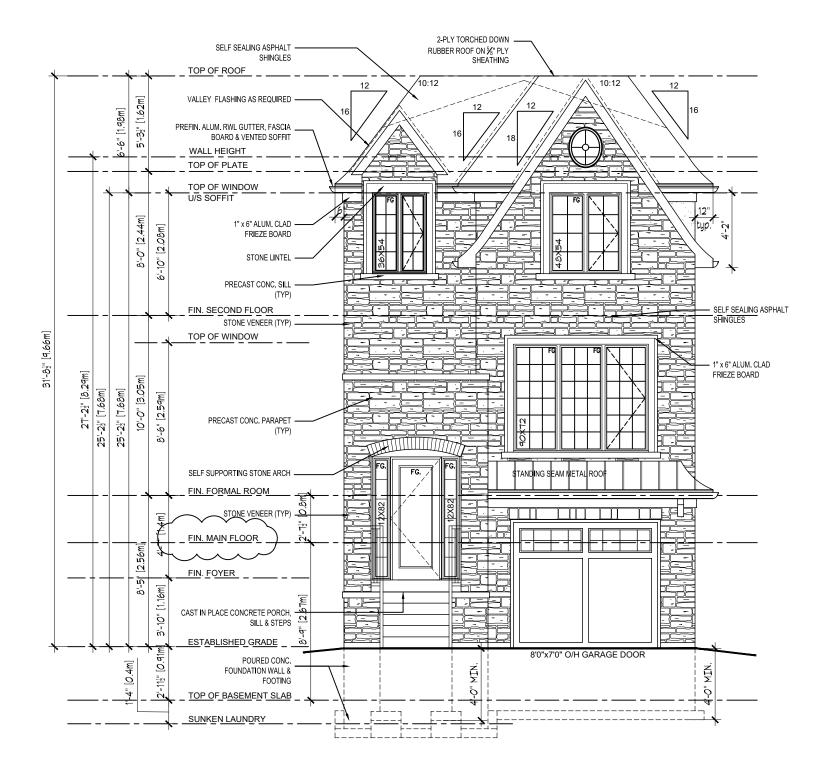
19'-6" [5.94]



SECOND FLOOR PLAN

3/16" = 1*-0"

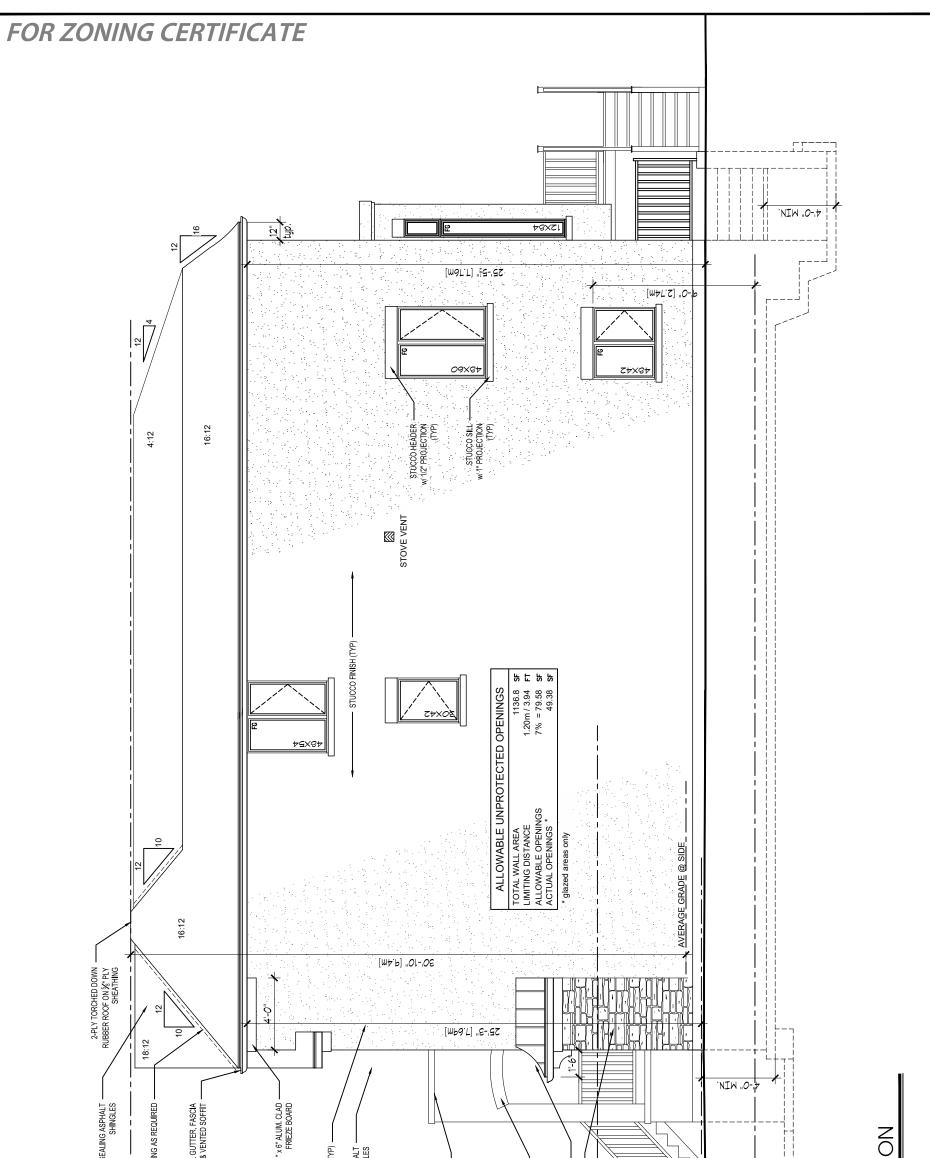




FRONT ELEVATION

3/16" = 1*-0"





SELF SEAL	PREFIN. ALUM. RWL GUT BOARD & VEL BOARD & VEL BOARD & VEL DOP OF WINDOW	1'' x ^{6'} 6'-10" 6'-10" STONE VENEER (TYP) STONE VENEER (TYP) STONE VENEER (TYP) STONE VENEER (TYP)	TOP OF WINDOW	10'-0" [3.05m 8'-6" [2.59m]	SELF SUPPORTING STONE ARCH	E HARDIBRD. OR EQUIV.	FIN. FOVER FIN. FOVER 11'-4] 6 6 6 6 6 7 6 7 6 7 6 7 7 6 7 7 7 7 6 7	Diversity of the second of the	V TOP OF BASEMENT SLAB		3/16" = 1:-0"
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	Model			5.						Sheet Title	
		CUSTOM		4.							
		000101		3.		VISED AS PER ZONI		DEC 13	PJ	RIGHT SIDE E	ELEVATION
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TORONTO, ONTARIO

THESE DRAWINGS ARE NOT TO BE SCALED. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO ARC DESIGN I, PETER JARUCZIK DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHAI OF ARC DESIGN GOUP DEVELOPMENT SERVICES I LD. NURDER DIVISION C, PART 3, SUBSECTION 3.2.4. OF THE BULDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

Scale

Drawn by

VВ

Date

DEC '16

Checked by

PJ

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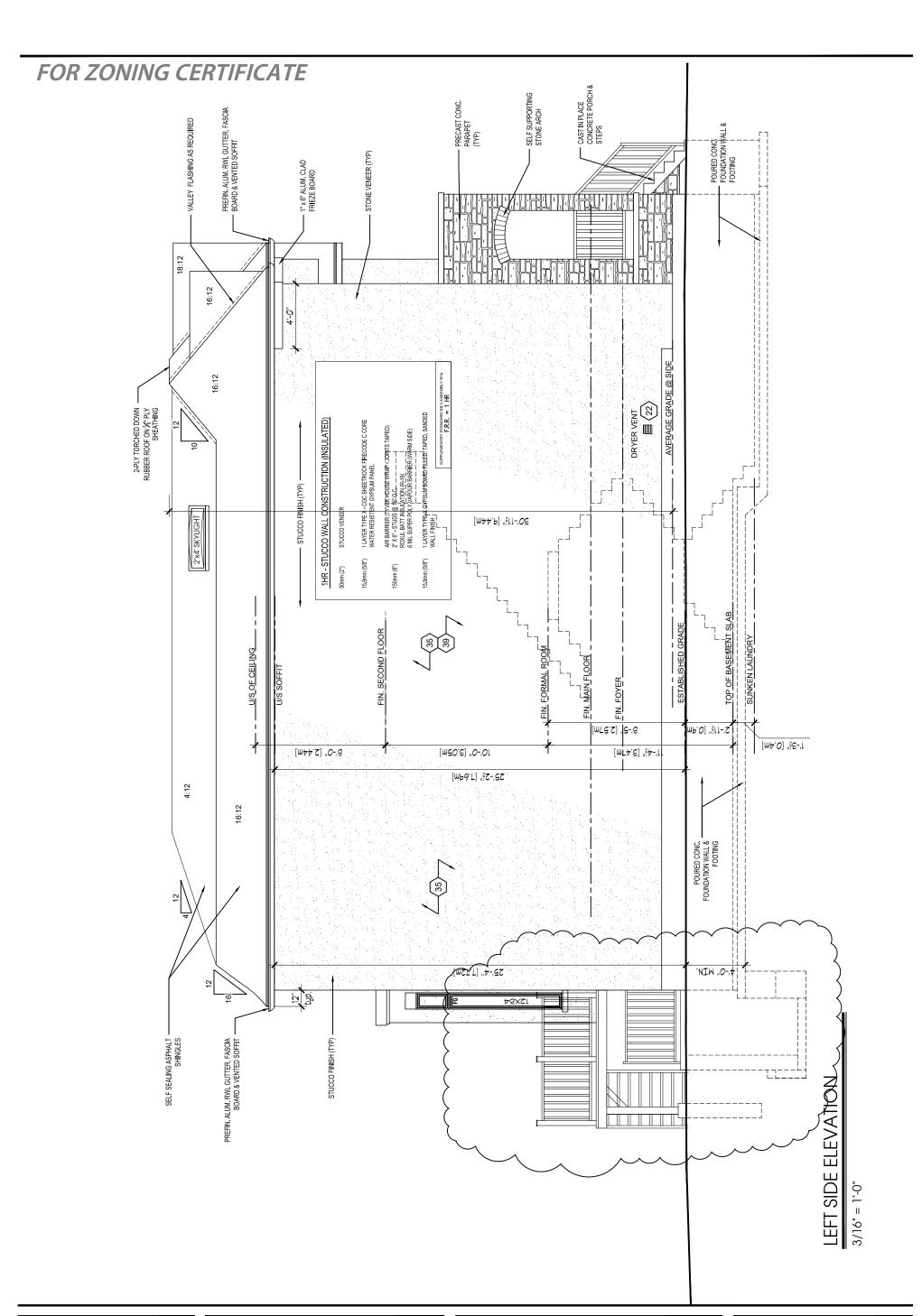
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Arc Design Group

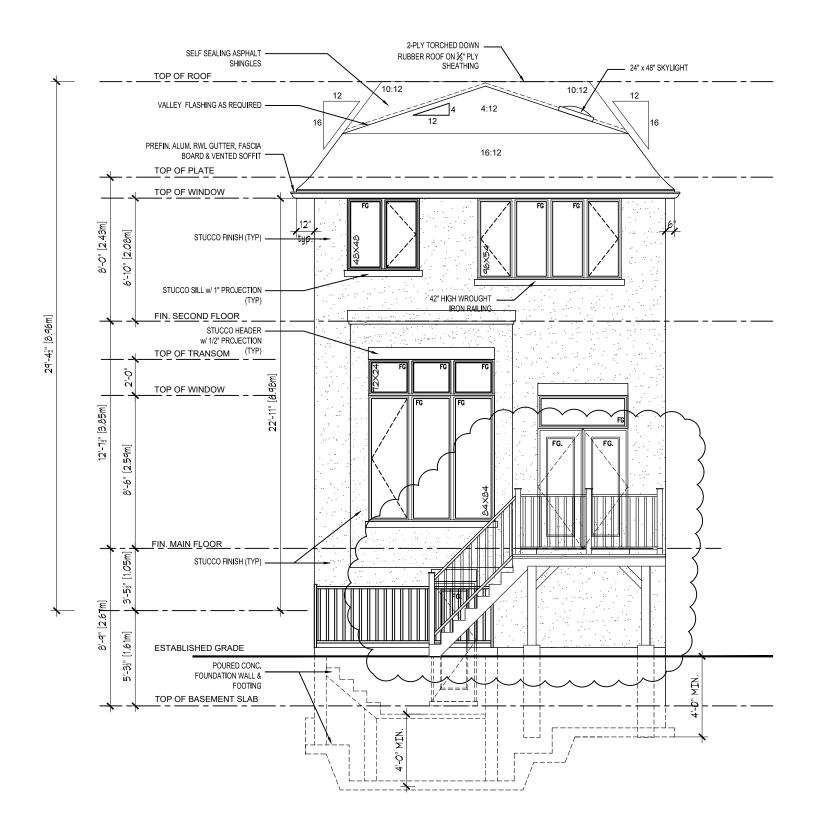
architectural | mechanical | planning

tel: 905-240-4024 fax: 905-240-4019

arcdesign@rogers.com

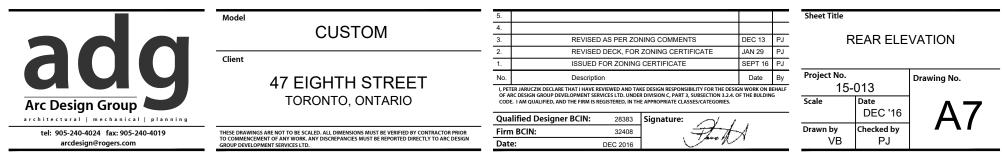


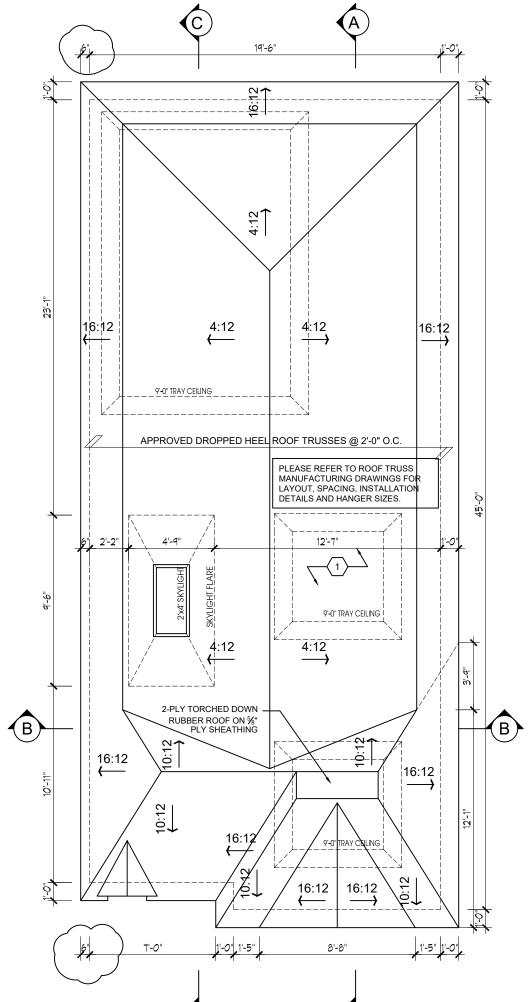


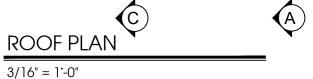


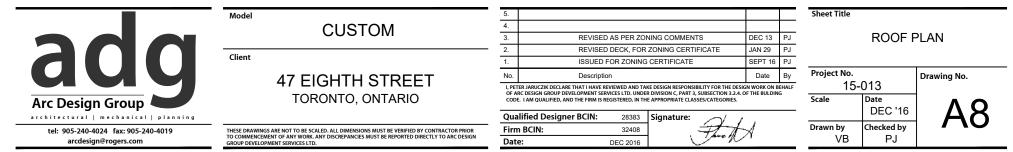
REAR ELEVATION

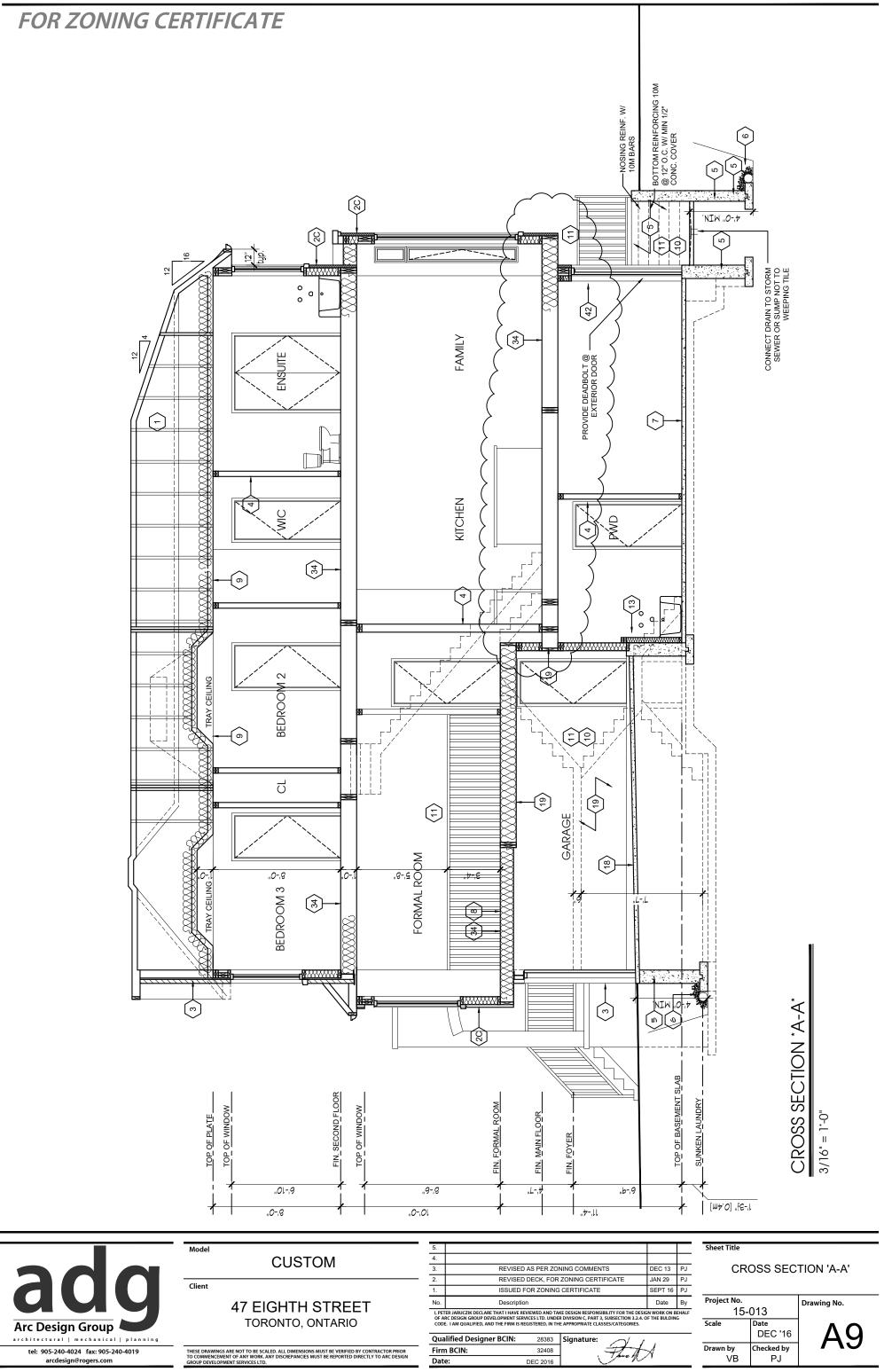
3/16" = 1*-0"

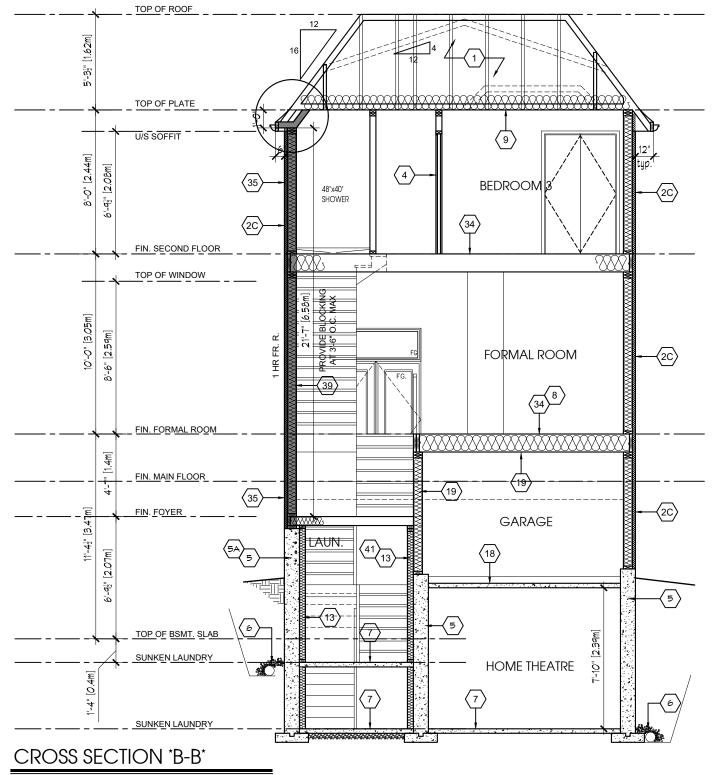






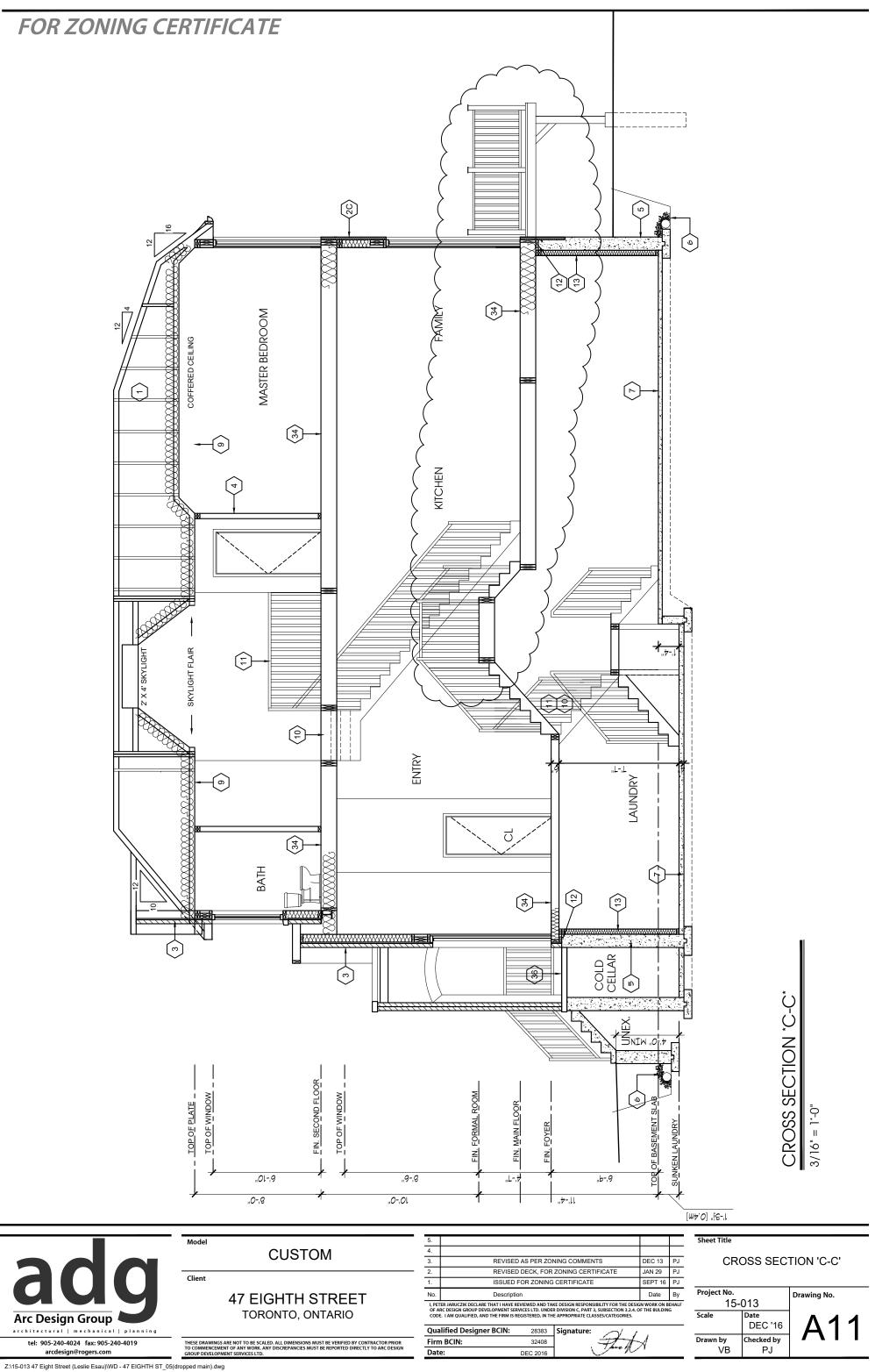






3/16" = 1*-0"

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Arc Design Group		TORONTO, ONTARIO		I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE		OF THE BOLDIN		icale	Date	
architectural mechanical planning			Qual	fied Designer BCIN: 28383	Signature:	• .			DEC '16	
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arcdesign@rogers.com	TO COMMENCEMENT GROUP DEVELOPMEN	OF ANY WORK. ANY DISCREPANCIES MUST BE REPORTED DIRECTLY TO ARC DESIGN IT SERVICES LTD.	Date	DEC 2016	and the	< '		VB	PJ	



CONSTRUCTION NOTES

SB-12 COMPLIANCE PACKAGE "J"

(Unless otherwise noted)

ALL CONSTRUCTION TO ADHERE TO THESE PLANS AND SPEC'S AND TO CONFORM TO THE ONTARIO BUILDING CODE AND ALL OTHER APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. THESE REQUIREMENTS ARE TO BE TAKEN AS MINIMUM SPECIFICATIONS. ONT. REG. 332/12

- ROOF CONSTRUCTION $\langle 1 \rangle$
- ROOF CONSTRUCTION ASPHALT SHIRACES (CONFORMING TO SECTION 9.26.2.1 OF THE O.B.C.), 10mm (3/8") PLYWOOD SHEATHING WITH "H" CLIPS. APPROVED WOOD TRUSSES @ 600mm (24") O.C. MAX. OR CONVENTIONAL FRAMING, APPROVED EAVES PROTECTION TO EXTEND 900mm (3-0") FROM EDGE OF ROOF AND MIN. 300mm (12") BEYOND INNER FACE OF EXTERIOR WALL, (EAVES PROTECTION NOT REQD FOR ROOF SLOPES 8:12 OR GREATER), 38x89 (2"x4") TRUSS BRACING @ 1830mm (6-0") O.C. AT BOTTOM CHORD. PREFIN. ALUM. EAVESTROUGH, FASCIA, RWL & VENTED SOFFIT. ATTIC VENTILATION 1:300 OF INSULATED CEILING BEA WITH MIN 25% AT EDICE (0.D.C. 9.19.1.2) CEILING AREA WITH MIN 25% AT EAVES & MIN. 25% AT RIDGE (O.B.C. 9.19.1.2)
- SIDING FRAME WALL CONSTRUCTION (2"x6") (2)
- SIDING AS PER ELEVATION, APPROVED SHEATHING PAPER, 9.5mm (3/8") EXTERIOR TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPROVED VAPOUR BARRIER AND APPROVED CONT. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. SIDING TO BE MIN. 200mm (8") ABOVE FINISH GRADE.
- SIDING FRAME WALL CONSTRUCTION (2"x4")- GARAGE WALLS $\langle 2B \rangle$ SIDING AS PER ELEVATION, APPROVED SHEATHING PAPER, 9.5mm (3/8" EXTERIOR TYPE SHEATHING, 38x99 (2*x4*) STUDS @ 400mm (16*), 0.0. (MAX. HEIGHT 3000mm (9-10*), WITH APPROVED DIAGONAL WALL BRACING. REFER TO NOTE 19 WHERE FLOOR EXISTS ABOVE GARAGE. SIDING TO BE MIN. 200mm (8*) ABOVE FINISH GRADE.
- STUCCO FRAME WALL CONSTRUCTION (2"x6")
- $\langle 2C \rangle$ STUCCO AS PER ELEVATION, APPROVED SHEATHING PAPER, 9.5mm (3/8") EXTERIOR TYPE SHEATHING, 38x140 (2"x6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPROVED VAPOUR BARRIER AND APPROVED CONT. AIR BARRIER, 13mm (1/2") INT. DRYWALL FINISH. STUCCO TO BE MIN 200mm (8") ABOVE FINISH GRADE.

STONE VENEER CONSTRUCTION (2"x6")

90mm (4') STONE VENEER, 25mm (1'') AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXTERIOR TYPE SHEATHING, 38x140 (2*6") STUDS @ 400mm (16") O.C., RSI 3.87 (R22) INSULATION AND APPROVED VAPOUR BARRIER WITH APPROVED CONTIN. AIR (3) BARELER, 13mm (1/2") INT. DRYWALL FINISH. PROVIDE MEEP HOLES @ 800mm (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. STONE TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

STONE VENEER CONSTRUCTION (2"x4")- GARAGE WALLS $\langle 3B \rangle$

90mm (4") STONE VENEER, 25mm (1") AIR SPACE, 22x180x0.76mm (7/8"x7"x0.03") GALV. METAL TIES @ 400mm (16") O.C. HORIZONTAL 600mm (24") O.C. VERTICAL. APPROVED SHEATHING PAPER, 9.5mm (3/8") EXTERIOR TYPE SHEATHING, 38x89 (2"x4") STUDS @ 400mm (16") O.C. (MAX. HEIGHT 3000mm 9'-10") WITH APPROVED DIAGONAL WALL BRACING. REFER TO NOTE 19 WHERE FLOOR EXISTS ABOVE GARAGE. PROVIDE WEEP HOLES @ 800mm (20") O.C. GOTTONLOUED AND UNER DATE HOLD TO THE ADDITION OF THE ADDITION. (32") O.C. BOTTOM COURSE AND OVER OPENINGS. PROVIDE BASE FLASHING UP MIN. 150mm (6") BEHIND BUILDING PAPER. STONE TO BE MIN. 150mm (6") ABOVE FINISH GRADE.

INTERIOR STUD PARTITIONS $\langle 4 \rangle$

INTERIOR PARTITIONS 38x140 (2"x6") @ 400mm (16") O.C. FOR 2 STOREYS AND 300mm (12") O.C. FOR 3 STOREYS, NON-BEARING PARTITIONS 38x89 (2"x4") @ 600mm (24") O.C. PROVIDE 38x89 (2"x4") BOTTOM PLATE AND 2/38x89 (2/2"x4") TOP PLATE 13mm (1/2") INT. DRYWALL BOTH SIDES OF STUDS, PROVIDE 38x140 (2"x6") STUDS/PLATES WHERE NOTED.

FOUNDATION WALL/FOOTINGS: -SEE OBC 9.15.4-(5)

250mm (10") POURED CONC. FDTN. WALL (UNLESS OTHERWISE NOTED), 200mBa (200psi) WITH BITUMINOUS DAMPPROPORTING NOT DEVD, 200MBa (200psi) WITH BITUMINOUS DAMPPROFING AND OPT. DRAINAGE LAYER, DRAINAGE LAYER REQ, WHEN BASEMENT INSUL. EXTENDS 900 (2'-11") BELOW FIN. GRADE, ON 550x155 (22"x6") CONTINUOUS KEYED CONC. FTG. BRACE FDTN. WALL PRIOR TO BACKFILLING, ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOLL OR COMPACTED ENGINEERED FILL, WITH MIN. BEARING CAPACITY OF 75kPa OR GREATER.

$\langle 5a \rangle$

FOUNDATION WALL @ UNSUPPORTED OPENINGS -2-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" OPENING) -3-20M BARS IN TOP PORTION OF WALL (UP TO 8'-0" TO 10'-0" OPENING) -4-20M BARS IN TOP PORTION OF WALL (UP TO 10'-0" TO 15'-0" OPENING) BARS STACKED VERTICALLY AT INTERIOR FACE OF WALL -BARS TO HAVE MIN. 2" (50mm) CONCRETE COVER -BARS TO EXTEND 2'-0" (600mm) BEYOND BOTH SIDES OF OPENING

100mm (4") DIA. WEEPING TILE 150mm (6") CRUSHED STONE OVER AND AROUND WEEPING TILES. $\langle 6 \rangle$

BASEMENT SLAB ζ7

80mm (3")MIN. 25MPa (3600psi) CONC. SLAB ON 100mm (4") COARSE GRANULAR FILL, OR 20MPa. (3000psi) CONC. WITH DAMPPROOFING BELOW SLAB.

EXPOSED FLOOR TO EXTERIOR

- (8) PROVIDE RSI 5.46 (R31) INSULATION, APPROVED VAPOUR BARRIER AND CONTINUOUS AIR BARRIER, FINISHED SOFFIT.
- ATTIC INSULATION < 9) RSI 8.81 (R50) ROOF INSULATION AND APPROVED VAPOUR BARRIER, 16mm (5/8") INT. DRYWALL FINISH OR APPROVED EQUAL.
- ALL STAIRS/EXTERIOR STAIRS -OBC. 9.8.-

107			000.0.0.	
10/	(UNIFORM RISE 8	RUN IN A GIV	EN RUN TO WITHIN	5mm (3/16"))
	MAX. RISE	= 200 (7-7/8")	RAIL @ LANDING	= 900 (2'-11")
	MIN. RUN	= 210 (8-1/4")	RAIL @ STAIR	= 800 (2'-8")
	MIN. TREAD	= 235 (9-1/4")	MIN. STAIR WIDTH	
	MAX. NOSING	= 25 (1")	FOR CURVED STAI	RS
	MIN. HEADROOM	= 1950 (6'-5")	MIN. RUN	= 150 (6")
			MIN. AVG. RUN	= 200 (8")

FINISHED RAILING ON PICKETS SPACED MAXIMUM 100mm (4") $\langle 11 \rangle$ BETWEEN PICKETS. CLEARANCE BETWEEN HANDRAIL AND SURFACE BEHIND IT TO BE 50 MM (2") MIN. HANDRAILS TO BE CONTINUOUS EXCEPT AT NEWEL POST AT CHANGES OF DIRECTION.

- RSI 2.11 (R12) MINERAL FIBRE BLANKET INSULATION w/ 6 mil. AIR/VAPOUR
- RSI 2.11 (R12) MINERAL FIRE BLANKET INSULATION W 5 mil. AIRVAPOUR BARRIER (MAX. 150 FLAME SPREAD RATING) OR RSI 2.13 (R12) INSULATION WITH 38x89 (2x4) @ 600mm (2'-0") O.C. WOOD STRAPPING AND 6 mil. AIR/ VAPOUR BARRIER (MAX 150 FLAME SPREAD RATING) TO 200mm (8") MAX. BOVE BASEMENT SLAB. PROVIDE 0.7 kg/m³ (No. 15) BLDG. PAPER BETWEEN FOUNDATION WALL AND INSULATION. $\langle 13 \rangle$
- $\langle 14 \rangle$
- BEARING STUD PARTITION 38x140 (2"x6") STUDS @ 400mm (16") O.C. 38x140 (2"x6") SILL PLATE ON DAMPROOFING MATERIAL, 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C. 100mm (4") HIGH CONC. CURB ON 350x155 (14"x6") CONC. FOOTING. ADD HORIZ. BLOCKING AT MID-HEIGHT IF WALL IS UNFINISHED.
- STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) 89mm(3-1/2") DIA x 3.0mm(0.118) SINGLE WALL TUBE TYPE 2 ADJUSTABLE STL. COL. W/ MAX. ALLOWABLE LOAD OF 71.2kN (16,000lbs.) AT A MAX. EXTENSION OF 2318mm (7-7 1/2") CONFORMING TO CAN/CGSB-7.2-94, AND WITH 150x150x9.5 (6"x8"x38") STL. PLATE TOP & BOTTOM. 870x870x410 (34"x34"x16") CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MINIMUM AND AS PER SOILS REPORT. $\langle 15 \rangle$
- STEEL BASEMENT COLUMN (SEE O.B.C. 9.15.3.3) (15A) WITH A MAX. ALLOWABLE LOAD OF 108.05.07.070400 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x160 (42"x42"x18"). COL. VITH A MAX. ALLOWABLE LOAD OF 108.6kN (24,000lbs.) WITH 150x150x9.5 (6"x6"x3/8") STL. TOP & BOTTOM PLATE ON 1070x1070x460 (42"x42"x18"). CONC. FOOTING ON UNDISTURBED SOIL OR ENGINEERED FILL CAPABLE OF SUSTAINING A PRESSURE OF 150 Kpa. MIN. AND AS PER SOILS REPORT.
- STEEL COLUMN $\langle 15B \rangle$
 - ANCHORS (2-1/2"x12"x2") FIELD WELD COL. TO BASE PLATE.
- BEAM POCKET OR 300x150 (12"x6") POURED CONC. NIB $\langle 16 \rangle$ WALLS. MIN. BEARING 90mm (3-1/2")
- (17) 19x89 (1"x4") CONTINUOUS WOOD STRAPPING BOTH SIDES OF STEEL BEAM
- GARAGE SLAB
- (18) 100mm (4") 32MPa (4640psi) CONC. SLAB WITH 5-8 % AIR ENTRAINMENT ON OPT. 100 (4") COARSE GRANULAR FILL WITH COMPACTED SUB-BASE OR COMPACTED NATIVE FILL. SLOPE TO FRONT AT 1 % MIN
- 13mm (1/2") GYPSUM BD. ON WALL AND CEILING BETWEEN HOUSE AND GARAGE, RSI 3.87 (R22) IN WALLS, RSI 5.46 (R31) IN CEILING. TAPE AND SEAL ALL JOINTS GAS TIGHT. $\langle 19 \rangle$
- DOOR AND FRAME GASPROOFED. DOOR EQUIPPED WITH SELF CLOSING DEVICE AND WEATHERSTRIPPING. PER OBC (20) 9.10.13.15
- PRECAST CONCRETE STEP OR WOOD STEP WHERE NOT EXPOSED TO WEATHER. MAX. RISE 200mm (7-7/8") MIN. TREAD 250mm (9-1/2") (21)
- CAPPED DRYER EXHAUST VENTED TO EXTERIOR. (USE 100mm 4" Ø SMOOTH WALL METAL VENT PIPE OBC 6.2.3.8(7)) (22)
- ATTIC ACCESS HATCH 545x610 (21 1/2"x24") & MIN. AREA OF 0.32 sq.m. (3.44 sq.ft.) WITH WEATHERSTRIPPING. RSI 8.8 (R50) RIGID INSUL. BACKING. $\langle 23 \rangle$
- FIREPLACE CHIMNEYS -OBC. 9.21.-(24) TOP OF FIREPLACE CHIMNEY SHALL BE 915mm (3'-0") ABOVE THE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF AND 610mm (2'-0") ABOVE THE ROOF SURFACE WITHIN A HORIZ. DISTANCE OF 3050mm (10'-0") FROM THE CHIMNEY.
- $\langle 25 \rangle$ LINEN CLOSET, 4 SHELVES MIN. 350mm (14") DEEP.
- MECHANICAL EXHAUST FAN, VENTED TO EXTERIOR, TO
- (26) PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.
- STEEL BEARING PLATE FOR MASONRY WALLS (27) 21EL DEARWORT FAIL TO KIMADONKT WALLS 280x280x16 (11"x11"x5/8") STL. PLATE FOR STL BEAMS AND 280x280x12 (11"x11"x1/2") STL. PLATE FOR WOOD BEAMS BEARING ON CONC. BLOCK PARTYWALL, ANCHORED WITH 2-19mm (3/4") x 200mm (8") LONG GALV. ANCHORS WITHIN SOLID BLOCK COURSE. LEVEL WITH NON-SHRINK GROUT. OR

SOLID WOOD BEARING FOR WOOD STUD WALLS SOLID BEARING TO BE AT LEAST AS WIDE AS THE SUPPORTED MEMBER. SOLID WOOD BEARING COMPRISED OF BUILT-UP WOOD STUDS TO BE CONSTRUCTED IN ACCORDANCE WITH OBC. 9.17.4.2 (2).

U.L.C. RATED CLASS "B" VENT 610mm (2-0") ABOVE THE POINT IN CONTACT WITH THE ROOF FOR SLOPES UP TO 9/12, REFER TO THE ONTARIO GAS (28) UTILIZATION CODE.

- BEARING WOOD POST (BASEMENT) 3-38x140 (3-2"x6") BUILT-UP-POST ON METAL BASE SHOE ANCHORED TO CONC. WITH 12.7 DIA. BOLT, 915x915x300 (36"x36"x12") CONC. FTG. (29)
- STEPPED FOOTINGS OBC 9.15.3.9. MIN. HORIZ. STEP = 610mm (24"). MAX. VERT. STEP = 610mm (24") FOR FIRM SOILS. 400mm (16") MAX. STEP FOR SAND AND GRAVEL. (30)
- SLAB ON GRADE MIN. 100mm (4") CONCRETE SLAB ON GRADE ON 100mm (4") COARSE GRANULAR FILL. REINFORCED WITH 6x6-W2.9xW2.9 MESH PLACED NEAR MID-DEPTH OF SLAB. CONC. STRENGTH 32 MPa (4640 psi) WITH 5-8 % AIR ENTRAINMENT ON COMPACTED SUB-GRADE. (31)
- DIRECT VENTING GAS FURNACE VENT \langle 32 \rangle DIRECT VENT FURNACE TERMINAL MIN. 900mm (36") FROM A GAS REGULATOR. MIN. 300mm (12") ABOVE FIN. GRADE, FROM ALL OPENINGS, EXHAUST AND INTAKE VENTS. HRV INTAKE TO BE A MIN. OF 1830mm (6-0") FROM ALL EXHAUST TERMINALS. REFER TO GAS UTILIZATION CODE.
- DIRECT VENTING GAS FIREPLACE VENT DIRECT VENT GAS FIREPLACE. VENT TO BE A MINIMUM 300mm (12") FROM ANY OPENING AND ABOVE FIN. GRADE. REFER TO GAS UTILIZATION CODE. $\langle 33 \rangle$

SUBFLOOR, JOIST STRAPPING AND BRIDGING $\langle 34 \rangle$

19mm (3/4") T & G SUBFLOOR ON WOOD FLOOR JOISTS. ALL JOISTS TO BE STRAPPED WITH 19x64 (1"x3") @ 2100mm (6'-11") O.C. UNLESS A PANEL TYPE CEILING FINISH IS APPLIED.

EXPOSED BUILDING FACE -OBC. 9.10.15.5- $\langle 35 \rangle$

- $\langle 38
 angle$
- CONVENTIONAL ROOF FRAMING 38x140 (2"x6") RAFTERS @ 400mm (16"O.C.), FOR MAX 11'7" SPAN, 38x184 (2"x6") RIDGE BOARD. 38x89 (2"x4") COLLAR TIES AT MIDSPANS. CEILING JOISTS TO BE 38x89 (2"x4") @ 400mm (16") O.C. FOR MAX. 2830mm (9'-3") SPAN & 38x140 (2"x6") @ 400mm (16") O.C. FOR MAX. 2830mm (14"-7") SPAN. RAFTERS FOR BUILT-UP ROOF TO BE 38x89 (2"x4") @ 600mm (24") O.C. WITH A 38x89 (2"x4") CENTRE POST TO THE TRUSS BELOW, LATERALLY BRACED AT 1800mm (6'-0") O.C. VERTICALLY.
- TWO STOREY WALLS DOUBLE VOLUME $\langle 39
 angle$
- TWO STOREY WALLS DOUBLE VOLUME FOR A MAXIMUM 5300 mm (17°4") STUD LENGTH, AND MAXIMUM SUPPORTED ROOF TRUSS LENGTH OF 6.0m. PROVIDE 2-38x140 (2-2°x6") SPR.#2 CONTIN. STUDS @ 300mm (12") O.C. (TRIPLE UP AT EVERY THIRD DOUBLE STUD FOR BRICK) C/W 9.6 (3/8") THICK EXT. PLYWOOD SHEATHING. PROVIDE SOLID WOOD BLOCKING BETWEEN WOOD STUDS @ 1067 mm (3°-6") O.C. VERTICALLY. -FOR HORIZ. DISTANCES NOT EXCEEDING 2900 mm (9°-6"), PROVIDE 38x140 (2°x6") STUDS @ 400 (16") O.C. WITH CONTINUOUS 2-38x140 (2-2°x6")TOP PLATE + 1-38x140 (1-2°x6") BOTTOM PLATE & MINIMUM OF 3-38x148 (3-2°x6") CONT. HEADER AT GRND. CEILING LEVEL TOE-NAILED & GLUED AT TOP, BOTTOM PLATES AND HEADEPS PLATES AND HEADERS.
- TYPICAL 1 HOUR RATED PARTYWALL. REFER TO $\langle 40 \rangle$ DETAILS FOR TYPE AND SPECIFICATION
- FOUNDATION WALL (W.O.D./W.O.B.)
- FOR LATERAL SUPPORT WHERE GRADE TO T/O BASEMENT SLAB EXCEEDS 1200mm (3'-11") FOR 200mm (8") or 1400mm (4'-7") FOR 250mm (10") POURED CONC. FOUNDATION WALL PROVIDE VERTICAL 38x140 (2"x6") WOOD STUDS @ 400 (16") o.c. MATCH FLOOR JOIST SPACING WHEN PARALLEL WITH FLOOR JOISTS. [RAMSET BOTTOM PLATE TO SLAB & FASTEN TOP OF WALL TO FLOOR JOIST AND ALSO TIED TO 38x84 (2"x4") @ 300 (12") o.c. KNEE WALL]. $\langle 41 \rangle$
- EXTERIOR WALLS FOR WALK-OUT CONDITIONS $\langle 42 \rangle$
 - THE EXTERIOR BASEMENT STUD WALL TO BE 38x140 or 38x89 (2"x6") STUDS @ 400mm (16") o.c. / (2"x4") STUDS @ 300mm (12")o.c. WINDOWS

MINIMUM BEDROOM WINDOW -OBC. 9.7.2.2. - 9.7.2.3.-AT LEAST ONE BEDROOM WINDOW ON A GIVEN FLOOR IS TO HAVE MIN. 0.35m2 UNOBSTRUCTED GLAZED OR OPENABLE AREA WITH MIN. CLEAR WIDTH OF 380 mm (1-3.7). EACH BEDROOM TO HAVE UNOBSTRUCTED GLAZED AREA NO LESS THAN 5% OF ROOM AREA.

- WINDOW GUARDS -OBC. 9.8.8.1. A GUARD IS REQUIRED WHERE THE TOP OF THE WINDOW SILL IS LOCATED LESS THAN 480mm (1'-7") ABOVE FIN. FLOOR AND THE DISTANCE FROM THE FIN. FLOOR TO THE ADJACENT GRADE IS GREATER THAN 1800mm (5'-11")
- SOIL GAS CONTROL (OBC 9.13) PROVIDE CONSTRUCTION TO PREVENT LEAKAGE OF SOIL GAS INTO THE BUILDING IF REQUIRED.
- STUD WALL REINFORCEMENT FOR FUTURE GRAB BARS IN MAIN BATHROOM. REINFORCEMENT TO STUD WALLS SHALL BE INSTALLED ADJACENT TO WATER CLOSET AND SHOWER OR BATHTUB IN MAIN $\langle 43 \rangle$ BATHROOM. REFER TO OBC 9.5.2.3, 3.8.3.8.(1)(d) & 3.8.3.13.(1)(f)
- INSULATE EDGE OF BELOW GRADE CONC. SLAB TO A MINIMUM OF $\langle 44 \rangle$ 600mm (24") BELOW GRADE. w/ MIN. 1.76 RSI (R10) (ie. 2" RIGID INSULATION)

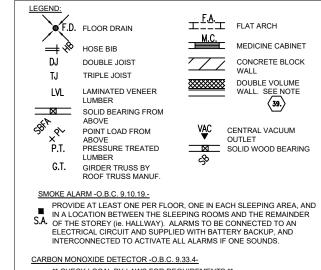
DOOR SCHEDULE

1 EXT. DOOR	815 x 2030 x 45 (2'-8" x 6'-8" x 1-3/4") INSULATED MIN. RSI 0.7 (R4)
(1A) EXT. DOOR	865 x 2030 x 45 (2'-10" x 6'-8" x 1-3/4") INSULATED MIN. RSI 0.7 (R4)
(1B) EXT. DOOR	915 x 2030 x 45 (3'-0" x 6'-8" x 1-3/4") INSULATED MIN. RSI 0.7 (R4)
1C EXT. DOOR	760 x 2335 x 45 (2'-6" x 6'-8" x 1-3/4") INSULATED MIN. RSI 0.7 (R4)
1D EXT. DOOR	815 x 2030 x 45 (2'-8" x 6'-8" x 1-3/4") INSULATED MIN. RSI 0.7 (R4), DOOR & FRAME GASPROOFED, DOOR EQUIPPED w/ SELF CLOSING DEVICE & WEATHERSTRIPPING
2 INT. DOOR	815 x 2030 x 35 (2'-8" x 6'-8" x 1-3/8")
(2A) EXT. DOOR	815 x 2030 x 45 (2'-8" x 6'-8" x 1-3/4") 20 MIN. RATED DOOR AND FRAME, WITH APPROVED SELF CLOSING DEVICE.
2B EXT. DOOR	815 x 2030 x 45 (2'-8" x 6'-8" x 1-3/4")
3 INT. DOOR	760 x 2030 x 35 (2'-6" x 6'-8" x 1-3/8")
(3A) INT. DOOR	710 x 2030 x 35 (2'-4" x 6'-8" x 1-3/8")
4 INT. DOOR	610 x 2030 x 35 (2'-0" x 6'-8" x 1-3/8")
(4A) INT. DOOR	660 x 2030 x 35 (2'-2" x 6'-8" x 1-3/8")
5 INT. DOOR	460 x 2030 x 35 (1'-6" x 6'-8" x 1-3/8")
TEL / BEAM SCHEDU	LE
2/2"x8" (2/38x184) SF	PR.#2 L5 2/2"x12" (2/38x286) SPR.#2

LIN	TEL / BEAM SCHEDULE		
L1	2/2"x8" (2/38x184) SPR.#2	L5	2/2"x12" (2/38x286) SPR.#2
B1	3/2"x8" (3/38x184) SPR.#2	B5	3/2"x12" (3/38x286) SPR.#2
B2	4/2"x8" (4/38x184) SPR.#2	B6	4/2"x12" (4/38x286) SPR.#2
B7	5/2"x8" (5/38x184) SPR.#2	B9	5/2"x12" (5/38x286) SPR.#2
L3	2/2"x10" (2/38x235) SPR.#2	L7	90 x 90 x 6.0 (3 1/2 x 3 1/2 x 1/4 L)
B3	3/2"x10" (3/38x235) SPR.#2	L8	90 x 90 x 8.0 (3 1/2 x 3 1/2 x 5/16 L)
B4	4/2"x10" (4/38x235) SPR.#2	L9	100 x 90 x 6.0 (4 x 3 1/2 x 1/4 L)
B8	5/2"x10" (5/38x235) SPR.#2	L10	125 x 90 x 8.0 (5 x 3 1/2 x 5/16 L)
		L11	125 x 90 x 10.0 (5 x 3 1/2 x 3/8 L)
		L12	150 x 100 x 10.0 (6 x 4 x 3/8 L)

LAMINATED VENEER LUMBER (LVL) BEAM SCHEDULE

LVL2	2.0E 1-1 3/4" x 9 1/2" (1-45x240)	LVL7	2.0E 3-1 3/4" x 11 7/8" (3-45x300)
	2.0E 2-1 3/4" x 9 1/2" (2-45x240)		2.0E 4-1 3/4" x 11 7/8" (4-45x300)
LVL5	2.0E 3-1 3/4" x 9 1/2" (3-45x240)	LVL10	2.0E 1-1 3/4" x 14" (1-45x355)
LVL8	2.0E 4-1 3/4" x 9 1/2" (4-45x240)	LVL11	2.0E 2-1 3/4" x 14" (1-45x355)
LVL3	2.0E 1-1 3/4" x 11 7/8" (1-45x300)	LVL12	2.0E 3-1 3/4" x 14" (1-45x355)
LVL6	2.0E 2-1 3/4" x 11 7/8" (2-45x300)	LVL13	2.0E 4-1 3/4" x 14" (1-45x355)
			· · · · ·



GUARDS -OBC. 9.8.8-

INTERIOR GUARDS: 900mm (2'-11") MIN EXTERIOR GUARDS: 1070mm (3'-6") MIN EXTERIOR RAILINGS

810mm (32") HIGH WHERE DISTANCE FROM PORCH TO FIN. GRADE IS LESS THAN 600mm (24"). 900mm (36") WHERE DISTANCE EXCEEDS 600mm (24"). 1070mm (42") HIGH RAILINGS IS REQUIRED WHERE DISTANCE EXCEEDS 1800mm (71").

38x89 (2"x4") SILL PLATE WITH 13mm (1/2") DIA. ANCHOR BOLTS 200mm (8") LONG, EMBEDDED MIN. 100mm (4") INTO CONC. @ 2400mm (7'-10") O.C., CAULKING OR 25 (1") MIN. MINERAL WOOL BETWEEN PLATE AND $\langle 12 \rangle$ TOP OF FDTN. WALL. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED.

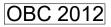
EXTERIOR WALLS TO HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 min. WHERE LIMITING DISTANCE IS LESS THAN 1.2M (3'-11"). WHERE THE LIMITING DISTANCE IS LESS THAN 600mm (1'-11") THE EVPOCING EAGE SUMMED AS OLD IN HAVE COMPLICITION FOR THE EXPOSING FACE SHALL BE CLAD IN NON-COMBUSTIBLE MATERIAL

COLD CELLAR PORCH SLAB

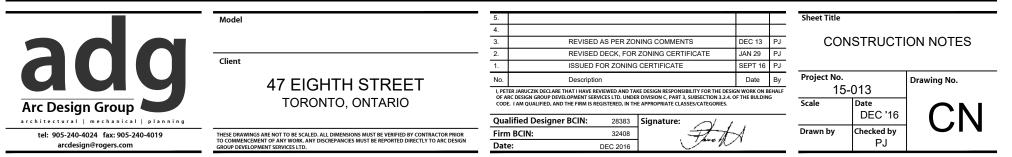
(36) FOR MAX. 2500 mm (8'-2") PORCH DEPTH(SHORTEST DIM.), 125mm (4 7/8") FOR WAA: 2000 IIIII (6*2) FORKIT 5E ** AIR ENTRAINMENT. REINF. WITH 10M BARS @ 200mm (7 7/8") O.C. EACH WAY IN BOTTOM THIRD OF SLAB, MIN. 30mm (1 1/4") COVER, 600x600 (23 5/8" x23 5/8") DOWELS @ 600mm (23 5/8") O.C., ANCHORED IN PERIMETER FDTN. WALLS. SLOPE SLAB MIN. 1.0 % FROM WALL. SLAB TO HAVE MIN. 75mm 3" BEARING ON FDTN WALL. PROVIDE (L7) LINTELS OVER CELLAR DOOR. WITH 100mm (4") END EVALUATE: SUPER STATEMENT, STATEME BEARING

THE FDTN. WALL SHALL NOT BE REDUCED TO LESS THAN 90mm (3-1/2") THICK TO A MAX. DEPTH OF 600mm (24") AND SHALL BE TIED TO THE FACING MATERIAL WITH METAL TIES SPACED 200mm (36") O.C. VERTICALLY AND 900mm (36") O.C. HORIZONTALLY. FILL SPACE BETWEEN WALL AND (37) FACING SOLID WITH MORTAR

** CHECK LOCAL BY-LAWS FOR REQUIREMENTS ** CARBON MONOXIDE DETECTOR(S) CONFORMING TO CAN/CGA-6.19 CMD SHALL BE INSTALLED ON OR NEAR THE CEILING OF EACH FLOOR IN STALL DE INSTALLED ON NEAR TO EACH TO EACH TOUGH IN EACH DWELLING UNIT ADJACENT TO EACH SLEEPING AREA. CARBON MONOXIDE DETECTOR(S) SHALL BE PERMANENTLY WIRED WITH NO DISCONNECT SWITCH, WITH AN ALARM THAT IS AUDIBLE WITHIN BEDROOMS WHEN THE INTERVENING DOORS ARE CLOSED.



Contractor must verify all dimensions on the job and report any discrepancy to ADG prior to proceeding with the work. Drawings are copyrighted and shall not be reproduced, sited or used in any way without the permission of ADG. Drawings are NOT to be scaled





Committee of Adjustment 2 Civic Centre Crt, 4th Floor Toronto, ON M9C 5A3 T:416-394-8060 F:416-394-6042

Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0711/16EYK
Owner(s):	BARRINGTON TIMOLL
Agent:	FRANCO BELLINI
Property Address:	62 THIRTIETH ST
Legal Description:	PLAN 2130 PT LOT 17

Zoning Ward: Heritage: Community: RM & RM1 Etobicoke-Lakeshore (06) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10.(2)(D)(i), By-law 569-2013 and Section 330-23(A)(9) The maximum permitted gross floor area is 0.35 times the area of the lot (146.3 m²). The proposed dwelling will have a gross floor area equal to 0.85 times the area of the lot (357.1 m²).
- 2. Section 10.80.40.20.(1), By-law 569-2013 The maximum permitted building length is 17 m. The proposed dwelling will have a length of 17.53 m.
- 3. Section 10.80.40.10.(2)(A)(i), By-law 569-2013 The maximum permitted height of all front exterior main walls is 7 m. The proposed dwelling will have a front exterior main wall height of 8.38 m.
- 4. Section 10.80.40.10.(4), By-law 569-2013 The maximum permitted height of the first floor above established grade is 1.2 m. The proposed dwelling will have a first floor height of 2.85 m above established grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0711/16EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- 2. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
- 3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 Illustrate the proposed driveway and depressed curb cut by projecting both sides of the singlecar garage door that is designed perpendicular to the curb line of Thirtieth Street;
 - 3.2 Illustrate the proposed driveway and depressed curb cut as being constructed according to City of Toronto Design Standard Drawing No. T-310.050-1;
 - 3.3 The applicant is required to remove the existing depressed curb cut that straddles the south property at No. 60 Thirtieth Street and restored the Thirtieth Street municipal boulevard with poured raised concrete curb.
 - 3.4 Insert a notation on the site plan stating that, "The applicant is required to restore the redundant portion of the existing driveway and depressed curb cut that are being closed and removed, with sod and poured raised concrete curb according to City of Toronto Design Standard Drawing No. T-600.11-1";
 - 3.5 Insert an advisory notation on the site plan stating that, "The applicant shall obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance. The applicant shall also submit a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant shall contact Ms. Joanne Vecchiarelli of Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements; and,
 - 3.6 The applicant shall submit a revised site plan (1:200 or 1:250 in metric scale) illustrating the above-noted Condition No.'s 1 through 5, at no cost to the City, no later than December 30, 2017.

SIGNATURE PAGE

File Number:A0711/16EYKOwner:BARRINGTON TIMOLLAgent:FRANCO BELLINIProperty Address:62 THIRTIETH STLegal Description:PLAN 2130 PT LOT 17

Zoning Ward: Heritage: Community: RM & RM1 Etobicoke-Lakeshore (06) Not Applicable

Allan Smithies (signed)

Edwin (Ted) Shepherd (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.



Committee of Adjustment 2 Civic Centre Crt, 4th Floor Toronto, ON M9C 5A3 T:416-394-8060 F:416-394-6042

Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:A0151/17EYKOwner(s):1157584 ONTARIO LIMITEDAgent:MURRAY EVANSProperty Address:**25 KELFIELD ST**Legal Description:PLAN 5118 PT LOTS 8-10

Zoning Ward: Heritage: Community: E & IC2 Etobicoke North (02) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a body rub parlour within the existing industrial/employment building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 60.20.20.100.(32)(A)(B)(C), By-law 569-2013

A lot that has a body rub service must be:

(A) at least 100 m from a lot in the Residential Zone category or Residential Apartment Zone category,(B) at least 500 m from a lot with a public school, private school, or place of worship, or a lot in a IS zone or IPW zone,

(C) at least 500 m from a lot that has adult entertainment use or 100 m from a lot that has a body rub service.

The proposed body rub service will be located 360 m from a private school located at 1 City Centre Drive.

2. Section 304-34

The proposed body rub parlour is not a permitted use in an IC2 zone.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to <u>NOT</u> approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:A0151/17EYKOwner:1157584 ONTARIO LIMITEDAgent:MURRAY EVANSProperty Address:**25 KELFIELD ST**Legal Description:PLAN 5118 PT LOTS 8-10

Zoning Ward: Heritage: Community: E & IC2 Etobicoke North (02) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.



Committee of Adjustment 2 Civic Centre Crt, 4th Floor Toronto, ON M9C 5A3 T:416-394-8060 F:416-394-6042

Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number: Owner(s):	A0159/17EYK SM. DAWOODUR RAHMAN SM. MIZANOOR RAHMAN MIZAN	Zoning Ward:	RD & R2 Etobicoke North (02)
Agent:	SM. MIZANOOR RAHMAN MIZAN	Heritage:	Not Applicable
Property Address: Legal Description:	56 FORDWICH CRES Plan M664 Lot 84	Community:	

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 320-59.C

The maximum permitted lot coverage is 33% of the lot area (162.55 m²). The proposed dwelling will cover 34% of the lot area (165.83 m²).

2. Section 10.20.40.40.(1), By-law 569-2013 and 320-42.1.A.(1)

The maximum permitted floor space index is 0.45 times the area of the lot (221.66 m²). The proposed dwelling will have a floor space index equal to 0.55 times the area of the lot (272.16 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number: Owner:	A0159/17EYK SM. DAWOODUR RAHMAN SM. MIZANOOR RAHMAN MIZAN	Zoning Ward:	RD & R2 Etobicoke North (02)
Agent:	SM. MIZANOOR RAHMAN MIZAN	Heritage:	Not Applicable
Property Address: Legal Description:	56 FORDWICH CRES Plan M664 Lot 84	Community:	

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.



Committee of Adjustment 2 Civic Centre Crt, 4th Floor Toronto, ON M9C 5A3 T:416-394-8060 F:416-394-6042

Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0166/17EYK	Zoning	RM & RM1
Owner(s):	LOUISE STERNER	Ward:	Etobicoke-Lakeshore (06)
Agent:	CHRIS A MONTGOMERY ARCHITECT	Heritage:	Not Applicable
Property Address: Legal Description:	16 FORTY FIRST ST PLAN 2172 N40FT L 280	Community:	

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing dwelling and a one-storey side addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10(2)(D)(i), By-law 569-2013 and Section 330-23(A)(9) The maximum permitted floor space index/gross floor area is 0.35 times the area of the lot (155.5 m²). The altered dwelling will have a floor space index/gross floor area equal to 0.61 times the area of the lot (271.7 m²).
- 2. Section 10.80.40.20.(1), By-law 569-2013 The maximum permitted dwelling length is 17 m. The altered dwelling will have a length of 17.1 m.
- 3. Section 10.80.40.10.(2), By-law 569-2013 The maximum permitted height of front exterior main walls is 7 m. The altered dwelling will have a front exterior main wall height of 7.31 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0166/17EYK

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number: A0166/17EYK Owner: LOUISE STERNER CHRIS A MONTGOMERY Agent: ARCHITECT Property Address: **16 FORTY FIRST ST** Legal Description: PLAN 2172 N40FT L 280

Zoning Ward: Heritage: RM & RM1 Etobicoke-Lakeshore (06) Not Applicable

Community:

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

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Committee of Adjustment 2 Civic Centre Crt, 4th Floor Toronto, ON M9C 5A3 T:416-394-8060 F:416-394-6042

Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0168/17EYK	Zoning	RD & R1
Owner(s):	GIN FANG YANG	Ward:	Etobicoke-Lakeshore (05)
	QIANG XING YANG		
Agent:	ACADIA DRAFTING	Heritage:	Not Applicable
Property Address:	52 KING GEORGES RD	Community:	
Legal Description:	PLAN 1685 PT LOTS 184 TO 186		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 10.5.60.40.(2)(B), By-law 569-2013

The maximum permitted height for ancillary building or structure is 4 m. The proposed detached garage will have a height of 5.2 m.

2. Section 320-43.(D)

The maximum permitted height of an accessory structure with a pitched roof is 3.7 m, provided that no part of the walls exceed 2.5 m in height. The proposed detached garage will have a height of 4.2 m (measured to the midpoint of the roof) and will have a wall height of 3.2 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

A0168/17EYK

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

RD & R1 File Number: A0168/17EYK Zoning Ward: Owner: GIN FANG YANG Etobicoke-Lakeshore (05) QIANG XING YANG Agent: ACADIA DRAFTING Heritage: Not Applicable Property Address: **52 KING GEORGES RD** Community: Legal Description: PLAN 1685 PT LOTS 184 TO 186

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

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Committee of Adjustment 2 Civic Centre Crt, 4th Floor Toronto, ON M9C 5A3 T:416-394-8060 F:416-394-6042

Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

Legal Description:	PLAN 3919 N PT LOT 9
Property Address:	15 PENHALE DR
Agent:	ST ENGINEERING
	POMPEO FINELLI
Owner(s):	POMPEO FINELLI
File Number:	A0177/17EYK

Zoning Ward: Heritage: Community:

RD & R2 Etobicoke North (02)

Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front addition and a one-storey side addition. The front addition will contain an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.5.40.70 (1) (B), By-law 569-2013 and Section 320-40 C(3) The minimum required front yard setback is 13.76 m. The altered dwelling will be located 11.64 m from the front lot line.
- 2. Section 10.20.40.20.(1), By-law 569-2013 The maximum permitted dwelling length is 17 m. The altered dwelling will have a length of 20.61 m.
- 3. Section 320-42.1 D (1) The maximum permitted dwelling length is 16.5 m. The altered dwelling will have a length of 17.56 m.
- 4. Section 10.5.100.1.(1), By-law 569-2013 and Section 320-44 A (1) (c) The maximum permitted driveway width is 6 m. The proposed driveway will have a width of 7.1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0177/17EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- 2. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
- 3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The Site Plan Drawing must be revised to show the proposed curb cut for the property, and the portion of the driveway that is located within the Penhale Drive municipal boulevard, as having a maximum width of 3.55 metres.
 - 3.2 The Site Plan Drawing must be revised to include the following notations:
 - a. "All existing redundant curb cuts, or portions thereof, that are no longer required must be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards";
 - c. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - d. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:A0177/17EYKOwner:POMPEO FINELLIPOMPEO FINELLIAgent:ST ENGINEERINGProperty Address:**15 PENHALE DR**Legal Description:PLAN 3919 N PT LOT 9

Zoning Ward: RD & R2 Etobicoke North (02)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

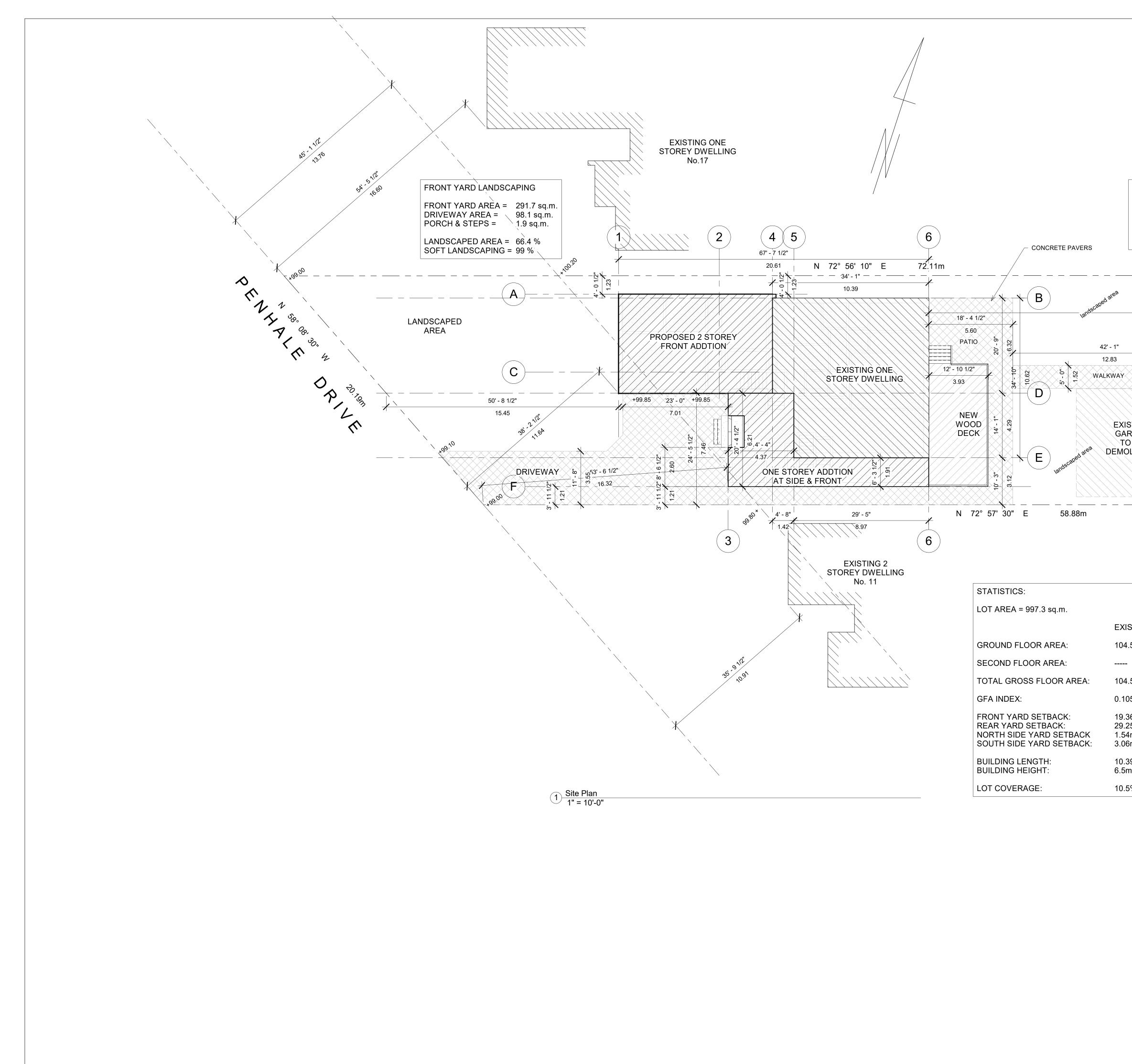
DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

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		_
REAR YARD LANDSCA	PING	
REAR YARD AREA = PATIO AREA= LANDSCAPED AREA=	168.5 sq.m.	
LANDSCAPED AREA =	62.2%	
	N I	andscaped area
		31' - 11"
95' - 11 1/2"		9.72 EXISTING
29.25	PATIO	SHED

95' - 11 1/2"			9.72			,
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STING	PROPOSED
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	69.4 sq.m.
l.5 sq.m.	238.7 sq.m.
05	0.24
36m 25m 4m 6m	11.6m 29.25m 1.23m 1.23m
39m m	20.61m 8.2m
5%	21.6%

No. 1 ISS	Description	Date
		VIEW NOV 16/1

ST ENGINEERING

23 Southlea Avenue East York, Ontario M4G 3L8 647-219-7651 st.theodor@bell.net



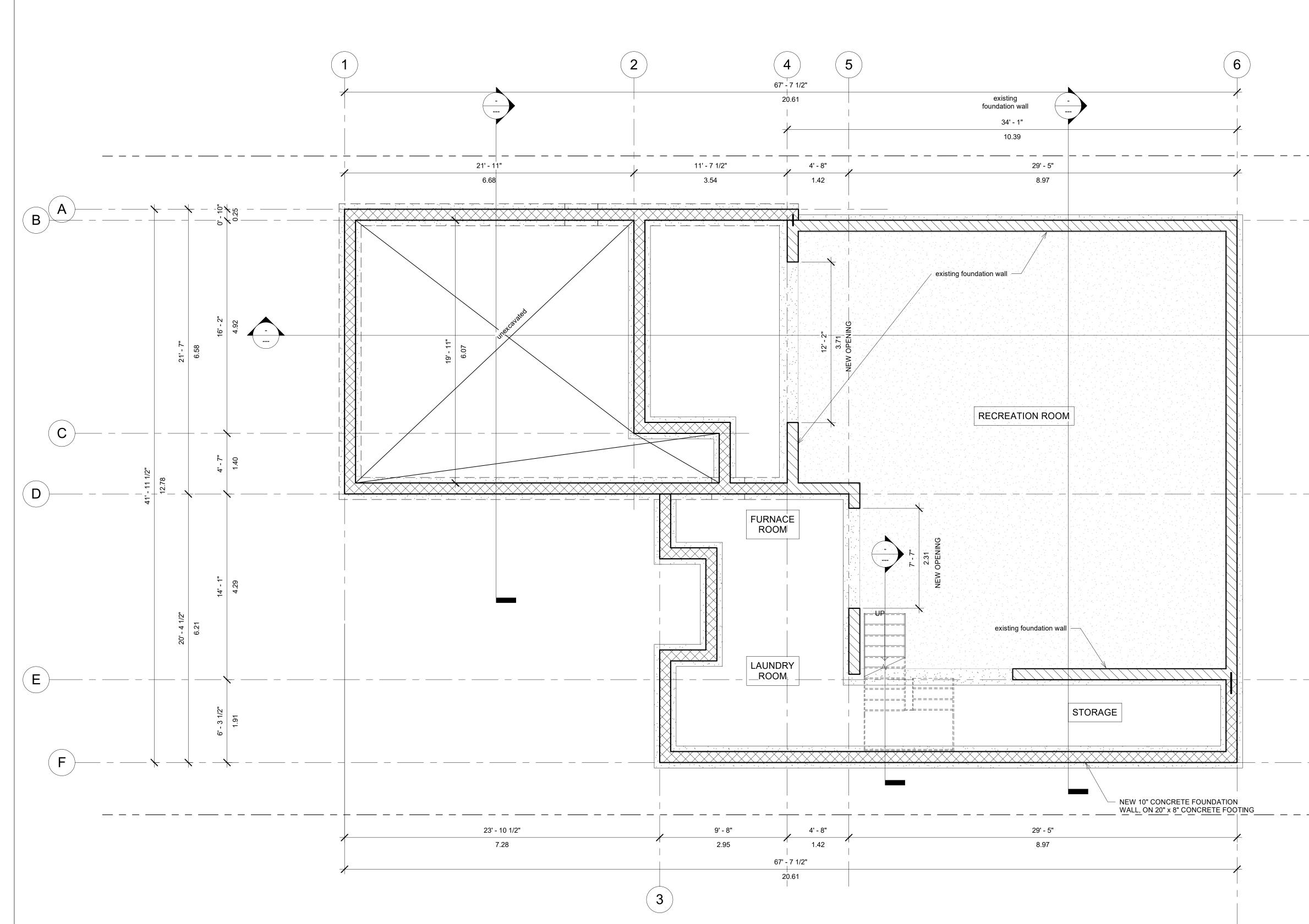


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16-051 NOVEMBER 2016 ST ST

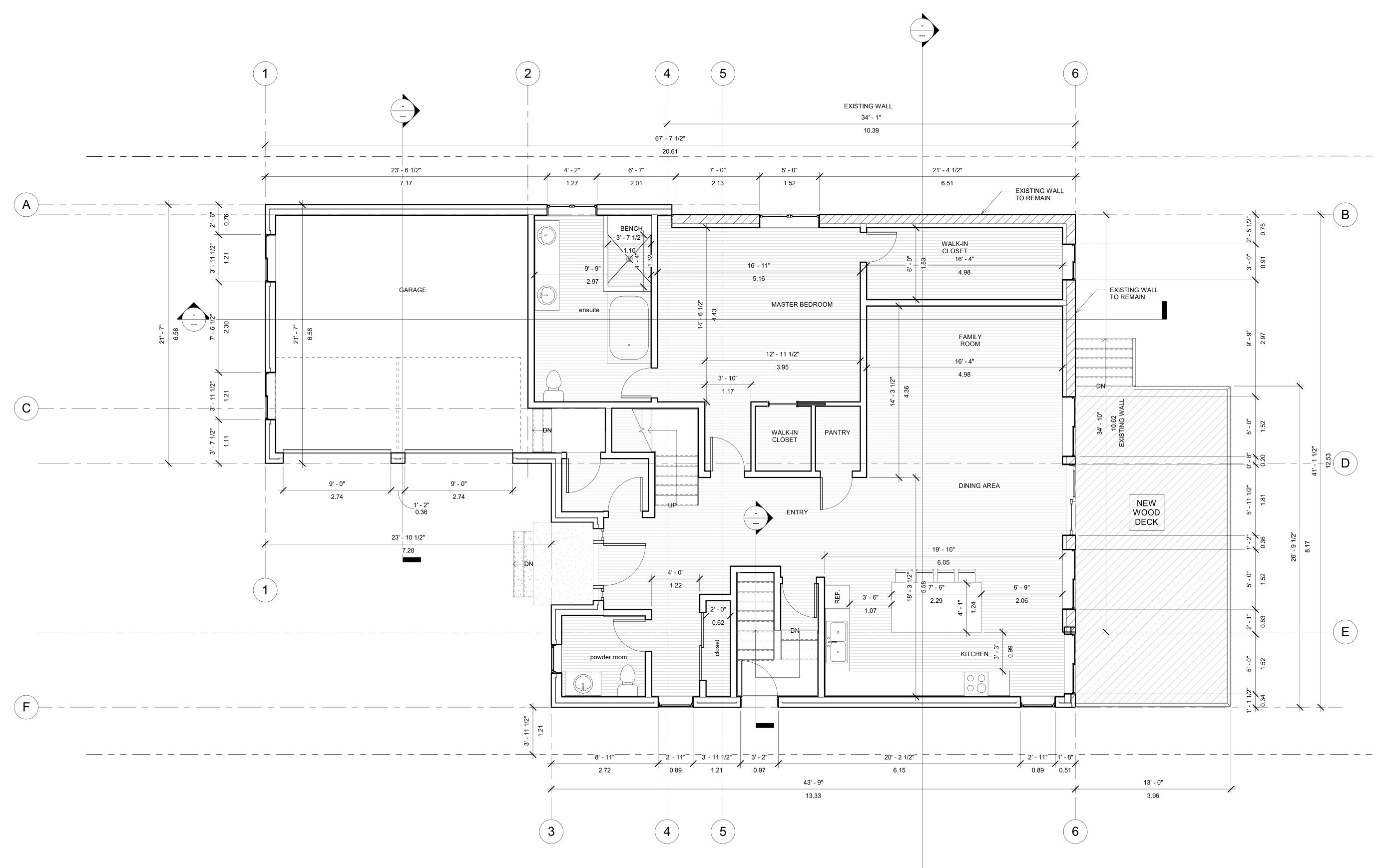
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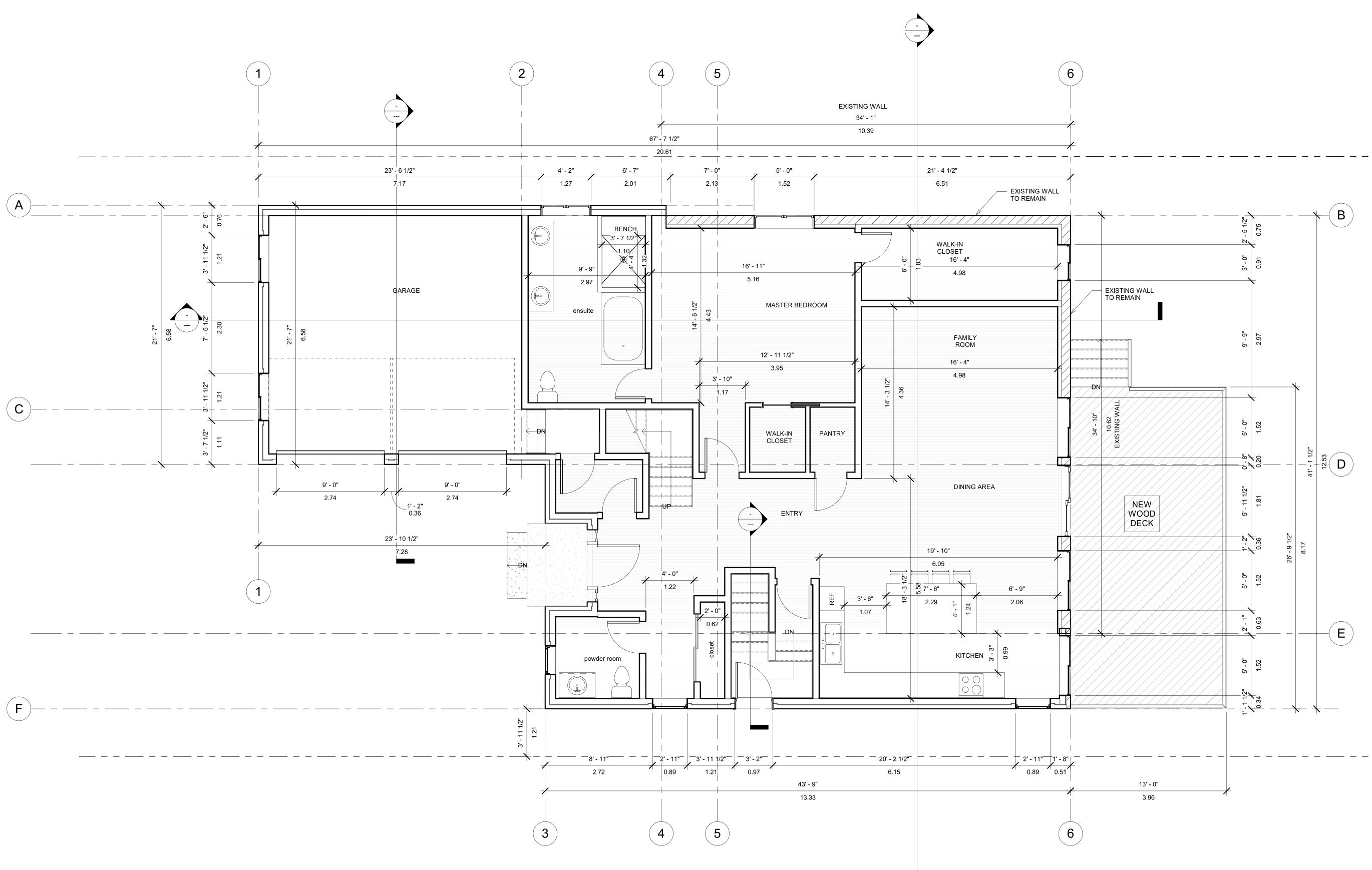
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1 Basement 1/4" = 1'-0"

_	No. Description Date 1 ISSUED FOR PRELIMINARY REVIEW NOV 16/16
34' - 10" 10.62 existing foundation wall	
	STENGINEERING
_	23 Southlea Avenue East York, Ontario M4G 3L8 647-219-7651 st.theodor@bell.net
	NOV16/16 S. THEODORAKOPOULOS 90418732
	SEAL MUST BE SIGNED AND DATED TO BE VALID
	PROPOSED ADDITION TO
	EXISTING ONE STOREY DWELLING
	15 PENHALE DRIVE TORONTO, ON
	BASEMENT FLOOR PLAN
	Project number16-051DateNOVEMBER 2016Drawn bySTChecked byST
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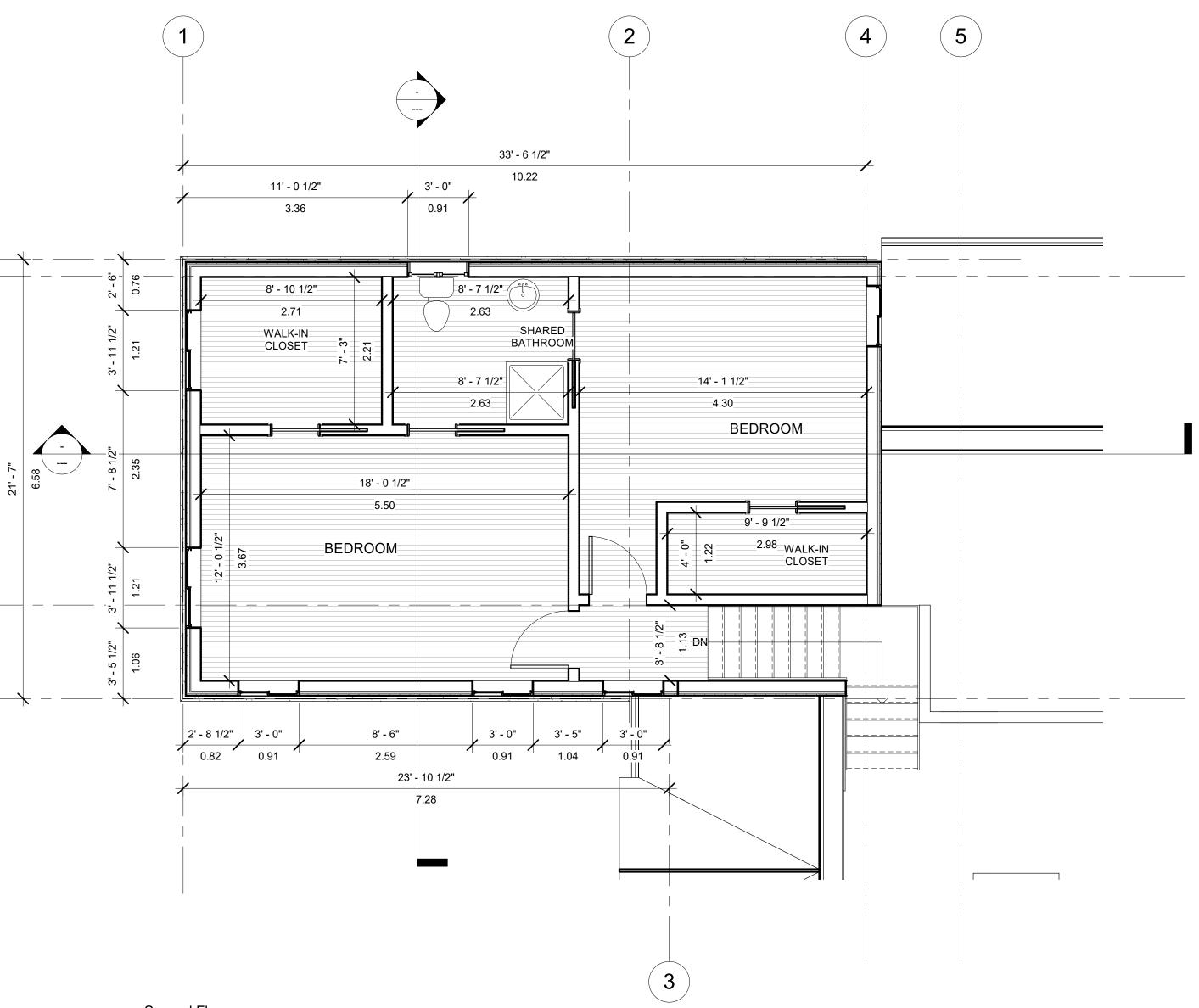




1 First Floor +100.55 1/4" = 1'-0"

No.	Description	Date
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	ST ENGINEERIN	IG
	23 Southlea Avenue East York, Ontario M4G 3L8 647-219-7651 st.theodor@bell.net	
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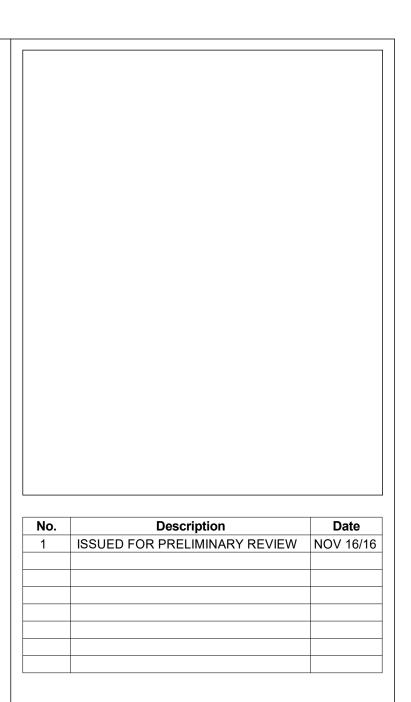
Scale



1 Second Floor 1/4" = 1'-0"

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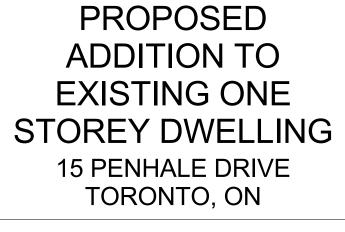
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ST ENGINEERING

23 Southlea Avenue East York, Ontario M4G 3L8 647-219-7651 st.theodor@bell.net

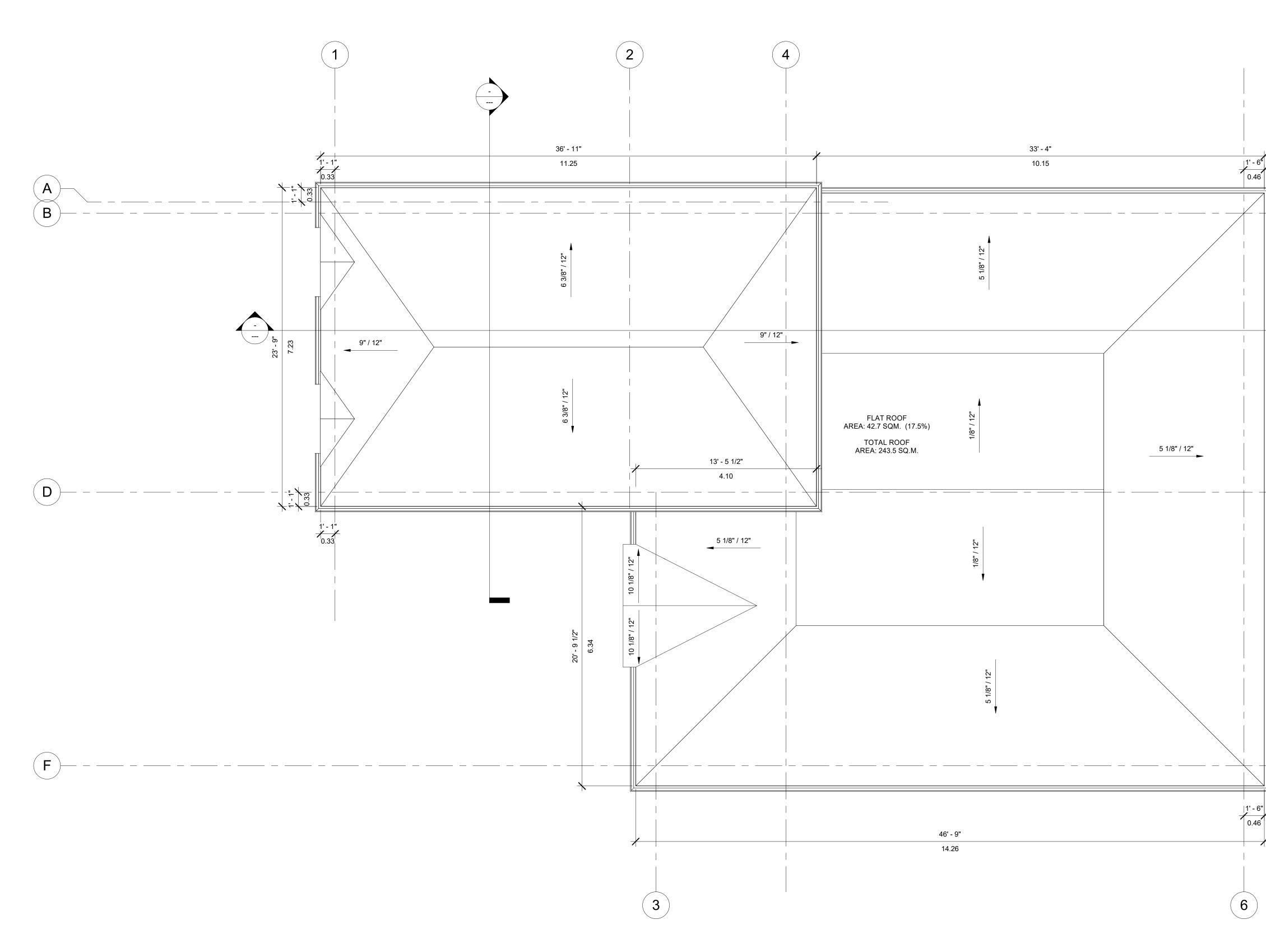




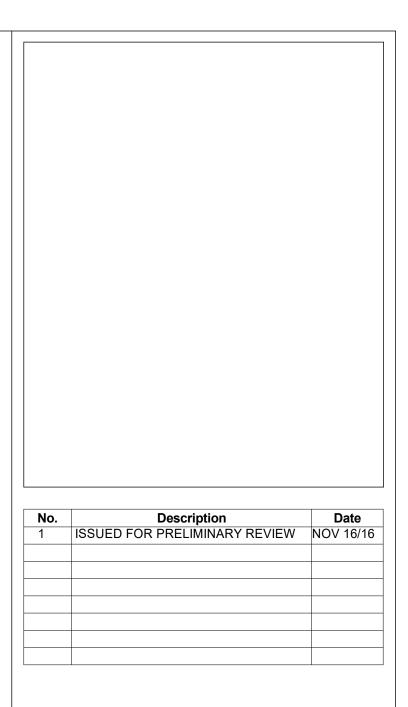
SECOND FLOOR PLAN

Project number Date Drawn by Checked by 16-051 NOVEMBER 2016 ST ST

A4



1 Roof Plan 1/4" = 1'-0"



ST ENGINEERING

23 Southlea Avenue East York, Ontario M4G 3L8 647-219-7651 st.theodor@bell.net



PROPOSED ADDITION TO EXISTING ONE STOREY DWELLING 15 PENHALE DRIVE TORONTO, ON

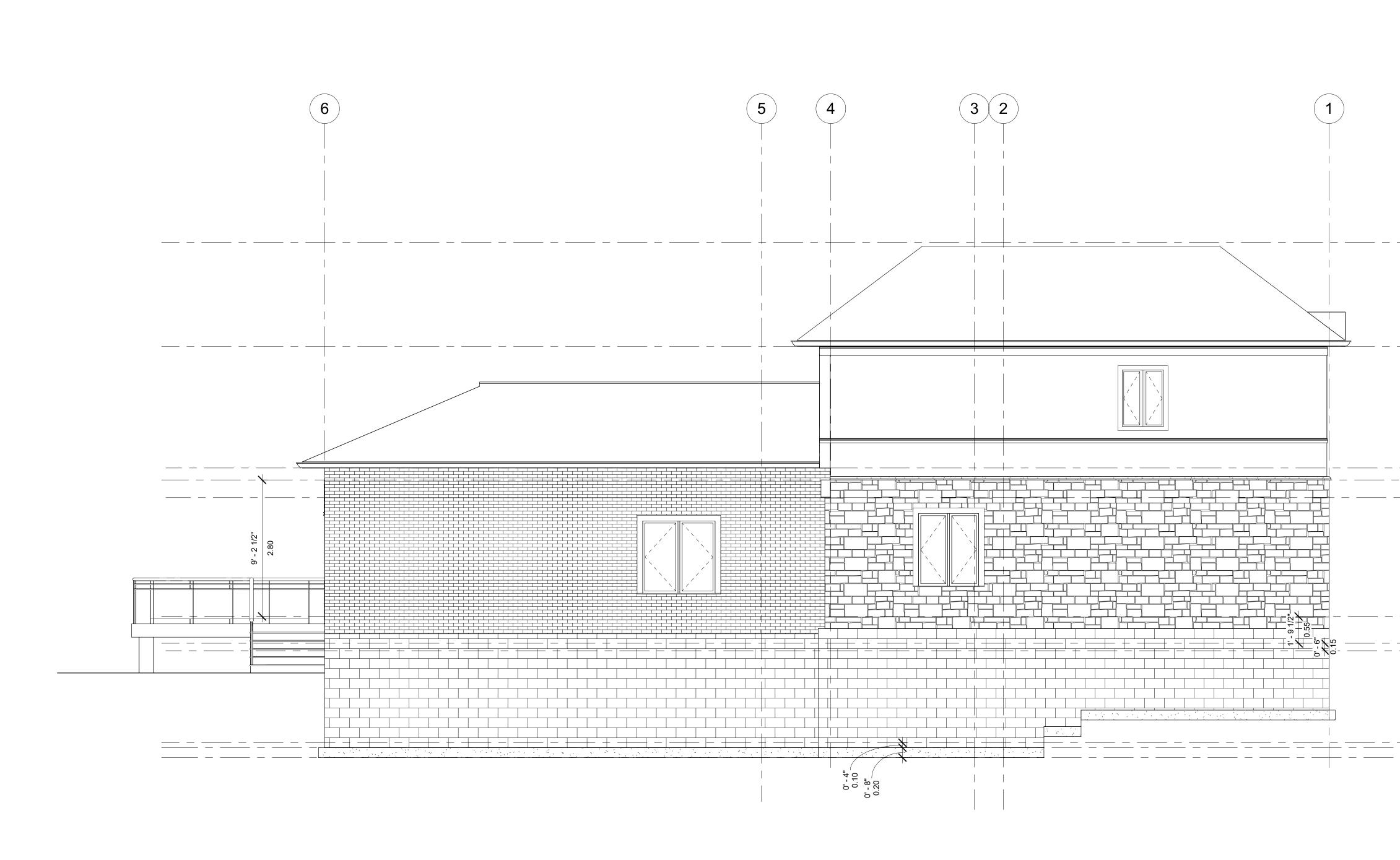
ROOF PLAN

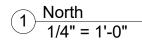
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16-051 NOVEMBER 2016 ST ST



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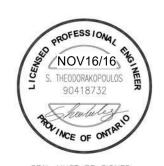




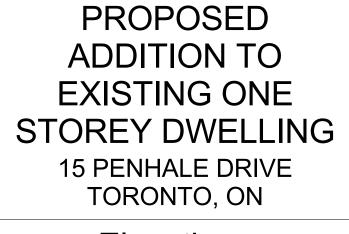
No.	Description	Date
1	ISSUED FOR PRELIMINARY REVIEW	NOV 16/16



23 Southlea Avenue East York, Ontario M4G 3L8 647-219-7651 st.theodor@bell.net



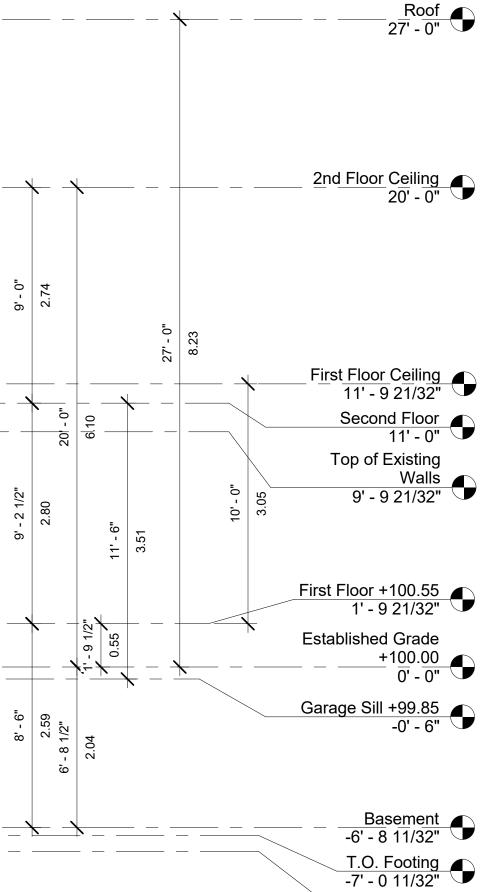
SEAL MUST BE SIGNED AND DATED TO BE VALID



Elevations

Project number Date Drawn by Checked by 16-051 NOVEMBER 2016 Author Checker





B.O. Footing -7' - 8 11/32"



2 West 1/4" = 1'-0"

t = 1'-0"

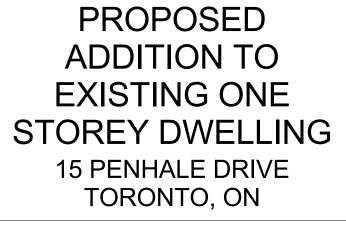
No.	Description	Date
No.	Description ISSUED FOR PRELIMINARY REVIEW	Date NOV 16/16
	Description ISSUED FOR PRELIMINARY REVIEW	



23 Southlea Avenue East York, Ontario M4G 3L8 647-219-7651 st.theodor@bell.net



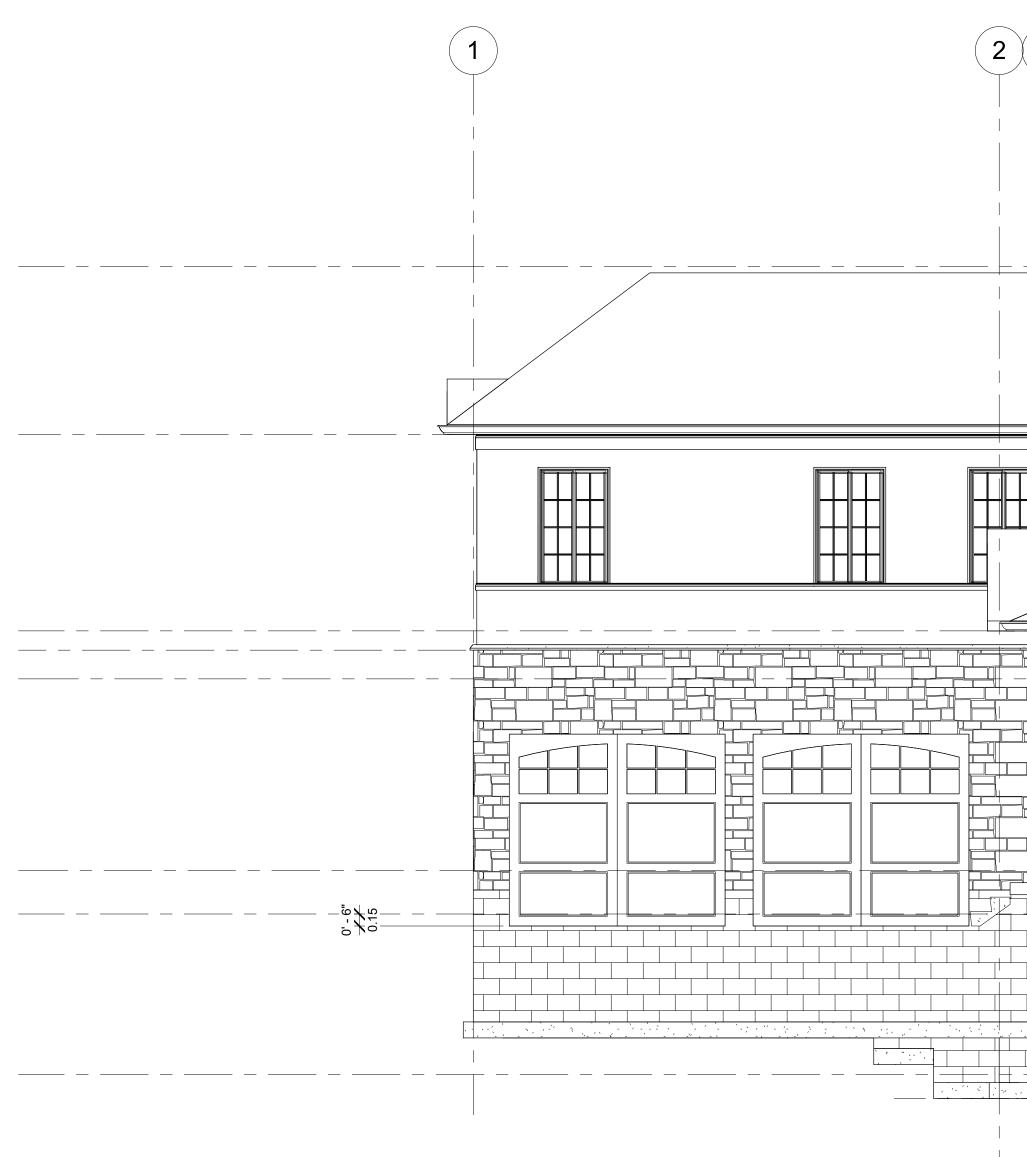
SEAL MUST BE SIGNED AND DATED TO BE VALID



Elevations

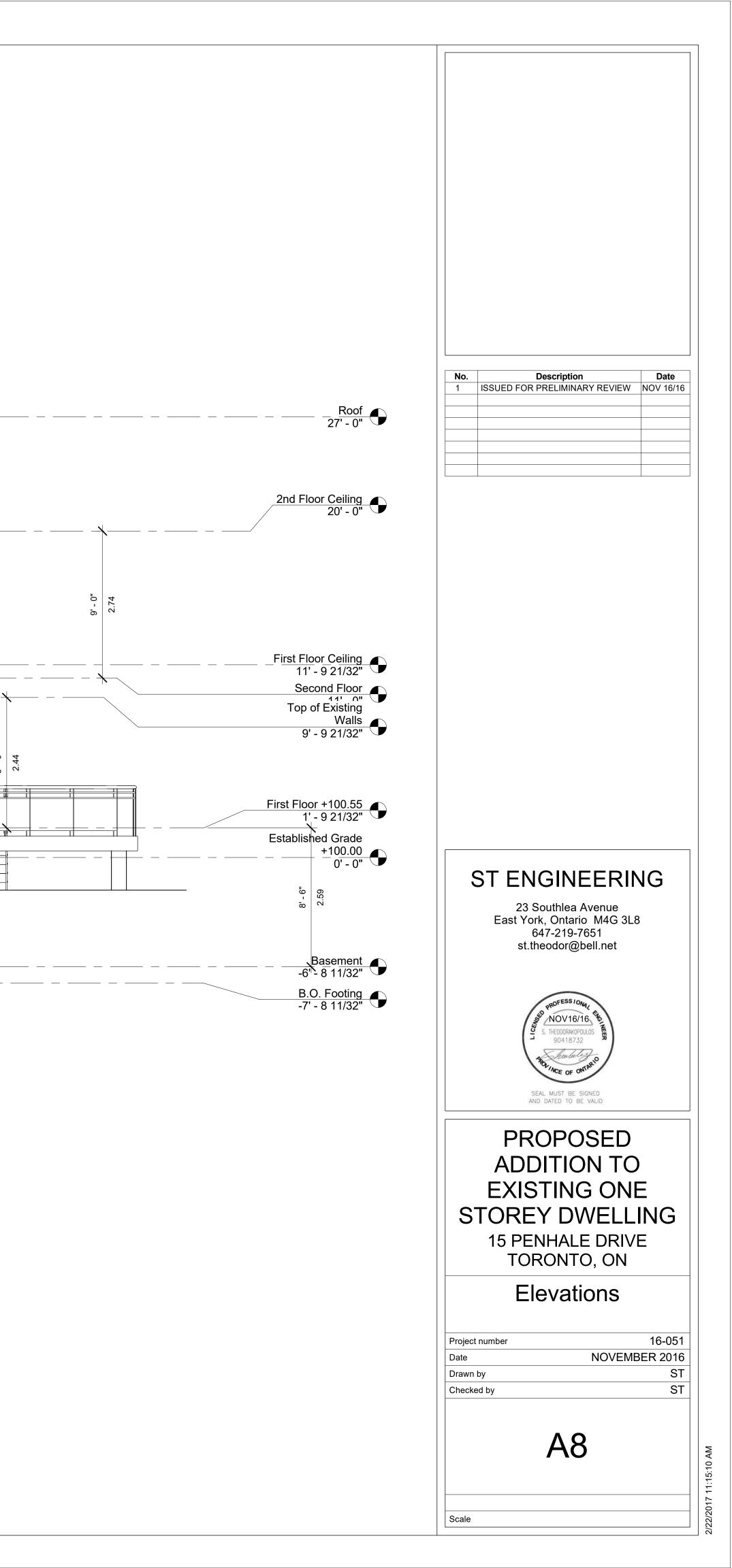
Project number Date Drawn by Checked by 16-051 NOVEMBER 2016 ST ST

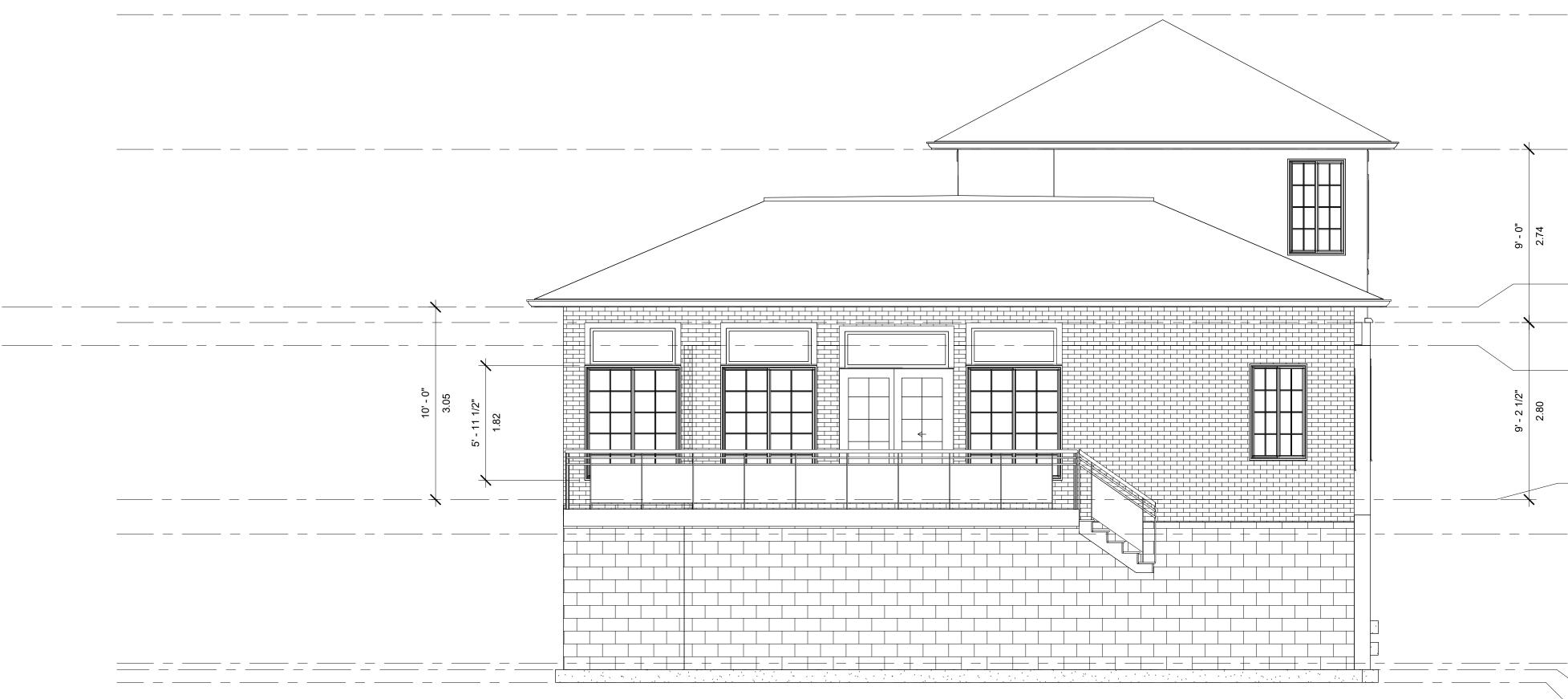




1 South 1/4" = 1'-0"

3	4 5	6





1 East 1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR PRELIMINARY REVIEW	NOV 16/16

ST ENGINEERING

23 Southlea Avenue East York, Ontario M4G 3L8 647-219-7651 st.theodor@bell.net

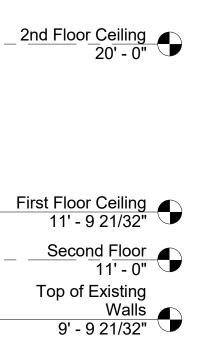


PROPOSED ADDITION TO EXISTING ONE STOREY DWELLING 15 PENHALE DRIVE TORONTO, ON

Elevations

Project number Date Drawn by Checked by 16-051 NOVEMBER 2016 ST ST





First Floor +100.55 1' - 9 21/32"

₁ - ৬ 21/32" Established Grade - _ _ _ <u>+100.00</u> 0' - 0"

 Basement -6' - 8 11/32"	
T.O. Footing -7' - 0 11/32"	
B.O. Footing -7' - 8 11/32"	\bullet

2/2017 11:15:



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0178/17EYK	Zoning	RD & R2
Owner(s):	MOUSSA TAHLIL	Ward:	Etobicoke-Lakeshore (05)
	LAUREN TEDESCO		
Agent:	LAUREN TEDESCO	Heritage:	Not Applicable
Property Address:	32 RENOWN RD	Community:	
Legal Description:	PLAN 1602 PT LOTS 86 & 87		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a second storey rear balcony, a rear covered deck, and a swimming pool in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 10.20.30.40.(1)(A), By-law 569-2013

The maximum permitted lot coverage is 33% of the lot area (202.87 m²). The altered dwelling will cover 36.15% of the lot area (222.26 m²).

2. Section 900.3.10.(37)(C), By-law 569-2013 and Section 1.(b)(1), By-law 1992-25

The maximum permitted gross floor area, including an attached or detached garage, shall be 150 m² plus 25% of the lot area (303.69 m²) with a maximum floor space index of 0.5 times the area of the lot (307.38 m²).

The altered dwelling, including the attached garage, will have a gross floor area of 150 m² plus 29.14% of the lot area (329.11 m²) and will have a floor space index of 0.54 times the area of the lot (329.11 m²).

3. Section 1.(a)(2), By-law 1992-25

The maximum permitted soffit height is 6.5 m. The altered dwelling will have a soffit height of 6.87 m.

4. Section 10.5.50.10.(3)(A), By-law 569-2013

A minimum of 50% of the rear yard shall be maintained as soft landscaping (164.27 m²). A total of 46.13% of the rear yard will be maintained as soft landscaping (151.55 m²).

5. Section 10.20.40.50.(1)(B), By-law 569-2013

The maximum permitted area of a platform at or above the second storey of a detached house is 4 m^2 . The proposed second storey rear platform will have an area of 7.76 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

A0178/17EYK

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. Submission of a complete application for permit to injure or destroy privately owned trees.
- 2. The applicant shall install 1.5 m high opaque screening along the north side of the proposed second storey rear balcony.
- 3. The ground floor rear covered deck shall remain open on three sides.

File Number:A0178/17EYKOwner:MOUSSA TAHLIL
LAUREN TEDESCOAgent:LAUREN TEDESCOProperty Address:32 RENOWN RDLegal Description:PLAN 1602 PT LOTS 86 & 87

Zoning Ward: RD & R2 Etobicoke-Lakeshore (05)

Heritage: Community:

Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0181/17EYK
Owner(s):	GARY EHASOO
	ANNA WILKINSON
Agent:	GEORGE TAXIDIS
Property Address:	48 FOURTH ST
Legal Description:	PLAN 1478 N PT LOT 29

Ward: Heritage: Community:

Zoning

RM & R2 Etobicoke-Lakeshore (06)

Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To demolish the existing one-storey rear addition and to construct one and two-storey rear additions and an attached rear garage with a dwelling unit above.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10(23)(B)(ii), By-law 569-2013 and Section 350-31(C)(2) The minimum required lot frontage for a duplex is 15 m. The lot has a frontage of 12.5 m.
- Section 900.6.10(23)(A)(iii), By-law 569-2013 and Section 350-31(C)(1) The minimum required lot area for a duplex is 557 m². The lot has an area of 468.7 m².
- 3. Section 900.6.10(23)(D)(i), By-law 569-2013 and Section 350-31(C)(4) The minimum required side yard setback for a duplex is 1.2 m. The altered dwelling will be located 0.5 m from the north side lot line.

4. Section 350-31(C)(6)

The minimum required rear yard setback is 9.37 m. The altered dwelling will be located 3 m from the rear lot line.

5. Section 350-26(A)(4)

The minimum required access space in front of a parking space is 6 m. The access leading to the garage will be 5.5 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to <u>NOT</u> approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

File Number:A0181/17EYKOwner:GARY EHASOO
ANNA WILKINSONAgent:GEORGE TAXIDISProperty Address:**48 FOURTH ST**
Legal Description:PLAN 1478 N PT LOT 29

Zoning Ward: RM & R2 Etobicoke-Lakeshore (06)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.



Thursday, April 6, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0089/16EYK	Zoning	RD & R2
Owner(s):	BERNARD CASSAR	Ward:	Etobicoke-Lakeshore (06)
Agent:	ACTION PLANNING	Heritage:	Not Applicable
	CONSULTANTS		
Property Address:	369 MELROSE ST	Community:	
Legal Description:	PLAN 1007 LOT 36		

Notice was given and the application considered on Thursday, April 6, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 2

Address to be assigned

The lot frontage is 7.62 m and the lot area is 290.3 m². The existing dwelling will be demolished and the property will be be redeveloped as the site of a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0986/16EYK.

Conveyed - Part 1

Address to be assigned

The lot frontage is 7.62 m and the lot area is 290.3 m². The existing dwelling will be demolished and the property will be be redeveloped as the site of a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0985/16EYK.

File Numbers B0089/16EYK, A0985/16EYK AND A0986/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision: Decision Notice - CO.doc Page 1

- 1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- 2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
- 3. The applicant shall satisfy all conditions concerning City/Privately owned trees, to the satisfaction of Urban Forestry Services.
- 4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
- 5. Two copies of the registered reference plan of survey integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
- 6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
- 7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

File Number:	B0089/16EYK	Zoning
Owner(s):	BERNARD CASSAR	Ward:
Agent:	ACTION PLANNING	Heritage:
-	CONSULTANTS	-
Property Address:	369 MELROSE ST	Community:
Legal Description:	PLAN 1007 LOT 36	

Allan Smithies (signed)

Dominic Gulli (signed)

Michael Clark (signed)

RD & R2

Not Applicable

Etobicoke-Lakeshore (06)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, May 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

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appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0985/16EYK	Zoning	RD & R2
Owner(s):	BERNARD CASSAR	Ward:	Etobicoke-Lakeshore (06)
Agent:	ACTION PLANNING	Heritage:	Not Applicable
	CONSULTANTS		
Property Address:	369 MELROSE ST – PART 1	Community:	
Legal Description:	PLAN 1007 LOT 36		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.20(1)(A), By-law 569-2013 and Section 320-59.A.(1) The minimum required lot frontage is 13.5 m. The proposed lot frontage is 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013 and Section 320-59.B.(1) The minimum required lot area is 510 m². The new lot area will be 290.3 m².
- Section 10.20.30.40(1)(A), By-law 569-2013 and Section 320-59.C. The maximum permitted lot coverage is 33% of the lot area (95.8 m²).
 Section 10.20.30.40(1)(A), By-law 569-2013 The lot coverage will be 41.25% of the lot area (119.74 m²).
 Section 320-59.C. The lot coverage will be 36.82% of the lot area (106.89 m²).
- Section 10.20.40.40(1)(A), By-law 569-2013 and Section 320-42.1.A.(2) The maximum permitted floor space index is 0.45 times the lot area (130.64 m²). The proposed dwelling will have a floor space index of 0.72 times the lot area (207.49 m²)
- Section 10.5.40.10(5), By-law 569-2013
 A minimum of 10 m² of the first floor must be within 4 m of the main front wall.
 A proposed 3.1 m² of the first floor is within 2.04 m of the main front wall.

	The minimum required side yard setback is 1.2m.
	Section 320-42.1.C.(1)
	The minimum required side yard setback is 0.9 m and the aggregate width of both side yards shall not equal
	less than 2.1 m.
	Section 10.20.40.70(3)(C), By-law 569-2013 and Section 320-42.1.C.(1)
	The new dwelling will be located 0.6 m from the east side lot line and 0.9 m from the west side lot line and will a total aggregate side yard width of 1.5 m.
7.	Section 10.20.40.10(6), By-law 569-2013
1.	The maximum permitted finished first floor height is 1.2 m.
	The proposed finished first floor height is 1.49 m.
8.	Section 320-42.1.D.(1)
	The maximum permitted dwelling depth is 16.5 m.
	The proposed dwelling will have a depth of 16.91 m.
9.	Section 10.20.40.10(2)(A), By-law 569-2013
	The maximum permitted height of the exterior portion of the main walls is 7 m.
	The exterior main walls of the proposed dwelling will be 8.06 m in height.
10.	Section 10.5.40.60(7)(B), By-law 569-2013
	The minimum required side yard setback for eaves is 0.3 m.
	Section 320-41.D
	The minimum required side yard setback for eaves is 0.4 m.
	Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D
	The eaves/roof projection of the proposed dwelling will be located 0.2 m to the property line from the east
	side.
11.	Section 320-42.1.B.(2)
	The maximum permitted soffit height is 6.5 m.
	The proposed dwelling will have a soffit height of 8.06 m.

File Numbers B0089/16EYK, A0985/16EYK AND A0986/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

Section 10.20.40.70(3)(C), By-law 569-2013

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

6.

This decision is subject to the following condition(s):

- 1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0089/16EYK.**
- 2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
- 3. The applicant shall submit one revised site plan (scale of 1:200 or1:250) illustrating the requirements specified in the following points to the satisfaction of Engineering and Construction Services and Transportation Services, at no cost to the City;
 - a. Insert a note on the site plan stating that, "The proposed new driveways shall be constructed to the applicable City of Toronto Design Standards"; and
 - b. Update the note on the site plan to say "All existing curb cuts which are no longer required must be restored in accordance with applicable City standards and requirements at no cost to the municipality"; and
 - c. The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.).

A0985/16EYK File Number: Zoning Ward: Owner: **BERNARD CASSAR** ACTION PLANNING Heritage: Agent: **CONSULTANTS** Property Address: **369 MELROSE ST – PART 1** Community: Legal Description: PLAN 1007 LOT 36

RD & R2 Etobicoke-Lakeshore (06) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0986/16EYK	Zoning	RD & R2
Owner(s):	BERNARD CASSAR	Ward:	Etobicoke-Lakeshore (06)
Agent:	ACTION PLANNING	Heritage:	Not Applicable
	CONSULTANTS		
Property Address:	369 MELROSE ST – PART 2	Community:	
Legal Description:	PLAN 1007 LOT 36		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.20(1)(A), By-law 569-2013 and Section 320-59.A.(1) The minimum required lot frontage is 13.5 m. The proposed lot frontage is 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013 and Section 320-59.B.(1) The minimum required lot area is 510 m². The new lot area will be 290.3 m².
- Section 10.20.30.40(1)(A), By-law 569-2013 and Section 320-59.C. The maximum permitted lot coverage is 33% of the lot area (95.8 m²). Section 10.20.30.40(1)(A), By-law 569-2013 The lot coverage will be 41.25% of the lot area (119.74 m²). Section 320-59.C. The lot coverage will be 36.82% of the lot area (106.89 m²).
- Section 10.20.40.40(1)(A), By-law 569-2013 and Section 320-42.1.A.(2) The maximum permitted floor space index is 0.45 times the lot area (130.64 m²). The proposed dwelling will have a floor space index of 0.71 times the lot area (206.44 m²).
- Section 10.5.40.10(5), By-law 569-2013
 A minimum of 10 m² of the first floor must be within 4 m of the main front wall.
 A proposed 3.1 m² of the first floor is within 2.04 m of the main front wall.

Section 10.20.40.70(3)(C), By-law 569-2013
The minimum required side yard setback is 1.2m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9 m and the aggregate width of both side yards shall not equal less than 2.1 m.
Section 10.20.40.70(3)(C), By-law 569-2013 and Section 320-42.1.C.(1)
The new dwelling will be located 0.9 m from the east side lot line and 0.6 m from the west side lot line and will a total aggregate side yard width of 1.5 m.

- 7. Section 10.20.40.10(6), By-law 569-2013 The maximum permitted finished first floor height is 1.2 m. The proposed finished first floor height is 1.49 m.
- 8. Section 320-42.1.D.(1)

6.

The maximum permitted dwelling depth is 16.5 m. The proposed dwelling will have a depth of 16.91 m.

9. Section 10.20.40.10(2)(A), By-law 569-2013

The maximum permitted height of the exterior portion of the main walls is 7 m. The exterior main walls of the proposed dwelling will be 8.06 m in height.

10. Section 10.5.40.60(7)(B), By-law 569-2013

The minimum required side yard setback for eaves is 0.3 m. Section 320-41.D The minimum required side yard setback for eaves is 0.4 m. Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D The eaves/roof projection of the proposed dwelling will be located 0.2 m to the property line from the west side.

11. Section 320-42.1.B.(2)

The maximum permitted soffit height is 6.5 m. The proposed dwelling will have a soffit height of 8.06 m.

File Numbers B0089/16EYK, A0985/16EYK AND A0986/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0089/16EYK.**
- 2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
- 3. The applicant shall submit one revised site plan (scale of 1:200 or1:250) illustrating the requirements specified in the following points to the satisfaction of Engineering and Construction Services and Transportation Services, at no cost to the City;
 - a. Insert a note on the site plan stating that, "The proposed new driveways shall be constructed to the applicable City of Toronto Design Standards"; and
 - b. Update the note on the site plan to say "All existing curb cuts which are no longer required must be restored in accordance with applicable City standards and requirements at no cost to the municipality"; and
 - c. The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.).

A0986/16EYK RD & R2 File Number: Zoning Ward: Owner: **BERNARD CASSAR** Etobicoke-Lakeshore (06) ACTION PLANNING Heritage: Not Applicable Agent: **CONSULTANTS** Property Address: **369 MELROSE ST – PART 2** Community: Legal Description: PLAN 1007 LOT 36

Allan Smithies (signed)

Dominic Gulli (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number: Owner(s):	B0003/17EYK HUI GUAN	Zoning Ward:	RD & RS Etobicoke-Lakeshore (06)
Agent:	TAHA AZIZ VANESSA MANNO	Heritage:	Not Applicable
Property Address: Legal Description:	50 LABURNHAM AVE PLAN 1571 LOT 235	Community:	Tot Applicable

Notice was given and the application considered on Thursday, April 6, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 1

Address to be assigned

The lot frontage is 7.62 m and the lot area is 290.3 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0013/17EYK.

Conveyed - Part 2

Address to be assigned

The lot frontage is 7.62 m and the lot area is 290.3 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0014/17EYK.

File numbers B0003/17EYK, A0013/17EYK and A0014/17EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

B0003/17EYK

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

- 1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- 2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
- 3. The applicant shall satisfy all conditions concerning City/Privately owned trees, to the satisfaction of Urban Forestry Services.
- 4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
- 5. Two copies of the registered reference plan of survey integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
- 6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
- 7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

File Number: Owner(s): Agent:

Property Address: Legal Description: B0003/17EYK HUI GUAN TAHA AZIZ VANESSA MANNO **50 LABURNHAM AVE** PLAN 1571 LOT 235 Zoning Ward: RD & RS Etobicoke-Lakeshore (06)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, May 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0013/17EYK	Zoning	RD & RS
Owner(s):	HUI GUAN	Ward:	Etobicoke-Lakeshore (06)
	TAHA AZIZ		
Agent:	VANESSA MANNO	Heritage:	Not Applicable
Property Address:	50 LABURNHAM AVE –	Community:	
	PART 1		
Legal Description:	PLAN 1571 LOT 235		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.20.(1)(A), By-law 569-2013 & Section 330-23.A.(2) The minimum, required lot frontage is 12 m. The lot frontage will be 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013 The minimum required lot area is 370 m².
 Section 330-23.A.(1) The minimum required lot area is 371 m².
 Section 10.20.30.10.(1)(A), By-law 569-2013 & Section 330-23.A.(1) The lot area will be 290.3 m².
- 3. Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 330-23.A.(9) The maximum permitted floor space index is 0.35 times the lot area (101.6 m²). The proposed dwelling will have a floor space index of 0.63 times the lot area (182.6 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013 The minimum required side yard setback is 1.2 m. Section 330-23.A.(7) The minimum required side yard setback is 0.9 m. Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 330-23.A.(7) The proposed dwelling will be located 0.62 m from the west side lot line.

5. Section 330-13.A.(2) The minimum required eaves side yard setback is 0.5 m. The eaves of the proposed dwelling will be located 0.3 m from the west side lot line.

- 6. Section 10.20.40.20.(1), By-law 569-2013 The minimum required building length is 17 m. The proposed dwelling will have a length of 18.1 m.
- 7. Section 200.5.1.10(2)(C), By-law 569-2013 & Section 330-9.A.(1) The minimum required parking space width is 3.2 m. The proposed parking space, within the proposed garage will have a width of 3.05 m.

File numbers B0003/17EYK, A0013/17EYK and A0014/17EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0003/17EYK.**
- 2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
- 3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
- 4. The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - a. Illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b. Illustrate proposed grades to demonstrate proposed grades match existing grades; and,
 - c. Illustrated existing structures (i.e. house, driveway, garage, etc.) to be demolished; and,
 - d. Clearly identify the portions of the proposed driveways within the Laburnham Avenue right-ofway, including any proposed curb cuts other features within the boulevard; and,
 - e. The floor plans must be revised to illustrate a minimum 3.2 metre width for the proposed internal garage spaces for both proposed dwellings; and,

- f. Include a notation on the drawing stating: "The proposed new driveways shall be constructed to the applicable City of Toronto Design Standards"; and,
- g. Include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard; and,
- h. Include a notation on the drawing stating: "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)".

File Number:A0013/17EYKOwner:HUI GUAN
TAHA AZIZAgent:VANESSA MANNOProperty Address:50 LABURNHAM AVE -
PART 1Legal Description:PLAN 1571 LOT 235

Zoning Ward: RD & RS Etobicoke-Lakeshore (06)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0014/17EYK	Zoning	RD & RS
Owner(s):	HUI GUAN	Ward:	Etobicoke-Lakeshore (06)
	TAHA AZIZ		
Agent:	VANESSA MANNO	Heritage:	Not Applicable
Property Address:	50 LABURNHAM AVE –	Community:	
	PART 2		
Legal Description:	PLAN 1571 LOT 235		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.20.(1)(A), By-law 569-2013 & Section 330-23.A.(2) The minimum, required lot frontage is 12 m. The lot frontage will be 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013 The minimum required lot area is 370 m².
 Section 330-23.A.(1) The minimum required lot area is 371 m².
 Section 10.20.30.10.(1)(A), By-law 569-2013 & Section 330-23.A.(1) The lot area will be 290.3 m².
- 3. Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 330-23.A.(9) The maximum permitted floor space index is 0.35 times the lot area (101.6 m²). The proposed dwelling will have a floor space index of 0.63 times the lot area (183.2 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013 The minimum required side yard setback is 1.2 m. Section 330-23.A.(7) The minimum required side yard setback is 0.9 m. Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 330-23.A.(7) The proposed dwelling will be located 0.62 m from the east side lot line.

5. Section 330-13.A.(2) The minimum required eaves side yard setback is 0.5 m. The eaves of the proposed dwelling will be located 0.3 m from the east side lot line.

- 6. Section 10.20.40.20.(1), By-law 569-2013 The minimum required building length is 17 m. The proposed dwelling will have a length of 18.1 m.
- 7. Section 200.5.1.10(2)(C), By-law 569-2013 & Section 330-9.A.(1) The minimum required parking space width is 3.2 m. The proposed parking space, within the proposed garage will have a width of 3.05 m.

File numbers B0003/17EYK, A0013/17EYK and A0014/17EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0003/17EYK.**
- 2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
- 3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
- 4. The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - a. Illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b. Illustrate proposed grades to demonstrate proposed grades match existing grades; and,
 - c. Illustrated existing structures (i.e. house, driveway, garage, etc.) to be demolished; and,
 - d. Clearly identify the portions of the proposed driveways within the Laburnham Avenue right-ofway, including any proposed curb cuts other features within the boulevard; and,
 - e. The floor plans must be revised to illustrate a minimum 3.2 metre width for the proposed internal garage spaces for both proposed dwellings; and,

- f. Include a notation on the drawing stating: "The proposed new driveways shall be constructed to the applicable City of Toronto Design Standards"; and,
- g. Include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard; and,
- h. Include a notation on the drawing stating: "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)".

File Number:A0014/17EYKOwner:HUI GUAN
TAHA AZIZAgent:VANESSA MANNOProperty Address:50 LABURNHAM AVE -
PART 2Legal Description:PLAN 1571 LOT 235

Zoning Ward: RD & RS Etobicoke-Lakeshore (06)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A535/16EYK	Zoning	RD & R1
Owner(s):	MICHAEL BIALCZYK	Ward:	Etobicoke-Lakeshore (06)
	JENNIFER HARRIS		
Agent:	ANTHONY PROVENZANO	Heritage:	Not Applicable
Property Address:	90 TENTH ST	Community:	
Legal Description:	PLAN 1592 PT LOT 66		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a three-storey front addition and a second and third storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 350-31.F(1) The maximum permitted floor space index/gross floor area is 0.4 times the area of the lot (105.25 m²). The altered dwelling will have a floor space index/gross floor area equal to 0.93 times the area of the lot (245.76 m²).
- 2. Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 350-31.K The minimum required front yard setback is 6.09 m. The altered dwelling will be located 3.37 m from the front lot line.
- Section 10.20.40.70.(3)(B), By-law 569-2013 The minimum required side yard setback is 0.9 m.
 Section 350-31.A(4) The minimum required side yard setback is 0.6 m.
 Section 10.20.40.70.(3)(B), By-law 569-2013 and Section 350-31.A(4) The altered dwelling will be located 0.48 m from the north side lot line.
- Section 10.5.40.60.(7), By-law 569-2013
 The minimum required side yard setback for eaves is 0.3 m.
 Section 350-13.B
 The minimum required side yard setback for eaves is 0.5 m.
 Section 10.5.40.60.(7), By-law 569-2013 and Section 350-13.B
 The eaves of the altered dwelling will be located 0.07 m from the north side lot line.

5. Section 10.20.40.10.(2)(B)(ii), By-law 569-2013 The maximum permitted height of all side exterior main walls facing a side lot line is 7 m. The altered dwelling will have a side exterior main wall height of 8.56 m facing a side lot line.

A535/16EYK

6. Section 350-30.9.(A)

A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping.

A total of 66% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (13.3 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

File Number:A535/16EYKOwner:MICHAEL BIALCZYKJENNIFER HARRISAgent:ANTHONY PROVENZANOProperty Address:90 TENTH STLegal Description:PLAN 1592 PT LOT 66

Zoning Ward: RD & R1 Etobicoke-Lakeshore (06)

Heritage: Community:

Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0565/16EYK	Zoning	RD & R2
Owner(s):	TARA GENEVIEVE MEGAN	Ward:	Etobicoke-Lakeshore (05)
	MCCUE		
	WILLIAM DYLAN MCCUE		
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	3 TENBY ST	Community:	
Legal Description:	PLAN M141 PT LOT 62		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To constuct a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 10.20.30.40.(1)(A), By-law 569-2013 The maximum permitted lot coverage is 33% of the lot area (127.4 m²). The altered dwelling will have a lot coverage of 38% of the lot area (146.6 m²).

- 2. Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 320-42.1(A)(1) The maximum permitted floor space index/ gross floor area is 0.45 times the lot area (173.7 m²). The altered dwelling will have a floor space index/ gross floor area of 0.52 times the lot area (199.3 m²).
- 3. Section 10.20.40.20.(1), By-law 569-2013 The maximum permitted building length is 17 m. The altered dwelling will have a length of 17.22 m.
- Section 10.20.40.30.(1), By-law 569-2013 The maximum permitted building depth is 19 m.
 Section 320-42.1(D)(1) The maximum permitted building depth is 16.5 m.
 Section 10.20.40.30.(1), By-law 569-2013 & Section 320-42.1(D)(1) The altered dwelling will have a depth of 19.94 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0565/16EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at <u>www.toronto.ca/trees/pdfs/contractor services agreement information.pdf</u>.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

File Number:	A0565/16EYK	Zoning	RD & R2
Owner:	TARA GENEVIEVE MEGAN	Ward:	Etobicoke-Lakeshore (05)
	MCCUE		
	WILLIAM DYLAN MCCUE		
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	3 TENBY ST	Community:	
Legal Description:	PLAN M141 PT LOT 62		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:B0060/16EYKOwner(s):BDF HOLDINGS CORPAgent:ELDON THEODOREProperty Address:66 VICTOR AVELegal Description:PLAN M77 LOT 229

Zoning Ward: Heritage: Community: RM & R2A Etobicoke-Lakeshore (06) Not Applicable

Notice was given and the application considered on Thursday, April 6, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 1 Address to be assigned

The lot frontage is 7.62 m and the lot area is 307.3 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0688/16EYK.

Conveyed - Part 2

Address to be assigned

The lot frontage is 7.62 m and the lot area is 307.3 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0689/16EYK.

File numbers B0060/16EYK, A0688/16EYK and A0689/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

- 1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- 2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
- 3. The applicant shall satisfy all conditions concerning City/Privately owned trees, to the satisfaction of Urban Forestry Services.
- 4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
- 5. Two copies of the registered reference plan of survey integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
- 6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
- 7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

File Number:B0060/16EYKOwner(s):BDF HOLDINGS CORPAgent:ELDON THEODOREProperty Address:66 VICTOR AVELegal Description:PLAN M77 LOT 229

Zoning Ward: Heritage: Community: RM & R2A Etobicoke-Lakeshore (06) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, May 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at <u>www.omb.gov.on.ca</u>.

NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:A0688/16EYKOwner(s):BDF HOLDINGS CORPAgent:ELDON THEODOREProperty Address:66 VICTOR AVE – PART 1Legal Description:PLAN M77 LOT 229

Zoning Ward: Heritage: Community: RM & R2A Etobicoke-Lakeshore (06) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10 (479)(B)(i), By-law 569-2013 & Section 340-30.A.(2) The minimum required lot frontage is 10.5 m. The lot frontage will be 7.62 m.
- Section 900.6.10 (479)(A)(i), By-law 569-2013 & Section 340-30.A.(1) The minimum required lot area is 325 m². The lot area will be 307.3 m².
- Section 10.80.40.40.(1), By-law 569-2013 & Section 340-30.L. The maximum permitted floor space index is 0.6 times the lot area (184.35 m²). The proposed dwelling will have a floor space index of 0.78 times the lot area (240.2 m²).
- 4. Section 900.6.10 (479)(D), By-law 569-2013 & Section 340-30.A.(4) The minimum required side yard setback is 0.9 m. The proposed dwelling will be located 0.6 m from the north and south side lot lines.
- 5. Section 10.80.40.50.(1), By-law 569-2016 The maximum permitted area of a platform at or above the second storey is 4 m². The proposed platform at or above the second storey will be 13.5 m².

File numbers B0060/16EYK, A0688/16EYK and A0689/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0060/16EYK.**
- 2. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor services agreement information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

- 3. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
- 4. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- 5. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on January 25, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

File Number:A0688/16EYKOwner:BDF HOLDINGS CORPAgent:ELDON THEODOREProperty Address:66 VICTOR AVE - PART 1Legal Description:PLAN M77 LOT 229

Zoning Ward: Heritage: Community: RM & R2A Etobicoke-Lakeshore (06) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

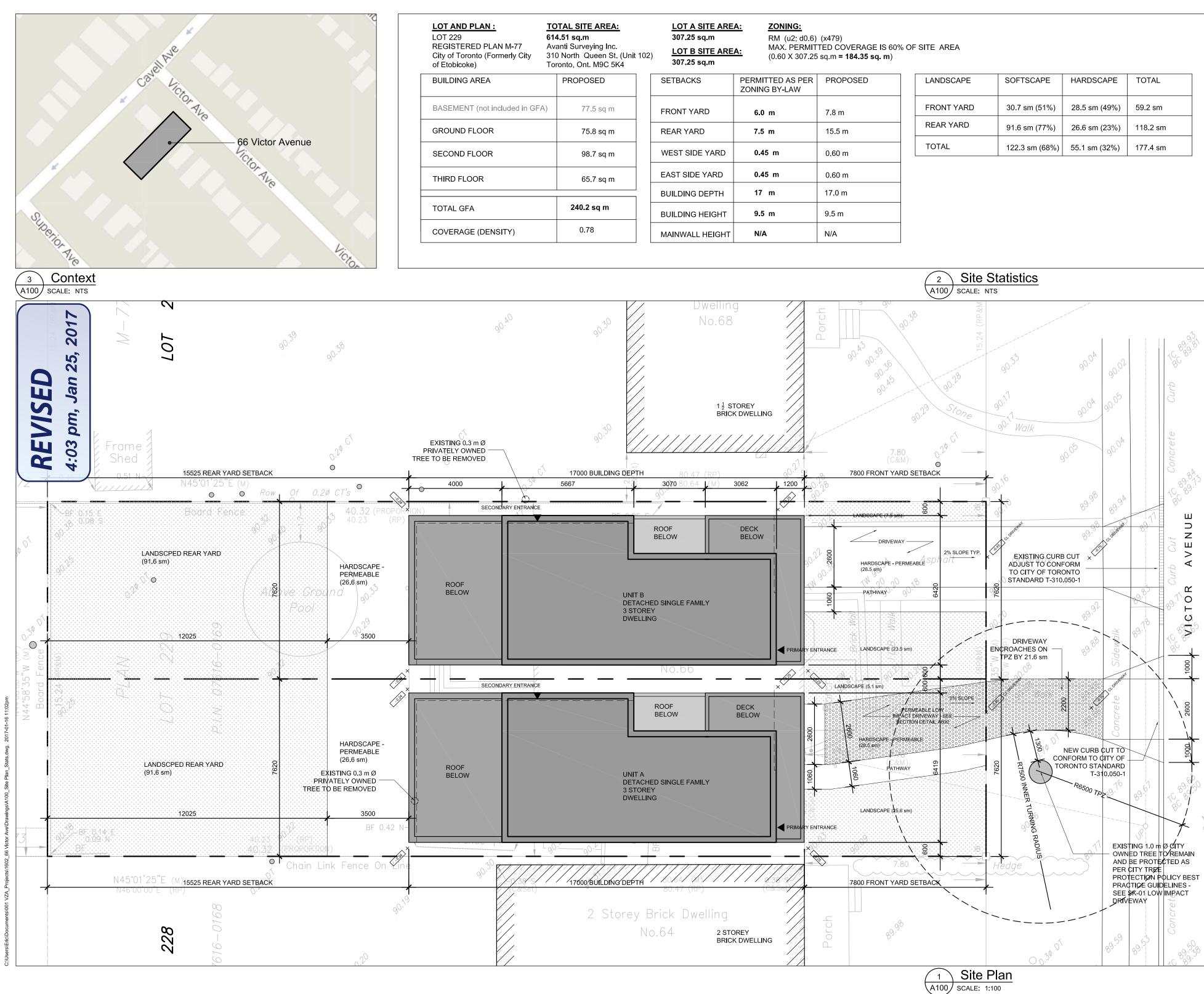
Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

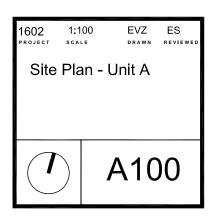
Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

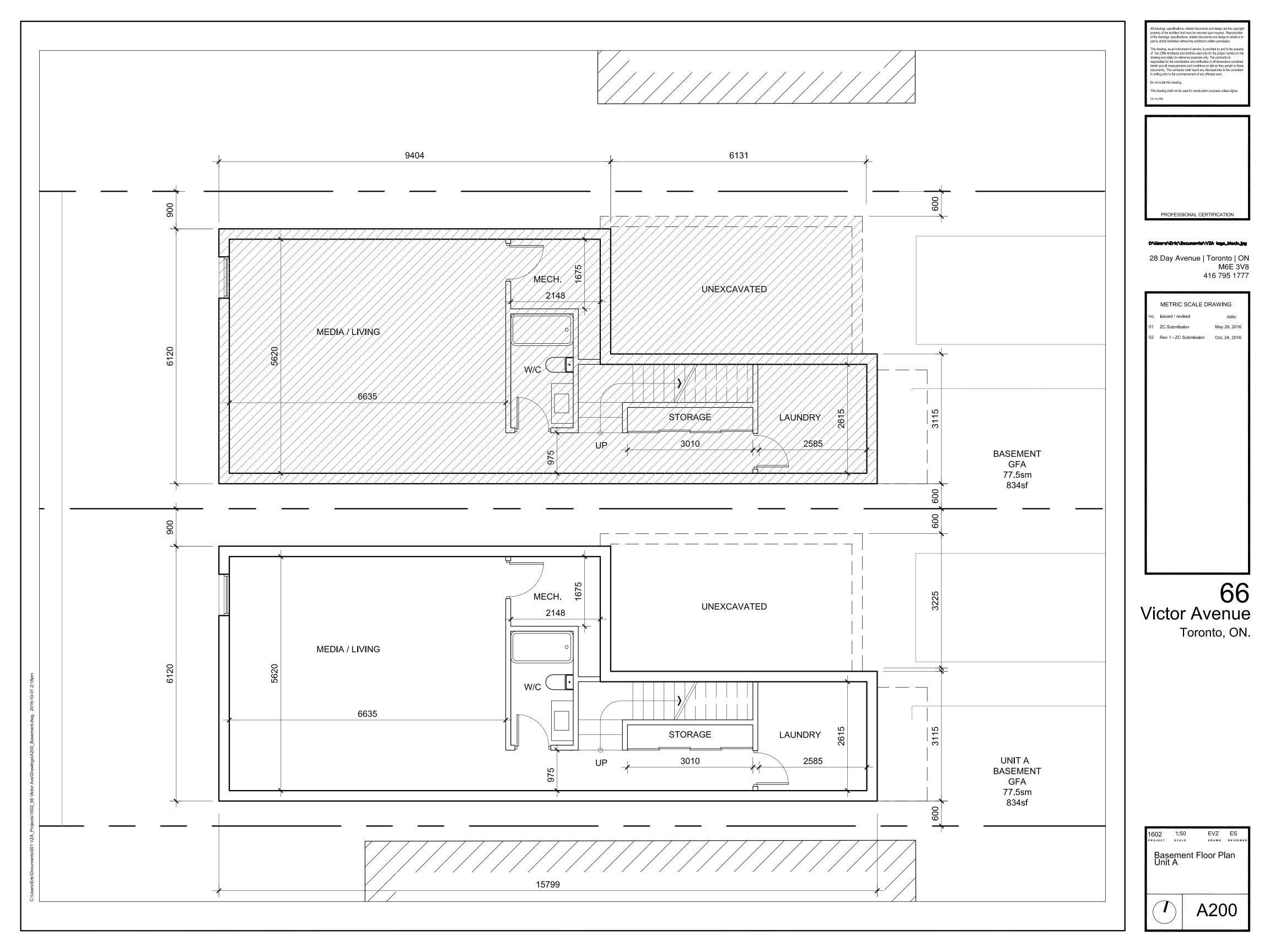


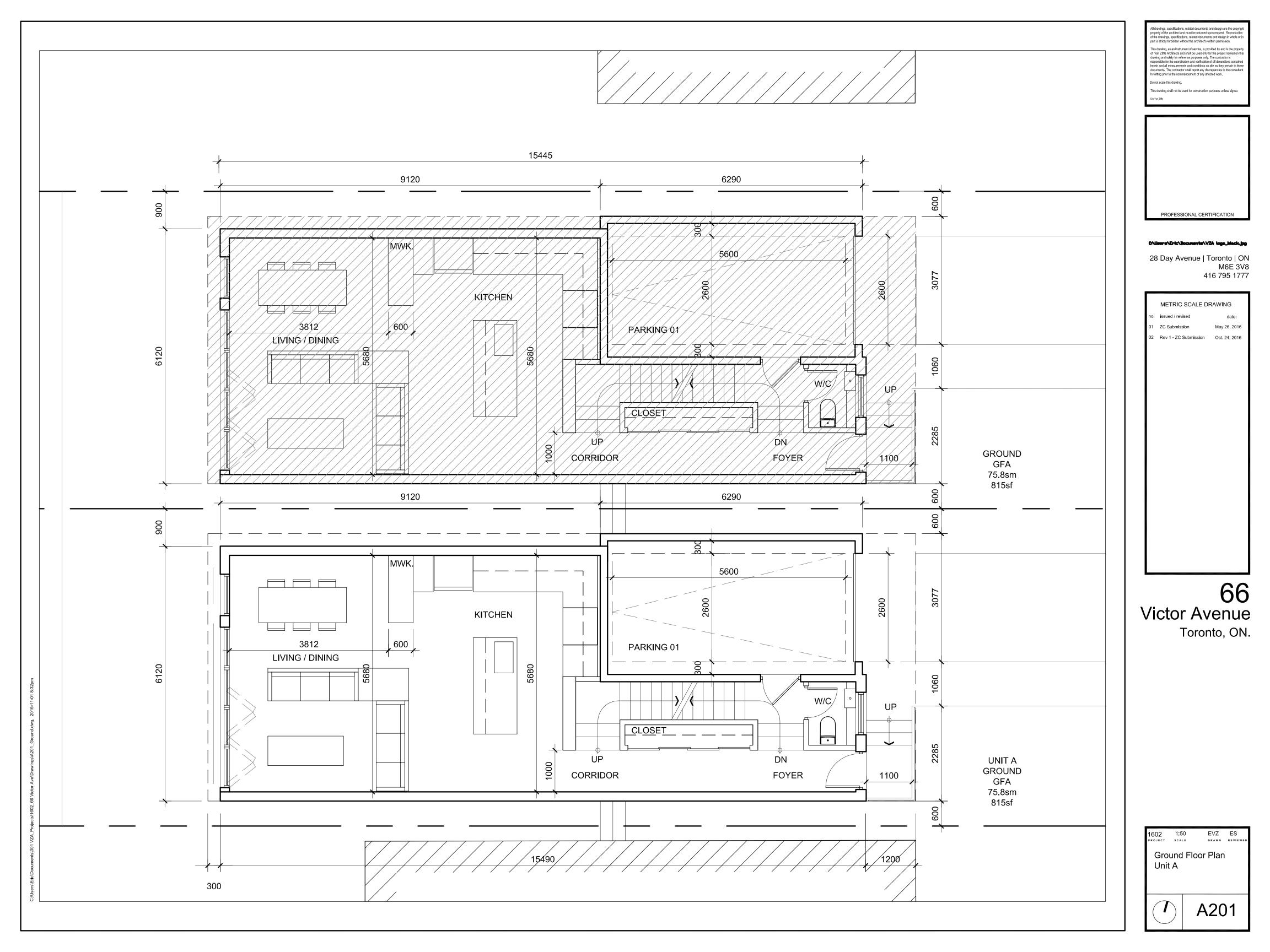
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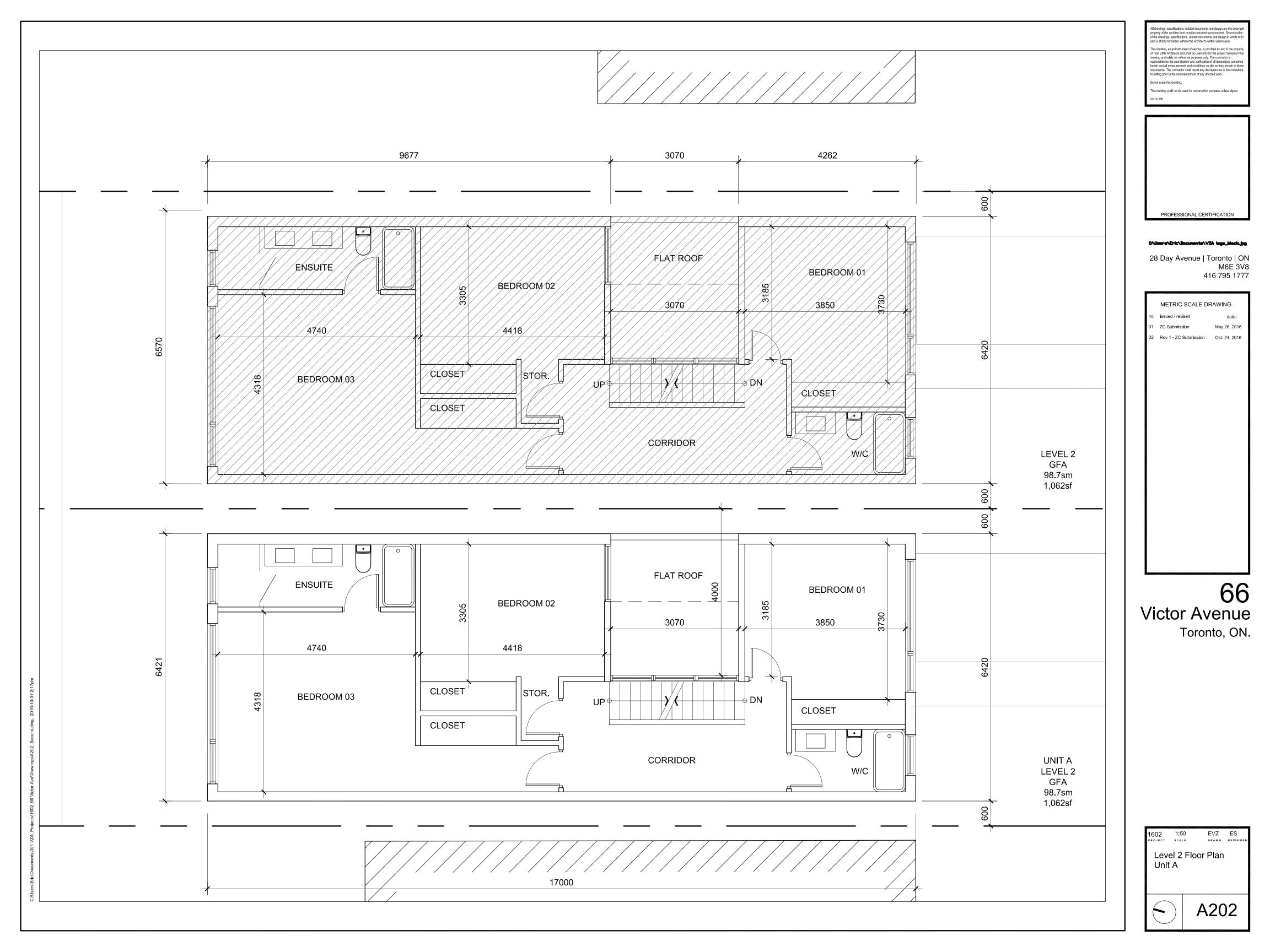
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REAR YARD	91.6 sm (77%)	26.6 sm (23%)	118.2 sm
TOTAL	122.3 sm (68%)	55.1 sm (32%)	177.4 sm

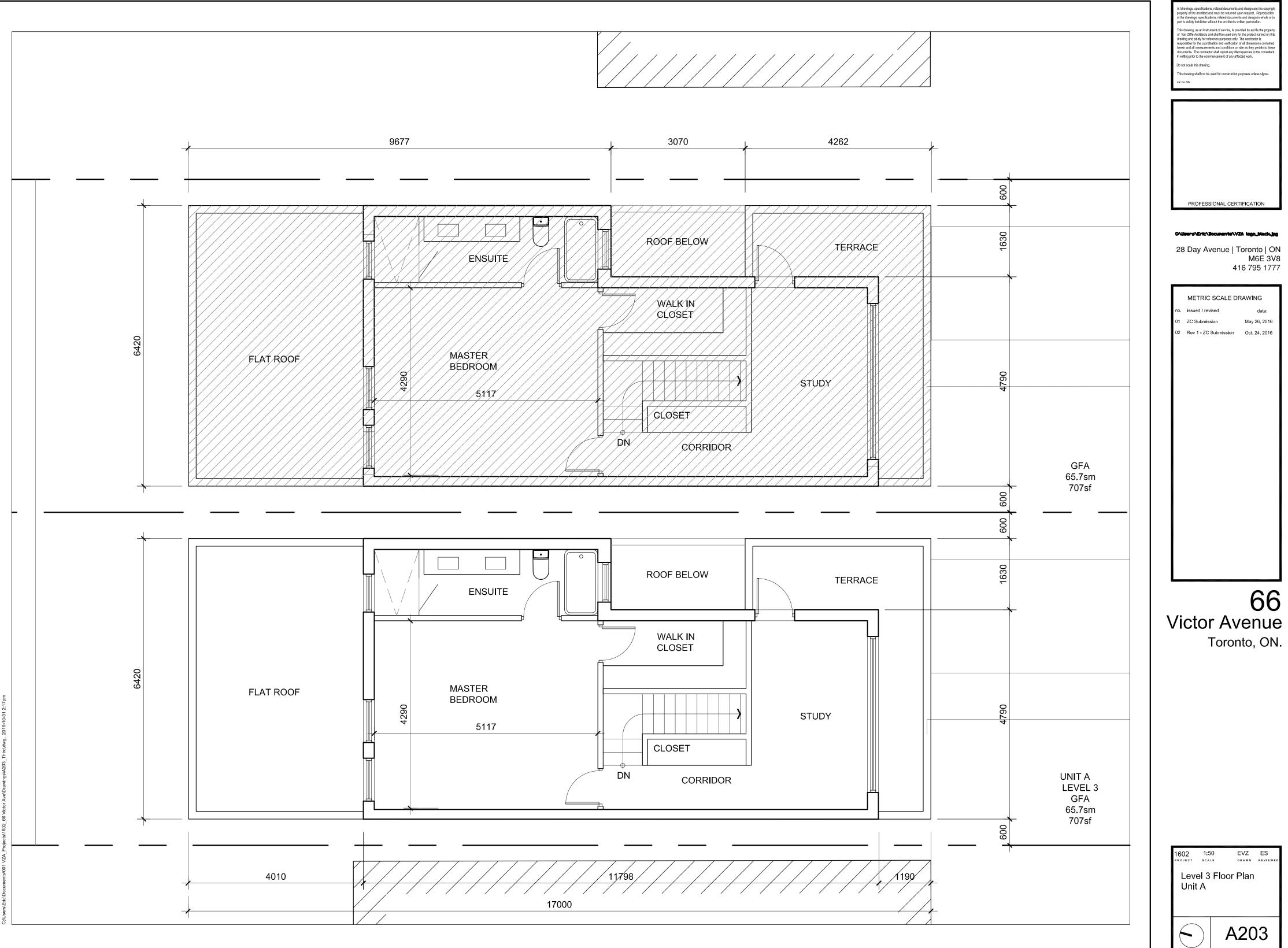
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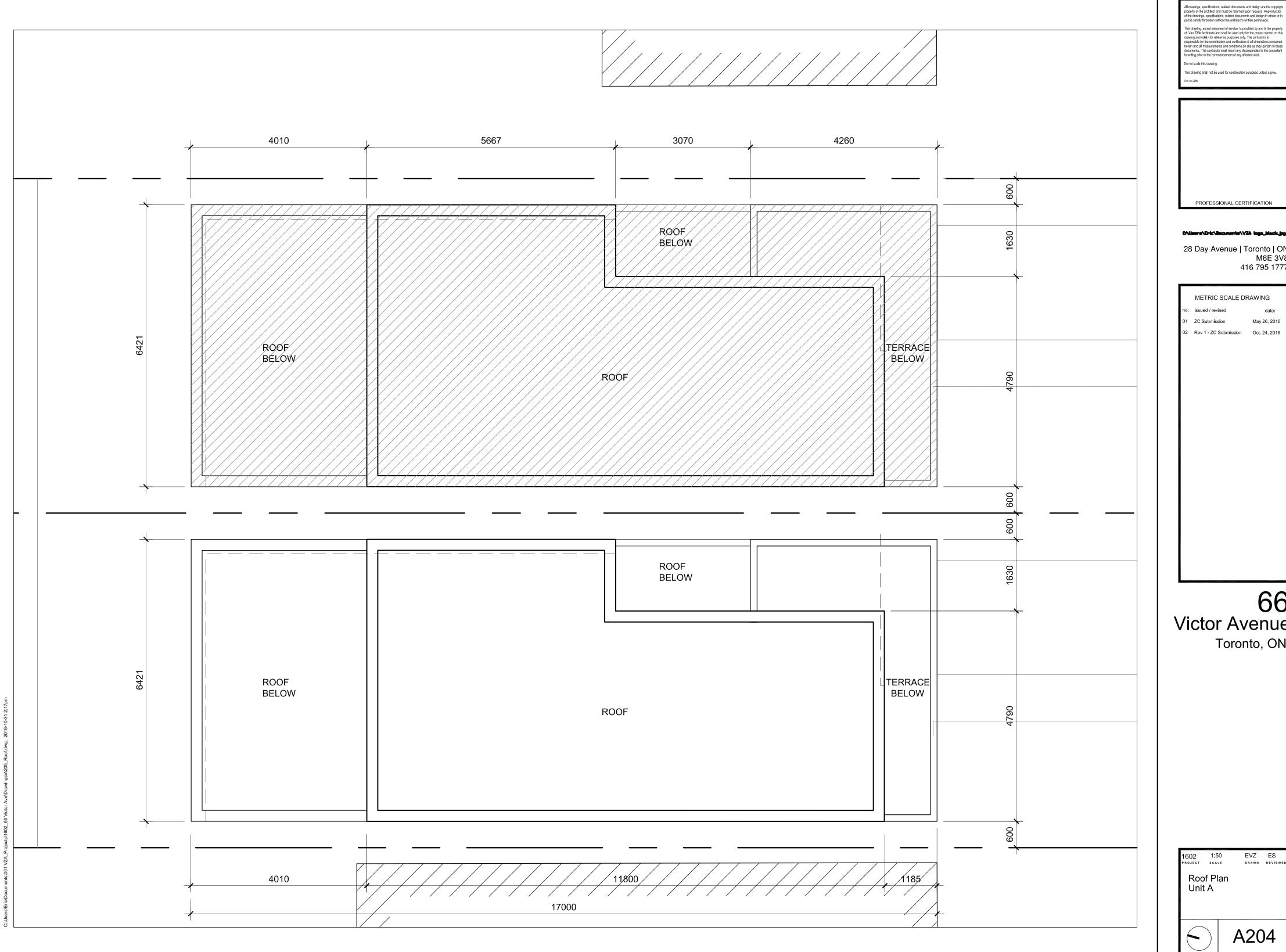








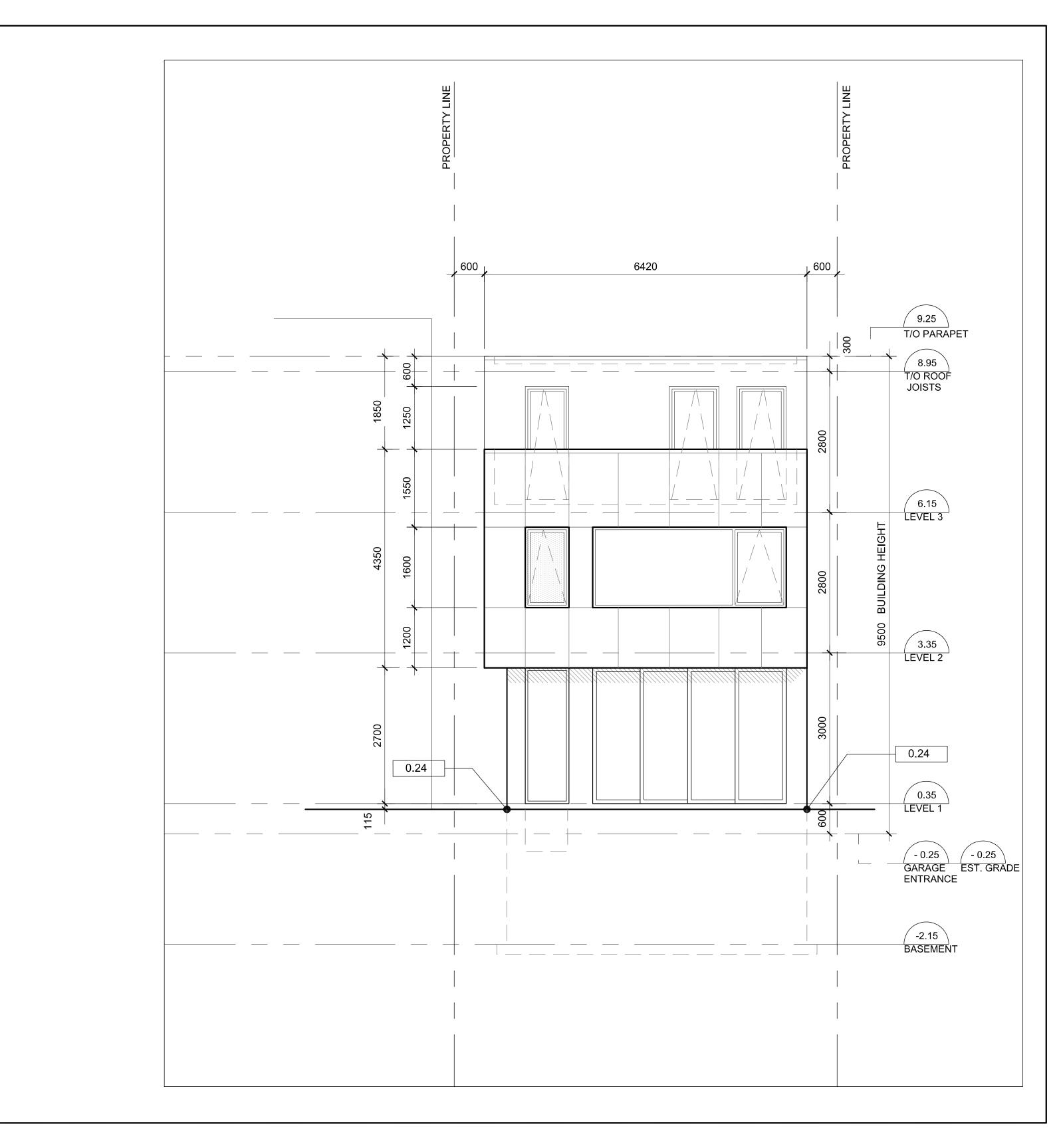
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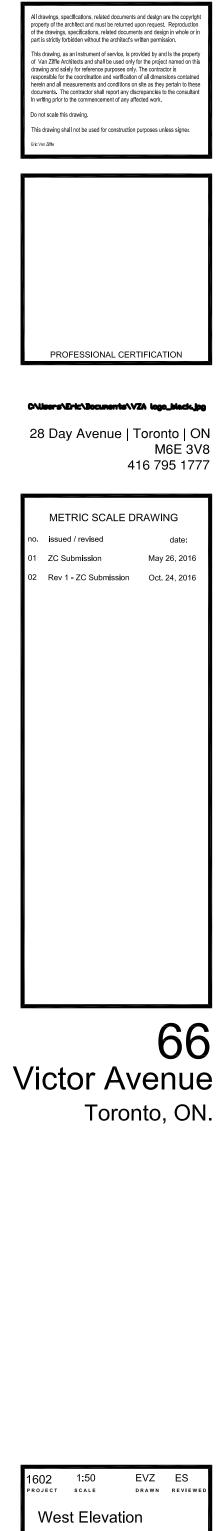


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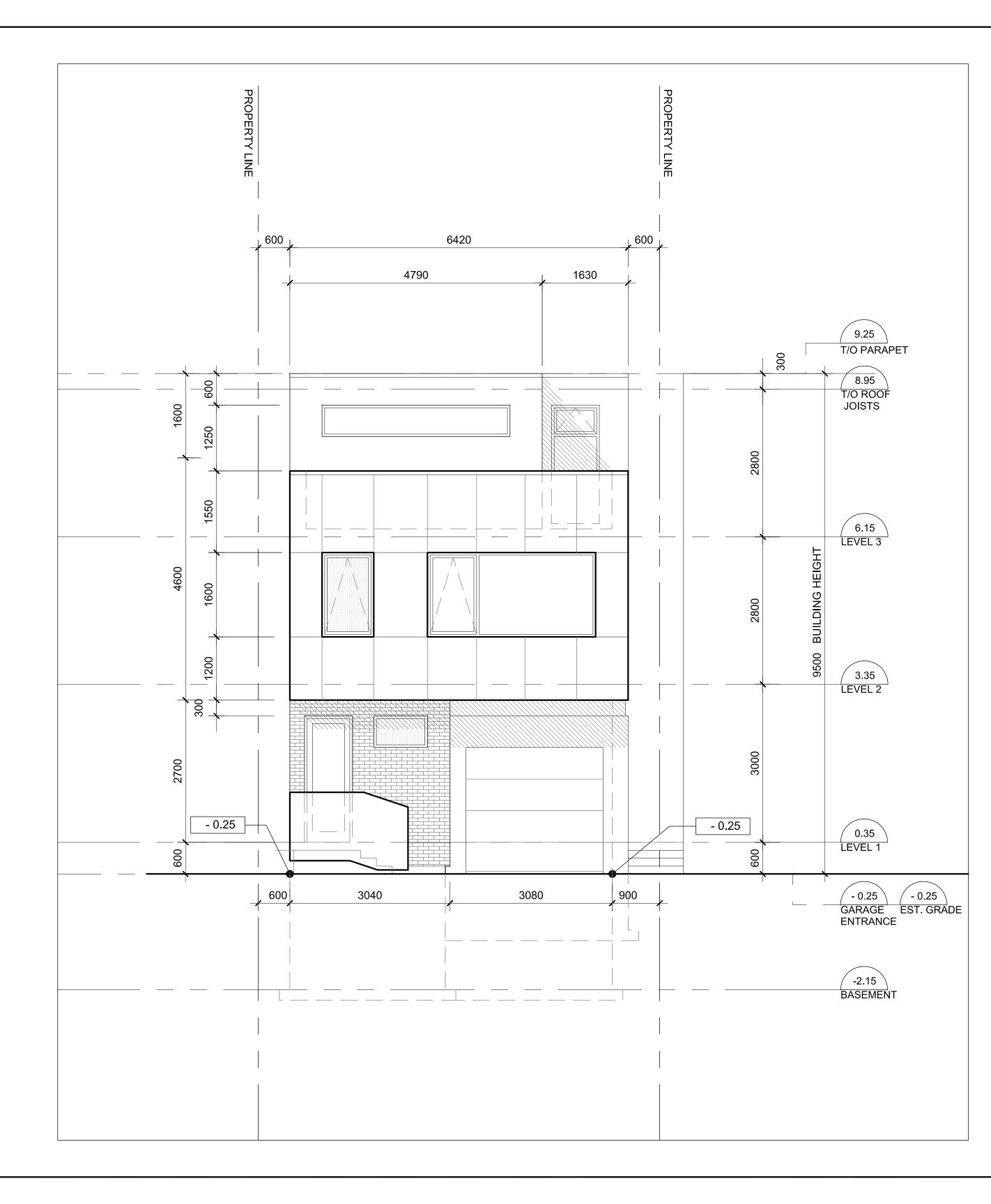
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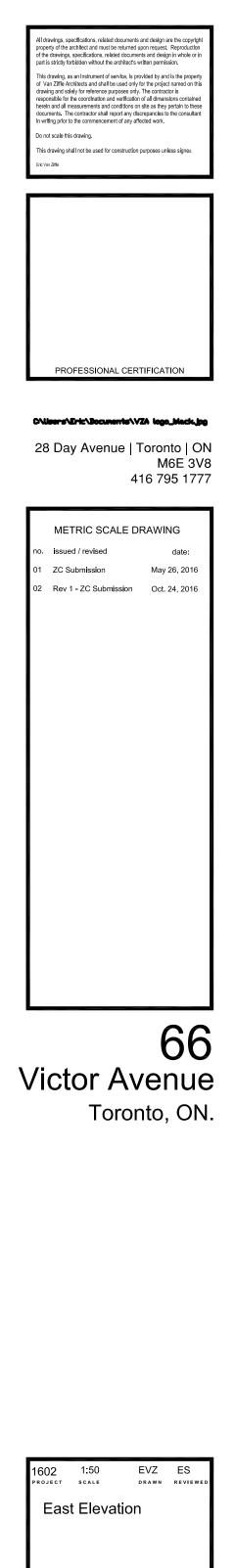


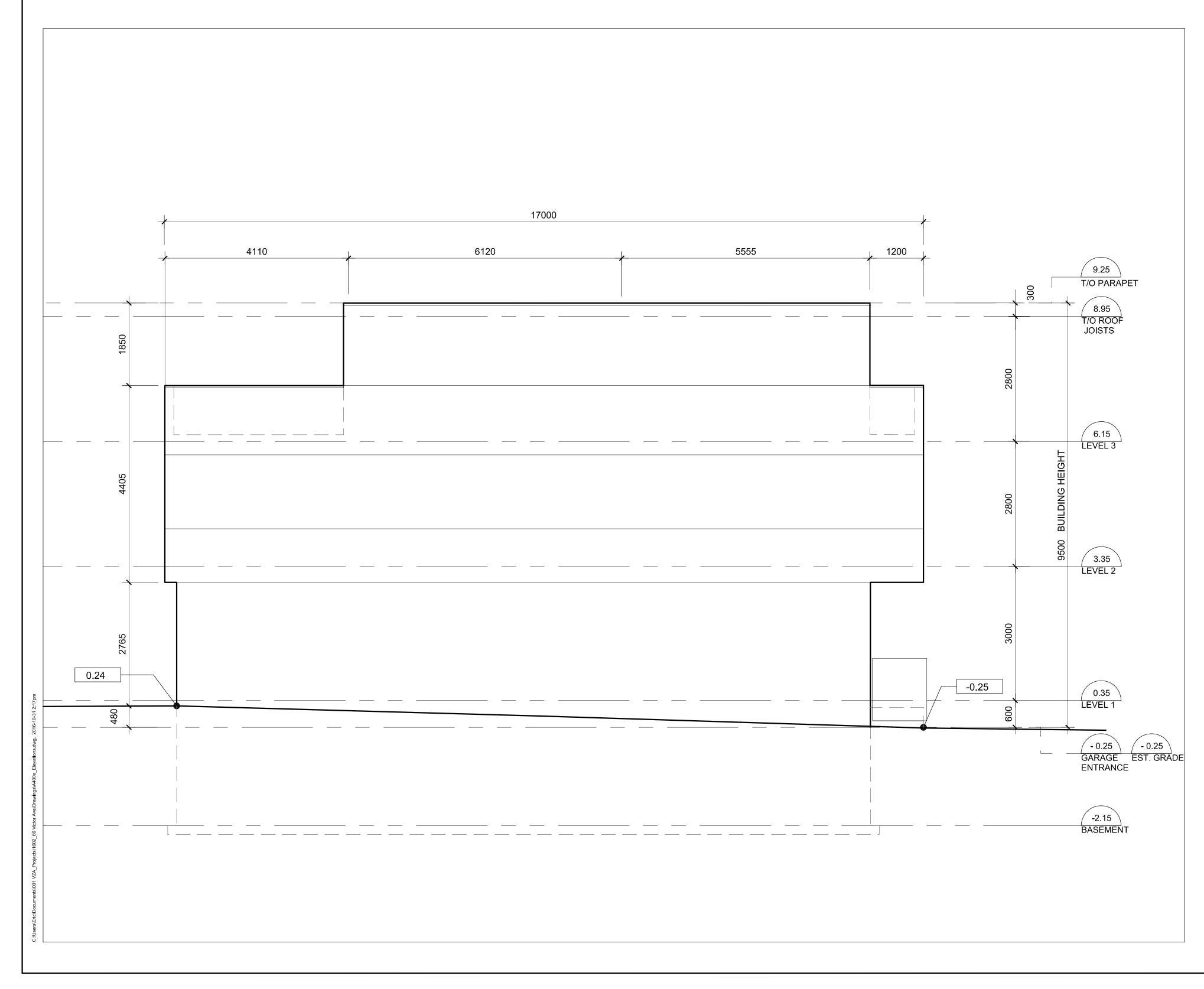




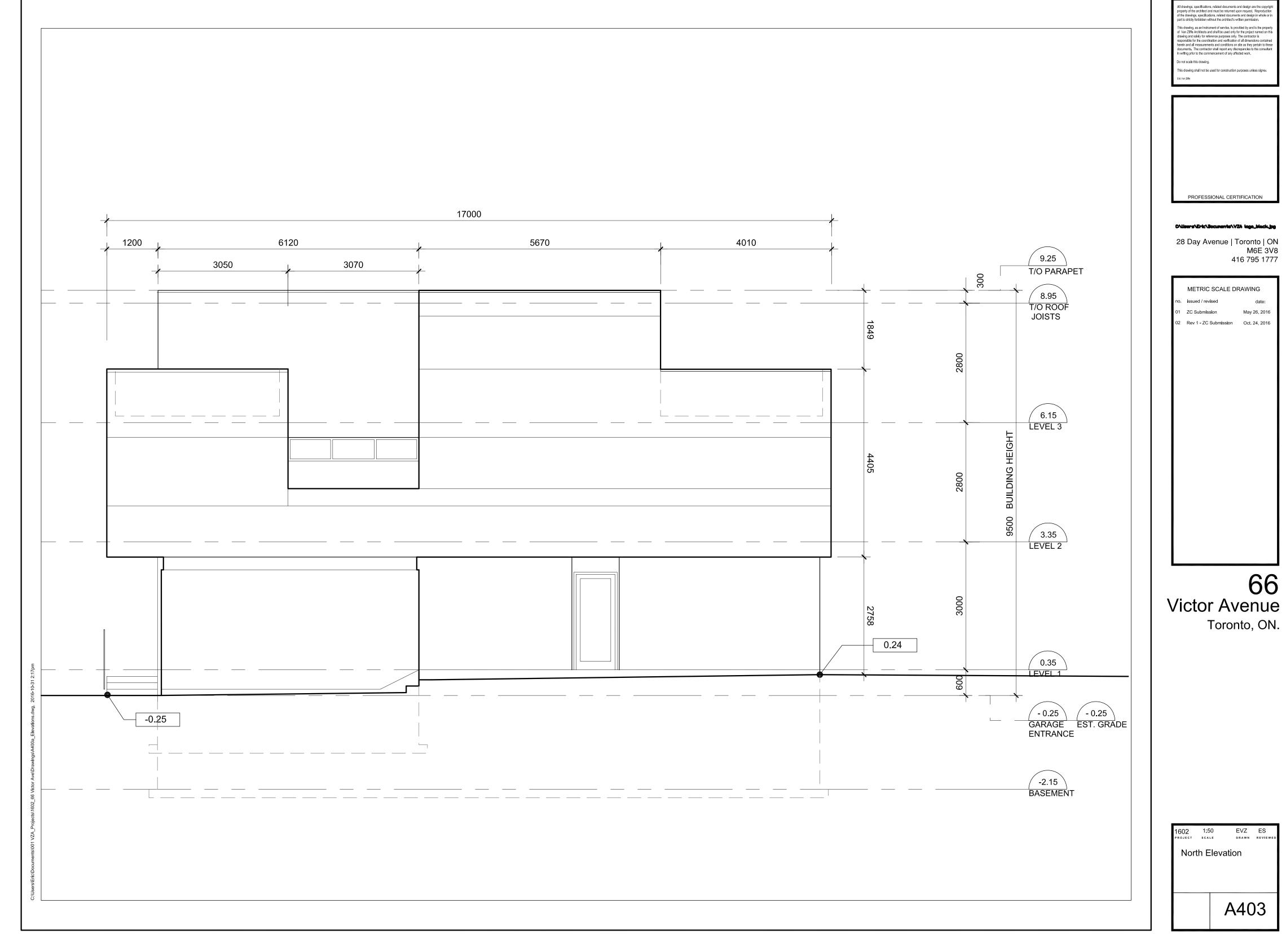








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Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:A0689/16EYKOwner(s):BDF HOLDINGS CORPAgent:ELDON THEODOREProperty Address:66 VICTOR AVE – PART 2Legal Description:PLAN M77 LOT 229

Zoning Ward: Heritage: Community: RM & R2A Etobicoke-Lakeshore (06) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 900.6.10 (479)(B)(i), By-law 569-2013 & Section 340-30.A.(2) The minimum required lot frontage is 10.5 m. The lot frontage will be 7.62 m.
- Section 900.6.10 (479)(A)(i), By-law 569-2013 & Section 340-30.A.(1) The minimum required lot area is 325 m². The lot area will be 307.3 m².
- 3. Section 10.80.40.40.(1), By-law 569-2013 & Section 340-30.L. The maximum permitted floor space index is 0.6 times the lot area (184.35 m²). The proposed dwelling will have a floor space index of 0.78 times the lot area (240.2 m²).
- 4. Section 900.6.10 (479)(D), By-law 569-2013 & Section 340-30.A.(4) The minimum required side yard setback is 0.9 m. The proposed dwelling will be located 0.6 m from the north and south side lot lines.
- 5. Section 10.80.40.50.(1), By-law 569-2016 The maximum permitted area of a platform at or above the second storey is 4 m². The proposed platform at or above the second storey will be 13.5 m².

File numbers B0060/16EYK, A0688/16EYK and A0689/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

A0689/16EYK

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0060/16EYK.**
- 2. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor services agreement information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

- 3. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
- 4. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- 5. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on January 25, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

File Number:A0689/16EYKOwner:BDF HOLDINGS CORPAgent:ELDON THEODOREProperty Address:66 VICTOR AVE – PART 2Legal Description:PLAN M77 LOT 229

Zoning Ward: Heritage: Community: RM & R2A Etobicoke-Lakeshore (06) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

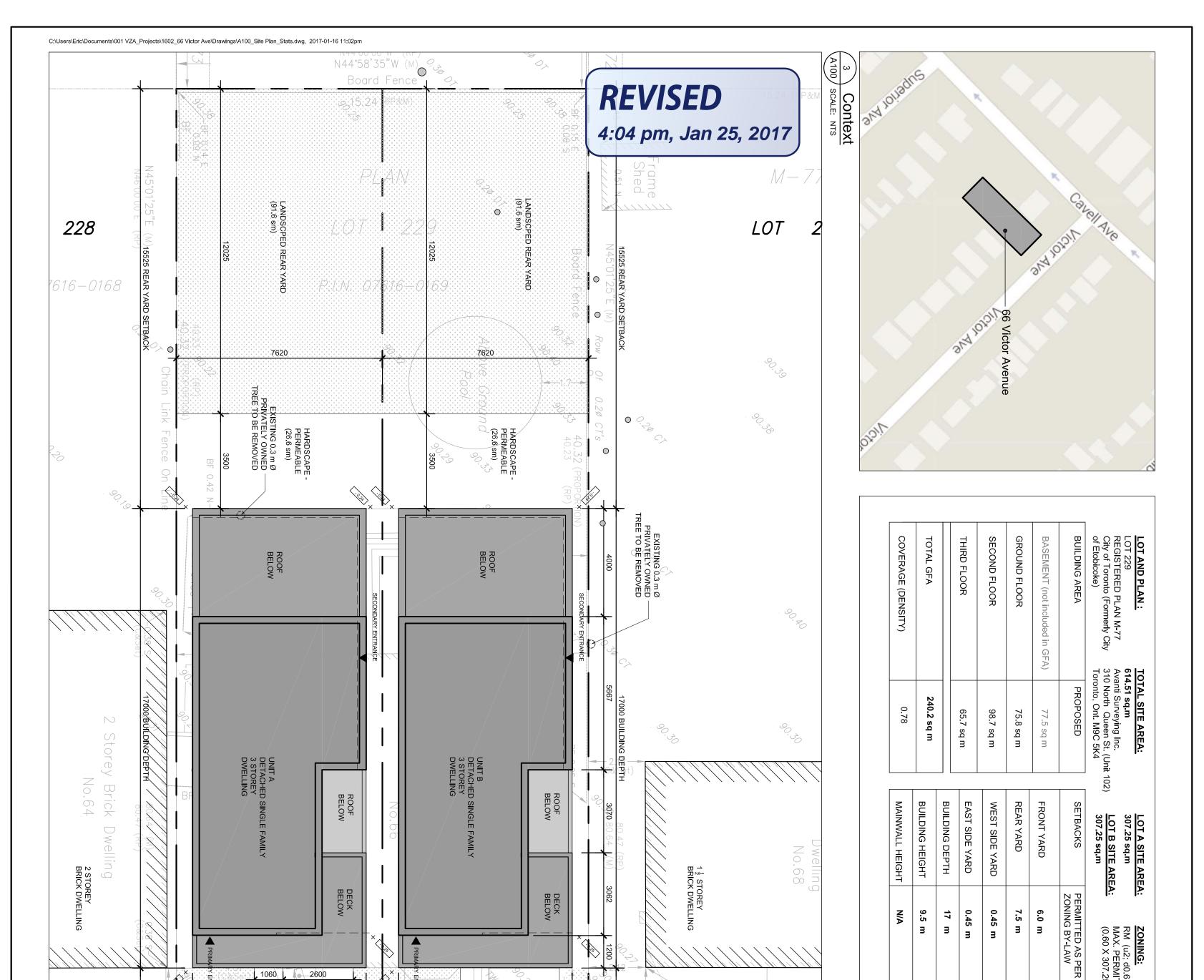
Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



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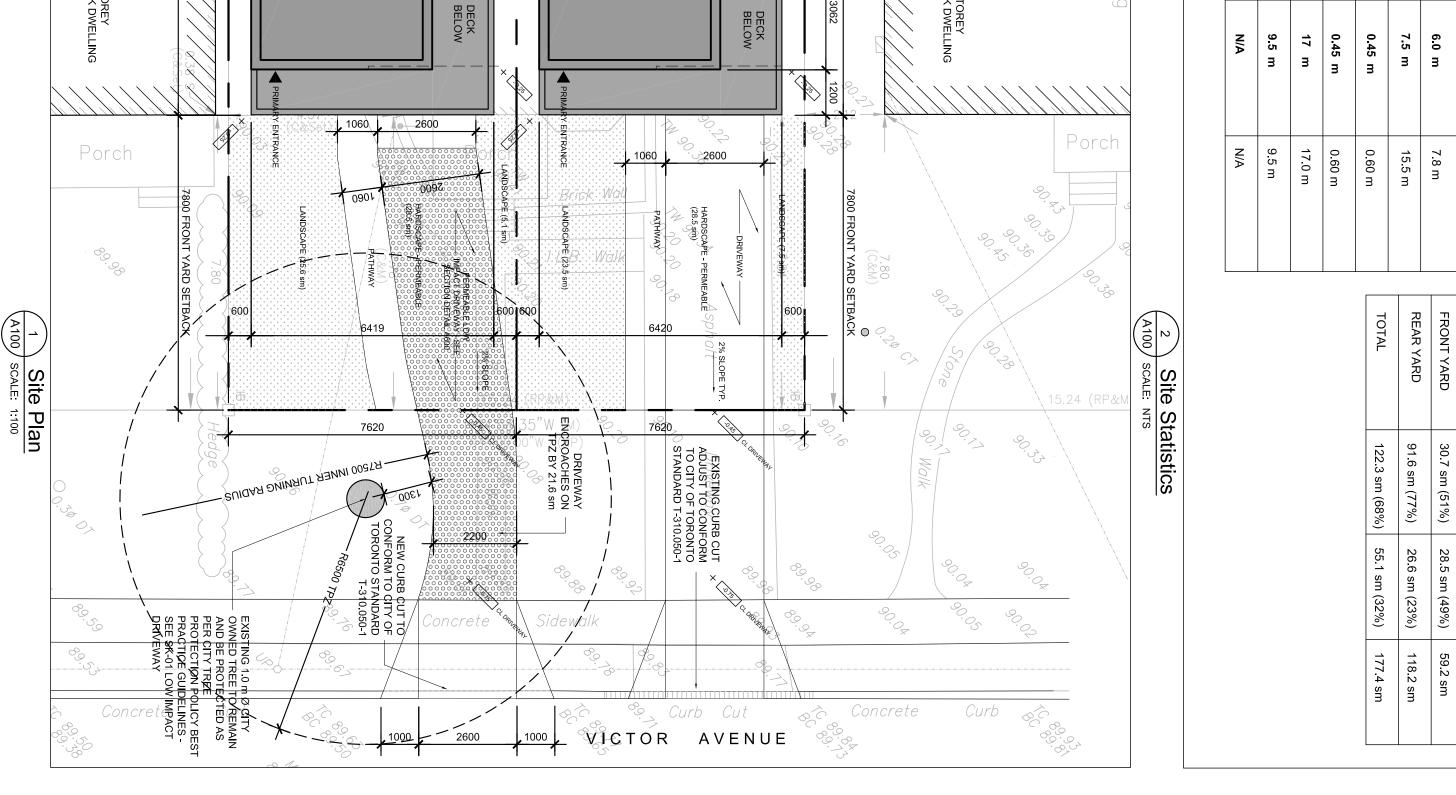
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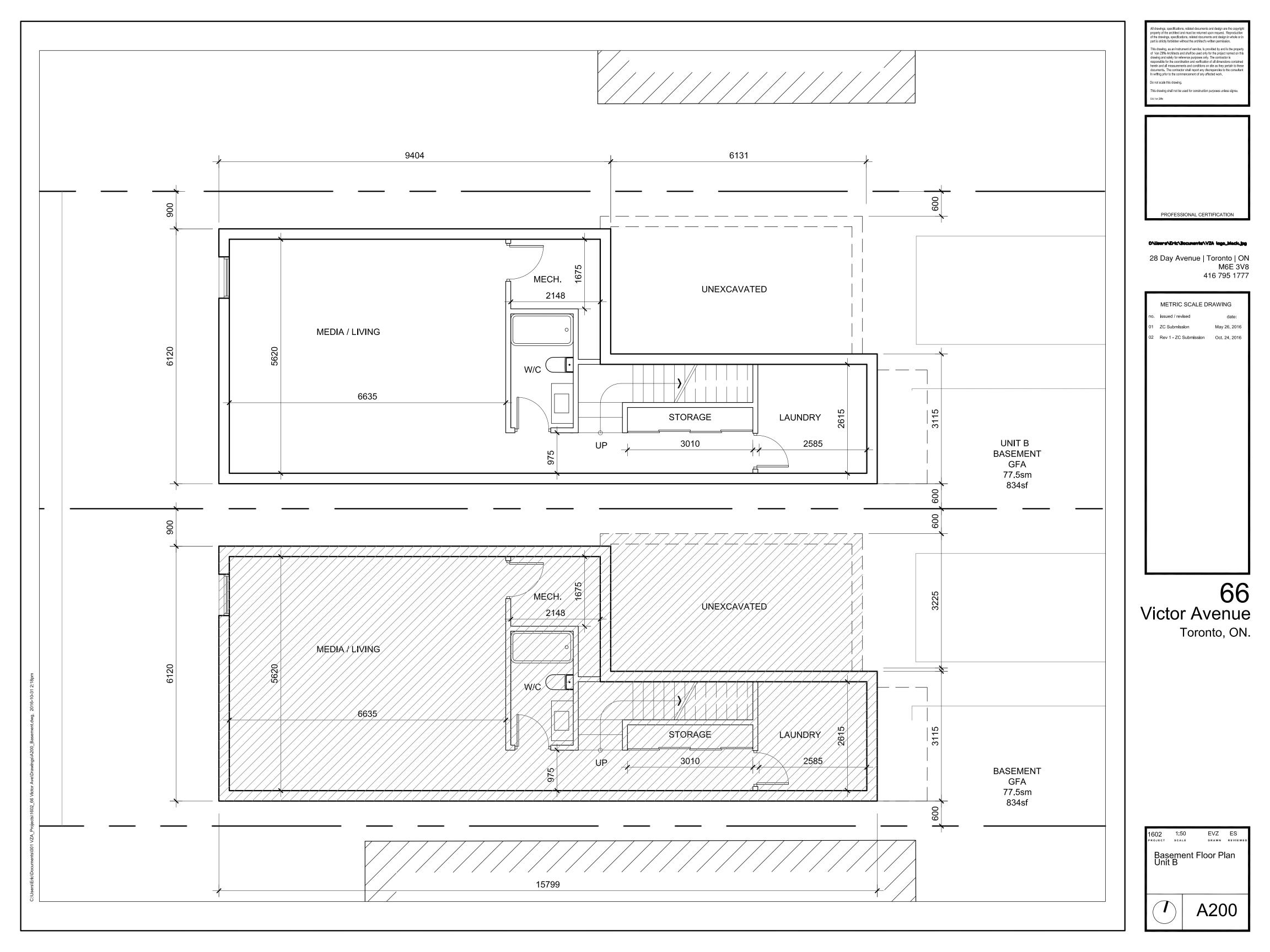
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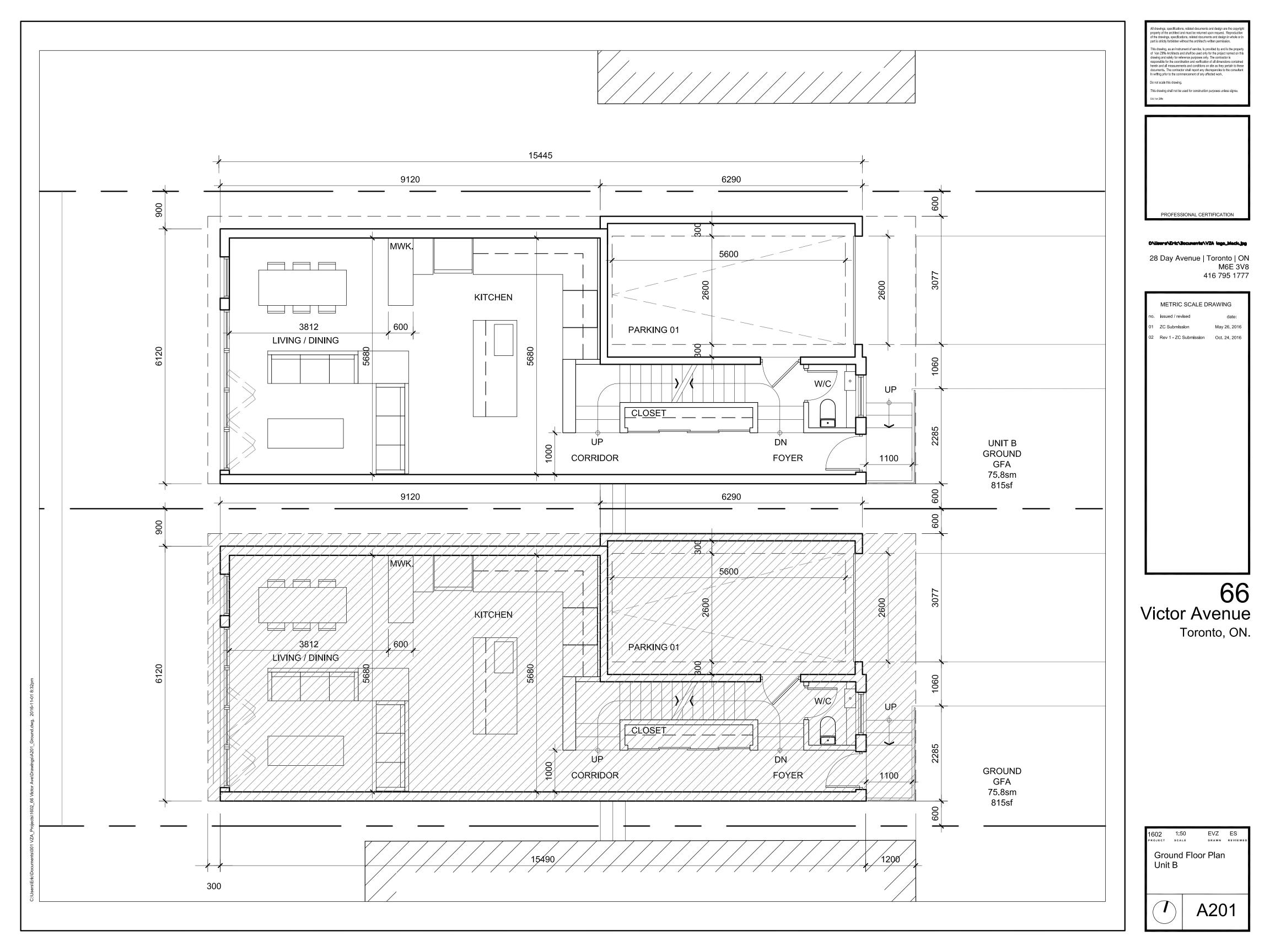
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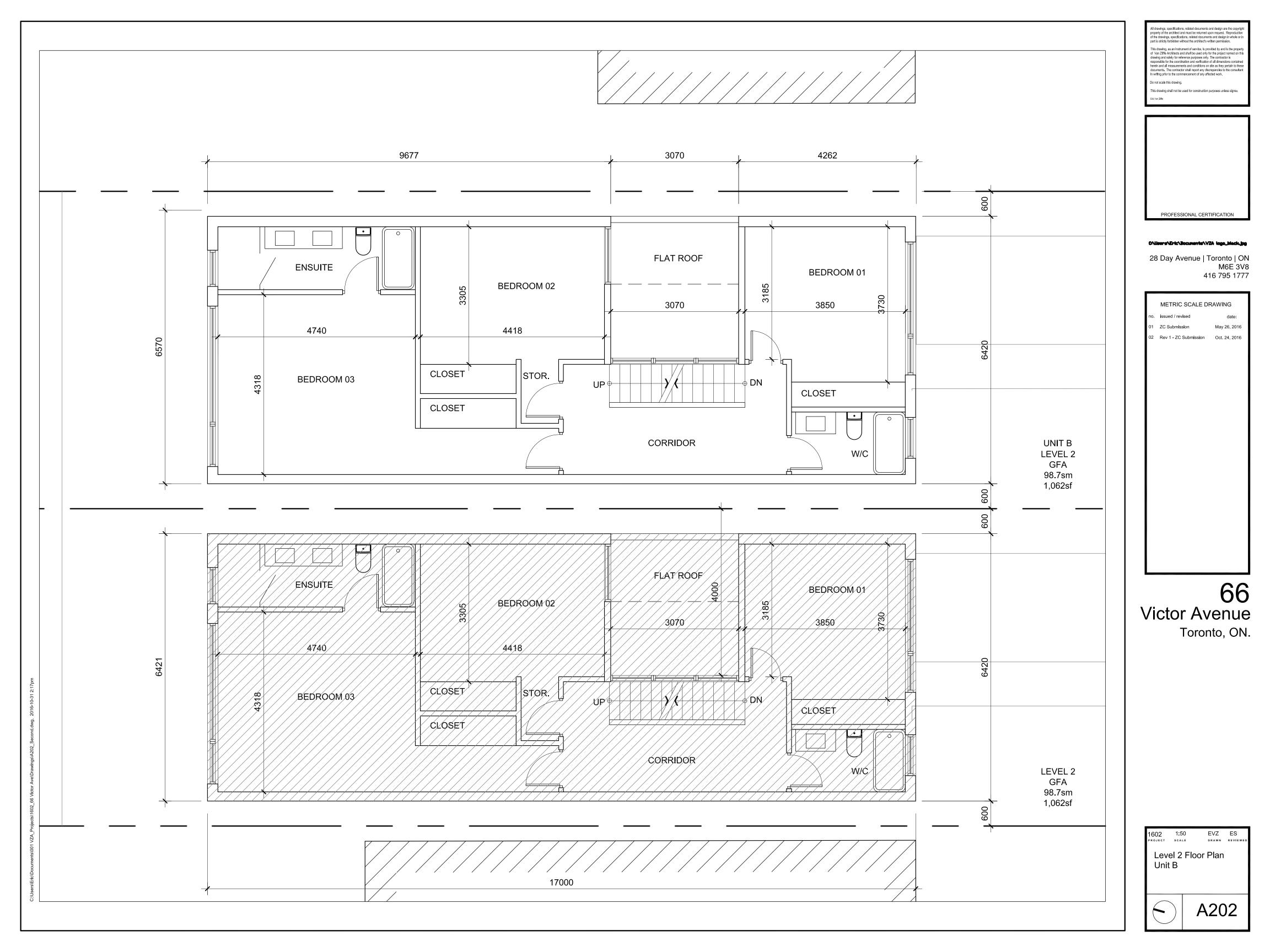
HARDSCAPE

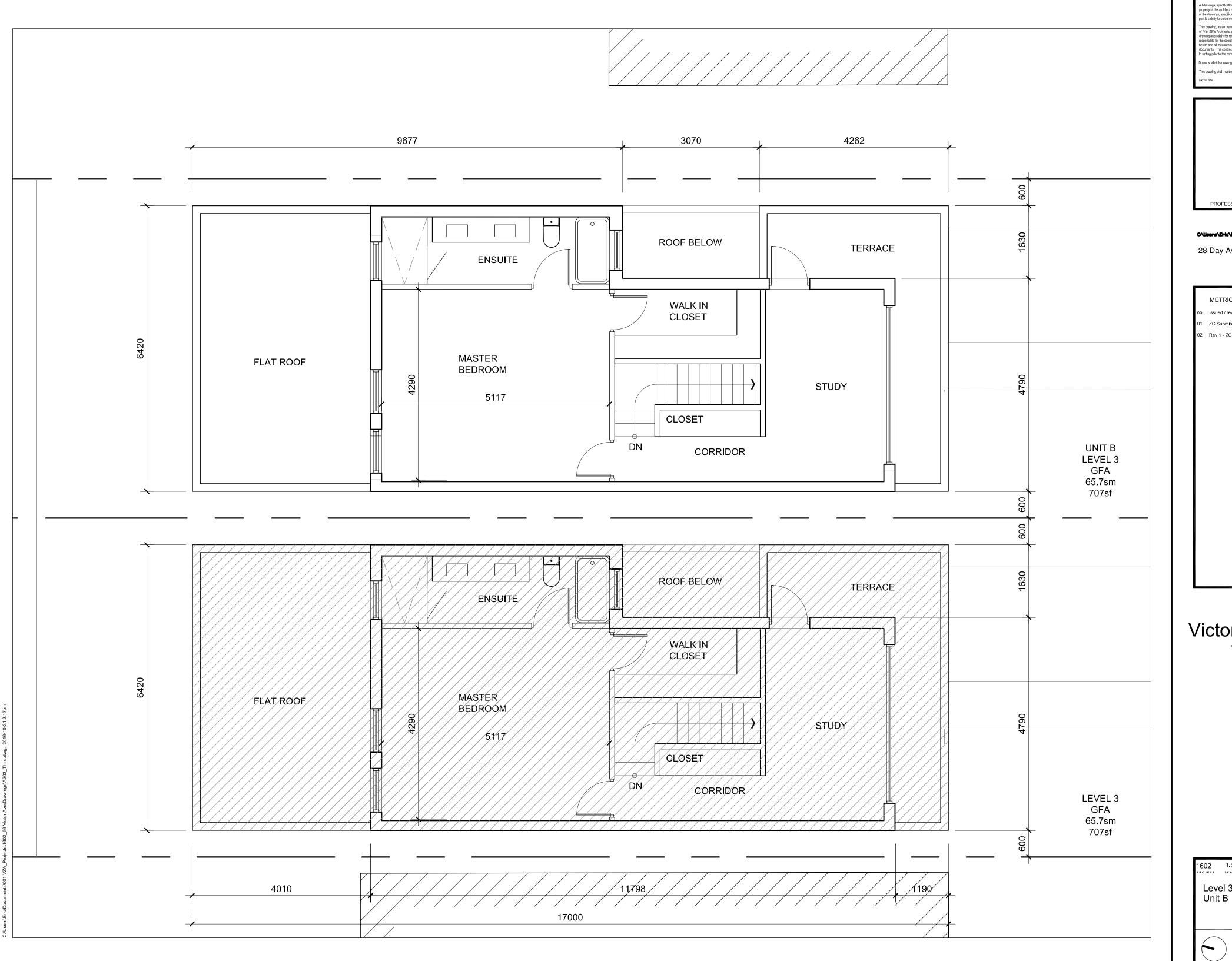
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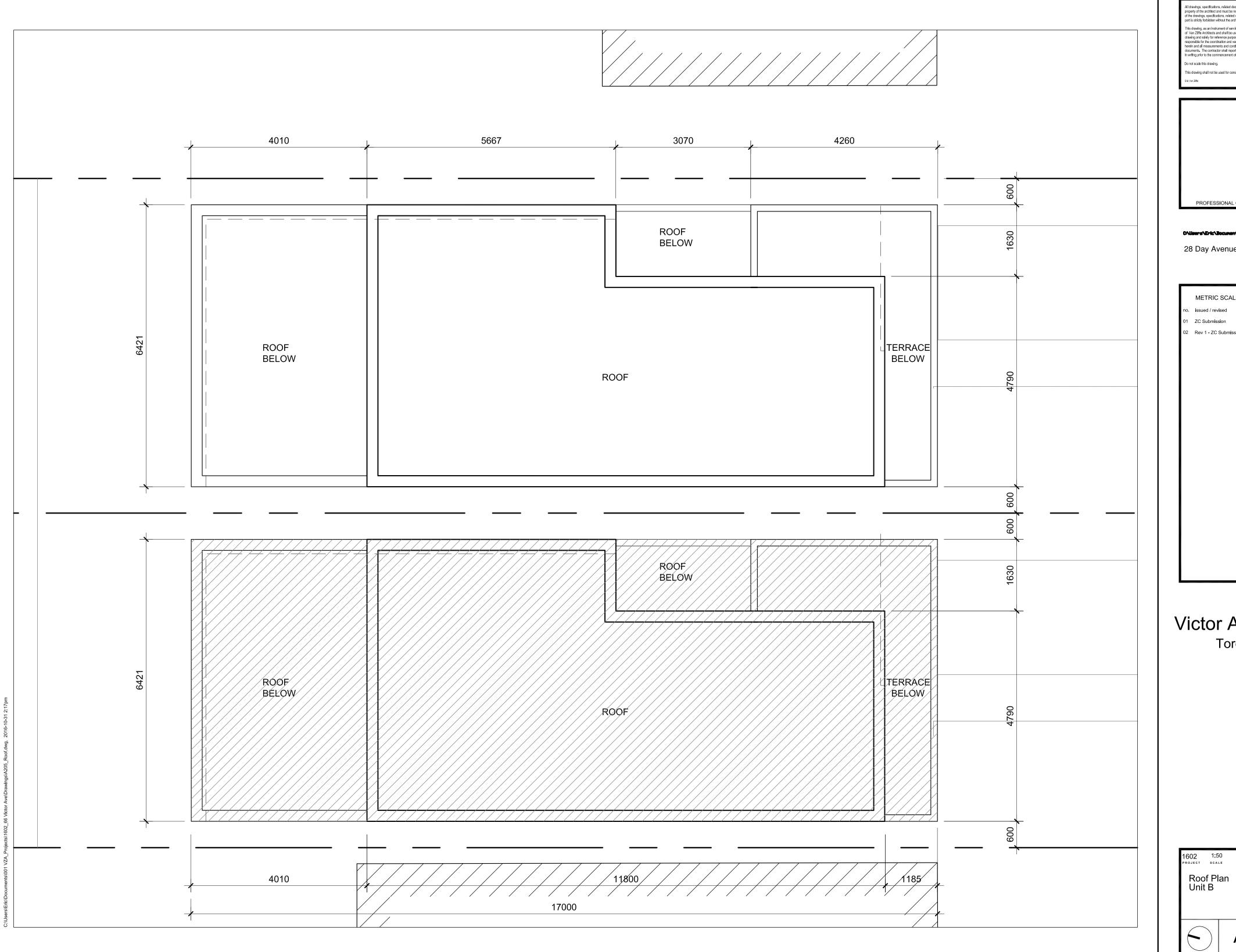






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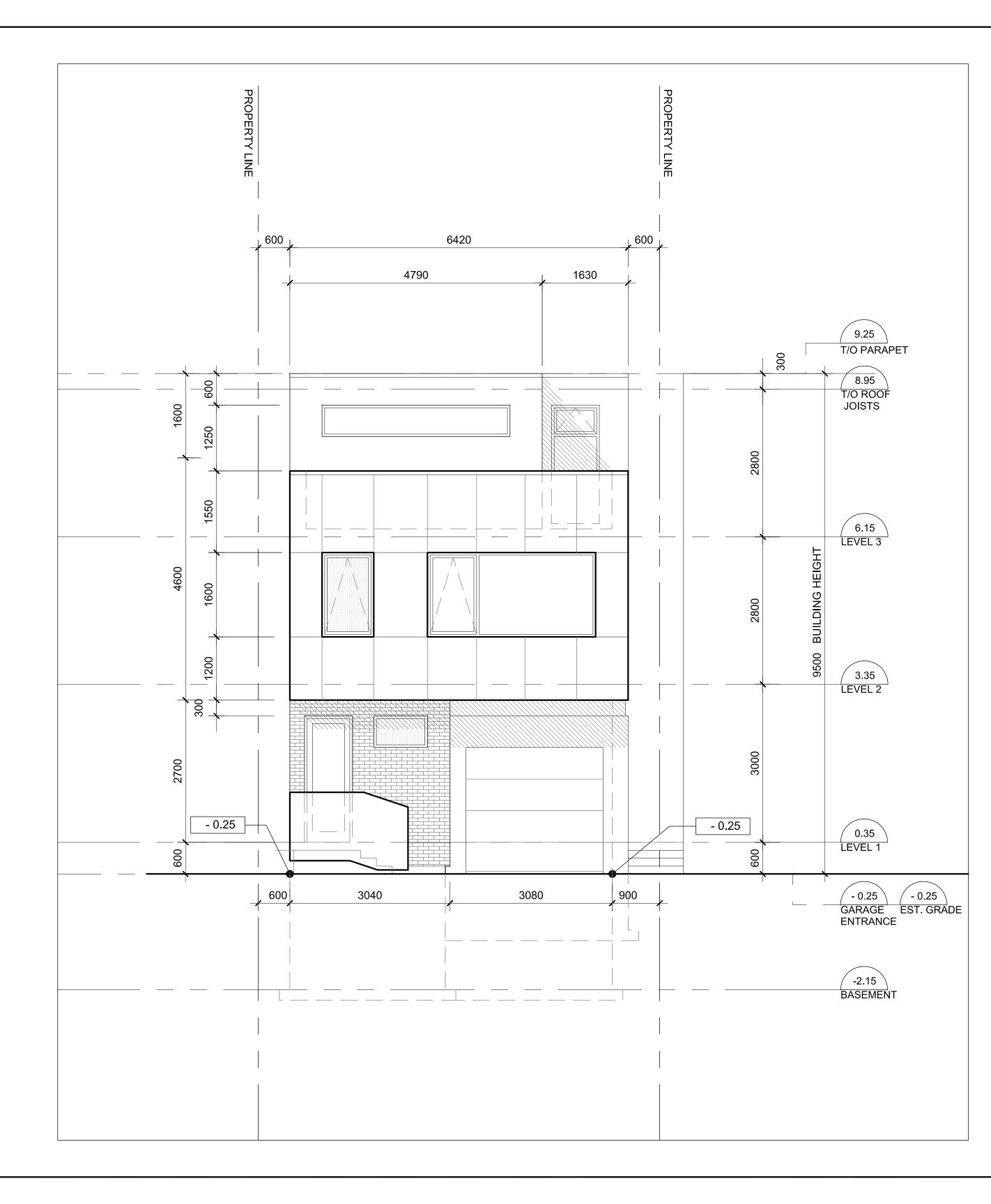


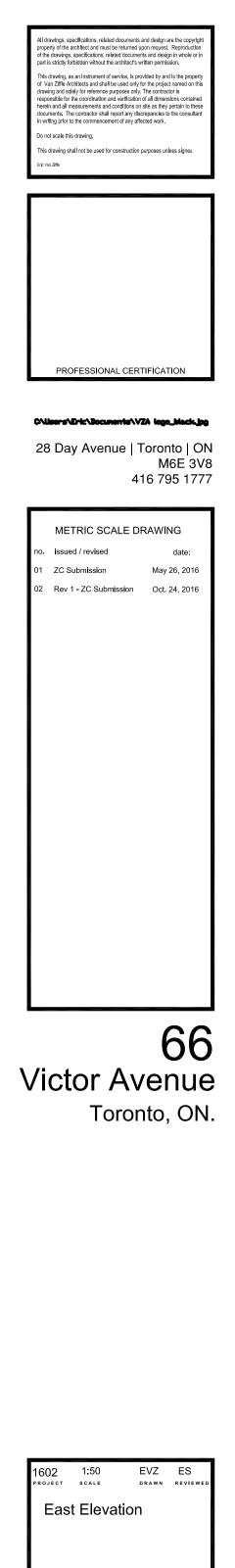
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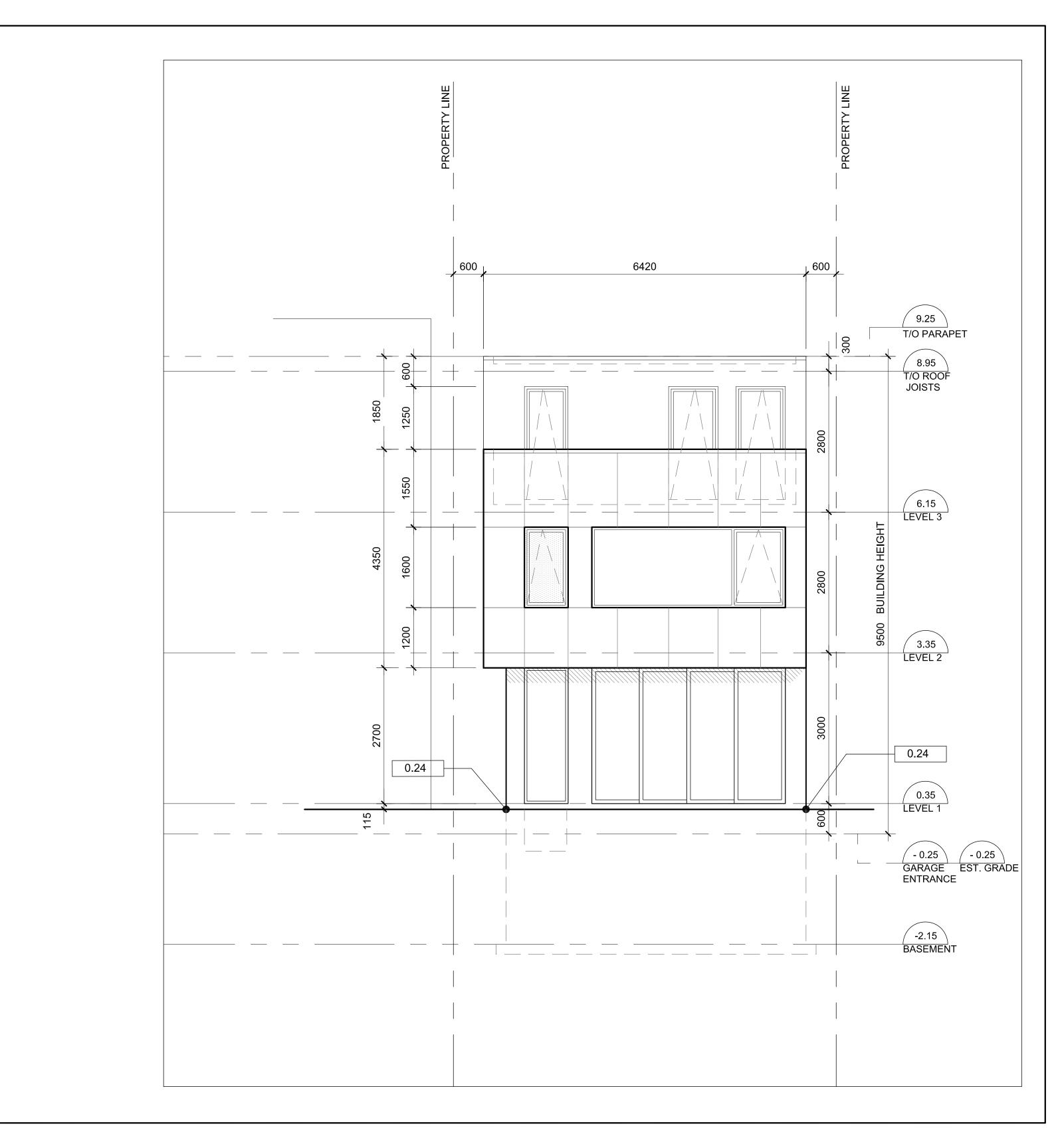
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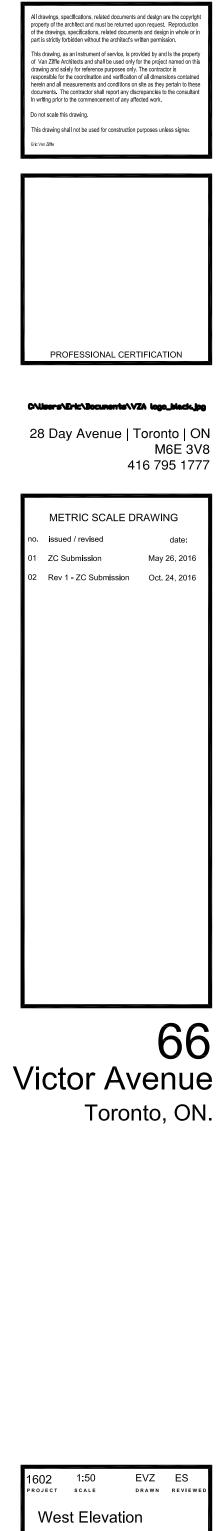


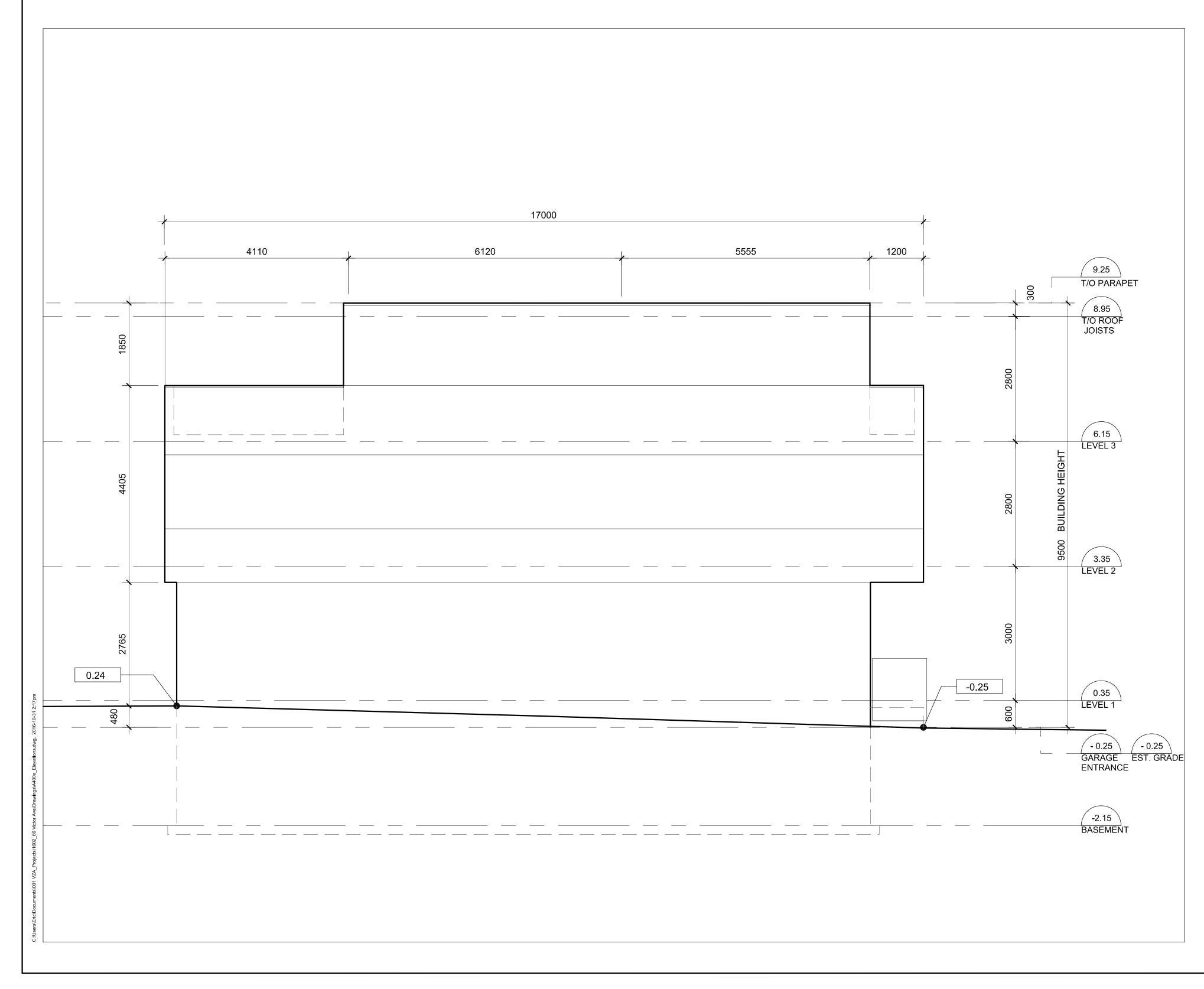




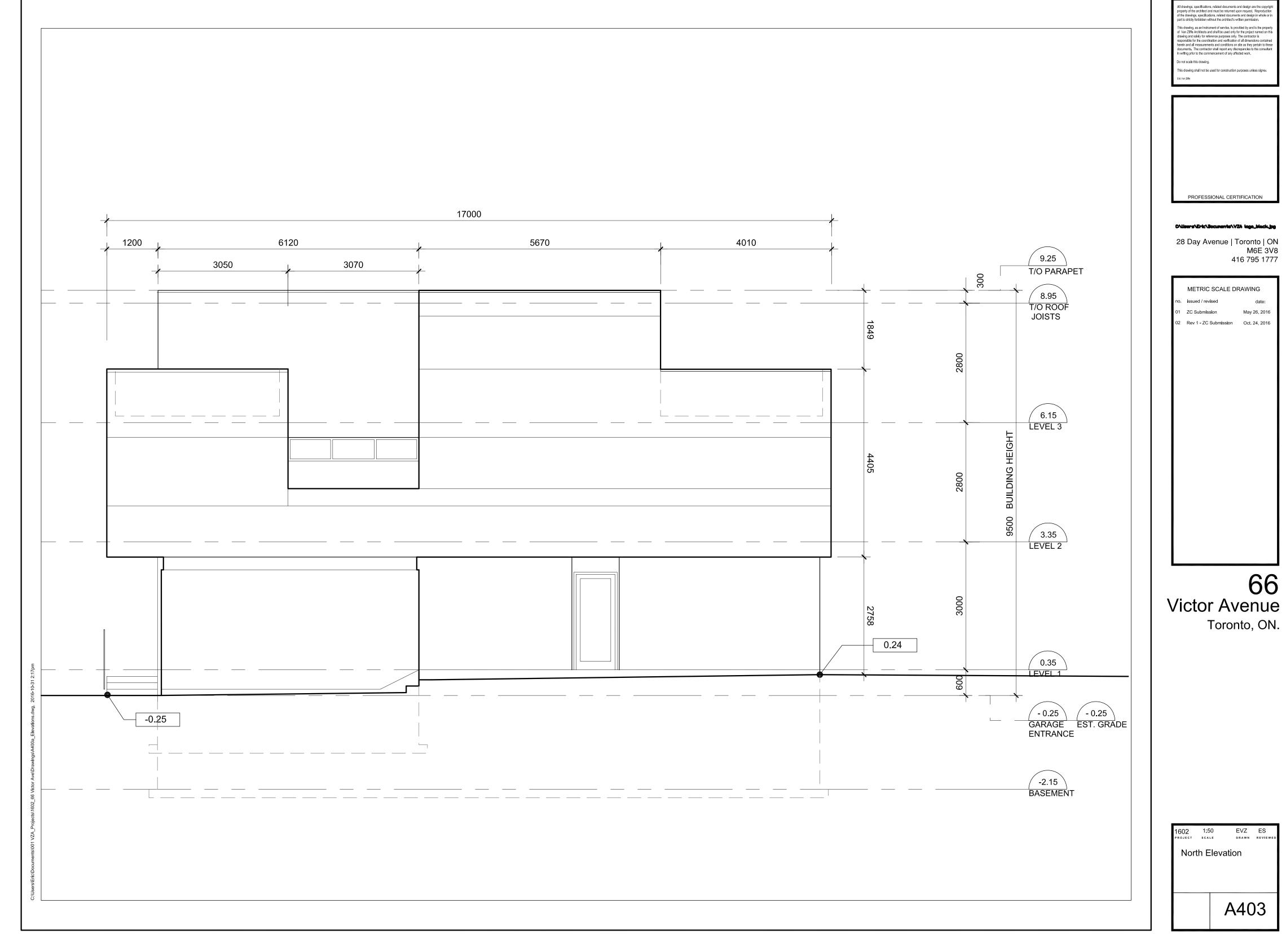








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Thursday, April 6, 2017

NOTICE OF DECISION MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:A0088/17EYKOwner(s):KRYSTYNA TORBICKIAgent:JAP DESIGN STUDIOProperty Address:**39 TWENTY SEVENTH ST**Legal Description:PLAN 1545 LOT 61

Zoning Ward: Heritage: Community: RD & RS Etobicoke-Lakeshore (06) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 330-23.A.(9) The maximum permitted floor space index is 0.35 times the lot area (302.55 m²). The new dwelling will have a floor space index of 0.39 times the lot area (337.65 m²).

2. Section 330-13(A)(2)

The minimum required side yard setback for eaves is 0.5 m. The eaves of the garage attached to the proposed dwelling will be located 0.3 m from the north side lot line.

3. Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 330-23(A)(10)(a) The maximum permitted building height is 9.5 m. The new dwelling will have a height of 9.8 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

Minor Variance Numbers 1 and 3 are Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
- 2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

Minor Variance Number 2 is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance request for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

File Number:A0088/17EYKOwner:KRYSTYNA TORBICKIAgent:JAP DESIGN STUDIOProperty Address:**39 TWENTY SEVENTH ST**Legal Description:PLAN 1545 LOT 61

Zoning Ward: Heritage: Community: RD & RS Etobicoke-Lakeshore (06) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel