

FOR ZONING CERTIFICATE



CUSTOM 47 EIGHTH STREET TORONTO, ONTARIO

TABLE 2.1.1.2.A	
COMPLIANCE PACKAGE	
COMPONENT	J
CEILING WITH ATTIC SPACE MINIMUM RSI (R)-VALUE	8.81 (R50)
CEILING WITHOUT ATTIC SPACE MINIMUM RSI (R)-VALUE	5.46 (R31)
EXPOSED FLOOR MINIMUM RSI (R)-VALUE	5.46 (R31)
WALLS ABOVE GRADE MINIMUM RSI (R)-VALUE	3.87 (R22)
BASEMENT WALLS MINIMUM RSI (R)-VALUE	2.11 (R12)
BELOW GRADE SLAB ENTIRE SURFACE >600 mm BELOW GRADE MINIMUM RSI (R)-VALUE	-
EDGE OF BELOW GRADE SLAB <600 mm BELOW GRADE MINIMUM RSI (R)-VALUE	1.76 (R10)
HEATED SLAB OR SLAB < 600 mm BELOW GRADE MINIMUM RSI (R)-VALUE	1.76 (R10)
WINDOWS AND SIDING GLASS DOORS MAXIMUM U-VALUE	1.8
SKYLIGHTS MAXIMUM U-VALUE	2.8
SPACE HEATING EQUIPMENT MINIMUM AFUE	94%
HRV MINIMUM EFFICIENCY	60%
DOMESTIC HOT WATER HEATER MINIMUM EF	.67

BUILDING AREAS	AREA	
LOWER MAIN FLOOR AREA (FOYER)	108 SF	10.03 m2
UPPER MAIN FLOOR FLOOR AREA	778 SF	72.28 m2
SECOND FLOOR AREA	845 SF	78.50 m2
SUBTOTAL	1731 SF	160.81 m2
DEDUCT ALL OPEN AREAS	9 SF	9 SF
TOTAL NET AREA	1722 SF	160.0 m2
FINISHED BSMT AREA	634 SF	58.9 m2
COVERAGE (incl. PORCH, REAR WALKUP)	947 SF	88.0 m2



Model	CUSTOM
Client	47 EIGHTH STREET TORONTO, ONTARIO

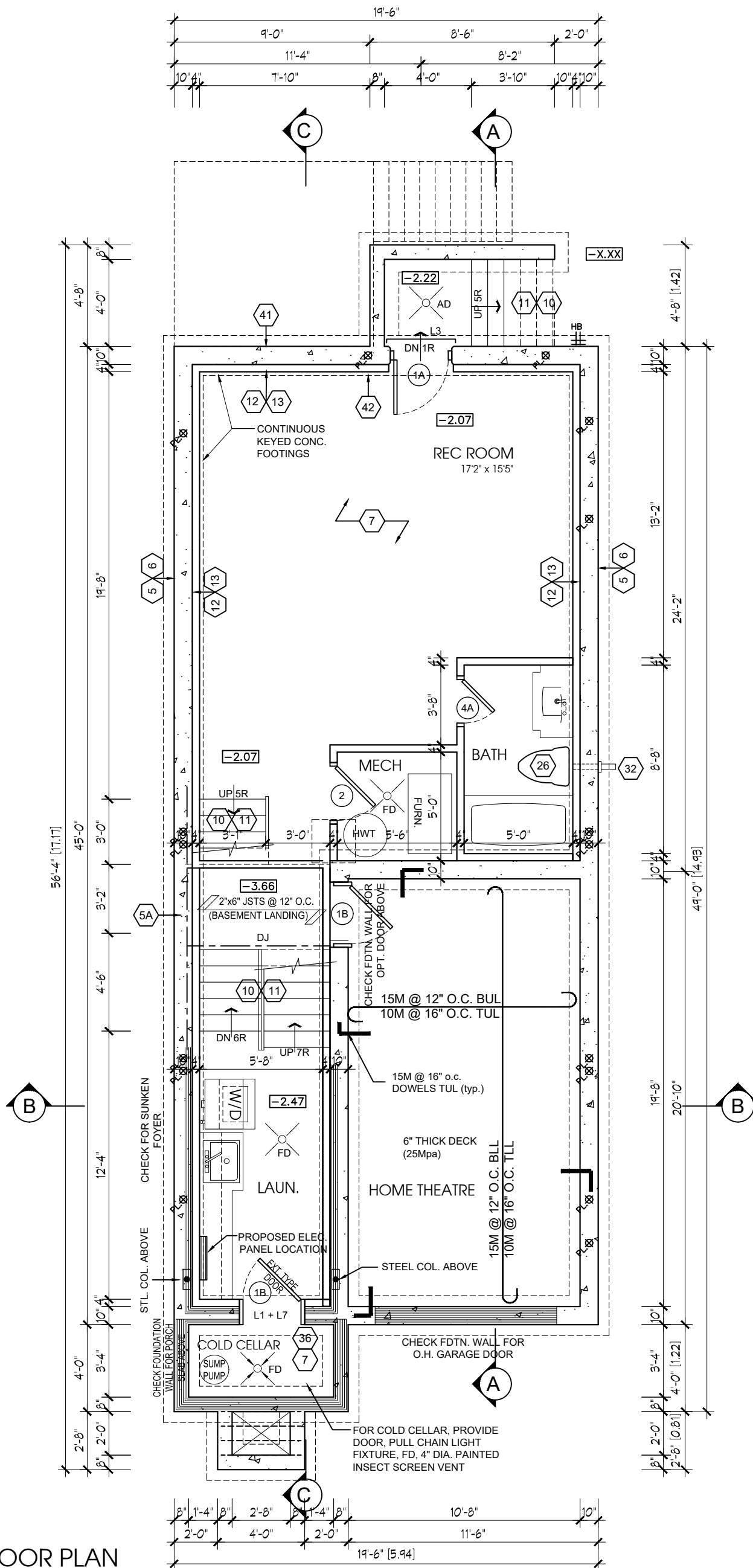
No.	Description	Date	By
5.			
4.			
3.	REVISED AS PER ZONING COMMENTS	DEC 13	PJ
2.	REVISED DECK, FOR ZONING CERTIFICATE	JAN 29	PJ
1.	ISSUED FOR ZONING CERTIFICATE	SEPT 16	PJ

I, PETER JARUCZIK DECLARE THAT I HAVE REVIEWED AND TAKE DESIGN RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF ARC DESIGN GROUP DEVELOPMENT SERVICES LTD. UNDER DIVISION C, PART 3, SUBSECTION 3.2.4. OF THE BUILDING CODE. I AM QUALIFIED, AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES.

Qualified Designer BCIN:	28383	Signature:	
Firm BCIN:	32408	Date:	DEC 2016

Sheet Title		TITLEPAGE
Project No.	15-013	Drawing No.
Scale	DEC '16	T1
Drawn by	Checked by	
VB	PJ	

FOR ZONING CERTIFICATE



FOUNDATION FLOOR PLAN

3/16" = 1'-0"



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Model
CUSTOM

Client
**47 EIGHTH STREET
TORONTO, ONTARIO**

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Qualified Designer BCIN: 28383		Signature: <i>[Signature]</i>	
Firm BCIN: 32408		Date: DEC 2016	

Sheet Title FOUNDATION FLOOR PLAN	
Project No. 15-013	Drawing No. A0
Scale	Date DEC '16
Drawn by VB	Checked by PJ

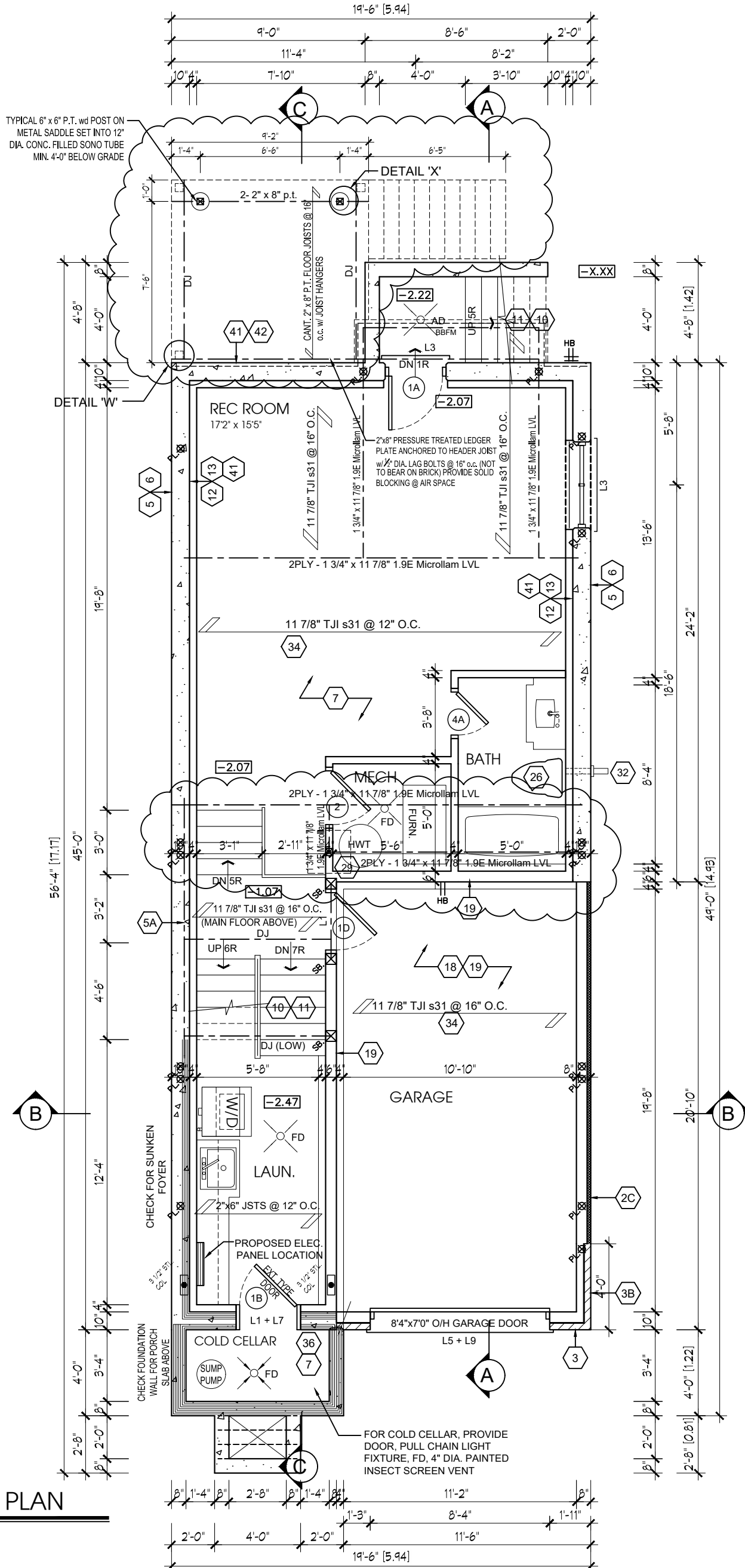
FOR ZONING CERTIFICATE

LINTEL / BEAM SCHEDULE

L1	2/2"x8" (2/38x184) SPR.#2
B1	3/2"x8" (3/38x184) SPR.#2
B2	4/2"x8" (4/38x184) SPR.#2
B7	5/2"x8" (5/38x184) SPR.#2
L3	2/2"x10" (2/38x235) SPR.#2
B3	3/2"x10" (3/38x235) SPR.#2
B4	4/2"x10" (4/38x235) SPR.#2
B8	5/2"x10" (5/38x235) SPR.#2
L5	2/2"x12" (2/38x286) SPR.#2
B5	3/2"x12" (3/38x286) SPR.#2
B6	4/2"x12" (4/38x286) SPR.#2
B9	5/2"x12" (5/38x286) SPR.#2
L7	3 1/2"x3 1/2"x14"L (90x90x6.0)
L8	3 1/2"x3 1/2"x5/16"L (90x90x6.0)
L9	4"x3 1/2"x1/4"L (100x90x6.0)
L10	5"x3 1/2"x5/16"L (125x90x8.0)
L11	5"x3 1/2"x3/8"L (125x90x10.0)
L12	6"x4"x3/8"L (150x100x10.0)

LVL BEAM SCHEDULE

LVL2	2.0E 1-1 3/4" x 9 1/2" (1-45x240)
LVL3	2.0E 1-1 3/4" x 11 7/8" (1-45x300)
LVL4	2.0E 2-1 3/4" x 9 1/2" (2-45x240)
LVL5	2.0E 3-1 3/4" x 9 1/2" (3-45x240)
LVL6	2.0E 2-1 3/4" x 11 7/8" (2-45x300)
LVL7	2.0E 3-1 3/4" x 11 7/8" (3-45x300)
LVL8	2.0E 4-1 3/4" x 9 1/2" (4-45x240)
LVL9	2.0E 4-1 3/4" x 11 7/8" (4-45x300)
LVL10	2.0E 1-1 3/4" x 14" (1-45x355)
LVL11	2.0E 2-1 3/4" x 14" (1-45x355)
LVL12	2.0E 3-1 3/4" x 14" (1-45x355)
LVL13	2.0E 4-1 3/4" x 14" (1-45x355)



BASEMENT FLOOR PLAN

3/16" = 1'-0"



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Client: 47 EIGHTH STREET
TORONTO, ONTARIO

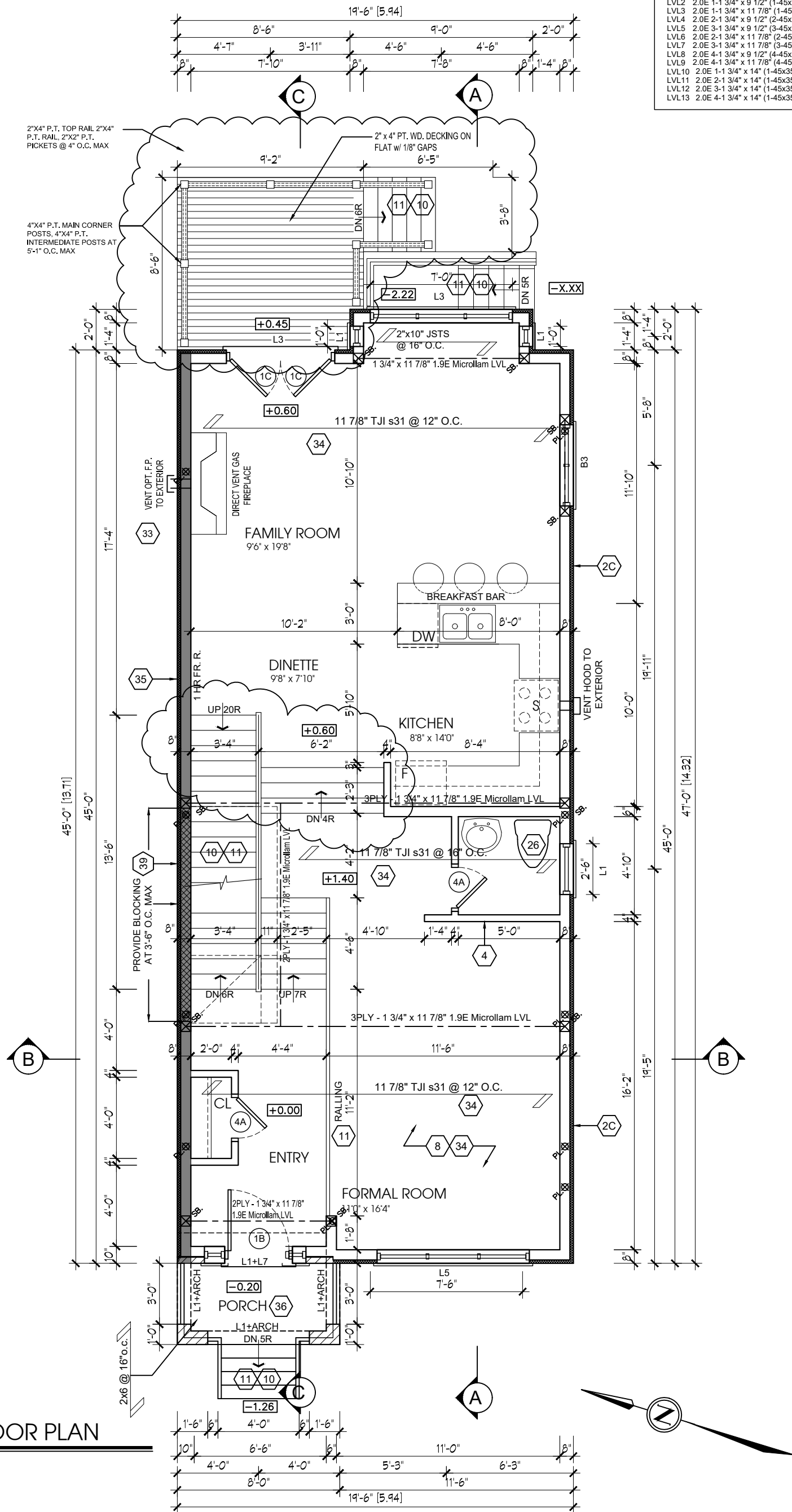
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Qualified Designer BCIN: 28383		Signature: <i>Peter Jaruczik</i>	
Firm BCIN: 32408		Date: DEC 2016	

Sheet Title: BASEMENT FLOOR PLAN	
Project No.: 15-013	Drawing No.: A1
Scale:	Date: DEC '16
Drawn by: VB	Checked by: PJ

FOR ZONING CERTIFICATE

LVL BEAM SCHEDULE	
LVL2	2.0E 1-1 3/4" x 9 1/2" (1-45x240)
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LVL12	2.0E 3-1 3/4" x 14" (1-45x355)
LVL13	2.0E 4-1 3/4" x 14" (1-45x355)



GROUND FLOOR PLAN

3/16" = 1'-0"



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Model
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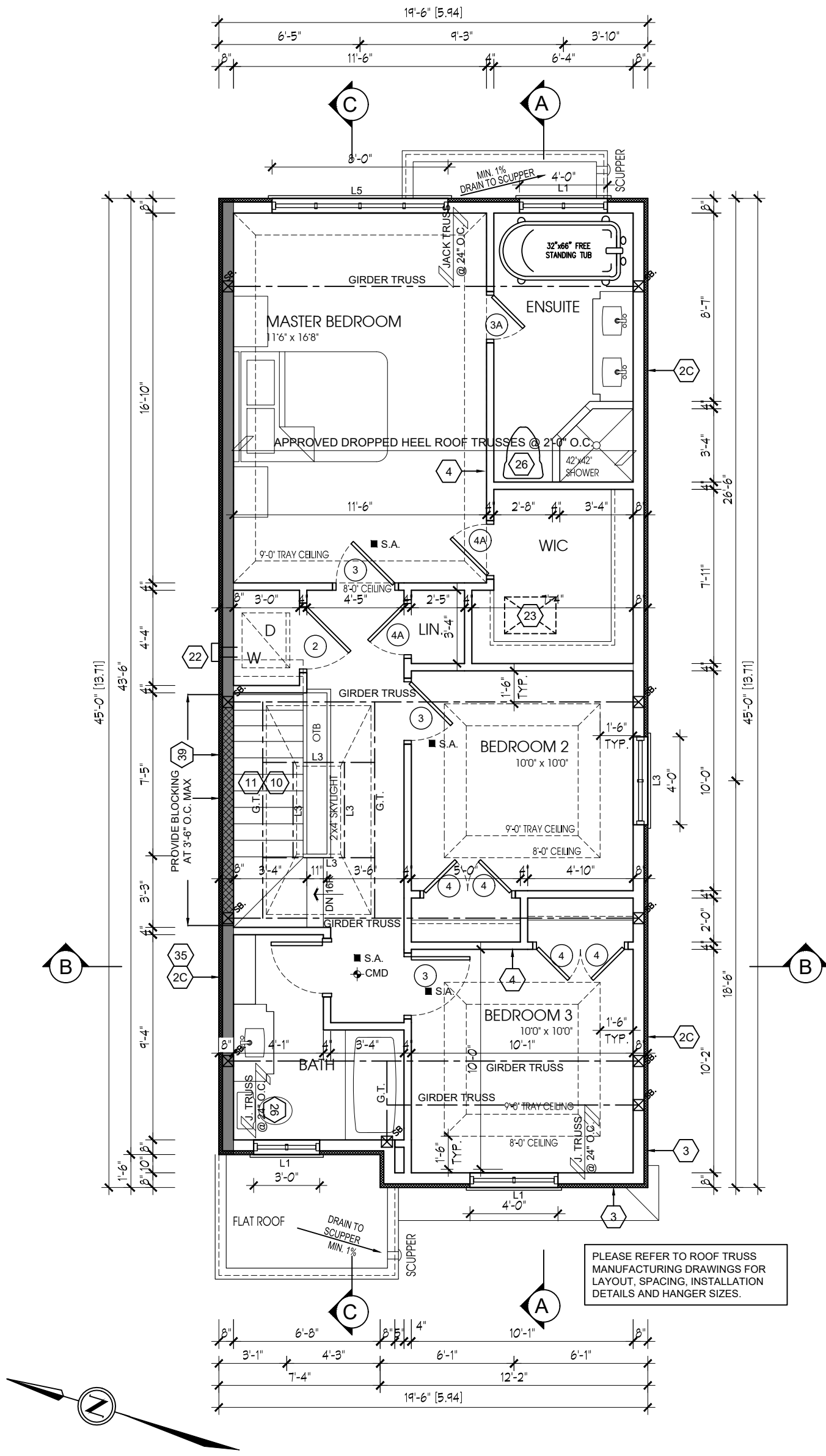
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Qualified Designer BCIN: 28383		Signature:	
Firm BCIN: 32408			
Date: DEC 2016			

Sheet Title	
GROUND FLOOR PLAN	
Project No.	Drawing No.
15-013	A2
Scale	Date
	DEC '16
Drawn by	Checked by
VB	PJ

FOR ZONING CERTIFICATE



SECOND FLOOR PLAN

3/16" = 1'-0"



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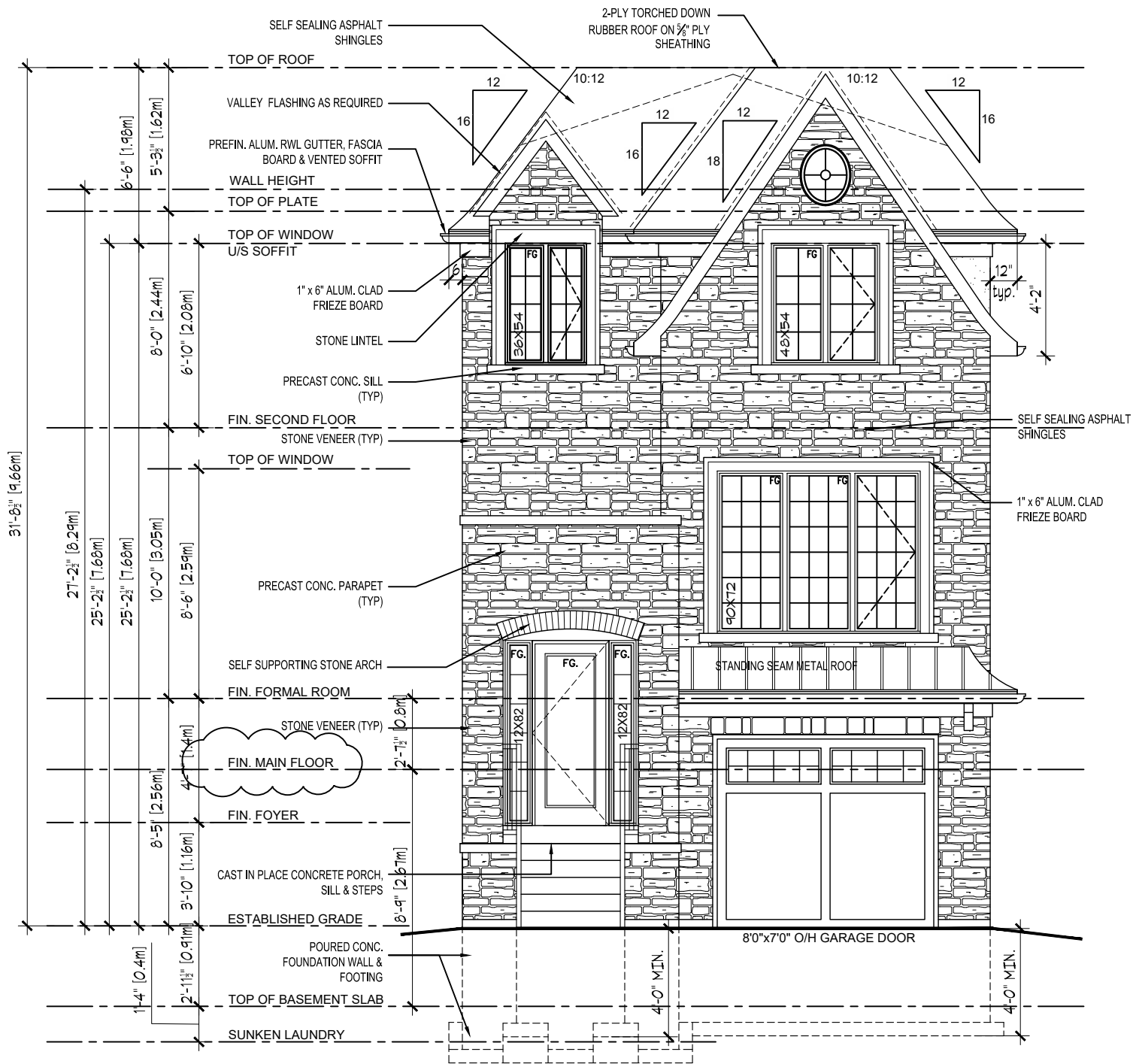
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Qualified Designer BCIN: 28383		Signature: <i>[Signature]</i>	
Firm BCIN: 32408			
Date: DEC 2016			

Sheet Title SECOND FLOOR PLAN	
Project No. 15-013	Drawing No. A3
Scale	Date DEC '16
Drawn by VB	Checked by PJ

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FRONT ELEVATION

3/16" = 1'-0"



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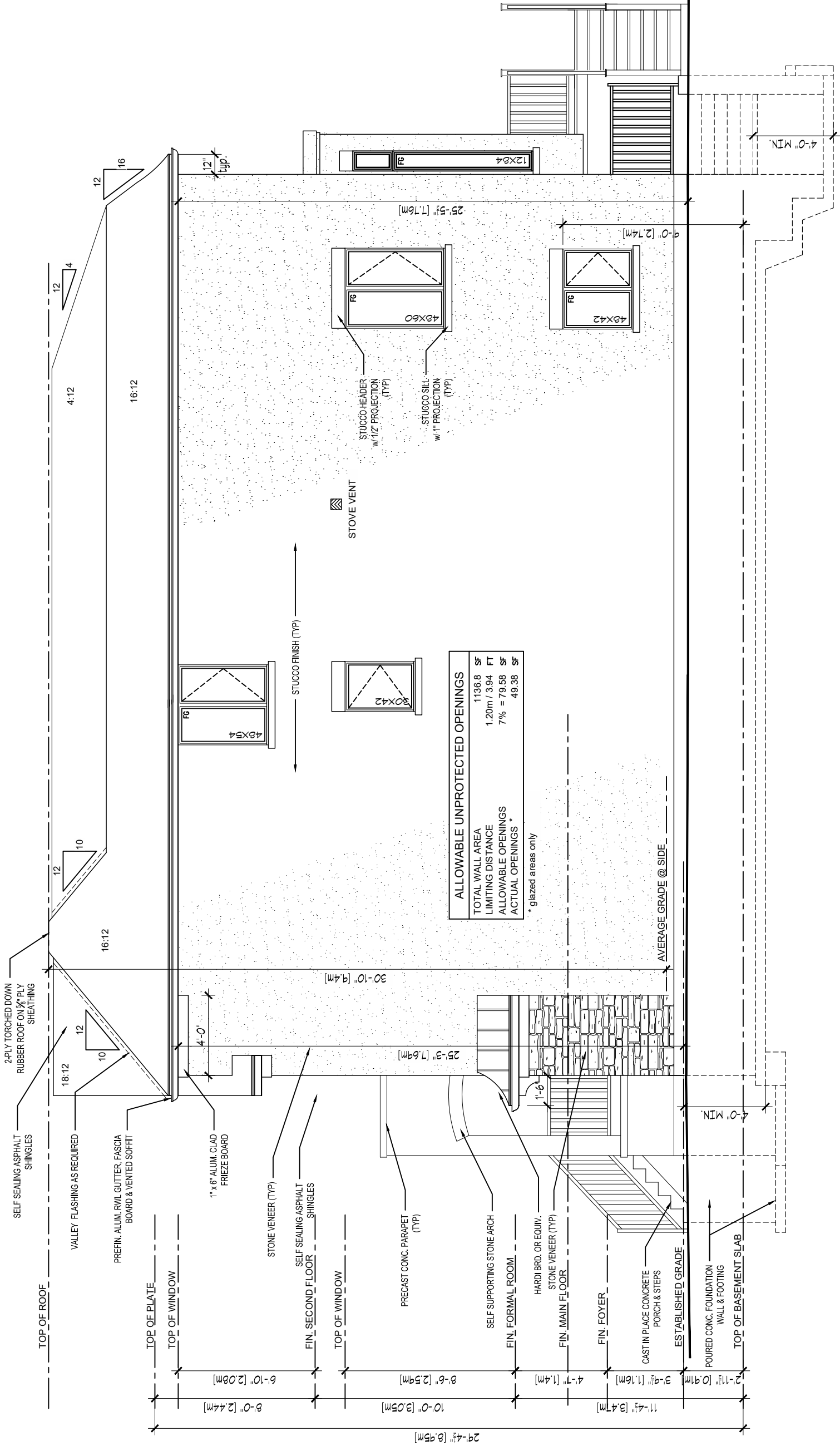
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Qualified Designer BCIN:	28383	Signature:	<i>[Signature]</i>
Firm BCIN:	32408	Date:	DEC 2016

Sheet Title	
FRONT ELEVATION	
Project No.	15-013
Scale	Date
Drawn by	Checked by
VB	PJ
Drawing No.	
A4	

FOR ZONING CERTIFICATE



ALLOWABLE UNPROTECTED OPENINGS	1136.8 SF
TOTAL WALL AREA	1.20m / 3.94 FT
LIMITING DISTANCE	7% = 79.58 SF
ALLOWABLE OPENINGS	49.38 SF
ACTUAL OPENINGS *	

* glazed areas only

RIGHT SIDE ELEVATION

3/16" = 1'-0"



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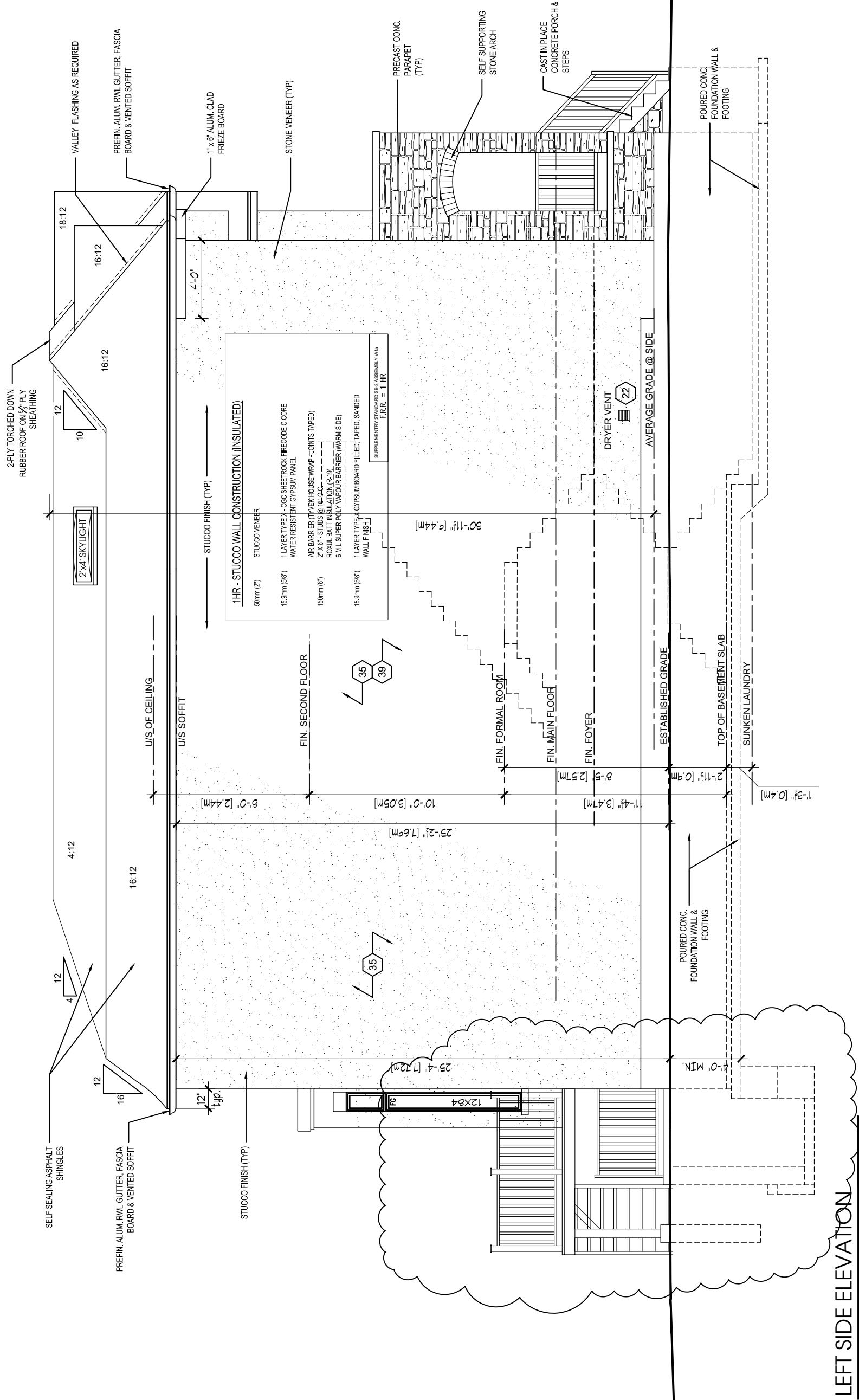
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Qualified Designer BCIN: 28383 Firm BCIN: 32408 Date: DEC 2016

Signature: *[Signature]*

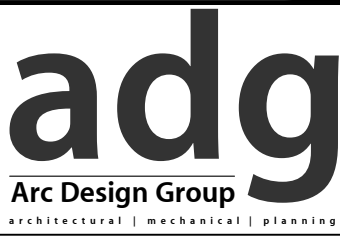
Sheet Title RIGHT SIDE ELEVATION	
Project No. 15-013	Drawing No. A5
Scale	Date DEC '16
Drawn by VB	Checked by PJ

FOR ZONING CERTIFICATE



LEFT SIDE ELEVATION

3/16" = 1'-0"



Model
CUSTOM

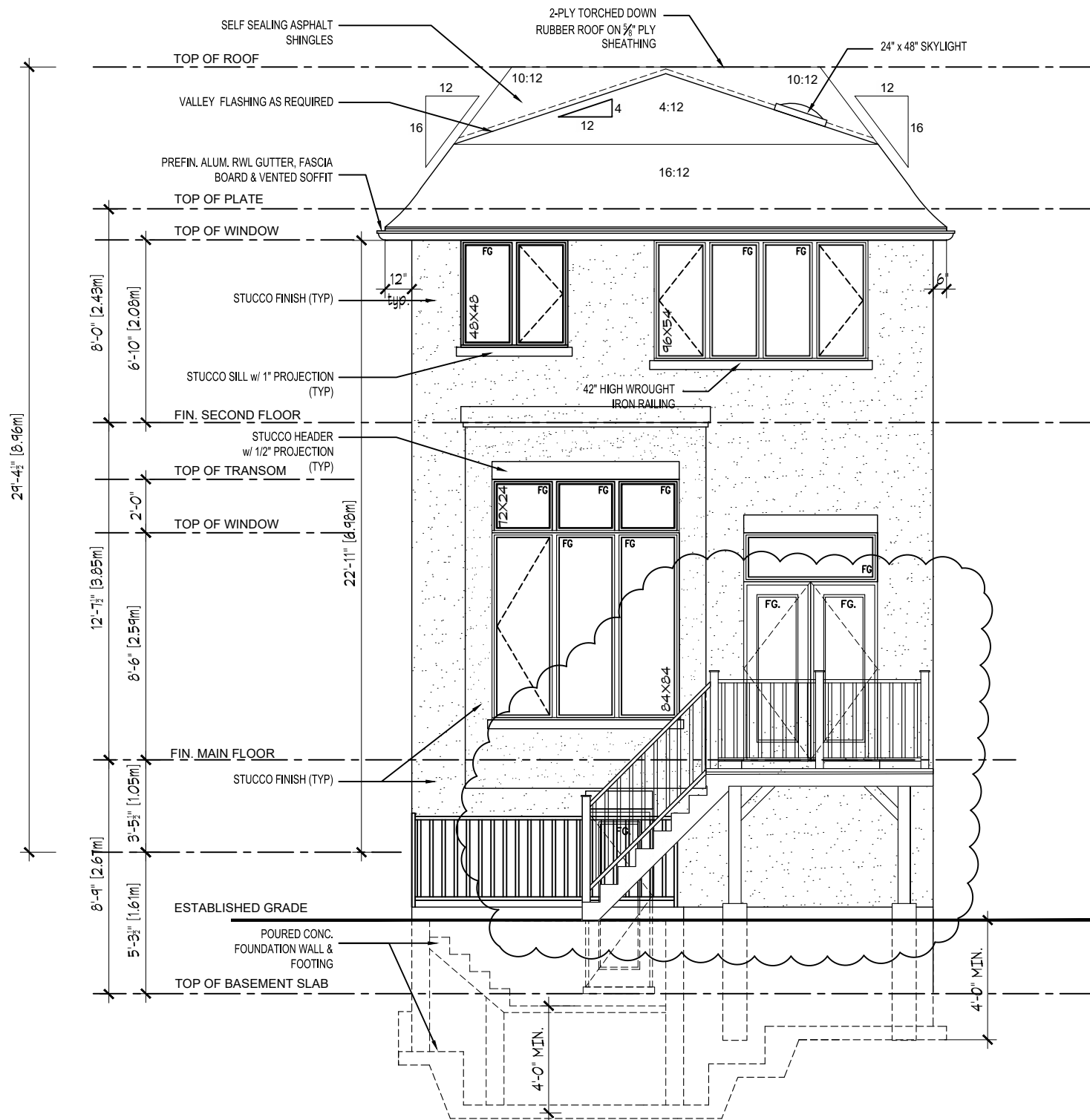
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Qualified Designer BCIN: 28383
Firm BCIN: 32408
Date: DEC 2016

Signature: *[Signature]*

Sheet Title LEFT SIDE ELEVATION	
Project No. 15-013	Drawing No. A6
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REAR ELEVATION

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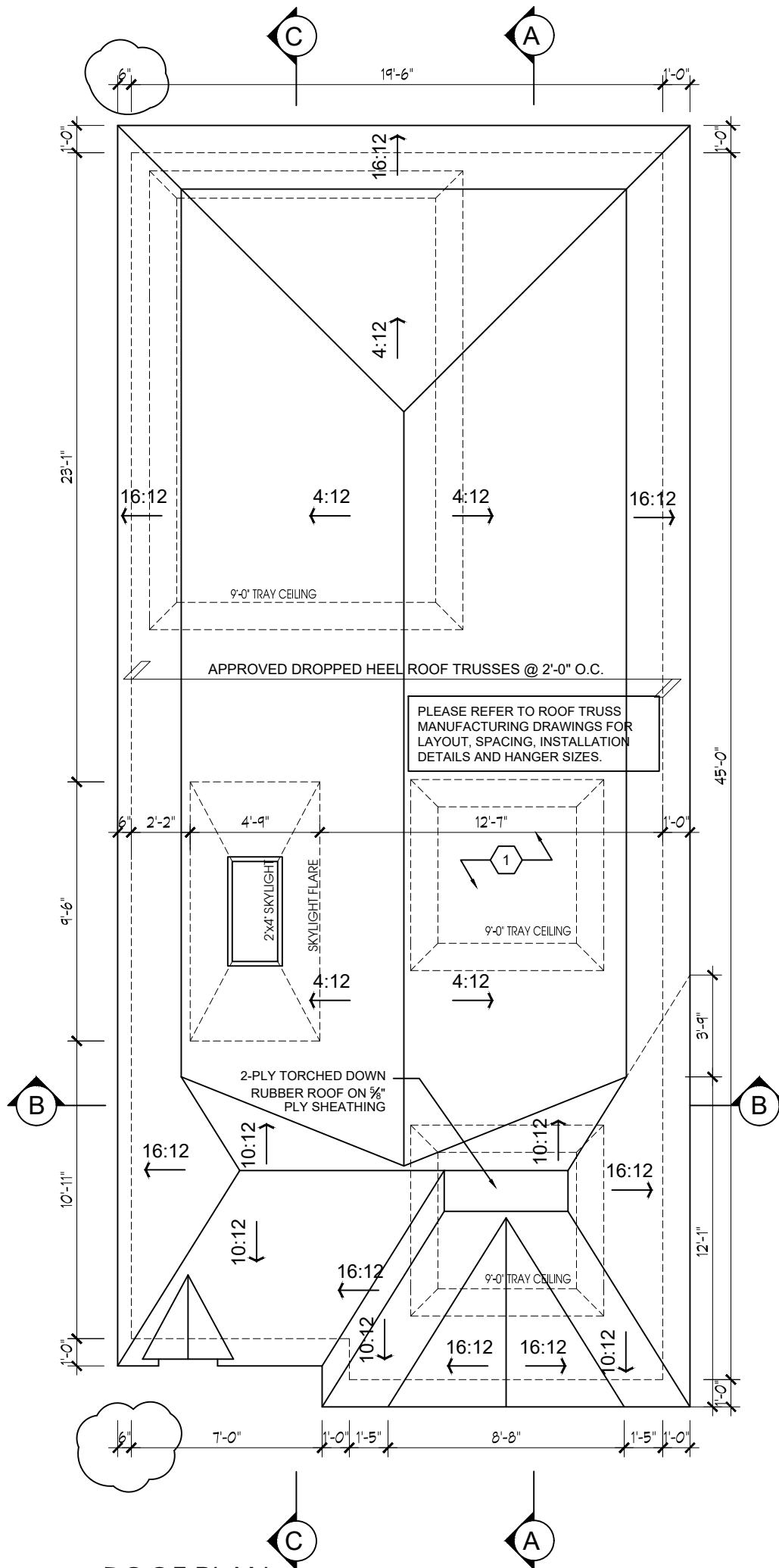
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Firm BCIN: 32408			
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Sheet Title REAR ELEVATION	
Project No. 15-013	Drawing No. A7
Scale	Date DEC '16
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FOR ZONING CERTIFICATE



ROOF PLAN

3/16" = 1'-0"



Model
CUSTOM

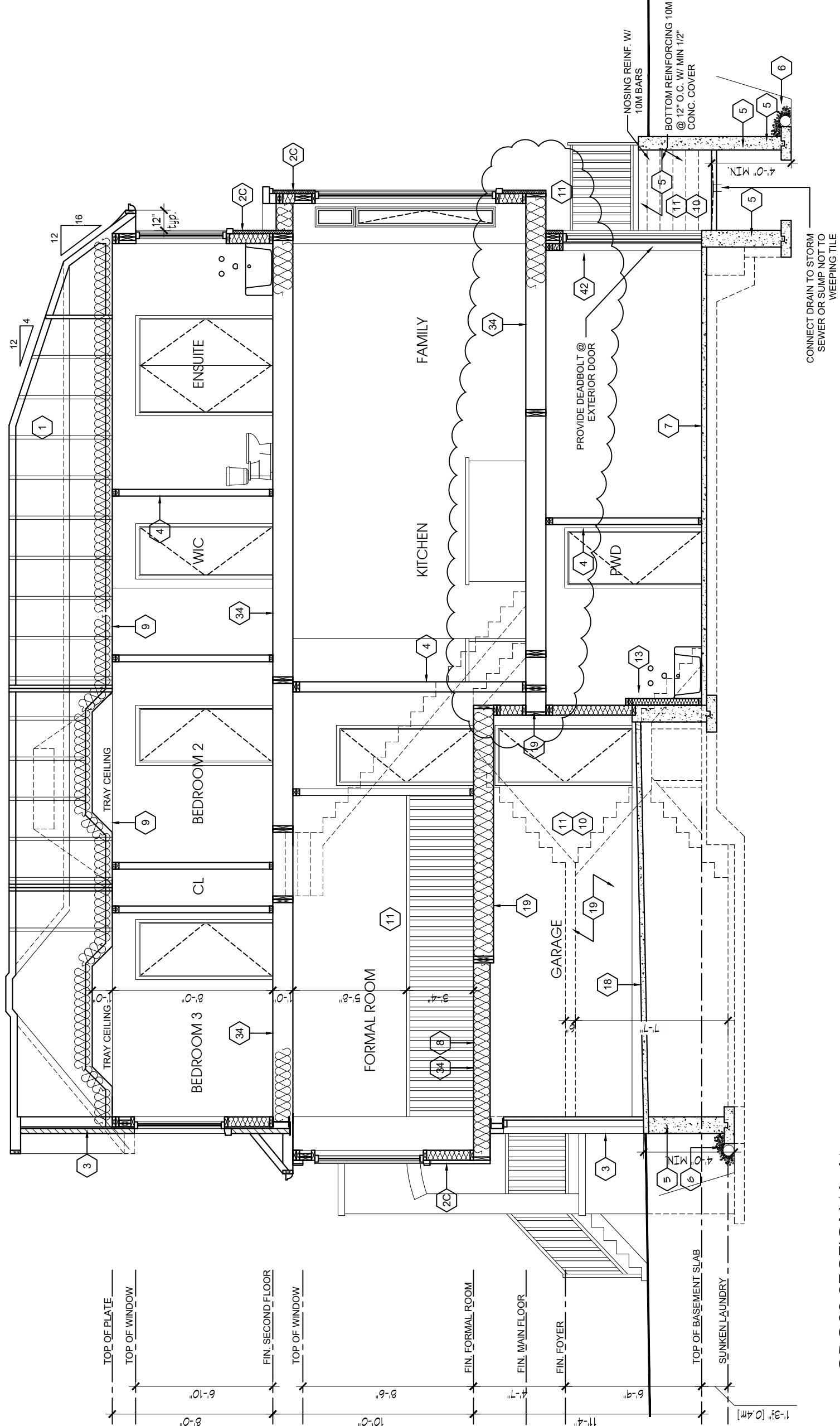
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Qualified Designer BCIN:	28383	Signature:	<i>[Signature]</i>
Firm BCIN:	32408		
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Sheet Title		ROOF PLAN	
Project No.	15-013	Drawing No.	A8
Scale		Date	DEC '16
Drawn by	VB	Checked by	PJ

FOR ZONING CERTIFICATE



CROSS SECTION 'A-A'
3/16" = 1'-0"



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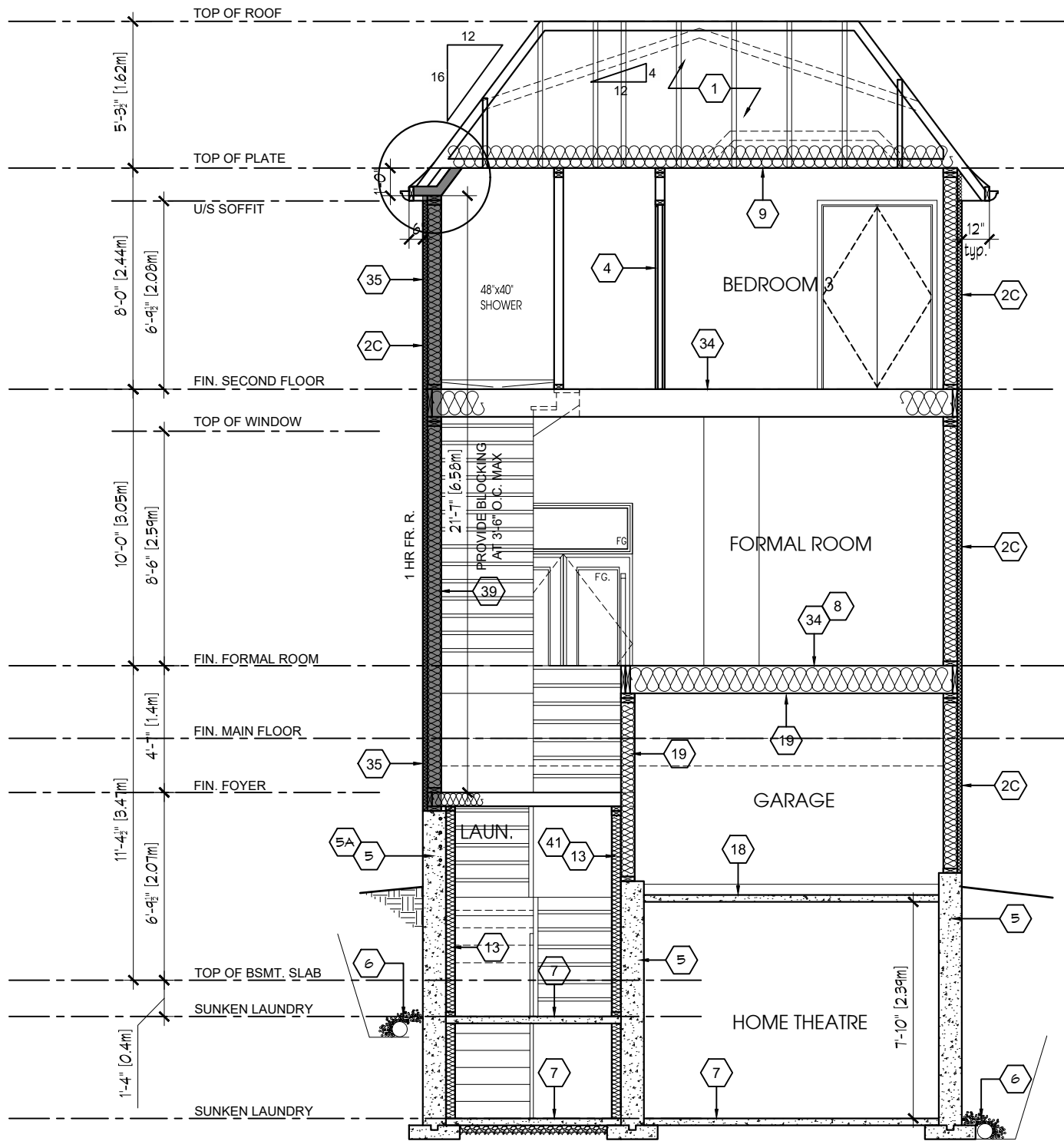
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Qualified Designer BCIN: 28383 **Signature:** *[Signature]*
Firm BCIN: 32408
Date: DEC 2016

Sheet Title CROSS SECTION 'A-A'	
Project No. 15-013	Drawing No. A9
Scale	Date DEC '16
Drawn by VB	Checked by PJ

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CROSS SECTION *B-B*

3/16" = 1'-0"



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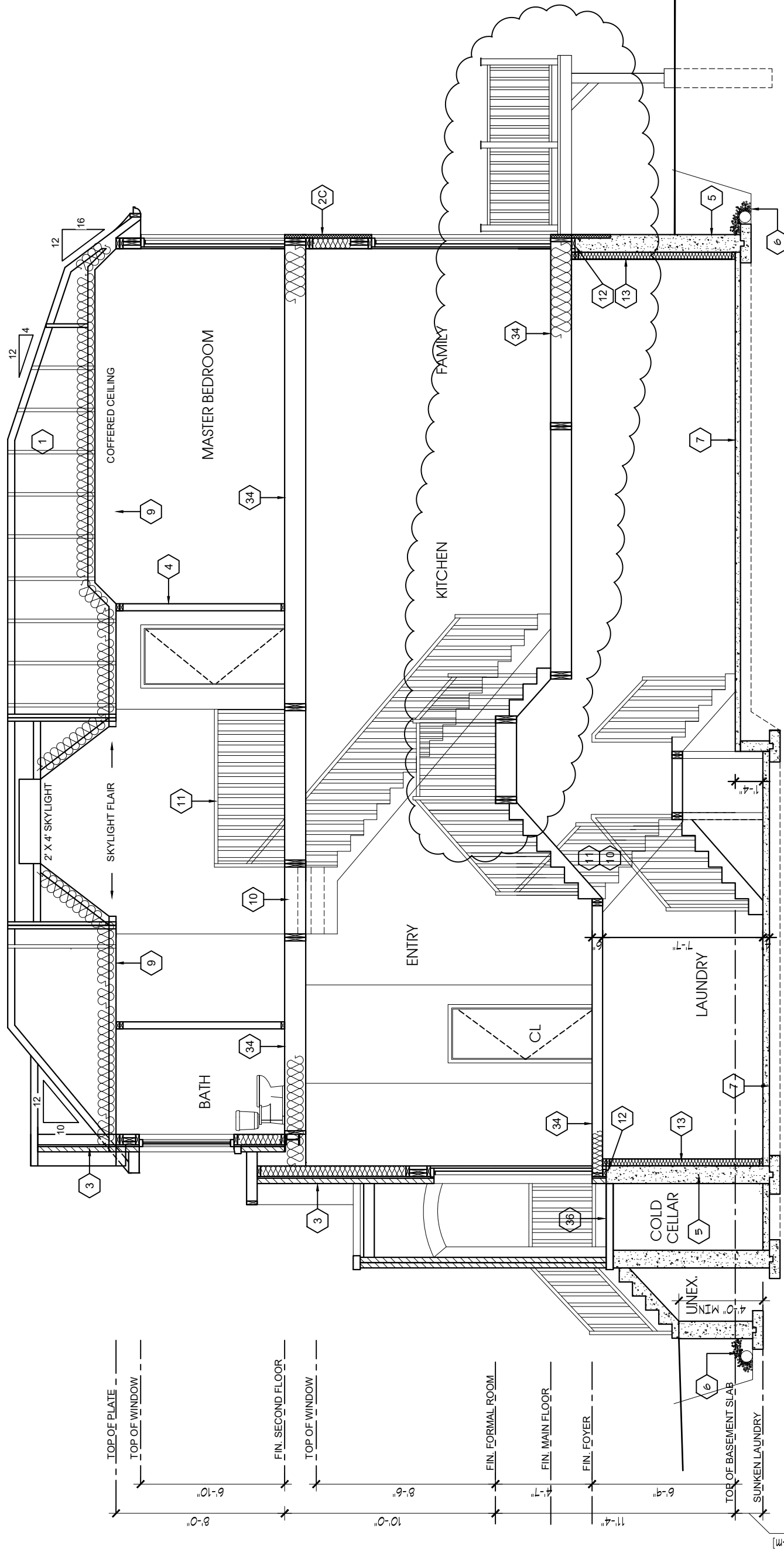
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Firm BCIN:	32408	Date:	DEC 2016

Sheet Title		CROSS SECTION 'B-B'	
Project No.	15-013	Drawing No.	A10
Scale	Date	Drawn by	Checked by
	DEC '16	VB	PJ

FOR ZONING CERTIFICATE



CROSS SECTION *C-C*
3/16" = 1'-0"



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Sheet Title CROSS SECTION 'C-C'	
Project No. 15-013	Drawing No. A11
Scale	Date DEC '16
Drawn by VB	Checked by PJ

Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0711/16EYK	Zoning	RM & RM1
Owner(s):	BARRINGTON TIMOLL	Ward:	Etobicoke-Lakeshore (06)
Agent:	FRANCO BELLINI	Heritage:	Not Applicable
Property Address:	62 THIRTIETH ST	Community:	
Legal Description:	PLAN 2130 PT LOT 17		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10.(2)(D)(i), By-law 569-2013 and Section 330-23(A)(9)**
The maximum permitted gross floor area is 0.35 times the area of the lot (146.3 m²).
The proposed dwelling will have a gross floor area equal to 0.85 times the area of the lot (357.1 m²).
- Section 10.80.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The proposed dwelling will have a length of 17.53 m.
- Section 10.80.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The proposed dwelling will have a front exterior main wall height of 8.38 m.
- Section 10.80.40.10.(4), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The proposed dwelling will have a first floor height of 2.85 m above established grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 Illustrate the proposed driveway and depressed curb cut by projecting both sides of the single-car garage door that is designed perpendicular to the curb line of Thirtieth Street;
 - 3.2 Illustrate the proposed driveway and depressed curb cut as being constructed according to City of Toronto Design Standard Drawing No. T-310.050-1;
 - 3.3 The applicant is required to remove the existing depressed curb cut that straddles the south property at No. 60 Thirtieth Street and restored the Thirtieth Street municipal boulevard with poured raised concrete curb.
 - 3.4 Insert a notation on the site plan stating that, "The applicant is required to restore the redundant portion of the existing driveway and depressed curb cut that are being closed and removed, with sod and poured raised concrete curb according to City of Toronto Design Standard Drawing No. T-600.11-1";
 - 3.5 Insert an advisory notation on the site plan stating that, "The applicant shall obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before excavating within or encroaching into the municipal road allowance. The applicant shall also submit a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant shall contact Ms. Joanne Vecchiarelli of Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements; and,
 - 3.6 The applicant shall submit a revised site plan (1:200 or 1:250 in metric scale) illustrating the above-noted Condition No.'s 1 through 5, at no cost to the City, no later than December 30, 2017.

SIGNATURE PAGE

File Number:	A0711/16EYK	Zoning	RM & RM1
Owner:	BARRINGTON TIMOLL	Ward:	Etobicoke-Lakeshore (06)
Agent:	FRANCO BELLINI	Heritage:	Not Applicable
Property Address:	62 THIRTIETH ST	Community:	
Legal Description:	PLAN 2130 PT LOT 17		

Allan Smithies (signed)

Edwin (Ted) Shepherd
(signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0151/17EYK	Zoning	E & IC2
Owner(s):	1157584 ONTARIO LIMITED	Ward:	Etobicoke North (02)
Agent:	MURRAY EVANS	Heritage:	Not Applicable
Property Address:	25 KELFIELD ST	Community:	
Legal Description:	PLAN 5118 PT LOTS 8-10		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a body rub parlour within the existing industrial/employment building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 60.20.20.100.(32)(A)(B)(C), By-law 569-2013

A lot that has a body rub service must be:

- (A) at least 100 m from a lot in the Residential Zone category or Residential Apartment Zone category,
- (B) at least 500 m from a lot with a public school, private school, or place of worship, or a lot in a IS zone or IPW zone,
- (C) at least 500 m from a lot that has adult entertainment use or 100 m from a lot that has a body rub service.

The proposed body rub service will be located 360 m from a private school located at 1 City Centre Drive.

2. Section 304-34

The proposed body rub parlour is not a permitted use in an IC2 zone.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0151/17EYK	Zoning	E & IC2
Owner:	1157584 ONTARIO LIMITED	Ward:	Etobicoke North (02)
Agent:	MURRAY EVANS	Heritage:	Not Applicable
Property Address:	25 KELFIELD ST	Community:	
Legal Description:	PLAN 5118 PT LOTS 8-10		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0159/17EYK	Zoning	RD & R2
Owner(s):	SM. DAWOODUR RAHMAN SM. MIZANNOOR RAHMAN MIZAN	Ward:	Etobicoke North (02)
Agent:	SM. MIZANNOOR RAHMAN MIZAN	Heritage:	Not Applicable
Property Address:	56 FORDWICH CRES	Community:	
Legal Description:	PLAN M664 LOT 84		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 320-59.C

The maximum permitted lot coverage is 33% of the lot area (162.55 m²).

The proposed dwelling will cover 34% of the lot area (165.83 m²).

2. Section 10.20.40.40.(1), By-law 569-2013 and 320-42.1.A.(1)

The maximum permitted floor space index is 0.45 times the area of the lot (221.66 m²).

The proposed dwelling will have a floor space index equal to 0.55 times the area of the lot (272.16 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0159/17EYK	Zoning	RD & R2
Owner:	SM. DAWOODUR RAHMAN SM. MIZANNOOR RAHMAN MIZAN	Ward:	Etobicoke North (02)
Agent:	SM. MIZANNOOR RAHMAN MIZAN	Heritage:	Not Applicable
Property Address:	56 FORDWICH CRES	Community:	
Legal Description:	PLAN M664 LOT 84		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0166/17EYK	Zoning	RM & RM1
Owner(s):	LOUISE STERNER	Ward:	Etobicoke-Lakeshore (06)
Agent:	CHRIS A MONTGOMERY ARCHITECT	Heritage:	Not Applicable
Property Address:	16 FORTY FIRST ST	Community:	
Legal Description:	PLAN 2172 N40FT L 280		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing dwelling and a one-storey side addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10(2)(D)(i), By-law 569-2013 and Section 330-23(A)(9)**
The maximum permitted floor space index/gross floor area is 0.35 times the area of the lot (155.5 m²).
The altered dwelling will have a floor space index/gross floor area equal to 0.61 times the area of the lot (271.7 m²).
- Section 10.80.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The altered dwelling will have a length of 17.1 m.
- Section 10.80.40.10.(2), By-law 569-2013**
The maximum permitted height of front exterior main walls is 7 m.
The altered dwelling will have a front exterior main wall height of 7.31 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0166/17EYK	Zoning	RM & RM1
Owner:	LOUISE STERNER	Ward:	Etobicoke-Lakeshore (06)
Agent:	CHRIS A MONTGOMERY ARCHITECT	Heritage:	Not Applicable
Property Address:	16 FORTY FIRST ST	Community:	
Legal Description:	PLAN 2172 N40FT L 280		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0168/17EYK	Zoning	RD & R1
Owner(s):	GIN FANG YANG QIANG XING YANG	Ward:	Etobicoke-Lakeshore (05)
Agent:	ACADIA DRAFTING	Heritage:	Not Applicable
Property Address:	52 KING GEORGES RD	Community:	
Legal Description:	PLAN 1685 PT LOTS 184 TO 186		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached garage in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.60.40.(2)(B), By-law 569-2013**
The maximum permitted height for ancillary building or structure is 4 m.
The proposed detached garage will have a height of 5.2 m.
- Section 320-43.(D)**
The maximum permitted height of an accessory structure with a pitched roof is 3.7 m, provided that no part of the walls exceed 2.5 m in height.
The proposed detached garage will have a height of 4.2 m (measured to the midpoint of the roof) and will have a wall height of 3.2 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0168/17EYK	Zoning	RD & R1
Owner:	GIN FANG YANG QIANG XING YANG	Ward:	Etobicoke-Lakeshore (05)
Agent:	ACADIA DRAFTING	Heritage:	Not Applicable
Property Address:	52 KING GEORGES RD	Community:	
Legal Description:	PLAN 1685 PT LOTS 184 TO 186		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0177/17EYK	Zoning	RD & R2
Owner(s):	POMPEO FINELLI POMPEO FINELLI	Ward:	Etobicoke North (02)
Agent:	ST ENGINEERING	Heritage:	Not Applicable
Property Address:	15 PENHALE DR	Community:	
Legal Description:	PLAN 3919 N PT LOT 9		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front addition and a one-storey side addition. The front addition will contain an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.5.40.70 (1) (B), By-law 569-2013 and Section 320-40 C(3)**
The minimum required front yard setback is 13.76 m.
The altered dwelling will be located 11.64 m from the front lot line.
- 2. Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The altered dwelling will have a length of 20.61 m.
- 3. Section 320-42.1 D (1)**
The maximum permitted dwelling length is 16.5 m.
The altered dwelling will have a length of 17.56 m.
- 4. Section 10.5.100.1.(1), By-law 569-2013 and Section 320-44 A (1) (c)**
The maximum permitted driveway width is 6 m.
The proposed driveway will have a width of 7.1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The Site Plan Drawing must be revised to show the proposed curb cut for the property, and the portion of the driveway that is located within the Penhale Drive municipal boulevard, as having a maximum width of 3.55 metres.
 - 3.2 The Site Plan Drawing must be revised to include the following notations:
 - a. "All existing redundant curb cuts, or portions thereof, that are no longer required must be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards";
 - c. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - d. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0177/17EYK	Zoning	RD & R2
Owner:	POMPEO FINELLI	Ward:	Etobicoke North (02)
	POMPEO FINELLI		
Agent:	ST ENGINEERING	Heritage:	Not Applicable
Property Address:	15 PENHALE DR	Community:	
Legal Description:	PLAN 3919 N PT LOT 9		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

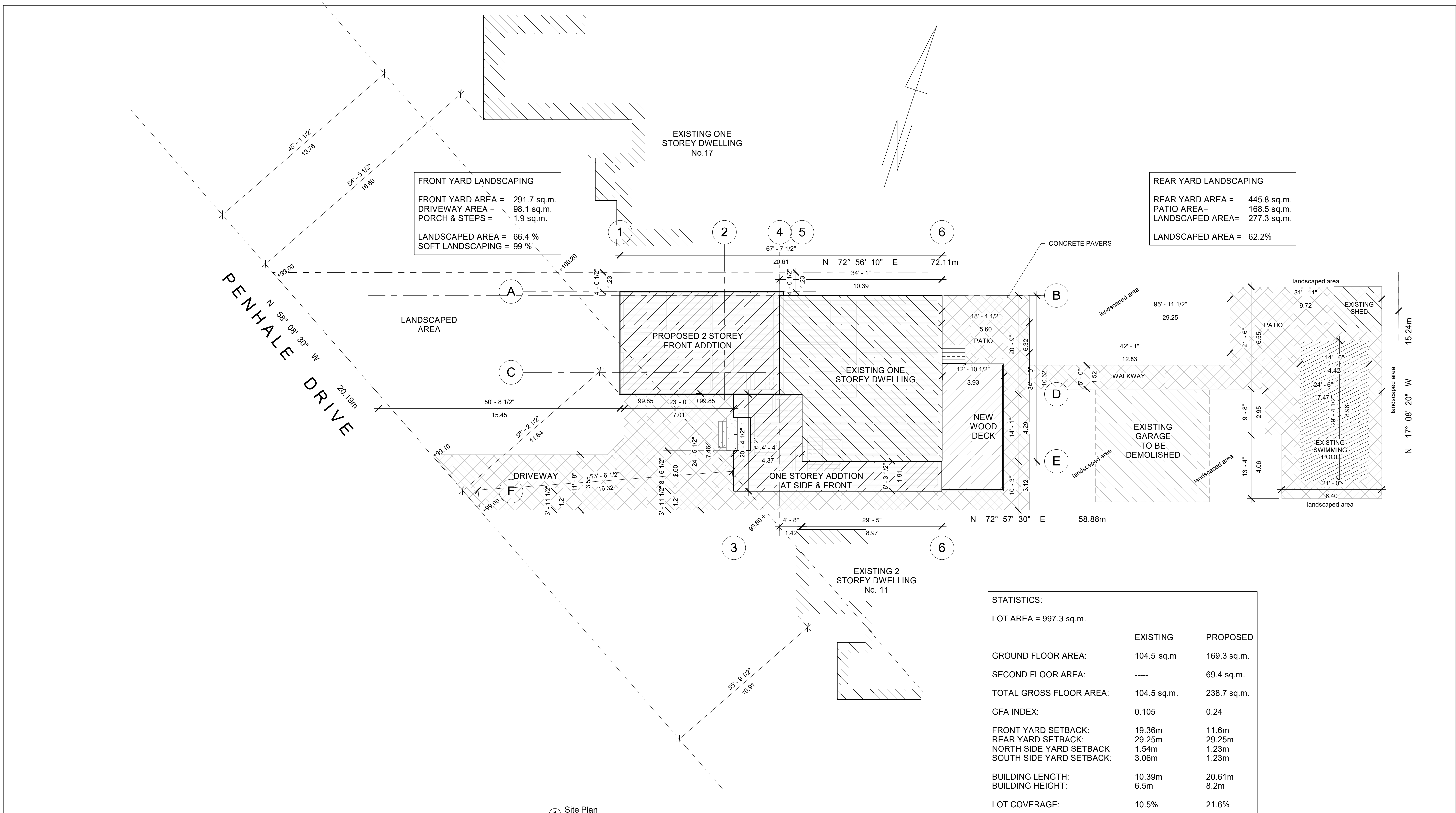
DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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FRONT YARD LANDSCAPING
 FRONT YARD AREA = 291.7 sq.m.
 DRIVEWAY AREA = 98.1 sq.m.
 PORCH & STEPS = 1.9 sq.m.
 LANDSCAPED AREA = 66.4 %
 SOFT LANDSCAPING = 99 %

REAR YARD LANDSCAPING
 REAR YARD AREA = 445.8 sq.m.
 PATIO AREA = 168.5 sq.m.
 LANDSCAPED AREA = 277.3 sq.m.
 LANDSCAPED AREA = 62.2%

STATISTICS:

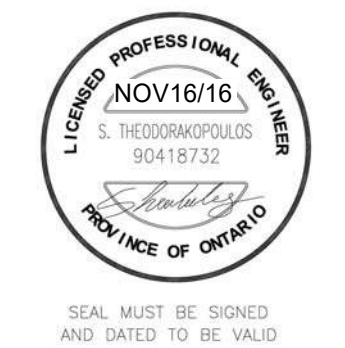
	EXISTING	PROPOSED
LOT AREA =	997.3 sq.m.	
GROUND FLOOR AREA:	104.5 sq.m.	169.3 sq.m.
SECOND FLOOR AREA:	-----	69.4 sq.m.
TOTAL GROSS FLOOR AREA:	104.5 sq.m.	238.7 sq.m.
GFA INDEX:	0.105	0.24
FRONT YARD SETBACK:	19.36m	11.6m
REAR YARD SETBACK:	29.25m	29.25m
NORTH SIDE YARD SETBACK:	1.54m	1.23m
SOUTH SIDE YARD SETBACK:	3.06m	1.23m
BUILDING LENGTH:	10.39m	20.61m
BUILDING HEIGHT:	6.5m	8.2m
LOT COVERAGE:	10.5%	21.6%

1 Site Plan
 1" = 10'-0"

No.	Description	Date
1	ISSUED FOR PRELIMINARY REVIEW	NOV 16/16

ST ENGINEERING

23 Southlea Avenue
 East York, Ontario M4G 3L8
 647-219-7651
 st.theodor@bell.net



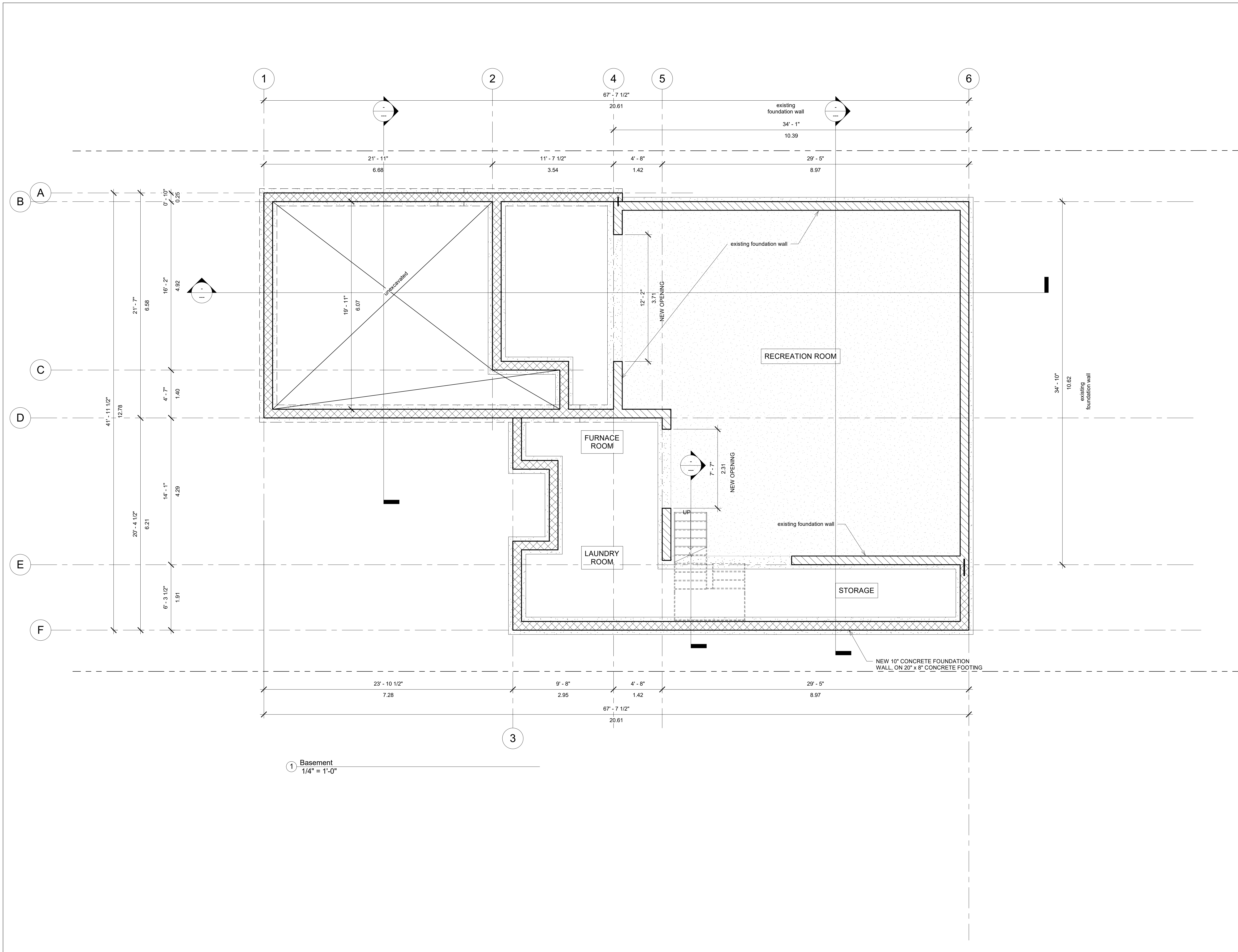
**PROPOSED
 ADDITION TO
 EXISTING ONE
 STOREY DWELLING**
 15 PENHALE DRIVE
 TORONTO, ON

SITE PLAN

Project number	16-051
Date	NOVEMBER 2016
Drawn by	ST
Checked by	ST

A1

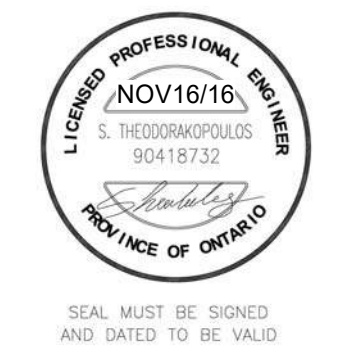
Scale



1 Basement
1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR PRELIMINARY REVIEW	NOV 16/16

ST ENGINEERING
 23 Southlea Avenue
 East York, Ontario M4G 3L8
 647-219-7651
 st.theodor@bell.net



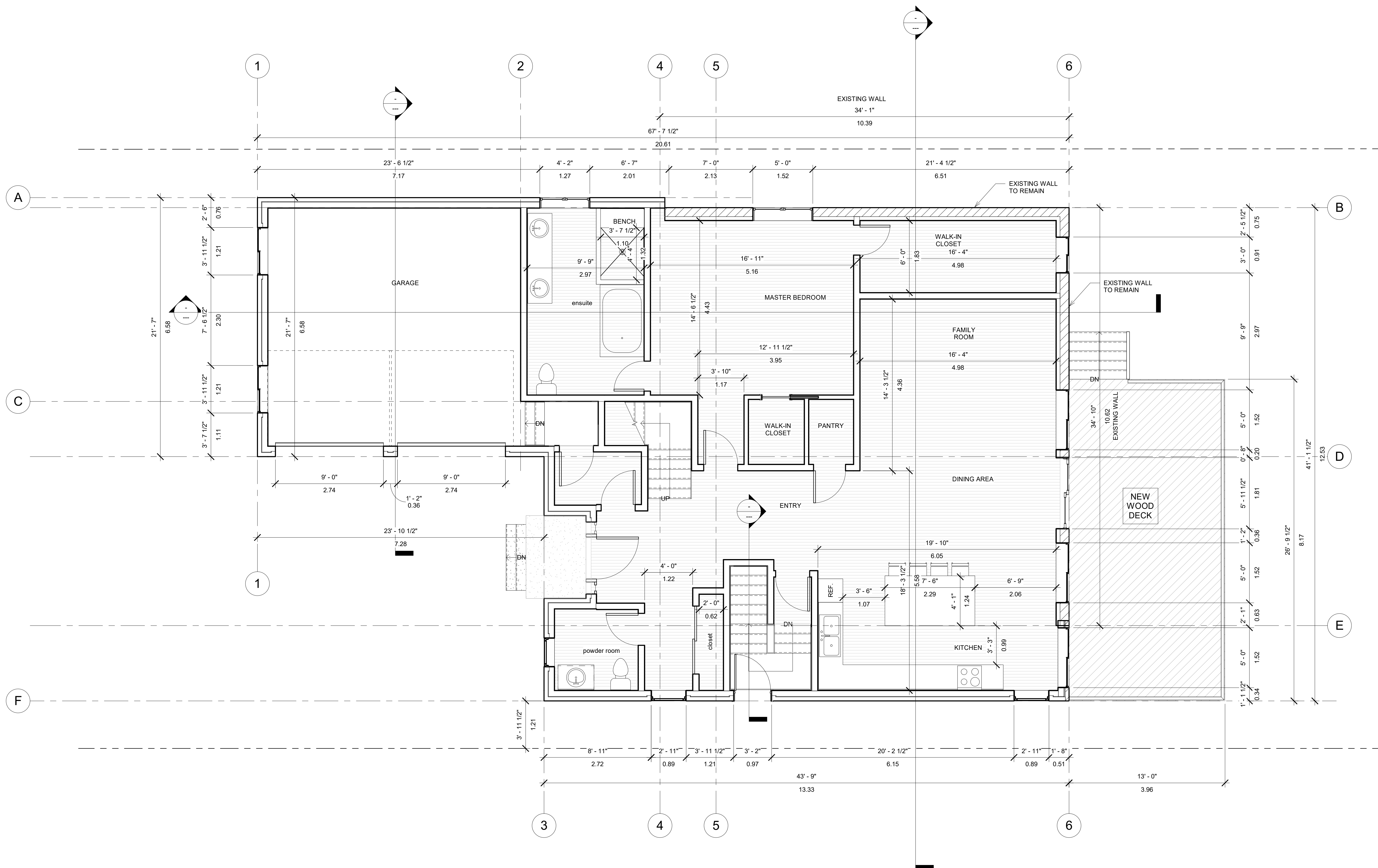
**PROPOSED
 ADDITION TO
 EXISTING ONE
 STOREY DWELLING**
 15 PENHALE DRIVE
 TORONTO, ON

**BASEMENT FLOOR
 PLAN**

Project number	16-051
Date	NOVEMBER 2016
Drawn by	ST
Checked by	ST

A2

Scale



① First Floor +100.55
1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR PRELIMINARY REVIEW	NOV 16/16

ST ENGINEERING
 23 Southlea Avenue
 East York, Ontario M4G 3L8
 647-219-7651
 st.theodor@bell.net

SEAL MUST BE SIGNED AND DATED TO BE VALID.

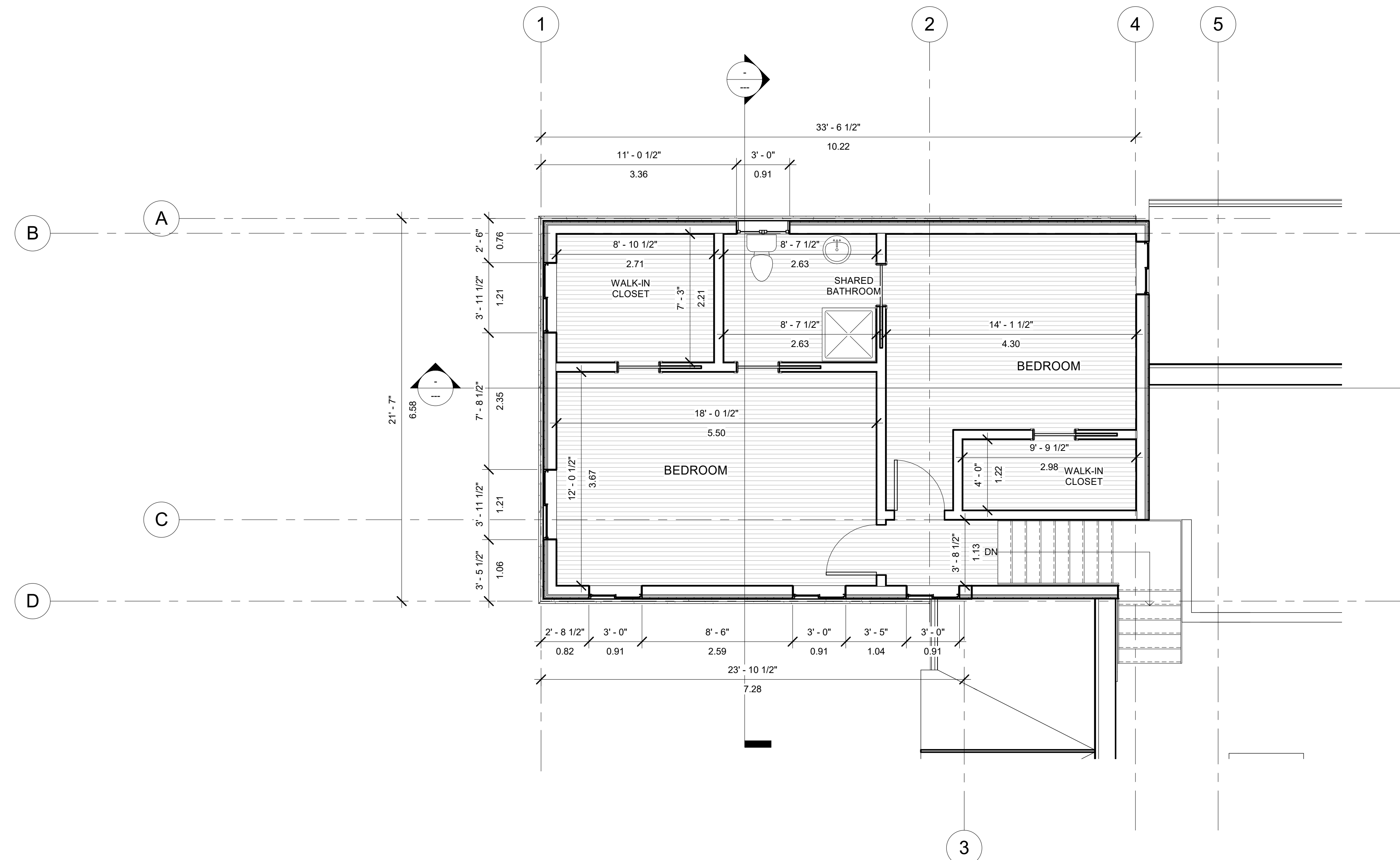
**PROPOSED
 ADDITION TO
 EXISTING ONE
 STOREY DWELLING**
 15 PENHALE DRIVE
 TORONTO, ON

FIRST FLOOR PLAN

Project number	16-051
Date	NOVEMBER 2016
Drawn by	ST
Checked by	ST

A3

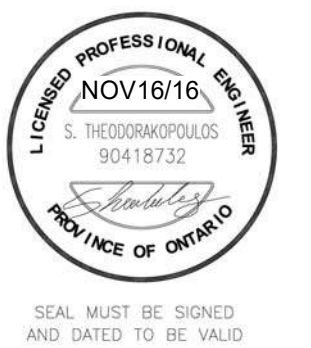
Scale



① Second Floor
1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR PRELIMINARY REVIEW	NOV 16/16

ST ENGINEERING
 23 Southlea Avenue
 East York, Ontario M4G 3L8
 647-219-7651
 st.theodor@bell.net



SEAL MUST BE SIGNED AND DATED TO BE VALID

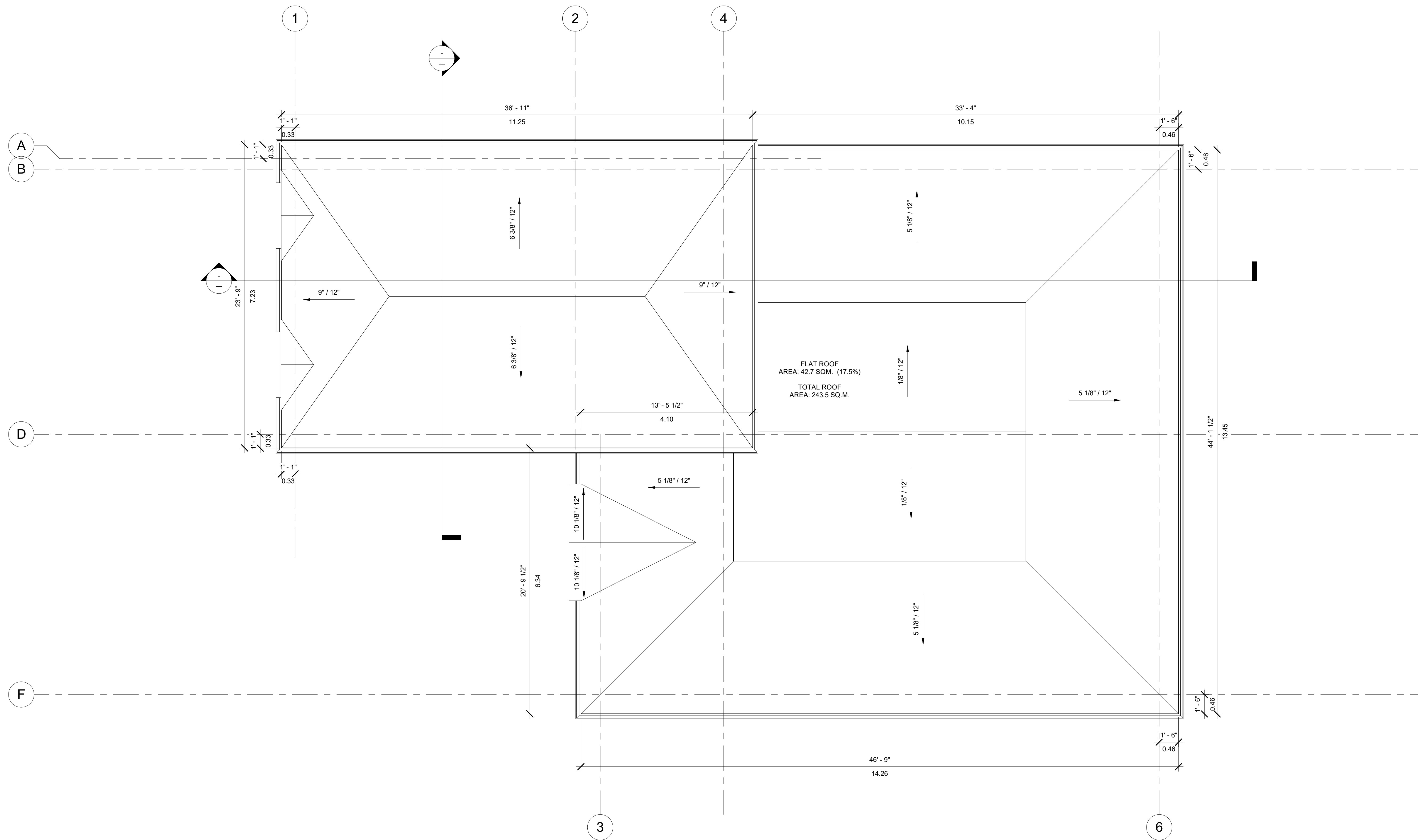
**PROPOSED
 ADDITION TO
 EXISTING ONE
 STOREY DWELLING**
 15 PENHALE DRIVE
 TORONTO, ON

**SECOND FLOOR
 PLAN**

Project number	16-051
Date	NOVEMBER 2016
Drawn by	ST
Checked by	ST

A4

Scale



1 Roof Plan
1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR PRELIMINARY REVIEW	NOV 16/16

ST ENGINEERING

23 Southlea Avenue
East York, Ontario M4G 3L8
647-219-7651
st.theodor@bell.net



SEAL MUST BE SIGNED AND DATED TO BE VALID

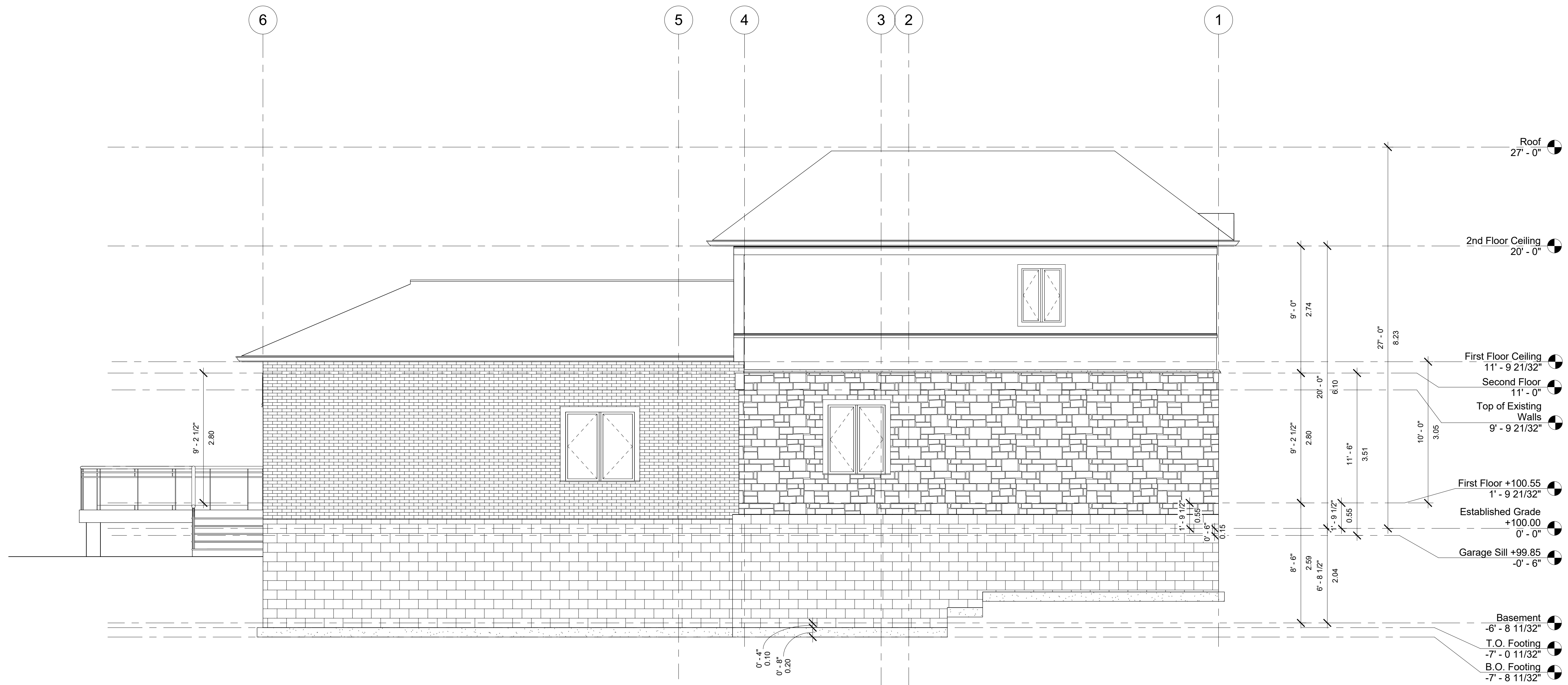
**PROPOSED
ADDITION TO
EXISTING ONE
STOREY DWELLING
15 PENHALE DRIVE
TORONTO, ON**

ROOF PLAN

Project number	16-051
Date	NOVEMBER 2016
Drawn by	ST
Checked by	ST

A5

Scale



① North
1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR PRELIMINARY REVIEW	NOV 16/16

ST ENGINEERING
23 Southlea Avenue
East York, Ontario M4G 3L8
647-219-7651
st.theodor@bell.net



**PROPOSED
ADDITION TO
EXISTING ONE
STOREY DWELLING**
15 PENHALE DRIVE
TORONTO, ON

Elevations

Project number	16-051
Date	NOVEMBER 2016
Drawn by	Author
Checked by	Checker

A6

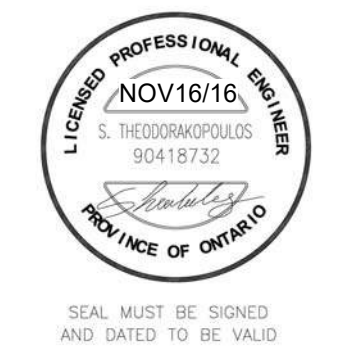
Scale



② West
1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR PRELIMINARY REVIEW	NOV 16/16

ST ENGINEERING
 23 Southlea Avenue
 East York, Ontario M4G 3L8
 647-219-7651
 st.theodor@bell.net



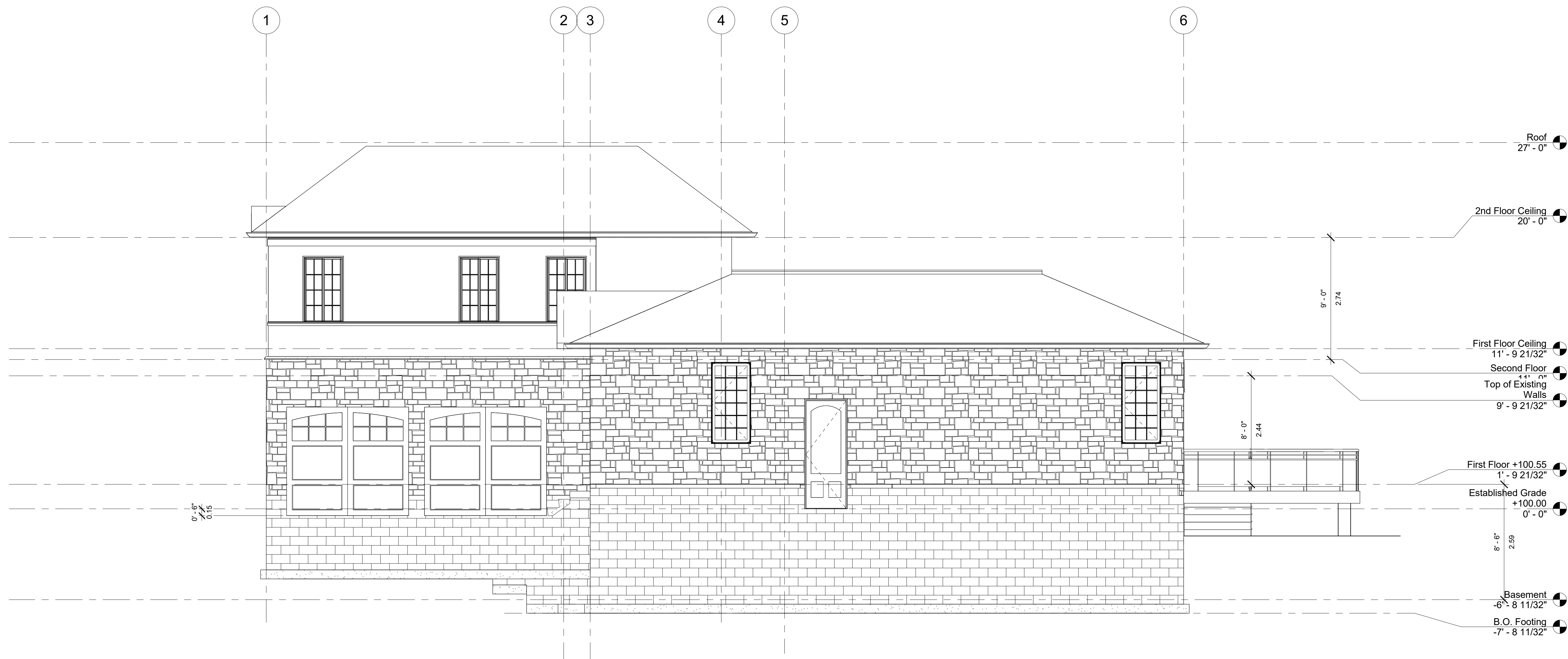
**PROPOSED
 ADDITION TO
 EXISTING ONE
 STOREY DWELLING**
 15 PENHALE DRIVE
 TORONTO, ON

Elevations

Project number	16-051
Date	NOVEMBER 2016
Drawn by	ST
Checked by	ST

A7

Scale

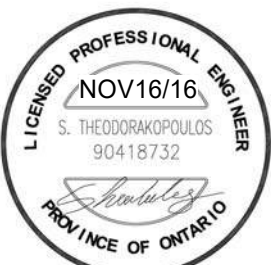


① South
1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR PRELIMINARY REVIEW	NOV 16/16

ST ENGINEERING

23 Southlea Avenue
East York, Ontario M4G 3L8
647-219-7651
st.theodor@bell.net



SEAL MUST BE SIGNED AND DATED TO BE VALID

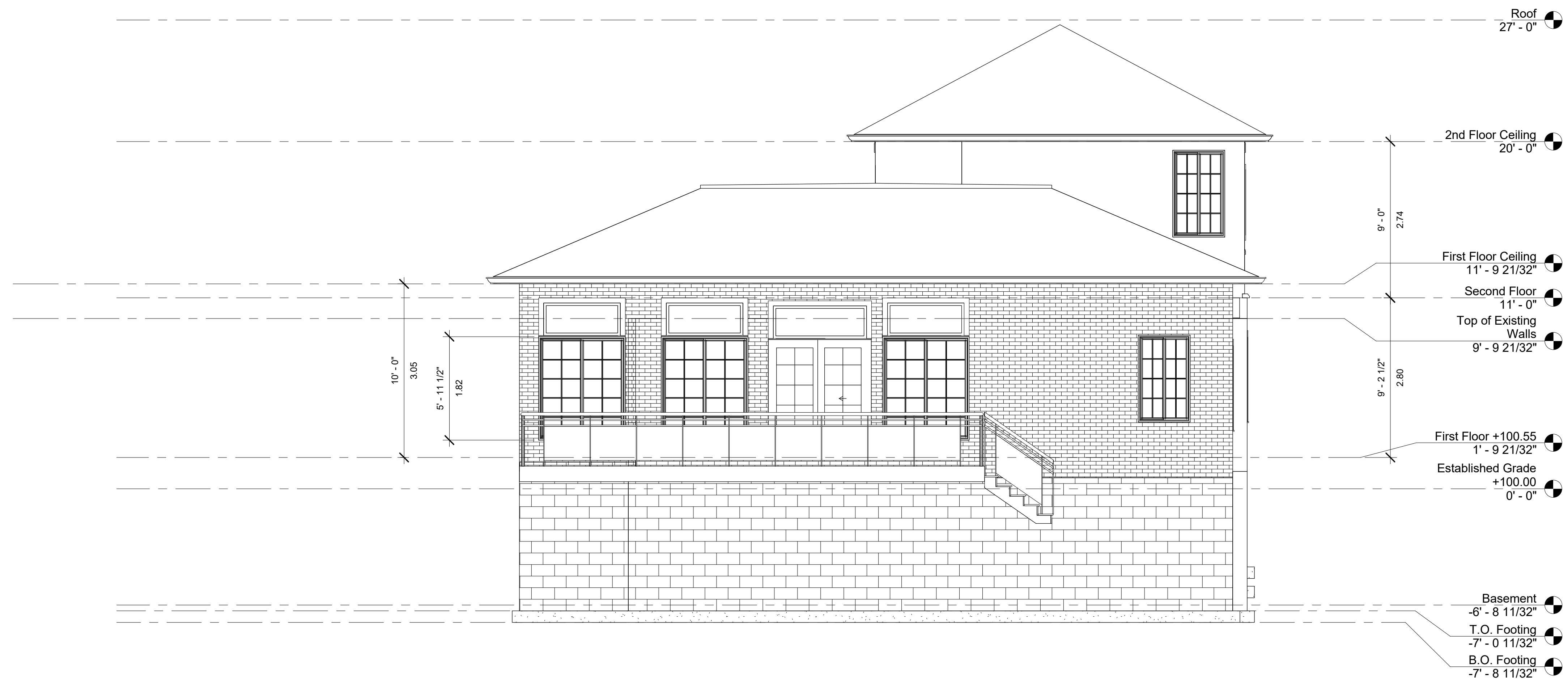
**PROPOSED
ADDITION TO
EXISTING ONE
STOREY DWELLING**
15 PENHALE DRIVE
TORONTO, ON

Elevations

Project number	16-051
Date	NOVEMBER 2016
Drawn by	ST
Checked by	ST

A8

Scale

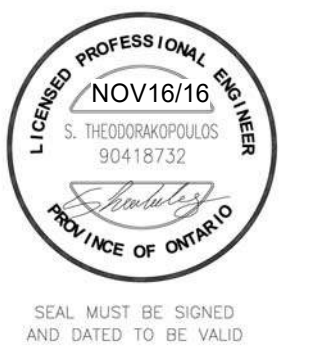


① East
1/4" = 1'-0"

No.	Description	Date
1	ISSUED FOR PRELIMINARY REVIEW	NOV 16/16

ST ENGINEERING

23 Southlea Avenue
East York, Ontario M4G 3L8
647-219-7651
st.theodor@bell.net



SEAL MUST BE SIGNED AND DATED TO BE VALID

**PROPOSED
ADDITION TO
EXISTING ONE
STOREY DWELLING**
15 PENHALE DRIVE
TORONTO, ON

Elevations

Project number	16-051
Date	NOVEMBER 2016
Drawn by	ST
Checked by	ST

A9

Scale

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0178/17EYK	Zoning:	RD & R2
Owner(s):	MOUSSA TAHLIL LAUREN TEDESCO	Ward:	Etobicoke-Lakeshore (05)
Agent:	LAUREN TEDESCO	Heritage:	Not Applicable
Property Address:	32 RENOWN RD	Community:	
Legal Description:	PLAN 1602 PT LOTS 86 & 87		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a second storey rear balcony, a rear covered deck, and a swimming pool in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 33% of the lot area (202.87 m²).
The altered dwelling will cover 36.15% of the lot area (222.26 m²).
- 2. Section 900.3.10.(37)(C), By-law 569-2013 and Section 1.(b)(1), By-law 1992-25**
The maximum permitted gross floor area, including an attached or detached garage, shall be 150 m² plus 25% of the lot area (303.69 m²) with a maximum floor space index of 0.5 times the area of the lot (307.38 m²).
The altered dwelling, including the attached garage, will have a gross floor area of 150 m² plus 29.14% of the lot area (329.11 m²) and will have a floor space index of 0.54 times the area of the lot (329.11 m²).
- 3. Section 1.(a)(2), By-law 1992-25**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 6.87 m.
- 4. Section 10.5.50.10.(3)(A), By-law 569-2013**
A minimum of 50% of the rear yard shall be maintained as soft landscaping (164.27 m²).
A total of 46.13% of the rear yard will be maintained as soft landscaping (151.55 m²).
- 5. Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey of a detached house is 4 m².
The proposed second storey rear platform will have an area of 7.76 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. The applicant shall install 1.5 m high opaque screening along the north side of the proposed second storey rear balcony.
3. The ground floor rear covered deck shall remain open on three sides.

SIGNATURE PAGE

File Number:	A0178/17EYK	Zoning	RD & R2
Owner:	MOUSSA TAHLIL LAUREN TEDESCO	Ward:	Etobicoke-Lakeshore (05)
Agent:	LAUREN TEDESCO	Heritage:	Not Applicable
Property Address:	32 RENOWN RD	Community:	
Legal Description:	PLAN 1602 PT LOTS 86 & 87		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0181/17EYK	Zoning:	RM & R2
Owner(s):	GARY EHASOO ANNA WILKINSON	Ward:	Etobicoke-Lakeshore (06)
Agent:	GEORGE TAXIDIS	Heritage:	Not Applicable
Property Address:	48 FOURTH ST	Community:	
Legal Description:	PLAN 1478 N PT LOT 29		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To demolish the existing one-storey rear addition and to construct one and two-storey rear additions and an attached rear garage with a dwelling unit above.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10(23)(B)(ii), By-law 569-2013 and Section 350-31(C)(2)**
The minimum required lot frontage for a duplex is 15 m.
The lot has a frontage of 12.5 m.
- Section 900.6.10(23)(A)(iii), By-law 569-2013 and Section 350-31(C)(1)**
The minimum required lot area for a duplex is 557 m².
The lot has an area of 468.7 m².
- Section 900.6.10(23)(D)(i), By-law 569-2013 and Section 350-31(C)(4)**
The minimum required side yard setback for a duplex is 1.2 m.
The altered dwelling will be located 0.5 m from the north side lot line.
- Section 350-31(C)(6)**
The minimum required rear yard setback is 9.37 m.
The altered dwelling will be located 3 m from the rear lot line.
- Section 350-26(A)(4)**
The minimum required access space in front of a parking space is 6 m.
The access leading to the garage will be 5.5 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0181/17EYK	Zoning	RM & R2
Owner:	GARY EHASOO ANNA WILKINSON	Ward:	Etobicoke-Lakeshore (06)
Agent:	GEORGE TAXIDIS	Heritage:	Not Applicable
Property Address:	48 FOURTH ST	Community:	
Legal Description:	PLAN 1478 N PT LOT 29		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION CONSENT (Section 53 of the Planning Act)

File Number:	B0089/16EYK	Zoning	RD & R2
Owner(s):	BERNARD CASSAR	Ward:	Etobicoke-Lakeshore (06)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	369 MELROSE ST	Community:	
Legal Description:	PLAN 1007 LOT 36		

Notice was given and the application considered on Thursday, April 6, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 2

Address to be assigned

The lot frontage is 7.62 m and the lot area is 290.3 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0986/16EYK.

Conveyed - Part 1

Address to be assigned

The lot frontage is 7.62 m and the lot area is 290.3 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0985/16EYK.

File Numbers B0089/16EYK, A0985/16EYK AND A0986/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0089/16EYK	Zoning	RD & R2
Owner(s):	BERNARD CASSAR	Ward:	Etobicoke-Lakeshore (06)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	369 MELROSE ST	Community:	
Legal Description:	PLAN 1007 LOT 36		

Allan Smithies (signed)

Dominic Gulli (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, May 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0985/16EYK	Zoning:	RD & R2
Owner(s):	BERNARD CASSAR	Ward:	Etobicoke-Lakeshore (06)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	369 MELROSE ST – PART 1	Community:	
Legal Description:	PLAN 1007 LOT 36		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.20(1)(A), By-law 569-2013 and Section 320-59.A.(1)**
The minimum required lot frontage is 13.5 m.
The proposed lot frontage is 7.62 m.
- 2. Section 10.20.30.10.(1)(A), By-law 569-2013 and Section 320-59.B.(1)**
The minimum required lot area is 510 m².
The new lot area will be 290.3 m².
- 3. Section 10.20.30.40(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (95.8 m²).
Section 10.20.30.40(1)(A), By-law 569-2013
The lot coverage will be 41.25% of the lot area (119.74 m²).
Section 320-59.C.
The lot coverage will be 36.82% of the lot area (106.89 m²).
- 4. Section 10.20.40.40(1)(A), By-law 569-2013 and Section 320-42.1.A.(2)**
The maximum permitted floor space index is 0.45 times the lot area (130.64 m²).
The proposed dwelling will have a floor space index of 0.72 times the lot area (207.49 m²)
- 5. Section 10.5.40.10(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the main front wall.
A proposed 3.1 m² of the first floor is within 2.04 m of the main front wall.

6. **Section 10.20.40.70(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9 m and the aggregate width of both side yards shall not equal less than 2.1 m.
Section 10.20.40.70(3)(C), By-law 569-2013 and Section 320-42.1.C.(1)
The new dwelling will be located 0.6 m from the east side lot line and 0.9 m from the west side lot line and will a total aggregate side yard width of 1.5 m.
7. **Section 10.20.40.10(6), By-law 569-2013**
The maximum permitted finished first floor height is 1.2 m.
The proposed finished first floor height is 1.49 m.
8. **Section 320-42.1.D.(1)**
The maximum permitted dwelling depth is 16.5 m.
The proposed dwelling will have a depth of 16.91 m.
9. **Section 10.20.40.10(2)(A), By-law 569-2013**
The maximum permitted height of the exterior portion of the main walls is 7 m.
The exterior main walls of the proposed dwelling will be 8.06 m in height.
10. **Section 10.5.40.60(7)(B), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 320-41.D
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D
The eaves/roof projection of the proposed dwelling will be located 0.2 m to the property line from the east side.
11. **Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The proposed dwelling will have a soffit height of 8.06 m.

File Numbers B0089/16EYK, A0985/16EYK AND A0986/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0089/16EYK**.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Engineering and Construction Services and Transportation Services, at no cost to the City;
 - a. Insert a note on the site plan stating that, "The proposed new driveways shall be constructed to the applicable City of Toronto Design Standards"; and
 - b. Update the note on the site plan to say "All existing curb cuts which are no longer required must be restored in accordance with applicable City standards and requirements at no cost to the municipality"; and
 - c. The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)."

SIGNATURE PAGE

File Number:	A0985/16EYK	Zoning	RD & R2
Owner:	BERNARD CASSAR	Ward:	Etobicoke-Lakeshore (06)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	369 MELROSE ST – PART 1	Community:	
Legal Description:	PLAN 1007 LOT 36		

Allan Smithies (signed)

Dominic Gulli (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0986/16EYK	Zoning	RD & R2
Owner(s):	BERNARD CASSAR	Ward:	Etobicoke-Lakeshore (06)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	369 MELROSE ST – PART 2	Community:	
Legal Description:	PLAN 1007 LOT 36		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20(1)(A), By-law 569-2013 and Section 320-59.A.(1)**
The minimum required lot frontage is 13.5 m.
The proposed lot frontage is 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013 and Section 320-59.B.(1)**
The minimum required lot area is 510 m².
The new lot area will be 290.3 m².
- Section 10.20.30.40(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (95.8 m²).
Section 10.20.30.40(1)(A), By-law 569-2013
The lot coverage will be 41.25% of the lot area (119.74 m²).
Section 320-59.C.
The lot coverage will be 36.82% of the lot area (106.89 m²).
- Section 10.20.40.40(1)(A), By-law 569-2013 and Section 320-42.1.A.(2)**
The maximum permitted floor space index is 0.45 times the lot area (130.64 m²).
The proposed dwelling will have a floor space index of 0.71 times the lot area (206.44 m²).
- Section 10.5.40.10(5), By-law 569-2013**
A minimum of 10 m² of the first floor must be within 4 m of the main front wall.
A proposed 3.1 m² of the first floor is within 2.04 m of the main front wall.

6. **Section 10.20.40.70(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9 m and the aggregate width of both side yards shall not equal less than 2.1 m.
Section 10.20.40.70(3)(C), By-law 569-2013 and Section 320-42.1.C.(1)
The new dwelling will be located 0.9 m from the east side lot line and 0.6 m from the west side lot line and will a total aggregate side yard width of 1.5 m.
7. **Section 10.20.40.10(6), By-law 569-2013**
The maximum permitted finished first floor height is 1.2 m.
The proposed finished first floor height is 1.49 m.
8. **Section 320-42.1.D.(1)**
The maximum permitted dwelling depth is 16.5 m.
The proposed dwelling will have a depth of 16.91 m.
9. **Section 10.20.40.10(2)(A), By-law 569-2013**
The maximum permitted height of the exterior portion of the main walls is 7 m.
The exterior main walls of the proposed dwelling will be 8.06 m in height.
10. **Section 10.5.40.60(7)(B), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 320-41.D
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D
The eaves/roof projection of the proposed dwelling will be located 0.2 m to the property line from the west side.
11. **Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The proposed dwelling will have a soffit height of 8.06 m.

File Numbers B0089/16EYK, A0985/16EYK AND A0986/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0089/16EYK**.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Engineering and Construction Services and Transportation Services, at no cost to the City;
 - a. Insert a note on the site plan stating that, "The proposed new driveways shall be constructed to the applicable City of Toronto Design Standards"; and
 - b. Update the note on the site plan to say "All existing curb cuts which are no longer required must be restored in accordance with applicable City standards and requirements at no cost to the municipality"; and
 - c. The site plan must be revised to include a notation on the drawing stating: "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)."

SIGNATURE PAGE

File Number:	A0986/16EYK	Zoning	RD & R2
Owner:	BERNARD CASSAR	Ward:	Etobicoke-Lakeshore (06)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	369 MELROSE ST – PART 2	Community:	
Legal Description:	PLAN 1007 LOT 36		

Allan Smithies (signed)

Dominic Gulli (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION CONSENT (Section 53 of the Planning Act)

File Number:	B0003/17EYK	Zoning	RD & RS
Owner(s):	HUI GUAN TAHA AZIZ	Ward:	Etobicoke-Lakeshore (06)
Agent:	VANESSA MANNO	Heritage:	Not Applicable
Property Address:	50 LABURNHAM AVE	Community:	
Legal Description:	PLAN 1571 LOT 235		

Notice was given and the application considered on Thursday, April 6, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 1

Address to be assigned

The lot frontage is 7.62 m and the lot area is 290.3 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0013/17EYK.

Conveyed - Part 2

Address to be assigned

The lot frontage is 7.62 m and the lot area is 290.3 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0014/17EYK.

File numbers B0003/17EYK, A0013/17EYK and A0014/17EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0003/17EYK	Zoning	RD & RS
Owner(s):	HUI GUAN TAHA AZIZ	Ward:	Etobicoke-Lakeshore (06)
Agent:	VANESSA MANNO	Heritage:	Not Applicable
Property Address:	50 LABURNHAM AVE	Community:	
Legal Description:	PLAN 1571 LOT 235		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, May 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0013/17EYK	Zoning:	RD & RS
Owner(s):	HUI GUAN TAHA AZIZ	Ward:	Etobicoke-Lakeshore (06)
Agent:	VANESSA MANNO	Heritage:	Not Applicable
Property Address:	50 LABURNHAM AVE – PART 1	Community:	
Legal Description:	PLAN 1571 LOT 235		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 & Section 330-23.A.(2)**
The minimum, required lot frontage is 12 m.
The lot frontage will be 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 370 m².
Section 330-23.A.(1)
The minimum required lot area is 371 m².
Section 10.20.30.10.(1)(A), By-law 569-2013 & Section 330-23.A.(1)
The lot area will be 290.3 m².
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 330-23.A.(9)**
The maximum permitted floor space index is 0.35 times the lot area (101.6 m²).
The proposed dwelling will have a floor space index of 0.63 times the lot area (182.6 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 330-23.A.(7)
The minimum required side yard setback is 0.9 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 330-23.A.(7)
The proposed dwelling will be located 0.62 m from the west side lot line.
- Section 330-13.A.(2)**
The minimum required eaves side yard setback is 0.5 m.
The eaves of the proposed dwelling will be located 0.3 m from the west side lot line.

6. **Section 10.20.40.20.(1), By-law 569-2013**
The minimum required building length is 17 m.
The proposed dwelling will have a length of 18.1 m.
7. **Section 200.5.1.10(2)(C), By-law 569-2013 & Section 330-9.A.(1)**
The minimum required parking space width is 3.2 m.
The proposed parking space , within the proposed garage will have a width of 3.05 m.

File numbers B0003/17EYK, A0013/17EYK and A0014/17EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0003/17EYK**.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
4. The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - a. Illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b. Illustrate proposed grades to demonstrate proposed grades match existing grades; and,
 - c. Illustrated existing structures (i.e. house, driveway, garage, etc.) to be demolished; and,
 - d. Clearly identify the portions of the proposed driveways within the Laburnham Avenue right-of-way, including any proposed curb cuts other features within the boulevard; and,
 - e. The floor plans must be revised to illustrate a minimum 3.2 metre width for the proposed internal garage spaces for both proposed dwellings; and,

- f. Include a notation on the drawing stating: "The proposed new driveways shall be constructed to the applicable City of Toronto Design Standards"; and,
- g. Include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard; and,
- h. Include a notation on the drawing stating: "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)".

SIGNATURE PAGE

File Number:	A0013/17EYK	Zoning	RD & RS
Owner:	HUI GUAN TAHA AZIZ	Ward:	Etobicoke-Lakeshore (06)
Agent:	VANESSA MANNO	Heritage:	Not Applicable
Property Address:	50 LABURNHAM AVE – PART 1	Community:	
Legal Description:	PLAN 1571 LOT 235		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0014/17EYK	Zoning:	RD & RS
Owner(s):	HUI GUAN TAHA AZIZ	Ward:	Etobicoke-Lakeshore (06)
Agent:	VANESSA MANNO	Heritage:	Not Applicable
Property Address:	50 LABURNHAM AVE – PART 2	Community:	
Legal Description:	PLAN 1571 LOT 235		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 & Section 330-23.A.(2)**
The minimum, required lot frontage is 12 m.
The lot frontage will be 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013**
The minimum required lot area is 370 m².
Section 330-23.A.(1)
The minimum required lot area is 371 m².
Section 10.20.30.10.(1)(A), By-law 569-2013 & Section 330-23.A.(1)
The lot area will be 290.3 m².
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 330-23.A.(9)**
The maximum permitted floor space index is 0.35 times the lot area (101.6 m²).
The proposed dwelling will have a floor space index of 0.63 times the lot area (183.2 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 330-23.A.(7)
The minimum required side yard setback is 0.9 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 330-23.A.(7)
The proposed dwelling will be located 0.62 m from the east side lot line.
- Section 330-13.A.(2)**
The minimum required eaves side yard setback is 0.5 m.
The eaves of the proposed dwelling will be located 0.3 m from the east side lot line.

6. **Section 10.20.40.20.(1), By-law 569-2013**
The minimum required building length is 17 m.
The proposed dwelling will have a length of 18.1 m.
7. **Section 200.5.1.10(2)(C), By-law 569-2013 & Section 330-9.A.(1)**
The minimum required parking space width is 3.2 m.
The proposed parking space, within the proposed garage will have a width of 3.05 m.

File numbers B0003/17EYK, A0013/17EYK and A0014/17EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0003/17EYK**.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
4. The applicant shall submit one revised site plan (scale of 1:200 or 1:250) illustrating the requirements specified in the following points to the satisfaction of Development Engineering Services and Transportation Services, at no cost to the City;
 - a. Illustrate a positive slope from the roadway to the garage and have a minimum driveway slope of 2% and maximum driveway slope of 8%. Driveway slopes should be identified on all proposed lots; and,
 - b. Illustrate proposed grades to demonstrate proposed grades match existing grades; and,
 - c. Illustrated existing structures (i.e. house, driveway, garage, etc.) to be demolished; and,
 - d. Clearly identify the portions of the proposed driveways within the Laburnham Avenue right-of-way, including any proposed curb cuts other features within the boulevard; and,
 - e. The floor plans must be revised to illustrate a minimum 3.2 metre width for the proposed internal garage spaces for both proposed dwellings; and,

- f. Include a notation on the drawing stating: "The proposed new driveways shall be constructed to the applicable City of Toronto Design Standards"; and,
- g. Include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard; and,
- h. Include a notation on the drawing stating: "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)".

SIGNATURE PAGE

File Number:	A0014/17EYK	Zoning	RD & RS
Owner:	HUI GUAN TAHA AZIZ	Ward:	Etobicoke-Lakeshore (06)
Agent:	VANESSA MANNO	Heritage:	Not Applicable
Property Address:	50 LABURNHAM AVE – PART 2	Community:	
Legal Description:	PLAN 1571 LOT 235		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A535/16EYK	Zoning:	RD & R1
Owner(s):	MICHAEL BIALCZYK JENNIFER HARRIS	Ward:	Etobicoke-Lakeshore (06)
Agent:	ANTHONY PROVENZANO	Heritage:	Not Applicable
Property Address:	90 TENTH ST	Community:	
Legal Description:	PLAN 1592 PT LOT 66		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a three-storey front addition and a second and third storey addition above the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 350-31.F(1)**
The maximum permitted floor space index/gross floor area is 0.4 times the area of the lot (105.25 m²).
The altered dwelling will have a floor space index/gross floor area equal to 0.93 times the area of the lot (245.76 m²).
- Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 350-31.K**
The minimum required front yard setback is 6.09 m.
The altered dwelling will be located 3.37 m from the front lot line.
- Section 10.20.40.70.(3)(B), By-law 569-2013**
The minimum required side yard setback is 0.9 m.
Section 350-31.A(4)
The minimum required side yard setback is 0.6 m.
Section 10.20.40.70.(3)(B), By-law 569-2013 and Section 350-31.A(4)
The altered dwelling will be located 0.48 m from the north side lot line.
- Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 350-13.B
The minimum required side yard setback for eaves is 0.5 m.
Section 10.5.40.60.(7), By-law 569-2013 and Section 350-13.B
The eaves of the altered dwelling will be located 0.07 m from the north side lot line.
- Section 10.20.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.
The altered dwelling will have a side exterior main wall height of 8.56 m facing a side lot line.

6. Section 350-30.9.(A)

A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping.

A total of 66% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (13.3 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A535/16EYK	Zoning	RD & R1
Owner:	MICHAEL BIALCZYK JENNIFER HARRIS	Ward:	Etobicoke-Lakeshore (06)
Agent:	ANTHONY PROVENZANO	Heritage:	Not Applicable
Property Address:	90 TENTH ST	Community:	
Legal Description:	PLAN 1592 PT LOT 66		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0565/16EYK	Zoning:	RD & R2
Owner(s):	TARA GENEVIEVE MEGAN MCCUE WILLIAM DYLAN MCCUE	Ward:	Etobicoke-Lakeshore (05)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	3 TENBY ST	Community:	
Legal Description:	PLAN M141 PT LOT 62		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 33% of the lot area (127.4 m²).
The altered dwelling will have a lot coverage of 38% of the lot area (146.6 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 320-42.1(A)(1)**
The maximum permitted floor space index/ gross floor area is 0.45 times the lot area (173.7 m²).
The altered dwelling will have a floor space index/ gross floor area of 0.52 times the lot area (199.3 m²).
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 17.22 m.
- Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19 m.
Section 320-42.1(D)(1)
The maximum permitted building depth is 16.5 m.
Section 10.20.40.30.(1), By-law 569-2013 & Section 320-42.1(D)(1)
The altered dwelling will have a depth of 19.94 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0565/16EYK	Zoning	RD & R2
Owner:	TARA GENEVIEVE MEGAN MCCUE WILLIAM DYLAN MCCUE	Ward:	Etobicoke-Lakeshore (05)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	3 TENBY ST	Community:	
Legal Description:	PLAN M141 PT LOT 62		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0060/16EYK	Zoning	RM & R2A
Owner(s):	BDF HOLDINGS CORP	Ward:	Etobicoke-Lakeshore (06)
Agent:	ELDON THEODORE	Heritage:	Not Applicable
Property Address:	66 VICTOR AVE	Community:	
Legal Description:	PLAN M77 LOT 229		

Notice was given and the application considered on Thursday, April 6, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 1

Address to be assigned

The lot frontage is 7.62 m and the lot area is 307.3 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0688/16EYK.

Conveyed - Part 2

Address to be assigned

The lot frontage is 7.62 m and the lot area is 307.3 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0689/16EYK.

File numbers B0060/16EYK, A0688/16EYK and A0689/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of Survey and Mapping Services, Engineering Services, Engineering and Construction Services. Contact: John Fligg @ (416) 338-5031 or Elizabeth Machynia @ (416) 338-5029.
3. The applicant shall satisfy all conditions concerning City/Private owned trees, to the satisfaction of Urban Forestry Services.
4. Where no street trees exist, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting each new lot created, to the satisfaction of Urban Forestry Services.
5. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
6. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0060/16EYK	Zoning	RM & R2A
Owner(s):	BDF HOLDINGS CORP	Ward:	Etobicoke-Lakeshore (06)
Agent:	ELDON THEODORE	Heritage:	Not Applicable
Property Address:	66 VICTOR AVE	Community:	
Legal Description:	PLAN M77 LOT 229		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Tuesday, May 2, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0688/16EYK	Zoning	RM & R2A
Owner(s):	BDF HOLDINGS CORP	Ward:	Etobicoke-Lakeshore (06)
Agent:	ELDON THEODORE	Heritage:	Not Applicable
Property Address:	66 VICTOR AVE – PART 1	Community:	
Legal Description:	PLAN M77 LOT 229		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10 (479)(B)(i), By-law 569-2013 & Section 340-30.A.(2)**
The minimum required lot frontage is 10.5 m.
The lot frontage will be 7.62 m.
- Section 900.6.10 (479)(A)(i), By-law 569-2013 & Section 340-30.A.(1)**
The minimum required lot area is 325 m².
The lot area will be 307.3 m².
- Section 10.80.40.40.(1), By-law 569-2013 & Section 340-30.L.**
The maximum permitted floor space index is 0.6 times the lot area (184.35 m²).
The proposed dwelling will have a floor space index of 0.78 times the lot area (240.2 m²).
- Section 900.6.10 (479)(D), By-law 569-2013 & Section 340-30.A.(4)**
The minimum required side yard setback is 0.9 m.
The proposed dwelling will be located 0.6 m from the north and south side lot lines.
- Section 10.80.40.50.(1), By-law 569-2016**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed platform at or above the second storey will be 13.5 m².

File numbers B0060/16EYK, A0688/16EYK and A0689/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0060/16EYK**.
2. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.
3. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
4. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
5. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on January 25, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0688/16EYK	Zoning	RM & R2A
Owner:	BDF HOLDINGS CORP	Ward:	Etobicoke-Lakeshore (06)
Agent:	ELDON THEODORE	Heritage:	Not Applicable
Property Address:	66 VICTOR AVE – PART 1	Community:	
Legal Description:	PLAN M77 LOT 229		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

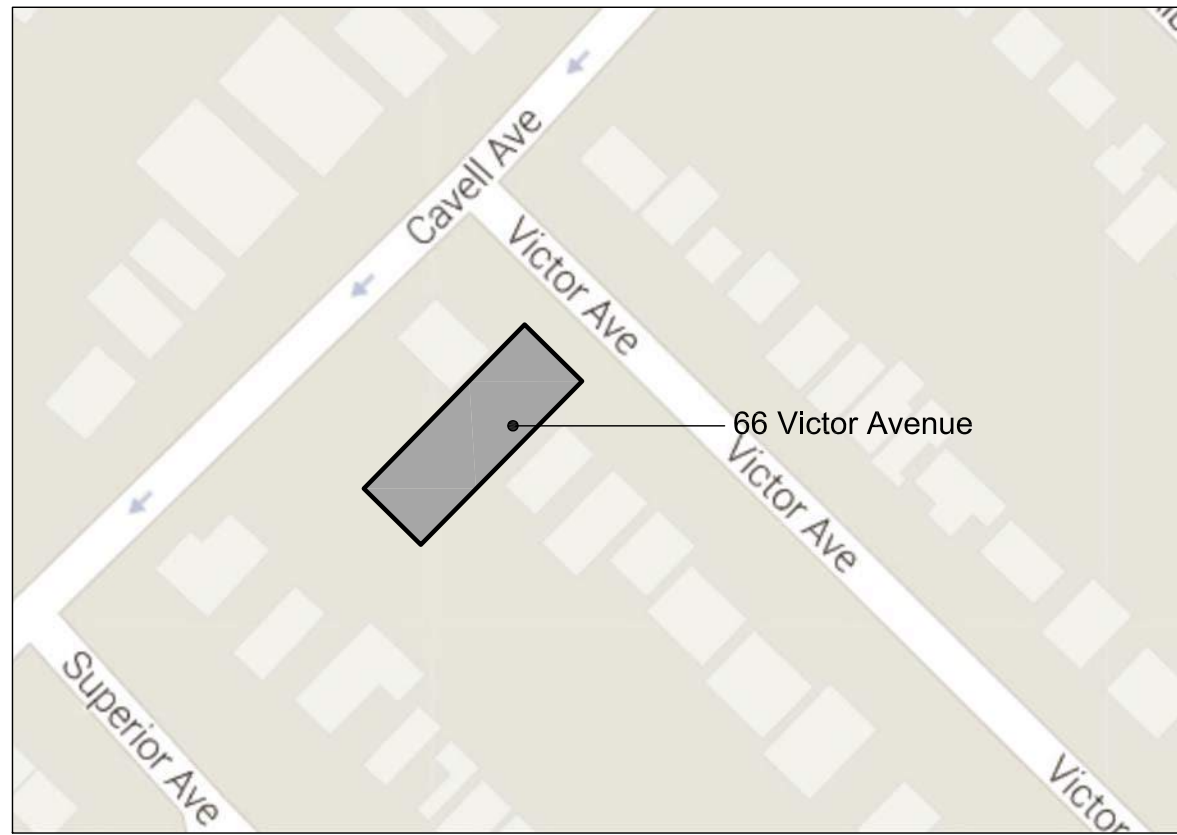
DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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LOT AND PLAN :
 LOT 229
 REGISTERED PLAN M-77
 City of Toronto (Formerly City of Etobicoke)

TOTAL SITE AREA:
 614.51 sq.m
 Avanti Surveying Inc.
 310 North Queen St. (Unit 102)
 Toronto, Ont. M9C 5K4

LOT A SITE AREA:
 307.25 sq.m

LOT B SITE AREA:
 307.25 sq.m

ZONING:
 RM (u2; d0.6) (x479)
 MAX. PERMITTED COVERAGE IS 60% OF SITE AREA
 (0.60 X 307.25 sq.m = 184.35 sq. m)

BUILDING AREA	PROPOSED
BASEMENT (not included in GFA)	77.5 sq m
GROUND FLOOR	75.8 sq m
SECOND FLOOR	98.7 sq m
THIRD FLOOR	65.7 sq m
TOTAL GFA	240.2 sq m
COVERAGE (DENSITY)	0.78

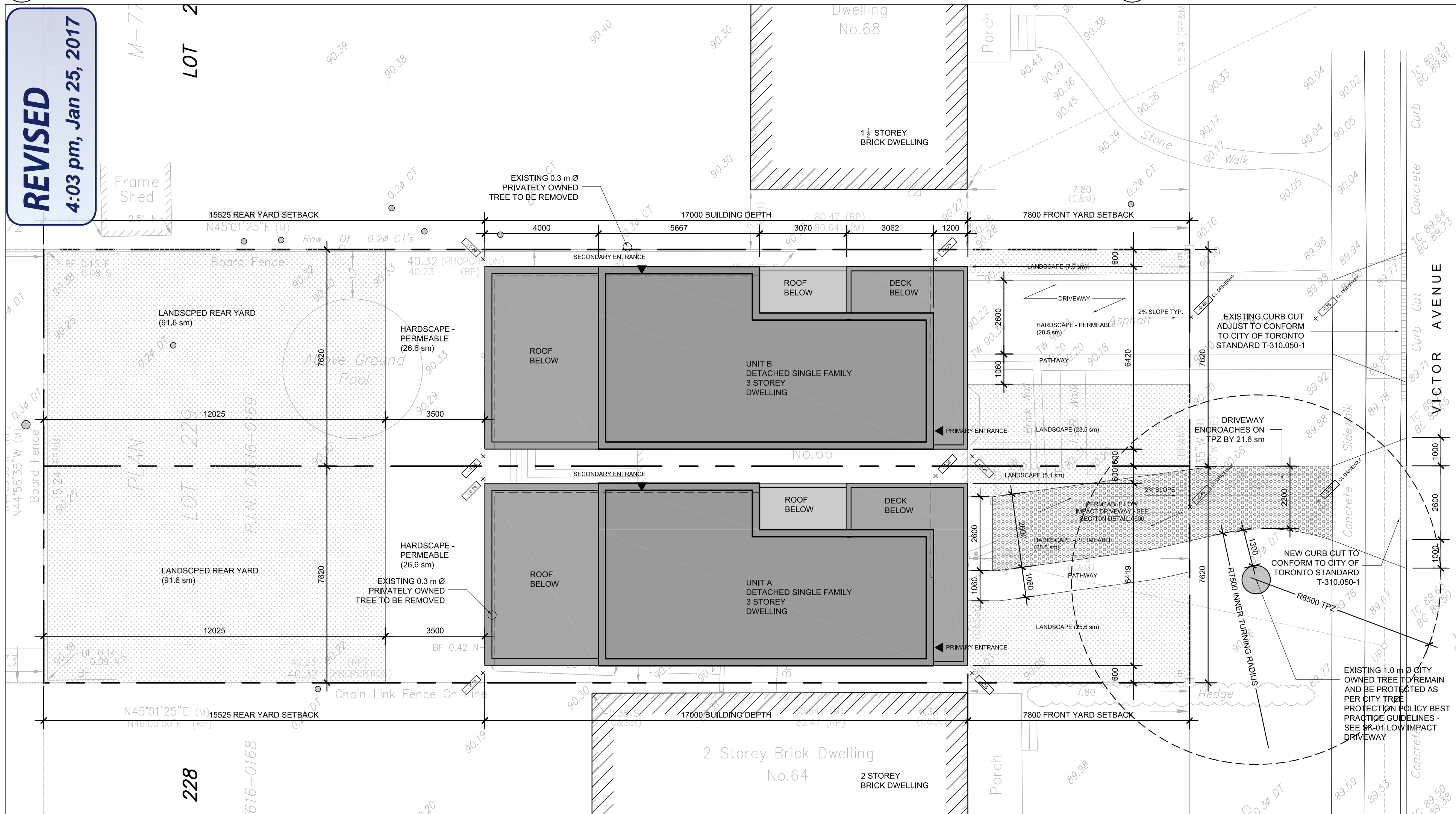
SETBACKS	PERMITTED AS PER ZONING BY-LAW	PROPOSED
FRONT YARD	6.0 m	7.8 m
REAR YARD	7.5 m	15.5 m
WEST SIDE YARD	0.45 m	0.60 m
EAST SIDE YARD	0.45 m	0.60 m
BUILDING DEPTH	17 m	17.0 m
BUILDING HEIGHT	9.5 m	9.5 m
MAINWALL HEIGHT	N/A	N/A

LANDSCAPE	SOFTSCAPE	HARDSCAPE	TOTAL
FRONT YARD	30.7 sm (51%)	28.5 sm (49%)	59.2 sm
REAR YARD	91.6 sm (77%)	26.6 sm (23%)	118.2 sm
TOTAL	122.3 sm (68%)	55.1 sm (32%)	177.4 sm

3 Context
 A100 SCALE: NTS

2 Site Statistics
 A100 SCALE: NTS

REVISED
 4:03 pm, Jan 25, 2017



1 Site Plan
 A100 SCALE: 1:100

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Do not scale this drawing.
 This drawing shall not be used for construction purposes unless signed.

PROFESSIONAL CERTIFICATION

C:\Users\Eric\Documents\VZA logo_Mock.jpg
 28 Day Avenue | Toronto | ON
 M6E 3V8
 416 795 1777

METRIC SCALE DRAWING

no.	Issued / revised	date:
01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016
03	Rev 2 - C of A Deferral	Jan. 16, 2017

66
 Victor Avenue
 Toronto, ON.

1602 1:100 EVZ ES
 PROJECT SCALE DRAWN REVIEWED

Site Plan - Unit A
 A100

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16/10/2016

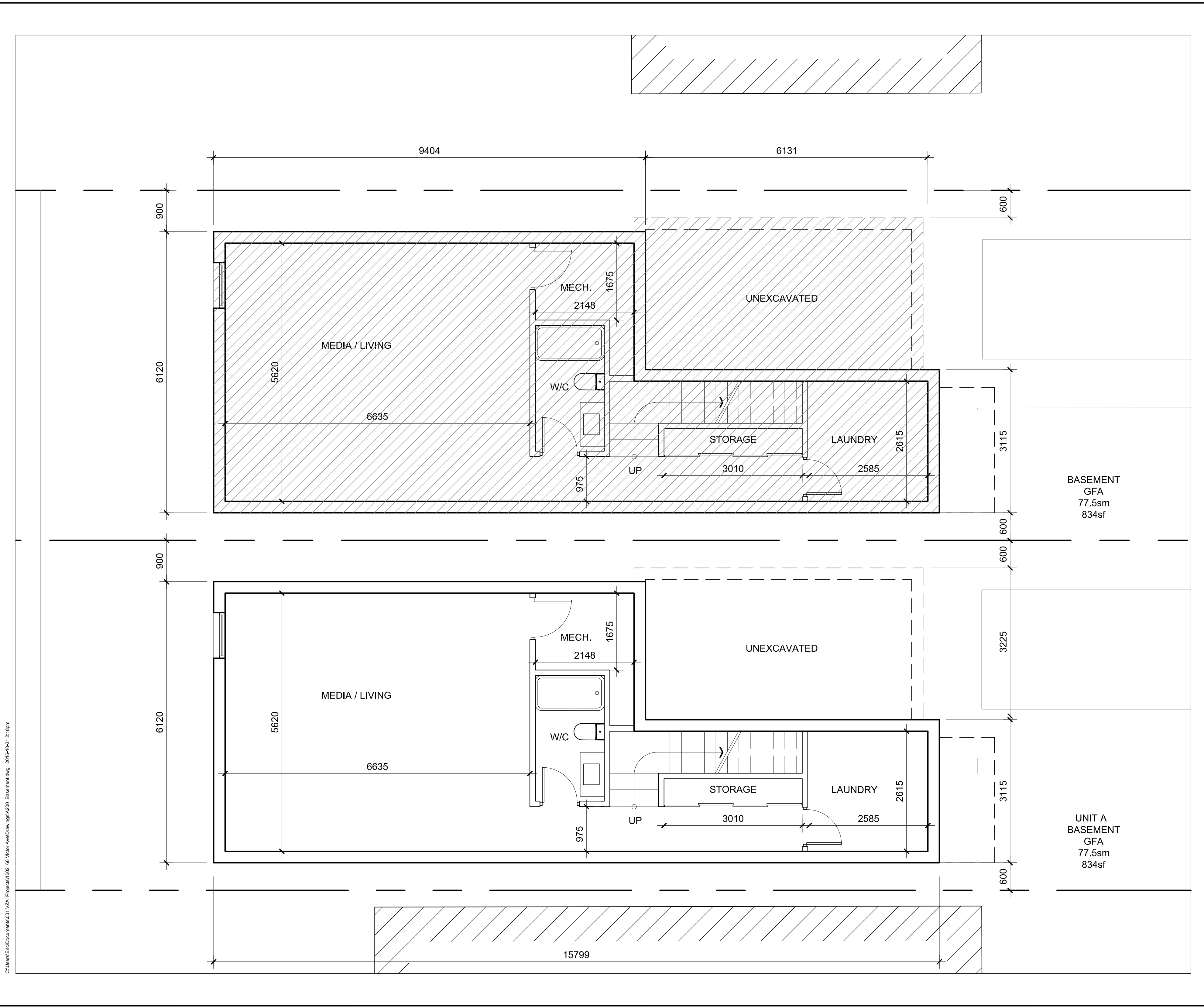
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M6E 3V8
416 795 1777

METRIC SCALE DRAWING

no.	issued / revised	date:
01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016



BASEMENT
GFA
77.5sm
834sf

UNIT A
BASEMENT
GFA
77.5sm
834sf

66
Victor Avenue
Toronto, ON.

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1602 PROJECT 1:50 SCALE EVZ DRAWN ES REVIEWED

Basement Floor Plan
Unit A

A200

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16/10/2016

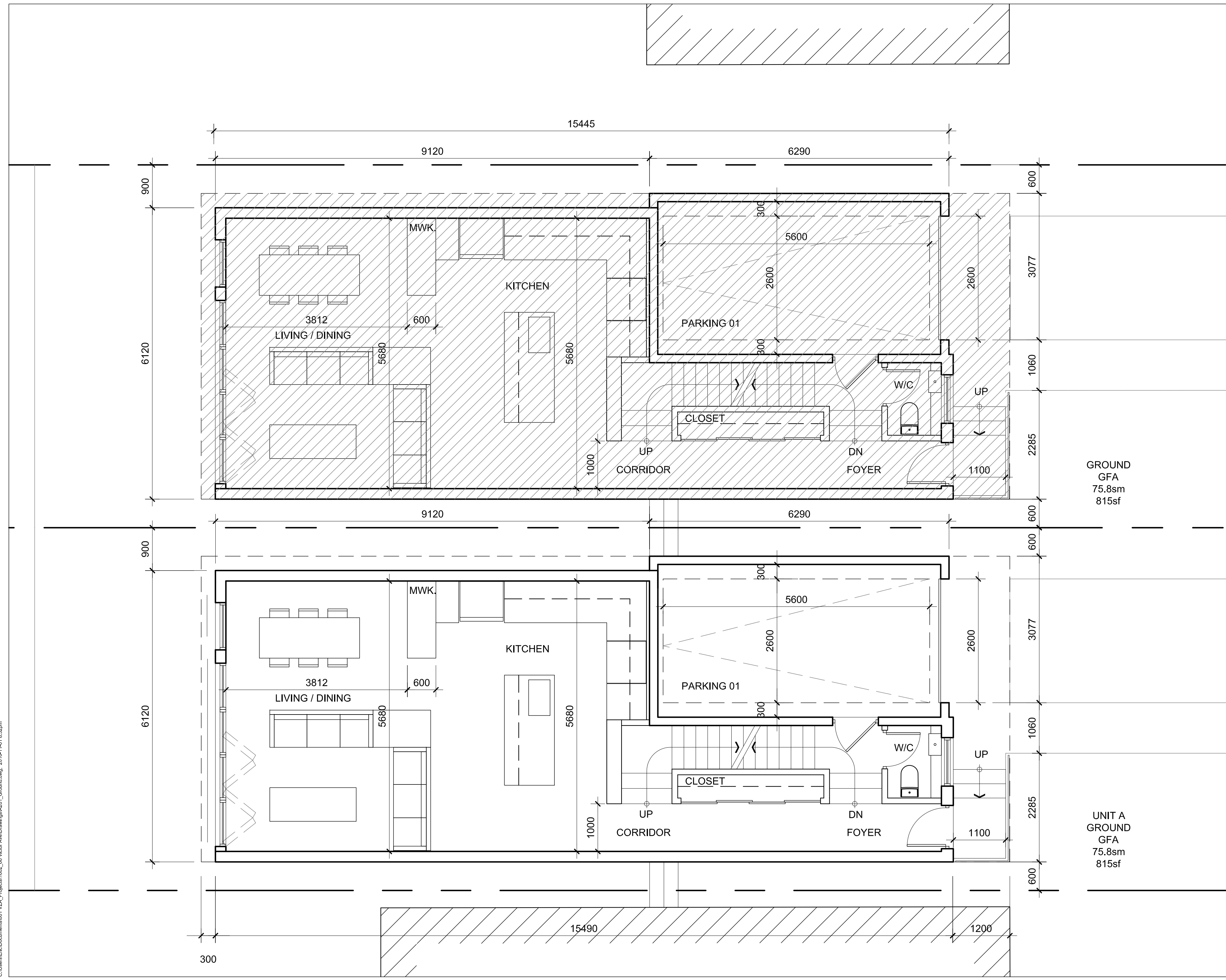
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METRIC SCALE DRAWING

no.	issued / revised	date:
01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016



GROUND
GFA
75.8sm
815sf

UNIT A
GROUND
GFA
75.8sm
815sf

66
Victor Avenue
Toronto, ON.

C:\Users\Erik\Documents\001_VZA_Projects\1602_66 Victor Ave\Drawings\A201_Ground.dwg, 2016-11-01 8:32am

1602	1:50	EVZ	ES
PROJECT	SCALE	DRAWN	REVIEWED
Ground Floor Plan Unit A			
			A201

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16/05/2016

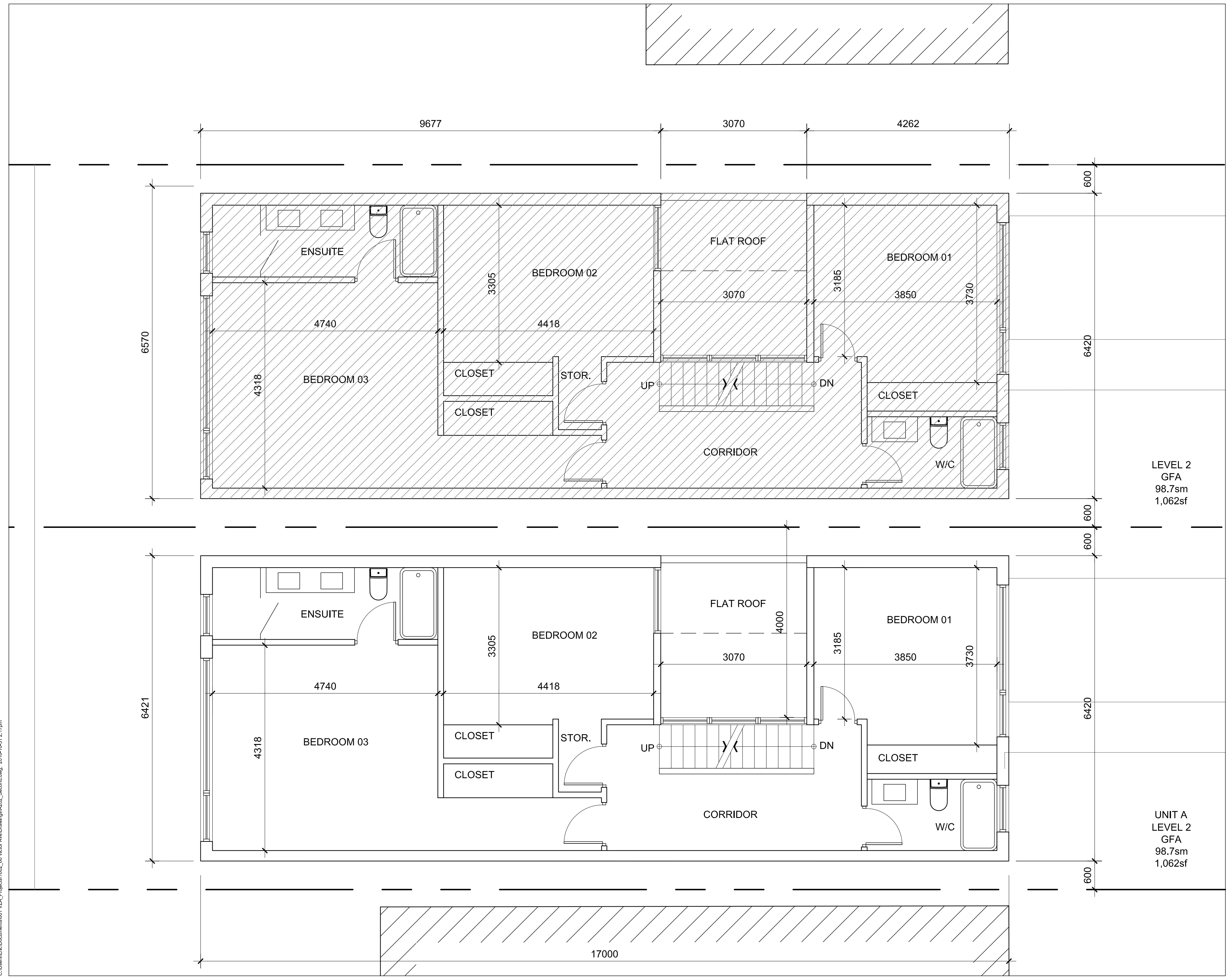
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METRIC SCALE DRAWING

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01	ZC Submission	May 26, 2016
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66
Victor Avenue
Toronto, ON.

1602 PROJECT 1:50 SCALE EVZ DRAWN ES REVIEWED

Level 2 Floor Plan
Unit A

A202

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16/10/2016

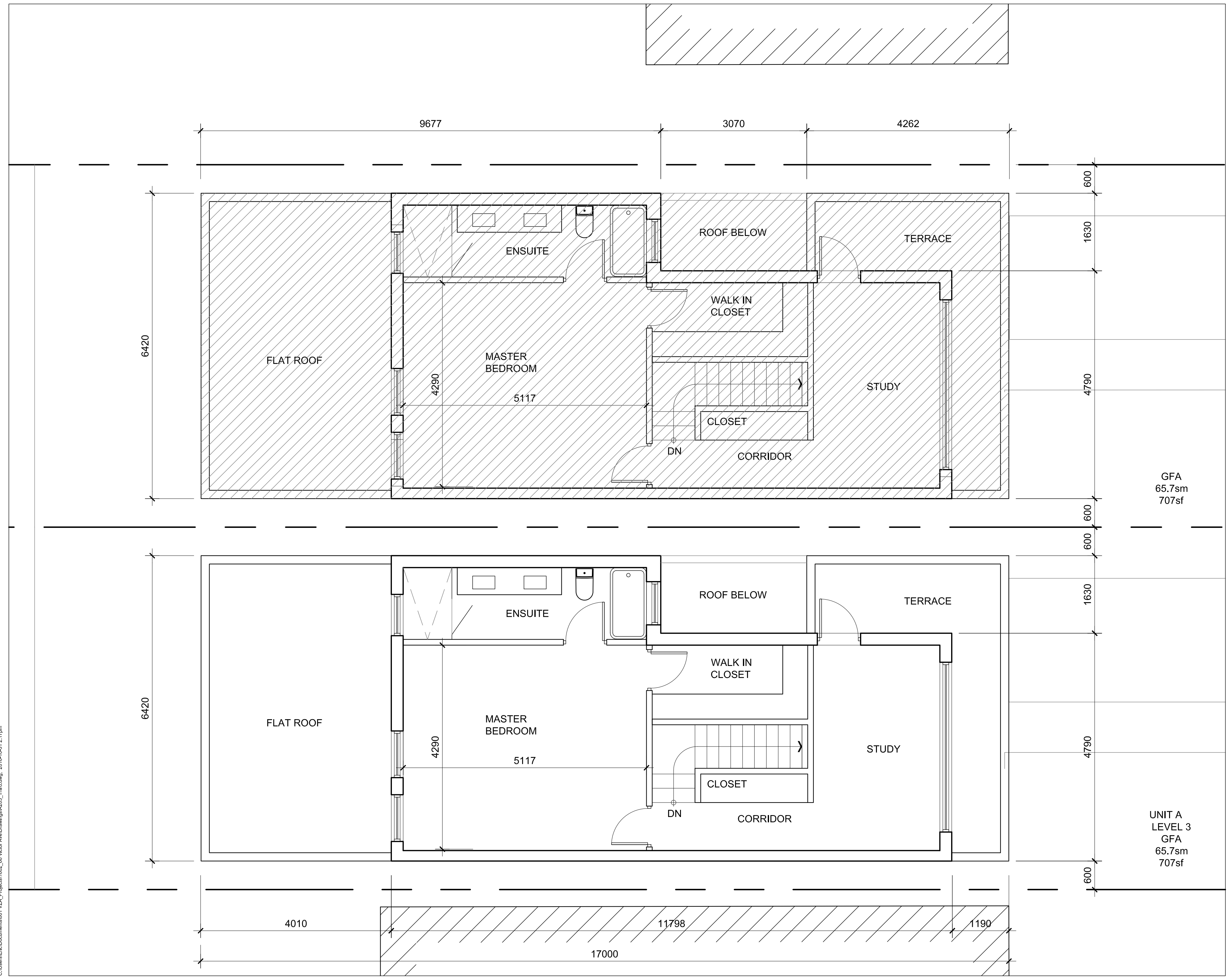
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METRIC SCALE DRAWING

no.	issued / revised	date:
01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016

66 Victor Avenue Toronto, ON.



GFA
65.7sm
707sf

UNIT A
LEVEL 3
GFA
65.7sm
707sf

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1602	1:50	EVZ	ES
PROJECT	SCALE	DRAWN	REVIEWED
Level 3 Floor Plan Unit A			
			A203

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File No: 2016

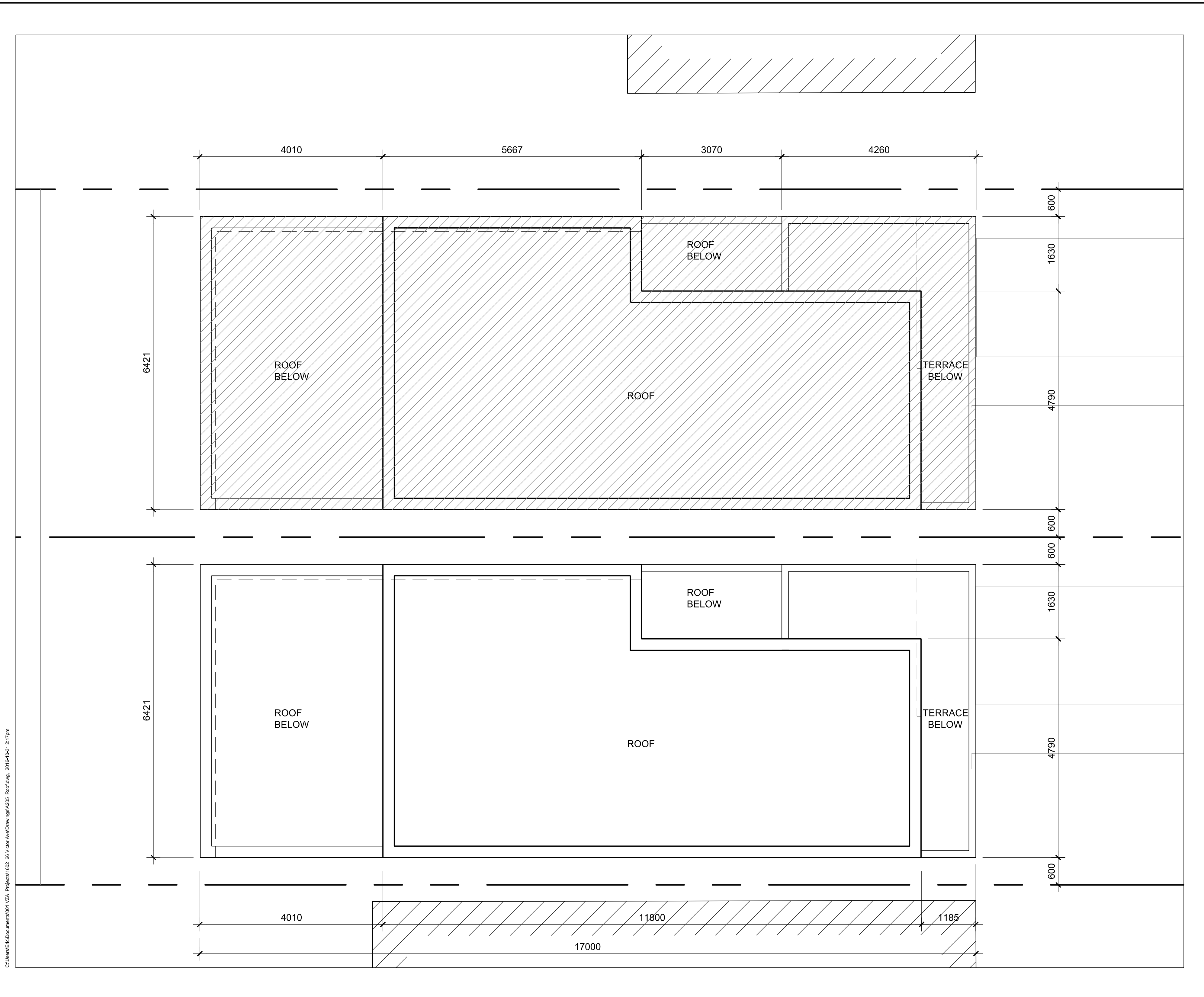
PROFESSIONAL CERTIFICATION

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416 795 1777

METRIC SCALE DRAWING

no.	issued / revised	date:
01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016

66
Victor Avenue
Toronto, ON.



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1602	1:50	EVZ	ES
PROJECT	SCALE	DRAWN	REVIEWED
Roof Plan Unit A			
			A204

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File No: 2016

PROFESSIONAL CERTIFICATION

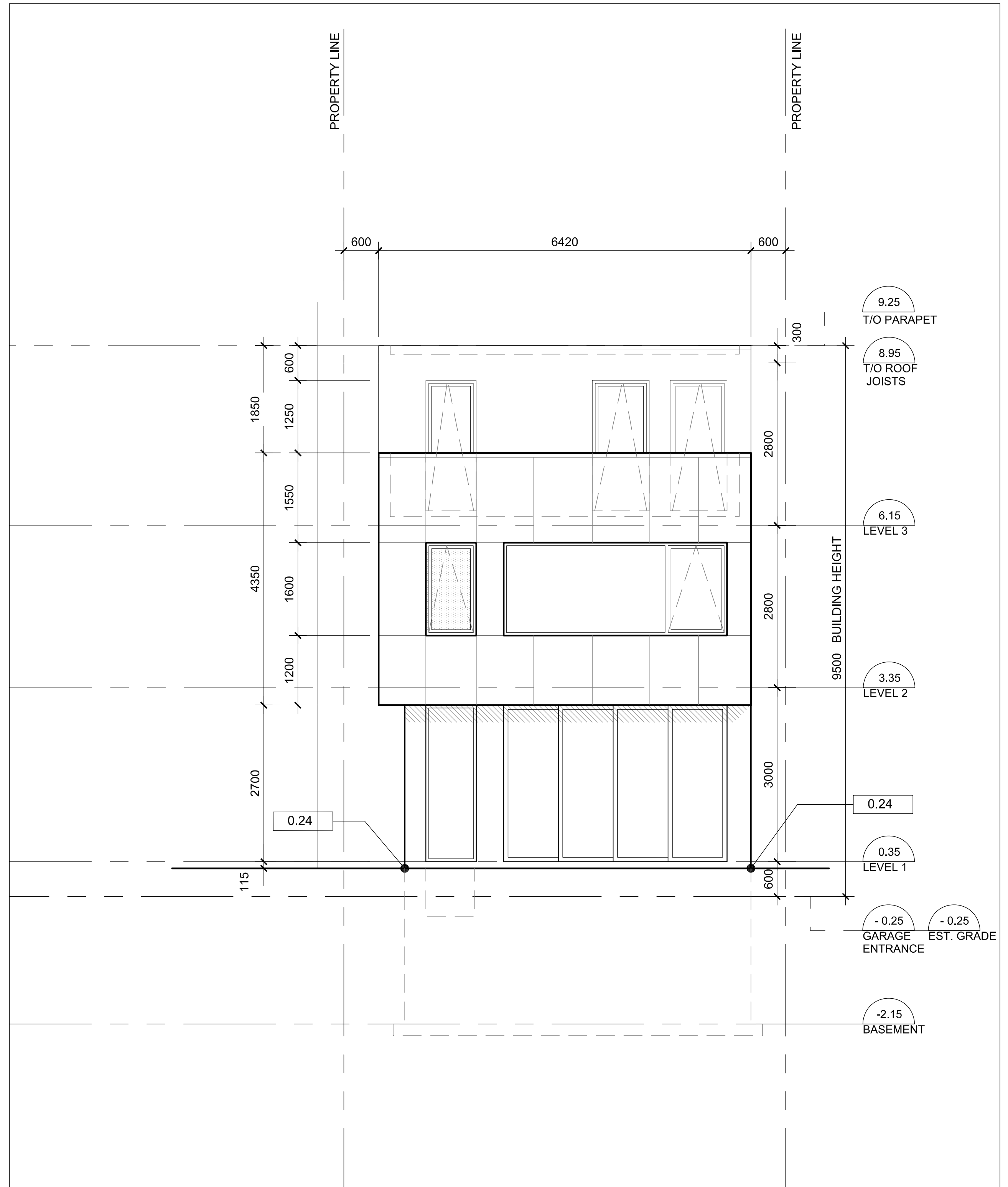
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M6E 3V8
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METRIC SCALE DRAWING

no.	issued / revised	date:
01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016

66
Victor Avenue
Toronto, ON.



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1602	1:50	EVS	ES
PROJECT	SCALE	DRAWN	REVIEWED
West Elevation			
			A401

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16 JUN 2016

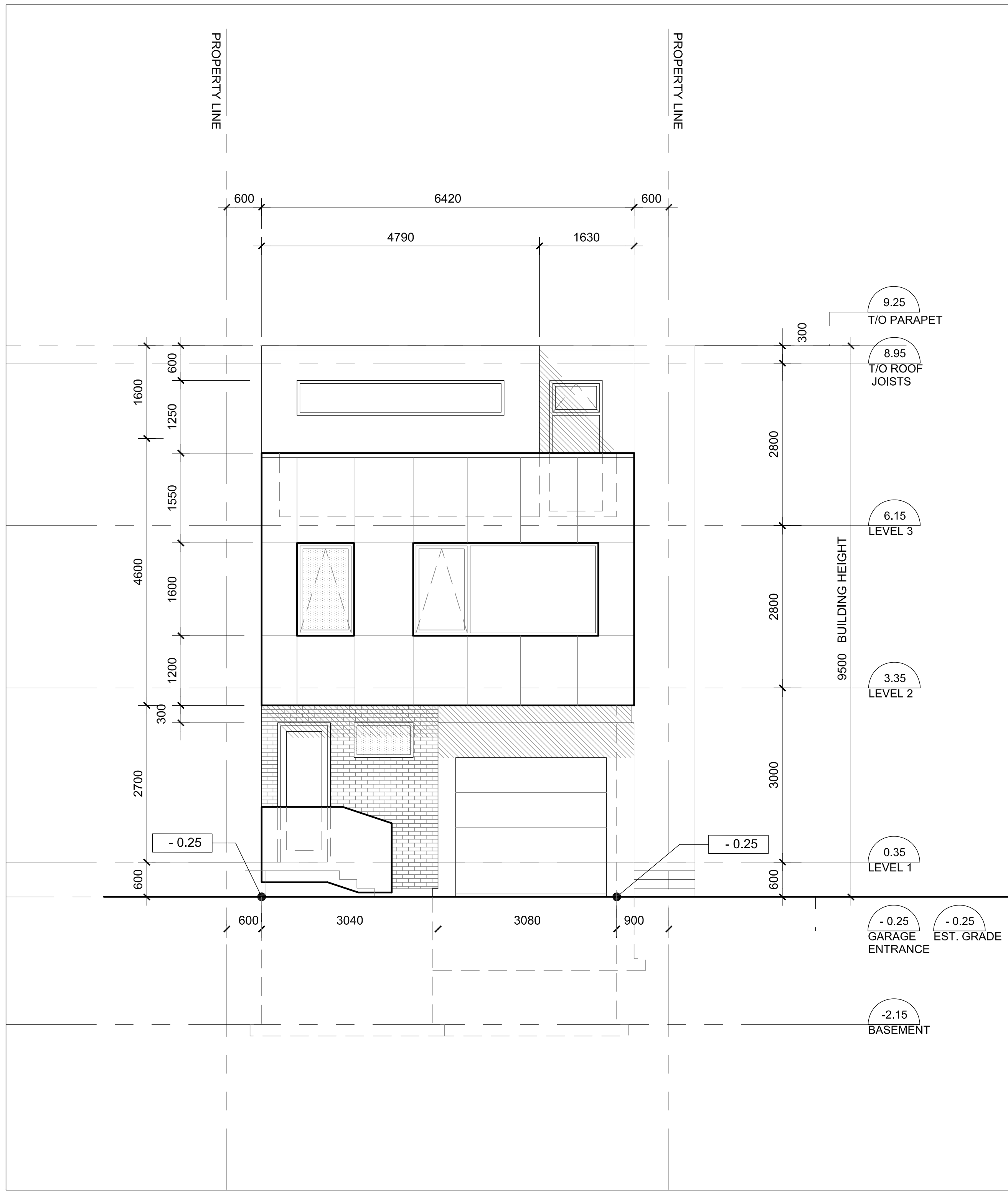
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 28 Day Avenue | Toronto | ON
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 416 795 1777

METRIC SCALE DRAWING

no.	issued / revised	date:
01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016

66
 Victor Avenue
 Toronto, ON.



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1602	1:50	EZ	ES
PROJECT	SCALE	DRAWN	REVIEWED

East Elevation

A400

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File No: 2016

PROFESSIONAL CERTIFICATION

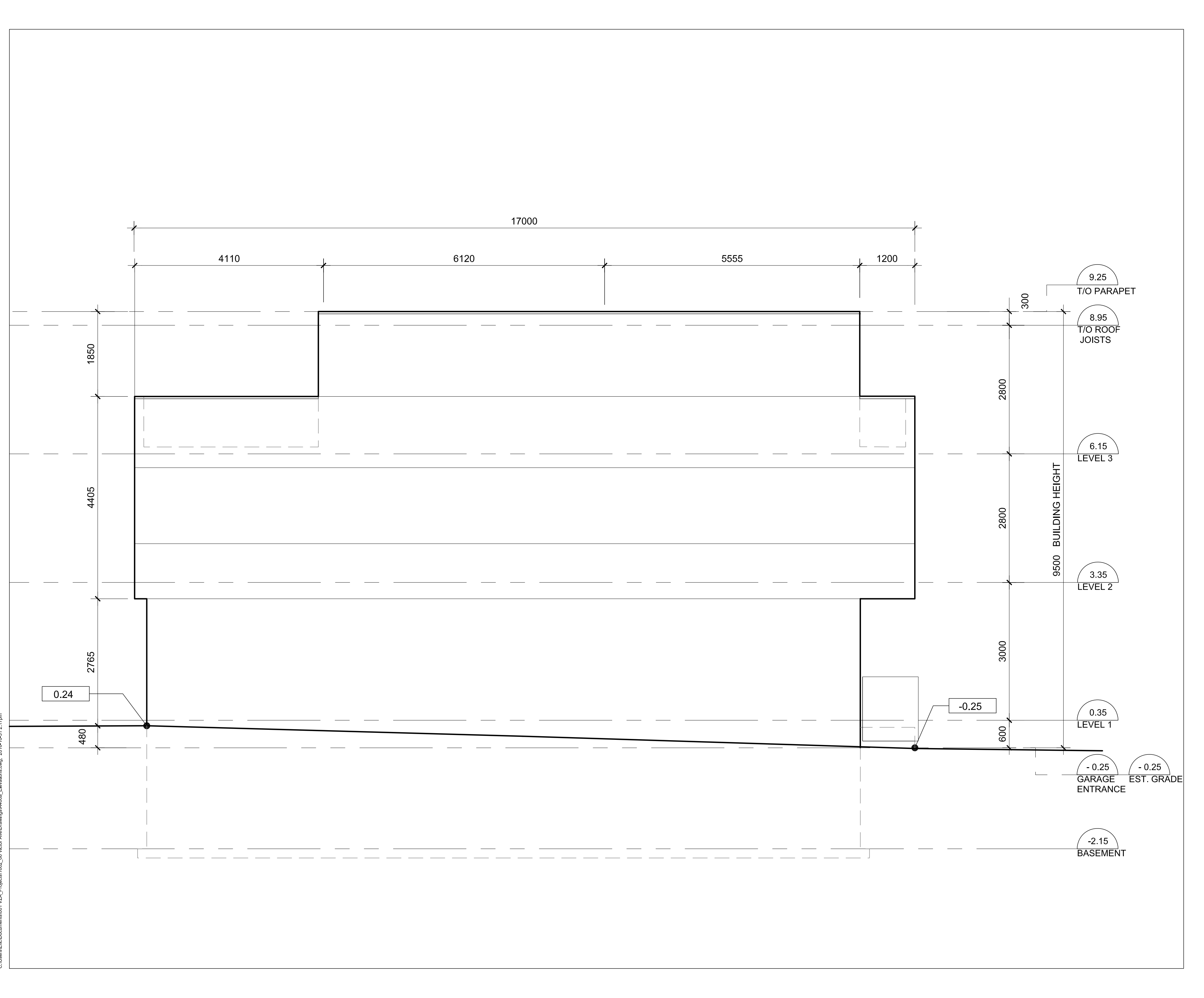
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28 Day Avenue | Toronto | ON
M6E 3V8
416 795 1777

METRIC SCALE DRAWING

no.	issued / revised	date:
01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016

66
Victor Avenue
Toronto, ON.



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1602	1:50	EVS	ES
PROJECT	SCALE	DRAWN	REVIEWED

South Elevation

A402

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File No: 2016

PROFESSIONAL CERTIFICATION

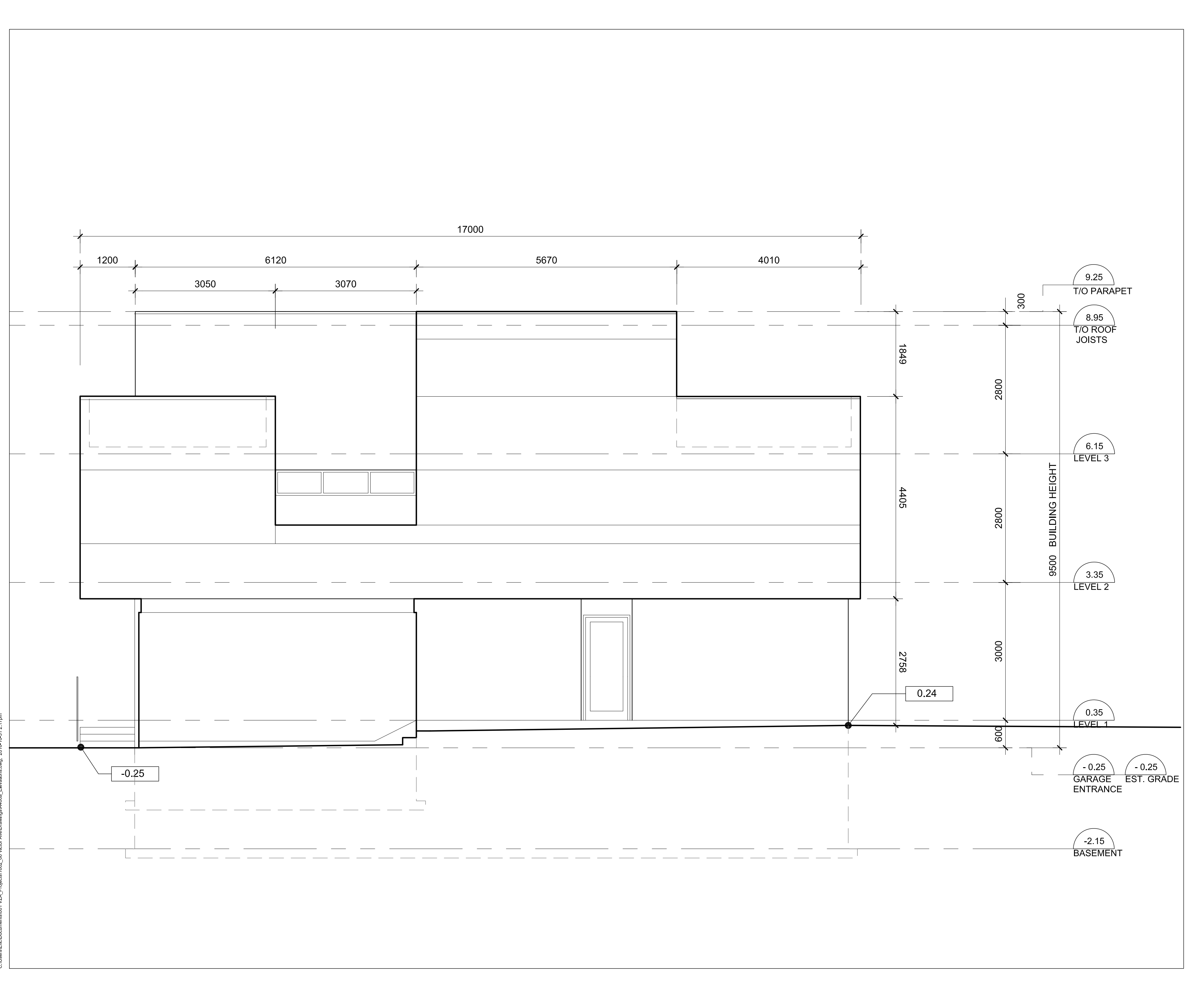
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28 Day Avenue | Toronto | ON
M6E 3V8
416 795 1777

METRIC SCALE DRAWING

no.	issued / revised	date:
01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016

66
Victor Avenue
Toronto, ON.



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1602	1:50	EVZ	ES
PROJECT	SCALE	DRAWN	REVIEWED

North Elevation

A403

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0689/16EYK	Zoning	RM & R2A
Owner(s):	BDF HOLDINGS CORP	Ward:	Etobicoke-Lakeshore (06)
Agent:	ELDON THEODORE	Heritage:	Not Applicable
Property Address:	66 VICTOR AVE – PART 2	Community:	
Legal Description:	PLAN M77 LOT 229		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 900.6.10 (479)(B)(i), By-law 569-2013 & Section 340-30.A.(2)**
The minimum required lot frontage is 10.5 m.
The lot frontage will be 7.62 m.
- 2. Section 900.6.10 (479)(A)(i), By-law 569-2013 & Section 340-30.A.(1)**
The minimum required lot area is 325 m².
The lot area will be 307.3 m².
- 3. Section 10.80.40.40.(1), By-law 569-2013 & Section 340-30.L.**
The maximum permitted floor space index is 0.6 times the lot area (184.35 m²).
The proposed dwelling will have a floor space index of 0.78 times the lot area (240.2 m²).
- 4. Section 900.6.10 (479)(D), By-law 569-2013 & Section 340-30.A.(4)**
The minimum required side yard setback is 0.9 m.
The proposed dwelling will be located 0.6 m from the north and south side lot lines.
- 5. Section 10.80.40.50.(1), By-law 569-2016**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed platform at or above the second storey will be 13.5 m².

File numbers B0060/16EYK, A0688/16EYK and A0689/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall comply with the conditions imposed in the Committee of Adjustment's **Consent Decision Number B0060/16EYK**.
2. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.
3. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
4. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
5. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on January 25, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0689/16EYK	Zoning	RM & R2A
Owner:	BDF HOLDINGS CORP	Ward:	Etobicoke-Lakeshore (06)
Agent:	ELDON THEODORE	Heritage:	Not Applicable
Property Address:	66 VICTOR AVE – PART 2	Community:	
Legal Description:	PLAN M77 LOT 229		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

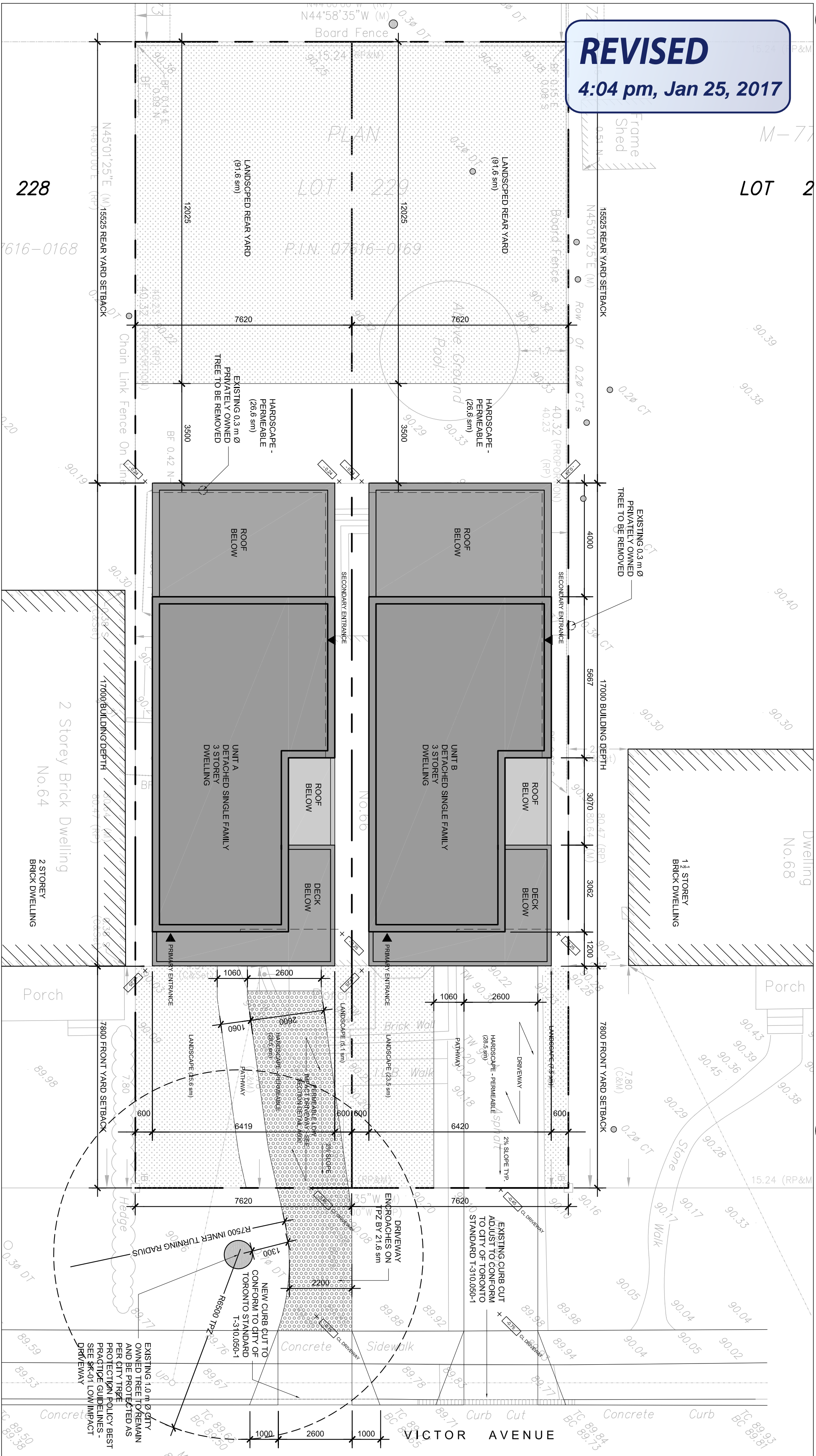
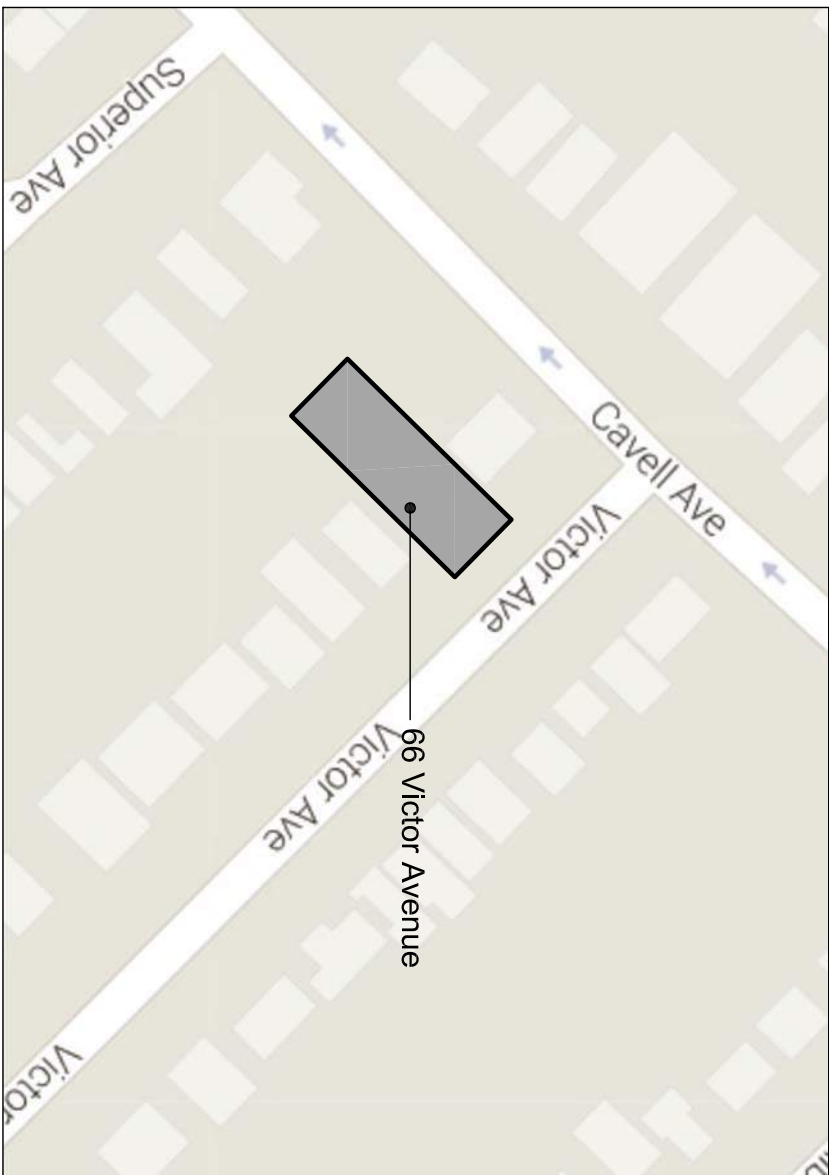
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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

REVISED
4:04 pm, Jan 25, 2017

3 Context
A100 SCALE: NTS



2 Site Statistics
A100 SCALE: NTS

LOT AND PLAN:
LOT 229
REGISTERED PLAN M-77
City of Toronto (Formerly City of Etobicoke)

TOTAL SITE AREA:
614.51 sqm
Avaril Surveying Inc.
310 North Queen St. (Unit 102)
Toronto, Ont. M9C 5K4

BUILDING AREA	PROPOSED
BASEMENT (not included in GFA)	77.5 sq m
GROUND FLOOR	75.8 sq m
SECOND FLOOR	98.7 sq m
THIRD FLOOR	65.7 sq m
TOTAL GFA	240.2 sq m
COVERAGE (DENSITY)	0.78

LOT A SITE AREA:
307.25 sqm

LOT B SITE AREA:
307.25 sqm

ZONING:
RM (U2: d0.6) (x4/79)
MAX. PERMITTED COVERAGE IS 60% OF SITE AREA
(0.60 X 307.25 sqm = 184.35 sq. m)

SETBACKS	PERMITTED AS PER ZONING BY-LAW	PROPOSED
FRONT YARD	6.0 m	7.8 m
REAR YARD	7.5 m	15.5 m
WEST SIDE YARD	0.45 m	0.60 m
EAST SIDE YARD	0.45 m	0.60 m
BUILDING DEPTH	17 m	17.0 m
BUILDING HEIGHT	9.5 m	9.5 m
MAINWALL HEIGHT	N/A	N/A

LANDSCAPE	SOFTSCAPE	HARDSCAPE	TOTAL
FRONT YARD	30.7 sm (51%)	28.5 sm (49%)	59.2 sm
REAR YARD	91.6 sm (77%)	26.6 sm (23%)	118.2 sm
TOTAL	122.3 sm (68%)	55.1 sm (32%)	177.4 sm

1 Site Plan
A100 SCALE: 1:100

1602 1-100 EVZ ES
PROJECT SCALE DRAWN REVIEWED
Site Plan - Unit A

66
Victor Avenue
Toronto, ON.

METRIC SCALE DRAWING

no.	Issued / revised	date:
01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016
03	Rev 2 - C of A Delivered	Jan. 16, 2017

28 Day Avenue | Toronto | ON
M6E 3V8
416 795 1777

PROFESSIONAL CERTIFICATION

The Engineer, Architect, Planner, Surveyor and Designer are the registered professionals of the province of Ontario. The registration number of the professional is shown on the right. The registration number of the professional is shown on the right. The registration number of the professional is shown on the right. The registration number of the professional is shown on the right.

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This drawing, as an instrument of service, is provided by and is the property of Van Zille Architects and shall be used only for the project named on this drawing and solely for reference purposes only. The contractor is responsible for the coordination and verification of all dimensions contained herein and all measurements and conditions on site as they pertain to these documents. The contractor shall report any discrepancies to the consultant in writing prior to the commencement of any affected work.

Do not scale this drawing.
This drawing shall not be used for construction purposes unless signed.

File: 1602

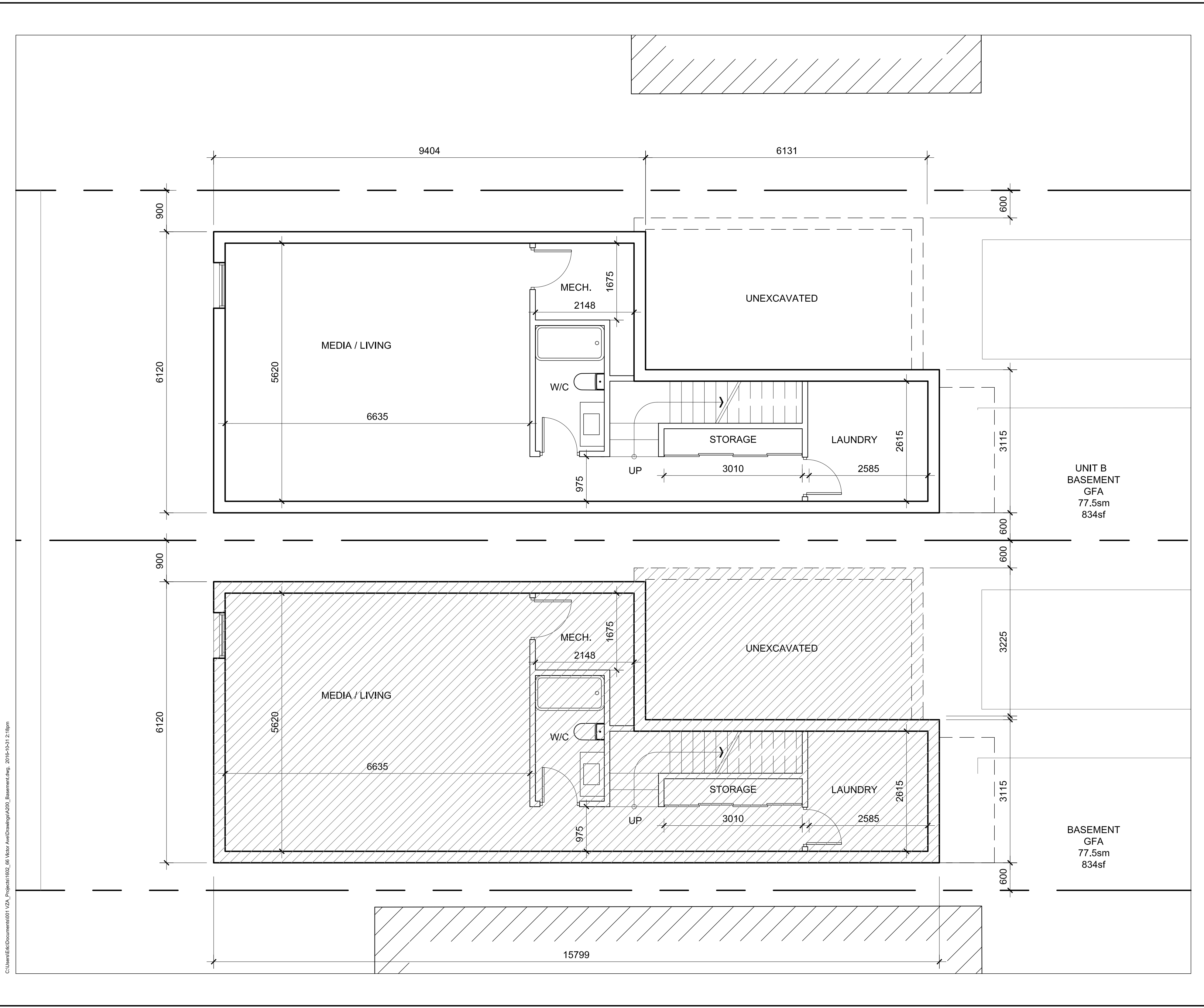
PROFESSIONAL CERTIFICATION

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METRIC SCALE DRAWING

no.	issued / revised	date:
01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016



66
Victor Avenue
Toronto, ON.

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1602	1:50	EVZ	ES
PROJECT	SCALE	DRAWN	REVIEWED
Basement Floor Plan Unit B			
			A200

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16/10/2016

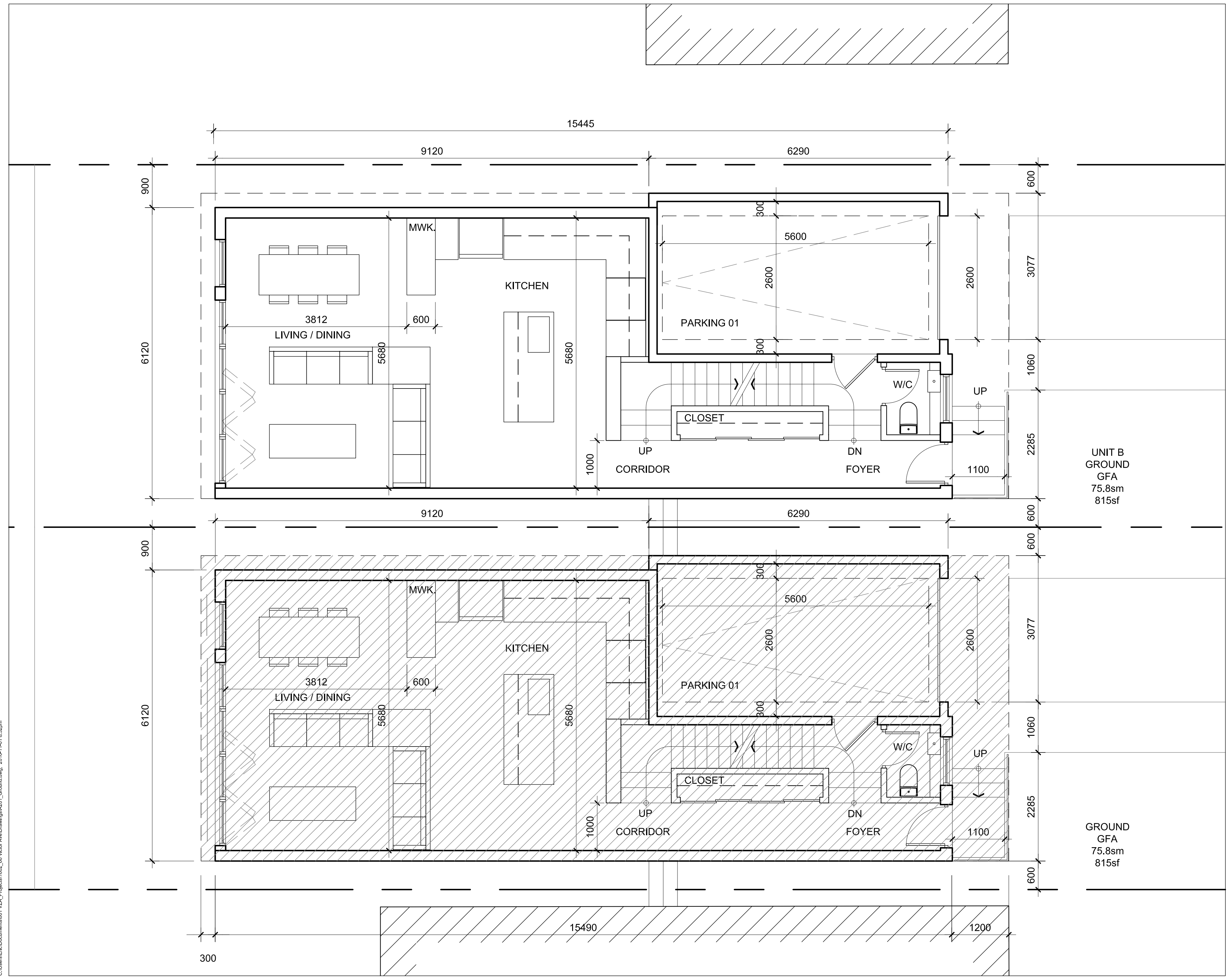
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METRIC SCALE DRAWING

no.	issued / revised	date:
01	ZC Submission	May 26, 2016
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UNIT B
GROUND
GFA
75.8sm
815sf

GROUND
GFA
75.8sm
815sf

66
Victor Avenue
Toronto, ON.

1602	1:50	EVZ	ES
PROJECT	SCALE	DRAWN	REVIEWED
Ground Floor Plan Unit B			
			A201

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16/10/2016

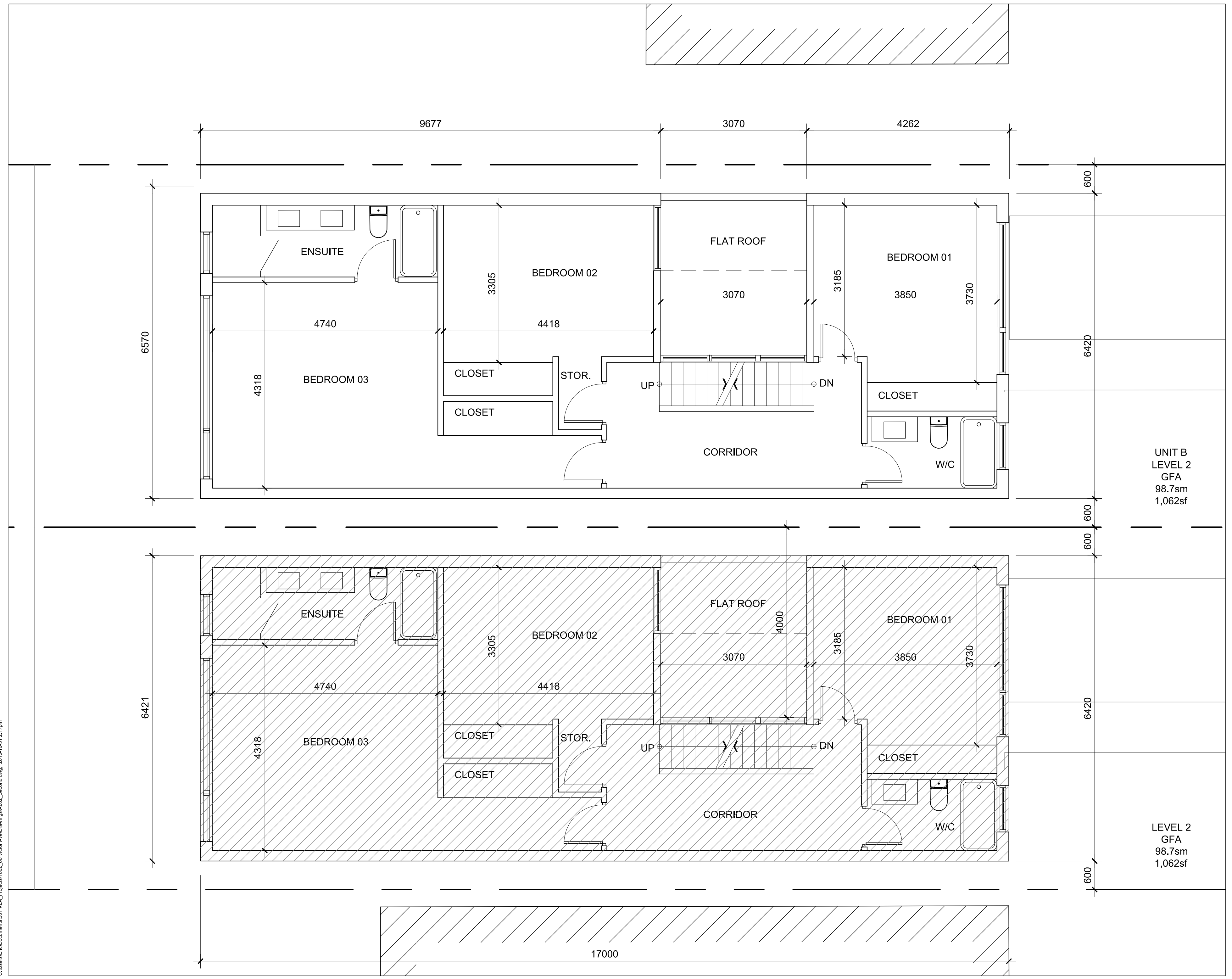
PROFESSIONAL CERTIFICATION

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M6E 3V8
416 795 1777

METRIC SCALE DRAWING

no.	issued / revised	date:
01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016



66
Victor Avenue
Toronto, ON.

1602	1:50	EVZ	ES
PROJECT	SCALE	DRAWN	REVIEWED

Level 2 Floor Plan
Unit B

A202

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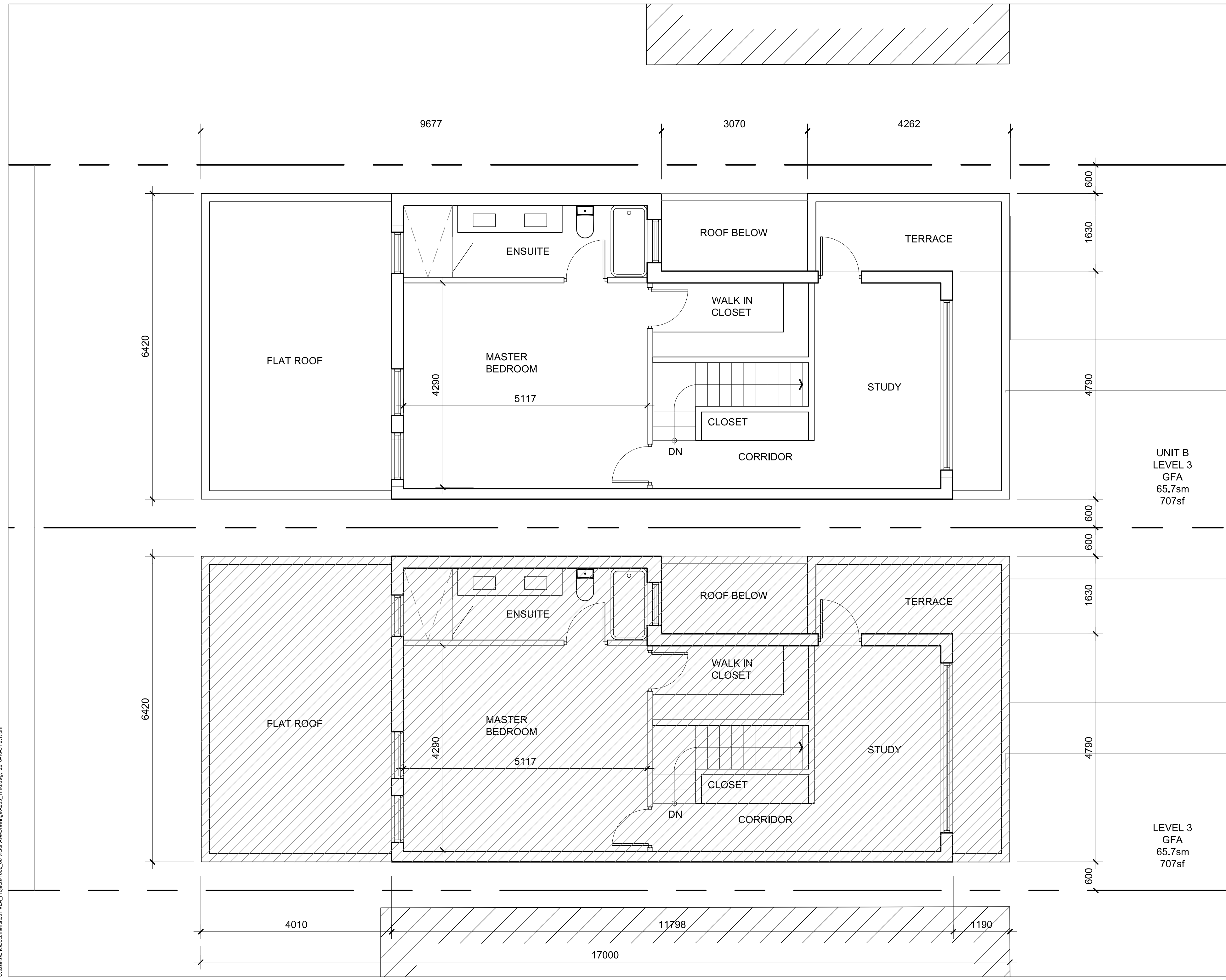
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16/10/2016

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METRIC SCALE DRAWING
no. issued / revised date:
01 ZC Submission May 26, 2016
02 Rev 1 - ZC Submission Oct. 24, 2016



UNIT B
LEVEL 3
GFA
65.7sm
707sf

LEVEL 3
GFA
65.7sm
707sf

66
Victor Avenue
Toronto, ON.

1602 PROJECT
1:50 SCALE
EVZ DRAWN
ES REVIEWED
Level 3 Floor Plan
Unit B

A203

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File: 1602

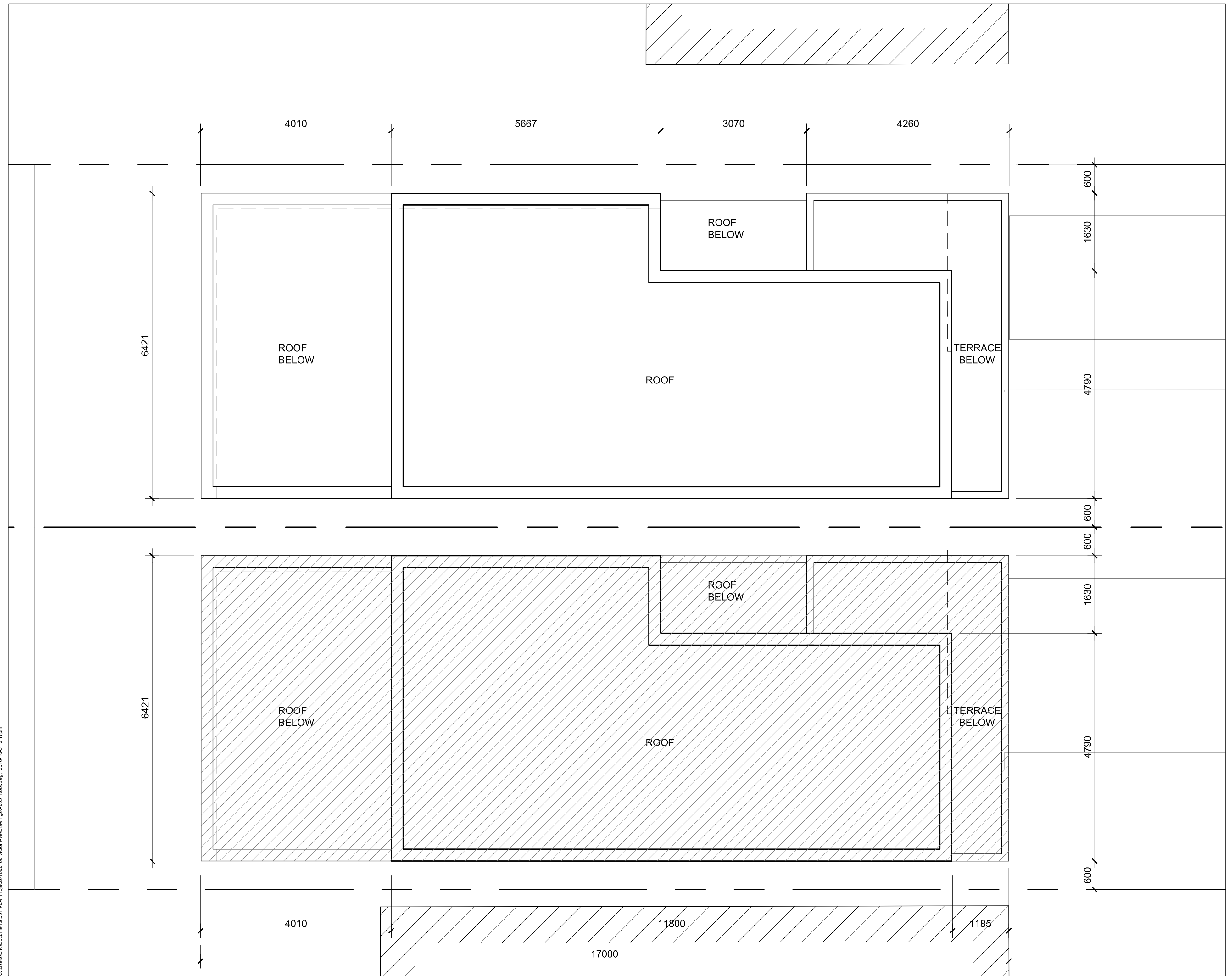
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METRIC SCALE DRAWING

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02	Rev 1 - ZC Submission	Oct. 24, 2016

66
Victor Avenue
Toronto, ON.



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1602	1:50	EVZ	ES
PROJECT	SCALE	DRAWN	REVIEWED
Roof Plan Unit B			
			A204

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16 JUN 2016

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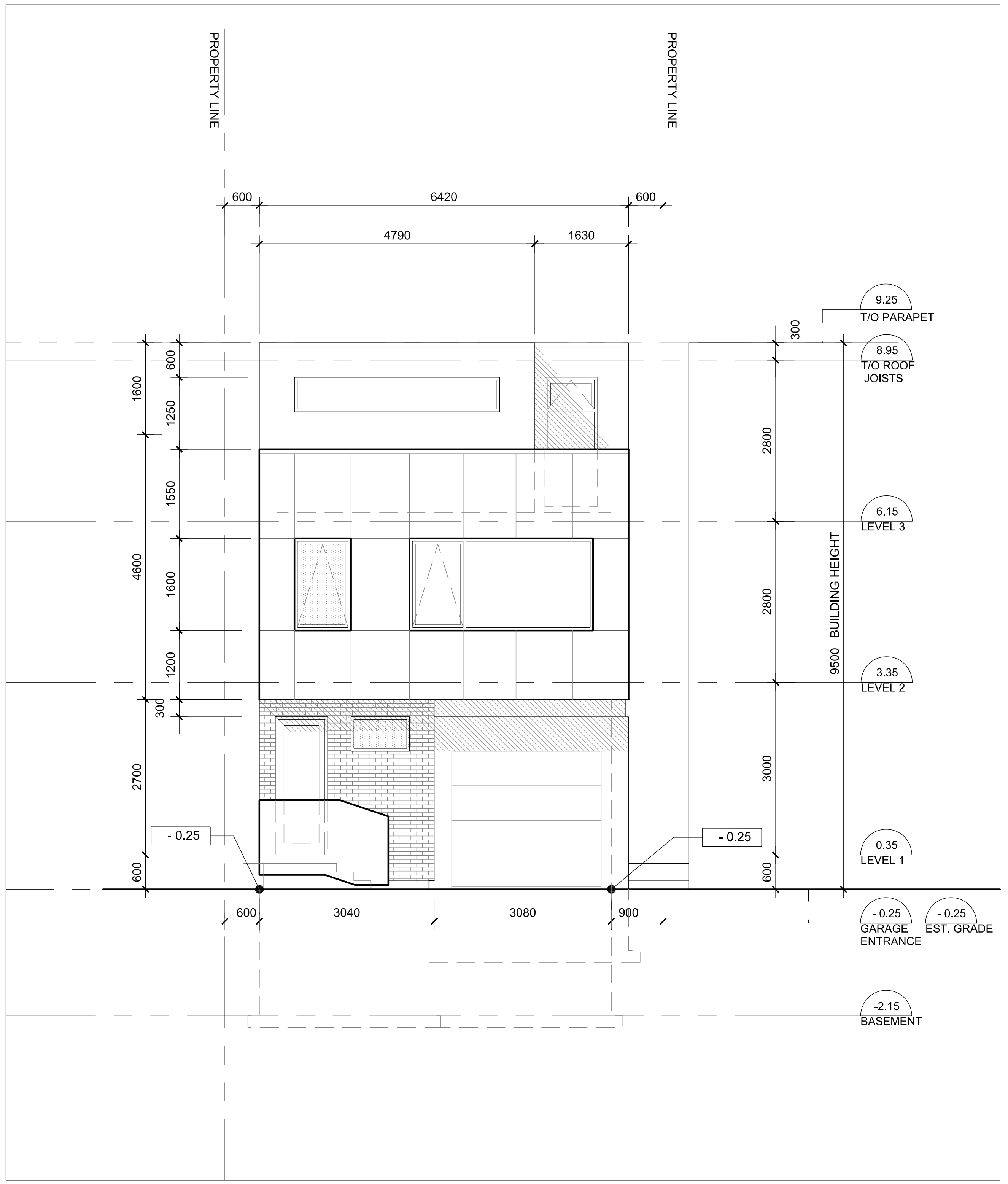
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METRIC SCALE DRAWING

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01	ZC Submission	May 26, 2016
02	Rev 1 - ZC Submission	Oct. 24, 2016

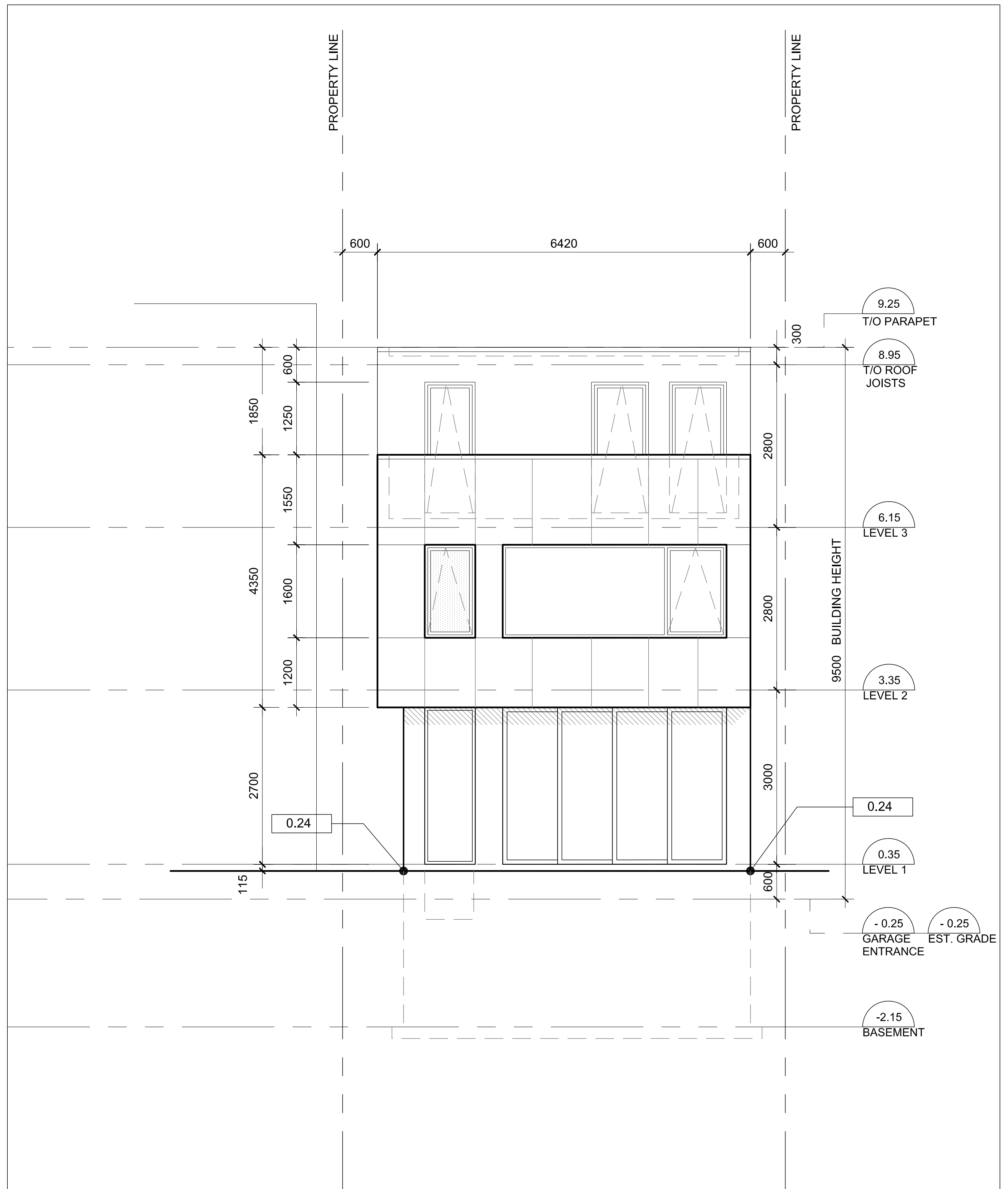
66
Victor Avenue
Toronto, ON.



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1602	1:50	EZ	ES
PROJECT	SCALE	DRAWN	REVIEWED
East Elevation			
			A400

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File No: 2016

PROFESSIONAL CERTIFICATION

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METRIC SCALE DRAWING

no.	issued / revised	date:
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66
Victor Avenue
Toronto, ON.

1602	1:50	EVZ	ES
PROJECT	SCALE	DRAWN	REVIEWED

West Elevation

A401

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File No: 2016

PROFESSIONAL CERTIFICATION

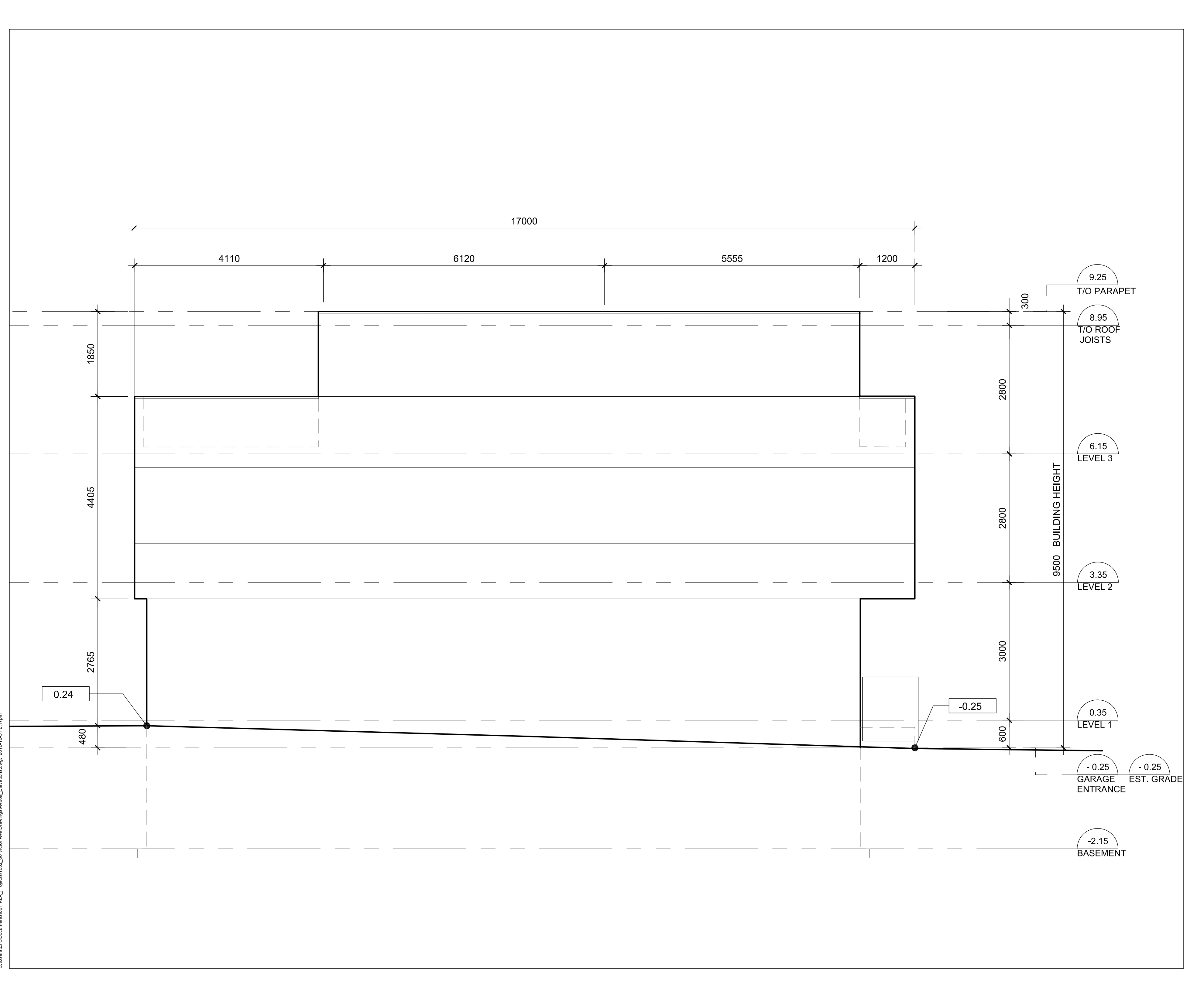
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METRIC SCALE DRAWING

no.	issued / revised	date:
01	ZC Submission	May 26, 2016
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66
Victor Avenue
Toronto, ON.



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1602	1:50	EVS	ES
PROJECT	SCALE	DRAWN	REVIEWED

South Elevation

A402

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File No: 2016

PROFESSIONAL CERTIFICATION

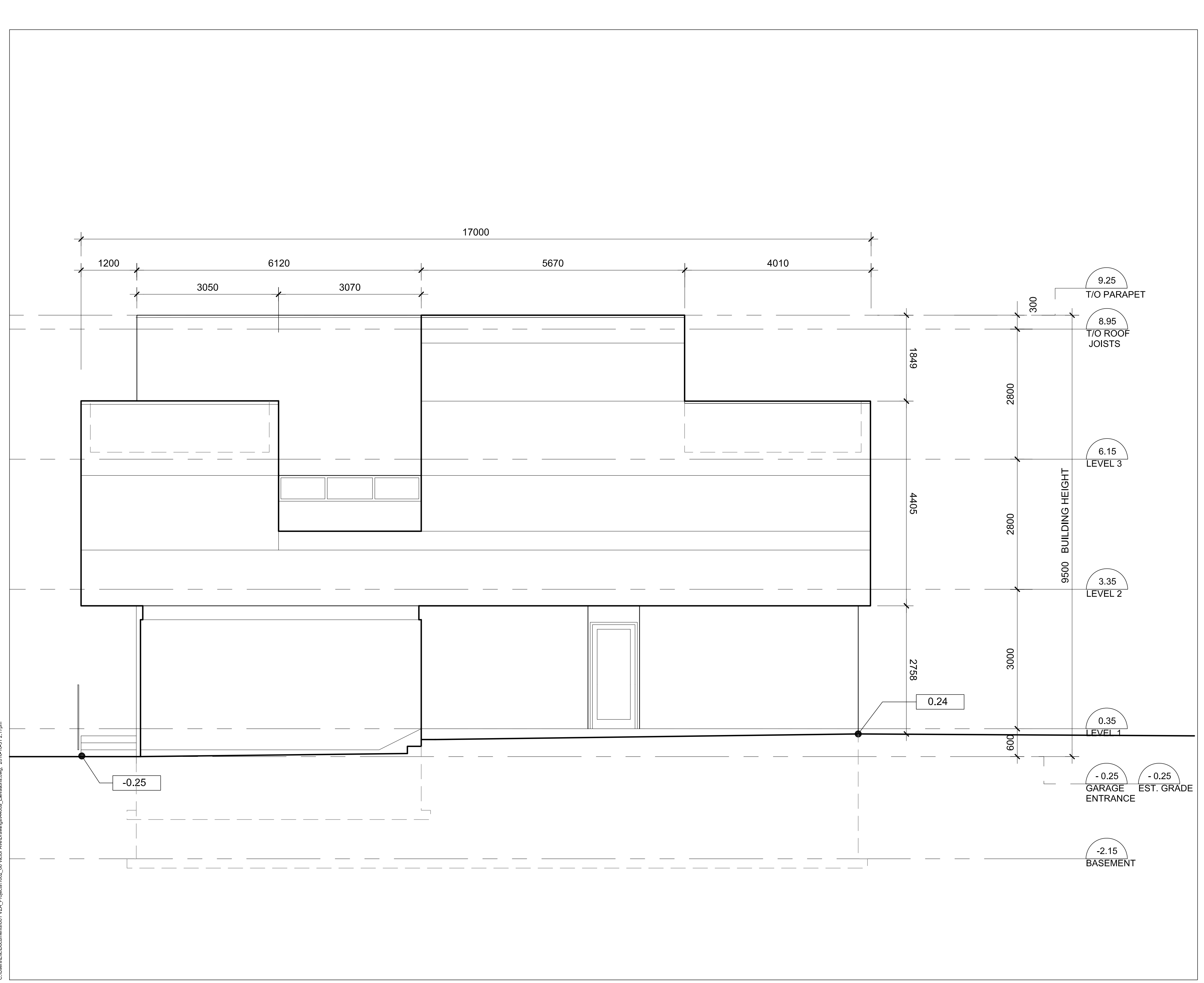
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METRIC SCALE DRAWING

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66
Victor Avenue
Toronto, ON.



C:\Users\Eric\Documents\001_VZA_Projects\1602_66 Victor Ave\Drawings\A403_Elevations.dwg, 2016-10-31 2:17pm

1602	1:50	EVZ	ES
PROJECT	SCALE	DRAWN	REVIEWED

North Elevation

A403

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0088/17EYK	Zoning	RD & RS
Owner(s):	KRYSTYNA TORBICKI	Ward:	Etobicoke-Lakeshore (06)
Agent:	JAP DESIGN STUDIO	Heritage:	Not Applicable
Property Address:	39 TWENTY SEVENTH ST	Community:	
Legal Description:	PLAN 1545 LOT 61		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 330-23.A.(9)**
The maximum permitted floor space index is 0.35 times the lot area (302.55 m²).
The new dwelling will have a floor space index of 0.39 times the lot area (337.65 m²).
- Section 330-13(A)(2)**
The minimum required side yard setback for eaves is 0.5 m.
The eaves of the garage attached to the proposed dwelling will be located 0.3 m from the north side lot line.
- Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 330-23(A)(10)(a)**
The maximum permitted building height is 9.5 m.
The new dwelling will have a height of 9.8 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

Minor Variance Numbers 1 and 3 are Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

Minor Variance Number 2 is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance request for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0088/17EYK	Zoning	RD & RS
Owner:	KRYSTYNA TORBICKI	Ward:	Etobicoke-Lakeshore (06)
Agent:	JAP DESIGN STUDIO	Heritage:	Not Applicable
Property Address:	39 TWENTY SEVENTH ST	Community:	
Legal Description:	PLAN 1545 LOT 61		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.