

		CONSULTANT:	CLIENT	DRAWING:	DRAWING:	No. DR.BY	DESCRIPTION
111111	Contractor must check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work. Do not scale drawings. All drawings ARE PRELIMINARY unless specifically issued for Tender or Contraction.	BR DESIGN, 285 Manor Rd. E. ON, M4S1S3 TORONTO 416-358-8508 brdesign@rogers.com	Slavisa / Dijana Gavric 26 Charlestone Rd. Etobicoke, ON M9D 4M7	EXISTING BASEMENT	FLOOR PLAN EXISTING AND PROPOSED	1 BR FOR CO	MMITTEE of ADJUSTM

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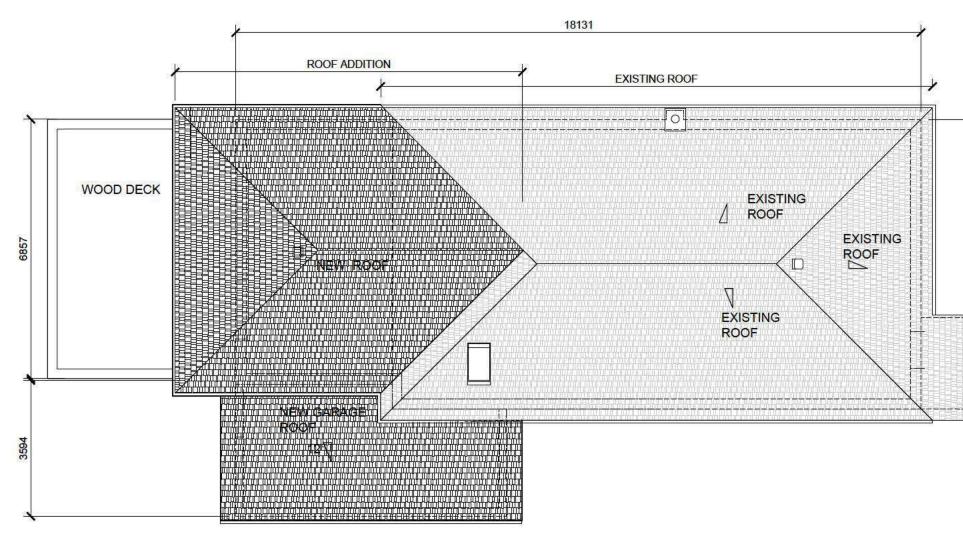
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REGISTRATION INFORMATION REDURED UNLESS DESIGN IS EXEMPT UNDER 217.41. OF THE BUILDING CODE

30253 BCIN



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Contractor must check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work. Do not scale drawings. All drawings ARE PRELIMINARY unless specifically issued for Tender or Contraction.	BR DESIGN, 285 Manor Rd. E. ON, M4S1S3 TORONTO 416-358-8508 brdesign@rogers.com	Slavisa / Dijana Gavric 26 Charlestone Rd. Etobicoke, ON M9D 4M7	ROOF PLAN	EXISTING AND PROPOSED ROOF			
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QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.41 OF THE BUILDING CODE DARKE DUNAT P.Eng. Durot Date 25168 NAME SIGNATURE BCIN

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET DUT IN DATARIO BUILDING CODE TO BE A DESIGNER



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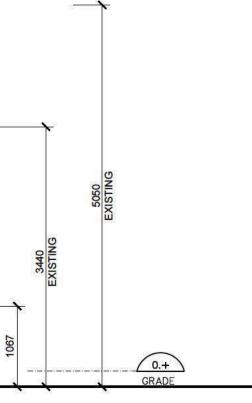
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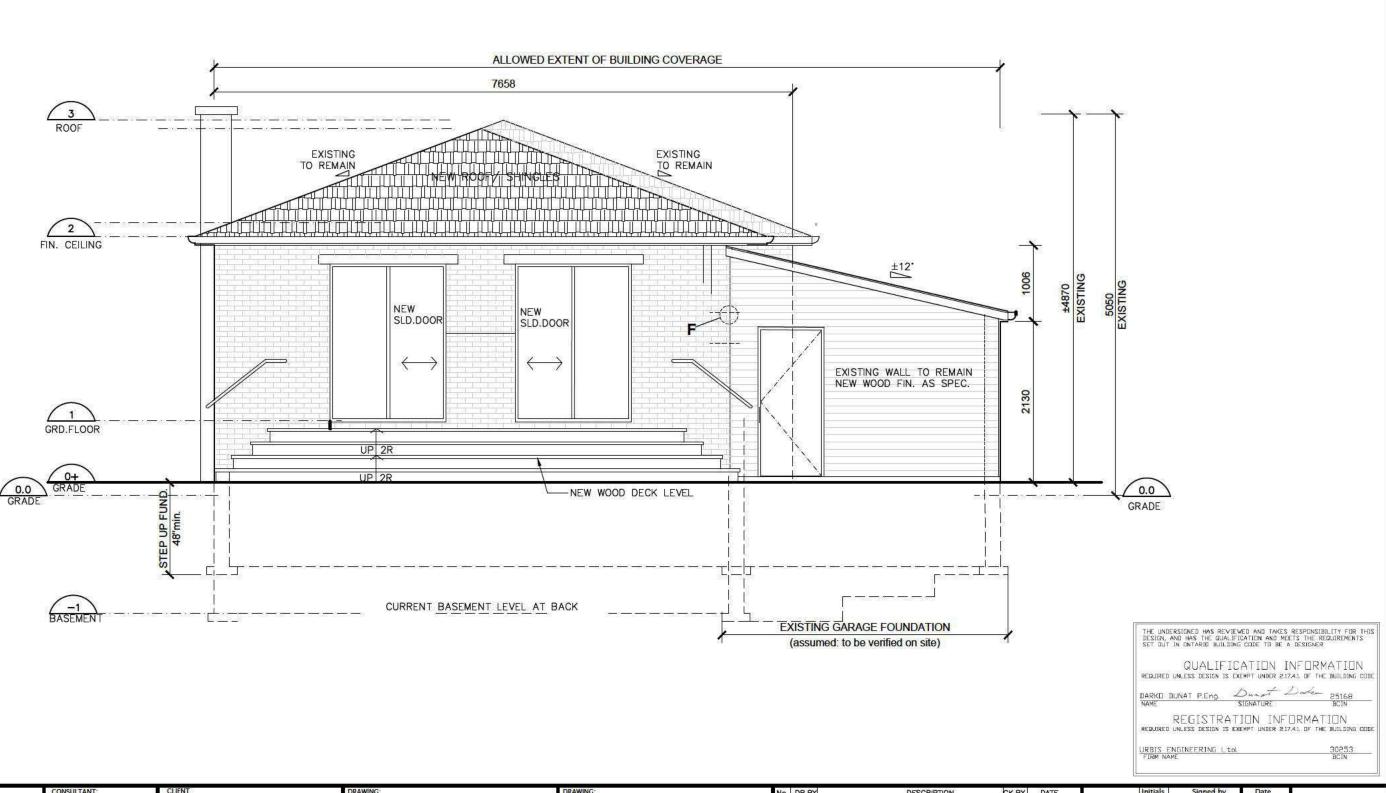
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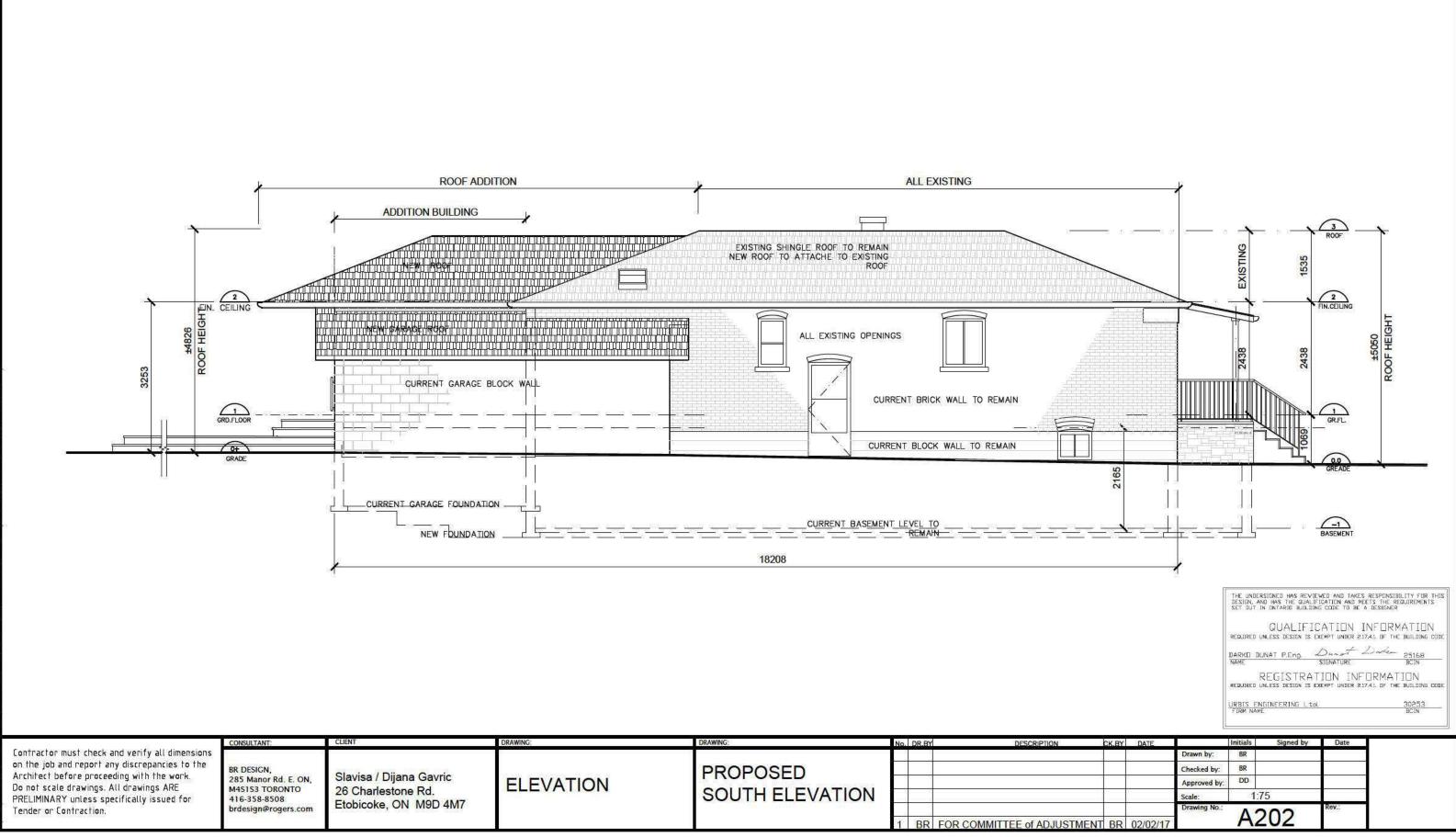
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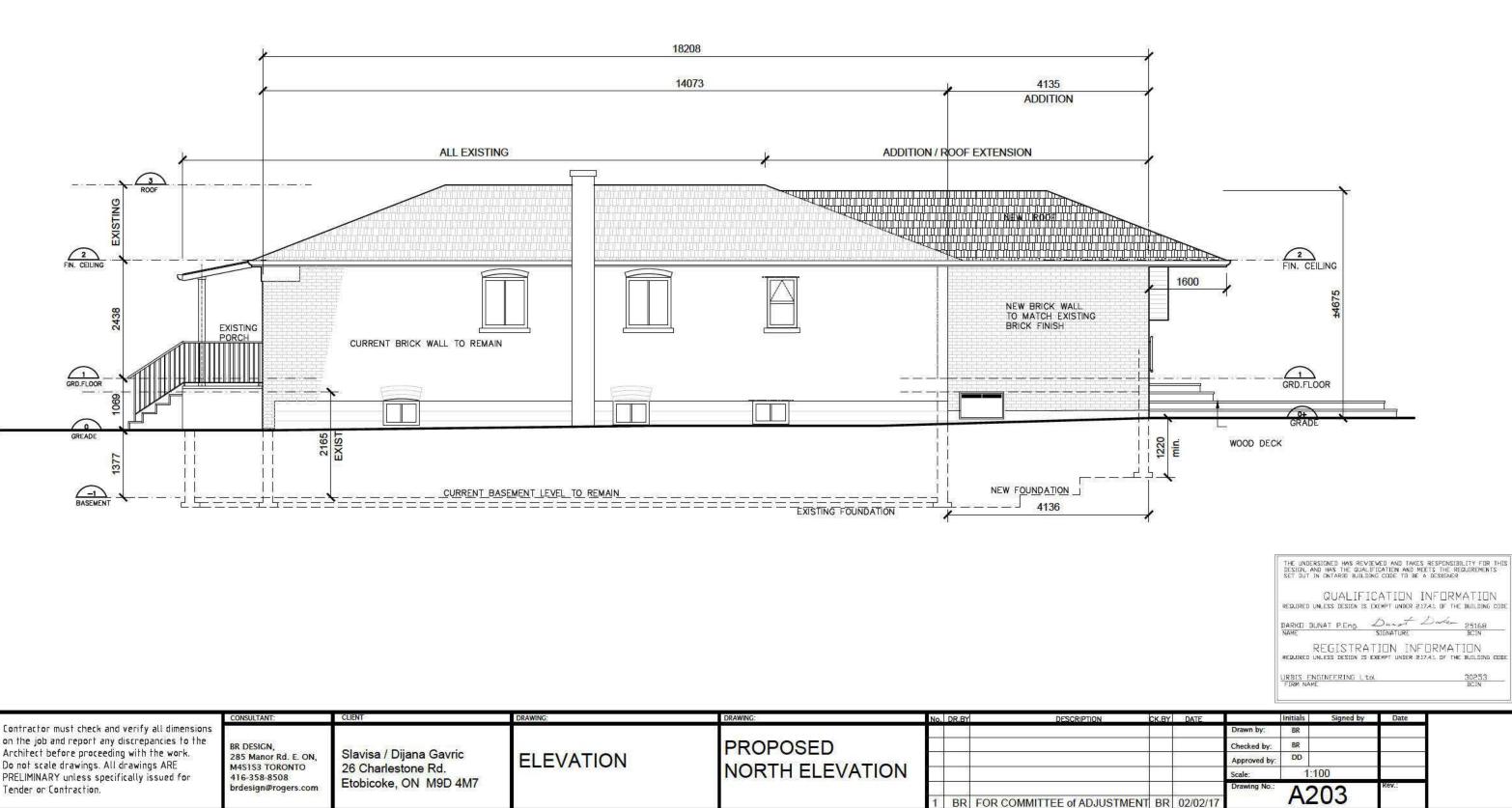




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Committee of Adjustment 2 Civic Centre Crt, 4th Floor Toronto, ON M9C 5A3 T:416-394-8060 F:416-394-6042

Thursday, April 6, 2017

# **NOTICE OF DECISION** MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:A0102/17EYKOwner(s):1262833 ONTARIO INC.Agent:ANDREW TROTTERProperty Address:**119 TWENTY SECOND ST**Legal Description:PLAN 1469 PT LOT 10

Zoning Ward: Heritage: Community: RM & R2 Etobicoke-Lakeshore (06) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

### **PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling.

### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Section 10.80.40.40.(1)(A), By-law 569-2013 & Section 350-31.F.(2) The maximum permitted floor space index/ gross floor area is 0.6 times the lot area (132.78 m<sup>2</sup>). The proposed dwelling will have a floor space index/ gross floor area of 0.95 times the lot area (210.2 m<sup>2</sup>).
- 2. Section 900.6.10.(23)(D)(i), By-law 569-2013 & Section 350-31.A.(4) The minimum required side yard setback is 0.6 m. The proposed dwelling will be located 0.07 m from the north side lot line.
- Section 10.5.40.60.(7), By-law 569-2013
   The minimum required side yard setback for eaves is 0.3 m.
   Section 350-13.B
   The minimum required side yard setback for eaves is 0.5 m.
   Section 10.5.40.60.(7), By-law 569-2013 & Section 350-13.B
   The eaves of the proposed dwelling will be located 0 m from the north side lot line.
- 4. Section 10.80.40.20.(1), By-law 569-2013 The maximum permitted dwelling length is 17 m. The proposed dwelling will have a length of 18.21 m.
- 5. Section 900.6.10.(23)(C), By-law 569-2013 & Section 350-31.A.(8) The maximum permitted dwelling height is 9.5 m. The proposed dwelling will have a height of 9.63 m.
- 6. Section 10.80.40.10.(2)(A)(i), By-law 569-2013 The maximum permitted height of all front exterior main walls is 7 m. The proposed dwelling will have a front exterior main wall height of 9.31 m.

### 7. Section 10.5.50.10.(3)(A), By-law 569-2013

A minimum of 50% of the rear yard shall be maintained as soft landscaping (45.53 m<sup>2</sup>). A total of 44% of the rear yard will be maintained as soft landscaping (40.1 m<sup>2</sup>).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

#### The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

# SIGNATURE PAGE

File Number:A0102/17EYKOwner:1262833 ONTARIO INC.Agent:ANDREW TROTTERProperty Address:**119 TWENTY SECOND ST**Legal Description:PLAN 1469 PT LOT 10

Zoning Ward: Heritage: Community: RM & R2 Etobicoke-Lakeshore (06) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Michael Clark (signed)

# DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at <a href="https://www.omb.gov.on.ca">www.omb.gov.on.ca</a>.



Committee of Adjustment 2 Civic Centre Crt, 4th Floor Toronto, ON M9C 5A3 T:416-394-8060 F:416-394-6042

Thursday, April 6, 2017

# **NOTICE OF DECISION** MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0106/17EYK
Owner(s):	MALWINDER KAUR
	GAGANDEEP SINGH
Agent:	GRAHAM BARRETT
Property Address:	12 CRONIN DR
Legal Description:	PLAN 2420 LOT 48

Zoning Ward: Heritage: Community: RD & R2 Etobicoke-Lakeshore (05)

Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

# PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

# **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 10.20.30.40(1)(A), By-law 569-2013 & Section 320-59.C. The maximum permitted lot coverage is 33% of the lot area (169.38 m<sup>2</sup>). Section 10.20.30.40(1)(A), By-law 569-2013 The lot coverage will be 34.28% of the lot area (175.94 m<sup>2</sup>). Section 320-59.C. The lot coverage will be 38.36% of the lot area (196.88 m<sup>2</sup>).
- 2. Section 900.3.10(21)(C), By-law 569-2013 & Section 1(b)(1), By-law 1992-23 The maximum permitted gross floor area shall be 135 m<sup>2</sup> plus 25% of the lot area (263.32 m<sup>2</sup>) provided that the maximum floor space index for the dwelling does not otherwise exceed 0.5 (256.64 m<sup>2</sup>). The proposed dwelling will have a gross floor area equal to 135 m<sup>2</sup> plus 33.52% of the lot area (307.07 m<sup>2</sup>) and will have a floor space index equal to 0.6 (306.94 m<sup>2</sup>).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

### A0106/17EYK

### The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

# **SIGNATURE PAGE**

File Number:A0106/17EYKOwner:MALWINDER KAURGAGANDEEP SINGHAgent:GRAHAM BARRETTProperty Address:12 CRONIN DRLegal Description:PLAN 2420 LOT 48

Zoning Ward: RD & R2 Etobicoke-Lakeshore (05)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

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Committee of Adjustment 2 Civic Centre Crt, 4th Floor Toronto, ON M9C 5A3 T:416-394-8060 F:416-394-6042

Thursday, April 6, 2017

# **NOTICE OF DECISION** MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0113/17EYK	Zoning	RD & R2
Owner(s):	LUIS E PACHECO	Ward:	Etobicoke North (01)
	NUBE SUSANA GUILLEN		
Agent:	STRUCTURED CREATIONS	Heritage:	Not Applicable
Property Address:	11 TODD BROOK DR	Community:	
Legal Description:	PLAN 3763 PT LOT 38		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

# PURPOSE OF THE APPLICATION:

To construct one-storey south side addition which will include an attached garage, a one-storey rear addition, and a partial second storey addition.

### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 320-40.C.(1) The minimum required front yard setback is 7.21 m. The altered dwelling will be located 5.73 m from the front lot line.
- 2. Section 900.3.10.(1299)(A), By-law 569-2013 and Section 1.b), By-law 1981-360 The minimum required side yard setback is 1.22 m. The altered dwelling will be located 0.78 m from the south side lot line.
- 3. Section 200.5.1.(3)(A), By-law 569-2013 and Section 320-18.A.(4) The minimum required driveway width from the front line to the garage is 6 m. The proposed width from the front lot line to the garage will be 5.73 m.
- Section 10.5.100.1.(1)(C)(ii), By-law 569-2013 The maximum permitted driveway width is 5.08 m.
  Section 320-44.A.(1)(c) The maximum permitted driveway width is 6 m.
  Section 10.5.100.1.(1)(C)(ii), By-law 569-2013 and Section 320-44.A.(1)(c) The proposed driveway will have a width of 6.63 m.

5. Section 10.5.40.60.(7)(B), By-law 569-2013 The eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 metres, if they are no closer to a lot line than 0.3 metres. Section 320-41.D The minimum required side yard setback for eaves is 0.4 m. Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D The eaves/roof projection of the altered dwelling will encroach 0.53 m into the required south and will be located 0.24 m from the south side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

### The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- 2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
- 3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
  - 3.1 The site plan drawings must be revised to clearly dimension and identify the portions of existing curb cut that will be closed.
  - 3.2 The site plan must include the following notations:
    - a. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality";
    - b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
    - c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

# SIGNATURE PAGE

File Number:A0113/17EYKOwner:LUIS E PACHECONUBE SUSANA GUILLENAgent:STRUCTURED CREATIONSProperty Address:**11 TODD BROOK DR**Legal Description:PLAN 3763 PT LOT 38

Zoning Ward: RD & R2 Etobicoke North (01)

Heritage: Community:

Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

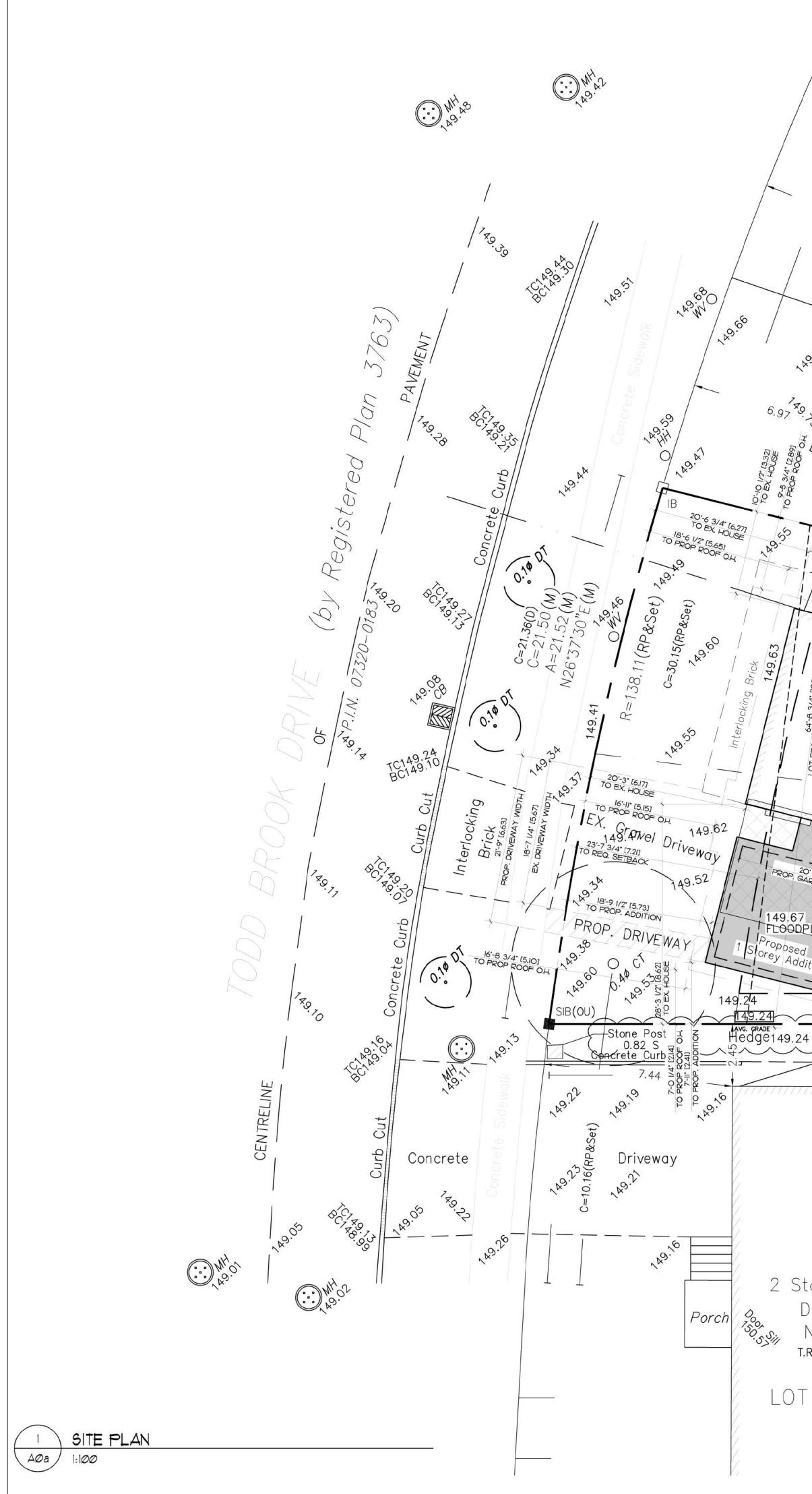
DATE DECISION MAILED ON: Wednesday, April 12, 2017

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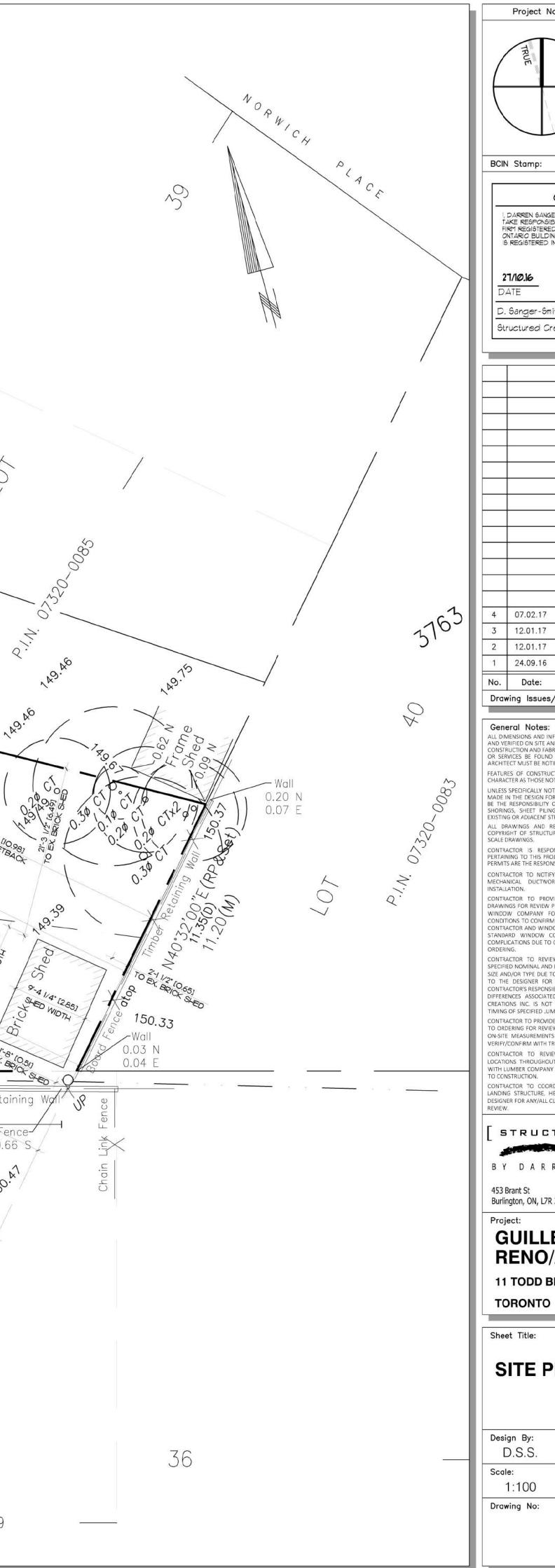
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Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

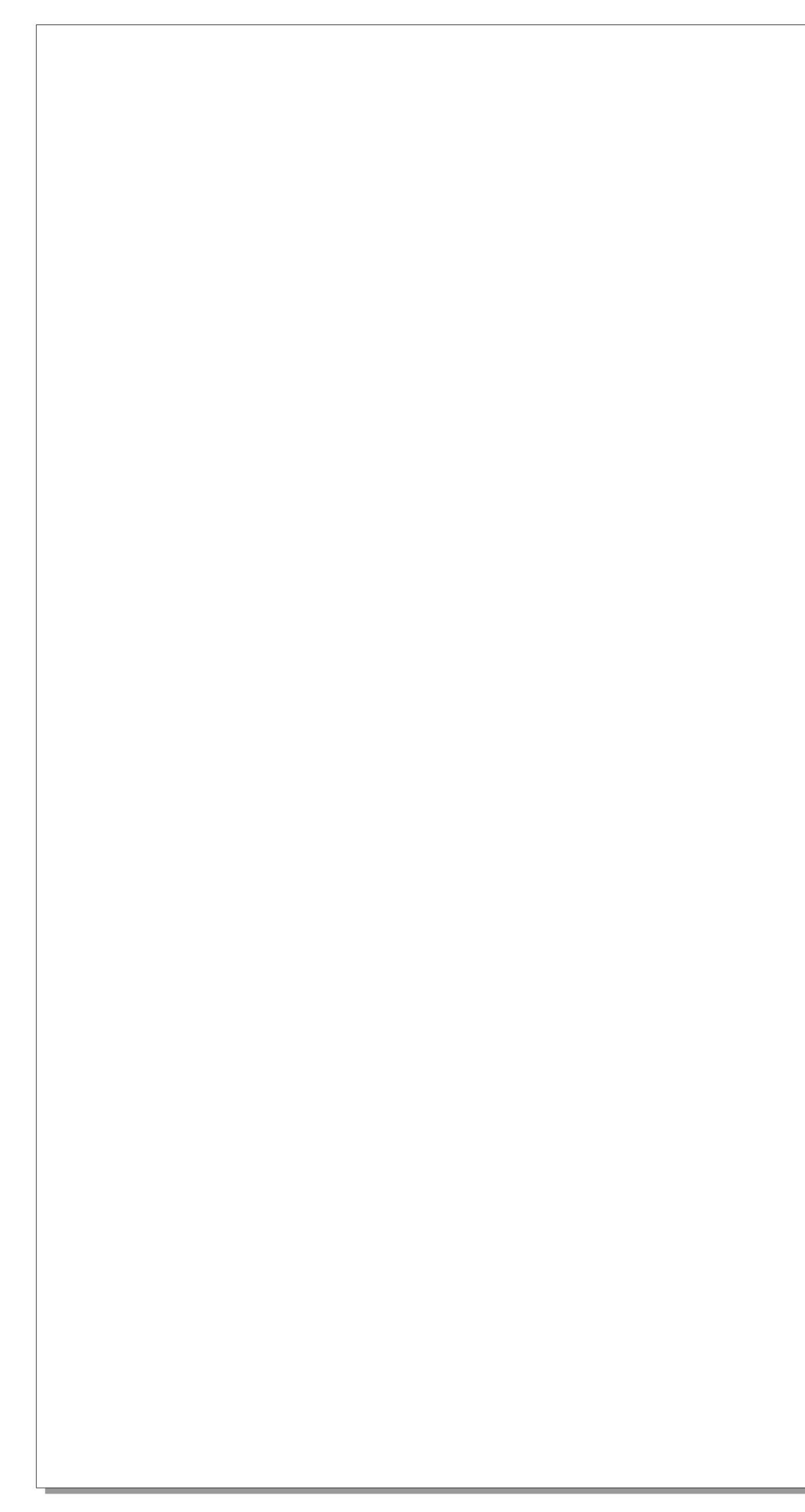
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BCIN Stamp:         BCIN Stamp:         DARREN SANGER-SMITH, DECLARE THAT I HAVE REVIEWED AND TAKE RESPONSIBILITY FOR THE DESIGN ON DEHALF OF A FIGH REGISTERED UNDER SUBSCITION 32.4 OF THE ONTARIO BUILDING CODE. I AM REGISTERED, AND THE FIRM IS REGISTERED IN THE APPROPRIATE CLASSES/CATEGORIES.         21/10.16       DATE         DATE       DIGNATURE OF DESIGNER         D. Sanger-Smith, B.Arch       BCIN26286         Structured Creations Inc.       BCIN 23617										
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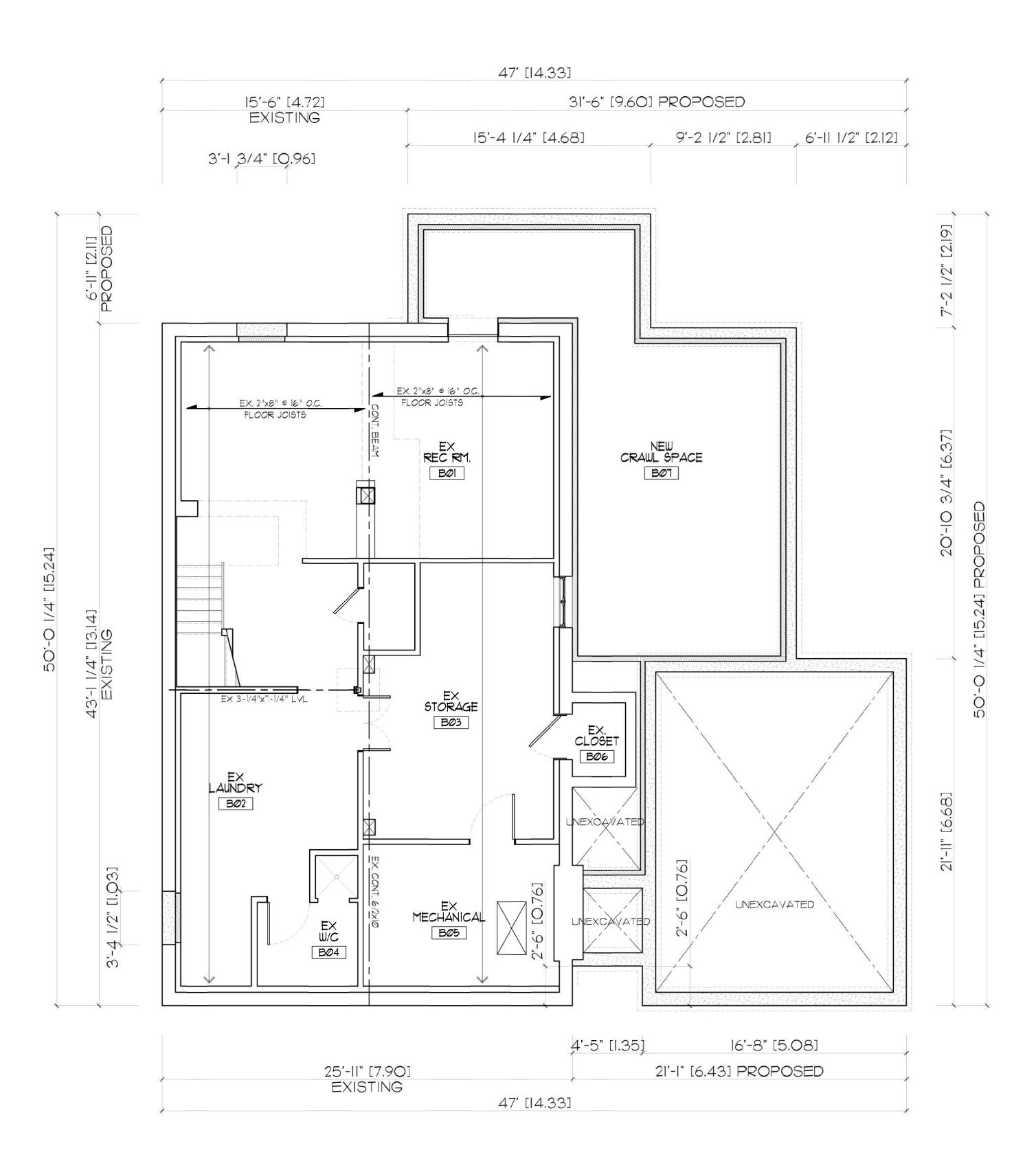


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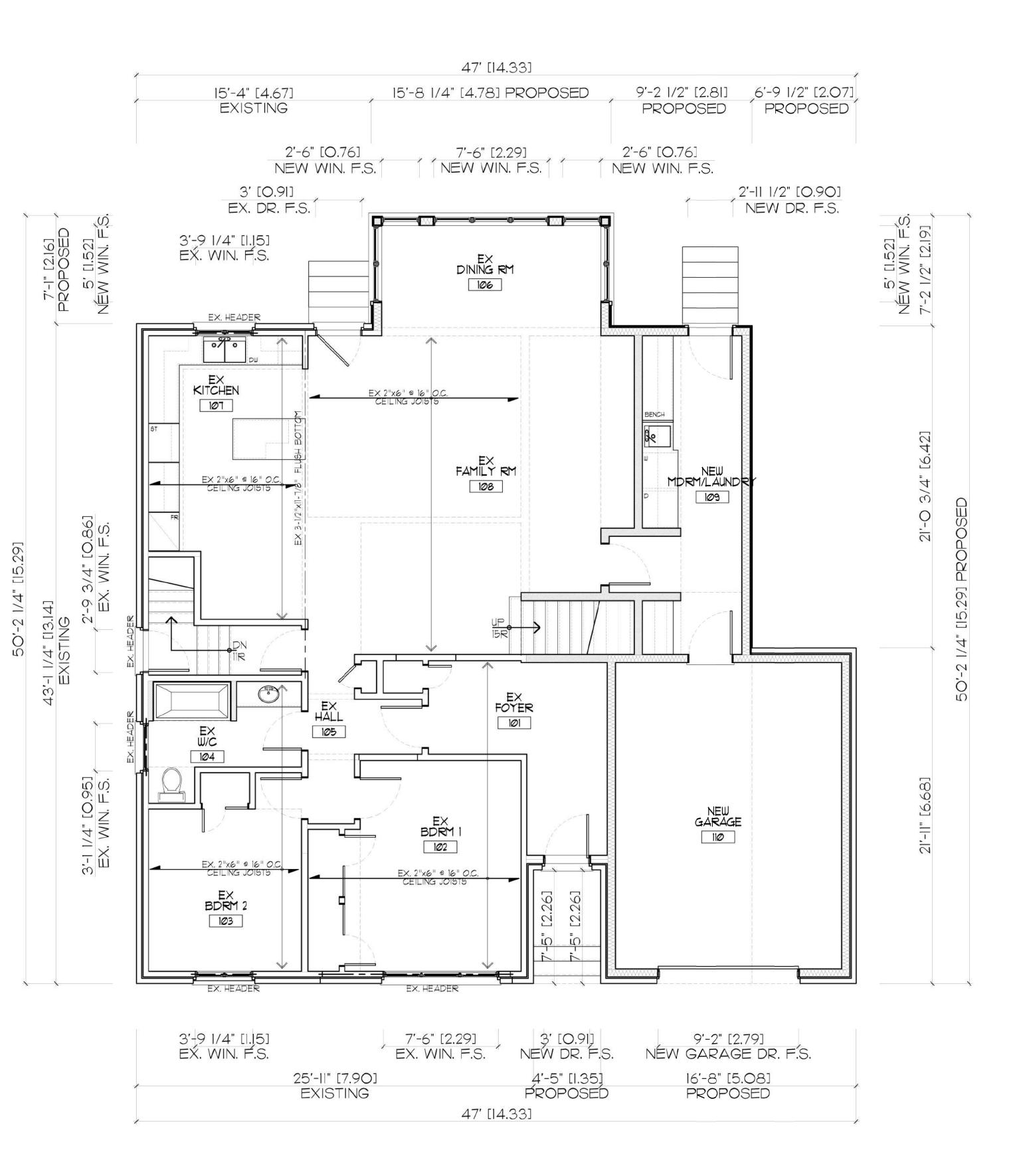
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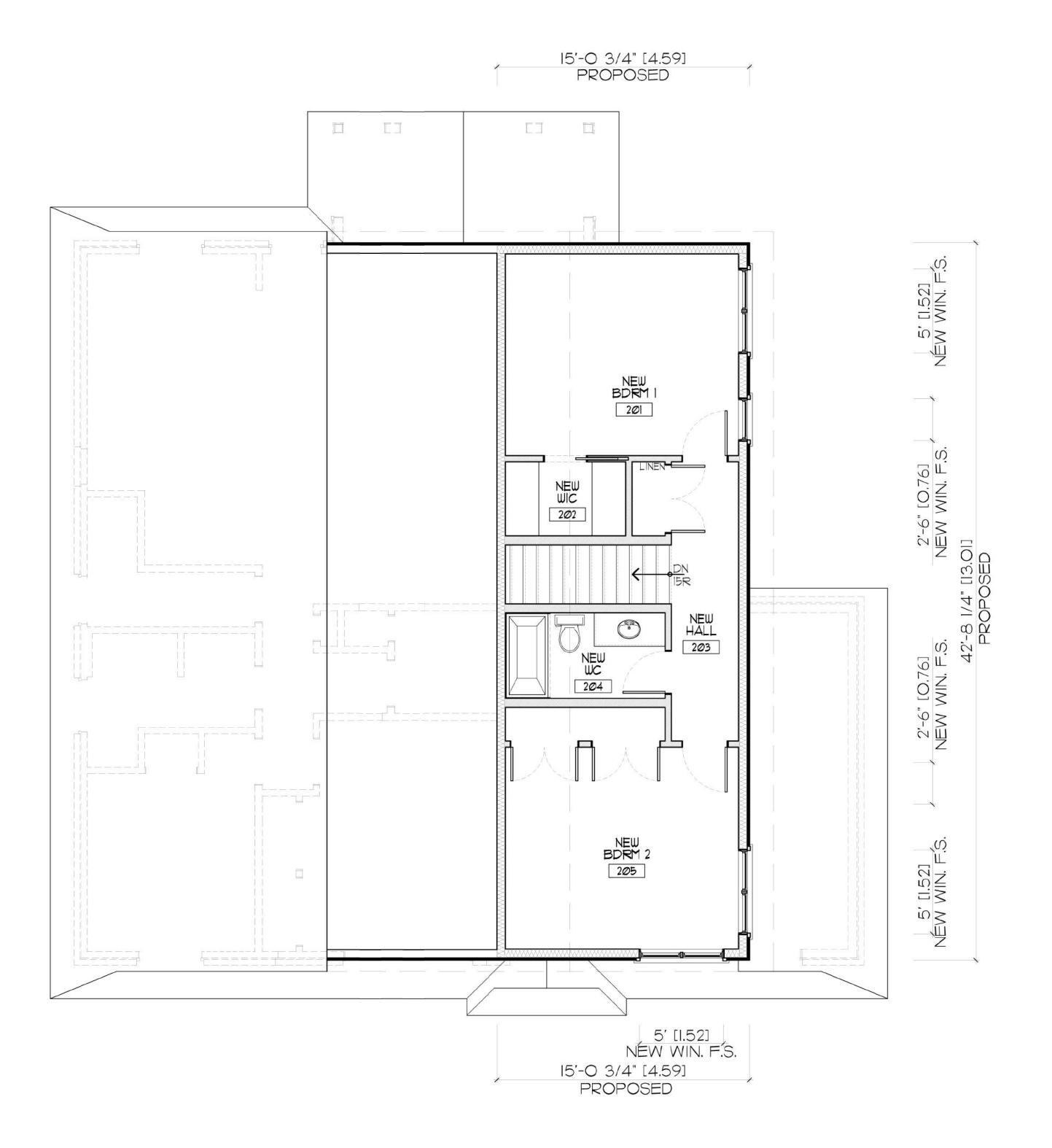
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SECOND FLOOR GARAGE	0 SQM 0 SQM	59.70 SQM 31.87 SQM	59.70 SQM 31.87 SQM				
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PROP. BUILDING COVERAGE (INCLUDING SEC. FL OVERHANG)	80.71 SQM (8 (11.48%)	68.78 SQFT)			AND VERIFIED ON SITE AND CONSTRUCTION AND FABR	ORMATION SHOWN ON THESE DRAWING D ANY DISCREPANCIES REPORTED TO THE ICATION OF ITS COMPONENTS. SHOULD TO VARY FROM THAT INDICATED ON EFD IMMEDIATELY	ARCHITECT PRIOR TO EXISTING CONDITIONS
TOTAL BUILDING COVERAGE	184.95 SQM ( (26.30%)	1990.85 SQFT)			FEATURES OF CONSTRUCT CHARACTER AS THOSE NOT UNLESS SPECIFICALLY NOTI MADE IN THE DESIGN FOR	TION NOT FULLY SHOWN ARE ASSUME TED FOR SIMILAR CONDITIONS. ED DTHERWISE ON THE DRAWINGS, NO & CONDITIONS OCCURRING DURING CON: OF THE CONTRACTOR TO PROVIDE ALL	PROVISION HAS BEEN STRUCTION. IT SHALL
ALLOWABLE BUILDING COVERAGE	232.05 SQM (33%)	(2497.84 SQFT)			SHORINGS, SHEET PILING EXISTING OR ADJACENT STR ALL DRAWINGS AND RE	OR OTHER TEMPORARY SUPPORTS, RUCTURES AFFECTED BY THIS WORK. LATED DOCUMENTS SHALL REMAIN RED CREATIONS. USE LATEST REVISED D	TO SAFEGUARD ALL
MAX. BUILDING HEIGHT	9.0M				PERTAINING TO THIS PROJ PERMITS ARE THE RESPONS	NSIBLE TO OBTAIN ALL REQUIRED I IECT, ALL WORK PERFORMED AND APPRO SIBILITY OF THE CONTRACTOR. DESIGNER OF ANY CONFLICTS PERTA	OVALS OF ELECTRICAL
EXISTING ROOF PEAK	5.64M				MECHANICAL DUCTWORI	DESIGNER OF ANY CONFLICTS PERTA K AND STRUCTURE PRIOR TO C	CONSTRUCTION AND
PROPOSED ROOF PEAK ESTABLISHED GRADE	8.0IM 149.46+149.2	4 / 2 = 149.35			DRAWINGS FOR REVIEW PI WINDOW COMPANY FOI CONDITIONS TO CONFIRM	RIOR TO ORDERING, CONTRACTOR TO CO R ON-SITE MEASUREMENTS OF FRAI ALL NEW AND EXISTING WINDOW SIZES	DORDINATE WITH THE MING/CONSTRUCTION PRIOR TO ORDERING.
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TRCA CALC.	101. 21. SOM	(1122.02 SQFT)			SPECIFIED NOMINAL AND E SIZE AND/OR TYPE DUE TO	V ALL FINAL DRAWINGS AND CONFI ENGINEERED LUMBER. ANY SUBSTITUTIO D TIMING AND/OR AVAILABILITY ISSUES A	N FOR JOIST OR BEAM
EXISTING BUILDING COVERAGE	(14.82% OF L				CONTRACTOR'S RESPONSIB DIFFERENCES ASSOCIATED	REVIEW AND APPROVAL PRIOR TO C BILITY TO INFORM THE CLIENT AND DESIG WITH THE CHANGE PRIOR TO ORC RESPONSIBLE ISSUES PERTAINING TO /	NER OF ANY/ALL COST DERING. STRUCTURED
PROP. BUILDING ADDITION (MAIN FLOOR AREA ONLY)		494.40 SQFT) EXISTING BUILDING	AREA)		CONTRACTOR TO PROVIDE TO ORDERING FOR REVIEW	BERAND MATERIAL DELIVERY. STRUCTURED CREATIONS INC. WITH TRU V. CONTRACTOR TO COORDINATE WITH TO VERIFY ALL NEW/EXISTING FRAMIP USS SHOP DRAWINGS.	TRUSS COMPANY FOR
TOTAL PROPOSED BUILDING AREA (EXISTING + PROP. ADDITION)	150.17 SQM (1 (21.35% of L	616.47 SQFT) ot area)			LOCATIONS THROUGHOUT WITH LUMBER COMPANY TO CONSTRUCTION. CONTRACTOR TO COORD	W SUBMITTED FINAL DRAWINGS FO F FLOOR, WALL AND/OR ROOF FRAMIN FOR THE MANUFACTURING OF ANY CUS DINATE WITH STAIR MANUFACTURER	IG AND COORDINATE TOM HANGERS PRIOR FOR ALL STAIR AND
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MAX BUILDING AREA (EXISTING + MAX ADDITION)	156.36 SQM ( (22.24% OF L	(1683.10 SQFT) lot area)			B Y D A R R 453 Brant St Burlington, ON, L7R 2		0) 416.204.0351
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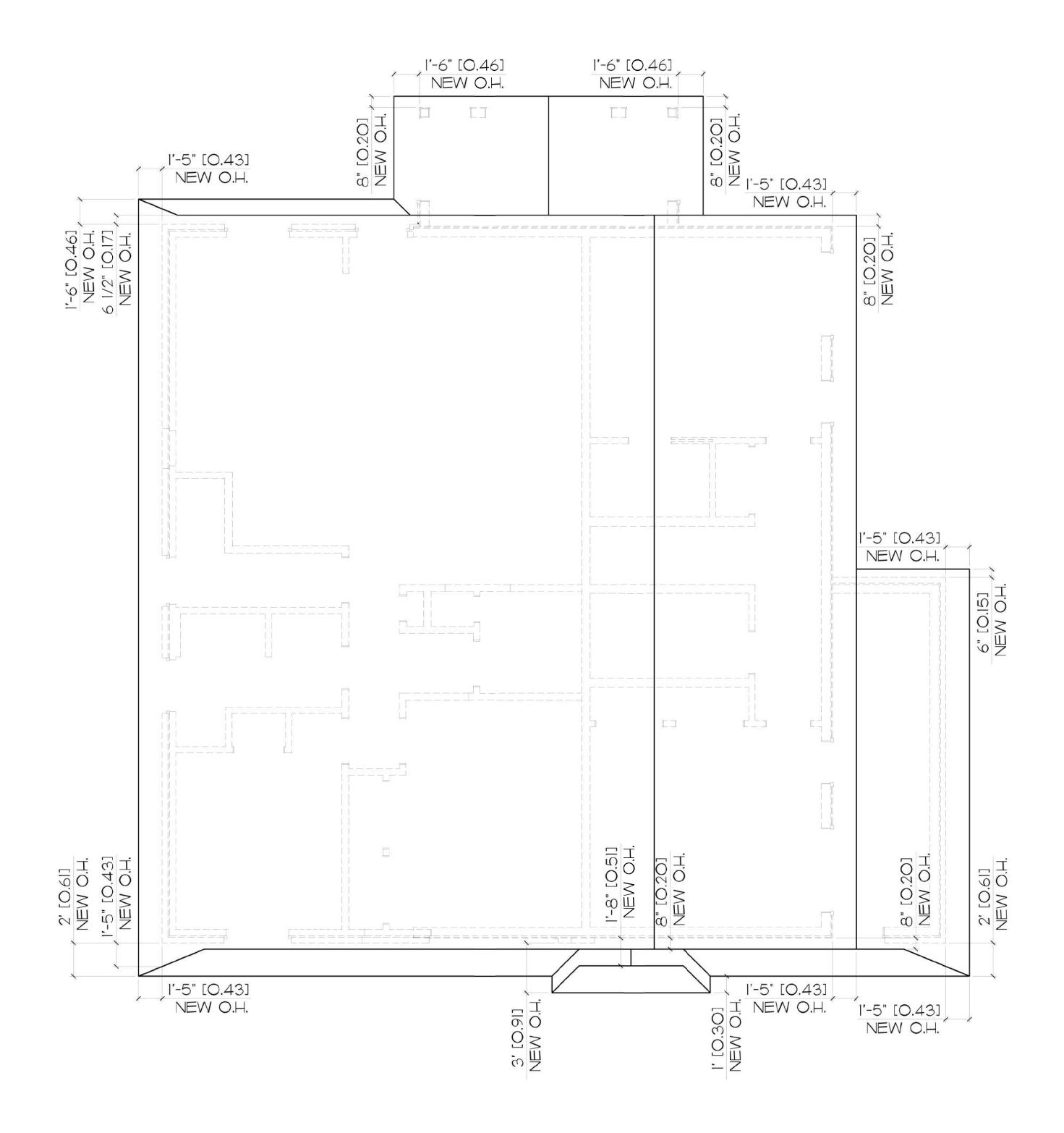




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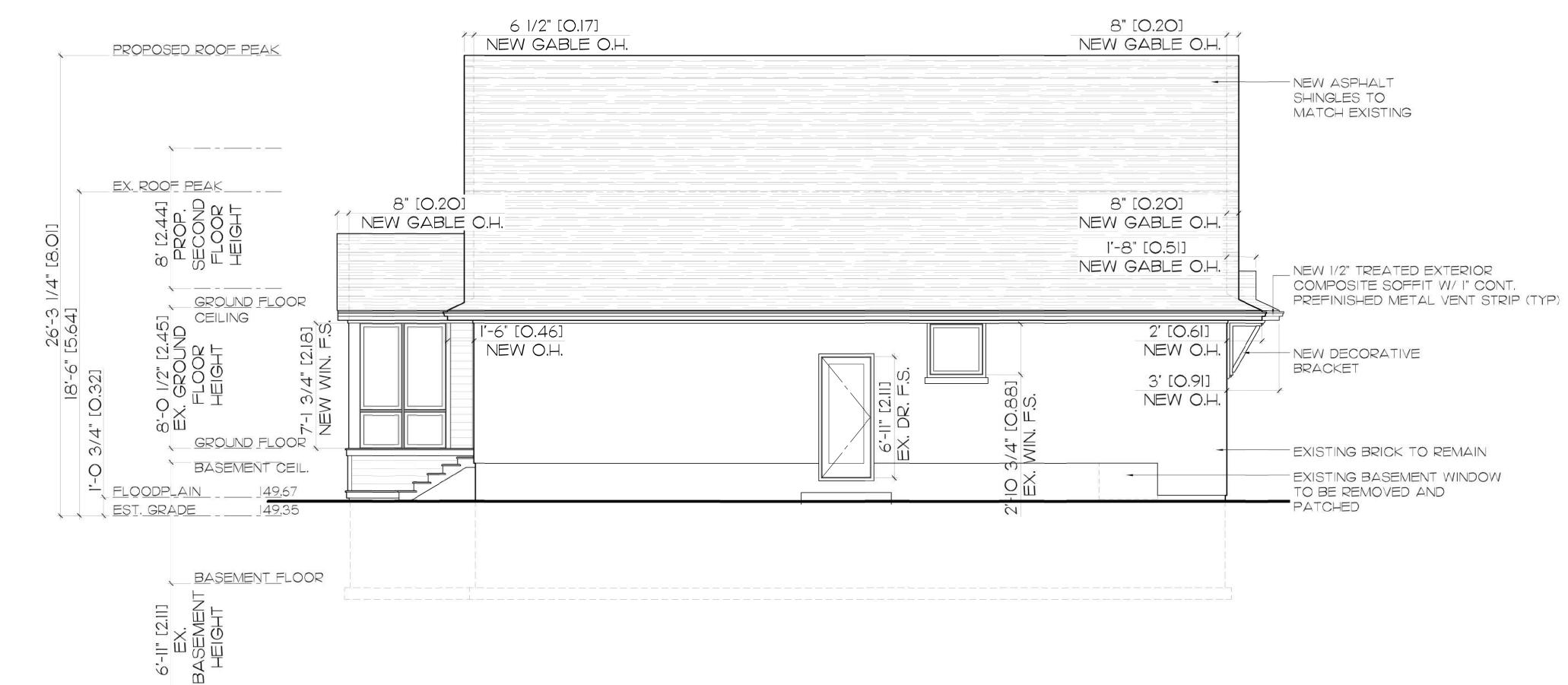
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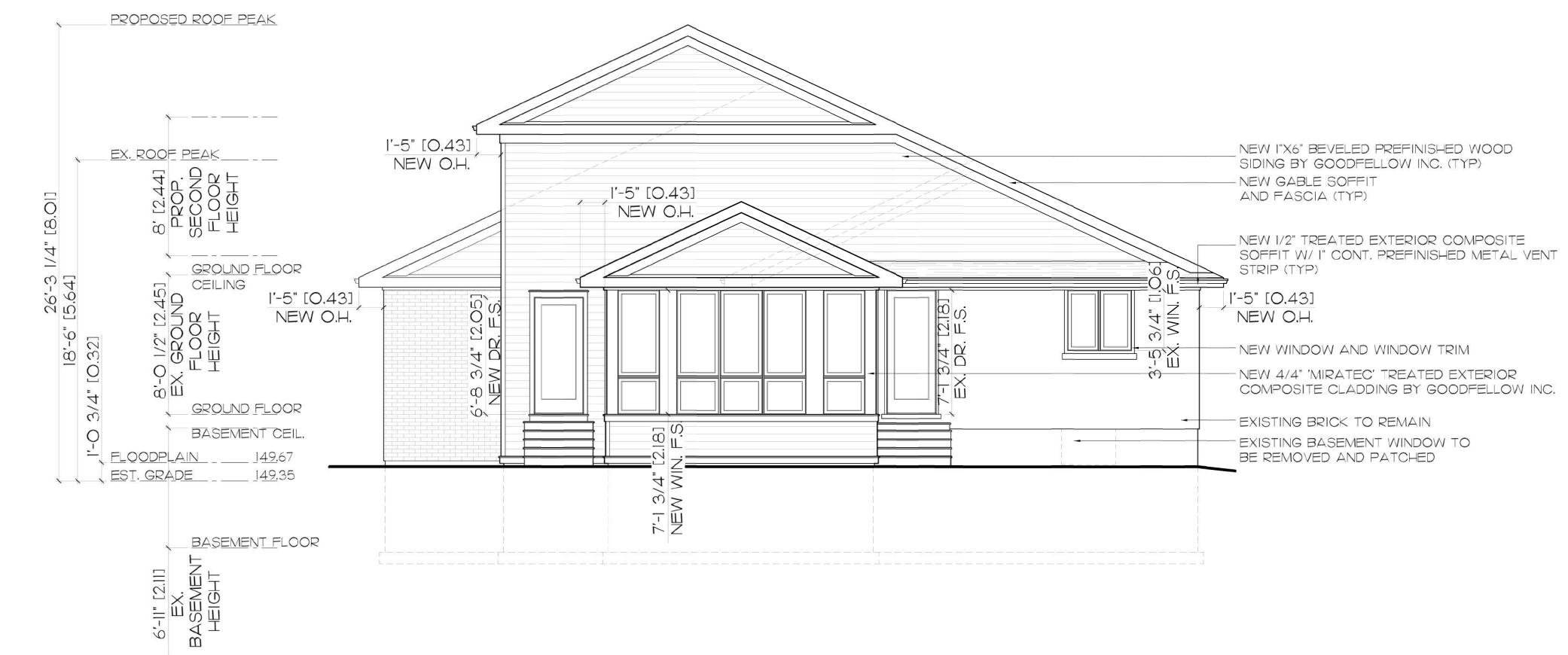
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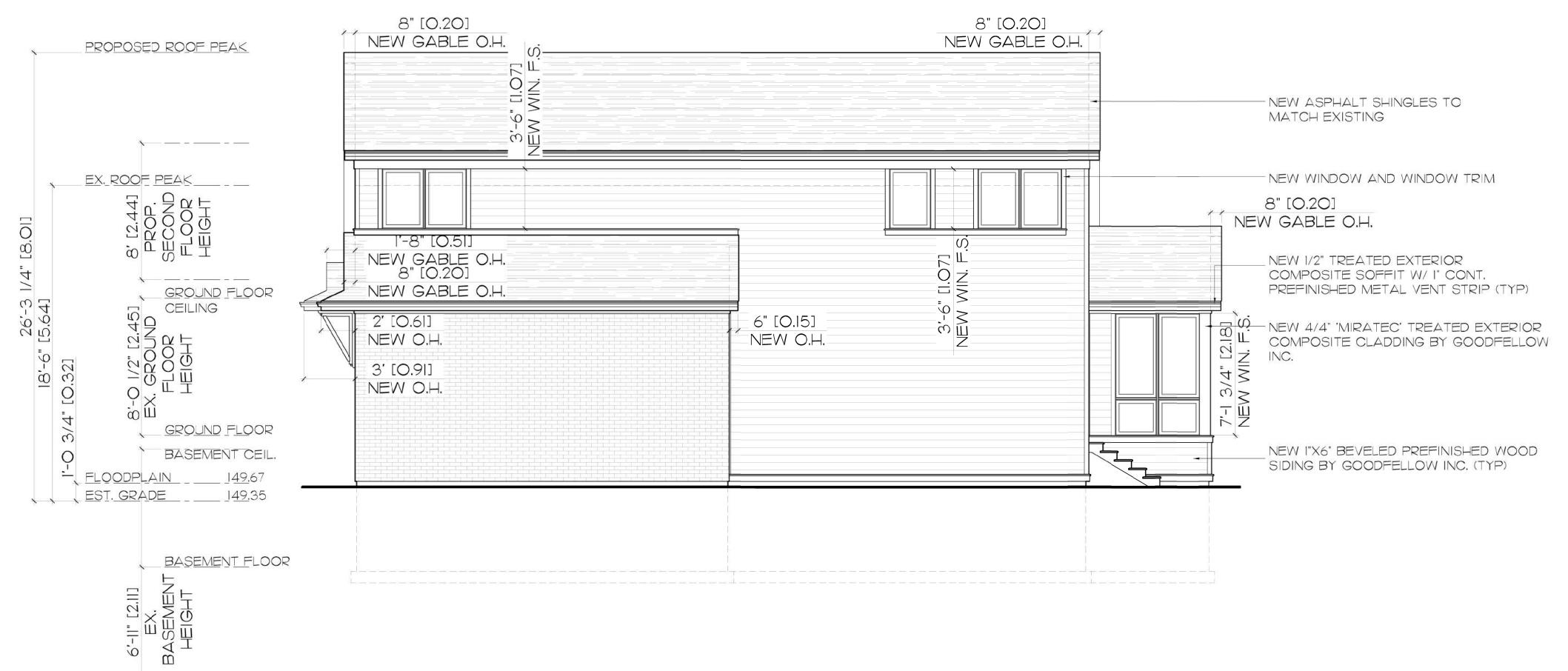
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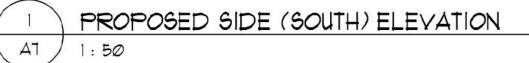




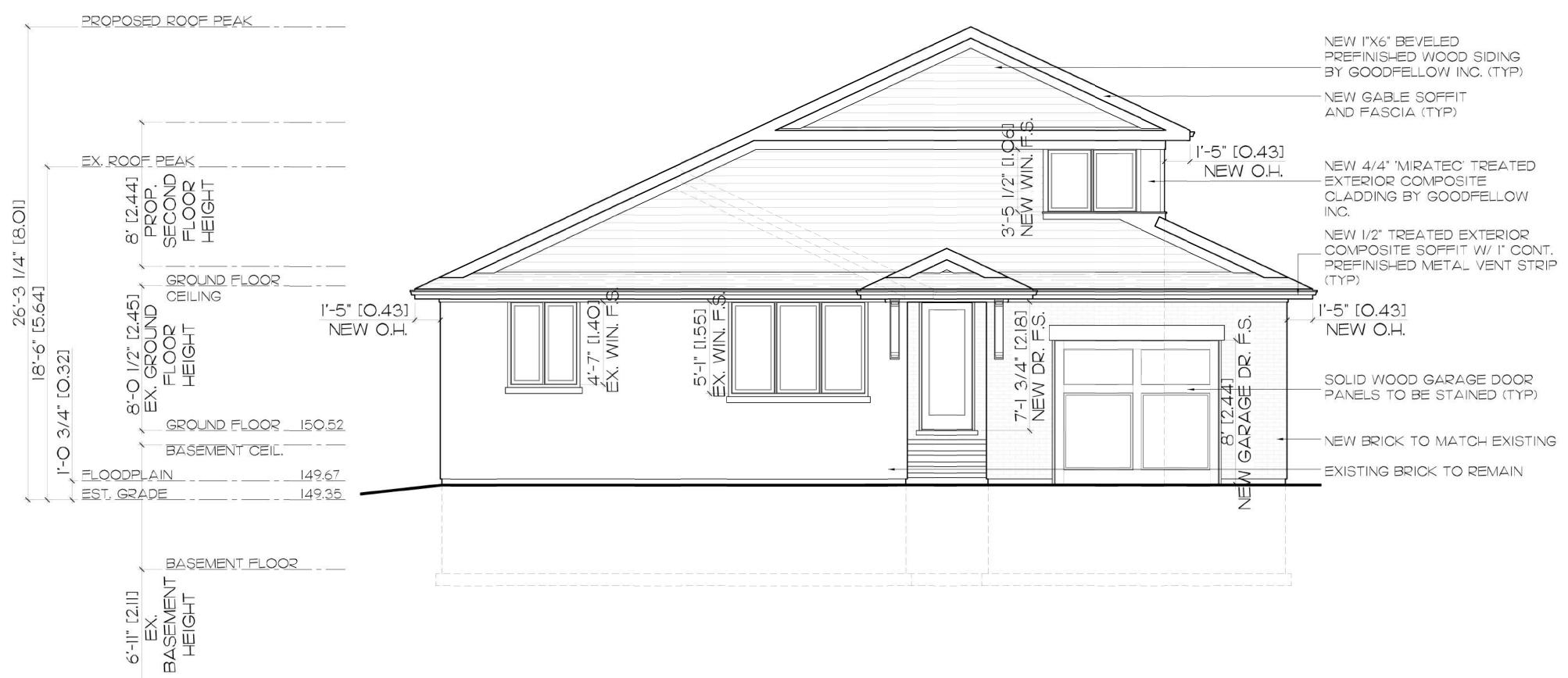


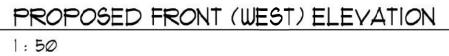
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Committee of Adjustment 2 Civic Centre Crt, 4th Floor Toronto, ON M9C 5A3 T:416-394-8060 F:416-394-6042

Thursday, April 6, 2017

# **NOTICE OF DECISION** MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0114/17EYK
Owner(s):	MARINO SCOPELLETI
Agent:	KW DESIGN
Property Address:	11 IVY LEA CRES
Legal Description:	PLAN 4431 PT LOT 51 RR

Zoning Ward: Heritage: Community: RD & R1 Etobicoke-Lakeshore (05) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

# PURPOSE OF THE APPLICATION:

To construct a second storey additon above the existing dwelling.

# **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 900.3.10.(42)(A)(i), By-law 569-2013 & Section 1(a), By-law 1993-109 The maximum permitted gross floor area is 118 m<sup>2</sup> plus 25% of the lot area (331.1 m<sup>2</sup>). The altered dwelling will have a gross floor area of 118 m<sup>2</sup> plus 30% of the lot area (373.9 m<sup>2</sup>).
- Section 10.20.40.70.(1), By-law 569-2013
   The minimum required front yard setback is 9.46 m.
   The altered dwelling will be located 7.92 m from the front lot line.
- 3. Section 320-42.1(c)(2)

The minimum required aggregate side yard setback is 4.67 m. The altered dwelling will have an aggregate side yard setback of 4.47 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

### The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

### A0114/17EYK

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at <a href="http://www.toronto.ca/trees/pdfs/contractor\_services\_agreement\_information.pdf">www.toronto.ca/trees/pdfs/contractor\_services\_agreement\_information.pdf</a>.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

2. Submission of a complete application for permit to injure or destroy privately owned trees.

# SIGNATURE PAGE

File Number:A0114/17EYKOwner:MARINO SCOPELLETIAgent:KW DESIGNProperty Address:11 IVY LEA CRESLegal Description:PLAN 4431 PT LOT 51 RR

Zoning Ward: Heritage: Community: RD & R1 Etobicoke-Lakeshore (05) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at <a href="https://www.omb.gov.on.ca">www.omb.gov.on.ca</a>.



Committee of Adjustment 2 Civic Centre Crt, 4th Floor Toronto, ON M9C 5A3 T:416-394-8060 F:416-394-6042

Thursday, April 6, 2017

# **NOTICE OF DECISION** MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0118/17EYK
Owner(s):	PRACHI SONEJI
	NEILESH SONEJI
Agent:	GRAHAM BARRETT
Property Address:	63 LELAND AVE
Legal Description:	PLAN M997 LOT 28

Zoning Ward: Heritage: Community: RD & R2 Etobicoke-Lakeshore (05)

Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

# PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

# **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59.C. The maximum permitted lot coverage is 33% of the lot area (204.7 m<sup>2</sup>). Section 10.20.30.40.(1)(A), By-law 569-2013 The proposed dwelling will have a lot coverage of 39% of the lot area (240.46 m<sup>2</sup>). Section 320-59.C The proposed dwelling will have a lot coverage of 43% of the lot area (271.48 m<sup>2</sup>).
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 320-42.1.A.(1) The maximum permitted floor space index of 0.45 times the lot area (279.14 m<sup>2</sup>). The proposed dwelling will have a floor space index of 0.55 times the lot area (342.43 m<sup>2</sup>).
- Section 320-42.1.C.(3) The minimum required aggregate side yard setback is 3.66 m. The proposed dwelling will have an aggregate side yard setback of 2.8 m.
- Section 320-42.1.B.(2) The maximum permitted soffit height is 6.5 m. The proposed dwelling will have a soffit height of 6.99 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

# The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
- 2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

# SIGNATURE PAGE

File Number:A0118/17EYKOwner:PRACHI SONEJINEILESH SONEJIAgent:GRAHAM BARRETTProperty Address:63 LELAND AVELegal Description:PLAN M997 LOT 28

Zoning Ward: RD & R2 Etobicoke-Lakeshore (05)

Heritage: Community: Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at <a href="https://www.omb.gov.on.ca">www.omb.gov.on.ca</a>.

63 Leland Hvenue



Zoning Certificate Review

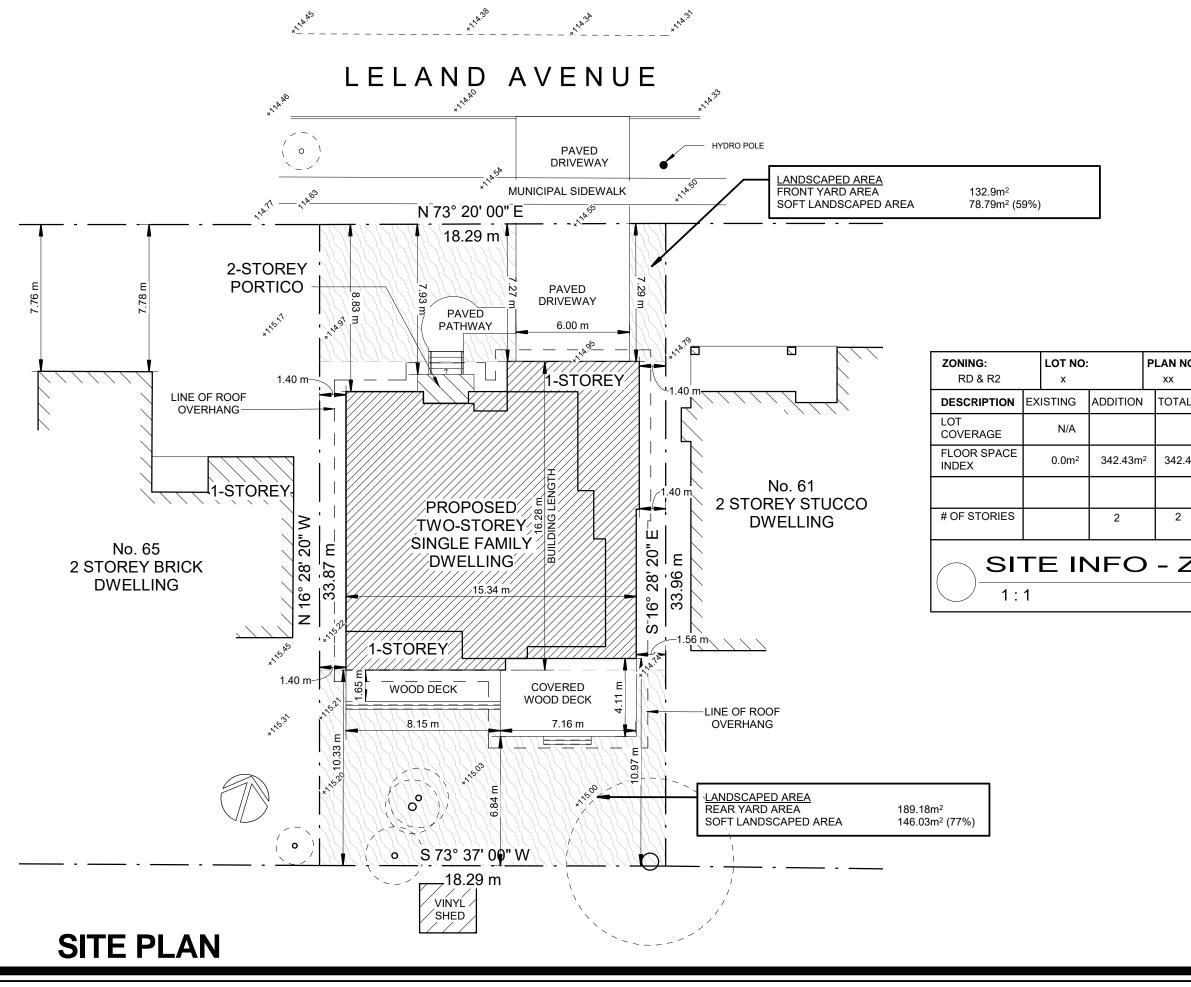
# TITLE SHEET

SINGLE FAMILY RESIDENCE 63 Leland Ave, Toronto

# FINE LINES DESIGN

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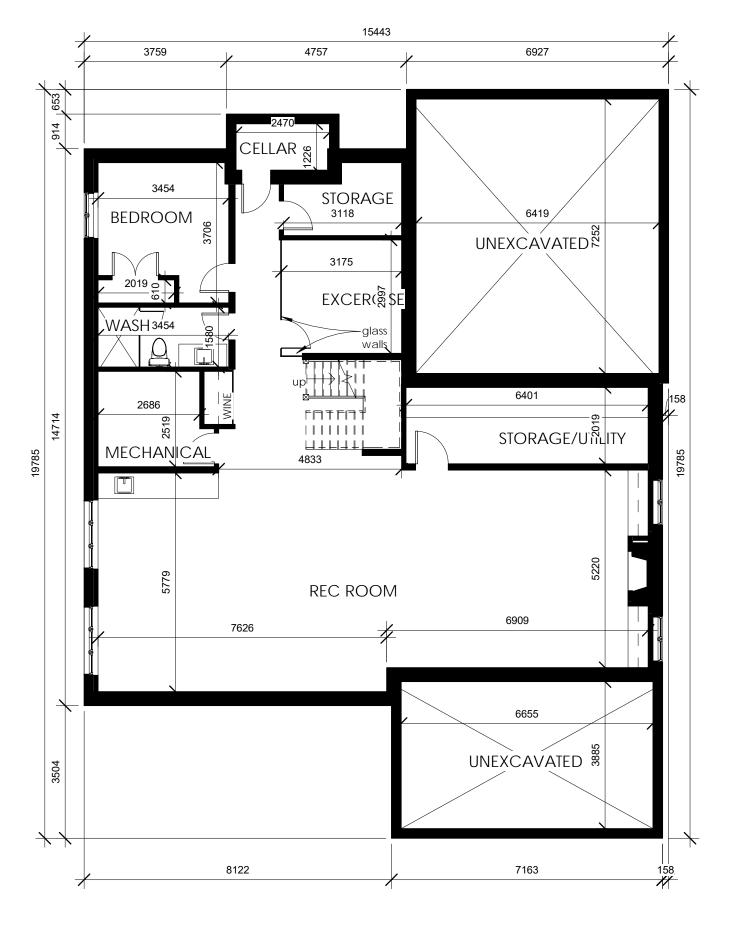
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				SIDE YARD (WEST)			1.40m
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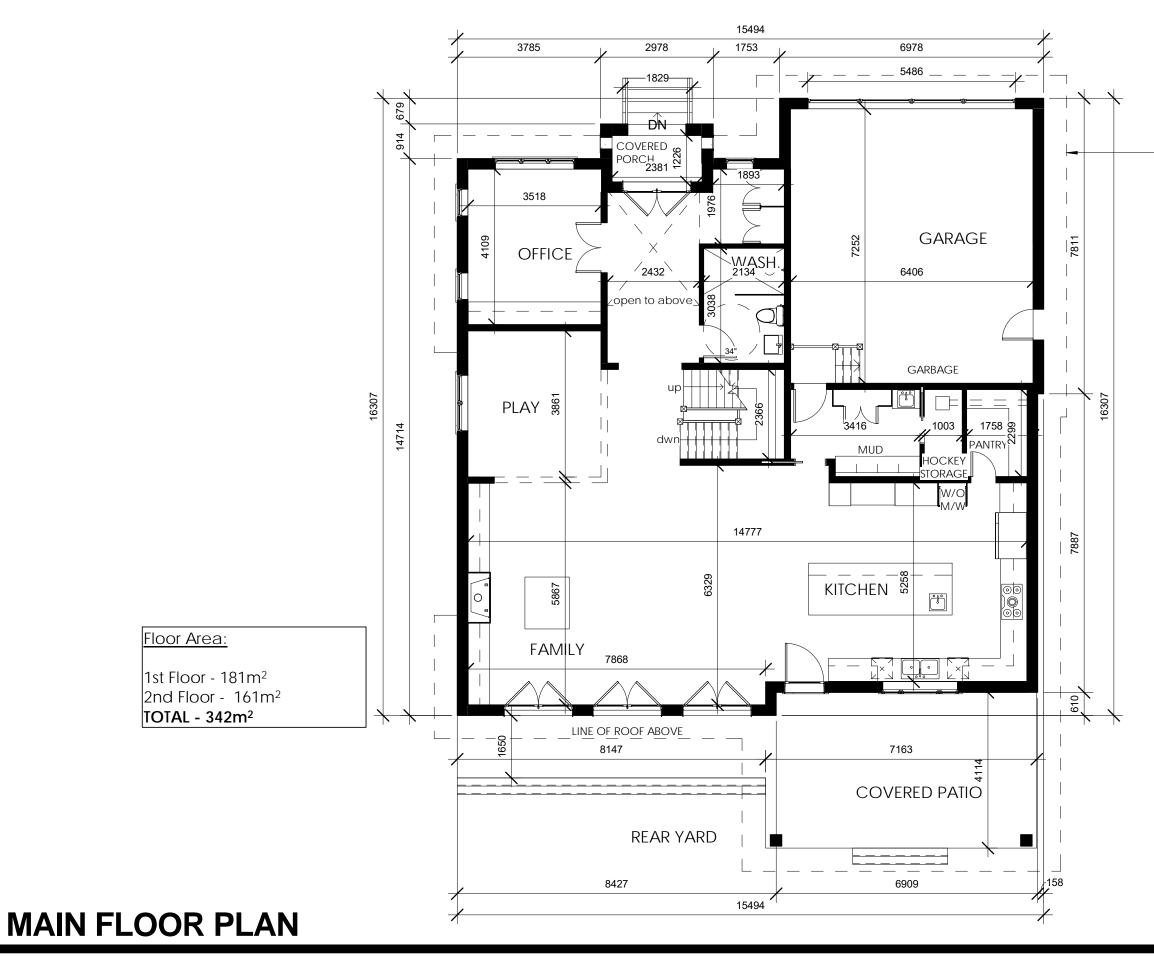
# **BASEMENT PLAN**

SINGLE FAMILY RESIDENCE 63 Leland Ave, Toronto

# FINE LINES DESIGN

Scale: 1:100

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SINGLE FAMILY RESIDENCE

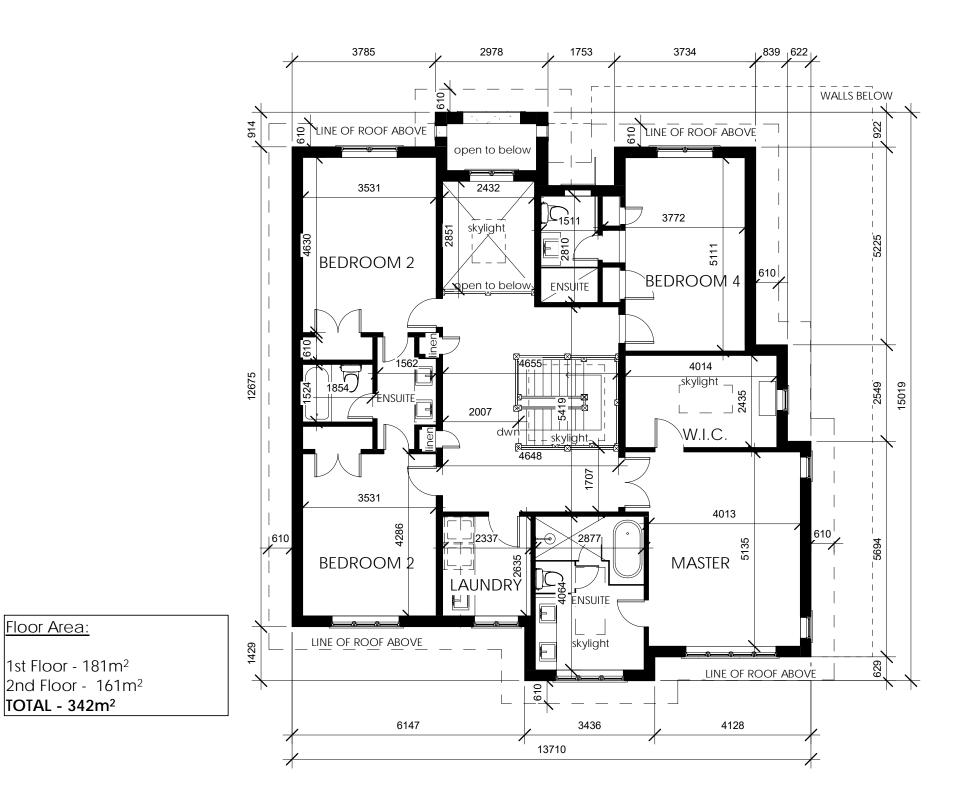
63 Leland Ave, Toronto

# FINE LINES DESIGN

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-LINE OF ROOF ABOVE



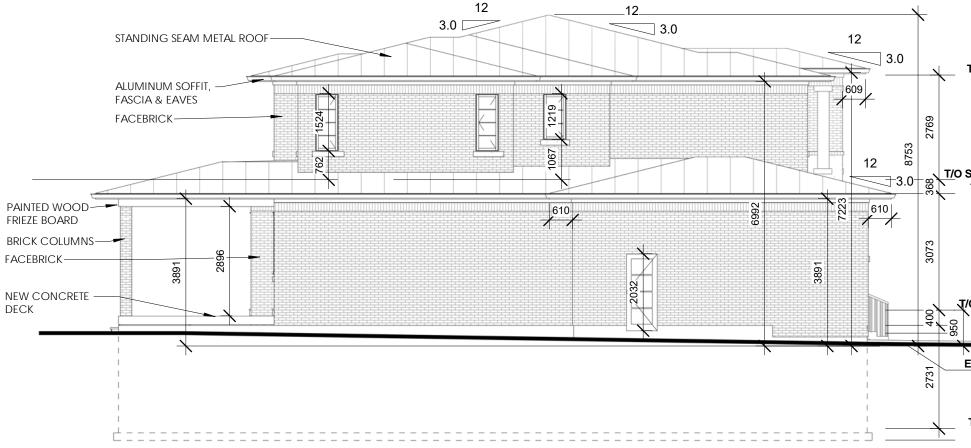
# 2nd FLOOR PLAN

SINGLE FAMILY RESIDENCE 63 Leland Ave, Toronto

# FINE LINES DESIGN

Scale: 1:100

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# **EAST ELEVATION**

SINGLE FAMILY RESIDENCE 63 Leland Ave, Toronto

# FINE LINES DESIGN

Scale: 1:100

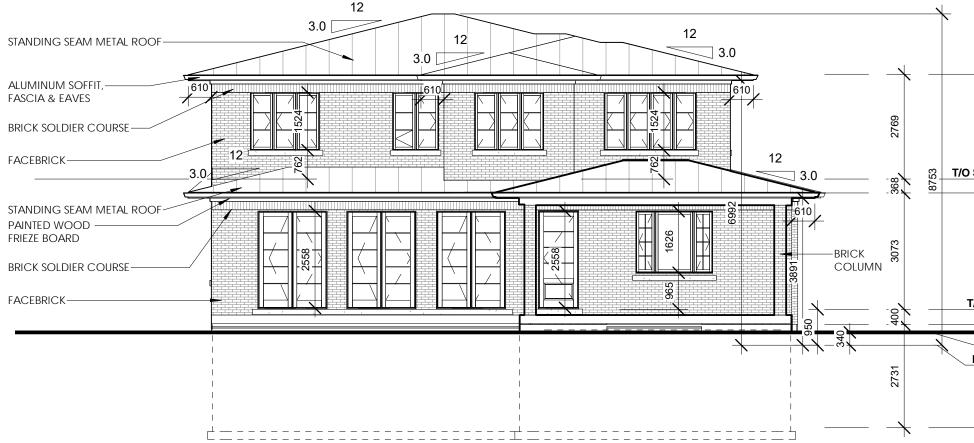
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T/O BASEMENT SLAB U/S FOOTING 112.39

T/O FDN WALL GRADE AT HOUSE ESTABLISHED GRADE (114.88)

T/O FIRST FLR SUBFLR 115.83

T/O WALL 2nd FLOOR



# SOUTH ELEVATION

SINGLE FAMILY RESIDENCE 63 Leland Ave, Toronto

# FINE LINES DESIGN

Scale: 1:100

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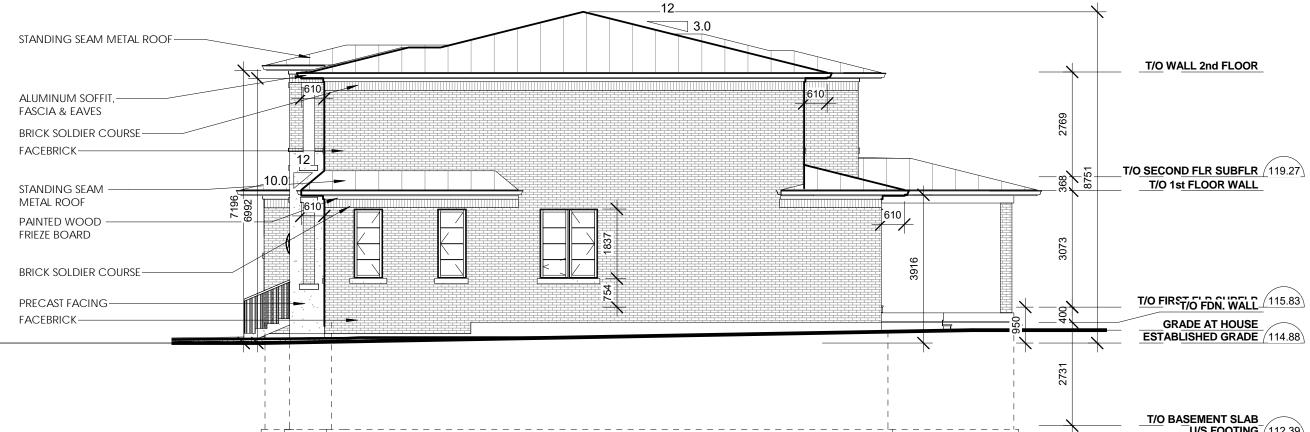
T/O BASEMENT SLAB

GRADE AT HOUSE ESTABLISHED GRADE (114.88)

T/O FIRST FLR SUBFLR 115.83 T/O FDN. WALL

Image: Second FLR SUBFLR119.27Image: Second FLR SUBFLR119.27Image: Second FLR SubFLR119.27

T/O WALL 2nd FLOOR



## **WEST ELEVATION**

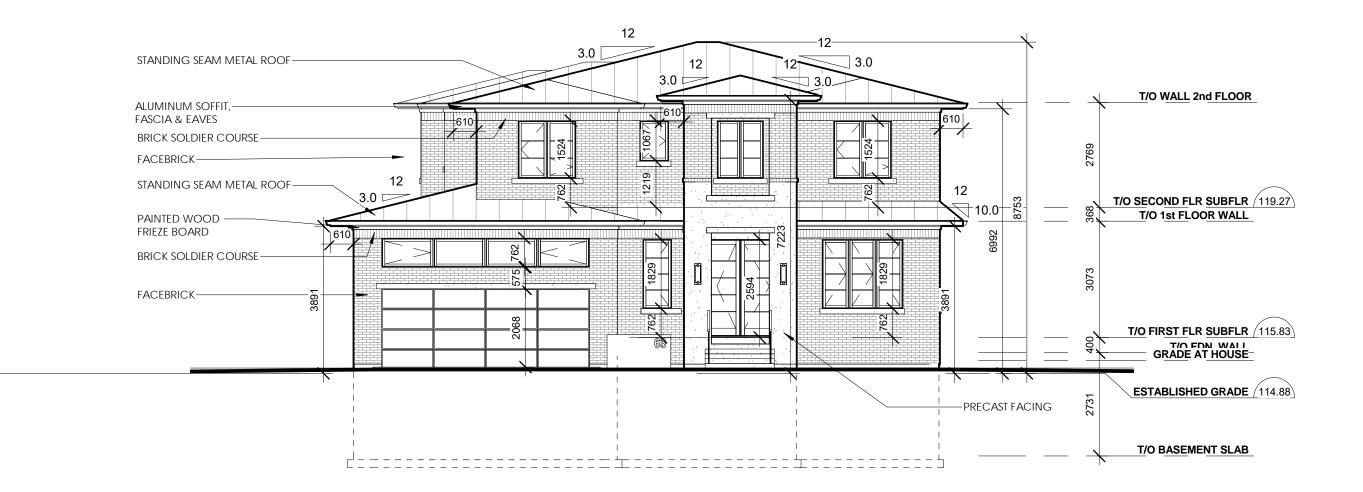
SINGLE FAMILY RESIDENCE 63 Leland Ave, Toronto

# FINE LINES DESIGN

Scale: 1:100

03/02/2017 5:27:47 PM





# NORTH ELEVATION

SINGLE FAMILY RESIDENCE 63 Leland Ave, Toronto

# FINE LINES DESIGN

Scale: 1:100

03/02/2017 5:27:47 PM



Thursday, April 6, 2017

## **NOTICE OF DECISION** MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0123/17EYK
Owner(s):	JOHN STRINGHAM
Agent:	URBAN BLUEPRINT
Property Address:	63 LAKE CRES
Legal Description:	PLAN M76 PT LOT 338

Zoning Ward: Heritage: Community: RM & R2 Etobicoke-Lakeshore (06) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

#### PURPOSE OF THE APPLICATION:

To construct a second storey additon above the existing dwelling.

#### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Section 900.6.10.(22)(D), By-law 569-2013 and Section 340-30.A.(4) The minimum required side yard setback is 0.9 m. The altered dwelling will be located 0.41 m from the west side lot line.
- Section 10.5.40.60.(7), By-law 569-2013
  The minimum required side yard setback for eaves is 0.3 m.

  Section 340-16.B
  The minimum required side yard setback for eaves is 0.4 m.
  Section 10.5.40.60.(7), By-law 569-2013 and Section 340-16.B
  The eaves of the altered dwelling will be located 0 m from the west side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

#### The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

File Number:A0123/17EYKOwner:JOHN STRINGHAMAgent:URBAN BLUEPRINTProperty Address:63 LAKE CRESLegal Description:PLAN M76 PT LOT 338

Zoning Ward: Heritage: Community: RM & R2 Etobicoke-Lakeshore (06) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

## **NOTICE OF DECISION** MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0124/17EYK	Zoning	RM & R3
Owner(s):	MANUEL MORGADO	Ward:	Etobicoke-Lakeshore (06)
Agent:	ARBEN SHPATI	Heritage:	Not Applicable
Property Address:	284 GAMMA ST	Community:	
Legal Description:	PLAN 2225 PT LOT 252 PT LOT	253	

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

#### PURPOSE OF THE APPLICATION:

To construct a two-storey south side addition which will include an attached garage and a second storey addition above the existing dwelling.

#### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Section 1.(a), By-law 1979-67 The maximum permitted gross floor area is 0.4 times the lot area (178.4 m<sup>2</sup>). The altered dwelling will have a gross floor area of 0.49 times the lot area (217.2 m<sup>2</sup>).
- 2. Section 10.80.40.70.(1), By-law 569-2013 & Section 320-40.C. The minimum required front yard setback is 7.77 m. The altered dwelling will be located 7.17 m from the front lot line.
- 3. Section 10.80.40.70.(3), By-law 569-2013 The minimum required side yard setback is 1.2 m. The altered dwelling will be located 0.93 m from the south side lot line.
- 4. Section 320-42.1.C.(1) The minimum required aggregate side yard setback is 2.1 m.
  - The altered dwelling will have an aggregate side yard setback of 1.99 m.
- 5. Section 3, By-law 1979-67 The maximum permitted height to the mid-point of the roof is 7.5 m. The altered dwelling will have a height of 8 m, to the mid-point of the roof.
- 6. Section 10.80.40.10.(2)(B)(ii), By-law 569-2013 The maximum permitted height for a specified pair of main walls is 7 m. The south elevation of the altered dwelling will have a height of 7.32 m.
- Section 200.5.1.10.(2)(A)(ii), By-law 569-2013 & Section 320-18.A.(1)
   The minimum required length of a parking space is 5.6 m.
   The parking space within the proposed attached garage will have a length of 5.58 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

#### The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at <u>www.toronto.ca/trees/pdfs/contractor\_services\_agreement\_information.pdf</u>.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.

File Number: RM & R3 A0124/17EYK Zoning Ward: Owner: MANUEL MORGADO Etobicoke-Lakeshore (06) Heritage: Not Applicable Agent: ARBEN SHPATI Property Address: Community: 284 GAMMA ST Legal Description: PLAN 2225 PT LOT 252 PT LOT 253

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

## **NOTICE OF DECISION** MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:A0125/17EYKOwner(s):FARHAD AGHAIE MIBODYAgent:FARHAD AGHAIE MIBODYProperty Address:**17 STANLEY AVE**Legal Description:PLAN M77 PT LOT 308

Zoning Ward: Heritage: Community: RM & R Etobicoke-Lakeshore (06) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

#### PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing the following: a one-storey rear addition with a rear yard and north side yard deck, a complete second storey addition with a rear balcony, and a partial third floor addition with a roof top deck.

#### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 10.80.40.40.(1)(A), By-law 569-2013 and Section 340-30.(L) The maximum permitted floor space index is 0.6 times the area of the lot (257.5 m<sup>2</sup>). Section 10.80.40.40.(1)(A), By-law 569-2013 The altered dwelling will have a floor space index of 0.82 times the area of the lot (351.9 m<sup>2</sup>). Section 340-30.(L) The altered dwelling will have a floor space index of 0.87 times the area of the lot (372.5 m<sup>2</sup>).
- Section 900.6.10.(22)(D), By-law 569-2013 and Section 340-30.(A)(4) The minimum required side yard setback is 0.9 m. The altered dwelling will be located 0.15 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

#### A0125/17EYK

#### The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- 2, The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

File Number:A0125/17EYKOwner:FARHAD AGHAIE MIBODYAgent:FARHAD AGHAIE MIBODYProperty Address:**17 STANLEY AVE**Legal Description:PLAN M77 PT LOT 308

Zoning Ward: Heritage: Community: RM & R Etobicoke-Lakeshore (06) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

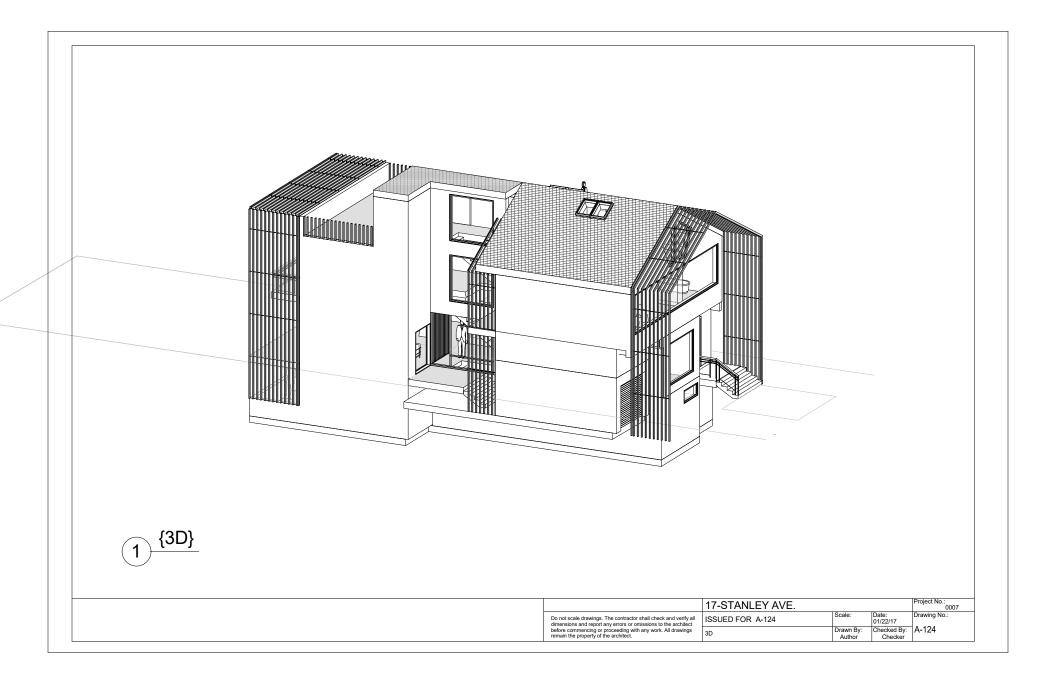
Michael Clark (signed)

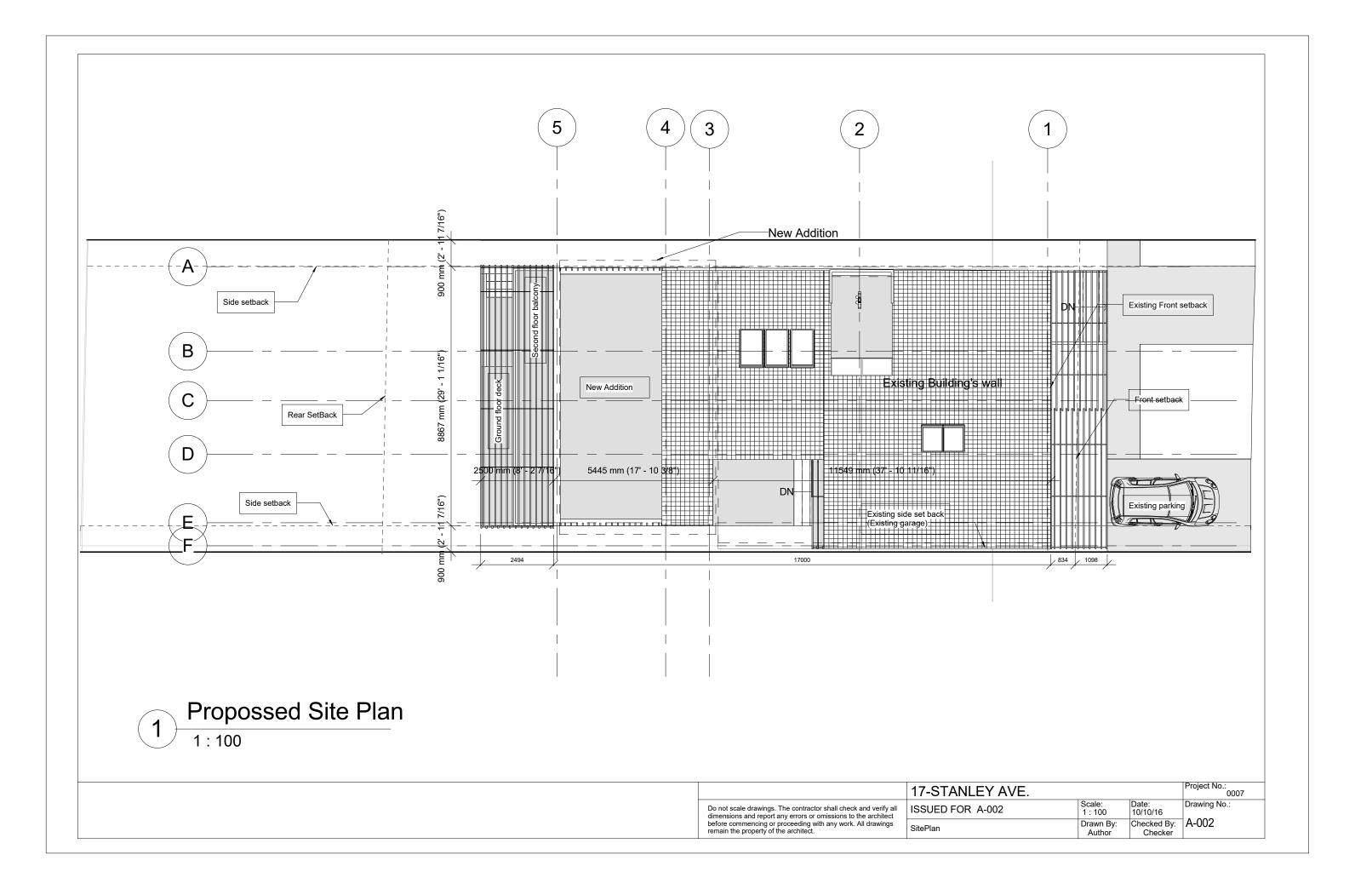
DATE DECISION MAILED ON: Wednesday, April 12, 2017

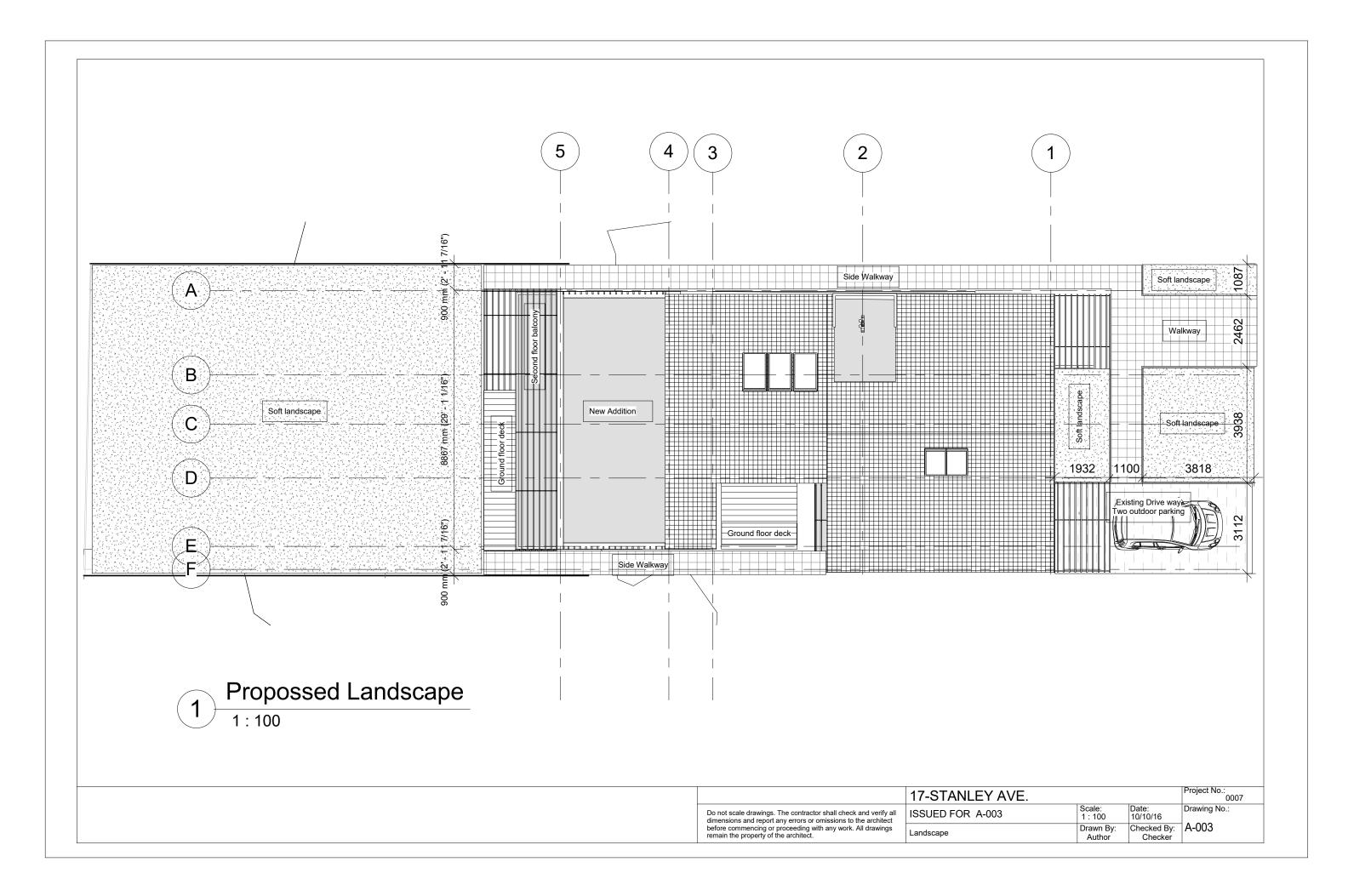
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



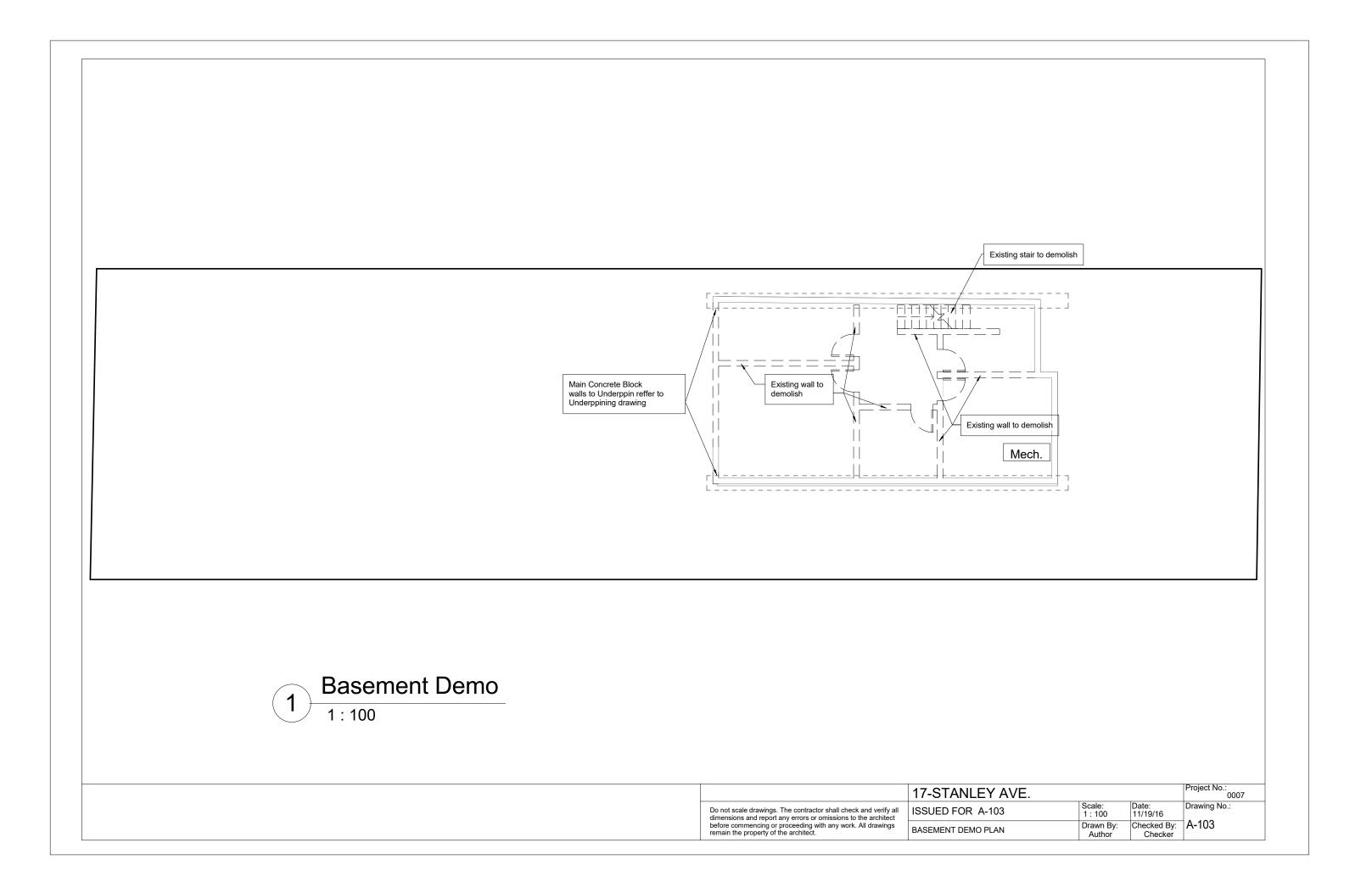


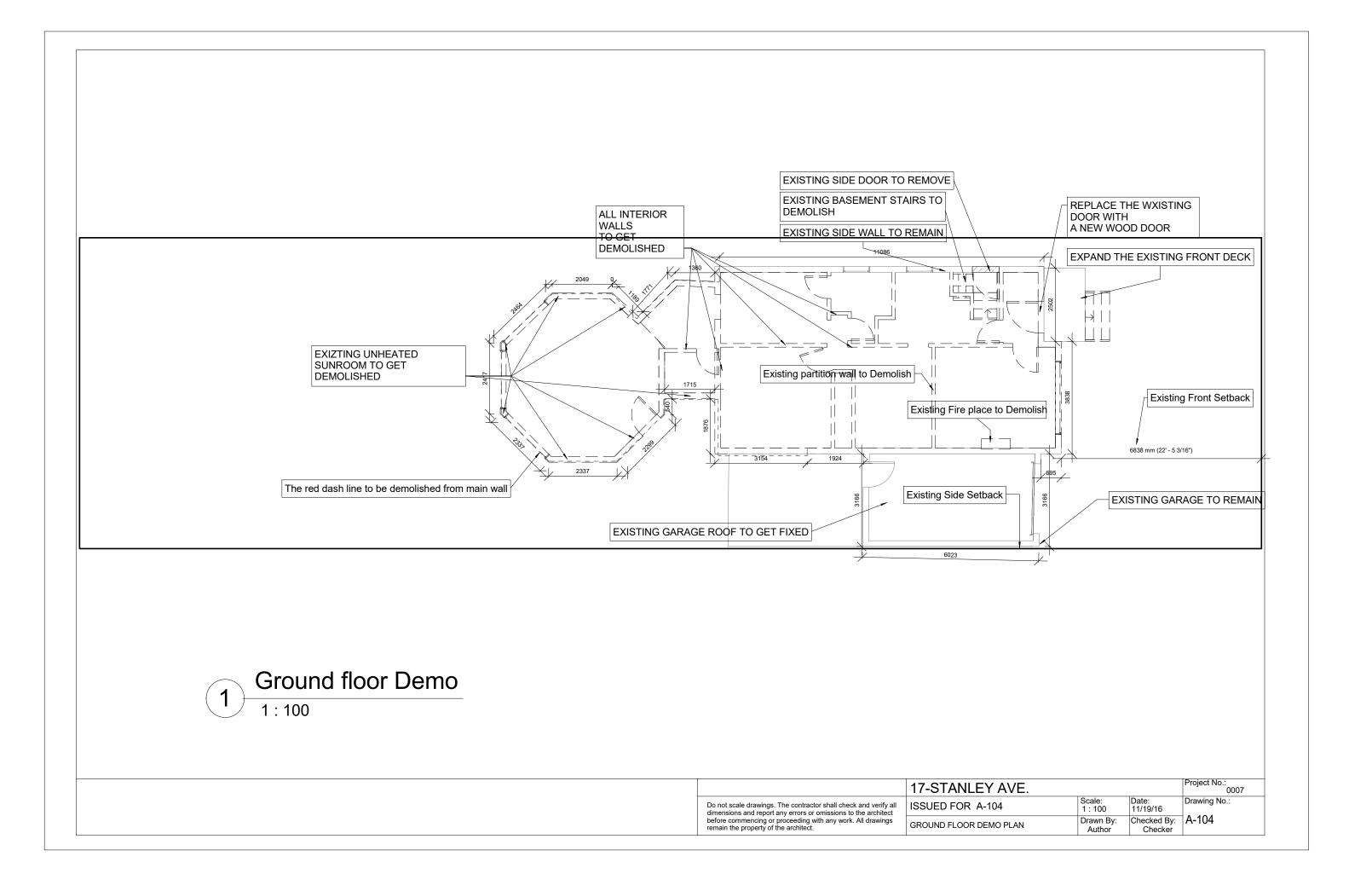


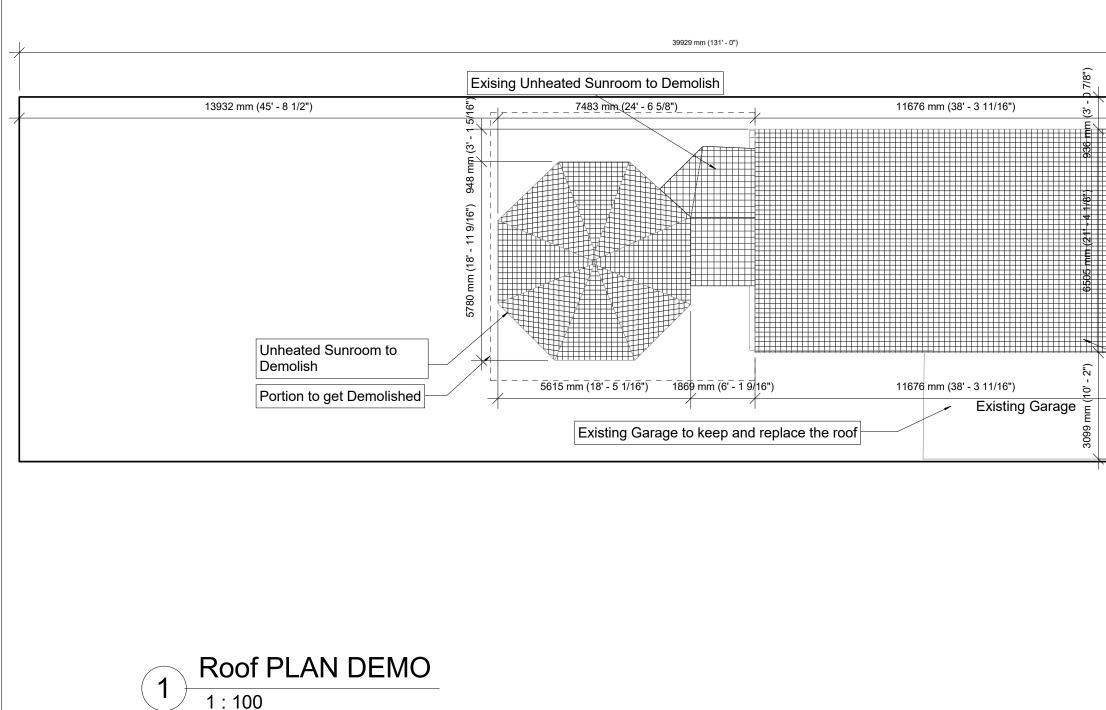
Zoning				Area Schedule (Gross Building)			Area Sched
Key Name	By-law	Design	Comments	Level	Name	Area	Level
	400 0	400 0				404 3	
1- Lot Area	439 m2	439 m2	Lot Size 35' x 135'	Existing First Floor	Ground	121 m²	Basement
2-Front Setback	6	6.82 m	Existing front wall to build		Floor		Existing First Flo
			on	Second Floor	Second	135 m²	Existing First Flo
3- Side Setback	0.9 m	0.9 m	Exception RM 22 D		Floor		Second Floor
4- Rear Setback	10.3 m	14 m		Third Level	Third Floor	35 m²	Second Floor
5- Building Height	9.5 m	9.5 m	Exception RM 22 C			292 m²	Third Level
6- Main walls Height	7 m	7 m					
7- GFA	263.5 m2	292 m2					Third Level
8- d Index	0.6	0.67					
9- Main wall Demolishing percentage	less than 50%	43%	24.4 Linear meter demolishing, refer to ground floor demo plan				
10							

	Area Schedule (Landscape)				
Level	Name	Area	Area Type	Comments	
Ground	Back yard Land Soft Landscape	145 m <sup>2</sup>	Gross Building Area	Back yard is getting bigger due to demolishing the sunroom and soft landscape i	
Ground	Side Soft Landscape	14 m²	Gross Building Area		
Ground	Side Deck	32 m²	Gross Building Area		
Ground	Front Soft Landscape	8 m²	Gross Building Area	Front Landscape is as existing and will stay as is	
Ground	Front Soft Landscape	15 m²	Gross Building Area		
Ground	Front Soft Landscape	4 m²	Gross Building Area		
Ground	Front Deck	6 m²	Gross Building Area		
Ground	Existing Drive way	24 m²	Gross Building Area		
Ground	Existing Landscape	23 m²	Gross Building Area		
Ground	Side Landscape	19 m²	Gross Building Area		

rea Schedu	ule (Gross Bui	lding)	Area Schedule	include Baseme	ent and Bal	cony
evel	Name	Area	Level	Name	Area	а
First Floor	Ground	121 m <sup>2</sup>	Basement	Basement	142 r	m²
	Floor		Existing First Floor	Rear Deck	13 m	n²
loor	Second	135 m²	Existing First Floor	Front Deck	4 m	2
	Floor		Second Floor	Balcony	13 m	n²
el	Third Floor	35 m <sup>2</sup>	Second Floor	Balcony	4 m	2
		292 m²	Third Level	Third Floor Balcony	6 m	2
			Third Level	Roof Top	32 m	n²
andscape	)					]
_andscape	)	Comm	nents			
			nents and soft landscape is o	ver 80%		
igger due t		) the sunroom a		ver 80%		
igger due t	to demolishing	) the sunroom a		ver 80%		
igger due t	to demolishing	) the sunroom a		ver 80%		
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igger due t	to demolishing	) the sunroom a		ver 80%		
igger due t	to demolishing	) the sunroom a		ver 80%		Project No.: 000
bigger due t	to demolishing	the sunroom a	and soft landscape is o	ver 80%	Date: 10/10/16	Project No.: 000 Drawing No.:





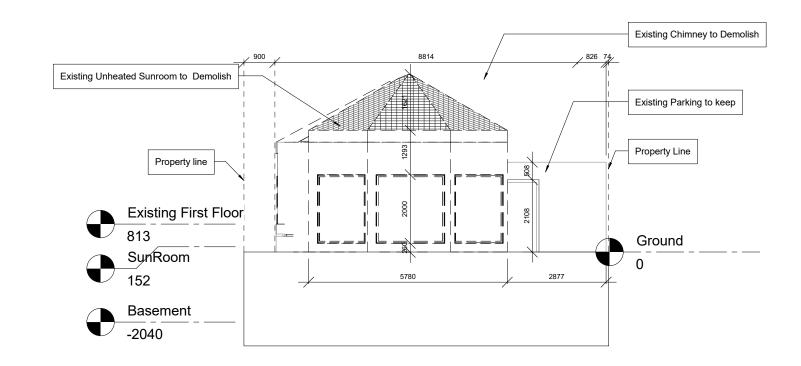


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Do not scale drawings. The contractor shall check and verify all dimensions and report any errors or omissions to the architect before commencing or proceeding with any work. All drawings remain the property of the architect.

ROOF PLAN DEMO

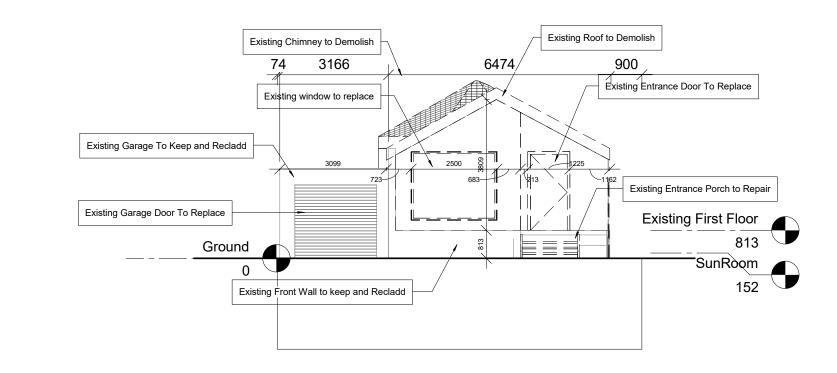
			A	
826 mm	(2' - 8 1/2")	5188 mm	(17' - 0 1/4")	
	5 mm (2 <sup>1</sup> - <del>8 1/2</del>	<del>2")</del>	1	
	683	38 mm (22' - 5	3/16")	
	Exi	sting Roof	to Demolish	
	Fxisti	ng Firepla	ce to Demolish	
1				
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VE.	Scale: 1 : 100	Date: 11/19/16	Project No.: 0007 Drawing No.:	





	17-STANLEY AVE.
Do not scale drawings. The contractor shall check and verify dimensions and report any errors or omissions to the architec	
before commencing or proceeding with any work. All drawings remain the property of the architect.	

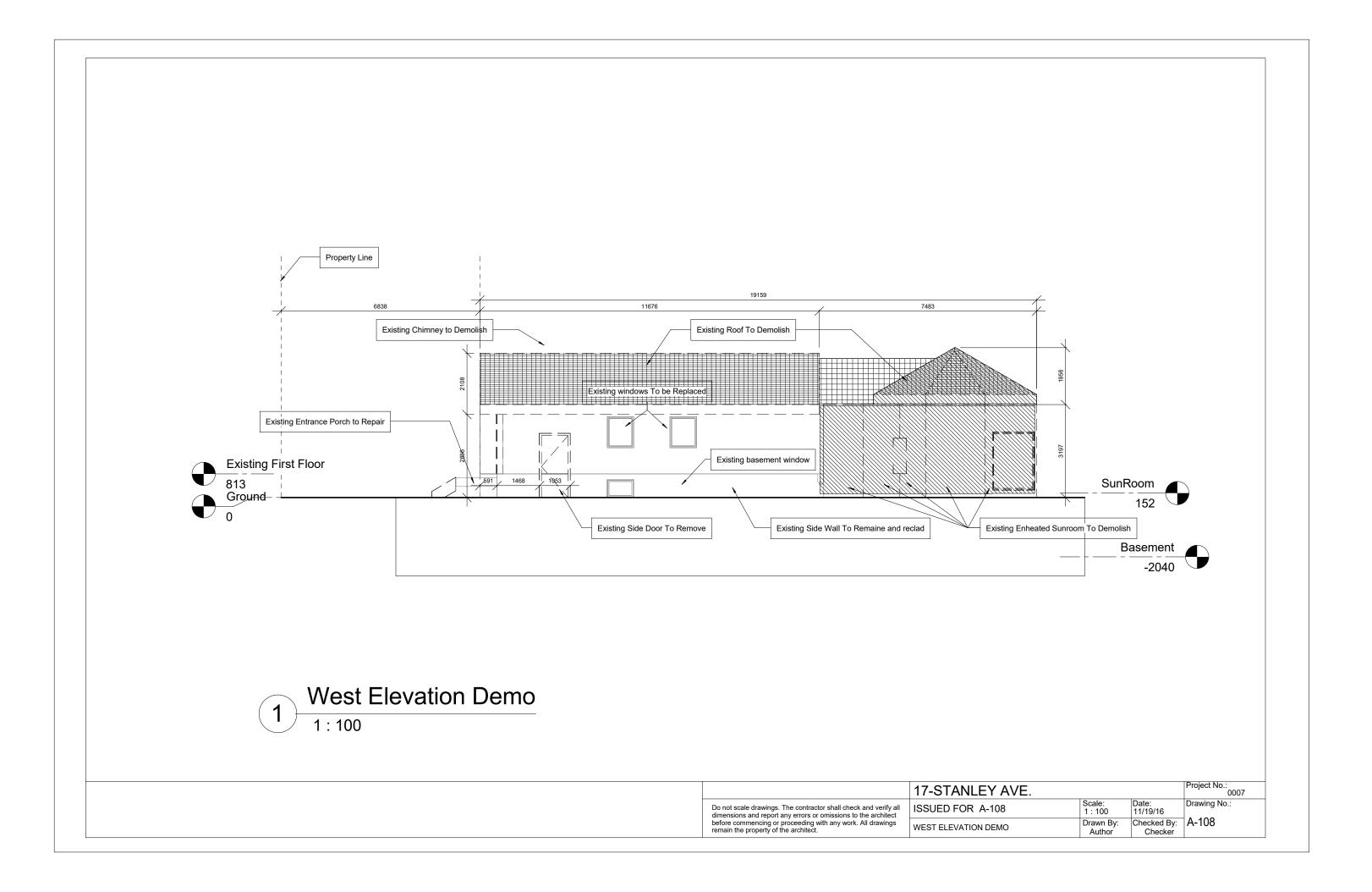
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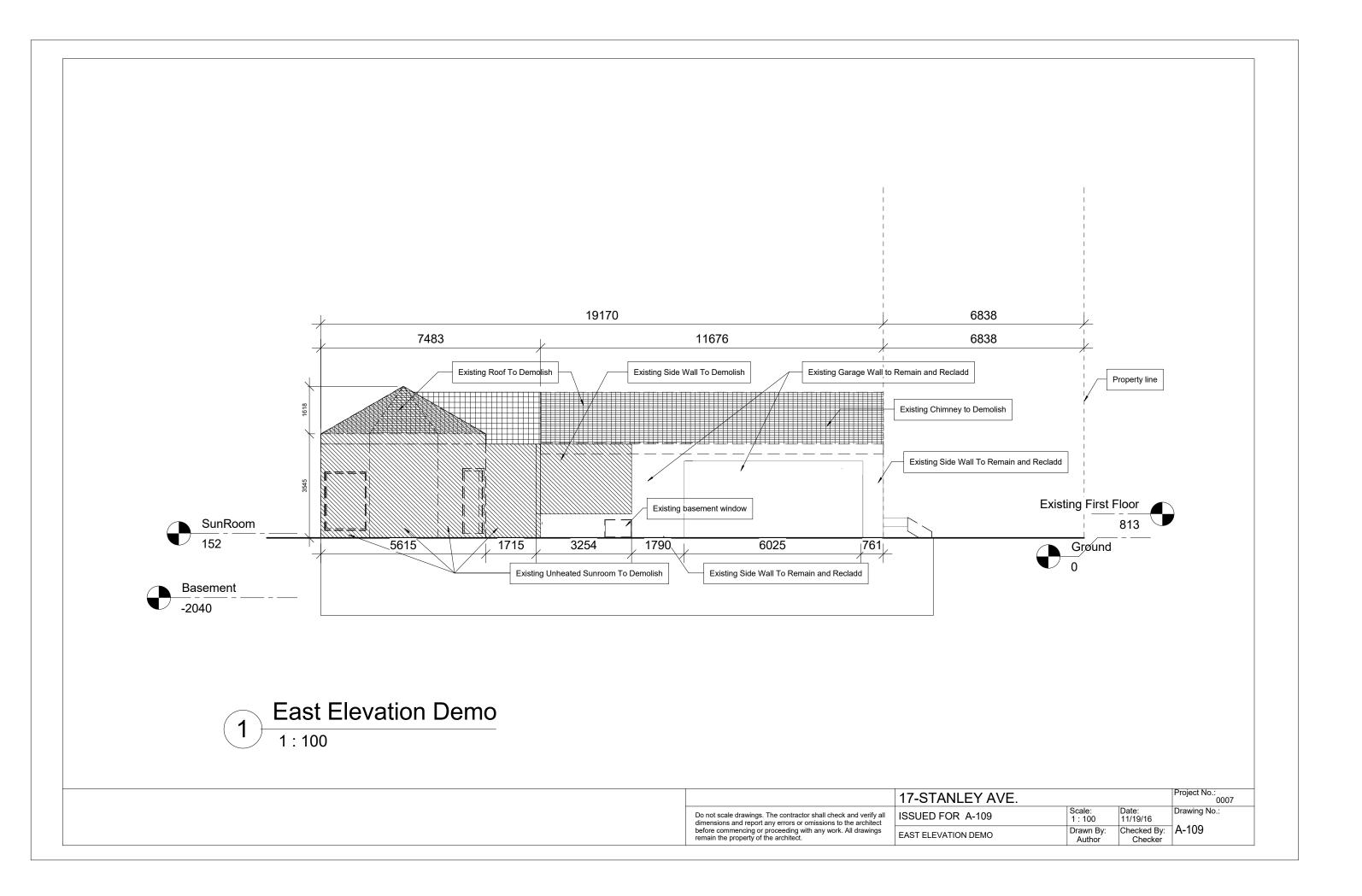


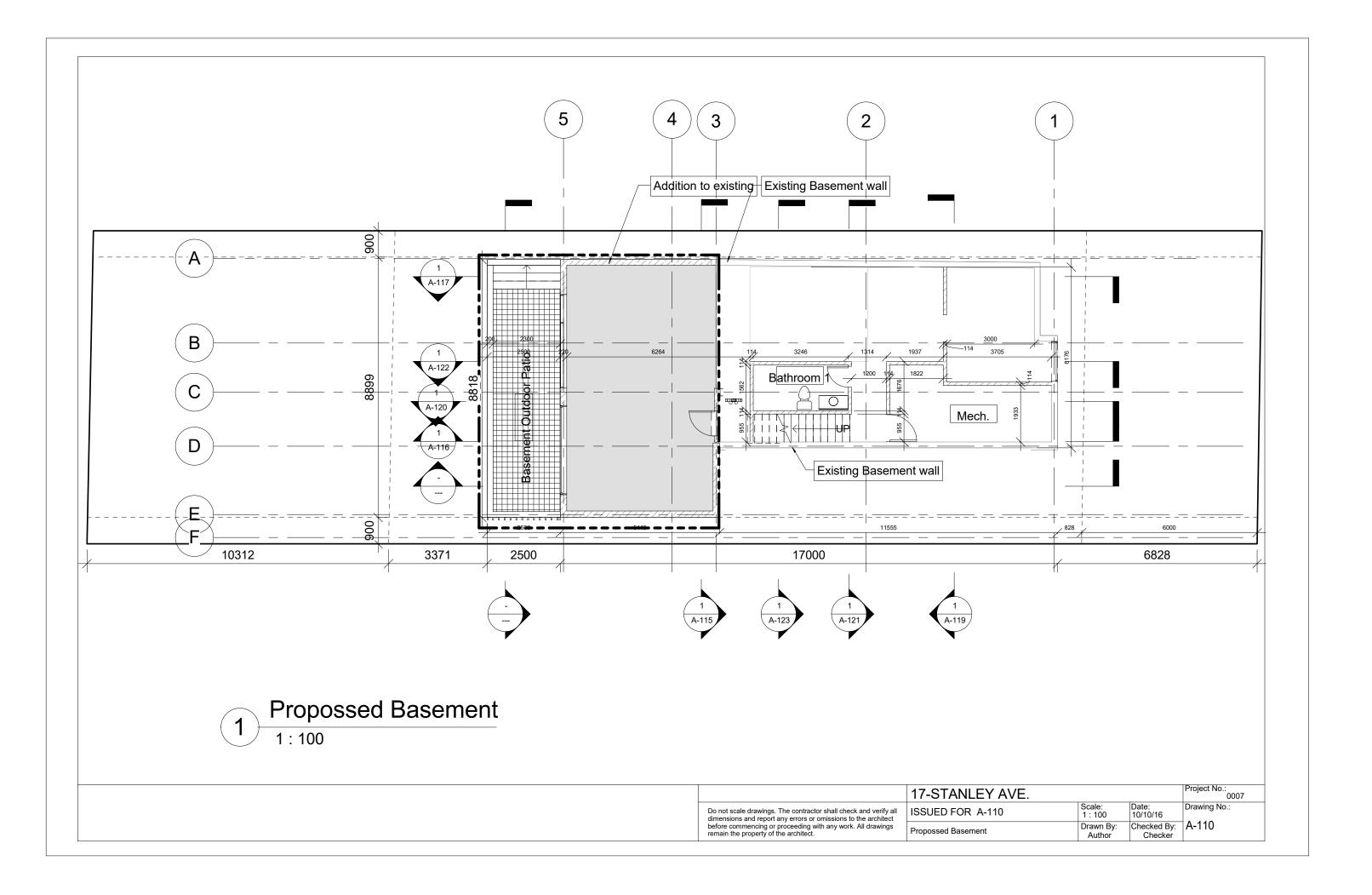


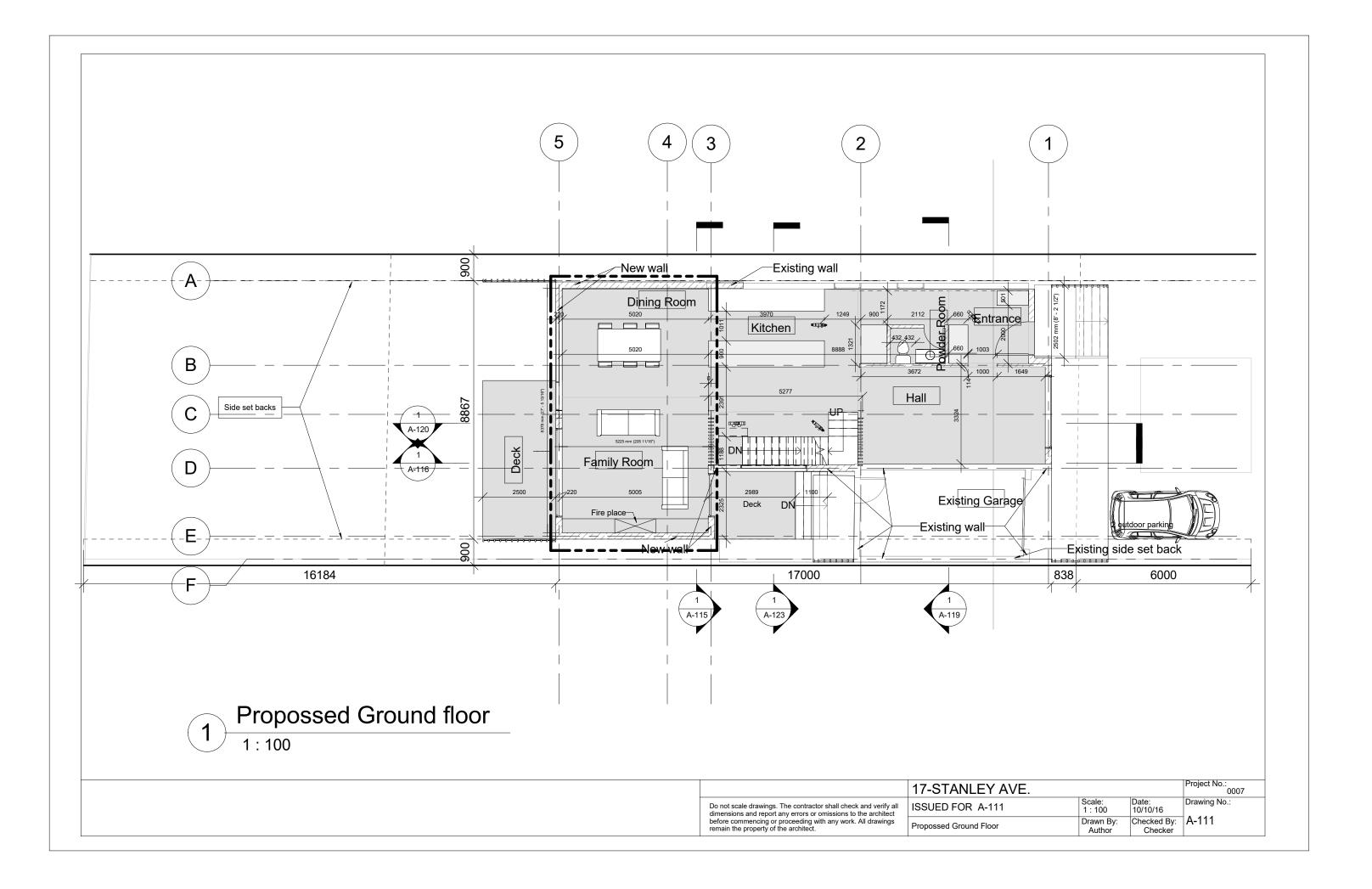
	17-STANLEY A
Do not scale drawings. The contractor shall check and verify all dimensions and report any errors or omissions to the architect	ISSUED FOR A-107
before commencing or proceeding with any work. All drawings remain the property of the architect.	NORTH ELEVATION DEM

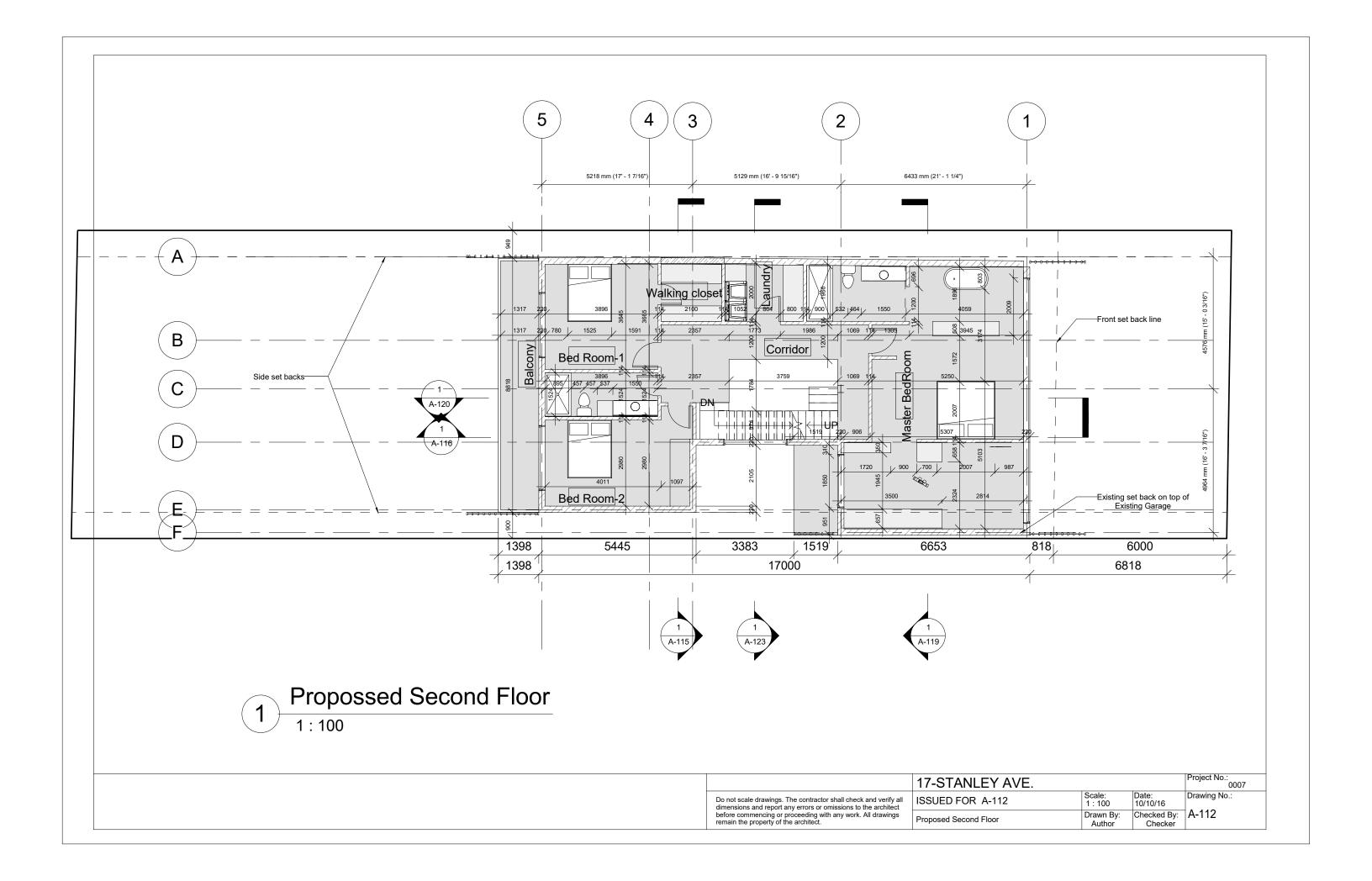
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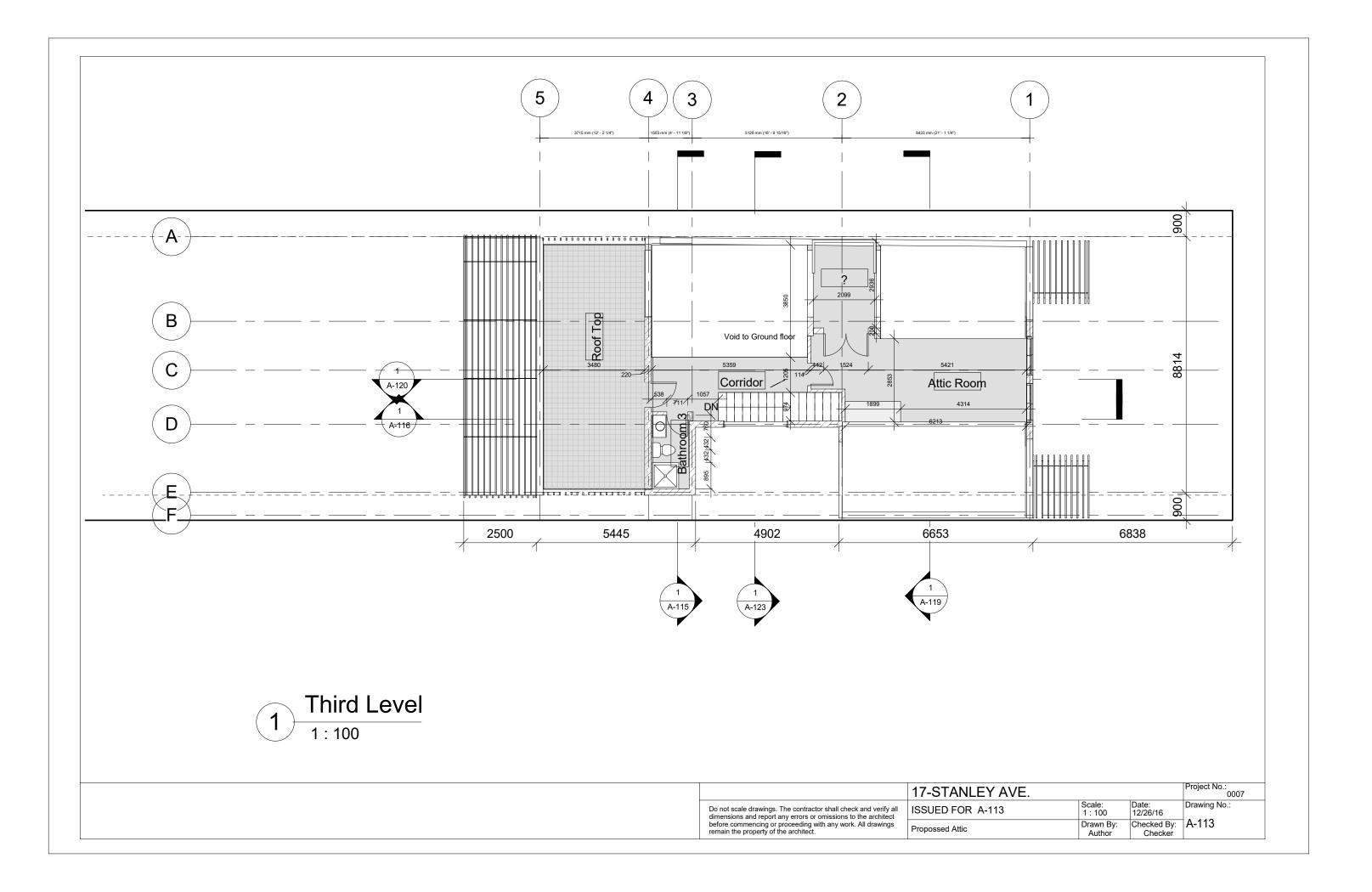


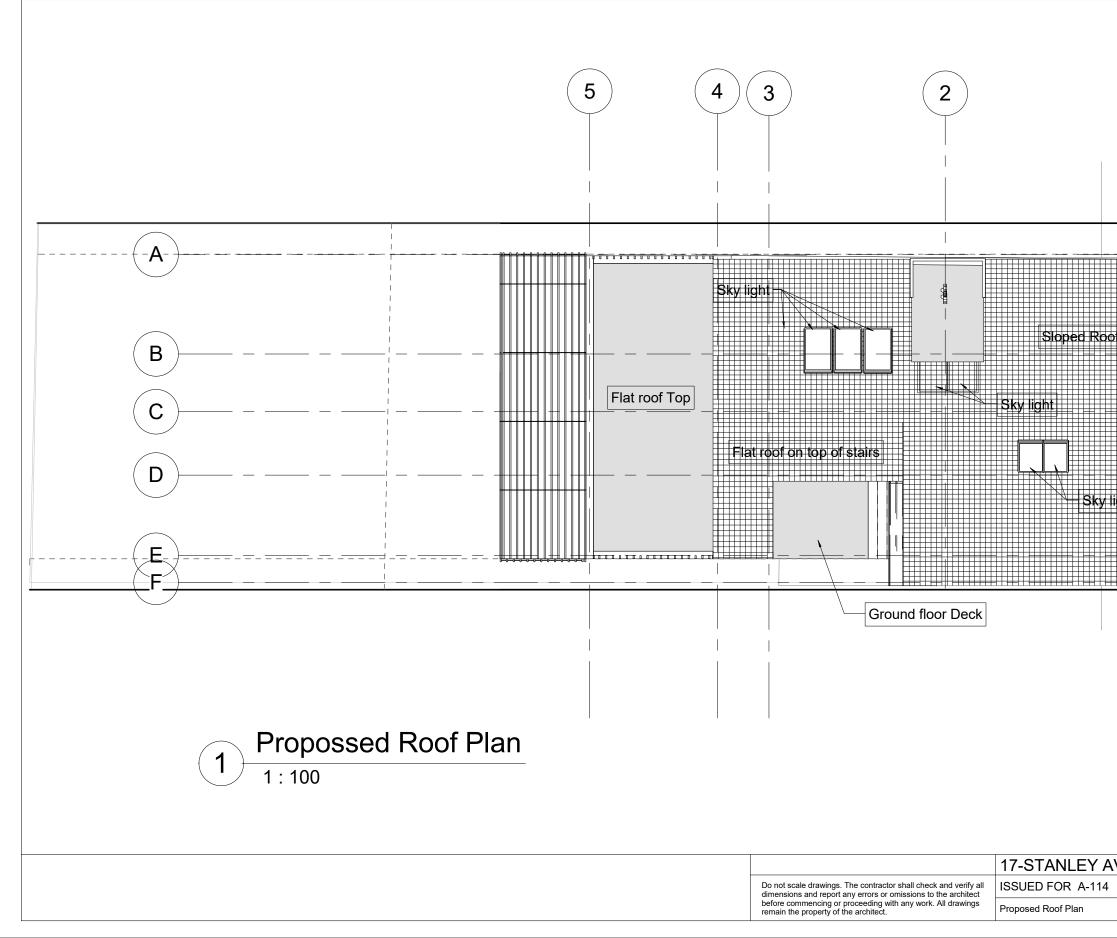




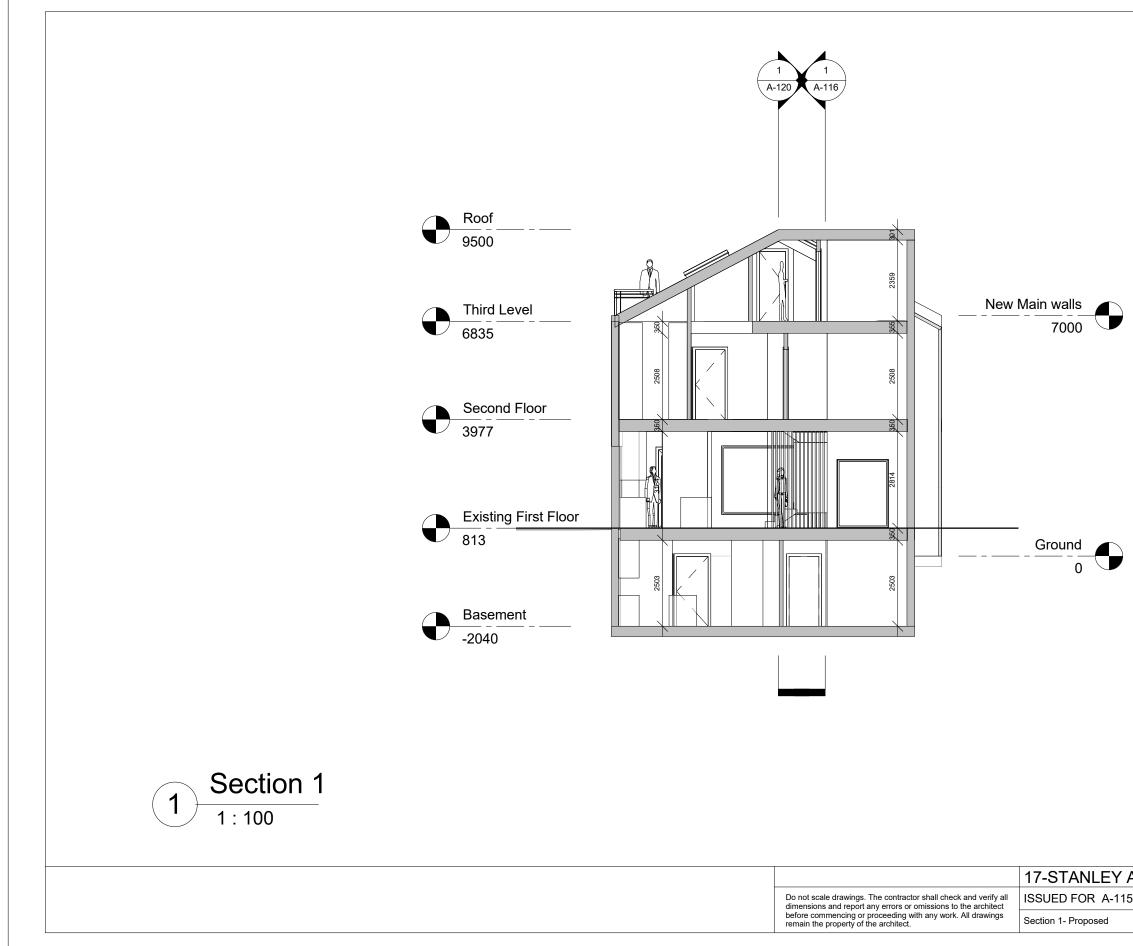




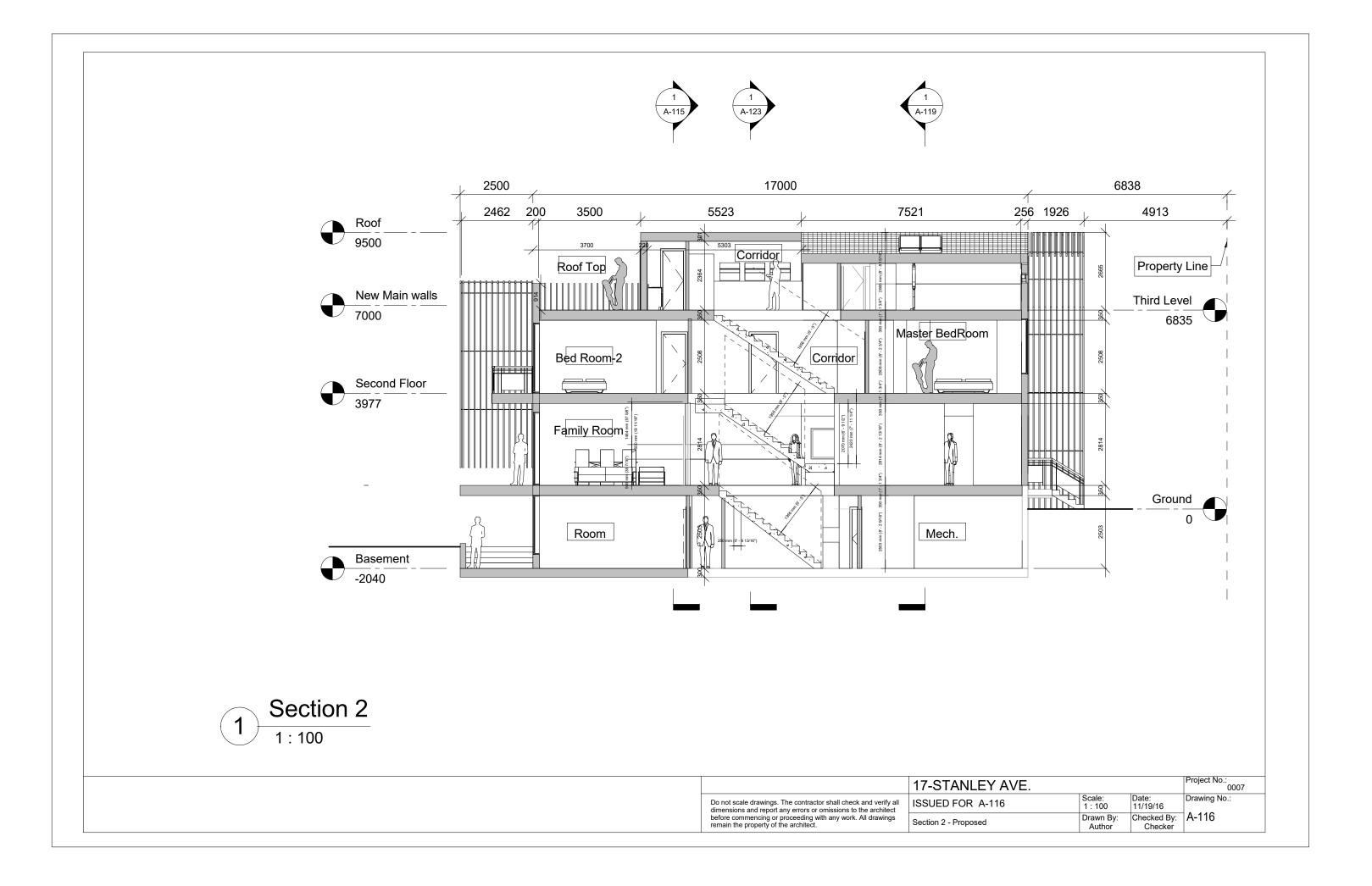


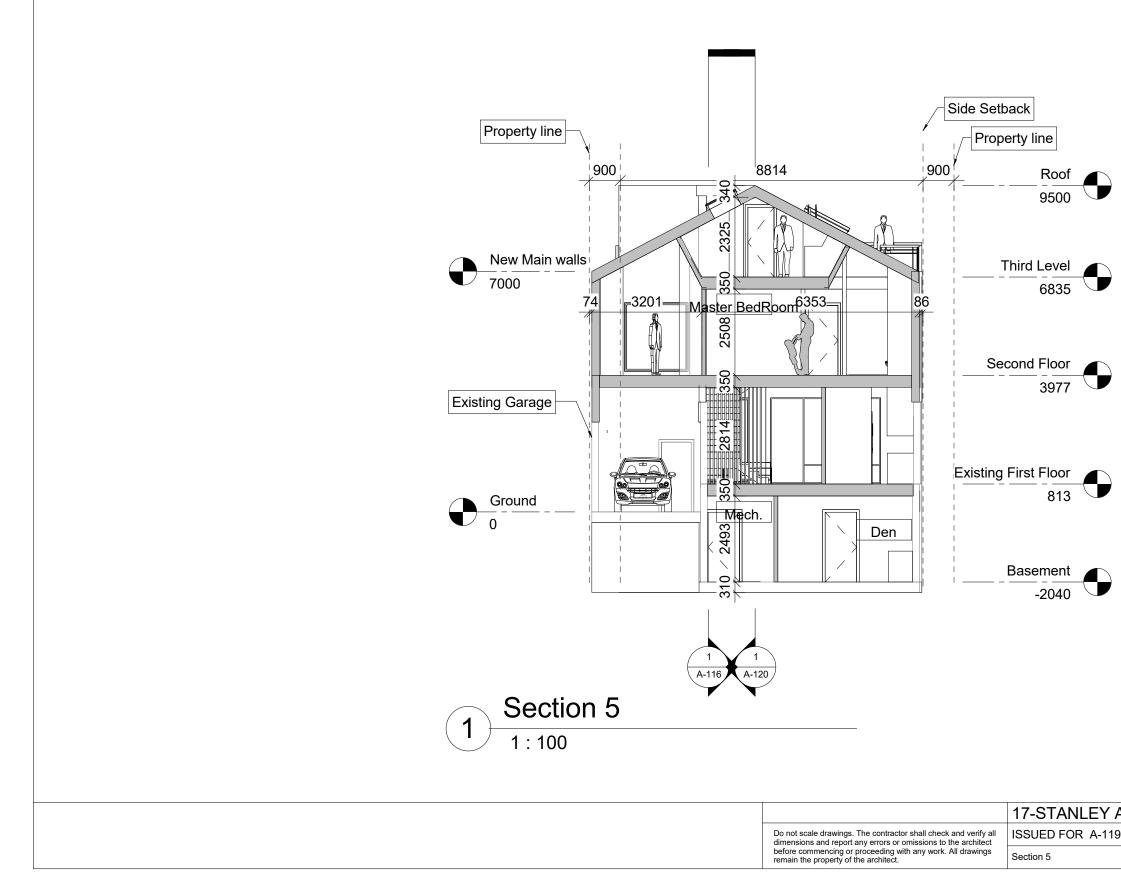


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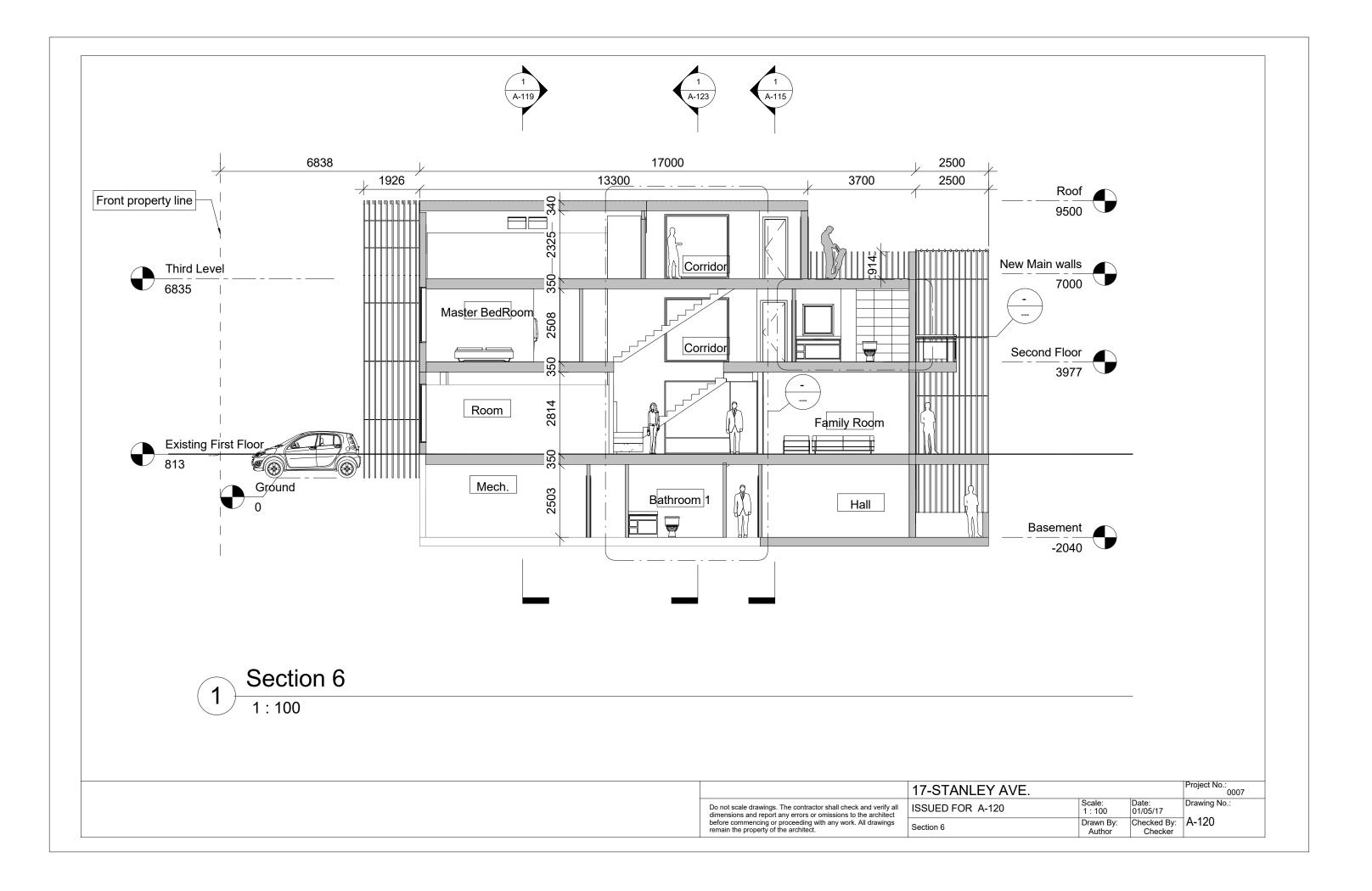


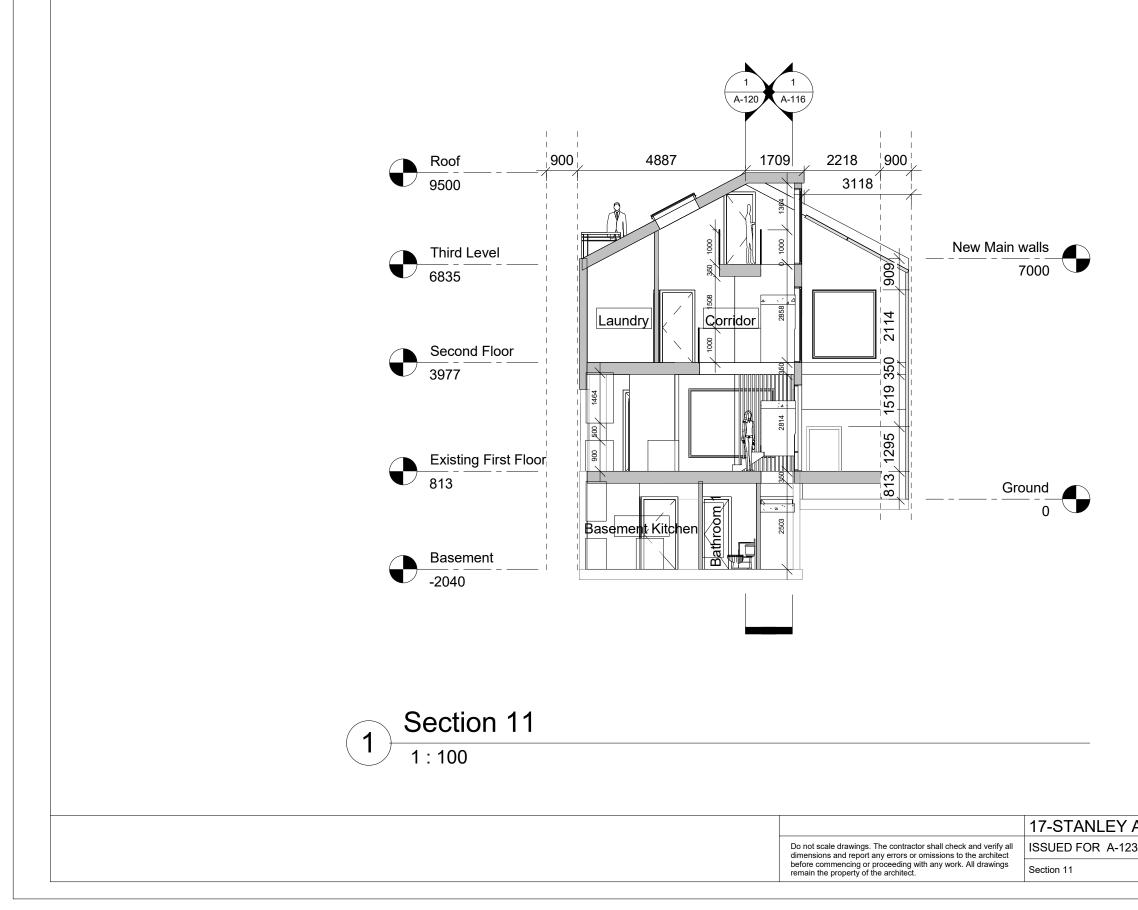
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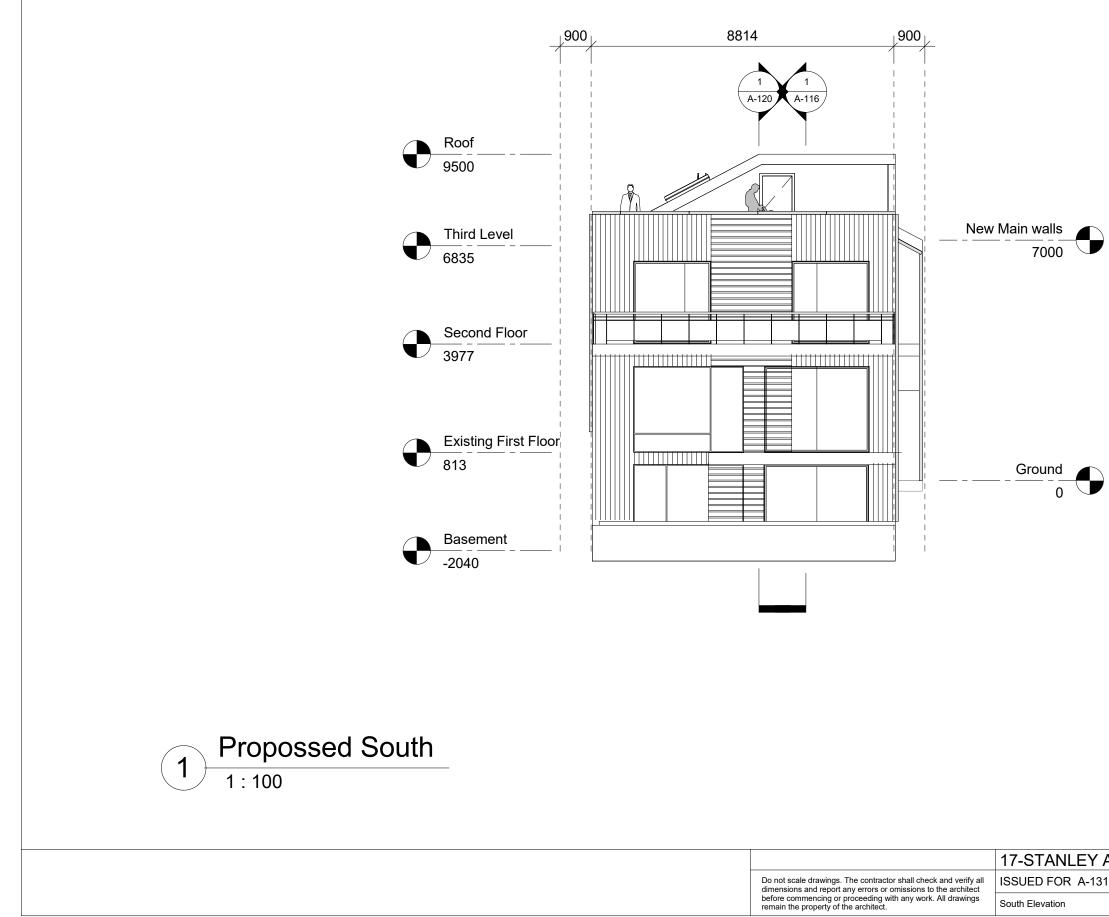


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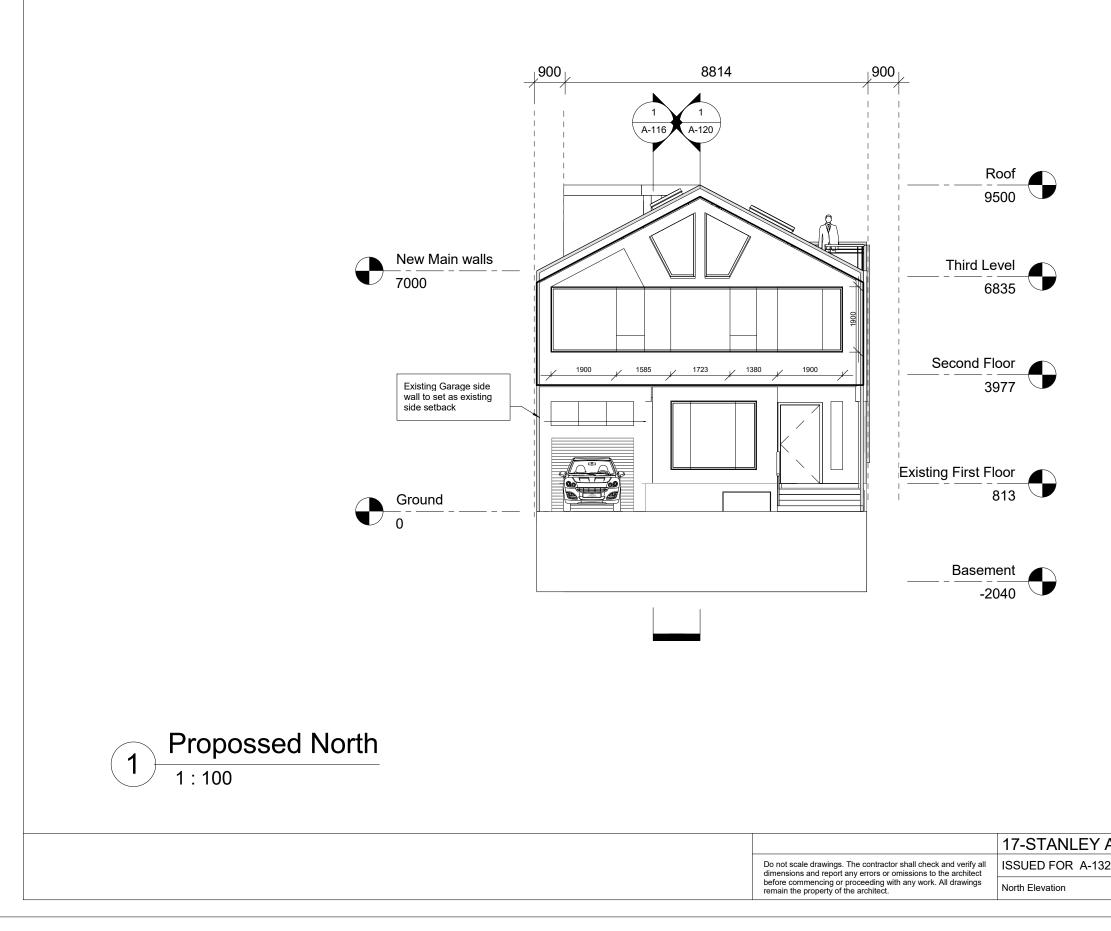




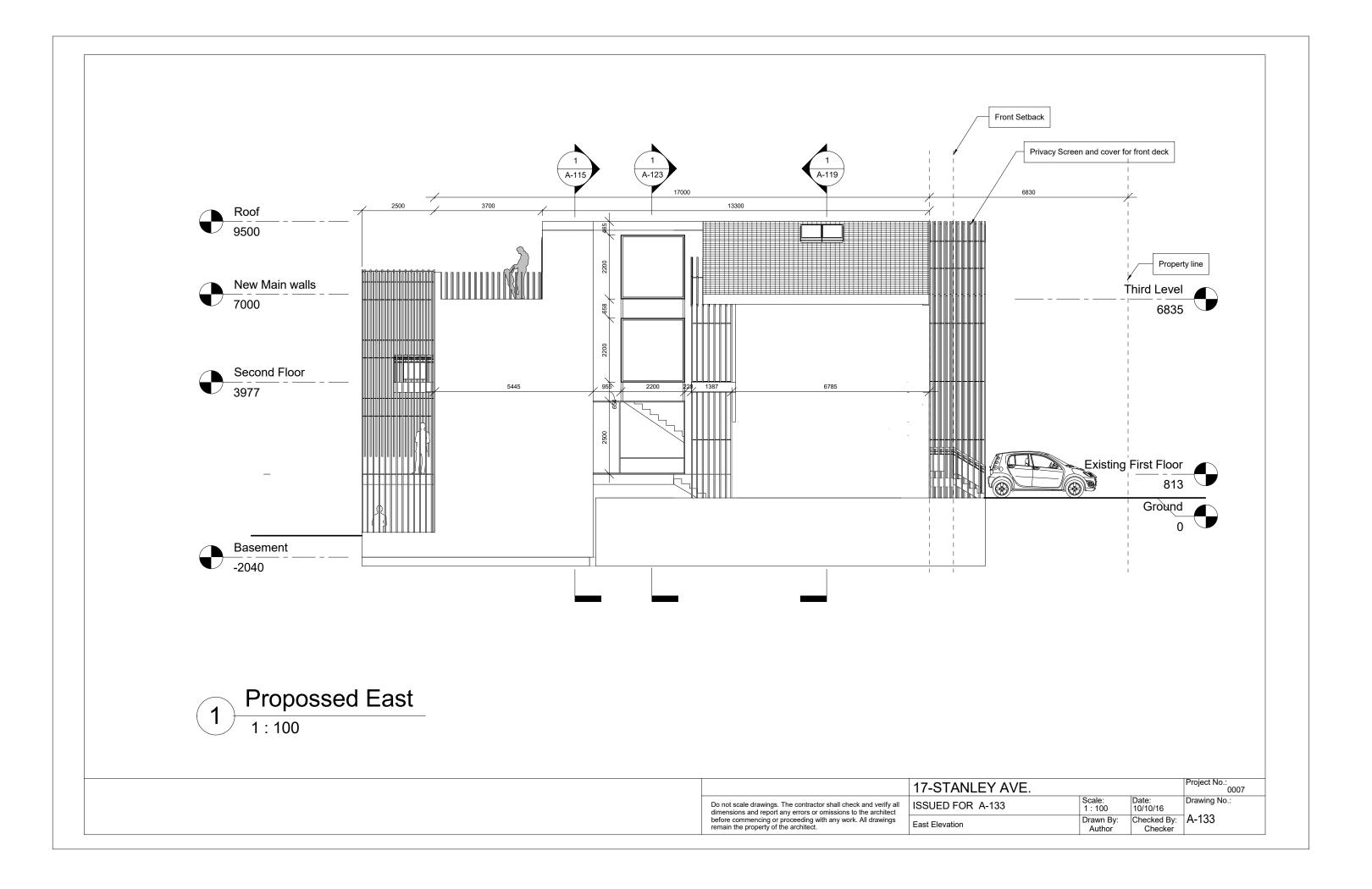
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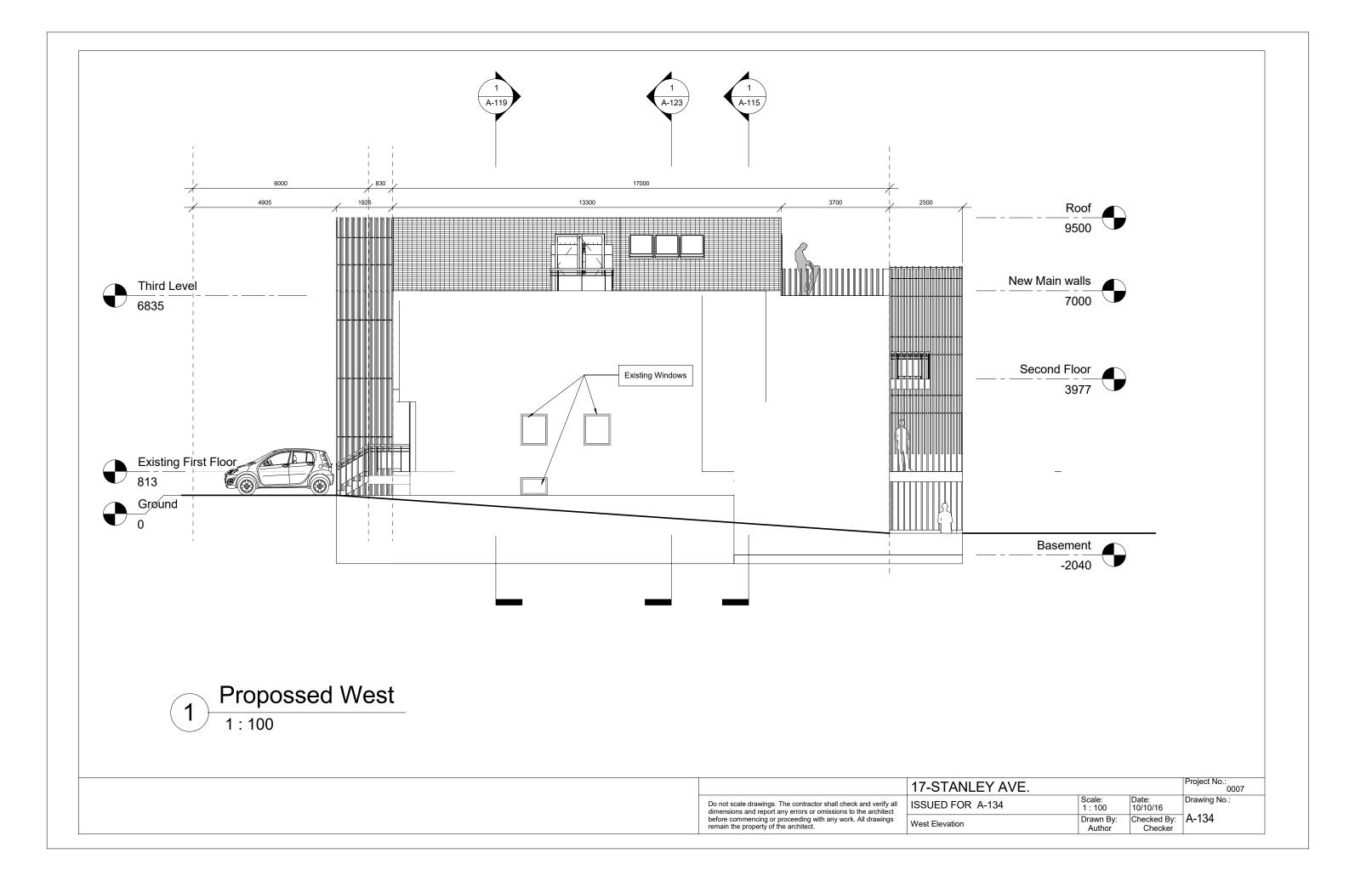


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	Drawn By: Author	Checked By: Checker	A-131



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2	Scale: 1 : 100	Date: 10/10/16	Drawing No.:
	Drawn By: Author	Checked By: Checker	A-132







Thursday, April 6, 2017

## **NOTICE OF DECISION** MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0127/17EYK
Owner(s):	CEZAR NICULESCU
Agent:	MARIO SILVA
Property Address:	46 STEPHEN DR
Legal Description:	PLAN 2308 LOT 120

Zoning Ward: Heritage: Community: RD & R2 Etobicoke-Lakeshore (05) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

#### PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

#### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- 1. Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C. The maximum permitted lot coverage is 33% of the lot area (106.23 m<sup>2</sup>). The new dwelling will cover 39.67% of the lot area (127.71 m<sup>2</sup>).
- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.A.(1) The maximum permitted floor space index is 0.45 times the lot area (144.86 m<sup>2</sup>). The new dwelling will have a floor space index of 0.65 times the lot area (209.04 m<sup>2</sup>).
- Section 10.5.40.10(5), By-law 569-2013
   A minimum of 10 m<sup>2</sup> of the first floor must be within 4 m of the main front wall.
   A proposed 7 m<sup>2</sup> of the first floor is within 4 m of the main front wall.

#### 4. Section 320-44.A.(3)

The maximum permitted driveway area is 40% of the front yard ( $30.46 \text{ m}^2$ ). The proposed driveway will have an area of 45.4% of the front yard ( $34.59 \text{ m}^2$ ).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

#### A0127/17EYK

#### The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1. Submission of a complete application for permit to injure or destroy privately owned trees.
- 2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.
- 3. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

File Number:A0127/17EYKOwner:CEZAR NICULESCUAgent:MARIO SILVAProperty Address:46 STEPHEN DRLegal Description:PLAN 2308 LOT 120

Zoning Ward: Heritage: Community: RD & R2 Etobicoke-Lakeshore (05) Not Applicable

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

## **NOTICE OF DECISION** MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0132/17EYK	Zoning	RD & R2
Owner(s):	OVIDIU DOMSA	Ward:	Etobicoke-Lakeshore (05)
	ENIKO DOMSA		
Agent:	BEN DOMINGOS	Heritage:	Not Applicable
Property Address:	224 GRENVIEW BLVD S	Community:	
Legal Description:	PLAN 2406 S PT LOT 47 S PT LO	T 48	

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

#### **PURPOSE OF THE APPLICATION:**

To construct a two-storey south side addition with a new rear deck.

#### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

- Section 900.3.10.(42)(A), By-law 569-2013 The maximum permitted gross floor area is 118 m<sup>2</sup> plus 25% of the lot area (187.3 m<sup>2</sup>), up to a maximum floor space index of 0.5 (138.6 m<sup>2</sup>). The altered dwelling will have a floor space index of 0.6 (165.96 m<sup>2</sup>) times the lot area.
- Section 10.20.40.70.(3)(C), By-law 569-2013
   The minimum required side yard setback is 1.2 m.
   Section 320-42.1(C)
   The minimum required side yard setback is 0.9 m, providing the aggregate side yard setback is not less than 2.1 m.
   Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 320-42.1(C)
   The altered dwelling will be located 0.42 m from the south side lot line.
- Section 10.5.40.60.(7), By-law 569-2013
  The minimum required eaves side yard setback is 0.3 m.
  Section 320-41
  The minimum required eaves side yard setback is 0.4 m.
  Section 10.5.40.60.(7), By-law 569-2013 & Section 320-41
  The altered dwelling will be located 0.16 m from the south side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

#### A0132/17EYK

#### The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

RD & R2 File Number: A0132/17EYK Zoning Ward: Owner: **OVIDIU DOMSA** Etobicoke-Lakeshore (05) ENIKO DOMSA Agent: **BEN DOMINGOS** Heritage: Not Applicable Community: Property Address: **224 GRENVIEW BLVD S** Legal Description: PLAN 2406 S PT LOT 47 S PT LOT 48

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle Manager & Deputy Secretary Treasurer Etobicoke York Panel



Thursday, April 6, 2017

## **NOTICE OF DECISION** MINOR VARIANCE/PERMISSION (Section 45 of the Planning Act)

File Number:	A0691/16EYK
Owner(s):	MARK NAGY
Agent:	CADAXX DESIGN
Property Address:	<b>31 AMBLESIDE AVE</b>
Legal Description:	PLAN 4337 LOT 51

Zoning Ward: Heritage: Community: RD & R2 Etobicoke-Lakeshore (05) Not Applicable

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

#### PURPOSE OF THE APPLICATION:

To construct a second storey addition over a portion of the dwelling, a new rear deck, and a new front porch.

#### **REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

#### Section 10.20.40.70.(1), By-law 569-2013 and Section 320-40.B.

The minimum required front yard setback is 8.24 m. The altered dwelling will be located 7.95 m from the front lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

#### The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.