

Thursday, August 31, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0024/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner(s):	LILIANA HALPERN RICHARD REINHART	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	116 BOGERT AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 1088 LOT 1089		

Notice was given and the application considered on Thursday, August 31, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized lots.

CONVEYED - Part 3

Part 3 has a proposed lot area of 255.8 m². The proposed lot frontage is 7.62 m. The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0299/17NY

RETAINED - Part 1 & Part 2

Part 1 and Part 2 have a proposed lot area of 255.8 m². The proposed lot frontage is 7.62 m. The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0300/17NY

File Numbers B0024/17NY, A0299/17NY, A0300/17NY will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number:	B0024/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner(s):	LILIANA HALPERN RICHARD REINHART	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	116 BOGERT AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 1088 LOT 1089		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0299/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner(s):	LILIANA HALPERN RICHARD REINHART	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	116 BOGERT AVE – Part A	Community:	North York
Legal Description:	PLAN 1743 LOT 1088 LOT 1089		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct new detached dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.4.010.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor area must be within 4 m of the front wall.
There is 4.2 m² proposed within 4 m of the front wall.
- 2. Chapter 10.5 40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no height than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 1.36 m.
The proposed platform encroaches 2.1 m into the required rear yard setback and is **0.9 m** from the west side lot line.
- 3. Chapter 10.20.30.10.(1), By-law No. 569-2013**
The required minimum lot area is 550 m².
The proposed lot area is 255.8 m².
- 4. Chapter 10.20.30.20.(1), By-law No. 569-2013**
The required minimum lot frontage is 15 m.
The proposed lot frontage is 7.62 m.
- 5. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is **32 %** of the lot area.

6. **Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is **1.2 m**.
7. **Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is **0.9 m**.
8. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 7.62 m.
9. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 255.8 m².
10. **Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 7.5 m.
The proposed front yard setback is 4.57 m.
11. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The propose lot coverage is **32%** of the lot area.
12. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.17 m.
13. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 2.06 m.
14. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
15. **Section 6A(2)a, By-law No. 7625**
The minimum required number of parking spaces is 2 spaces.
The proposed number of parking spaces is 1 space.
16. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is **1.2 m**
17. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is **0.9 m**.
18. **Section 6(24)(d), By-law No. 7625**
In the rear yard, unexcited porches and decks attached to or detached from the main building shall be located no closer to the side lot lines than the minimum side yard setback for the main building. The minimum side yard setback is 1.8 m.

The proposed deck is located **0.9 m** from the side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0299/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner:	LILIANA HALPERN RICHARD REINHART	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	116 BOGERT AVE - Part A	Community:	North York
Legal Description:	PLAN 1743 LOT 1088 LOT 1089		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0300/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner(s):	LILIANA HALPERN RICHARD REINHART	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	116 BOGERT AVE – Part B	Community:	North York
Legal Description:	PLAN 1743 LOT 1088 LOT 1089		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct new detached dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.4.010.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor area must be within 4 m of the front wall.
There is 3.44 m² proposed within 4 m of the front wall.
- 2. Chapter 10.5 40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no height than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 2.2 m.
The proposed platform encroaches 2.1 m into the required rear yard setback and is **0.9 m** from the west side lot line.
- 3. Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 52%.
- 4. Chapter 10.20.30.10.(1), By-law No. 569-2013**
The required minimum lot area is 550 m².
The proposed lot area is 255.8 m².
- 5. Chapter 10.20.30.20.(1), By-law No. 569-2013**
The required minimum lot frontage is 15 m.
The proposed lot frontage is 7.62 m.

- 6. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32 % of the lot area.
- 7. Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is **0.9 m**.
- 8. Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is **1.2 m**.
- 9. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m
The proposed height of the side exterior main walls facing the west side lot line is 8.53 m.
- 10. Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 7.62 m.
- 11. Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 255.8 m².
- 12. Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 7.5 m.
The proposed front yard setback is 4.57 m.
- 13. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard wetback is 1.8 m.
The proposed east side yard setback is **0.9 m**.
- 14. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is **1.2 m**.
- 15. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The propose lot coverage is 32% of the lot area.
- 16. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.43 m.
- 17. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.77 m.
- 18. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.77 m.

19. Section 6A(2)a, By-law No. 7625

The minimum required number of parking spaces is 2 spaces.
The proposed number of parking spaces is 1 space.

20. Section 7.4A, By-law No. 7625

The minimum required soft landscaping is 75%.
The proposed soft landscaping is 52%.

21. Section 6(24)(d), By-law No. 7625

In the rear yard, unexcited porches and decks attached to or detached from the main building shall be located no closer to the side lot lines than the minimum side yard setback for the main building. The minimum side yard setback is 1.8 m.

The proposed deck is located **0.9 m** from the side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0300/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner:	LILIANA HALPERN RICHARD REINHART	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	116 BOGERT AVE – Part B	Community:	North York
Legal Description:	PLAN 1743 LOT 1088 LOT 1089		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0424/17NY	Zoning	RD / R2 (ZZC)
Owner(s):	MICHELE BRAUN JERRY TOPOLSKI	Ward:	Don Valley West (25)
Agent:	JOSEPH N CAMPITELLI ARCHITECT INC	Heritage:	Not Applicable
Property Address:	28 KAPPELE AVE	Community:	Toronto
Legal Description:	PLAN 1707 PT LOT 178		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1 Section 6(3) Part II 3 (II), By-law No. 438-86

A building must not be located closer than 1.20 m to the side wall of an adjacent building that contains opening.

The proposed building is located 0.4 m from the adjacent building at 26 Kappele Ave.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0424/17NY	Zoning	RD / R2 (ZZC)
Owner:	MICHELE BRAUN JERRY TOPOLSKI	Ward:	Don Valley West (25)
Agent:	JOSEPH N CAMPITELLI ARCHITECT INC	Heritage:	Not Applicable
Property Address:	28 KAPPELE AVE	Community:	Toronto
Legal Description:	PLAN 1707 PT LOT 178		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, August 31, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0549/17NY	Zoning	R4 [ZZC]
Owner(s):	YAT LING	Ward:	Willowdale (24)
Agent:	CHUN ZHAO	Heritage:	Not Applicable
Property Address:	48 MILLGATE CRES	Community:	North York
Legal Description:	PLAN 4847 LOT 44		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 19.00m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

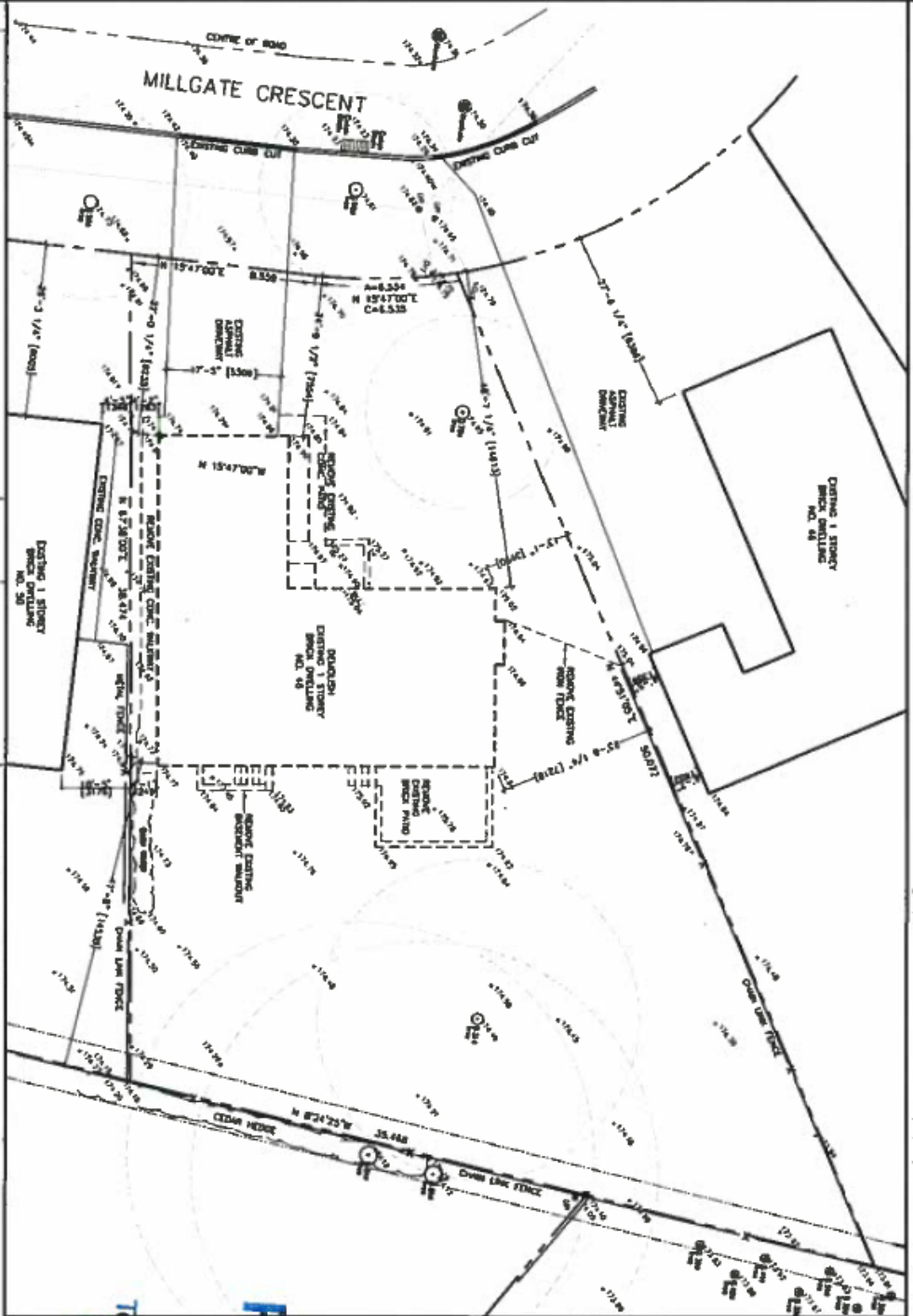
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 22, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

Do not scale dimensions off drawings. The contractor is responsible to verify all dimensions and existing site and as built conditions. Report any discrepancies prior to commencement of work. Contractor is responsible for detailed finishes, means and method of construction. All drawings, specifications and documents are the property of ChunzStudio, shall not be used or reproduced without written permission.



RECEIVED
 AUG 22 2017
 Toronto City Planning
 North York District

1	ISSUED FOR ZONING CERTIFICATE	18-05-24	SEAL	DATE	SCALE	TITLE	PROJECT NO.
				APR 2016	1/16"=1'	DETACHED HOUSE DEMOLITION SITE PLAN	16032
						48 MILLGATE CRES. TORONTO	A1.1
						DESIGN NORTH	

SIGNATURE PAGE

File Number:	A0549/17NY	Zoning	R4 [ZZC]
Owner:	YAT LING	Ward:	Willowdale (24)
Agent:	CHUN ZHAO	Heritage:	Not Applicable
Property Address:	48 MILLGATE CRES	Community:	North York
Legal Description:	PLAN 4847 LOT 44		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

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MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0561/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	NIGEL GREENE NICOLE KESTER-GREENE	Ward:	Willowdale (23)
Agent:	HUY TRUONG	Heritage:	Not Applicable
Property Address:	241 PARK HOME AVE	Community:	North York
Legal Description:	PLAN 4589 LOT 143		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished. Please note a previous application (File # A1099/16NY) with respect to the subject property, was before the Committee of Adjustment on Thursday, February 23, 2017, which was ultimately REFUSED.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32.5%** of the lot area.
- 2. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 7.20m for a flat or shallow roof.
The proposed building height is 8.19m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 18.83m.
- 4. Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey is 4.00m².
The proposed platform at or above the second storey is 10.80m².
- 5. Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **32.5%** of the lot area.
- 6. Section 13.2.5A, By-law No. 7625**

The maximum permitted building length is 16.80m.
The proposed building length is 19.48m.

7. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.00m.
The proposed building height is 8.73m.

8. Section 13.2.6A, By-law No. 7625

The maximum permitted balcony area is 3.80m².
The proposed balcony area is 10.80m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0561/17NY	Zoning	RD/R4 [ZZC]
Owner:	NIGEL GREENE NICOLE KESTER-GREENE	Ward:	Willowdale (23)
Agent:	HUY TRUONG	Heritage:	Not Applicable
Property Address:	241 PARK HOME AVE	Community:	North York
Legal Description:	PLAN 4589 LOT 143		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0570/17NY	Zoning	RD/R1B [ZZC]
Owner(s):	MARYAM REZAZADEH TOROGHI	Ward:	Don Valley West (26)
Agent:	PETER HIGGINS ARCHITECT INC	Heritage:	Not Applicable
Property Address:	100 BRENTCLIFFE RD	Community:	East York
Legal Description:	PLAN 3111 PT LOT 970 PT LOT 971		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is **17.07m**.

2. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.20m.

The proposed north side yard setback is 0.90m.

3. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.20m.

The proposed south side yard setback is 0.90m.

4. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is **35.5%** of the lot area.

5. Chapter 10.20.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 8.50m.

The proposed building height is **8.85m**.

6. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of no less than 60.00% of the total width of all front and rear exterior main walls is 7.00m.

The proposed height of more than 40.00% of the total width of all front and rear exterior main walls is 8.17m.

7. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.60 times the lot area.

The proposed floor space index is **0.7 times the lot area.**

8. Section 6.3.3, By-law No. 1916

The maximum permitted building height is 8.50m.

The proposed building height is **8.93m.**

9. Section 6.3.3, By-law No. 1916

The maximum permitted building length is 16.75m.

The proposed building length is **17.07m.**

10. Section 6.3.3, By-law No. 1916

The maximum permitted floor space index is 0.60 times the lot area.

The proposed floor space index is **0.7 times the lot area.**

11. Section 6.1.2, By-law No. 829-2000

In all R1 and R2 residential zones, garages located below Finished Grade are prohibited in detached and semi-detached dwellings.

The proposed garage is located below Finished Grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.
3. That the driveway maintains a positive slope of 2%.
4. That the driveway be constructed of permeable pavers.

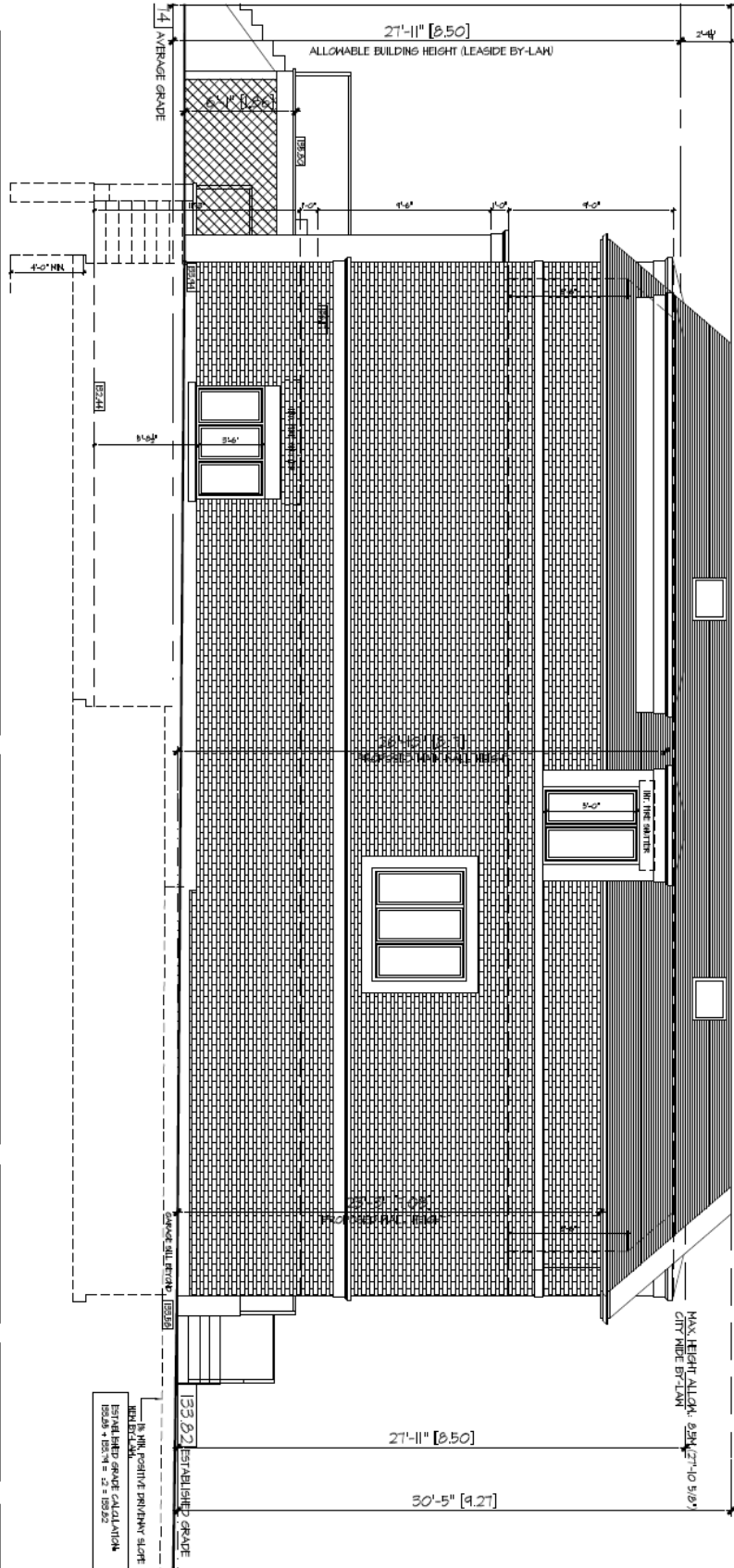
5. The proposal be developed in accordance with the South Elevation drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 22, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

APPROVED SHEET DATES	
1	ISSUED / ISSUED FOR CLERK REVIEW
2	ISSUED / ISSUED FOR ZONING REVIEW
3	ISSUED / ISSUED FOR CPA

It is the responsibility of the applicant to ensure that all drawings are submitted in accordance with the requirements of the Ontario Building Code and the City of Toronto Building Department. The applicant is responsible for ensuring that all drawings are submitted in accordance with the requirements of the Ontario Building Code and the City of Toronto Building Department. The applicant is responsible for ensuring that all drawings are submitted in accordance with the requirements of the Ontario Building Code and the City of Toronto Building Department.

These drawings are the property of Peter Higgins and are not to be reproduced or used for any other purpose without the written consent of Peter Higgins.



HIGGINS

PETER HIGGINS
ARCHITECT INC.
100 BRENTLIFEE RD
TORONTO, ONTARIO
M6G 1S5
TEL: 416-461-4444
WWW.PETERHIGGINS.COM



PROJECT:
100 BRENTLIFEE RD
TORONTO, ONTARIO

DRAWN BY	DATE
GW	TOM/07/17
CHECKED BY	DATE
BN	08/11/18
PROJECT NO.	100 BRENTLIFEE RD
PROJECT NO.	100 BRENTLIFEE RD

DRAWING NO:
A-9

ESTABLISHED GRADE CALCULATION
100 BRENTLIFEE RD
TORONTO, ONTARIO
M6G 1S5
DATE: 08/11/18

SIGNATURE PAGE

File Number:	A0570/17NY	Zoning	RD/R1B [ZZC]
Owner:	MARYAM REZAZADEH TOROGHI	Ward:	Don Valley West (26)
Agent:	PETER HIGGINS ARCHITECT INC	Heritage:	Not Applicable
Property Address:	100 BRENTCLIFFE RD	Community:	East York
Legal Description:	PLAN 3111 PT LOT 970 PT LOT 971		

Beth Levy (signed) Denise Graham (signed) Giacomo Tonon (signed)

Rick Ross (signed) Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0585/17NY	Zoning	RD / R4 (BLD)
Owner(s):	DANIEL SOBERANO	Ward:	York Centre (10)
Agent:	GORMAN MAZZON LTD	Heritage:	Not Applicable
Property Address:	8 YORK DOWNS DR	Community:	North York
Legal Description:	PLAN 2456 PT LOT 35		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To enclose an area under the existing rear terrace to make the area a habitable space.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 39.93% of the lot area.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length is 17.0 m.
The proposed building length is 20.9 m.
- 3. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0 m
The proposed building depth is 20.9 m.
- 4. Section 12.6, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 39.93% of the lot area.
- 5. Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 23.07 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**


The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the site plan, ground floor plan, and second floor plan drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, August 21 .2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

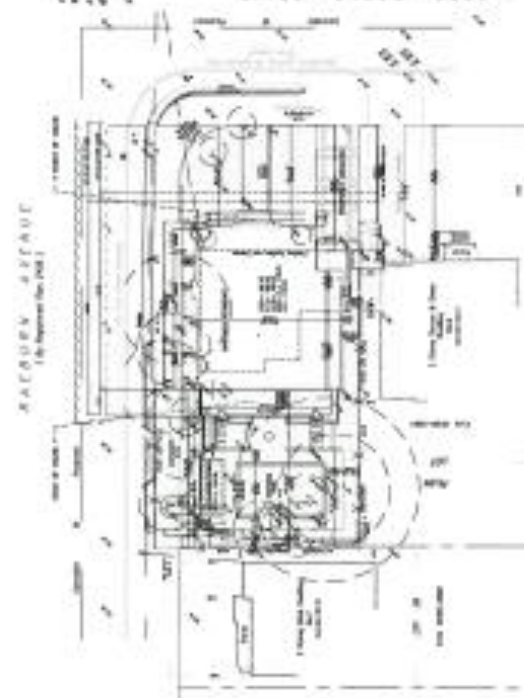
 <p>Logo of the City of Toronto, featuring a stylized tree and the words 'CITY OF TORONTO'.</p>	<p>FOR OFFICIAL USE ONLY</p> <p>1. PROJECT NAME: AVANT! 2017</p> <p>2. PROJECT NUMBER: AVANT! 2017</p> <p>3. PROJECT LOCATION: 4000 DUNDAS ST. W. TORONTO, ON</p>	<p>4. PROJECT DESCRIPTION: AVANT! 2017</p> <p>5. PROJECT STATUS: AVANT! 2017</p> <p>6. PROJECT TYPE: AVANT! 2017</p>	<p>7. PROJECT CONTACT: AVANT! 2017</p> <p>8. PROJECT PHONE: AVANT! 2017</p> <p>9. PROJECT FAX: AVANT! 2017</p> <p>10. PROJECT EMAIL: AVANT! 2017</p>	<p>11. PROJECT START DATE: AVANT! 2017</p> <p>12. PROJECT END DATE: AVANT! 2017</p> <p>13. PROJECT DURATION: AVANT! 2017</p>	<p>14. PROJECT BUDGET: AVANT! 2017</p> <p>15. PROJECT COST: AVANT! 2017</p> <p>16. PROJECT REVENUE: AVANT! 2017</p>
<p>29. PROJECT APPROVED: AVANT! 2017</p> <p>30. PROJECT DENIED: AVANT! 2017</p>	<p>31. PROJECT REVIEW PLAN: AVANT! 2017</p> <p>32. PROJECT REVIEW DATE: AVANT! 2017</p>				

REVISIONS

NO.	DATE	DESCRIPTION
1	2017-08-01	Initial Issue
2	2017-08-02	Revised to include comments


Avant!

4000 DUNDAS ST. W. TORONTO, ON



RECOVERY AVENUE

Site plan showing building footprint, parking spaces, and surrounding streets including 4000 Dundas St W and Recovery Avenue.



Aerial map showing the project location (red dot) on a street grid, with a yellow highlight on Dundas Street West.

REVISIONS

NO.	DATE	DESCRIPTION
1	2017-08-01	Initial Issue
2	2017-08-02	Revised to include comments

Avant!

4000 DUNDAS ST. W. TORONTO, ON

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Avant!

4000 DUNDAS ST. W. TORONTO, ON

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AUG 21 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE



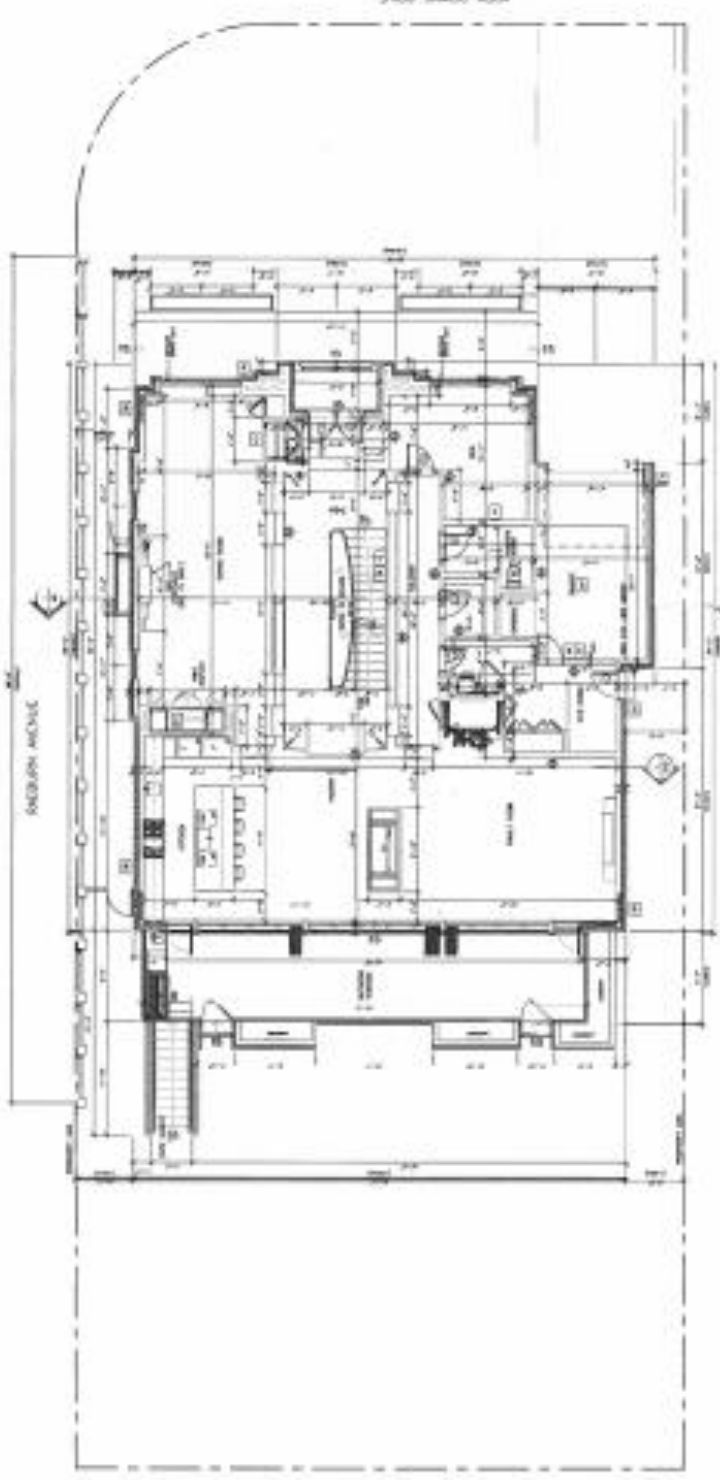
Professional Engineer
 Ontario
 License No. 12345
 Name: [Name]



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2017-07-10
2	ISSUED FOR PERMIT	2017-07-10
3	ISSUED FOR PERMIT	2017-07-10
4	ISSUED FOR PERMIT	2017-07-10
5	ISSUED FOR PERMIT	2017-07-10
6	ISSUED FOR PERMIT	2017-07-10
7	ISSUED FOR PERMIT	2017-07-10
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48	ISSUED FOR PERMIT	2017-07-10
49	ISSUED FOR PERMIT	2017-07-10
50	ISSUED FOR PERMIT	2017-07-10

ISSUED FOR PERMIT
 1 YORK COLLEGE DRIVE
 TORONTO, ON

SECOND FLOOR PLAN
 A3



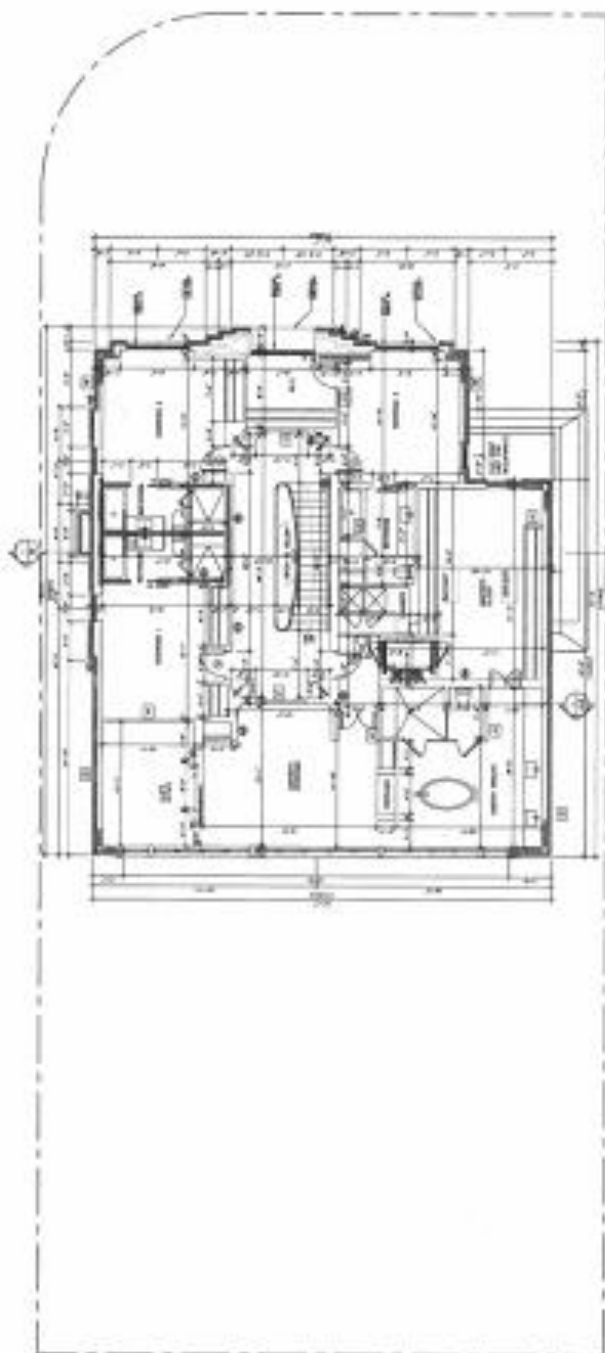
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AUG 21 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

8888888888888888
 For structural steel and aluminum in structural drawings
 See specifications, may not match specifications - 12

	
	<p> PROFESSIONAL ENGINEER REGISTERED PROFESSIONAL ARCHITECT REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT </p>
<p> FORWARD PRESENTING A PUBLIC CONSULTING PROJECTS INC. </p>	<p> REVISION CASE FILE </p>
<p> A4 </p>	<p> 20170801 </p>



RECEIVED

AUG 21 2017

**CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE**

 **20170801**

For information only - not for use in public works

SIGNATURE PAGE

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Owner:	DANIEL SOBERANO	Ward:	York Centre (10)
Agent:	GORMAN MAZZON LTD	Heritage:	Not Applicable
Property Address:	8 YORK DOWNS DR	Community:	North York
Legal Description:	PLAN 2456 PT LOT 35		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0591/17NY	Zoning	AV-MU [ZZC]
Owner(s):	NORTH YORK MEDICAL BUILDING INC	Ward:	York Centre (09)
Agent:	LAWRENCE MALEK	Heritage:	Not Applicable
Property Address:	1017 WILSON AVE	Community:	North York
Legal Description:	PLAN 3330 PT LOTS 2 & 3		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey addition (including ground level and underground parking) to the existing four-storey medical office building, in conjunction with a new one-storey addition to the front of the existing building, for commercial retail and a two-storey front addition for medical offices.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 45.2.2 (ii), By-law No. 7625

The maximum permitted front yard setback is 3.50m.
The proposed front yard setback is 4.71m.

2. Section 45.7(v), By-law No. 7625

The minimum required number of parking spaces is 183 spaces.
The proposed number of parking spaces is 105 spaces.

3. Section 45.7(ii), By-law No. 7625

No surface parking is permitted within 2.00m of any lot line.
There are 27 existing/proposed parking spaces within 2.00m of the rear lot line.

4. Section 45.9(i), By-law No. 7625

A 2.00m landscaped area shall be provided along a rear lot line that abuts an R or RM zone.
The proposed landscaped area along the rear lot line is **1.2 m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Permeable materials be used for the rear parking lot hard surface.

SIGNATURE PAGE

File Number:	A0591/17NY	Zoning	AV-MU [ZZC]
Owner:	NORTH YORK MEDICAL BUILDING INC	Ward:	York Centre (09)
Agent:	LAWRENCE MALEK	Heritage:	Not Applicable
Property Address:	1017 WILSON AVE	Community:	North York
Legal Description:	PLAN 3330 PT LOTS 2 & 3		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

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Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0593/17NY	Zoning	RD / R1 (ZZC)
Owner(s):	DAVID NEAL ADAM STACEY CAROLYN SHAPIRA	Ward:	Eglinton-Lawrence (16)
Agent:	RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	129 COLDSTREAM AVE	Community:	Toronto
Legal Description:	PLAN M87 LOT 260		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
The proposed first floor is not located within 4 m of the front main wall.
- 2. Chapter 10.20.4.070.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.5 m.
The proposed east side yard setback is 1.22 m.
- 3. Chapter 10.20.4.070.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.5 m.
The proposed west side yard setback is **1.2 m**
- 4. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth for a detached dwelling is 19.0 m.
The proposed building depth is 24.88 m.
- 5. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted building length for a detached house is 17.0 m.
The proposed building length is **24.88 m**.
- 6. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.35 times the area of the lot.

The proposed floor space index is **0.559** times the area of the lot.

7. Chapter 10.20.40.10.(1), By-law No. 569-2013

The permitted maximum height of a building is 10 m.

The proposed height of the building is **10.57** m.

8. Chapter 10.20.40.10.(2), By-law No. 569-2013

The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.

The proposed height of the side exterior main walls facing a side lot line is 10.3 m.

9. Section 6(3) Part I 1, By-law No. 438-86

The permitted maximum floor space index is 0.35 times the area of the lot.

The proposed floor space index is **0.559** times the area of the lot.

10. Section 6(3) Part II 3.B(ii), By-law No. 438-86

The required minimum side lot line setback is 7.5 m for the portion of the building that exceeds 17.0 m in depth.

The proposed east side lot line is 1.22 m.

11. Section 6(3) Part II 3.B(ii), By-law No. 438-86

The required minimum side lot line setback is 7.5 m for the portion of the building that exceeds 17.0 m in depth.

The proposed west side lot line is **1.2 m**.

12. Section 6(3) Part IV 3(II), By-law No. 438-86

An integral garage is not permitted where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line.

The proposed integral garage has a floor level below grade.

13. Section 4(2), By-law No. 438-86

The maximum permitted height is 10 m.

The proposed height is **11.17 m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0593/17NY	Zoning	RD / R1 (ZZC)
Owner:	DAVID NEAL ADAM STACEY CAROLYN SHAPIRA	Ward:	Eglinton-Lawrence (16)
Agent:	RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	129 COLDSTREAM AVE	Community:	Toronto
Legal Description:	PLAN M87 LOT 260		

Rick Ross (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0594/17NY	Zoning	R1S Z0.6 [BLD]
Owner(s):	CATHERINE ELIZABETH HOWELL HELMUT HOCK	Ward:	Eglinton-Lawrence (16)
Agent:	CATHERINE FRIIS	Heritage:	Not Applicable
Property Address:	228 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN M25 PT LOTS 67 & 68 RP 66R2177 PARTS 4 TO 6		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new deck to the east side of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6(3) Part II 8 D(II), By-law No. 438-86

The By-law allows an uncovered platform to project into the required setbacks provided it does not extend beyond the side walls of the building as projected.

The proposed uncovered platform is projecting beyond the easterly side wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

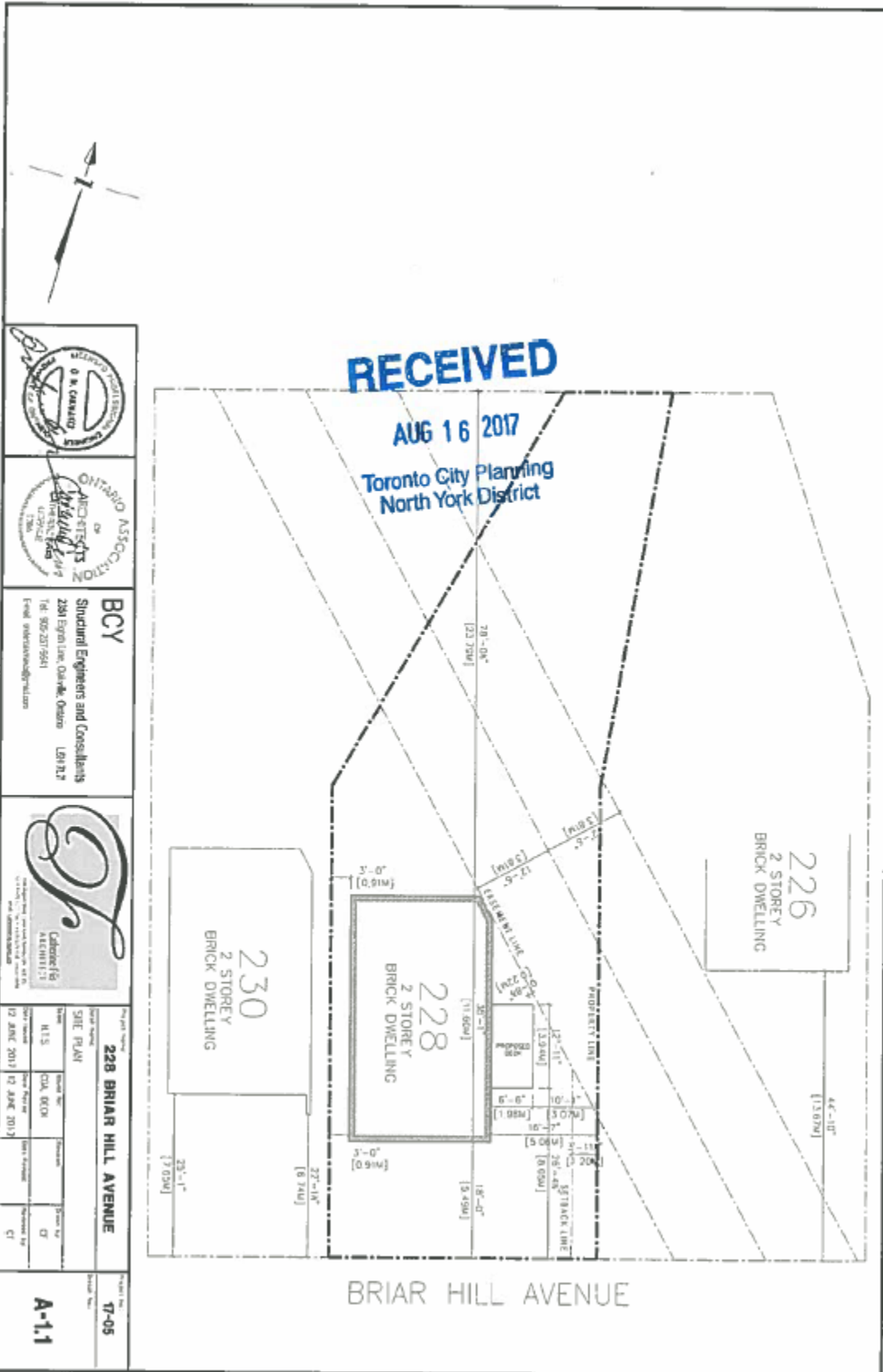
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal be constructed in accordance with the site plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 16, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



	
	
BCY Structural Engineers and Consultants 2351 Eglinton, Oakville, Ontario L6H 7L2 Tel: 905.207.9541 Email: info@bcyeng.com	
	
228 BRIAR HILL AVENUE SHEET NO. A-1.1 SHEET DATE 12 JAN 2011 / 12 JAN 2013	
A-1.1 7-05	

SIGNATURE PAGE

File Number:	A0594/17NY	Zoning	R1S Z0.6 [BLD]
Owner:	CATHERINE ELIZABETH HOWELL HELMUT HOCK	Ward:	Eglinton-Lawrence (16)
Agent:	CATHERINE FRIIS	Heritage:	Not Applicable
Property Address:	228 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN M25 PT LOTS 67 & 68 RP 66R2177 PARTS 4 TO 6		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0595/17NY	Zoning	RM (d0.6) (x263)/R2A[ZCC]
Owner(s):	PATRICIA ELIZABETH WILLISTON BRIAN ALAN MARTIN	Ward:	Don Valley West (26)
Agent:	BRIAN ALAN MARTIN	Heritage:	Not Applicable
Property Address:	269 AIRDRIE RD	Community:	East York
Legal Description:	PLAN 2120 PT LOT 178		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey addition at the rear of the existing two-storey dwelling, including interior alterations and new porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.669 times the area of the lot.
- 2. Chapter 900.6.10.(263), By-law No. 569-2013**
The maximum permitted lot coverage is 35% of lot area.
The proposed lot coverage is 35.7% of lot area.
- 3. Section 6.4.3, By-law No. 1916**
The maximum permitted floor space index is 0.6 times the lot area.
The proposed floor space index is 0.692 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0595/17NY	Zoning	RM (d0.6) (x263)/R2A[ZZC]
Owner:	PATRICIA ELIZABETH WILLISTON BRIAN ALAN MARTIN	Ward:	Don Valley West (26)
Agent:	BRIAN ALAN MARTIN	Heritage:	Not Applicable
Property Address:	269 AIRDRIE RD	Community:	East York
Legal Description:	PLAN 2120 PT LOT 178		

Beth Levy (signed) Denise Graham (signed) Giacomo Tonon (signed)

Rick Ross (signed) Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 31, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0596/17NY	Zoning	RD / R5 (ZZC)
Owner(s):	KRESHNIK MATI ENKELEJDA LAPARDHAJA	Ward:	York Centre (09)
Agent:	MARIN ZABZUNI	Heritage:	Not Applicable
Property Address:	104 CALVINGTON DR	Community:	North York
Legal Description:	PLAN 4245 LOT 314		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished,

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(4), By-law No 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.5 m.
- 2. Chapter 10.20.40.70.(4), By-law No 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is **1.5 m**.
- 3. Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.5 m.
- 4. Section 14.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m
The proposed building length is 18.1 m.
- 5. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 2.4 m.
- 6. Section 6(24), By-law No. 7625**
The maximum rear deck projection is 2.1 m and a width of 5.81 m
The proposed deck projects **2.74 m** and is **9.25 m** wide.

7. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is **1.5 m**.
8. **Section 14.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.38 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant is to provide permanent opaque screening or fencing along the eastern and western edges of the proposed rear deck with a minimum height of 1.5 metres from the floor of the balcony/platform.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

2. SIGNATURE PAGE

File Number:	A0596/17NY	Zoning	RD / R5 (ZZC)
Owner:	KRESHNIK MATI ENKELEJDA LAPARDHAJA	Ward:	York Centre (09)
Agent:	MARIN ZABZUNI	Heritage:	Not Applicable
Property Address:	104 CALVINGTON DR	Community:	North York
Legal Description:	PLAN 4245 LOT 314		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 31, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0597/17NY	Zoning	RD/R7 [ZZC]
Owner(s):	MICHAEL VOLAVKA	Ward:	Don Valley West (25)
Agent:	RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	190 BANFF RD	Community:	North York
Legal Description:	PLAN M552 LOT 13		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is **37.28%** of the lot area.

2. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is **19.13 m**.

3. Chapter 10.20.40.30.(1), By-law No. 569-2013

The maximum permitted building depth is 19.00m.

The proposed building depth is **19.11 m**.

4. Chapter 10.20.40.70.(2), By-law No. 569-2013

The minimum required rear yard setback is 9.81m.

The proposed rear yard setback is **7.5 m**.

5. Section 14-B(10), By-law No. 7625

The maximum permitted balcony area is 3.80m².

The proposed balcony area is 4.00m².

6. Section 14-B(5)(b), By-law No. 7625

The minimum required side yard setback is 1.20m.

The proposed west side yard setback is 0.90m.

7. Section 14-B(5)(c), By-law No. 7625

The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is **7.5 m**.

8. Section 14-B(8), By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.35m.

9. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.93m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

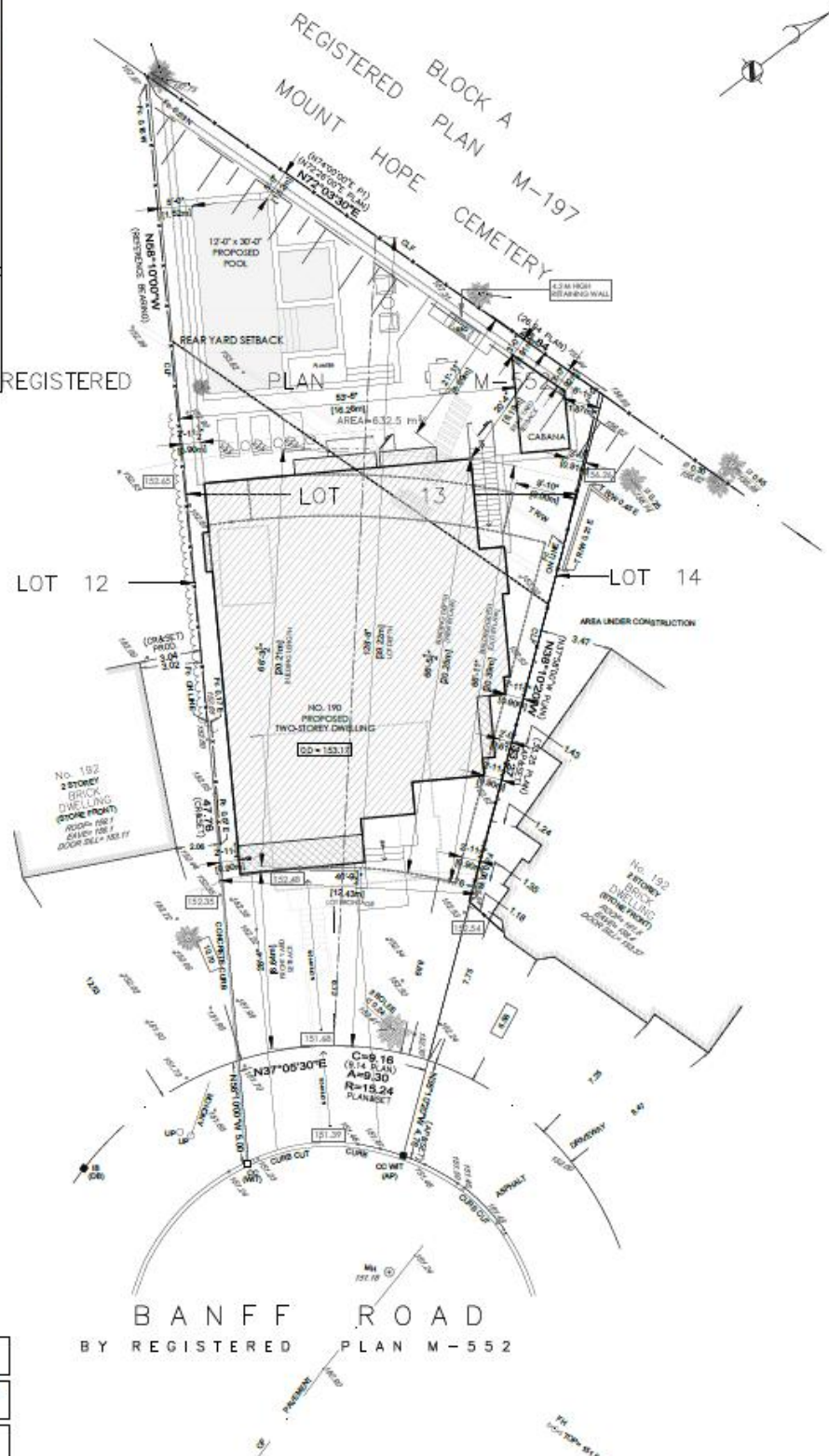
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 22, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

- LEGEND**
- ☒ TREE REMOVED WITHIN THE LAST CALENDAR YEAR NOT REQUIRING PERMIT
 - ☒ PROTECTED TREE REMOVED WITHIN THE LAST CALENDAR YEAR
 - ☒ TREE REMOVAL NOT REQUIRING PERMIT
 - ☒ TREE REMOVAL DUE TO HEALTH OR SOUNDNESS REQUIRING PERMIT
 - ☒ TREE REMOVAL REQUIRING PERMIT
 - ☒ TREE REQUIRING PERMIT TO INJURE
 - ☒ TREES TO BE PROTECTED
 - ☒ PROPOSED TREES
 - ☒ LIGHT OR HAND HELD EQUIPMENT IN THIS AREA DURING DEMOLITION AS PER ARBORIST REPORT
- 8FT. HIGH PLYWOOD TREE PROTECTION
 --- 4FT. HIGH SNOW FENCE ON WOOD FRAME, TREE PROTECTION
 ■ LOCATION OF TREE PROTECTION WARNING SIGN



NOTE: PERMITTED FRONT YARD SETBACK = 8.64M

NOTE: ESTABLISHED GRADE = 152.45

NOTE: GRADE AT CENTER LINE OF ROAD = 151.24



RICHARD WENGLE

VOLAVKA RESIDENCE
 190 BANFF ROAD
 TORONTO, ONTARIO
 JUNE 13, 2017
 1703

SITE PLAN
 SCALE: 1/16" = 1'-0"

SIGNATURE PAGE

File Number:	A0597/17NY	Zoning	RD/R7 [ZZC]
Owner:	MICHAEL VOLAVKA	Ward:	Don Valley West (25)
Agent:	RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	190 BANFF RD	Community:	North York
Legal Description:	PLAN M552 LOT 13		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0598/17NY	Zoning	RD (f15.0; a550) (x5)/R4[WAV]
Owner(s):	HAMID TALEBI	Ward:	Willowdale (23)
Agent:	MEMAR ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	309 CHURCHILL AVE	Community:	North York
Legal Description:	PLAN 3186 PT LOTS 38 & 39 RP 66R16406 PT PART 1		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and to maintain the existing shed at the rear of the property.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2016**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **29.4 % for the dwelling** and **4.5 % for the shed** of the lot area.
- 2. Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **29.4 % for the dwelling** and **4.5 % for the shed** of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0598/17NY	Zoning	RD (f15.0; a550) (x5)/R4[WAV]
Owner:	HAMID TALEBI	Ward:	Willowdale (23)
Agent:	MEMAR ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	309 CHURCHILL AVE	Community:	North York
Legal Description:	PLAN 3186 PT LOTS 38 & 39 RP 66R16406 PT PART 1		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0599/17NY	Zoning	RD / R4 (BLD)
Owner(s):	ANGELA SO ERNEST LEUNG	Ward:	Don Valley East (34)
Agent:	ERNEST LEUNG	Heritage:	Not Applicable
Property Address:	2 PARIS CRT	Community:	North York
Legal Description:	PLAN M1626 LOT 1		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey addition to the north east portion of the existing dwelling. The applicant is also proposing to enclose the existing breezeway with a new two-storey addition, in conjunction with a second storey addition over the existing detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 21.05 m.
- 2. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0 m.
The proposed building depth is 20.25 m.
- 3. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is the front yard setback of that building on the abutting lot, 7.735 m.
The proposed front yard setback is 7.05 m.
- 4. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m
The proposed building length is 21.05 m.
- 5. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.0 m with a flat roof.
The proposed building height is 8.84 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0599/17NY	Zoning	RD / R4 (BLD)
Owner:	ANGELA SO ERNEST LEUNG	Ward:	Don Valley East (34)
Agent:	ERNEST LEUNG	Heritage:	Not Applicable
Property Address:	2 PARIS CRT	Community:	North York
Legal Description:	PLAN M1626 LOT 1		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0600/17NY	Zoning	RD/R1 Z0.35 [WAV]
Owner(s):	NORMA L JENKIN RICHARD D T JENKIN	Ward:	Eglinton-Lawrence (16)
Agent:	RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	295 GLENCAIRN AVE	Community:	Toronto
Legal Description:	PLAN M87 LOT 32		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.
The proposed building length is **24.38 m**.

2. Chapter 10.20.40.30.(1), By-law No. 569-2013

The maximum permitted building depth is 19.00m.
The proposed building depth is **24.38 m**.

3. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.35 times the lot area.
The proposed floor space index is 0.585 times the lot area.

4. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all exterior main walls is 7.50m.
The proposed height of the rear exterior main wall is 9.99m.

5. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.50m.
The proposed east side yard setback is **1.22 m**.

6. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.50m.

The proposed west side yard setback is **1.21 m**.

7. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth. The proposed east side yard setback is 1.47m for the portion of the dwelling exceeding 17.00m in depth.

8. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth. The proposed west side yard setback is 2.63m for the portion of the dwelling exceeding 17.00m in depth.

9. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.35 times the lot area.

The proposed gross floor area is 0.585 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

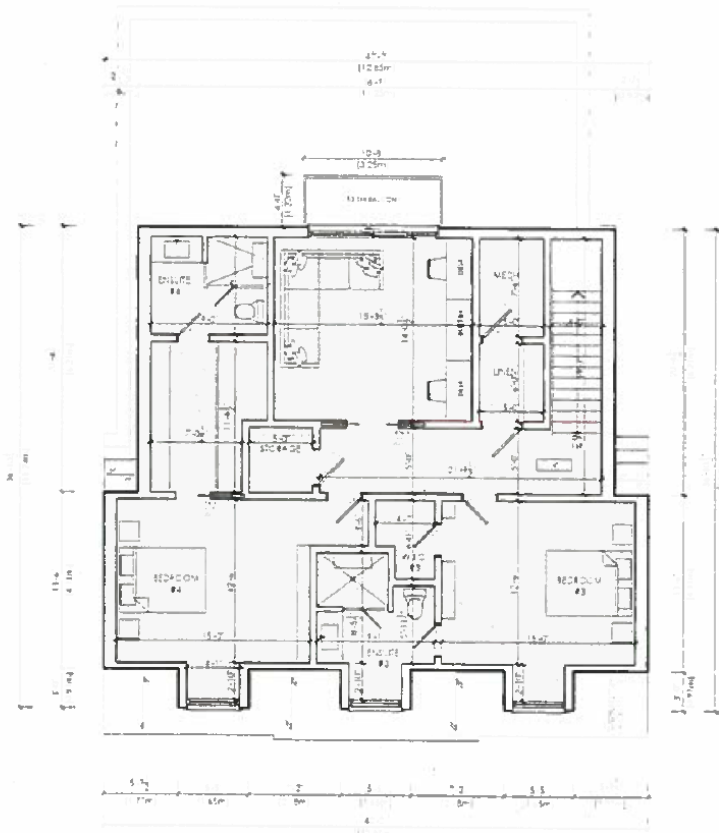
1. The proposed building length beyond 17 metres be one-storey only.
2. The proposal be constructed in accordance with the third floor plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 21, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



RECEIVED

AUG 21 2017

Toronto City Planning
North York District



LEGEND
FINISHES



GERWITZ RESIDENCE
295 GLENCAIRN AVENUE
TORONTO, ONTARIO
JUNE 15, 2017
1722

THIRD FLOOR PLAN
SCALE 1/8" = 1'-0"

SIGNATURE PAGE

File Number:	A0600/17NY	Zoning	RD/R1 Z0.35 [WAV]
Owner:	NORMA L JENKIN RICHARD D T JENKIN	Ward:	Eglinton-Lawrence (16)
Agent:	RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	295 GLENCAIRN AVE	Community:	Toronto
Legal Description:	PLAN M87 LOT 32		

Beth Levy (signed) Denise Graham (signed) Giacomo Tonon (signed)

Rick Ross (signed) Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0602/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	HA TUYET DU TO HA	Ward:	Don Valley West (25)
Agent:	STAN SOTA ARCHITECT	Heritage:	Not Applicable
Property Address:	29 TOFINO CRES	Community:	North York
Legal Description:	PLAN M1222 LOT 327		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new rear one-storey addition (sunroom) in conjunction with a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 35.33% of the lot area.

2. Chapter 10.20.40.70.(2), By-law No. 569-2013

The minimum required rear yard setback is 8.38m.

The proposed rear yard setback is 8.22m.

3. Section 13.2.3(c), By-law No. 7625

The minimum required rear yard setback is 9.50m.

The proposed rear yard setback is 8.22m.

4. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 35.33% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0602/17NY	Zoning	RD/R4 [ZZC]
Owner:	HA TUYET DU TO HA	Ward:	Don Valley West (25)
Agent:	STAN SOTA ARCHITECT	Heritage:	Not Applicable
Property Address:	29 TOFINO CRES	Community:	North York
Legal Description:	PLAN M1222 LOT 327		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0606/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner(s):	COSTEL FODOREAN ADRIANA RODICA FODOREAN	Ward:	Willowdale (24)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	595 CONACHER DR	Community:	North York
Legal Description:	PLAN 1962 PT LOT 8		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.100.1(1)(C)(iii), By-law No. 569-2013**
The maximum permitted drive way width is 6m.
The proposed driveway width is 7.92m.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 3. Chapter 10.5.50.10.(1), By-law No. 569-2013**
The minimum required front yard area must be landscaping is 60%.
The proposed front yard landscaping area is 52%.
- 4. Chapter 10.5.80.40.(1), By-law No. 569-2013**
The maximum combined width of all vehicle entrances through the front main wall of the residential building is 6m.
The proposed combined width of all vehicle entrances through the front main wall is 7.32m.
- 5. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.03m.

6. **Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 9.05m.
The proposed front yard setback is 5.60m.
7. **Section 13.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 7.5m.
8. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.25m.
9. **Section 6A(5)a, By-law No. 7625**
The maximum access required for parking areas is 6m.
The proposed access to parking is 7.92m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. That the proposed driveway be constructed of permeable pavers.
2. That the proposed driveway width be 6.0 m at the public right-of-way.
3. That the proposed height of the side exterior main walls facing the north side lot line is 8.03m for 12% of the length of the dwelling.
4. That the proposed height of the side exterior main walls facing the south side lot line is 8.03m for 26% of the length of the dwelling.

5. SIGNATURE PAGE

File Number:	A0606/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner:	COSTEL FODOREAN ADRIANA RODICA FODOREAN	Ward:	Willowdale (24)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	595 CONACHER DR	Community:	North York
Legal Description:	PLAN 1962 PT LOT 8		

Beth Levy (signed)

Denise Graham (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 31, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0607/17NY	Zoning	RM / RM2 (ZZC)
Owner(s):	MOIRA CROWTHER DEAN	Ward:	Don Valley East (34)
Agent:	JOHN BOONE ARCHITECT	Heritage:	Not Applicable
Property Address:	212 THREE VALLEYS DR	Community:	North York
Legal Description:	PLAN 5112 PT LOT 336		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new attached garage and entry foyer to the northeast side of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0 m.
The proposed building length is 18.53 m.
- 2. Chapter 10.80.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 8.41 m.
The proposed front yard setback is 7.26 m.
- 3. Chapter 10.80.40.70.(3), By-law No. 569-2013**
The required minimum east side yard setback for a semi-detached house is 1.5 m.
The proposed east side yard setback is 0.99 m.
- 4. Section 17(3)(c)(i), By-law No. 7625**
The minimum required front yard setback is 7.5 m.
The proposed front yard setback is 7.26 m.
- 5. Section 17(3)(c)(ii), By-law No. 7625**
The minimum required east side yard setback is 1.2 m.
The proposed east side yard setback is 0.99 m.
- 6. Section 6(9)(a), By-law No. 7625**
Eaves shall be permitted to project into any minimum yard setback not more than 0.5 m
The proposed roof over the garage has a maximum eaves projection of 0.56 m and the proposed roof over the enclosed entry foyer has a maximum eaves projection of 0.75 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

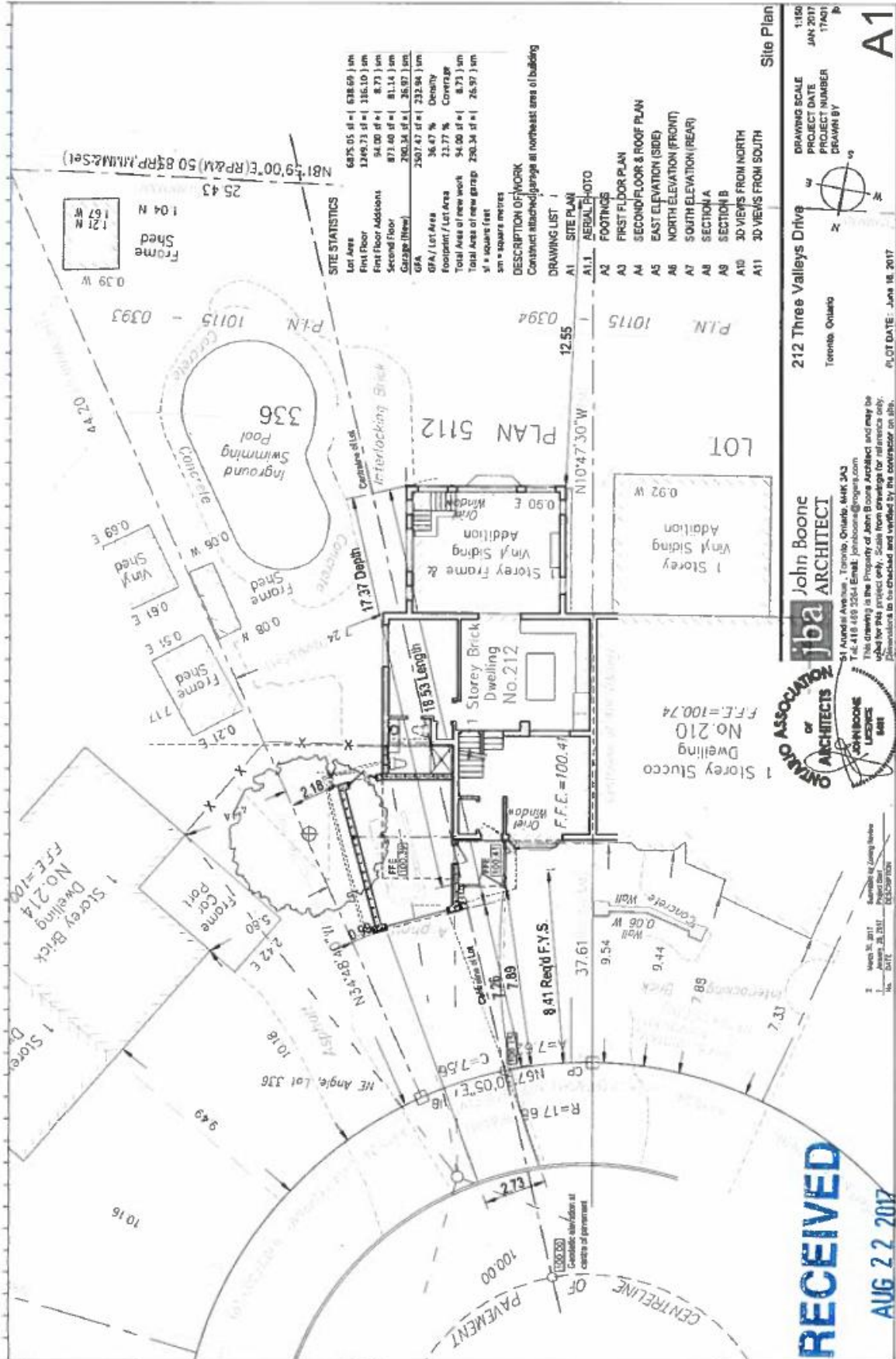
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 22, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



SIGNATURE PAGE

File Number:	A0607/17NY	Zoning	RM / RM2 (ZZC)
Owner:	MOIRA CROWTHER DEAN	Ward:	Don Valley East (34)
Agent:	JOHN BOONE ARCHITECT	Heritage:	Not Applicable
Property Address:	212 THREE VALLEYS DR	Community:	North York
Legal Description:	PLAN 5112 PT LOT 336		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0608/17NY	Zoning	RM/R2 [PPR]
Owner(s):	CATERINA ANDREACCHI PIETRO ANDREACCHI	Ward:	Eglinton-Lawrence (15)
Agent:	PIETRO ANDREACCHI	Heritage:	Not Applicable
Property Address:	96 FAIRBANK AVE	Community:	York
Legal Description:	PLAN 1855 S PT LOT 415		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain the existing residential dwelling that is currently a being used as a Triplex.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.80.20.40.(1), By-law No. 569-2013

A dwelling unit is only permitted in a duplex.
The dwelling unit is located in a Triplex.

2. Chapter 10.80.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.80 times the lot area.
The floor space index is 0.88 times the lot area.

3. Chapter 200.5.10.1.(1), By-law No. 569-2013

The minimum required number of parking space(s) for a Triplex is three (3) spaces.
The Triplex will have two (2) spaces.

4. By-law No. 1-83

A Triplex House is not a permitted Use in this zone.

5. Section 3.2.1D.1, By-law No. 1-83

Any building used whole or in part for residential use (other than apartment, or apartment-hotel) shall provide 1 parking space for each dwelling unit therein; the Triplex requires 3 parking spaces.
The site can provide 2 parking spaces.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0608/17NY	Zoning	RM/R2 [PPR]
Owner:	CATERINA ANDREACCHI PIETRO ANDREACCHI	Ward:	Eglinton-Lawrence (15)
Agent:	PIETRO ANDREACCHI	Heritage:	Not Applicable
Property Address:	96 FAIRBANK AVE	Community:	York
Legal Description:	PLAN 1855 S PT LOT 415		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, August 31, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0540/17NY	Zoning	RD/R5 [ZZC]
Owner(s):	PENDAR SOLEIMANI	Ward:	Don Valley West (25)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	39 TREMONT CRES	Community:	North York
Legal Description:	PLAN 4332 LOT 46		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is **28.5%** of the lot area.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.40m.

3. Section 14-A(8), By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is **9.3m**.

4. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.58m.

5. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, with a maximum height of 1.00m.
The proposed rear deck projects 3.30m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

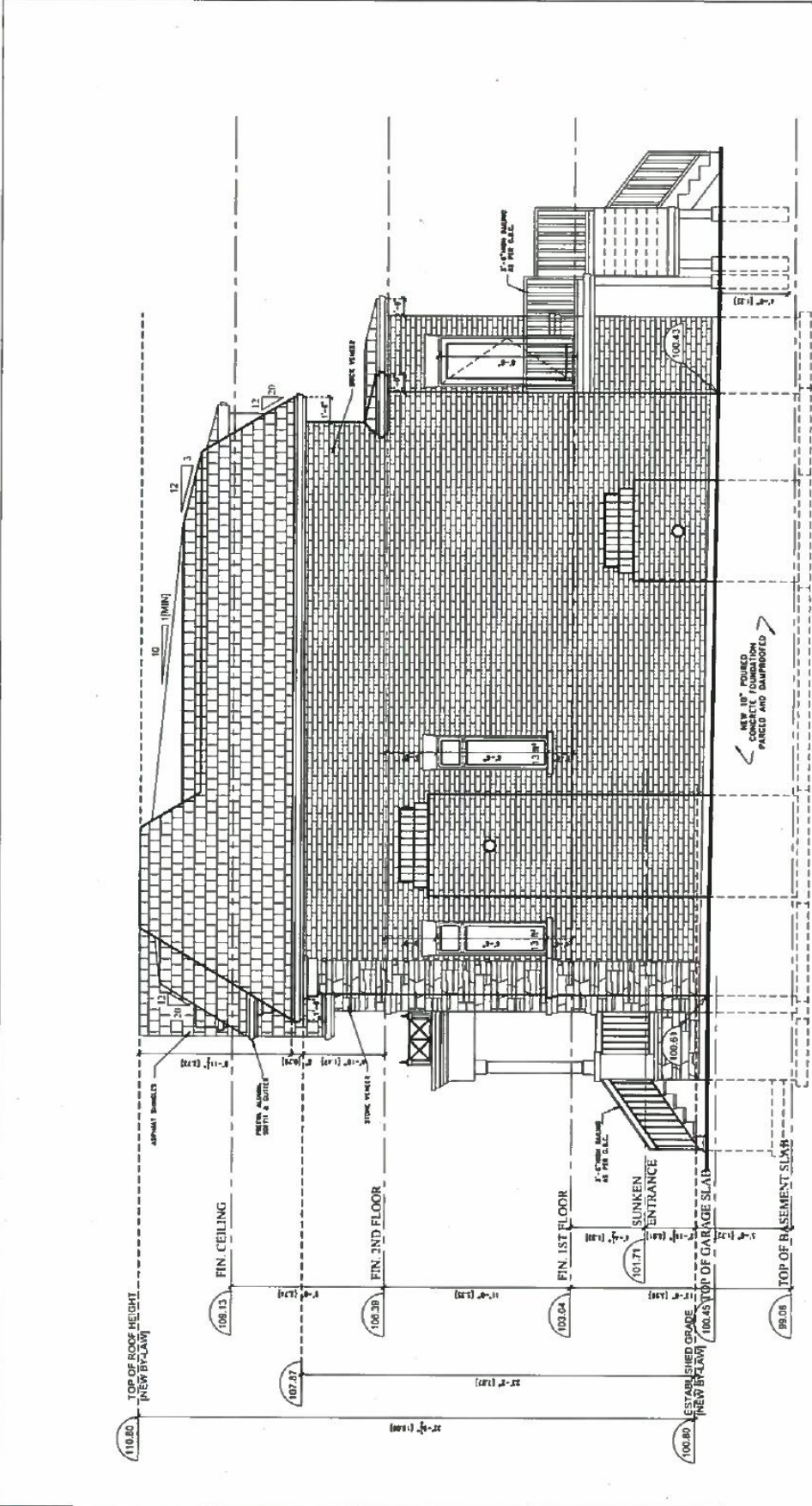
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Where no street tree exists, the owner shall provide payment in an amount to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager of Parks, Forestry and Recreation.
2. The proposal be developed in accordance with the Left (East) Elevation and Right (West) Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 22, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



Rubinoff Design Group
 897 Mount Pleasant Road
 Toronto, Ontario M4M 2K4
 TEL: (416) 461-2222 FAX: (416) 461-2771 EMAIL: info@rubinoffdesign.com

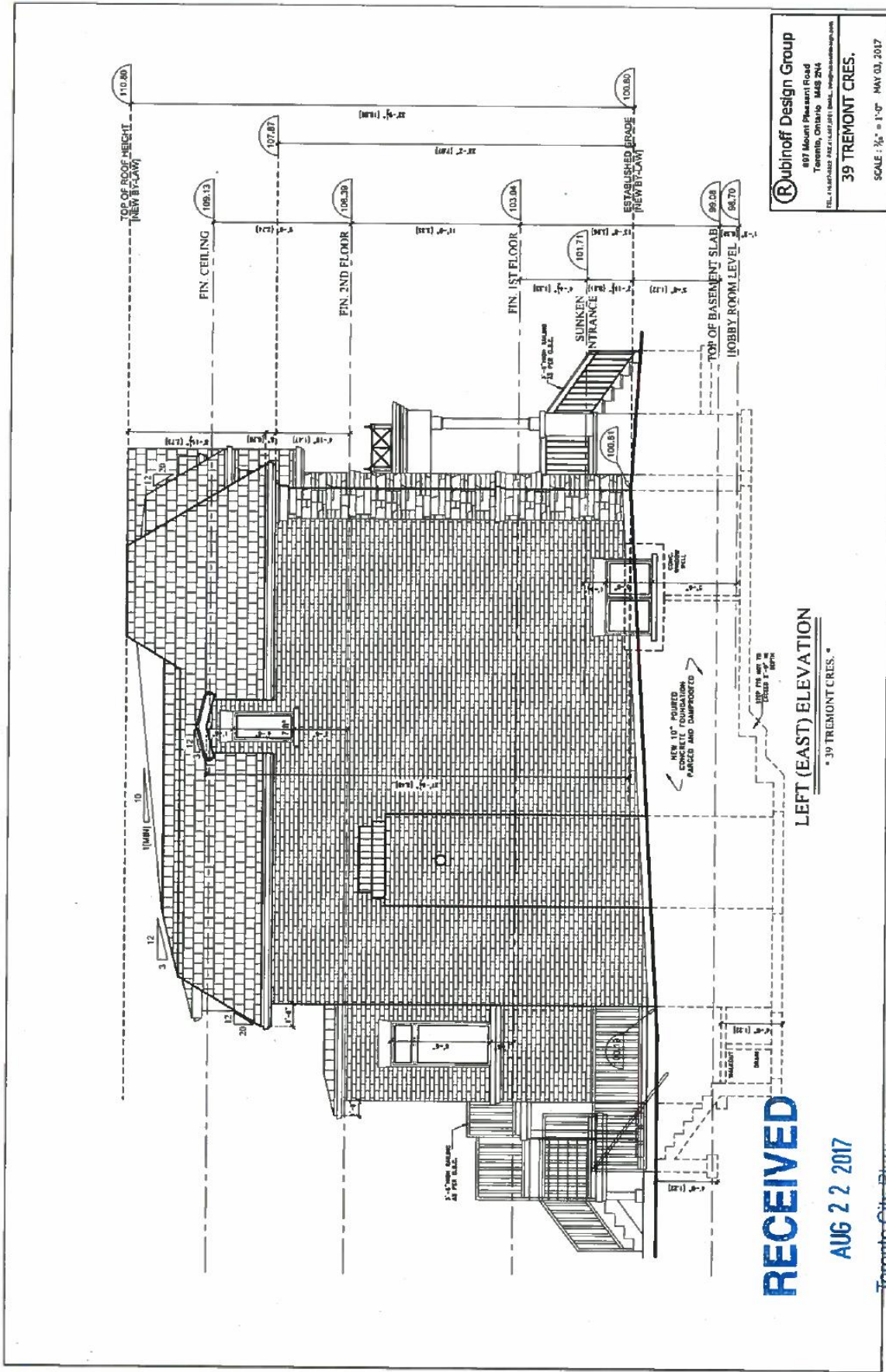
39 TREMONT CRES.
 SCALE: 3/8" = 1'-0" MAY 03, 2017

RIGHT (WEST) ELEVATION
 * 39 TREMONT CRES. *

RECEIVED

AUG 2 2 2017

Toronto City Planning
 North York District



Rubinoff Design Group
 897 Mount Pleasant Road
 Toronto, Ontario M4S 2N4
 TEL: (416) 461-1111 FAX: (416) 461-1112
39 TREMONT CRES.
 SCALE: 1/8" = 1'-0" MAY 03, 2017

LEFT (EAST) ELEVATION
 * 39 TREMONT CRES. *

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AUG 22 2017

Toronto City Planning
 North York District

SIGNATURE PAGE

File Number:	A0540/17NY	Zoning	RD/R5 [ZZC]
Owner:	PENDAR SOLEIMANI	Ward:	Don Valley West (25)
Agent:	GLENN RUBINOFF	Heritage:	Not Applicable
Property Address:	39 TREMONT CRES	Community:	North York
Legal Description:	PLAN 4332 LOT 46		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0609/17NY	Zoning	RD (x5)/R5[ZZC]
Owner(s):	LIHUA HUANG	Ward:	Don Valley East (34)
Agent:	LETUS LTD	Heritage:	Not Applicable
Property Address:	1 CEDARBANK CRES	Community:	North York
Legal Description:	PLAN 4544 LOT 90		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street (Mallow Road) that is not a major street.
The proposed vehicle access to a parking space is from Cedarbank Crescent as opposed to Mallow Road.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 25% of the lot area.
The proposed lot coverage is 29.8% of the lot area.
- Section 14.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is **9.0m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0609/17NY	Zoning	RD (x5)/R5[ZZC]
Owner:	LIHUA HUANG	Ward:	Don Valley East (34)
Agent:	LETUS LTD	Heritage:	Not Applicable
Property Address:	1 CEDARBANK CRES	Community:	North York
Legal Description:	PLAN 4544 LOT 90		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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To appeal this decision to the OMB you need the following:

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0615/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	YUQING HE YU HENG HE	Ward:	Willowdale (23)
Agent:	ARMANDO BARBINI PLANNING & PERMIT SERVICES	Heritage:	Not Applicable
Property Address:	238 DUNVIEW AVE	Community:	North York
Legal Description:	PLAN 3691 PT LOTS 73 & 74		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **31.9%** of the lot area.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.50m.

3. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.
The proposed building length is 17.26m.

4. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.45m.

5. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.45m.

6. Section 13.2.1 & 6(8), By-law No. 7625

The minimum required lot frontage and width is 15.00m.

The existing lot frontage and width is 14.02m.

7. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.70m.

The proposed west side yard setback is 1.45m.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.70m.

The proposed east side yard setback is 1.45m.

9. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 18.21m.

10. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.55m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

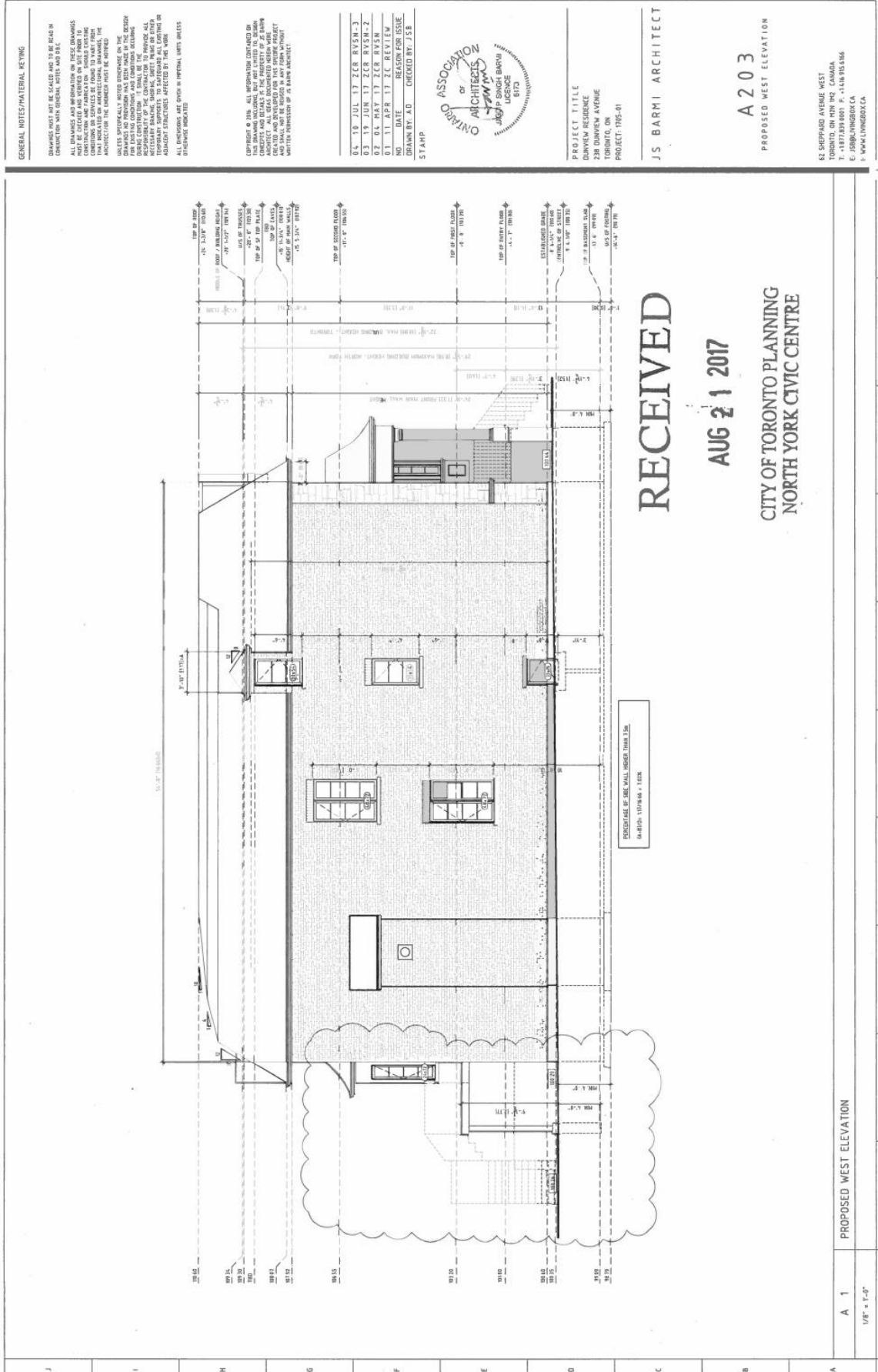
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the front elevation, east elevation, and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, August 21, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



GENERAL NOTES/MATERIAL KEYING

1. ALL DIMENSIONS ARE GIVEN IN IMPERIAL UNITS UNLESS OTHERWISE INDICATED.

2. ALL DIMENSIONS ARE GIVEN IN IMPERIAL UNITS UNLESS OTHERWISE INDICATED.

3. ALL DIMENSIONS ARE GIVEN IN IMPERIAL UNITS UNLESS OTHERWISE INDICATED.

4. ALL DIMENSIONS ARE GIVEN IN IMPERIAL UNITS UNLESS OTHERWISE INDICATED.

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7. ALL DIMENSIONS ARE GIVEN IN IMPERIAL UNITS UNLESS OTHERWISE INDICATED.

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9. ALL DIMENSIONS ARE GIVEN IN IMPERIAL UNITS UNLESS OTHERWISE INDICATED.

10. ALL DIMENSIONS ARE GIVEN IN IMPERIAL UNITS UNLESS OTHERWISE INDICATED.

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AUG 21 2017

CITY OF TORONTO PLANNING

NORTH YORK CIVIC CENTRE

PROPOSED FRONT ELEVATION

A 200

PROPOSED FRONT ELEVATION

83 SHEPPARD AVENUE WEST
TORONTO, ON M2N 1P4 CANADA
T: (416) 333-8881 F: (416) 975-5184
E: 358@LVMBSR.COM
P: WWW.LVMBSD.COM

A	1	1	2	3	4	5	6	7	8	9	10	11
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GENERAL NOTES/MATERIAL KEYING

BRACKETS MUST BE SEALER AND TO BE READ IN CONNECTION WITH GENERAL NOTES AND B.C.
 ALL DRAWINGS AND INFORMATION ON THESE DRAWINGS ARE THE PROPERTY OF JS BARM ARCHITECTS. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JS BARM ARCHITECTS.
 UNLESS SPECIFICALLY NOTED OTHERWISE IN THE DRAWING, ALL MATERIALS AND FINISHES ARE TO BE AS SHOWN ON THE DRAWING. THE ARCHITECT IS NOT RESPONSIBLE FOR EXISTING CONDITIONS AND CONDITIONS ARISING FROM THE CONSTRUCTION OF THE WORK. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE WORK AS SHOWN ON THESE DRAWINGS. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY ADJACENT STRUCTURES AFFECTED BY THIS WORK.
 ALL DIMENSIONS ARE GIVEN IN IMPERIAL UNITS UNLESS OTHERWISE NOTED.

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04.18 JUL 17 ZCR RVS-N-3
 03.19 JUN 17 ZCR RVS-N-2
 02.05 MAY 17 ZCR RVS-N
 01.11 APR 17 ZCR REVIEW
 01.11 APR 17 ZCR REVIEW
 DRAWN BY: AD CHECKED BY: JSB
 STAMP

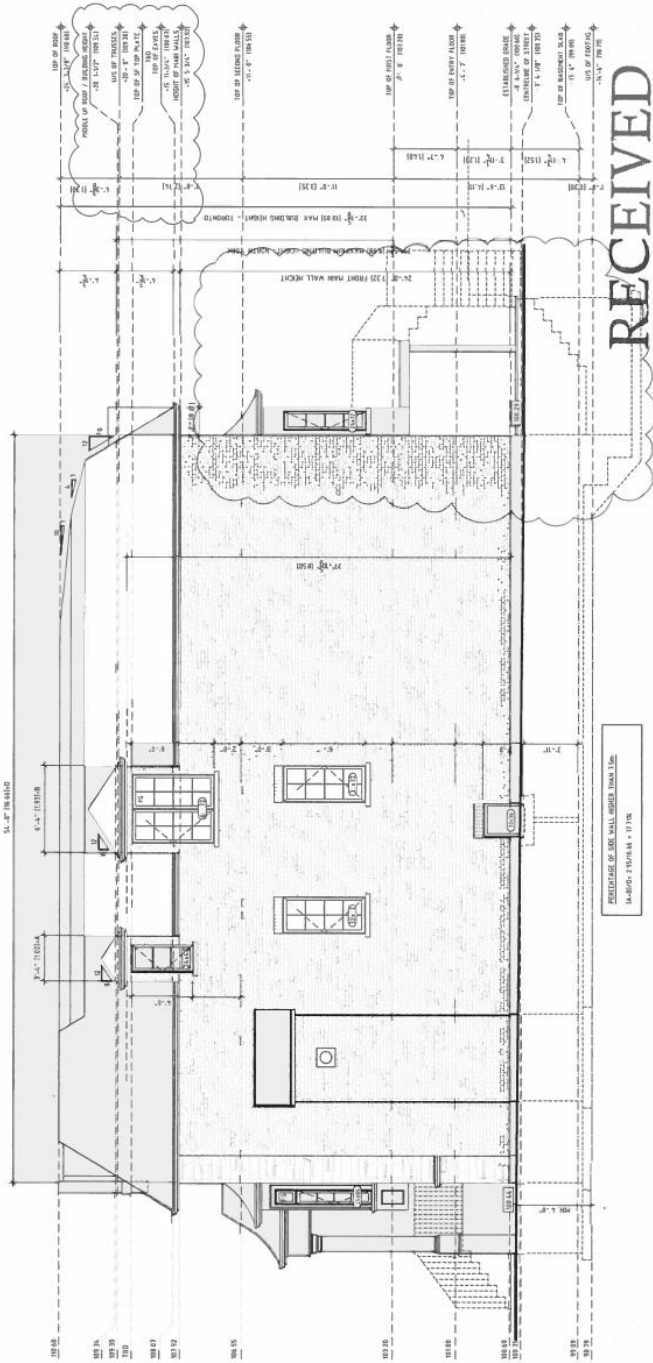


PROJECT TITLE
 DUNVEY RESIDENCE
 100 SHEPPARD AVENUE
 TORONTO, ON
 PROJECT: 1704-01

JS BARM ARCHITECT

A 201
 PROPOSED EAST ELEVATION

62 SHEPPARD AVENUE WEST
 TORONTO, ONTARIO
 T: 416.734.8001 F: 416.464.9546
 E: JSB@LIVINGBOX.CA
 I: WWW.LIVINGBOX.CA



RECEIVED
 AUG 21 2017
 CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

A 1 PROPOSED EAST ELEVATION
 1/8" = 1'-0"

SIGNATURE PAGE

File Number:	A0615/17NY	Zoning	RD/R4 [ZZC]
Owner:	YUQING HE YU HENG HE	Ward:	Willowdale (23)
Agent:	ARMANDO BARBINI PLANNING & PERMIT SERVICES	Heritage:	Not Applicable
Property Address:	238 DUNVIEW AVE	Community:	North York
Legal Description:	PLAN 3691 PT LOTS 73 & 74		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0616/17NY	Zoning	R6/RD[WAV]
Owner(s):	ZOHREH DIVANI	Ward:	Willowdale (23)
Agent:	NOAR CA INC	Heritage:	Not Applicable
Property Address:	125 POYNTZ AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 661 PT LOTS 660 & 662		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40, By-law No. 569-2013**
The maximum permitted lot coverage is 30%.
The proposed lot coverage is **31.67%**.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the east side exterior main walls facing a side lot line is **8.5 m**.
- 3. Section 6(24)(c), By-law No. 7625**
Unexcavated porches and decks shall not exceed 1m in height. Notwithstanding, the first 2.1m of an unexcavated porch or deck shall not exceed the height of the first storey floor joists.
The proposed rear deck exceeds 1m in height and projects for 2.44m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0616/17NY	Zoning	R6/RD[WAV]
Owner:	ZOHREH DIVANI	Ward:	Willowdale (23)
Agent:	NOAR CA INC	Heritage:	Not Applicable
Property Address:	125 POYNTZ AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 661 PT LOTS 660 & 662		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0617/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	SEYEDEBRAHIM MASOUMI	Ward:	Willowdale (24)
Agent:	KAMYAR KHOZEIMEH	Heritage:	Not Applicable
Property Address:	26 LLOYDMINSTER CRES	Community:	North York
Legal Description:	PLAN 4318 LOT 33		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey detached dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40(1), By-law No. 569-2013**
The permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.46% of the lot area.
- 2. Chapter 900.3.10 Exception for RD Zone, By-law No. 569-2013**
The required east side yard setback is 1.8 m.
The proposed east side yard setback is 1.5 m.
- 3. Chapter 10.20.40.10.(6), By-law No. 569-2013**
The permitted maximum height of the first floor above established grade is 1.2 m.
The proposed height of the first floor above established grade is 1.33 m.
- 4. Section 13.2 4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.46% of the lot area.
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum required east side yard setback is 1.8 m.
The proposed east side yard setback is 1.5 m.
- 6. Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5 m.
The proposed finished first floor height is 2.09 m.

7. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.8 m.

The proposed building height is **9.19 m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0617/17NY	Zoning	RD / R4 (ZZC)
Owner:	SEYEDEBRAHIM MASOUMI	Ward:	Willowdale (24)
Agent:	KAMYAR KHOZEIMEH	Heritage:	Not Applicable
Property Address:	26 LLOYDMINSTER CRES	Community:	North York
Legal Description:	PLAN 4318 LOT 33		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0618/17NY	Zoning	RD/R3(19) [ZZC]
Owner(s):	PHILIP LEE KARIN YU-PIK HUI	Ward:	Eglinton-Lawrence (16)
Agent:	PETER TREEN	Heritage:	Not Applicable
Property Address:	314 MELROSE AVE	Community:	North York
Legal Description:	PLAN 1706 PT LOTS 91 & 92		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.30.40.(2), By-law No. 569-2013

The maximum permitted lot coverage for a rear deck that does not encroach into the required minimum rear yard setback is 5.00% of the lot area.

The proposed lot coverage for the rear deck is **8.10%** of the lot area.

2. Section 6(24)(a), By-law No. 7625

All unexcavated porches or decks, attached to or detached from the main building, and located in the side and rear yard, shall not occupy more than 5.00% of the lot area or 56 square metres, whichever is the lesser.

The proposed deck occupies **8.10%** of the lot area.

3. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck projects 5.48m from the rear wall and is **86.00%** of the width of the dwelling.

4. Section 6(9)(i), By-law No. 7625

The maximum permitted projection of a canopy is 1.80m from the rear wall.

The proposed rear canopy projects 6.00m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant is to provide permanent opaque screening or fencing along the edges of the rear deck with a minimum height of 1.5 metres from the floor of the rear deck.

SIGNATURE PAGE

File Number:	A0618/17NY	Zoning	RD/R3(19) [ZZC]
Owner:	PHILIP LEE KARIN YU-PIK HUI	Ward:	Eglinton-Lawrence (16)
Agent:	PETER TREEN	Heritage:	Not Applicable
Property Address:	314 MELROSE AVE	Community:	North York
Legal Description:	PLAN 1706 PT LOTS 91 & 92		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0619/17NY	Zoning	RD (x5)/R4[ZZC]
Owner(s):	SHIRIN ANSARI	Ward:	Willowdale (24)
Agent:	A & ARCHITECTS	Heritage:	Not Applicable
Property Address:	42 MILLGATE CRES	Community:	North York
Legal Description:	PLAN 4847 LOT 41		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 20.83m.
- 2. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 19.08m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

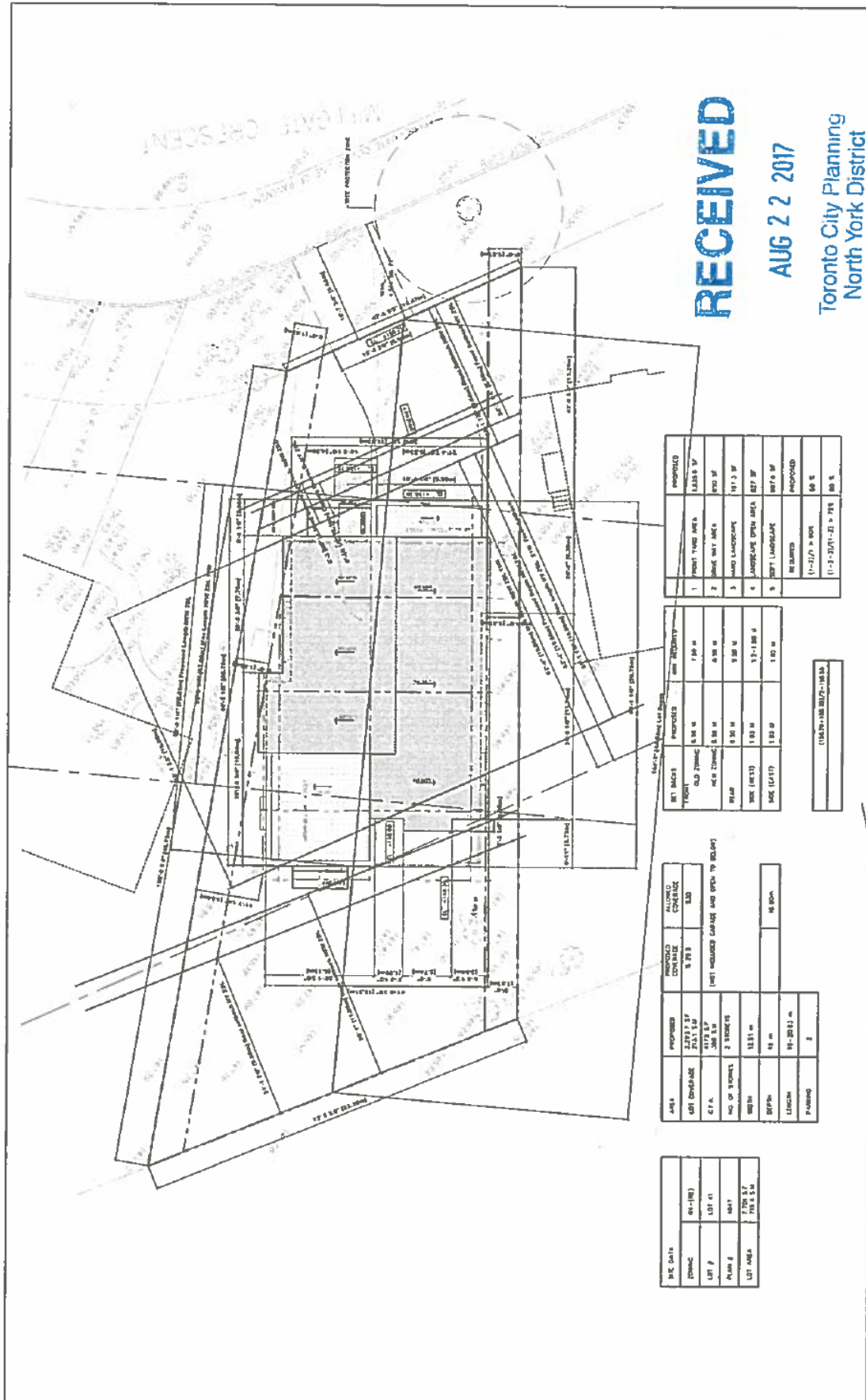
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, August 22, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



RECEIVED

AUG 22 2017

Toronto City Planning
North York District

A&Architects
A. & Associates Architects Inc.
1141 Bay Street, Suite 200
Toronto, Ontario M5G 1A7
www.aandarchitects.com

A102

NO.	DESCRIPTION	AREA (SQ. M)	STATUS
1	PROPOSED	1,138.57	PROPOSED
2	EXISTING	1,138.57	EXISTING
3	REMOVED	1,138.57	REMOVED
4	LANDSCAPE	1,138.57	REMOVED
5	DEPT. LANDSCAPE	1,138.57	REMOVED
6	REMOVED	1,138.57	REMOVED
7	REMOVED	1,138.57	REMOVED
8	REMOVED	1,138.57	REMOVED
9	REMOVED	1,138.57	REMOVED

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42 MILLGATE CRES., NORTH YORK, ONTARIO
FEB 2017
SCALE: 1:200

42 Millgate Cres.
17-105
SITE PLAN

NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMITS	15/02/2017
02	ISSUED FOR PERMITS	21/02/2017
03	ISSUED FOR PERMITS	15/02/2017
04	ISSUED FOR PERMITS	21/02/2017

NO.	DESCRIPTION	DATE
01	ISSUED FOR PERMITS	15/02/2017
02	ISSUED FOR PERMITS	21/02/2017
03	ISSUED FOR PERMITS	15/02/2017
04	ISSUED FOR PERMITS	21/02/2017

SIGNATURE PAGE

File Number:	A0619/17NY	Zoning	RD (x5)/R4[ZZC]
Owner:	SHIRIN ANSARI	Ward:	Willowdale (24)
Agent:	A & ARCHITECTS	Heritage:	Not Applicable
Property Address:	42 MILLGATE CRES	Community:	North York
Legal Description:	PLAN 4847 LOT 41		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0621/17NY	Zoning	RD [WAIVER]
Owner(s):	PARIS FARZAMI	Ward:	Willowdale (23)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	10 ALONZO RD	Community:	North York
Legal Description:	PLAN 4598 LOT 74		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40, By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed coverage is 32.00% of the lot area.
- 2. Chapter 10.20.40.70, By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.20m for 6.35m of the wall.
- 3. Chapter 10.5.40.10(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor must be within 4.00m of the main front wall.
There will be 0.00m² of the first floor within 4.00m of the front main wall.
- 4. Chapter 10.20.40.10, By-law no. 569-2013**
The maximum permitted building height is 7.20m.
The proposed building height is 7.79m.
- 5. Section 13.2.4, By-law no. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 6. Section 13.2.3, By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.20m for 6.35m of the wall.

7. Section 13.2.5A, By-law No. 7625

The maximum permitted length of the building is 16.80m.

The proposed length of the building is 18.63m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0621/17NY	Zoning	RD [WAIVER]
Owner:	PARIS FARZAMI	Ward:	Willowdale (23)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	10 ALONZO RD	Community:	North York
Legal Description:	PLAN 4598 LOT 74		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0622/17NY	Zoning	R4/RD (f21, a550) [WAIVER]
Owner(s):	XIAOYAN JIANG	Ward:	Don Valley West (25)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	17 BRAMBLE DR	Community:	North York
Legal Description:	PLAN M1221 LOT 128		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40, By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 2. Chapter 10.5.100.1, By-law No. 569-2013**
The maximum permitted width of a driveway is 6.00m.
The proposed width of the driveway is 7.62m.
- 3. Chapter 10.5.80.40, By-law No. 569-2013**
The maximum permitted combined width of all vehicle entrances through the front main wall is 6.00m.
The proposed combined width of all vehicle entrances through the front main wall is 7.10m.
- 4. Chapter 10.20.40.10, By-law No. 569-2013**
The maximum permitted height of the side walls is 7.50m.
The proposed height of the side walls is 7.80m.
- 5. Section 13.2.4, By-law no. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 6. Section 13.2.6, By-law no. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.10m.

7. Section 6A(5)a, By-law no. 7625

The maximum permitted driveway width is 6.00m.

The proposed driveway width is 7.62m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0622/17NY	Zoning	R4/RD (f21, a550) [WAIVER]
Owner:	XIAOYAN JIANG	Ward:	Don Valley West (25)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	17 BRAMBLE DR	Community:	North York
Legal Description:	PLAN M1221 LOT 128		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0623/17NY	Zoning	M1 [ZR]
Owner(s):	ERGO PROPERTIES LTD.	Ward:	Don Valley West (26)
Agent:	AMJAD IQBAL	Heritage:	Not Applicable
Property Address:	53 LAIRD DR	Community:	East York
Legal Description:	PLAN 2120 LOT 676 RP 64R7227 PART 1 RP 64R7227 PART 20 PART 21		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing building to create a space for a recreation facility and mezzanine area for storage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 8.2.2, By-law No. 1916**
The maximum permitted floor space index is 0.75 times the lot area.
The proposed floor space index is 0.823 times the lot area.
- 2. Section 8.2.1, By-law No.1916**
The use of private and public recreation facilities is not a permitted use in this zone.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0623/17NY	Zoning	M1 [ZR]
Owner:	ERGO PROPERTIES LTD.	Ward:	Don Valley West (26)
Agent:	AMJAD IQBAL	Heritage:	Not Applicable
Property Address:	53 LAIRD DR	Community:	East York
Legal Description:	PLAN 2120 LOT 676 RP 64R7227 PART 1 RP 64R7227 PART 20 PART 21		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0624/17NY	Zoning	RD (f15.0; a610)/R4[ZZC]
Owner(s):	2439187 ONTARIO INC 2439187 ONTARIO INC	Ward:	Willowdale (23)
Agent:	SHAHRAM RASHVAND	Heritage:	Not Applicable
Property Address:	199 GOULDING AVE	Community:	North York
Legal Description:	PLAN 2366 LOT 255		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **31.71%** of the lot area.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is **1.51m**.
- 3. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.
- 4. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is **1.51m**.
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.
- 6. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **8.87m**.

7. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is **31.71%** of the lot area.

8. Section 13.2.5A(3)(c), By-law no. 7625

The maximum height of a one-storey rear extension is 5.00m.
The proposed height of the rear extension is 5.43m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0624/17NY	Zoning	RD (f15.0; a610)/R4[ZZC]
Owner:	2439187 ONTARIO INC 2439187 ONTARIO INC	Ward:	Willowdale (23)
Agent:	SHAHRAM RASHVAND	Heritage:	Not Applicable
Property Address:	199 GOULDING AVE	Community:	North York
Legal Description:	PLAN 2366 LOT 255		

Beth Levy (signed)

Denise Graham (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, August 31, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0625/17NY	Zoning	RD/ R4 [WAIVER]
Owner(s):	DARIOUSH NOBAHAR	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	463 KENNETH AVE	Community:	North York
Legal Description:	PLAN 2282 LOT 154		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-torey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law no. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing the south side lot line is 8.10m **for no more than 43.00% of the width.**
- 3. Chapter 10.5.80.40.(3)(B), By-law no. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is not from the flanking street.
- 4. Chapter 10.5.100.1.(1)(C), By-law No. 569-2013**
The maximum width of a driveway is 6.00m.
The proposed driveway is 7.80m wide.
- 5. Chapter 10.5.80.40.(1), By-law No. 569-2013**
The maximum combined width of all vehicle entrances through the front main wall is 6.00m.
The proposed combined width of all vehicle entrances through the front main wall is 7.32m.
- 6. Chapter 10.20.40.70.(6), By-law No. 569-2013**
The minimum required side yard setback for a side lot line abutting a street is 3.00m.
The proposed north side yard setback is 1.80m **for the front 10.7 m portion of the dwelling only.**

7. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 16.89m.
8. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.17m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback abutting the street is 3.00m.
The proposed north side yard setback is 1.80m **for the front 10.7 m portion of the dwelling only.**
10. **Section 6A(5)a, By-law no. 7625**
The maximum permitted driveway width is 6.00m.
The proposed driveway width is 7.80m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
2. **Chapter 10.20.40.10.(2), By-law no. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing the south side lot line is 8.10m **for no more than 43.00% of the width.**
3. **Chapter 10.5.80.40.(3)(B), By-law no. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is not from the flanking street.
4. **Chapter 10.5.100.1.(1)(C), By-law No. 569-2013**
The maximum width of a driveway is 6.00m.
The proposed driveway is 7.80m wide.
6. **Chapter 10.20.40.70.(6), By-law No. 569-2013**
The minimum required side yard setback for a side lot line abutting a street is 3.00m.
The proposed north side yard setback is 1.80m **for the front 10.7 m portion of the dwelling only.**
7. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is 16.89m.
8. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is 9.17m.

9. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback abutting the street is 3.00m.

The proposed north side yard setback is 1.80m **for the front 10.7 m portion of the dwelling only.**

10. Section 6A(5)a, By-law no. 7625

The maximum permitted driveway width is 6.00m.

The proposed driveway width is 7.80m

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

5. Chapter 10.5.80.40.(1), By-law No. 569-2013

The maximum combined width of all vehicle entrances through the front main wall is 6.00m.

The proposed combined width of all vehicle entrances through the front main wall is 7.32m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0625/17NY	Zoning	RD/ R4 [WAIVER]
Owner:	DARIOUSH NOBAHAR	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	463 KENNETH AVE	Community:	North York
Legal Description:	PLAN 2282 LOT 154		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 31, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0099/16NY	Zoning	R3/RD (f21.0; a600) (x1011)
Owner(s):	TIESHAN HU GUYING PAN	Ward:	Willowdale (23)
Agent:	D R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	359 GREENFIELD AVE	Community:	North York
Legal Description:	PLAN 3237 PT LOT 4		

Notice was given and the application considered on Thursday, August 31, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots. This consent and the associated minor variance applications were deferred from the Committee of Adjustment hearing of July 6, 2017.

Conveyed - Part 2

Address to be determined

The frontage is 15.25m and the lot area is 400.14m². A new detached residential dwelling is proposed requiring variances to the applicable zoning by-laws.

Retained - Part 1

Address to be determined

The frontage is 15.25m and the lot area is 399.86m². A new detached residential dwelling is proposed requiring variances to the applicable zoning by-laws.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



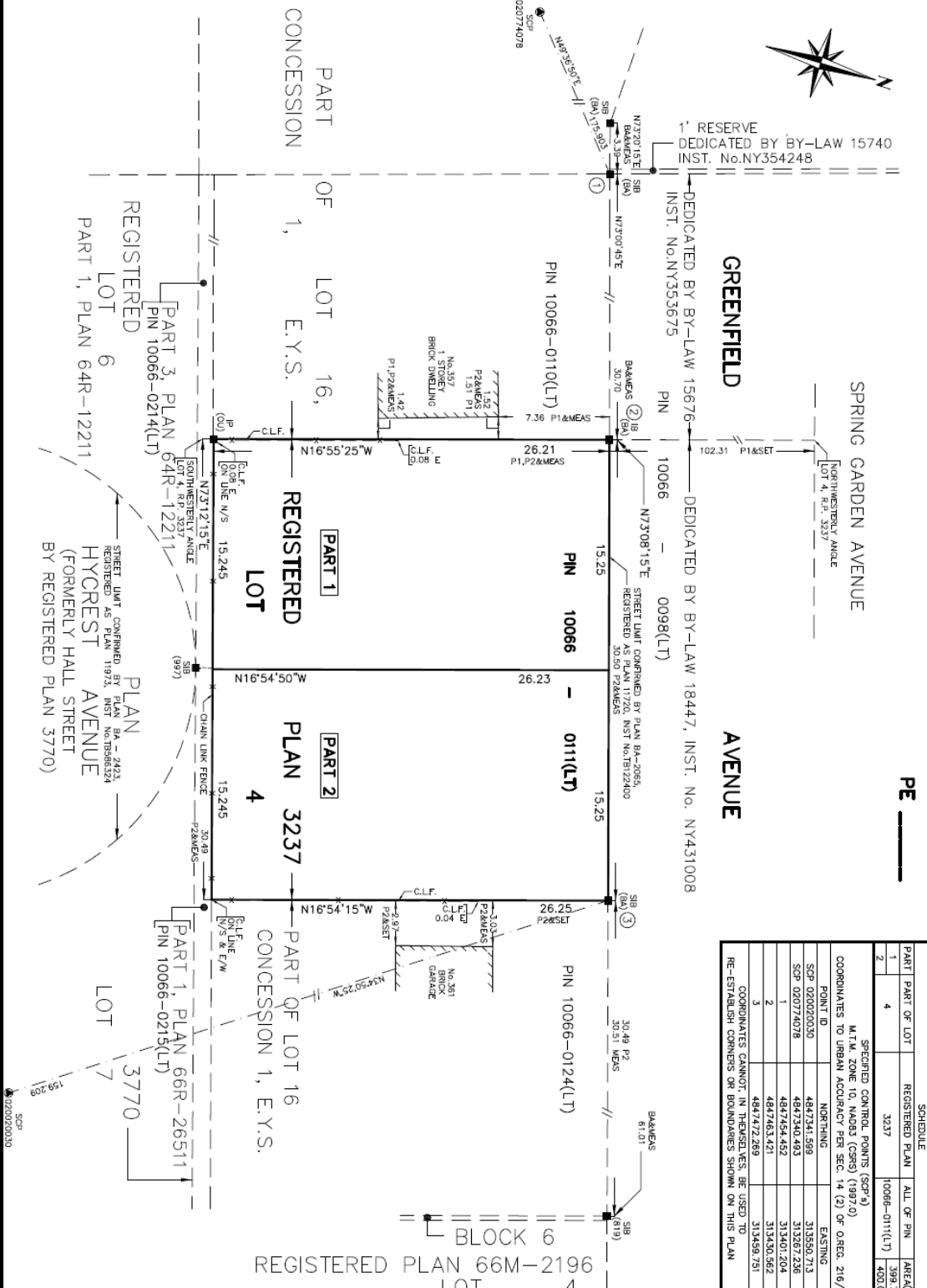
1st RESERVE
DEDICATED BY BY-LAW 15740
INST. No. NY354248

GREENFIELD AVENUE

SPRING GARDEN AVENUE

AVENUE

PE



SCHEDULE			
PART	PART OF LOT	REGISTERED PLAN	AL. OF PIN
1	4	3237	10066-0111(LT)
2	4		400.08

M.T.M. ZONE 10-NAD83 (CSRS) (1997.2)			
COORDINATES TO URBAN ACCURACY PER SEC. 14 (2) OF OREG. 216/10			
POINT ID	NORTHING	EASTING	
SCP 02020030	4847341.599	313350.713	
SCP 020774078	4847340.493	313267.236	
1	4847454.452	313401.204	
2	4847463.421	313430.562	
3	4847472.289	313458.751	

COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

PLAN 66R-

RECEIVED AND DEPOSITED

DATE: _____ 2016

DATE: _____ 2016

2. ZENG

ONTARIO LAND SURVEYOR

REPRESENTATIVE OF LAND REGISTRAR FOR THE LAND TITLES DIVISION OF THE TORONTO RESISTIVE OFFICE (No. 66)

PLAN OF SURVEY OF PART OF LOT 4, REGISTERED PLAN 3237 CITY OF TORONTO (FORMERLY CITY OF NORTH YORK)

SCALE 1:250

10m

MANDARIN SURVEYORS LIMITED, O.L.S.

METRIC

ALL DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND MUST BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- D DENOTES MONUMENT SET
 - M DENOTES MONUMENT FOUND
 - SB DENOTES IRON BAR
 - IP DENOTES IRON PIPE
 - SSB DENOTES SHORT STANDARD IRON BAR
 - WT DENOTES WITNESS
 - WU DENOTES WOOD UNKNOWN
 - BA DENOTES BRASS ANKERS
 - P1 DENOTES PLAN OF SURVEY BY W.S. GIBSON, O.L.S. DATED DECEMBER 20, 1994
 - P2 DENOTES PLAN OF SURVEY BY W.S. GIBSON & SONS, O.L.S. DATED APRIL 17, 1974
 - P3 DENOTES PLAN 64R-12211
 - 819 DENOTES MORGAN, MILLESSE, CAMMACHEL & BURTON, O.L.S.
 - 997 DENOTES JOHN J. KONING, O.L.S.
 - N.S.E.W DENOTES NORTH, SOUTH, EAST, WEST
 - C.L.F. DENOTES CHAIN LINK FENCE
 - B.F. DENOTES BOARD FENCE
 - SCP DENOTES SCHEDULED CONTROL POINTS

NOTES

ARE M.T.M. GRID DERIVED FROM SCHEDULED CONTROL POINTS 02020030 AND 020774078, M.T.M. ZONE 10-NAD83 (CSRS) (1997.2) DISTANCES ARE GROUND AND CAN BE CONVERTED TO FEET BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99982740

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE UNDER THEM.
- THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 20th DAY OF MAY, 2016

DATE: MAY 25, 2016

ONTARIO LAND SURVEYOR

MANDARIN SURVEYORS LIMITED

40 KENNEDY CRESCENT, TORONTO, ONTARIO, CANADA M3J 1K8

PHONE: (416) 430-1386 FAX: (416) 736-4668

WWW.MANDARINSURVEYOR.COM

1000 SHEPPARD AVENUE EAST, TORONTO, ONTARIO, CANADA M2X 1L7

PHONE: (416) 491-1888 FAX: (416) 491-1888

WWW.MANDARINSURVEYOR.COM

SIGNATURE PAGE

File Number:	B0099/16NY	Zoning	R3/RD (f21.0; a600) (x1011)
Owner(s):	TIESHAN HU GUYING PAN	Ward:	Willowdale (23)
Agent:	D R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	359 GREENFIELD AVE	Community:	North York
Legal Description:	PLAN 3237 PT LOT 4		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1150/16NY	Zoning	R3/R3/RD (f21.0; a600) (x1011)(ZR)
Owner(s):	TIESHAN HU XIAORONG HU	Ward:	Willowdale (23)
Agent:	D R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	359 GREENFIELD AVE (PART 1)	Community:	North York
Legal Description:	PLAN 3237 PT LOT 4		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.10.(1), Zoning By-law 569-2013**
The required minimum lot area is 600 m².
The proposed lot area is 399.86 m².
- 2. Chapter 10.20.30.20.(1), Zoning By-law 569-2013**
The required minimum lot frontage is 21 m.
The proposed lot frontage is 15.25 m.
- 3. Chapter 10.20.30.40.(1), Zoning By-law 569-2013**
The permitted maximum lot coverage is 30 % of the lot area: 119.95 m².
The proposed lot coverage is 32 % of the lot area: 127.94 m².
- 4. Section 12.3, Zoning By-law No. 7625**
The minimum required lot area is 600 m².
The proposed lot area is 399.86 m².
- 5. Section 12.4(c), Zoning By-law No. 7625**
The minimum required rear yard setback is 9.5 m.
The proposed rear yard setback is 7.5 m.

6. **Section 12.7, Zoning By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.42 m.
7. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.89 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1150/16NY	Zoning	R3/R3/RD (f21.0; a600) (x1011)(ZR)
Owner:	TIESHAN HU XIAORONG HU	Ward:	Willowdale (23)
Agent:	D R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	359 GREENFIELD AVE (PART 1)	Community:	North York
Legal Description:	PLAN 3237 PT LOT 4		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1151/16NY	Zoning	R3/R3/R3/RD (f21.0; a600) (x1011)(ZR)
Owner(s):	TIESHAN HU XIAORONG HU	Ward:	Willowdale (23)
Agent:	D R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	359 GREENFIELD AVE (PART 2)	Community:	North York
Legal Description:	PLAN 3237 PT LOT 4		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 600 m².
The proposed lot area is 400.14 m².
- 2. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
The permitted maximum lot coverage is 30 % of the lot area: 120.04 m².
The proposed lot coverage is 32 % of the lot area: 127.94 m².
- 3. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 21 m.
The proposed lot frontage is 15.25 m.
- 4. Section 12.4(c), Zoning By-law No. 7625**
The minimum required rear yard setback is 9.5 m.
The proposed rear yard setback is 7.5 m.
- 5. Section 12.7, Zoning By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.54 m.

6. Section 6(30)a, Zoning By-law No. 7625
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.82 m.

7. Section 12.3, Zoning By-law No. 7625
The minimum required lot area is 600 m².
The proposed lot area is 400.14 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A1151/16NY	Zoning	R3/R3/R3/RD (f21.0; a600) (x1011)(ZR)
Owner:	TIESHAN HU XIAORONG HU	Ward:	Willowdale (23)
Agent:	D R DESIGN GROUP INC	Heritage:	Not Applicable
Property Address:	359 GREENFIELD AVE (PART 2)	Community:	North York
Legal Description:	PLAN 3237 PT LOT 4		

Beth Levy (signed) Denise Graham (signed) Giacomo Tonon (signed)

Rick Ross (signed) Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0402/17NY	Zoning	RD (f12.0; a370; d0.6)/R1B[ZONING]
Owner(s):	ARIF KHIMJI CINDY MARY KHIMJI	Ward:	Don Valley West (26)
Agent:	PETER HIGGINS ARCHITECT INC	Heritage:	Not Applicable
Property Address:	26 RYKERT CRES	Community:	East York
Legal Description:	PLAN M597 LOT 39		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 8.5m.
The proposed building height is 8.9m.
- 2. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed south west side yard setback is 0.9m.
- 3. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed north east side yard setback is 0.9m.
- 4. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space Index is 0.957 times the area of the lot.
- 5. Chapter 5.10.40.70.(6), By-law No. 569-2013**
If the Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot, a building or structure on that lot must be set back a minimum of 10m from that shoreline hazard limit or stable top-of-bank.
The proposed building is set back 2.11m from that stable top-of-bank.

6. **Section 6.3.3, By-law No. 1916**
The maximum permitted building height is 8.5m.
The proposed building height is 8.9m.
7. **Section 6.3.3, By-law No. 1916**
The maximum permitted floor space index is 0.6 x the lot area.
The proposed floor space index is .677 x the lot area.
8. **Section 6.3.3, By-law No. 1916**
The maximum permitted lot coverage is 35.0% of the lot area.
The proposed lot coverage is 38.9% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

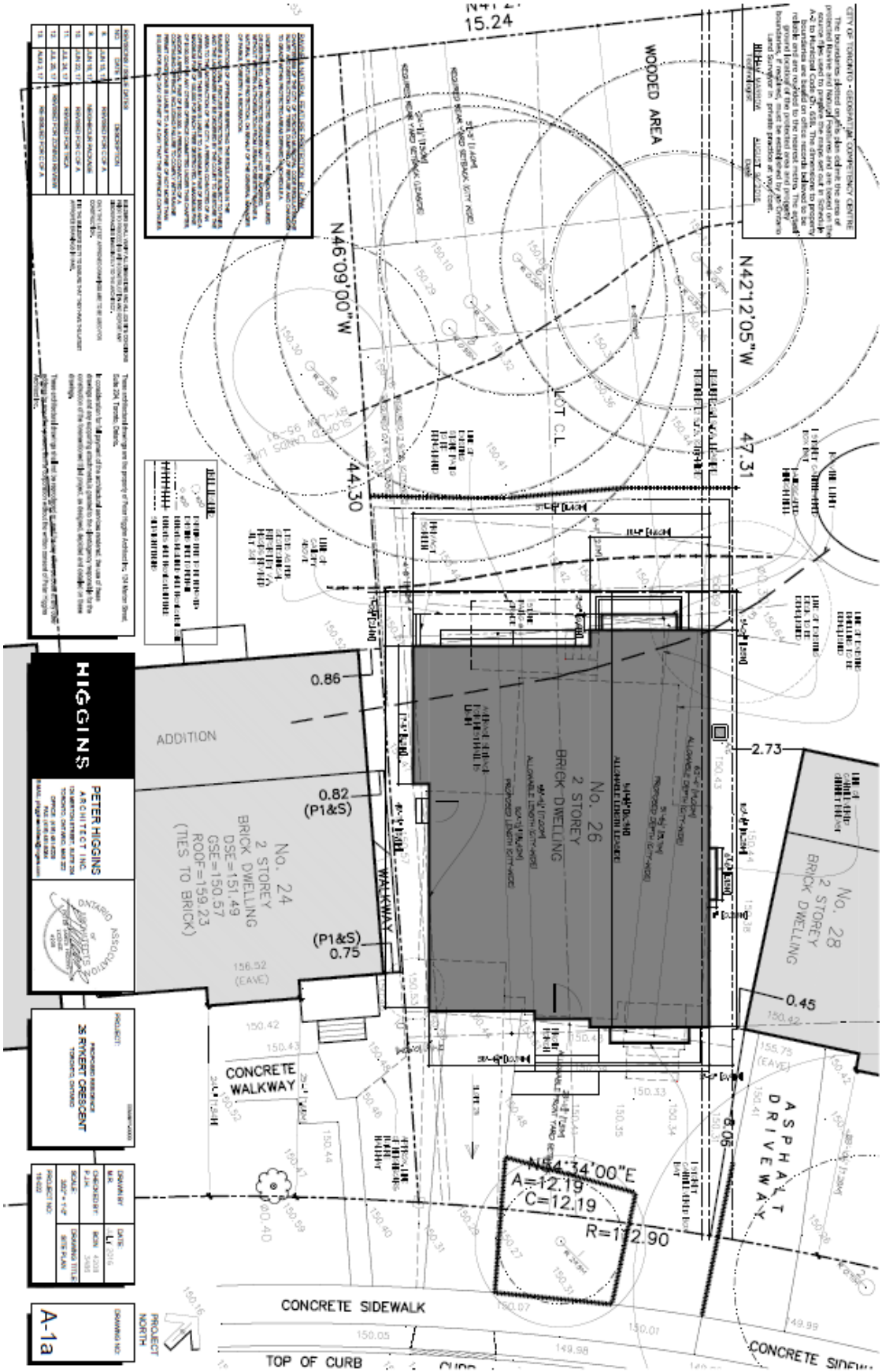
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

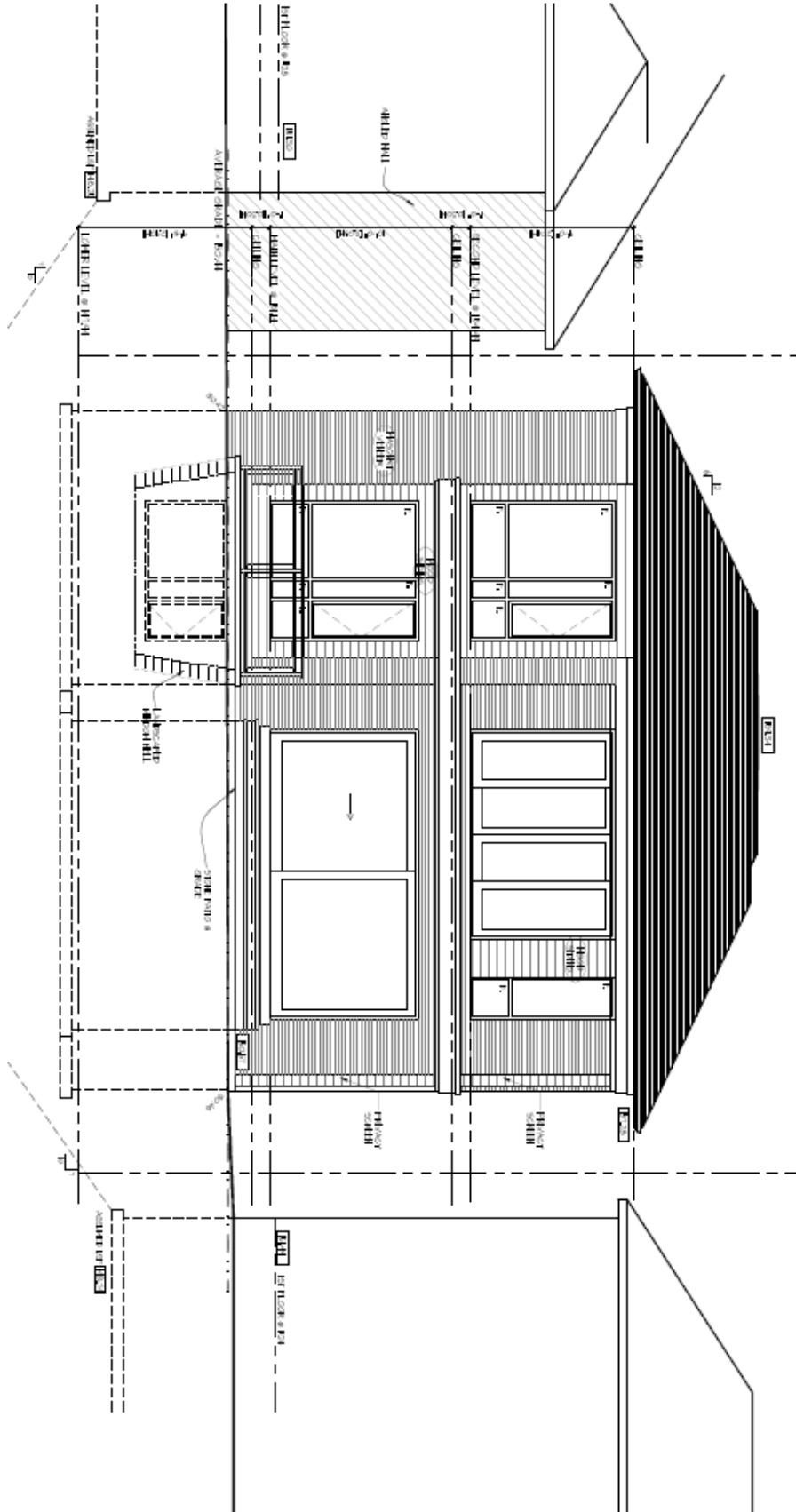
This decision is subject to the following condition(s):

1. The property being developed essentially in accordance with the site plan and rear elevation attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



CITY OF TORONTO - GENERAL COMPASSIONATE CARE
The dimensions shown on this plan are based on the area of...
ALPHABETIC LIST OF DIMENSIONS
No. 24
No. 26
No. 28
No. 29
No. 30
No. 31
No. 32

NO.	DESCRIPTION	DATE
1	PROJECT PLAN	LT 2016
2	REVISIONS	KDN 2016
3	REVISIONS	KDN 2016
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99	REVISIONS	KDN 2016
100	REVISIONS	KDN 2016



REAR ELEVATION

NO.	DATE	DESCRIPTION
1	2024.05.17	REVISED PER CLIENT
2	2024.05.17	FOR REVIEW PURPOSES
3	2024.05.17	REVISED PER CLIENT
4	2024.05.17	REVISED PER CLIENT
5	2024.05.17	REVISED PER CLIENT
6	2024.05.17	REVISED PER CLIENT

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These architectural drawings shall be considered void if they are used for any other project or for any other purpose without the prior written consent of Higgins Architects Inc.

HIGGINS

PETER HIGGINS
ARCHITECT INC.
1000 BAYVIEW AVE. SUITE 100
SCARBOROUGH, ONTARIO M1B 2Y7
TEL: (416) 491-4888
WWW.HIGGINSARCHITECT.COM



PROJECT: 28 RYKERT CRESCENT
TORONTO, ONTARIO

DESIGNED BY: HIGGINS ARCHITECT INC.
DATE: 2024.05.17
SCALE: 3/8" = 1'-0"
DRAWING TITLE: REAR ELEVATION
PROJECT NO: 2024-05

DRAWING NO: A-11

SIGNATURE PAGE

File Number:	A0402/17NY	Zoning	RD (f12.0; a370; d0.6)/R1B[ZONING]
Owner:	ARIF KHIMJI CINDY MARY KHIMJI	Ward:	Don Valley West (26)
Agent:	PETER HIGGINS ARCHITECT INC	Heritage:	Not Applicable
Property Address:	26 RYKERT CRES	Community:	East York
Legal Description:	PLAN M597 LOT 39		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0401/17NY	Zoning	Rd / R1B (ZR)
Owner(s):	DANIELA TIXI	Ward:	Don Valley West (26)
Agent:	PETER HIGGINS ARCHITECT INC	Heritage:	Not Applicable
Property Address:	42 MCRAE DR	Community:	East York
Legal Description:	PLAN 2121 PT LOT 483 PT LOT 484		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey addition to the rear of the existing dwelling. To construct a new second storey addition above the existing garage on the east side. To construct a new enclosed porch and bay window on the front of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70.(1), By-law No 569-2013**
The minimum required front yard setback is 5.11 m.
The proposed front yard setback is 3.95 m.
- 2. Chapter 10.20.40.40.(1), By-law No 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.76 times the area of the lot.
- 3. Chapter 10.20.30.40.(1), By-law No 569-2013**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 38.6% of the lot area.
- 4. Chapter 10.5.80.10.(3), By-law No 569-2013**
A parking space may not be located in a front yard or a side yard abutting a street.
The proposed parking space is located in the front yard.
- 5. Chapter 10.20.40.70.(3), By-law No 569-2013**
The minimum required west side yard setback is 1.2 m
The proposed west side yard setback is 0.9 m.

6. **Chapter 10.20.40.70.(3), By-law No 569-2013**
The minimum required east side yard setback for the building additions is 1.2 m.
The proposed east side yard setback for the two storey building addition is 1.16 m.
7. **Chapter 10.5.40.60.(7), By-law No 569-2013**
The eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 m, if they are no closer to a lot line than 0.3 m.
The proposed eaves encroach 1.05 m into the required east side yard and are 0.15 m from the east side lot line.
8. **Chapter 10.20.40.70.(3), By-law No 569-2013**
The minimum required east side yard setback for the building additions is 1.2 m.
The proposed east side yard setback for the second storey building addition is 0.3 m.
9. **Section 6.3.3, By-law No. 1916**
The maximum permitted floor space index is 0.6 times the lot area.
The proposed floor space index is 0.76 times the lot area.
10. **Section 6.1.1, By-law No. 1916**
Every such addition may retain the side yard setback of the existing dwelling, but in no case shall the said side yards be less than 0.45 m.
The proposed east side yard setback for the second storey of the building is 0.3 m.
11. **Section 6.1.1, By-law No. 1916**
The minimum required front yard setback is 5.16 m.
The proposed front yard setback is 3.95 m.
12. **Section 6.3.3, By-law No. 1916**
The minimum required number of off-street parking spaces is 1 space behind the main front wall.
The proposed number of off-street parking spaces is 1 space in front of the main front wall.
13. **Section 5.7, By-law No. 1916**
Unenclosed porches cannot be closer than 4.5 m to the front lot line.
The proposed distance between the front porch and the front lot line is 3.09 m.
14. **Section 5.7, By-law No. 1916**
Canopies cannot be closer than 4.5 m to the front lot line.
The proposed distance between the front canopy and the front lot line is 3.06 m.
15. **Section 5.7, By-law No. 1916**
Eaves may encroach into any required side yard to a maximum of 0.61 m.
The proposed eaves encroach 0.75 m into the required east side yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) That the garage is not to contain any habitable space.
- 2) That of the 0.76 Floor Space Index, 0.40 is to be allocated to the non-habitable space of the garage.

SIGNATURE PAGE

File Number:	A0401/17NY	Zoning	Rd / R1B (ZR)
Owner:	DANIELA TIXI	Ward:	Don Valley West (26)
Agent:	PETER HIGGINS ARCHITECT INC	Heritage:	Not Applicable
Property Address:	42 MCRAE DR	Community:	East York
Legal Description:	PLAN 2121 PT LOT 483 PT LOT 484		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, August 31, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0408/17NY	Zoning	RD (f15.0; a550)/ R4 [ZR]
Owner(s):	RAMZAN KHAN MOHAMMAD	Ward:	Willowdale (23)
Agent:	NAFISS DESIGN INC	Heritage:	Not Applicable
Property Address:	117 HARLANDALE AVE	Community:	North York
Legal Description:	PLAN M389 W PT LOT 86		

Notice was given and a Public Hearing was held on Thursday, August 31, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.00m² of the first floor area must be within 4.00m of the front wall.
The proposed first floor area within 4.00m of the front wall is 4.70m².
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the west side exterior main walls is 7.65m.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the east side exterior main walls is 7.89m.
- 5. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 0.91m.
- 6. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.

7. **Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 7.50m +/- 1.00m.
The proposed front yard setback is 5.83m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.50m.
The proposed west side yard setback is 0.91m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.50m.
The proposed east side yard setback is 1.22m.
10. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.80m.
The proposed building height is **9.10m**.
12. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.50m.
The proposed finished first floor height is **1.55m**.
13. **Section 7.4A, By-law No. 7625**
The minimum required front yard soft landscaping is 75.00% of the front yard area.
The proposed front yard soft landscaping is 68.70% of the front yard area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0408/17NY	Zoning	RD (f15.0; a550)/ R4 [ZR]
Owner:	RAMZAN KHAN MOHAMMAD	Ward:	Willowdale (23)
Agent:	NAFISS DESIGN INC	Heritage:	Not Applicable
Property Address:	117 HARLANDALE AVE	Community:	North York
Legal Description:	PLAN M389 W PT LOT 86		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, September 7, 2017

LAST DATE OF APPEAL: Wednesday, September 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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