

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0079/17EYK	Zoning:	RD & R2
Owner(s):	MICHAEL BORROMEO LISA BORROMEO	Ward:	Etobicoke-Lakeshore (05)
Agent:	SMPL DESIGN STUDIO	Heritage:	Not Applicable
Property Address:	85 MERVYN AVE	Community:	
Legal Description:	PLAN 3909 LOT 15		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage and a new detached rear shed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted lot coverage is 33% of the lot area (306 m²).
The new dwelling will cover 33.6% of the lot area (311.6 m²).
- 2. Section 900.3.10.(21)(C), By-law 569-2013 and Section 1(b)(1), By-law 1992-23**
The maximum permitted gross floor area is 135 m² plus 25% of the lot area (366.8 m²).
The new dwelling will have a gross floor area equal to 135 m² plus 32.52% of the lot area (435.4 m²).
- 3. Section 10.20.40.70.(1), by-law 569-2013 and Section 320-40(C)(1)**
The minimum required front yard setback is 7.57 m.
The new dwelling will be located 5.74 m from the front lot line.
- 4. Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new dwelling will have a length of 20.4 m.
- 5. Section 900.3.10.(21)(A), By-law 569-2013 and Section 1(a)(2), By-law 1992-23**
The maximum permitted building height for flat roofed dwellings is 6.5 m.
The new flat roofed dwelling will have a height of 7.82 m.
- 6. Section 320-42.1.(D)(1)**
The maximum permitted dwelling depth is 16.5 m.
The new dwelling will have a depth of 18.57 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the Treasurer of the City of Toronto, or Letter of Credit.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
3. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0079/17EYK	Zoning	RD & R2
Owner:	MICHAEL BORROMEO LISA BORROMEO	Ward:	Etobicoke-Lakeshore (05)
Agent:	SMPL DESIGN STUDIO	Heritage:	Not Applicable
Property Address:	85 MERVYN AVE	Community:	
Legal Description:	PLAN 3909 LOT 15		

Rick Ross (signed)

Allan Smithies (signed)

Michael Clark (signed)

Dominic Gulli (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

85 Mervyn Toronto, Ontario

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the Building Code, I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 19618
 Firm BCIN: 51277
 Signature: [Handwritten Signature]

The Builder is responsible for checking all dimensions prior to construction and shall notify SMP, Design Studio of any discrepancies found prior to construction. Drawings should not be scaled to determine dimensions. All Window and Door sizes are approximate and the Manufacturer shall supply the Builder with actual rough opening sizes. All Specifications and Drawings are the property of SMP, Design Studio and may not be reproduced in whole or in parts without the written permission of SMP, Design Studio.

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Drawing Submissions	
Date	Type
Jan 5, 2016	Zoning Certificate

85 Mervyn
Toronto, Ontario

Reviewed By: JT
 Drawn By: JM
 Plot Date:

Page
A0.01

Cover Page



Project Scope:
new construction

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the Building Code, I am qualified, and the firm is registered, in the appropriate classes/categories.

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 Signature: [Handwritten Signature]

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Drawing Submissions	
Date	Type
Jan 5, 2016	Zoning Certificate

85 Mervyn
 Toronto, Ontario

Reviewed By: JT
 Drawn By: JM
 Plot Date:

Page
A0.02

Cover Page

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Individual BCIN: 19618

Firm BCIN: 51277

Signature: *[Handwritten Signature]*

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Drawing Submissions:

Date:	Type:
Jan 5, 2016	Zoning Certificate

85 Mervyn
Toronto, Ontario

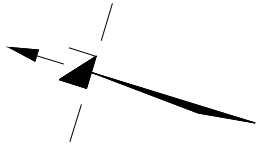
Reviewed By: JT

Drawn By: JM

Plot Date:

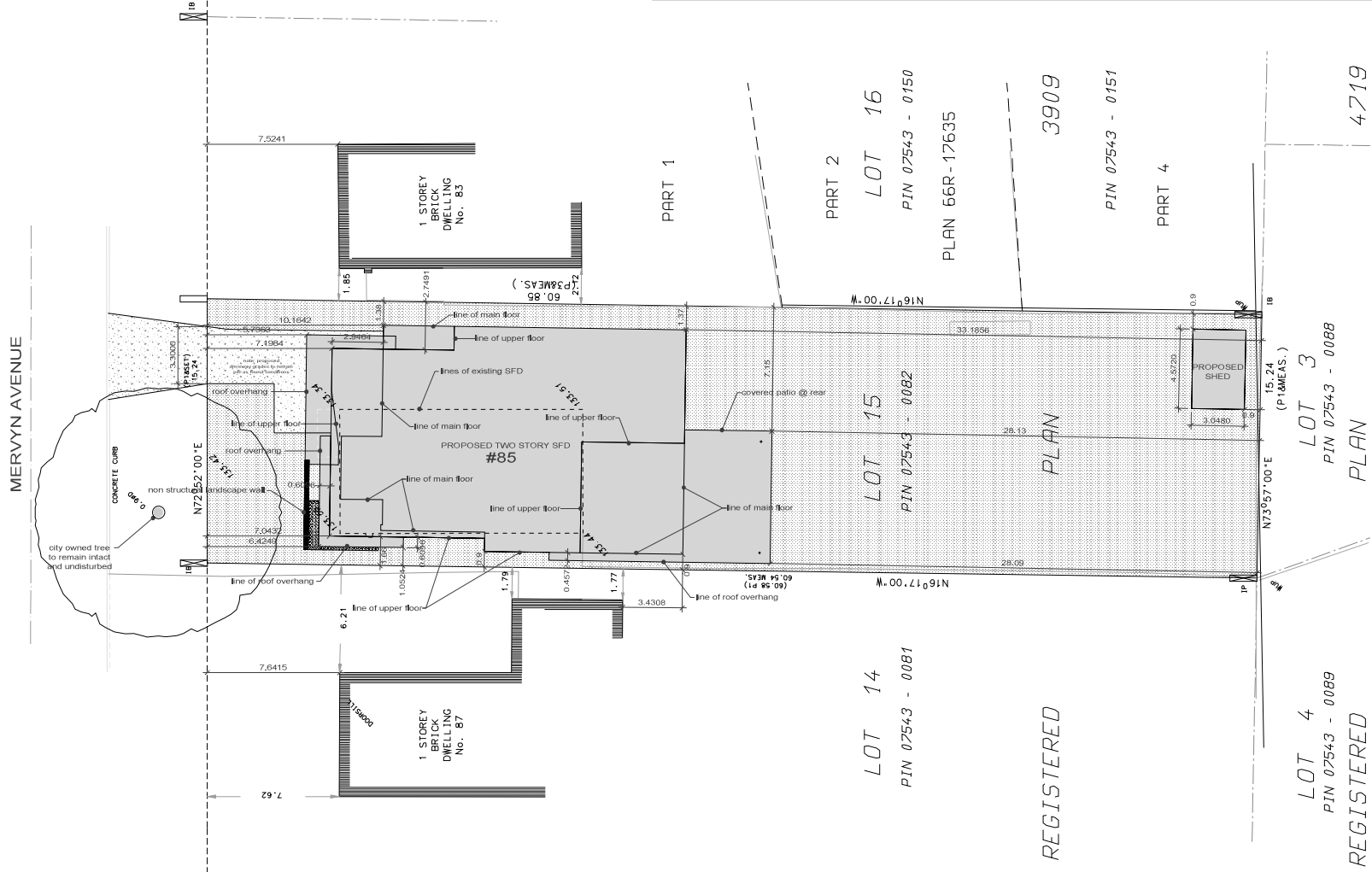
Page
A0.03

Cover Page



Site Statistics
85 Mervyn Avenue, Toronto, Ontario
Lot area: 9,942.40 sq.ft. / 923.68 sq.m.
Zoned RD (R13.5; a510; d0.45) (x21)
$\text{max FSI} = 1,453.13 \text{ sq.ft.} + 25\% \text{ of } 9,942.40 \text{ sq.ft.} = 3,938.73 \text{ sq.ft. inc. garage and void areas taller than 4.6m (4\% void area = ok and not inc. in calculation) = not ok; need variance}$ $\text{min. lot area} = \text{ok.}$ $\text{min. lot frontage} = \text{ok.}$
$\text{Max lot coverage} = 33\% \text{ or } 3,293.73 = \text{not ok; need variance}$ $\text{Proposed Coverage: } 3,529.76 \text{ sq.ft.} / 327.93 \text{ sq.m.}$ $\text{or } 35.60\%$
$\text{Max height} = 4.5\text{m max height per specification on x21} = \text{not ok; need variance}$ $\text{Max height of side walls} = 7\text{m from established grade per surveyor} = \text{not ok; need variance}$
$\text{Max building length} = 17\text{m or } 55.743' = \text{not ok; need variance}$
$\text{Max GFA} = \text{per above } 1,453.13 \text{ sq.ft.} + 25\% \text{ of } 9,981 \text{ sq.ft.} = 3,948.38 \text{ sq.ft. inc. garage and void areas taller than 4.6m (4\% void area = ok and not inc. in calculation) = not ok; need variance}$ $\text{Proposed GFA: } 4,670.10 \text{ sq.ft.} / 433.67 \text{ sq.m.}$ $\text{Proposed FSI: } 0.47 \text{ (} 2,425.32 \text{ sq.ft. @ main; } 2244.78 \text{ sq.ft. @ upper)}$

The Builder is responsible for checking all dimensions prior to construction and notifying SMP Design Studio of any discrepancies found prior to Construction. Drawings shall not be scaled to determine dimensions.
 All Window and Door sizes are approximate and the Manufacturer shall supply the Builder with actual rough opening sizes.
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1 site plan
 1 : 128 "when printed on 18x24 paper"

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 www.smpdesignstudio.com 905.570.2201. smp10e@gmail.com

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 Residence
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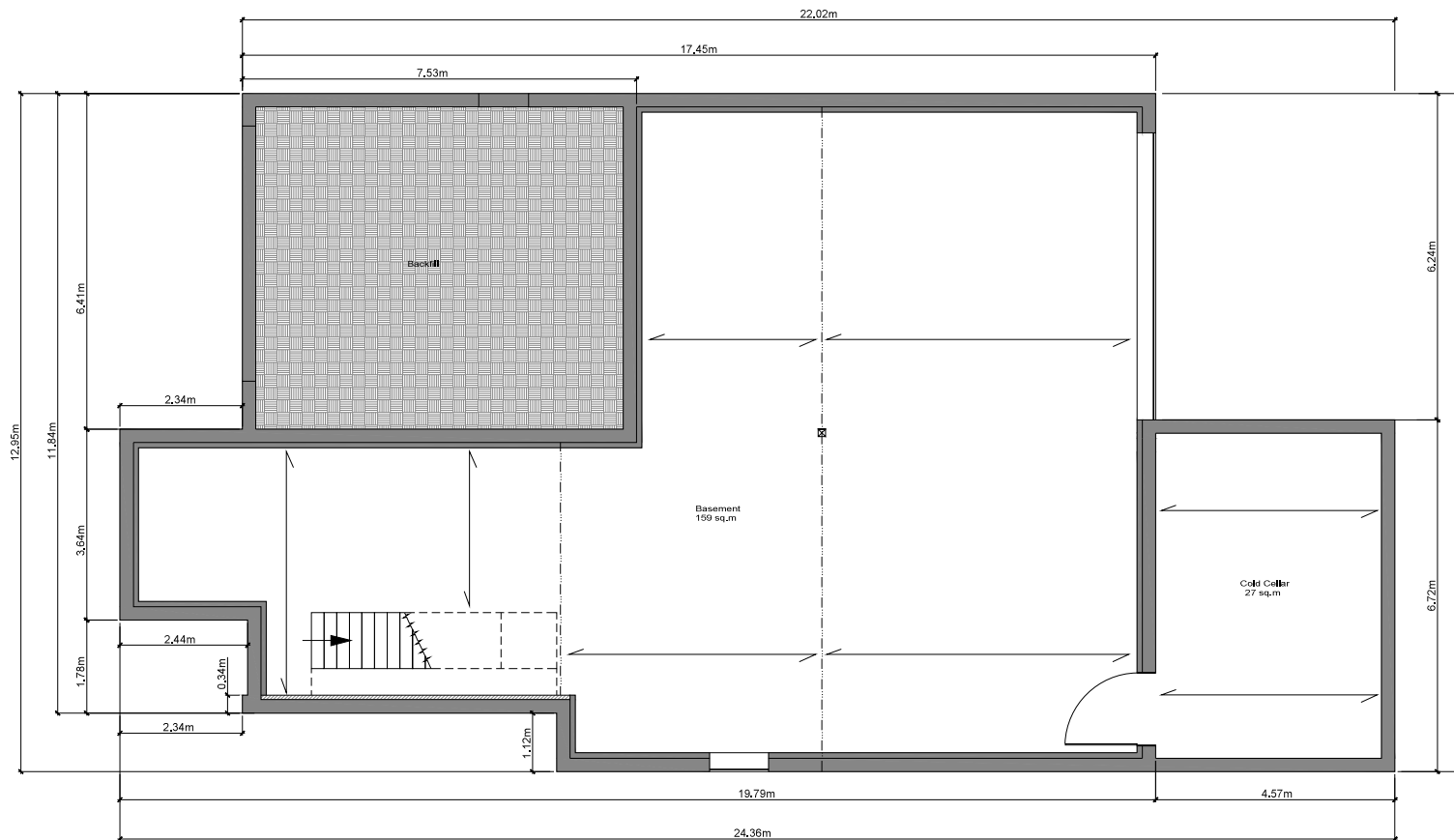
Review by
 Drawn by JT
 Met Date 05/11/18

Page
 A0.04

Site Plan

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the Building Code, I am qualified, and the firm is registered, in the appropriate class/category.
 Individual BCN: [Signature]
 Firm BCN: [Signature]
 Signature: [Signature]

The Builder is responsible for checking all dimensions prior to construction and shall notify SMP, Design Studio of any discrepancies found prior to Construction. Drawings should not be scaled to determine dimensions. All Window and Door sizes are approximate and the Manufacturer shall supply the Builder with actual rough opening sizes. All Specifications and Drawings are the property of SMP, Design Studio and may not be reproduced in whole or in parts without the written permission of SMP, Design Studio.



① Proposed Basement Floor Plan
3/16" : 1'-0"

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Drawing Submissions:

Date:	Type:
JAN 4, 2016	MINOR VARIANCE

Reviewed By: JT

Drawn By: NWA

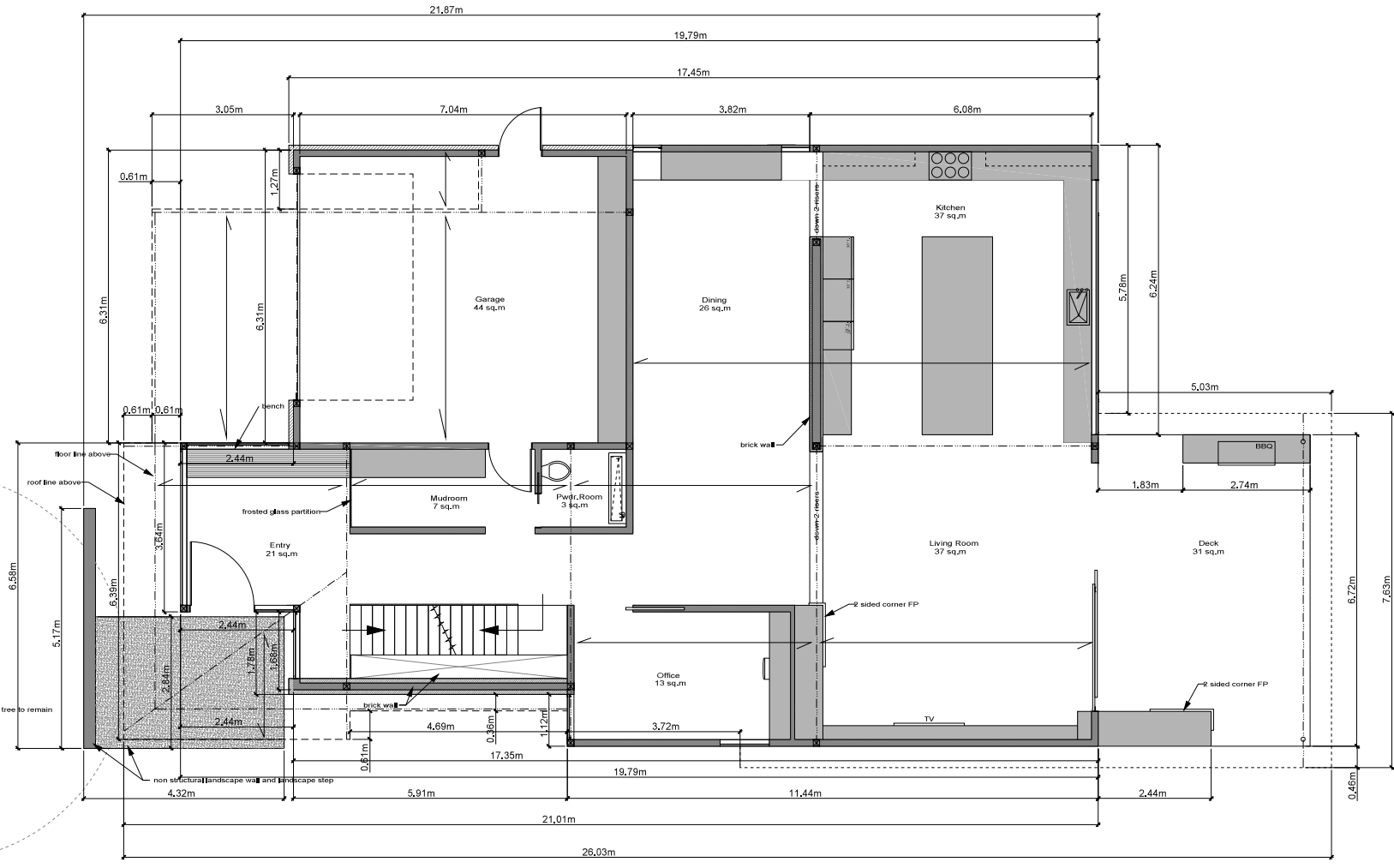
Plot Date:

Page
A1.01

Proposed
Basement

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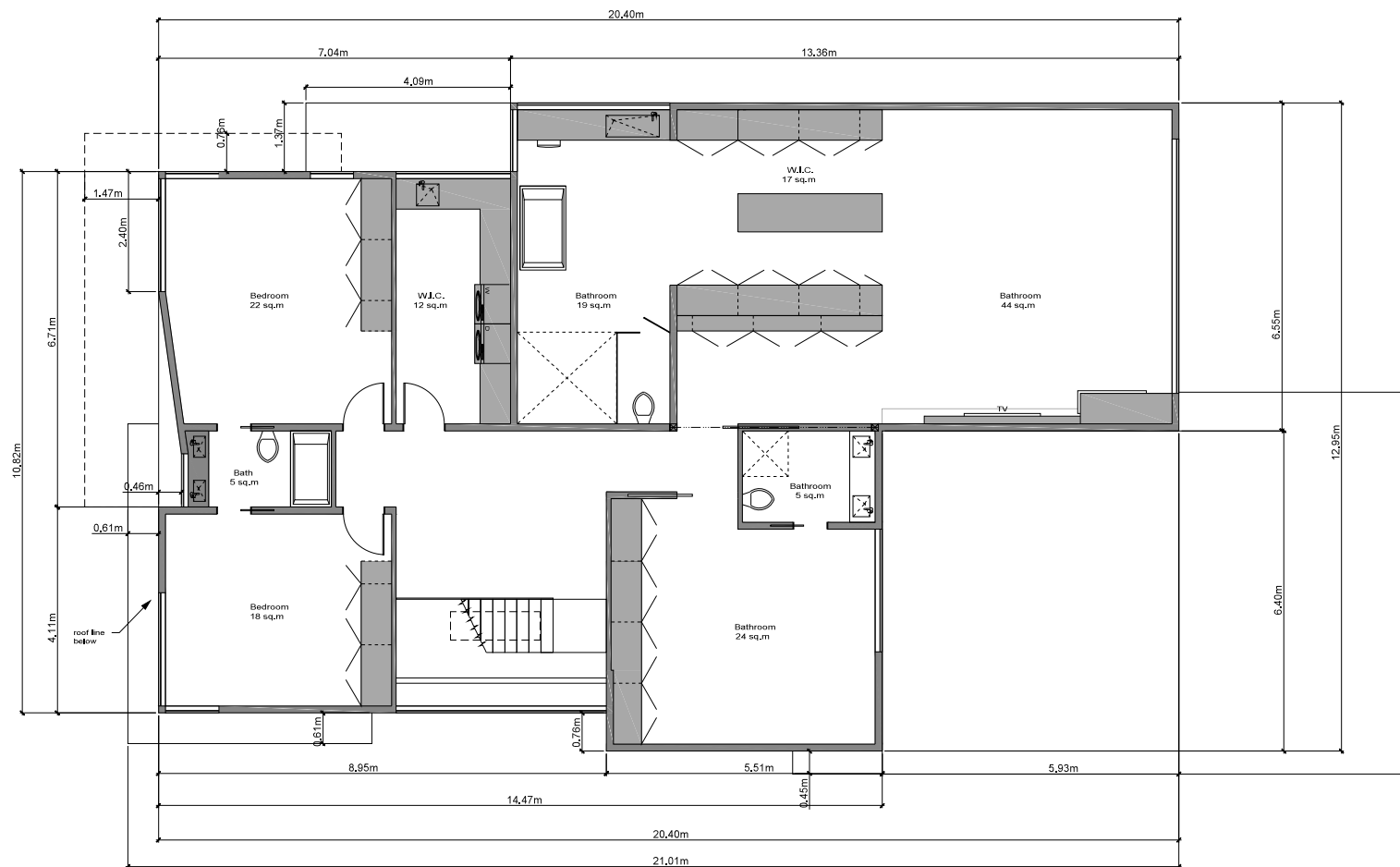
Drawing Submissions:	
Date:	Type:
JAN 4, 2016	MINOR VARIANCE



① Proposed Main Floor Plan
 3/16" : 1'-0"

Reviewed By:	JT
Drawn By:	J.M.
Plot Date:	

The Builder is responsible for checking all dimensions prior to construction and shall notify SMPL Design Studio of any discrepancies found prior to Construction. Drawings should not be scaled to determine dimensions. All Window and Door sizes are approximate and the Manufacturer shall supply the Builder with actual rough opening sizes. All Specifications and Drawings are the property of SMPL Design Studio and may not be reproduced in whole or in parts without the written permission of SMPL Design Studio.



① Proposed Upper Floor Plan
3/16" : 1'-0"

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Drawing Submissions	
Date:	Type:
JAN. 4, 2016	MINOR VARIANCE

Reviewed By:	JT
Drawn By:	J.M.
Plot Date:	

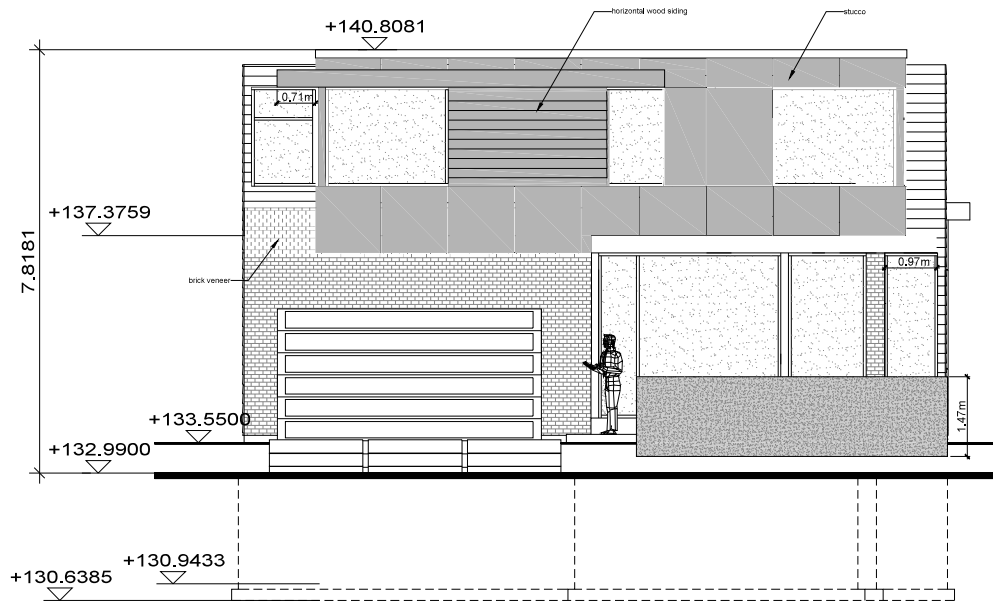
Page
A1.03

Proposed
Upper Floor

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the Building Code, I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 19618
 Firm BCIN: 51277
 Signature: *[Handwritten Signature]*

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① Front Elevation
 3/16" : 1'-0"

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Drawing Submissions	
Date	Type
Jan 5, 2016	Zoning Certificate

85 Mervyn
 Toronto, Ontario

Reviewed By: JT
 Drawn By: JM
 Plot Date:

Page
A2.01

Front Elevation

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the Building Code, I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 19618
 Firm BCIN: 51271
 Signature: *[Handwritten Signature]*

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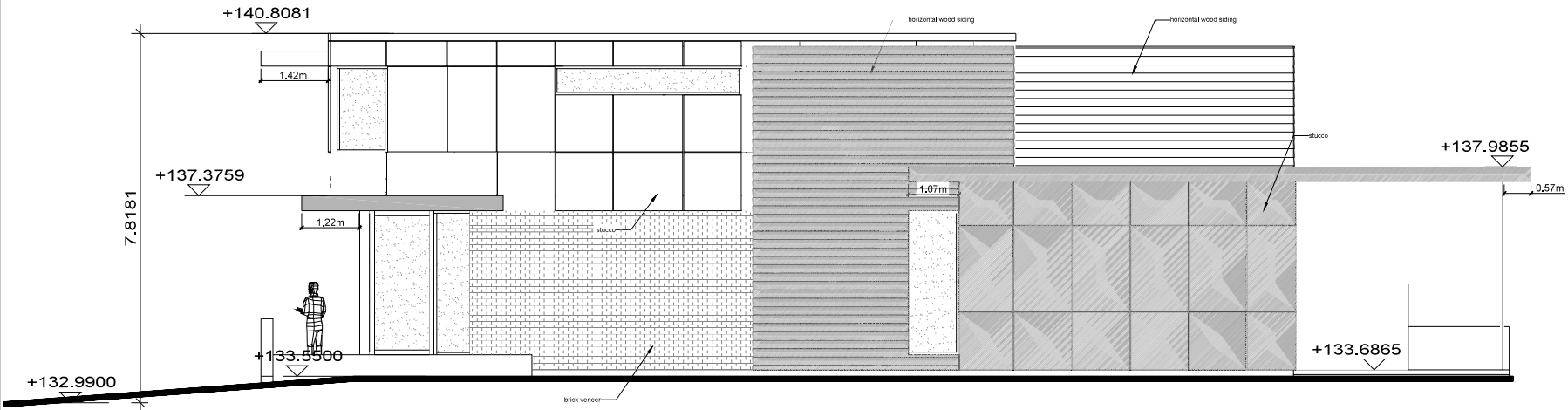
Drawing Submissions:	
Date:	Type:
Jan 5, 2016	Zoning Certificate

85 Mervyn
 Toronto, Ontario

Reviewed By:	JT
Drawn By:	JM
Plot Date:	

Page
A2.02

Side Elevation

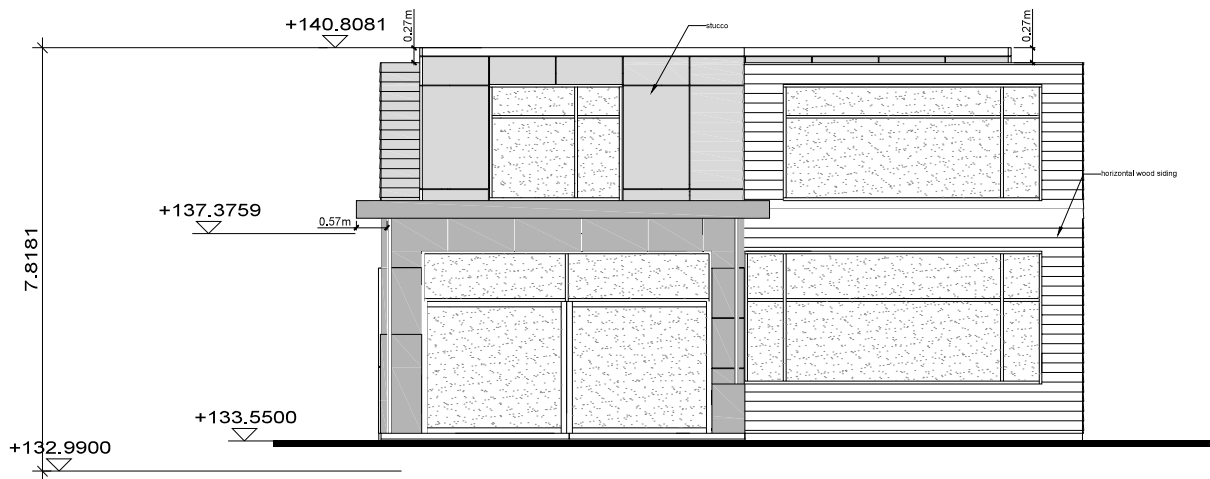


① Side Elevation 001
 3/16" : 1'-0"

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the Building Code. I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 19618
 Firm BCIN: 51277
 Signature: *[Handwritten Signature]*

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① Rear Elevation
 3/16" : 1'-0"

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Drawing Submissions	
Date	Type
Jan 5, 2016	Zoning Certificate

85 Mervyn
 Toronto, Ontario

Reviewed By: JT
 Drawn By: JM
 Plot Date:

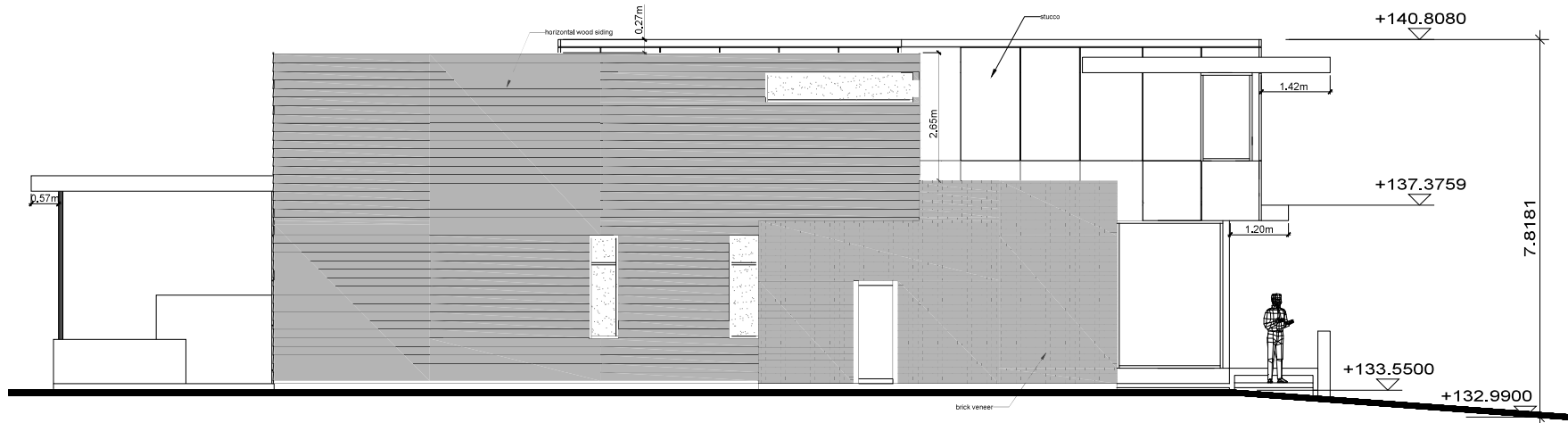
Page
A2.03

Rear Elevation

I review and take responsibility for the design work on behalf of a firm registered under subsection 2.17.4. of the Building Code, I am qualified, and the firm is registered, in the appropriate classes/categories.

Individual BCIN: 19618
 Firm BCIN: 51277
 Signature: *[Handwritten Signature]*

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① Side Elevation 002
 3/16" : 1'-0"

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Drawing Submissions:

Date	Type
Jan 5, 2016	Zoning Certificate

85 Mervyn
 Toronto, Ontario

Reviewed By: JT
 Drawn By: JM
 Plot Date:

Page
A2.04

Side Elevation

The Builder is responsible for checking all dimensions prior to construction and shall notify S.M.P. Design Studio of any discrepancies found prior to Construction. Drawings shall not be scaled to determine dimensions. All Window and Door sizes are approximate and the Manufacturer shall supply the Builder with actual rough opening sizes. All Specifications and Drawings are the property of S.M.P. Design Studio and may not be reproduced in whole or in part without the written permission of S.M.P. Design Studio.



① **building section**
1 : 128 "when printed on 18x24 paper"

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85 Mervyn Ave
Residence
Toronto, Ontario, Canada

Review by
Drawn by JT
Met Date 05/18/18

Page
A3.01

Building Section

Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0086/17EYK	Zoning:	RD & R2
Owner(s):	DAVID DI BIASE VERONICA MADONNA	Ward:	Etobicoke-Lakeshore (05)
Agent:	DAVID DI BIASE	Heritage:	Not Applicable
Property Address:	7 COLWYN RD	Community:	
Legal Description:	PLAN 4320 LOT 70		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition that will cantiliever along the north, east and west sides of the dwelling, and a rear yard deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 320-42.1.A.(1)**
The maximum permitted gross floor area is 0.45 times the area of the lot (244.9 m²).
The altered dwelling will have a gross floor area of 0.46 times the area of the lot (250.41 m²).
- Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 320-40.C.(3)**
The minimum required front yard setback is 7.82 m.
The altered dwelling will be located 7.46 m from the front lot line.
- Section 320-42.1.B.(2)**
The maximum permitted height of a flat roofed dwelling is 6.5 m.
The altered dwelling will have a flat roof height of 7.45 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0086/17EYK	Zoning	RD & R2
Owner:	DAVID DI BIASE VERONICA MADONNA	Ward:	Etobicoke-Lakeshore (05)
Agent:	DAVID DI BIASE	Heritage:	Not Applicable
Property Address:	7 COLWYN RD	Community:	
Legal Description:	PLAN 4320 LOT 70		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

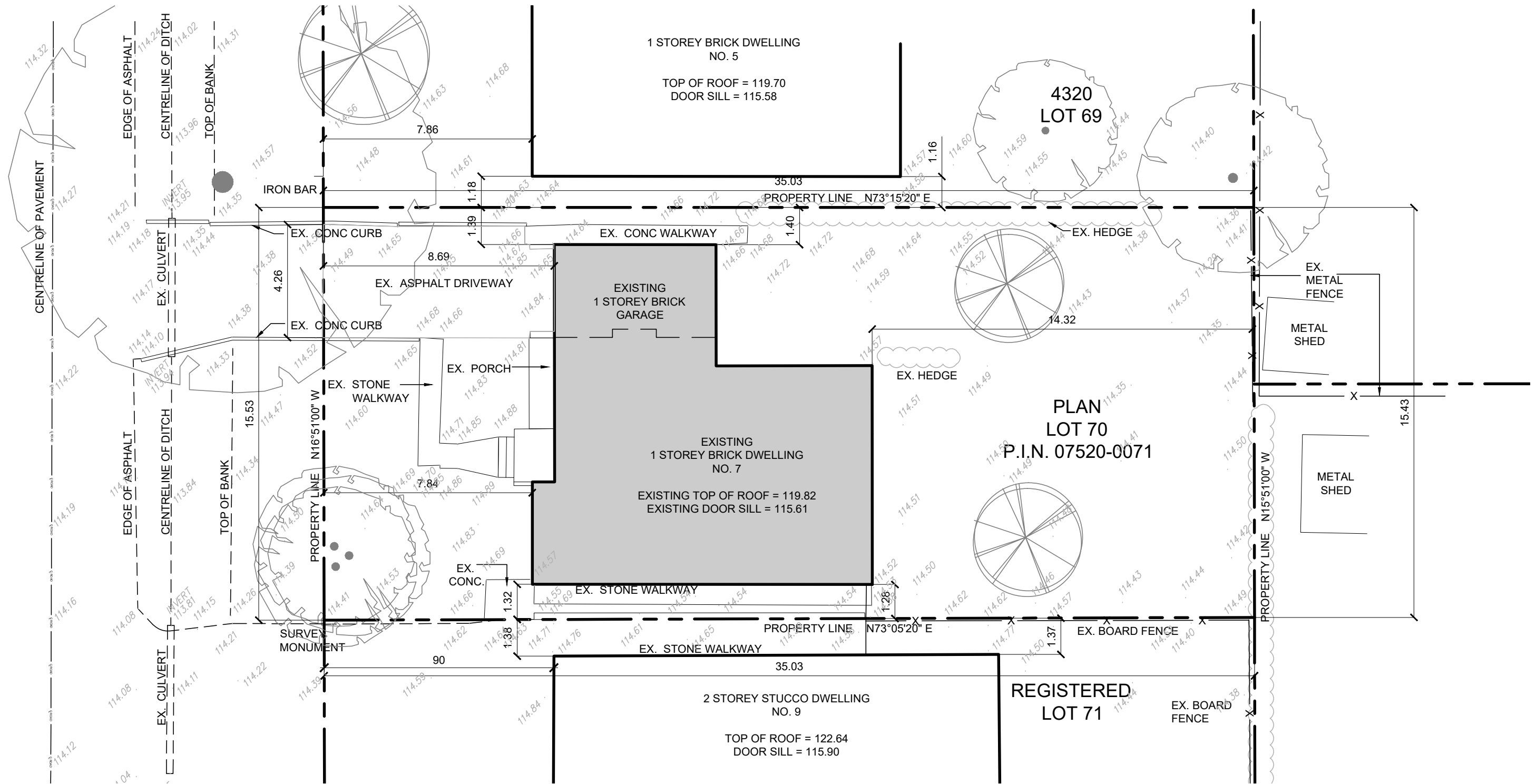
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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COLWYN ROAD



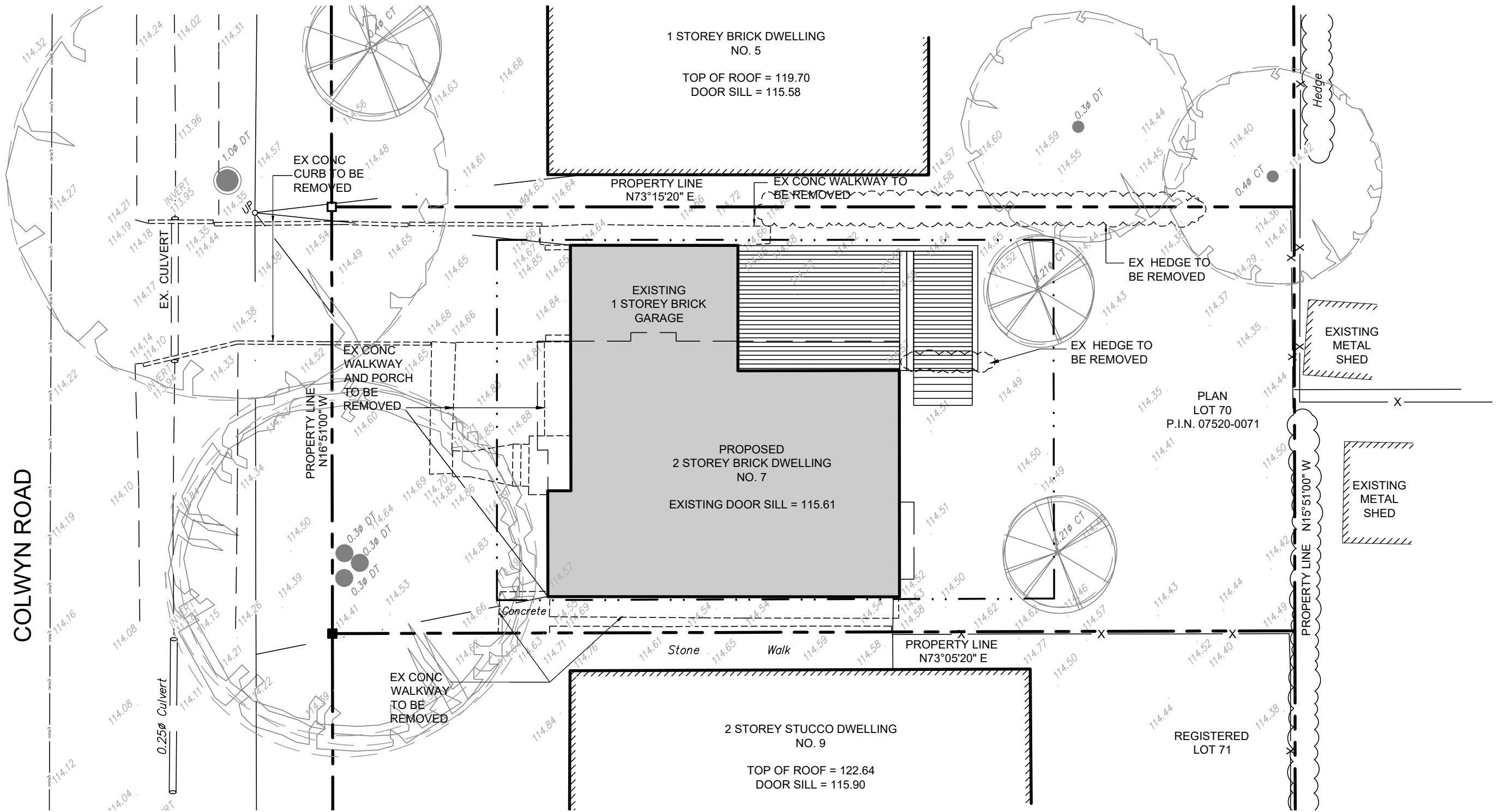
02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



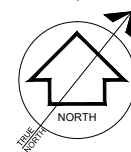
SCALE: 1:150 mm
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
EXISTING SITE PLAN

A021



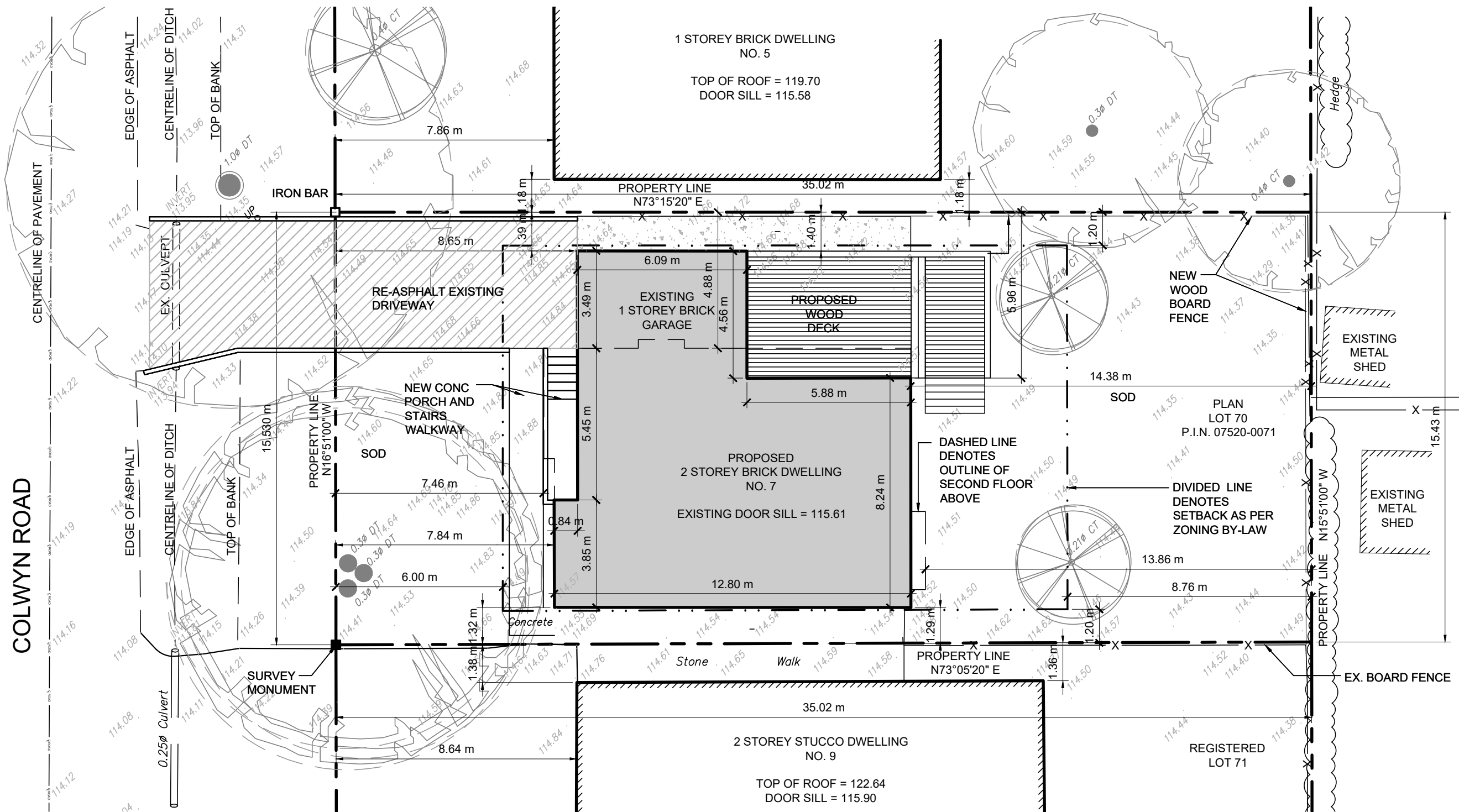
02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: 1:150 mm
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
PROPOSED SITE DEMO PLAN

A024



PROPOSED DETACHED DWELLING STATISTICS ZONING = RD (f13.5; a510; d0.45)		FLOOR SPACE INDEX = 0.461 (0.45 ALLOWABLE)		MINIMUM REAR YARD SETBACK = THE GREATER OF 7.5 M OR 25% OF THE LOT DEPTH = 8.76 M		FRONT YARD AREA = 130.6 SM	
SITE AREA = 542 SM (5,834 SF)		LOT COVERAGE = 23% (35% ALLOWABLE)		EXISTING = 14.32 M		FRONT YARD PAVED /CONC. AREA = 60.35 SM	
FLOOR AREAS		MINIMUM LOT FRONTAGE = 13.5 M		PROPOSED = 13.86 M		FRONT YARD LANDSCAPE AREA = 70.25 SM	
GROUND FLOOR	EXISTING 129 SM (1,392 SF)	PROPOSED 129 SM (1,392 SF)	EXISTING = 15.54 M			PERCENTAGE OF FRONT YARD LANDSCAPE AREA = 54%	
(N.I.C. GARAGE = 21 SM)			PROPOSED = 15.54 M				
BASEMENT FLOOR AREA			MINIMUM FRONT YARD SET BACK = 6.0 M				
(EX. STORAGE, MECH, LAUNDRY & MECH)	17 SM (145 SF)	21.1 SM (227 SF)	EXISTING = 7.84 M				
GROUND FLOOR AREA:	108 SM (1,163 SF)	108 SM (1,163 SF)	PROPOSED = 7.46M				
SECOND FLOOR	0 SM	121 SM (1,305 SF)					
TOTAL	125 SM (1,345 SF)	250.1 SM (2,468 SF)					

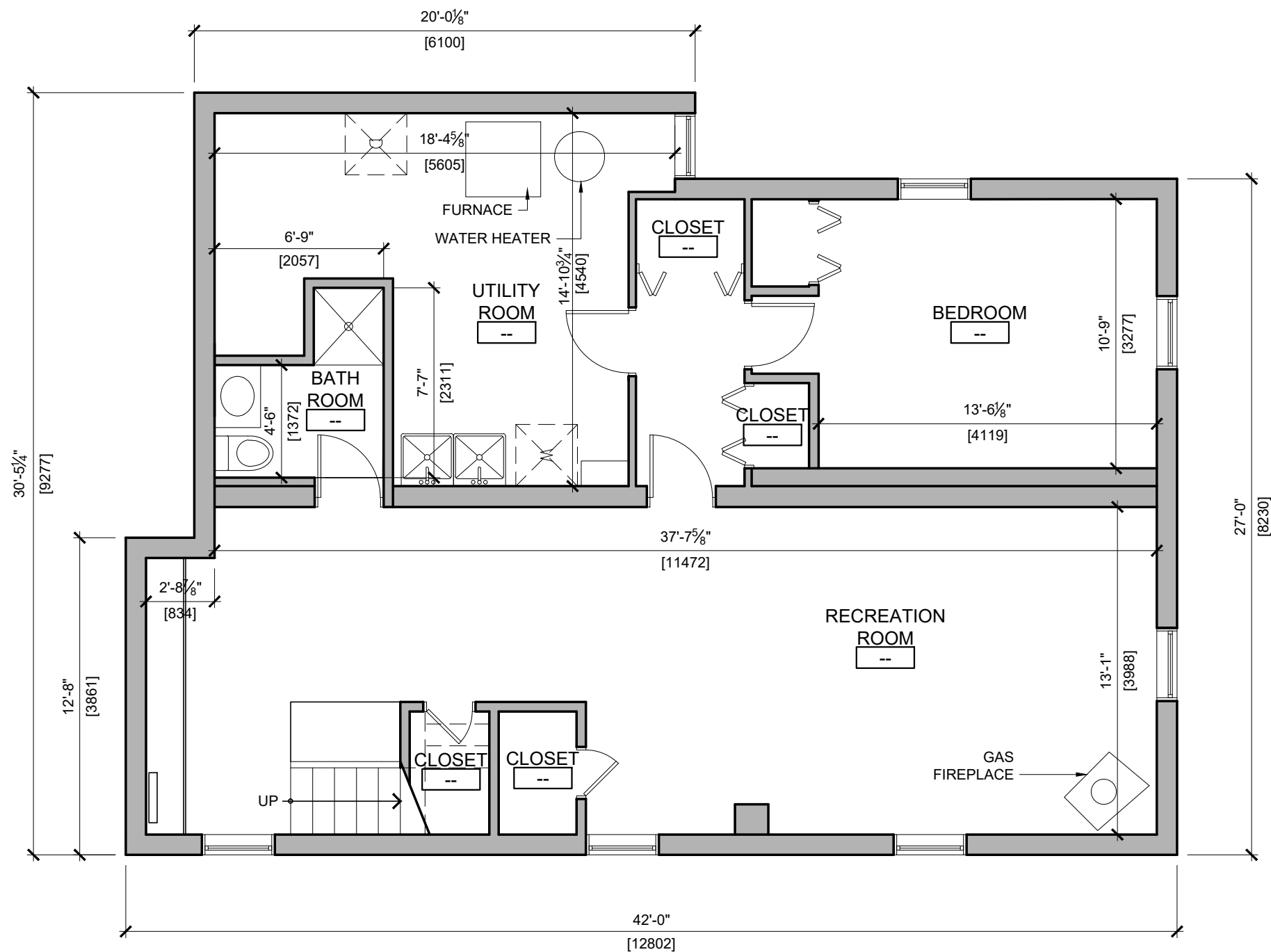
02 2017-01-30 COMM. OF ADJUSTMENT
01 2016-12-09 PREL. ZONING REVIEW



SCALE: 1:150 mm
DATE: OCT 26, 2016
PROJECT No. ---

7 COLWYN ROAD
TORONTO, ON
RENOVATION & INTERIOR ALTERATION
PROPOSED SITE PLAN

A025



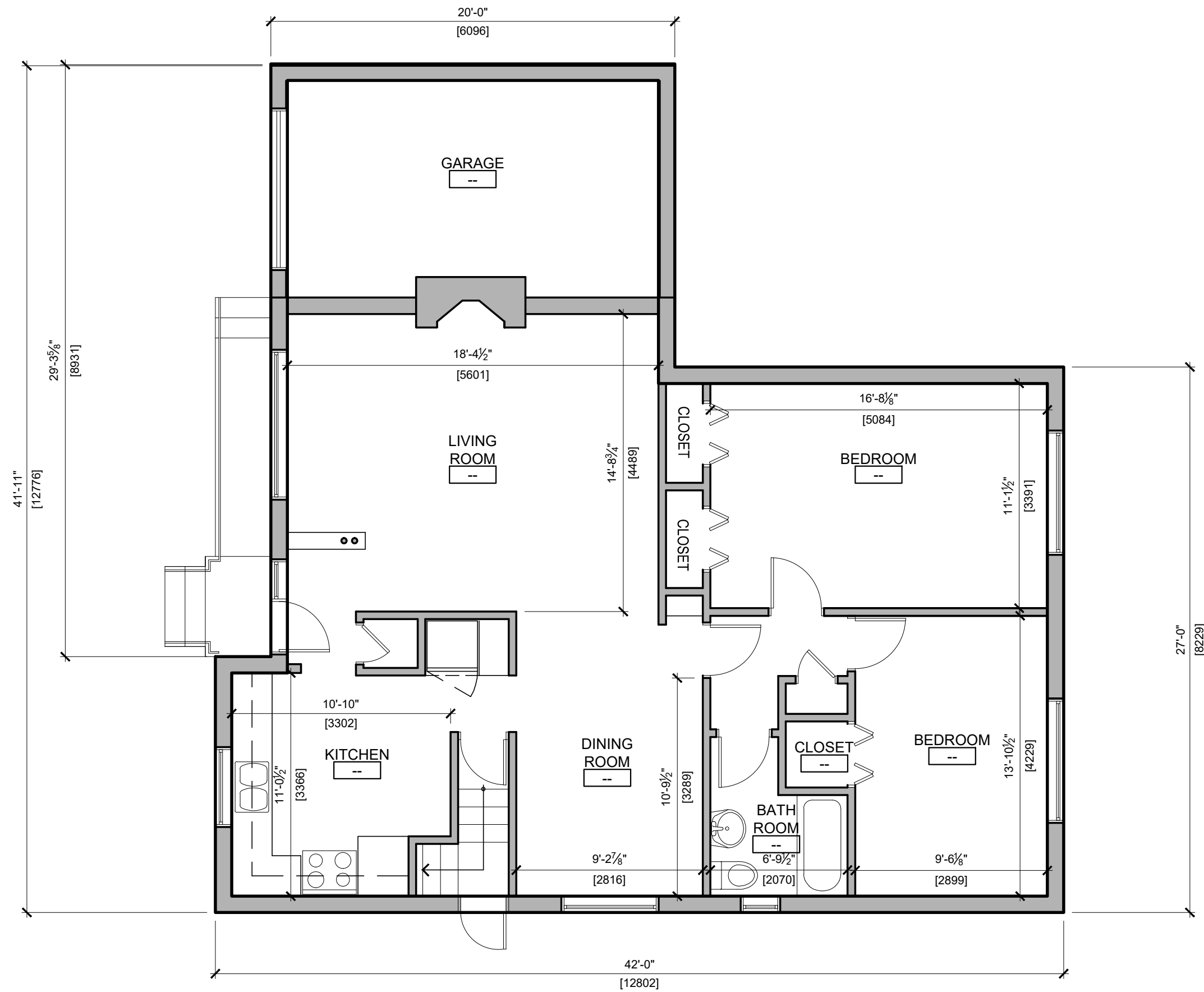
02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: $\frac{3}{16}'' = 1'-0''$
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
EXISTING BASEMENT PLAN

A080



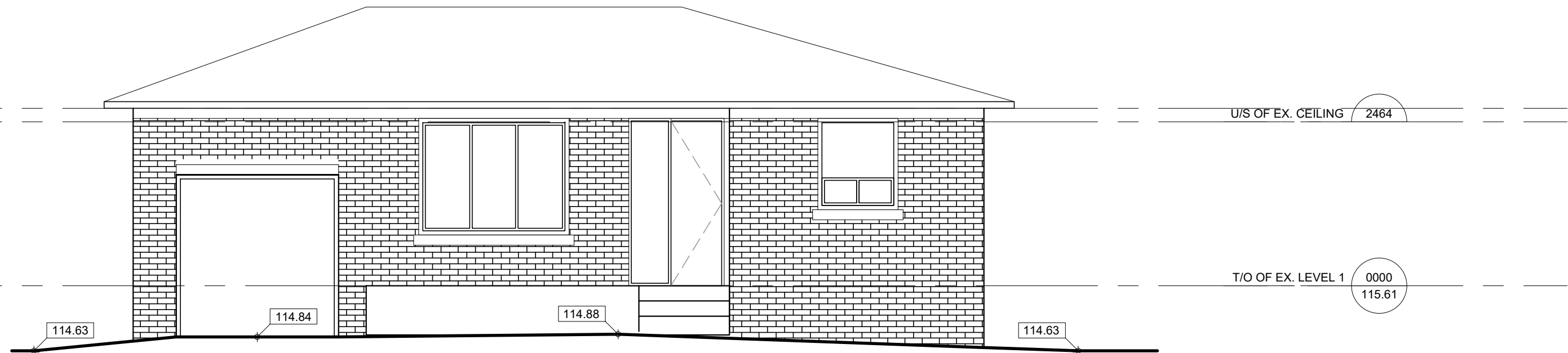
02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: $\frac{3}{16}'' = 1'-0''$
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
EXISTING GROUND FLOOR PLAN

A081



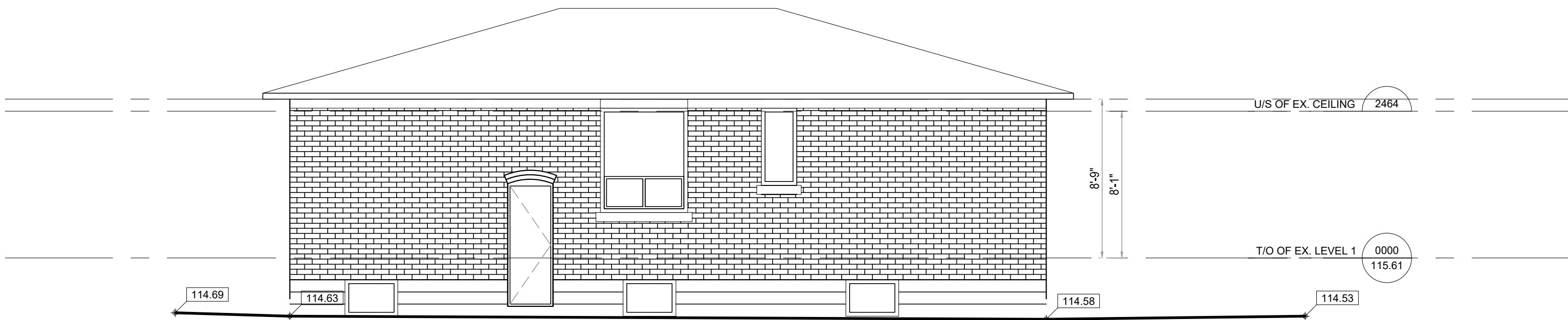
02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: $\frac{3}{16}'' = 1'-0''$
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
EXISTING WEST ELEVATION

A083



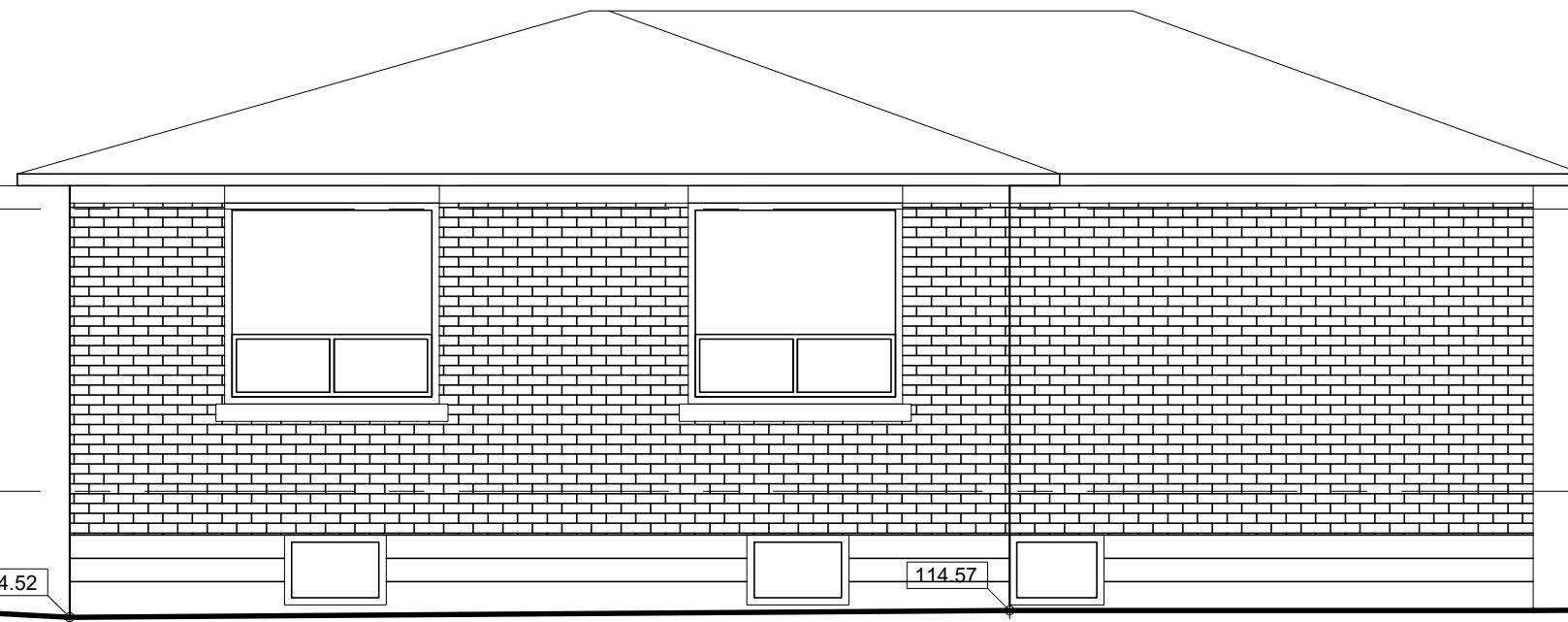
02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: $\frac{3}{16}'' = 1'-0''$
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
EXISTING SOUTH ELEVATION

A084



U/S OF EX. CEILING 2464

T/O OF EX. LEVEL 1 0000
115.61

114.58

114.52

114.57

114.58

02 2017-01-30 COMM. OF ADJUSTMENT
01 2016-12-09 PREL. ZONING REVIEW

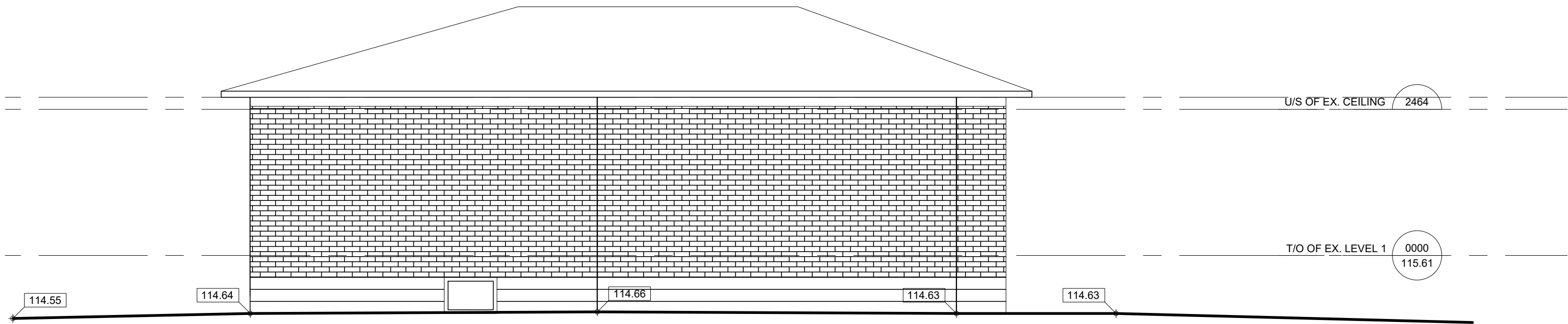


SCALE: $\frac{3}{16}'' = 1'-0''$
DATE: OCT 26, 2016
PROJECT No. ---

7 COLWYN ROAD
TORONTO, ON
RENOVATION & INTERIOR ALTERATION

EXISTING EAST ELEVATION

A085



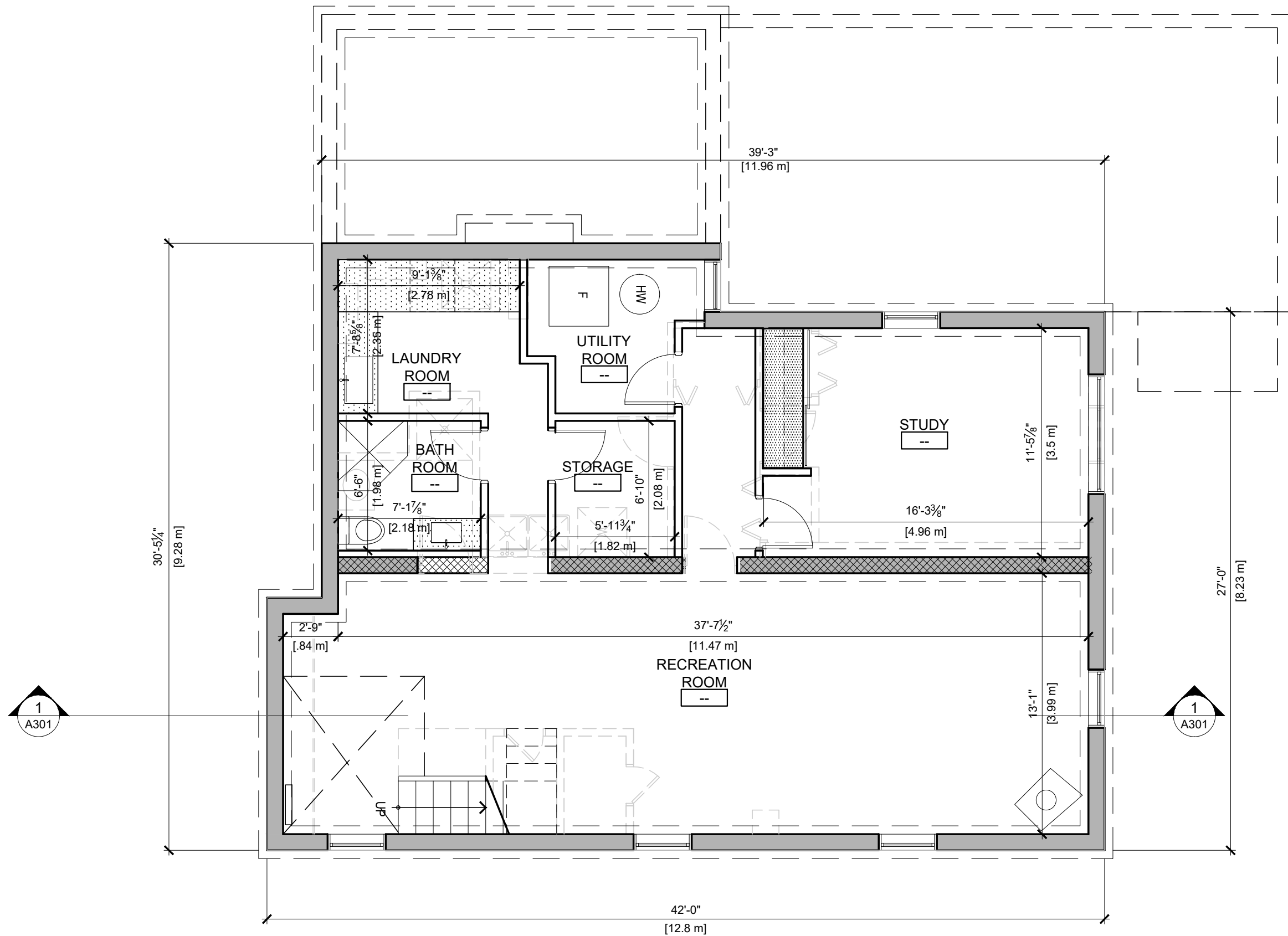
02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW





SCALE: $\frac{3}{16}'' = 1'-0''$
 DATE: OCT 26, 2016
 PROJECT No. ---

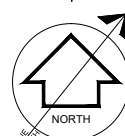
7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
EXISTING NORTH ELEVATION

A086



- LEGEND
-  EXISTING TO BE REMOVED
 -  EXISTING TO REMAIN

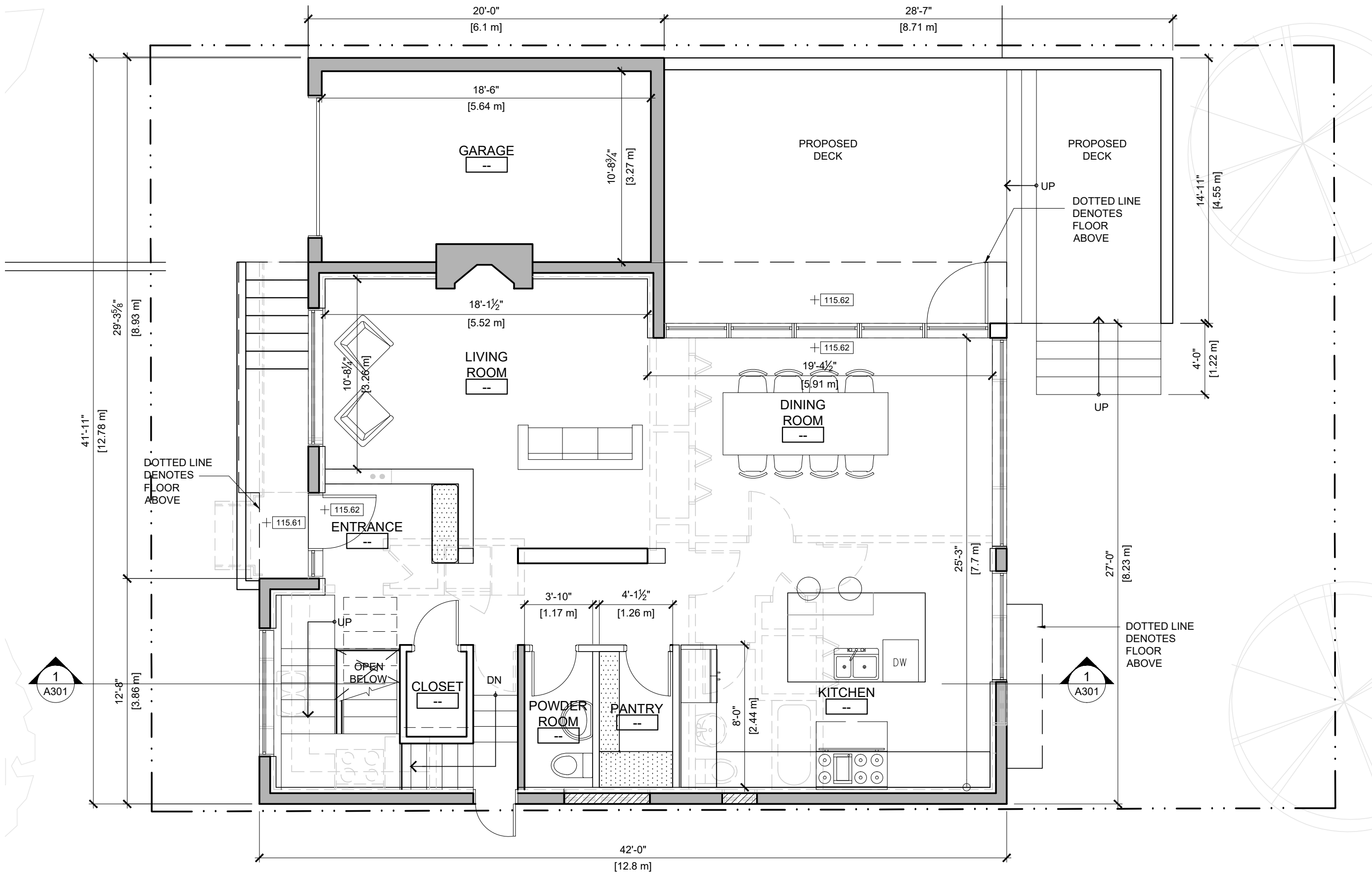
02 2017-01-31 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: $\frac{3}{16}$ " = 1'-0"
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
**PROPOSED BASEMENT
 FLOOR PLAN**

A100



- LEGEND**
- EXISTING TO BE REMOVED
 - EXISTING TO REMAIN

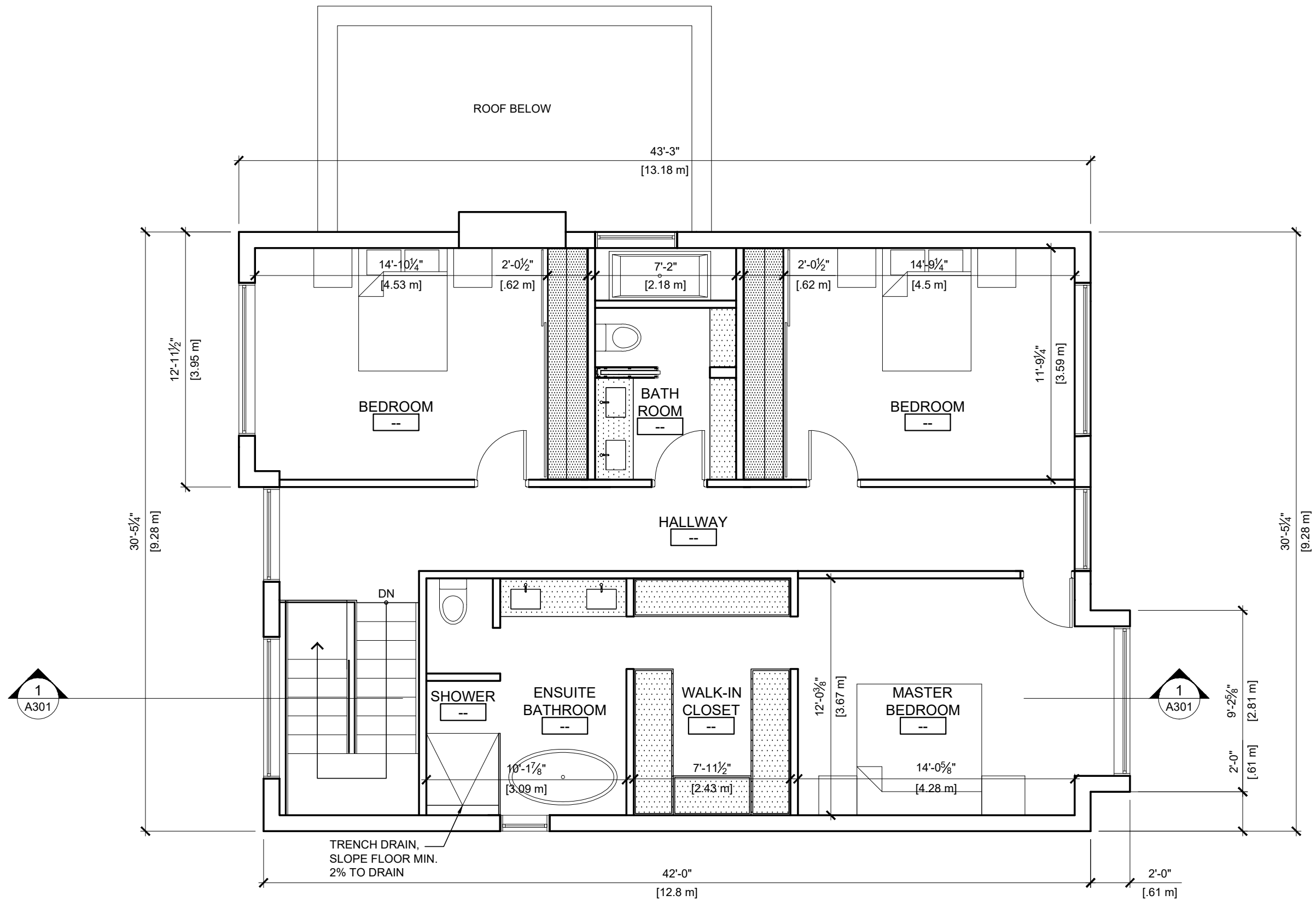
02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: $\frac{3}{16}'' = 1'-0''$
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
PROPOSED GROUND FLOOR PLAN

A101



LEGEND

- EXISTING TO BE REMOVED
- EXISTING TO REMAIN

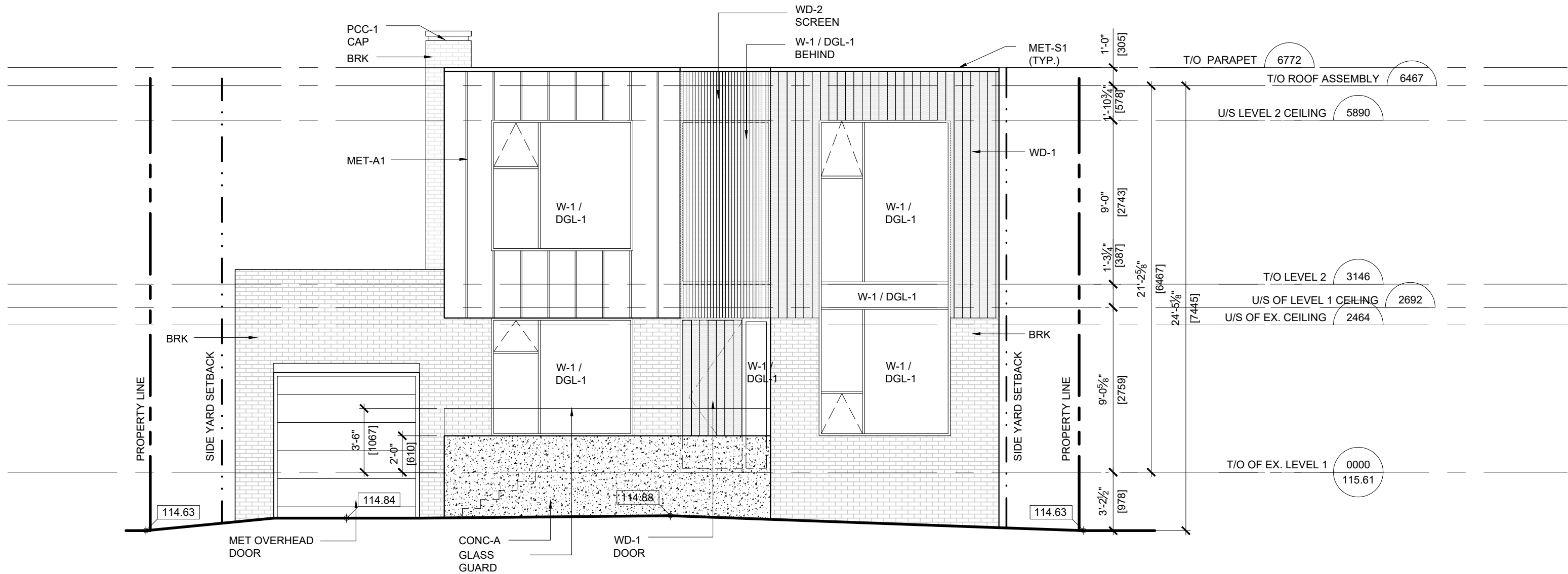
02 2017-01-31 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: 3/16" = 1'-0"
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
PROPOSED SECOND FLOOR PLAN

A102



LEGEND

BRK - BRICK	MET-S1 - METAL PREFINISHED STEEL FLASHING	EXISTING TO BE REMOVED
CONC-A - CONCRETE ARCHITECTURAL	PCC - PRECAST CONCRETE	
DGL-1 - DOUBLE INSULATED GLAZING UNIT	W-1 - WINDOW TYPE 1	
MET-A1 - METAL ALUMINUM - STANDING SEAM	WD-1 - WOOD IPE SIDING	
MET-A2 - METAL ALUMINUM PANEL	WD-2 - WOOD IPE SLATS	

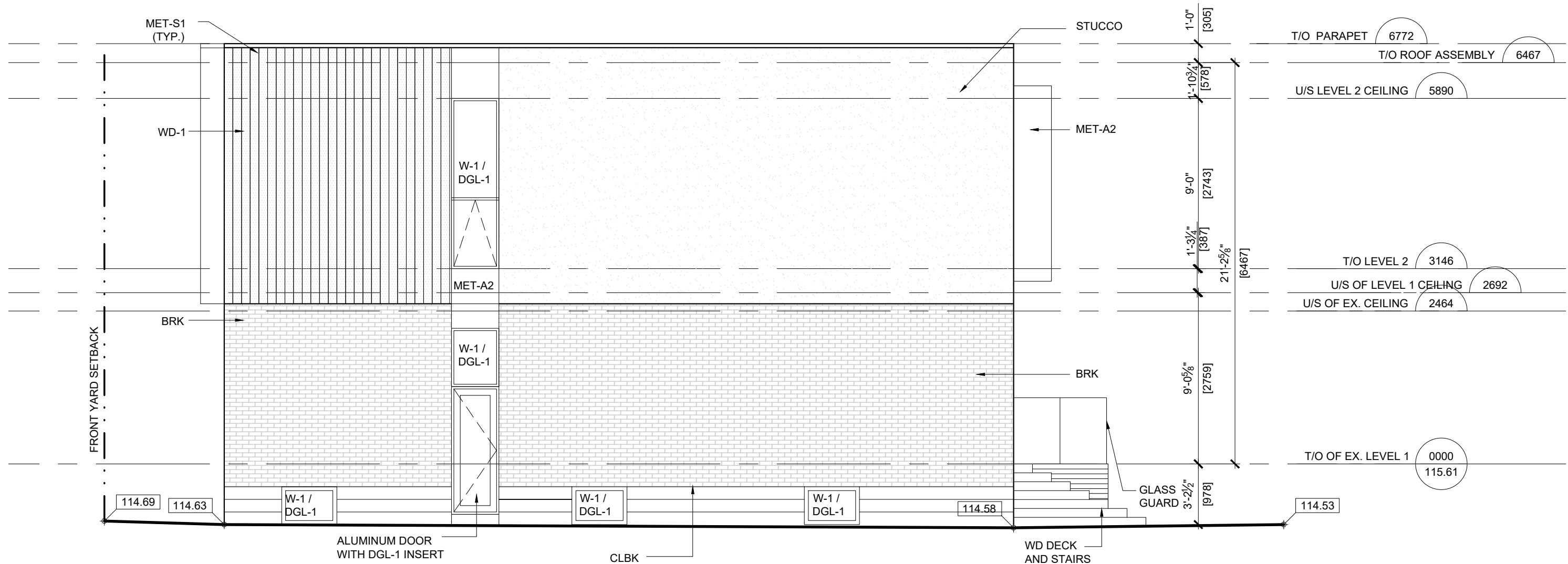
02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: $\frac{3}{16}'' = 1'-0''$
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
PROPOSED WEST ELEVATION

A201



LEGEND

- | | | |
|---|---|------------------------|
| BRK - BRICK | MET-S1 - METAL PREFINISHED STEEL FLASHING | EXISTING TO BE REMOVED |
| CONC-A - CONCRETE ARCHITECTURAL | PCC - PRECAST CONCRETE | |
| DGL-1 - DOUBLE INSULATED GLAZING UNIT | W-1 - WINDOW TYPE 1 | |
| MET-A1 - METAL ALUMINUM - STANDING SEAM | WD-1 - WOOD IPE SIDING | |
| MET-A2 - METAL ALUMINUM PANEL | WD-2 - WOOD IPE SLATS | |

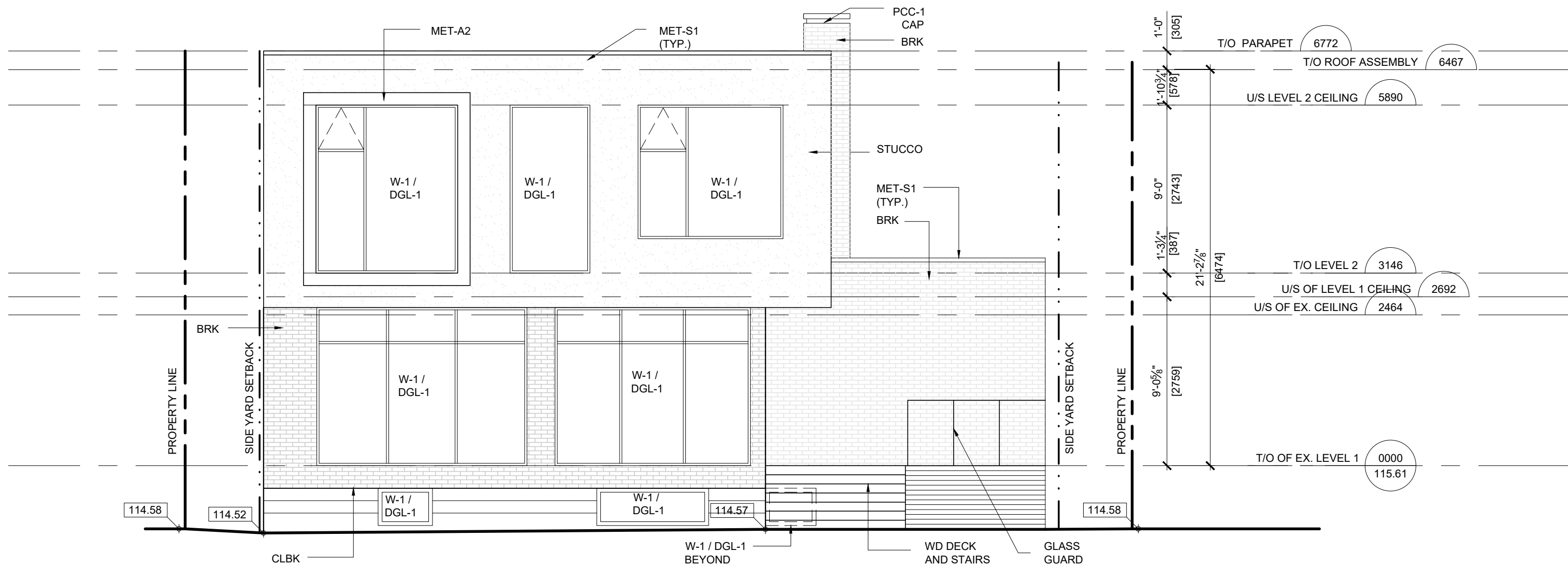
02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: $\frac{3}{16}'' = 1'-0''$
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
PROPOSED SOUTH ELEVATION

A202



LEGEND

BRK - BRICK	MET-S1 - METAL PREFINISHED STEEL FLASHING	EXISTING TO BE REMOVED
CONC-A - CONCRETE ARCHITECTURAL	PCC - PRECAST CONCRETE	
DGL-1 - DOUBLE INSULATED GLAZING UNIT	W-1 - WINDOW TYPE 1	
MET-A1 - METAL ALUMINUM - STANDING SEAM	WD-1 - WOOD IPE SIDING	
MET-A2 - METAL ALUMINUM PANEL	WD-2 - WOOD IPE SLATS	

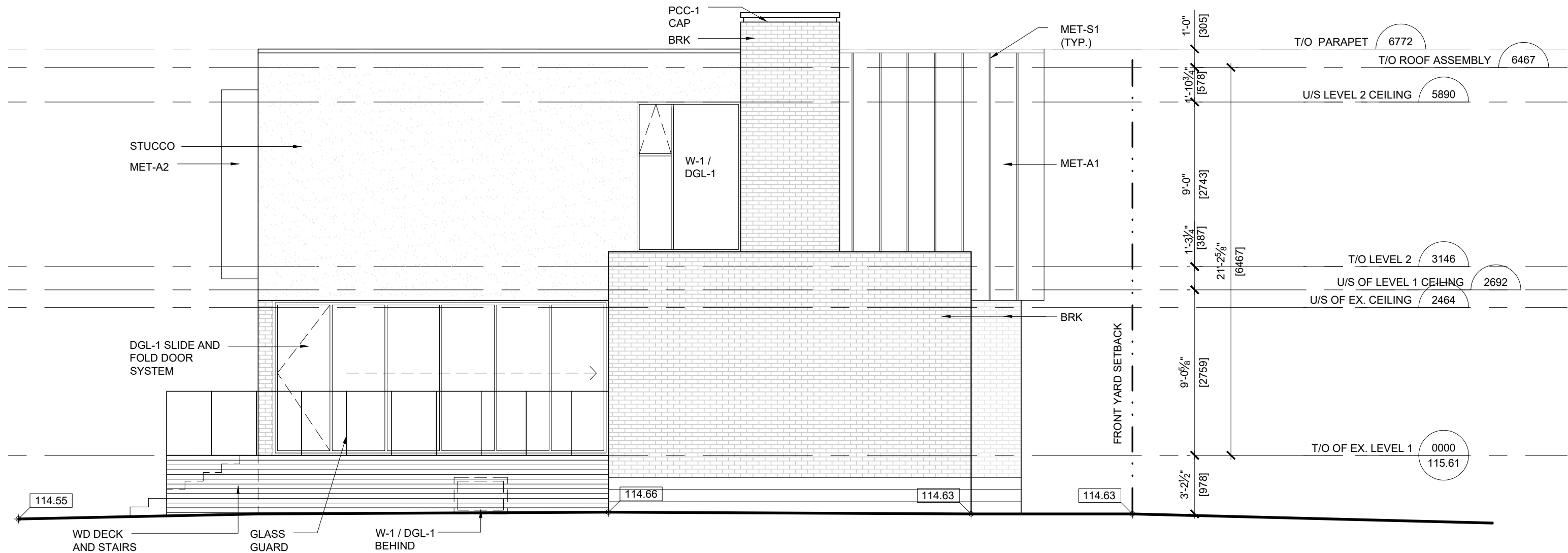
02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: $\frac{3}{16}'' = 1'-0''$
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
PROPOSED EAST ELEVATION

A203



LEGEND

- | | | |
|---|---|------------------------|
| BRK - BRICK | MET-S1 - METAL PREFINISHED STEEL FLASHING | EXISTING TO BE REMOVED |
| CONC-A - CONCRETE ARCHITECTURAL | PCC - PRECAST CONCRETE | |
| DGL-1 - DOUBLE INSULATED GLAZING UNIT | W-1 - WINDOW TYPE 1 | |
| MET-A1 - METAL ALUMINUM - STANDING SEAM | WD-1 - WOOD IPE SIDING | |
| MET-A2 - METAL ALUMINUM PANEL | WD-2 - WOOD IPE SLATS | |

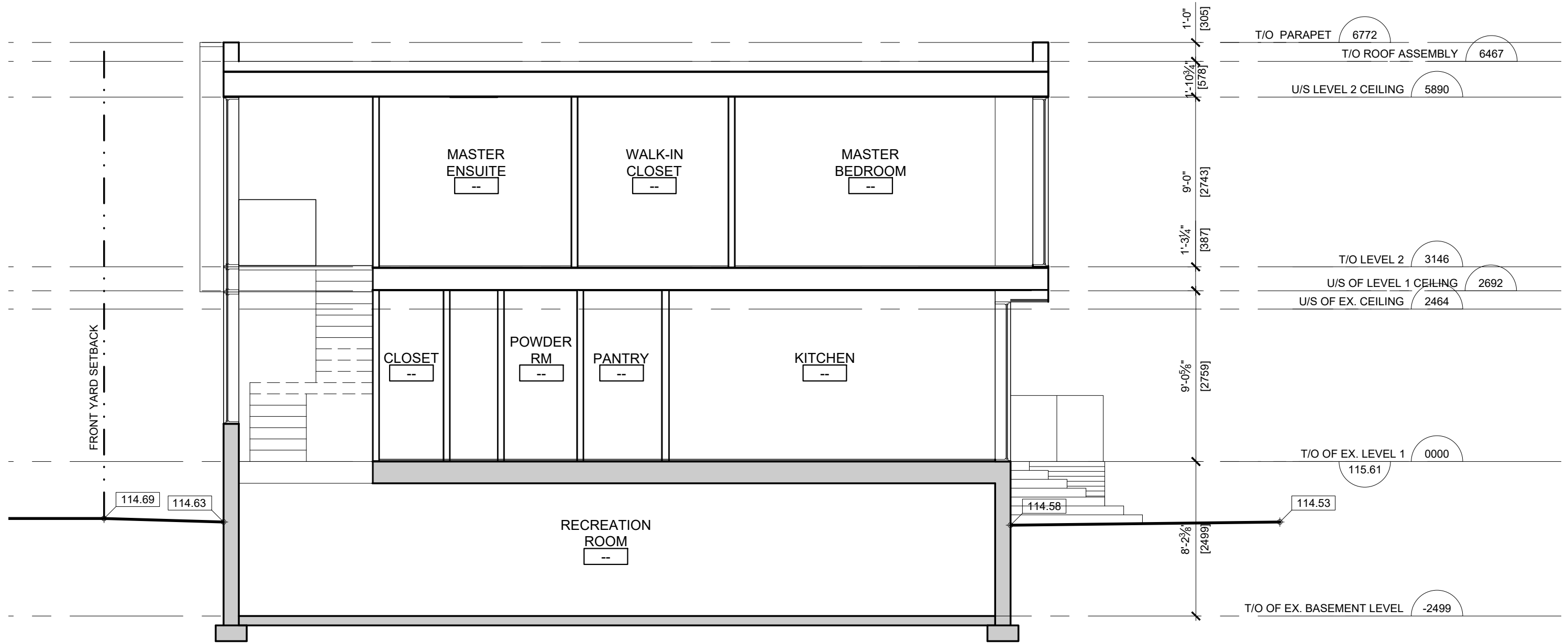
02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: $\frac{3}{16}'' = 1'-0''$
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
PROPOSED NORTH ELEVATION

A204



LEGEND

- | | |
|---|---|
| BRK - BRICK | MET-S1 - METAL PREFINISHED STEEL FLASHING |
| CONC-A - CONCRETE ARCHITECTURAL | PCC - PRECAST CONCRETE |
| DGL-1 - DOUBLE INSULATED GLAZING UNIT | W-1 - WINDOW TYPE 1 |
| MET-A1 - METAL ALUMINUM - STANDING SEAM | WD-1 - WOOD IPE SIDING |
| MET-A2 - METAL ALUMINUM PANEL | WD-2 - WOOD IPE SLATS |

02 2017-01-30 COMM. OF ADJUSTMENT
 01 2016-12-09 PREL. ZONING REVIEW



SCALE: $\frac{3}{16}'' = 1'-0''$
 DATE: OCT 26, 2016
 PROJECT No. ---

7 COLWYN ROAD
 TORONTO, ON
 RENOVATION & INTERIOR ALTERATION
PROPOSED BUILDING
SECTION A-A

A301

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0089/17EYK	Zoning:	RD & R1
Owner(s):	JENNIFER FINLAY	Ward:	Etobicoke-Lakeshore (05)
Agent:	SPRAGGE & COMPANY ARCHITECTS	Heritage:	Not Applicable
Property Address:	42 KING GEORGES RD	Community:	
Legal Description:	PLAN 1685 PT LOTS 237 TO 239		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new rear detached garage. A previous Committee of Adjustment decision (File Number: A104/15EYK) approved variances related to the construction of one and two-storey rear additions.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 900.3.10.(35)(A), By-law 569-2013

The maximum permitted gross floor area of a detached dwelling, including an attached or detached garage, is 150 m² plus 25% of the lot area (272.49 m²), up to a maximum floor space index of 0.5 times the area of the lot (244.97 m²).

Section 1.a), By-law 1993-108

The maximum permitted gross floor area of a detached dwelling, including an attached or detached garage, is 150 m² plus 25% of the lot area (272.49 m²).

A previous Committee of Adjustment decision (File Number: A104/15EYK) approved a gross floor area of 150 m² plus 26.76% of the lot area (281.1 m²), with a floor space index of 0.57 times the lot area (281.1 m²).

Section 900.3.10.(35)(A), By-law 569-2013 and Section 1.a), By-law 1993-108

The altered dwelling will have a gross floor area of 150 m² plus 27.69% of the lot area (285.69 m²), with a floor space index of 0.58 (285.69 m²).

2. Section 320-43.A

The minimum required side yard setback for an accessory building or structure is 0.4 m.
The proposed detached garage will be located 0.3 m from the east side lot line.

3. Section 320-43.A

The minimum required rear yard setback for an accessory building or structure is 0.4 m.
The proposed detached garage will be located 0.3 m from the rear lot line.

4. **Section 10.5.60.60.(1), By-law 569-2015 & Section 320-43.A.(2)**
The minimum required eaves setback for an ancillary building is 0.15 m.
The eaves of the proposed detached garage will be located 0.05 m from the rear and east side lot line.
5. **Section 320-43.D.**
The maximum permitted wall height of an accessory structure is 2.5 m.
The proposed detached garage will have a height of 4 m.
6. **Section 200.5.1.10.(2)(A)(i), By-law 569-2013 and Section 320-18(A)(1)(a)**
The minimum required length of a parking space is 5.6 m.
The proposed length of the parking space within the proposed garage is 4.29 m.
7. **Section 200.5.1.10.(2)(A)(ii), By-law 569-2013 & Section 320-18(A)(1)(c)**
The minimum required width of a parking space is 2.6 m.
The proposed width of the parking space within the proposed garage is 2.39 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0089/17EYK	Zoning	RD & R1
Owner:	JENNIFER FINLAY	Ward:	Etobicoke-Lakeshore (05)
Agent:	SPRAGGE & COMPANY ARCHITECTS	Heritage:	Not Applicable
Property Address:	42 KING GEORGES RD	Community:	
Legal Description:	PLAN 1685 PT LOTS 237 TO 239		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0091/17EYK	Zoning	RD & R2
Owner(s):	STAGUFTA KHAN	Ward:	Etobicoke-Lakeshore (05)
Agent:	MEMAR CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	118 LAUREL AVE	Community:	
Legal Description:	PLAN 3792 LOT 37		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(21)(C), By-law 569-2013 & Section 1(b)(1), By-law 1992-23**
The maximum permitted gross floor area is 135 m² plus 25% of the lot area (321.8 m²).
Section 900.3.10.(21)(C), By-law 569-2013
The proposed dwelling will have a gross floor area of 135 m² plus 37% of the lot area (413 m²).
Section 1(b)(1), By-law 1992-23
The proposed dwelling will have a gross floor area of 135 m² plus 39% of the lot area (430 m²).
- Section 900.3.10.(21)(B)(iii), By-law 569-2013 & Section 1(c)(3), By-law 1992-23**
The minimum required side yard setback is 1.5 m, with an aggregate side yard setback of 3.66 m.
The proposed dwelling will be located 1.2 m from the north and south side lot line, providing an aggregate side yard setback of 2.4 m.
- Section 1(a)(2), By-law 1992-23**
The maximum permitted soffit height is 6.5 m.
The proposed dwelling will have a soffit height of 7.32 m.
- Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The proposed dwelling will have a front exterior main wall height of 7.45 m.
- Section 10.20.40.10.(1)(A), By-law 569-2013 & Section 1(a)(1), By-law 1992-23**
The maximum permitted dwelling height is 9.5 m.
The proposed dwelling will have a height of 10 m.
- Section 10.20.40.50.(1)(A), By-law 569-2013**
The maximum number of platforms at or above the second storey located on the rear wall is 1.
The proposed dwelling will have 2 platforms at or above the second storey on the rear wall.

7. **Section 10.20.40.50.(1)(B), By-law 569-2013**

The maximum permitted area of a platform at or above the second storey is 4 m².

The proposed rear platforms at or above the second storey will have an area be 5.4 m² and 6.1 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
3. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0091/17EYK	Zoning	RD & R2
Owner:	STAGUFTA KHAN	Ward:	Etobicoke-Lakeshore (05)
Agent:	MEMAR CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	118 LAUREL AVE	Community:	
Legal Description:	PLAN 3792 LOT 37		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0095/17EYK	Zoning	RD & R2
Owner(s):	SAJJAD MOLU NUSRAT CHATOO	Ward:	Etobicoke-Lakeshore (05)
Agent:	NUSRAT CHATOO	Heritage:	Not Applicable
Property Address:	48 LELAND AVE	Community:	
Legal Description:	PLAN M997 LOT 6		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.(A)(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (238.9 m²).
The new dwelling will have a floor space index of 0.54 times the area of the lot (286.6 m²).
- Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The new dwelling will have a front exterior main wall height of 7.3 m.
- Section 320-42.1.(B)(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 6.89 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.

SIGNATURE PAGE

File Number:	A0095/17EYK	Zoning	RD & R2
Owner:	SAJJAD MOLU NUSRAT CHATOO	Ward:	Etobicoke-Lakeshore (05)
Agent:	NUSRAT CHATOO	Heritage:	Not Applicable
Property Address:	48 LELAND AVE	Community:	
Legal Description:	PLAN M997 LOT 6		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0096/17EYK	Zoning	RD & R2
Owner(s):	ELYSE SON-HING	Ward:	Etobicoke-Lakeshore (05)
Agent:	DIAMANT TOMER	Heritage:	Not Applicable
Property Address:	128 MILTON ST	Community:	
Legal Description:	PLAN M101 S PT LOT 118 N PT LOT 119		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling an attached garage and and to create a secondary suite in the basement.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 320-42.1.(A)(1)**
The maximum permitted gross floor area is 0.45 times the area of the lot (238.8 m²).
The new dwelling will have a gross floor area of 0.5 times the area of the lot (263.5 m²).
- 2. Section 320-42.1.(C)(1)**
The minimum required side yard setback is 0.9 m and the aggregate width of the side yards shall not equal less than 2.1 m.
The new dwelling will be located 0.45 m from the north side lot line and will have an aggregate side yard width of 1.47 m.
- 3. Section 320-42.1.(B)(2)**
The maximum permitted building height is 6.5 m for a flat roof.
The new dwelling will have a flat roof height of 7.4 m.
- 4. Section 150.10.40.1.(1), By-law 569-2013 and Section 304-22**
A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of the secondary suite.
The entire building was not constructed more than 5 years prior to the introduction of the secondary suite.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0096/17EYK	Zoning	RD & R2
Owner:	ELYSE SON-HING	Ward:	Etobicoke-Lakeshore (05)
Agent:	DIAMANT TOMER	Heritage:	Not Applicable
Property Address:	128 MILTON ST	Community:	
Legal Description:	PLAN M101 S PT LOT 118 N PT LOT 119		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

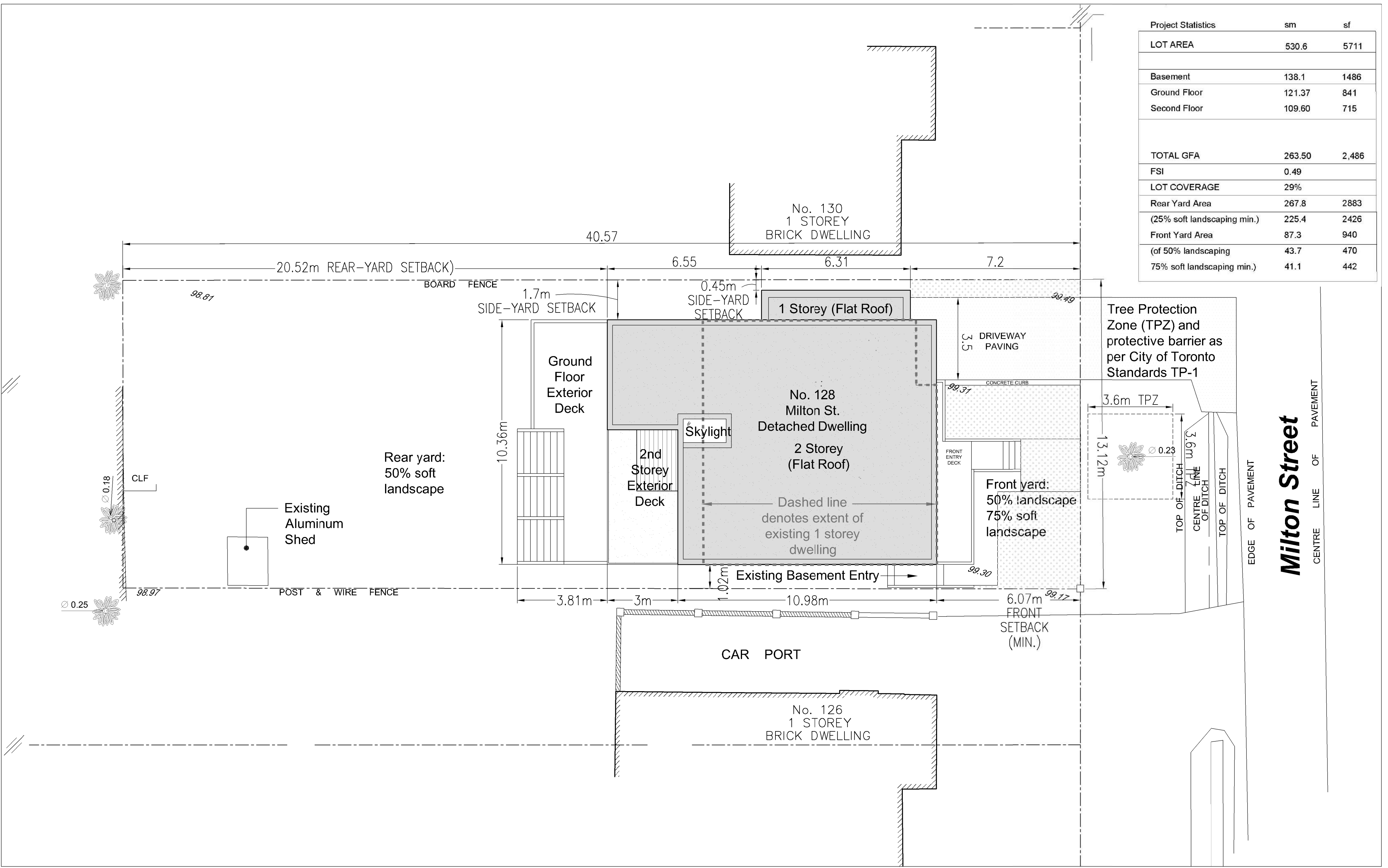
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Project Statistics	sm	sf
LOT AREA	530.6	5711
Basement	138.1	1486
Ground Floor	121.37	841
Second Floor	109.60	715
TOTAL GFA	263.50	2,486
FSI	0.49	
LOT COVERAGE	29%	
Rear Yard Area	267.8	2883
(25% soft landscaping min.)	225.4	2426
Front Yard Area	87.3	940
(of 50% landscaping	43.7	470
75% soft landscaping min.)	41.1	442



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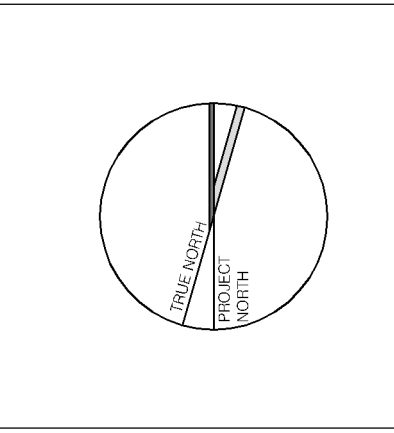
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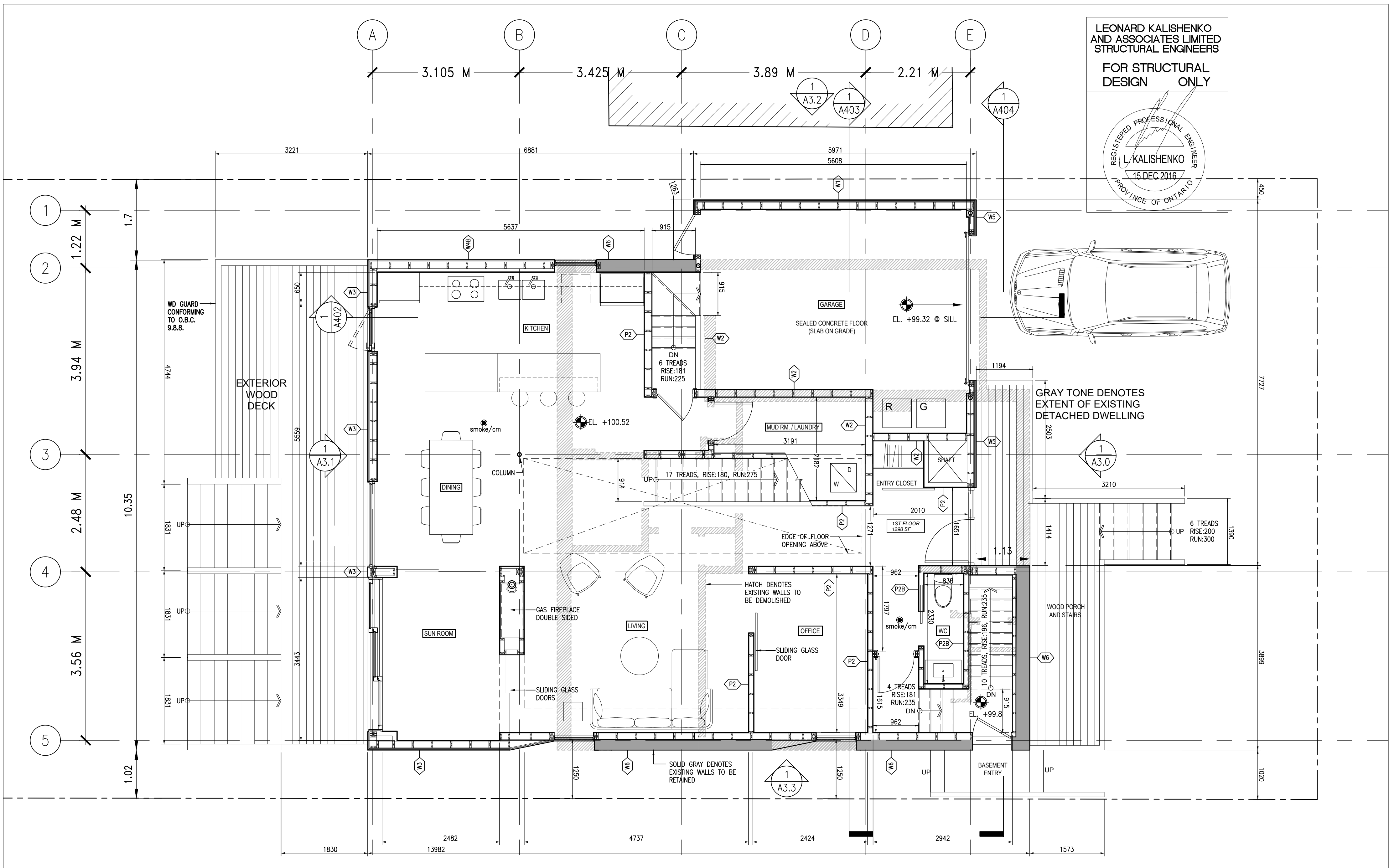
SITE PLAN

SCALE 1:100
DATE 05/12/2016
DRAWN BY

A 101

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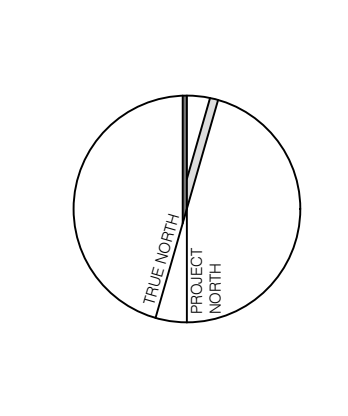
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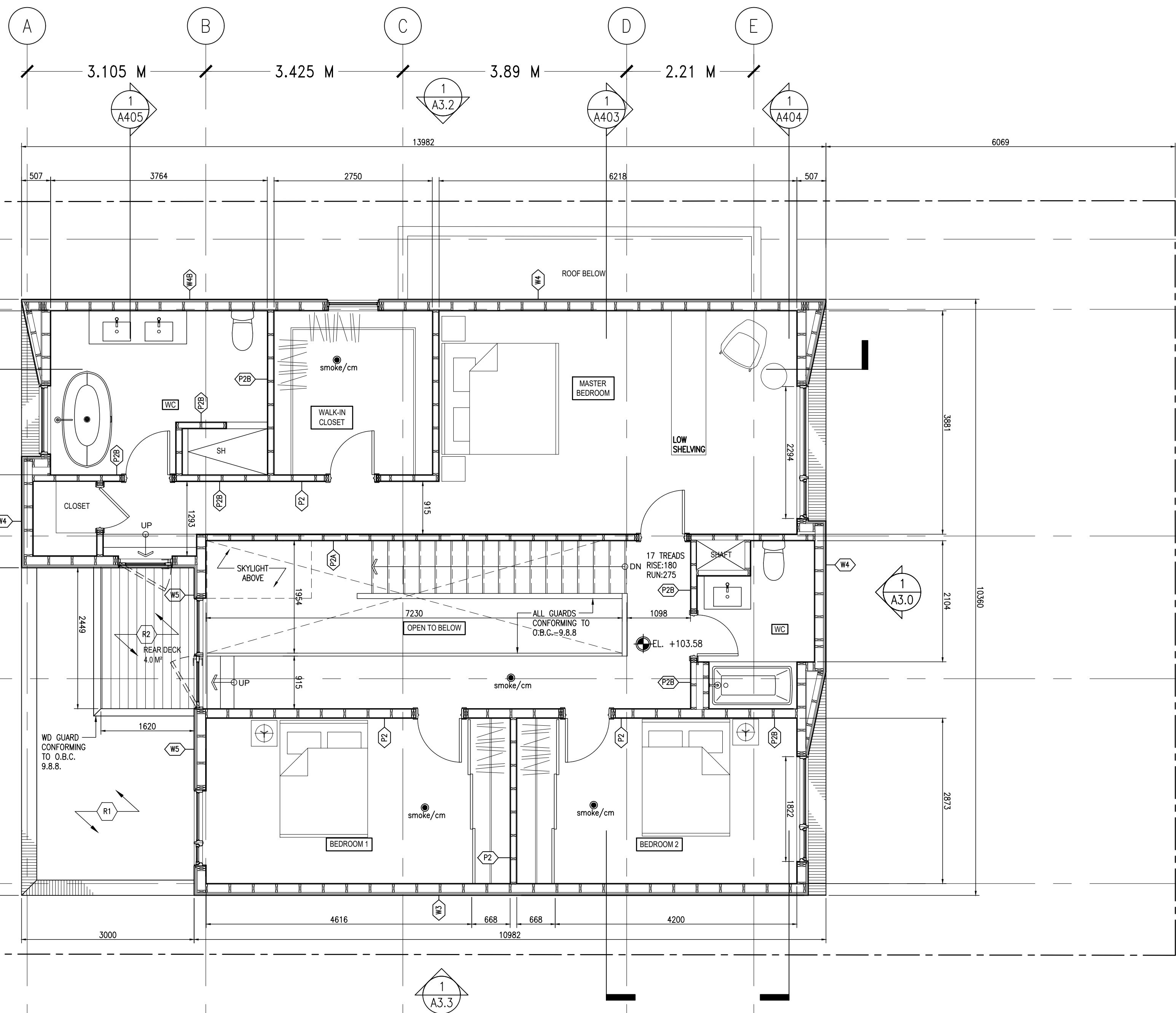
GROUND FLOOR PLAN

SCALE 1:50
DATE 05/12/2016
DRAWN BY

A 201

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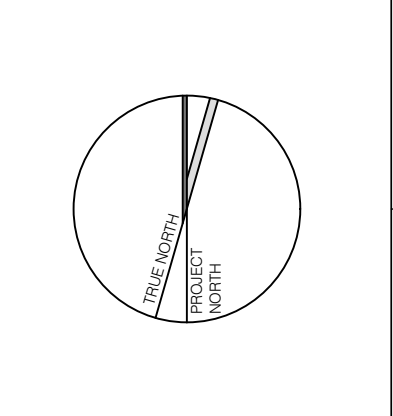


1 1.22 M
2 3.94 M
3 2.48 M
4 3.56 M
5

A B C D E
3.105 M 3.425 M 3.89 M 2.21 M

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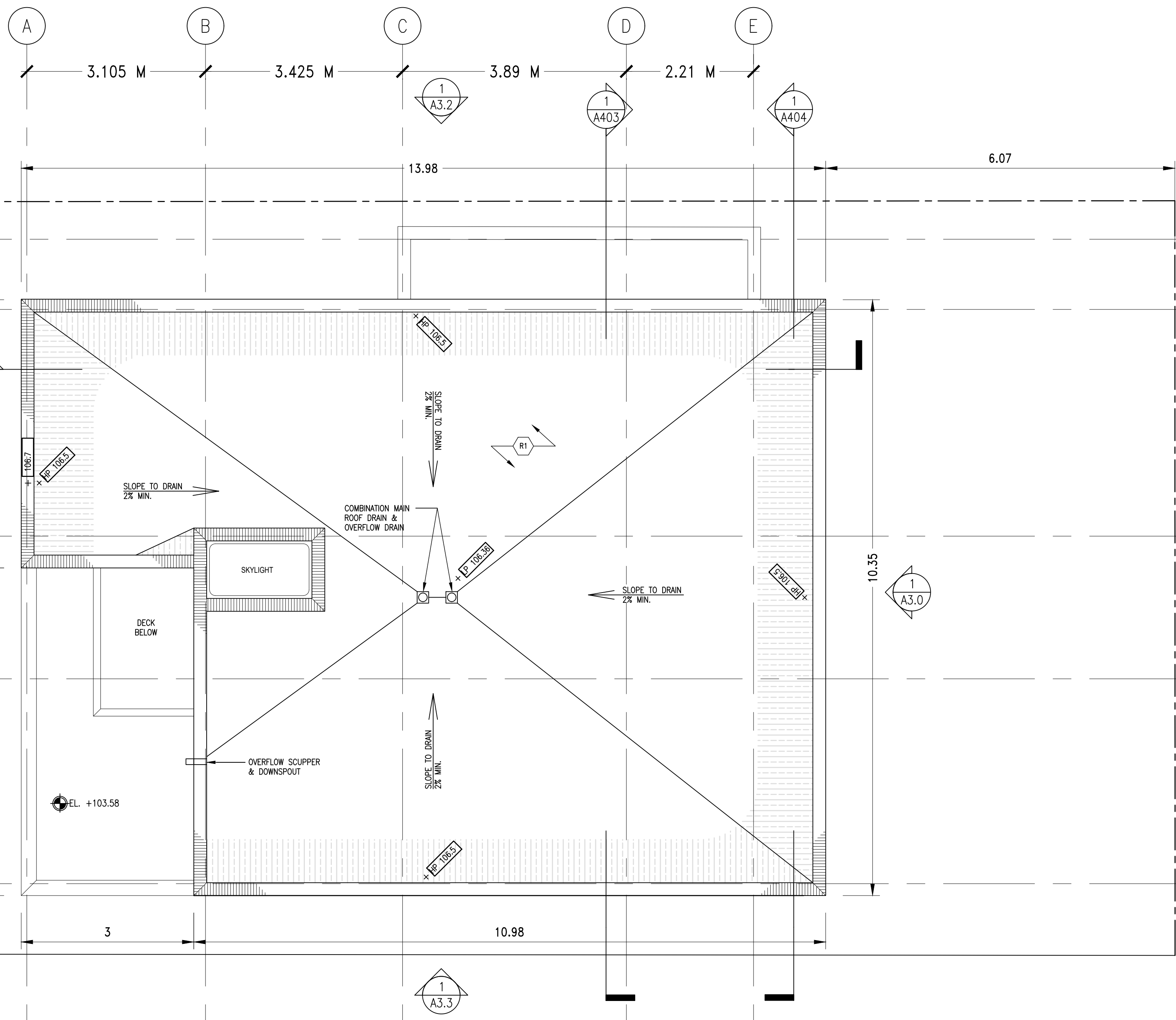
SECOND FLOOR PLAN

SCALE 1:50
DATE 05/12/2016
DRAWN BY

A 202

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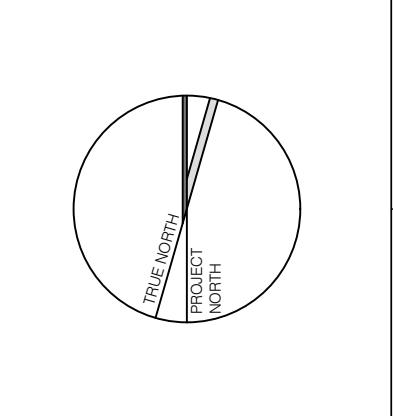
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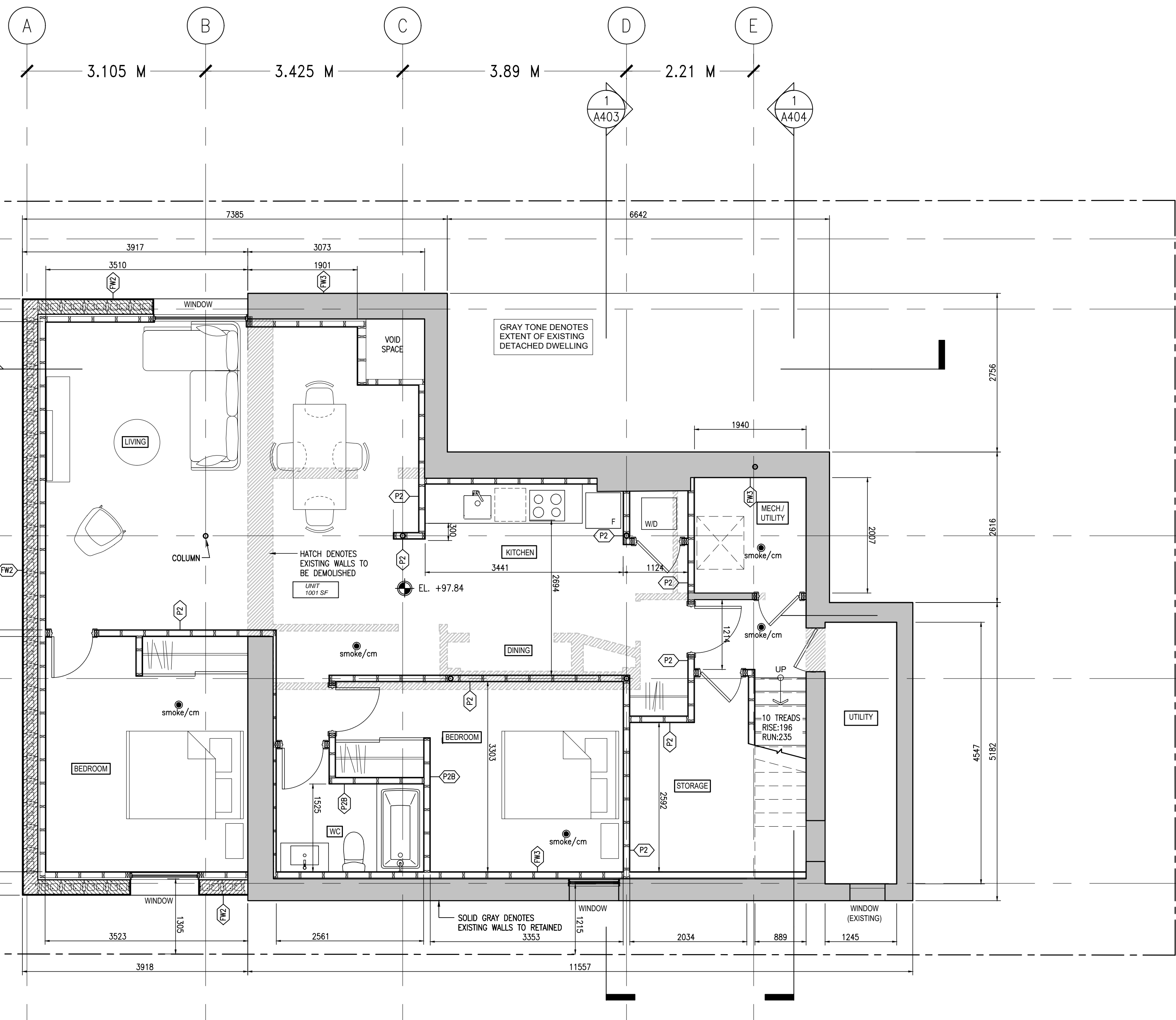
ROOF PLAN

SCALE 1:50
DATE 05/12/2016
DRAWN BY

A 203

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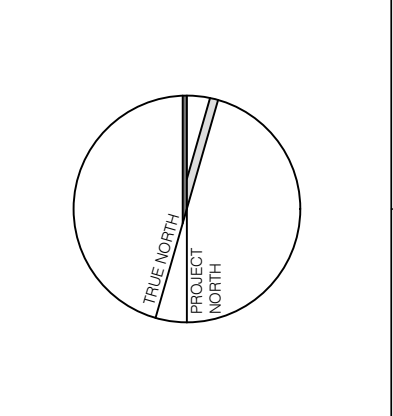
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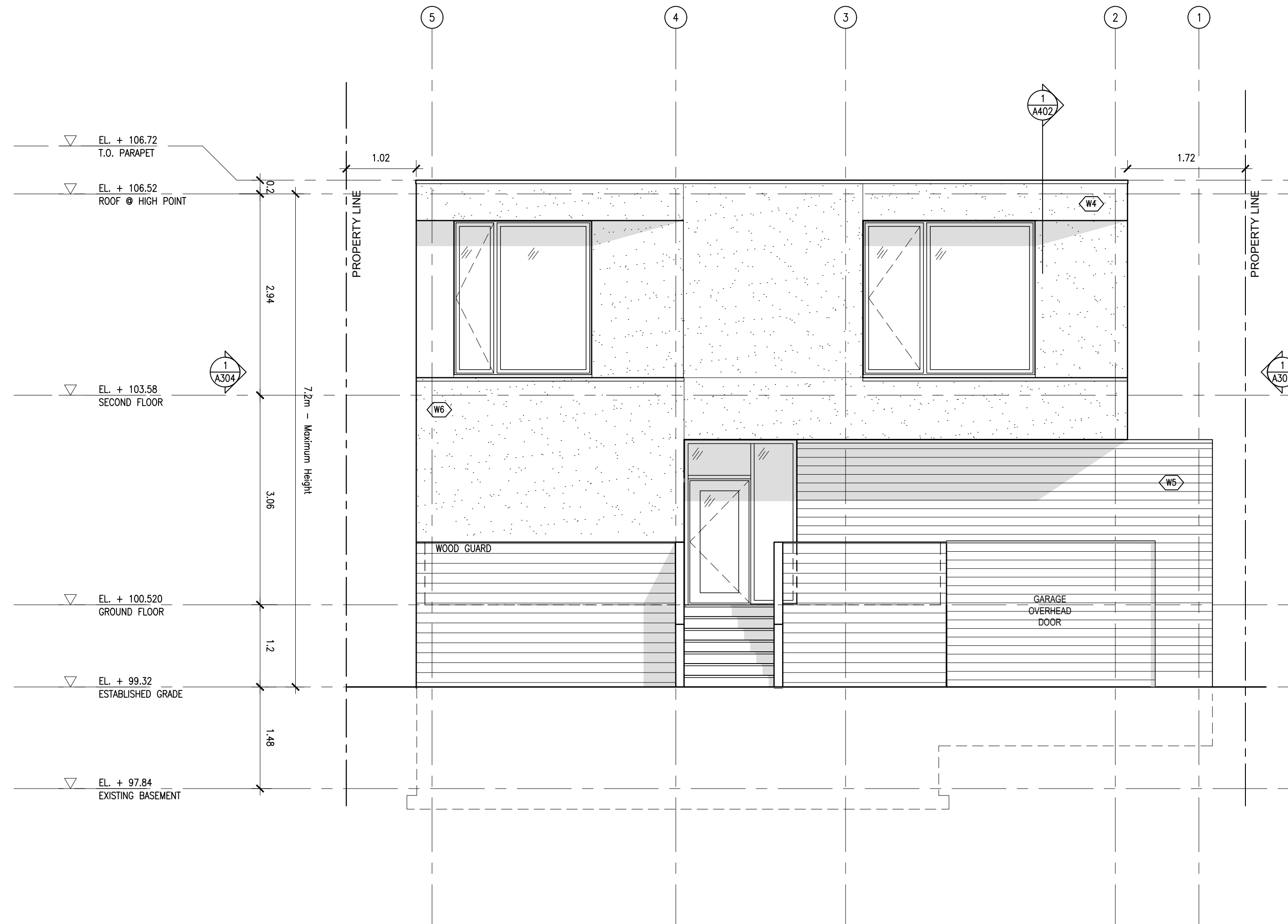
BASEMENT PLAN

SCALE 1:50
DATE 05/12/2016
DRAWN BY

A 204

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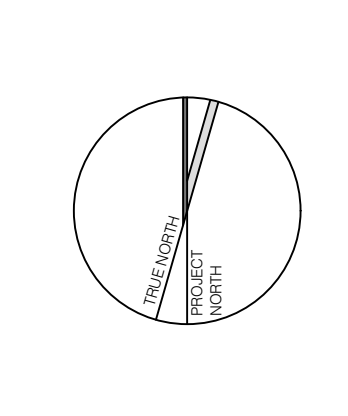
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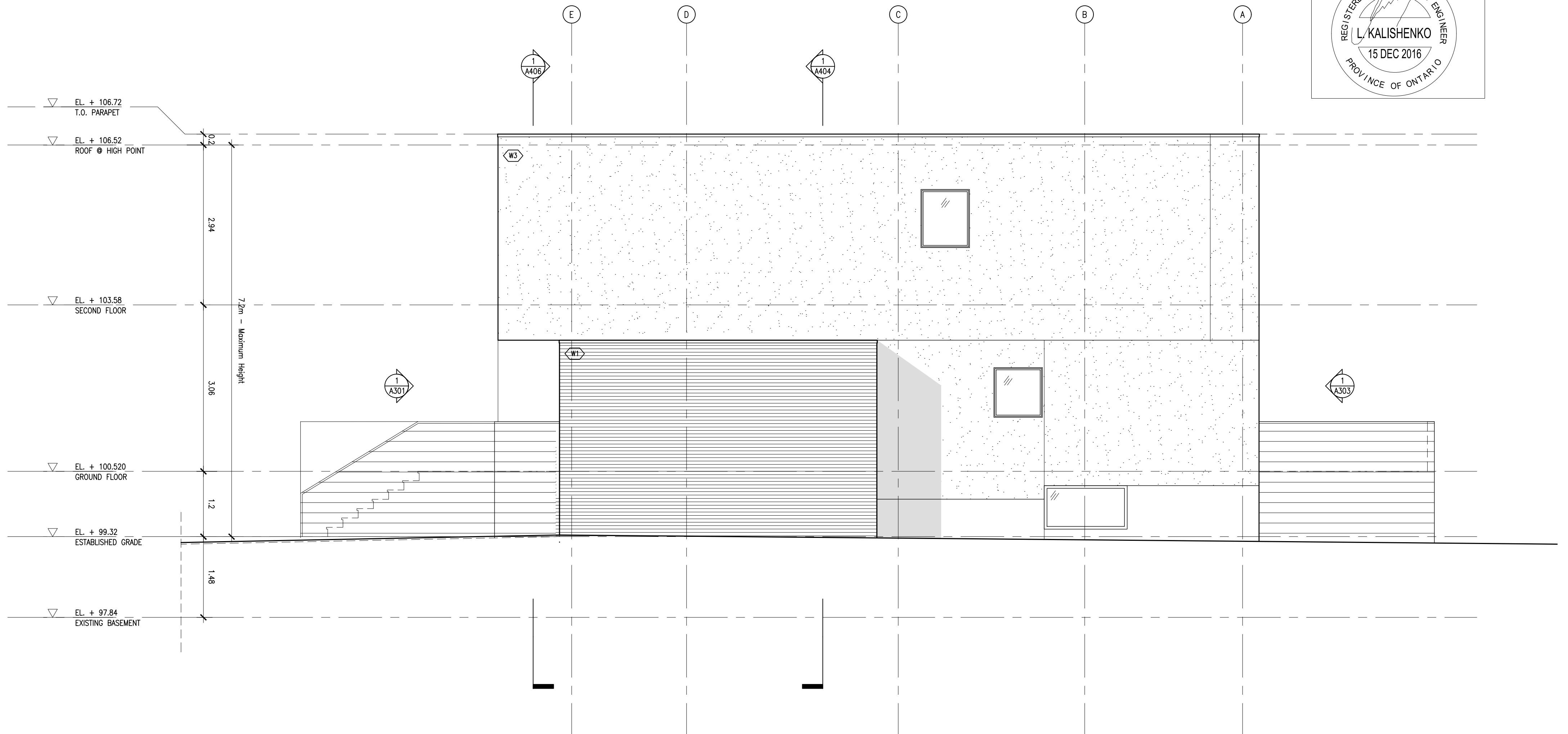
EAST ELEVATION

SCALE 1:50
DATE 04/11/2016
DRAWN BY

A 301

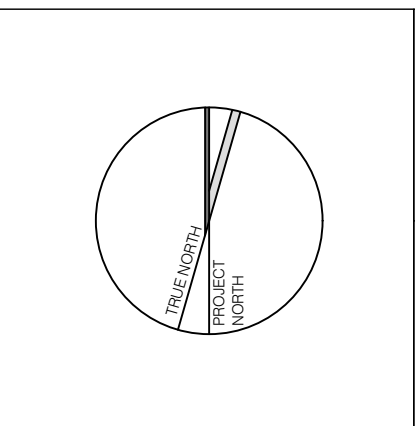
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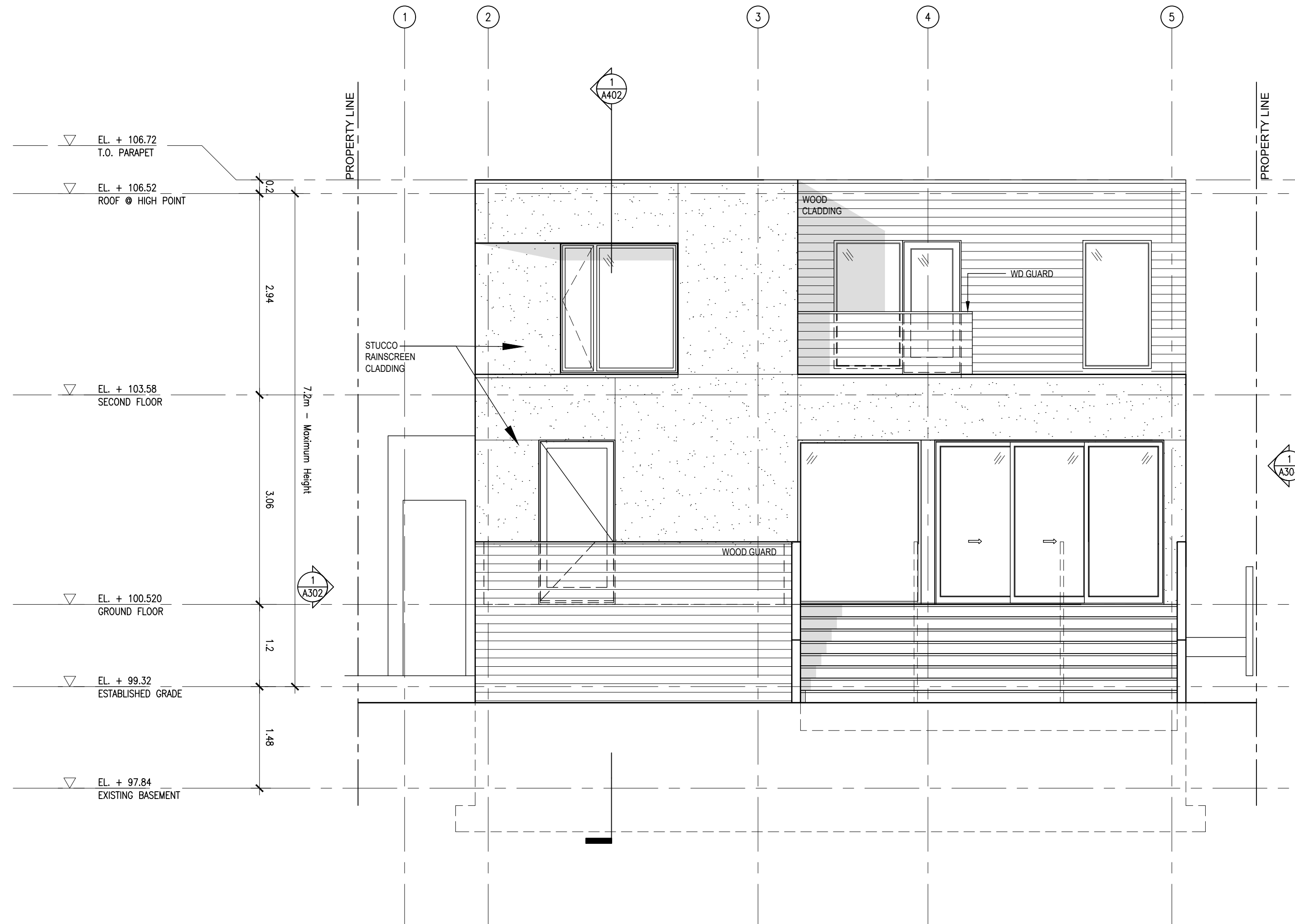
NORTH ELEVATION

SCALE 1:50
DATE 04/11/2016
DRAWN BY

A 302

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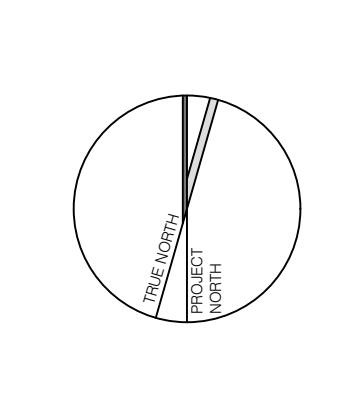
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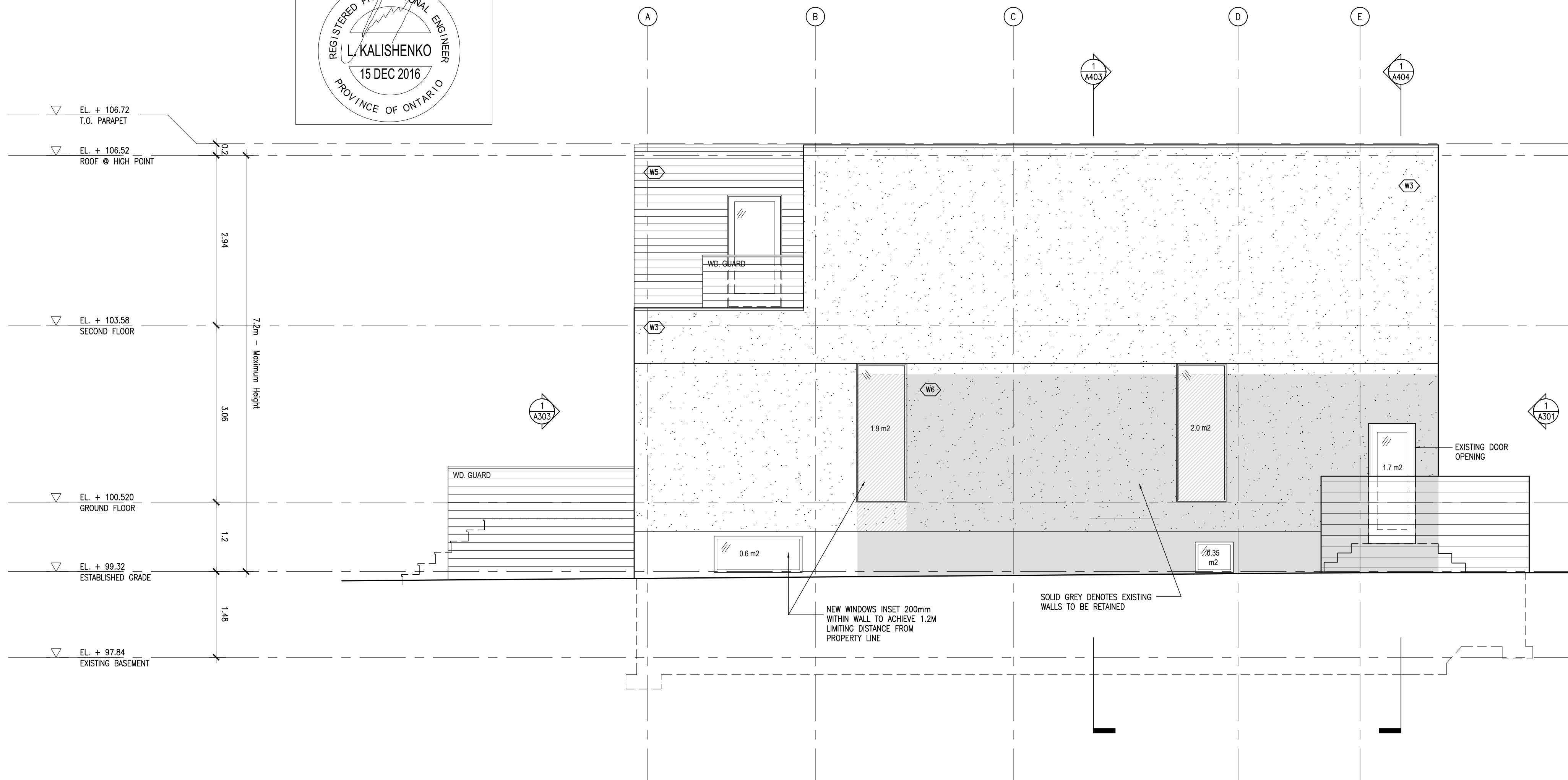
WEST ELEVATION

SCALE	1:50
DATE	04/11/2016
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A 303

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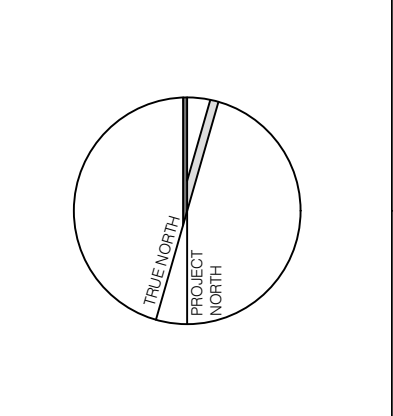
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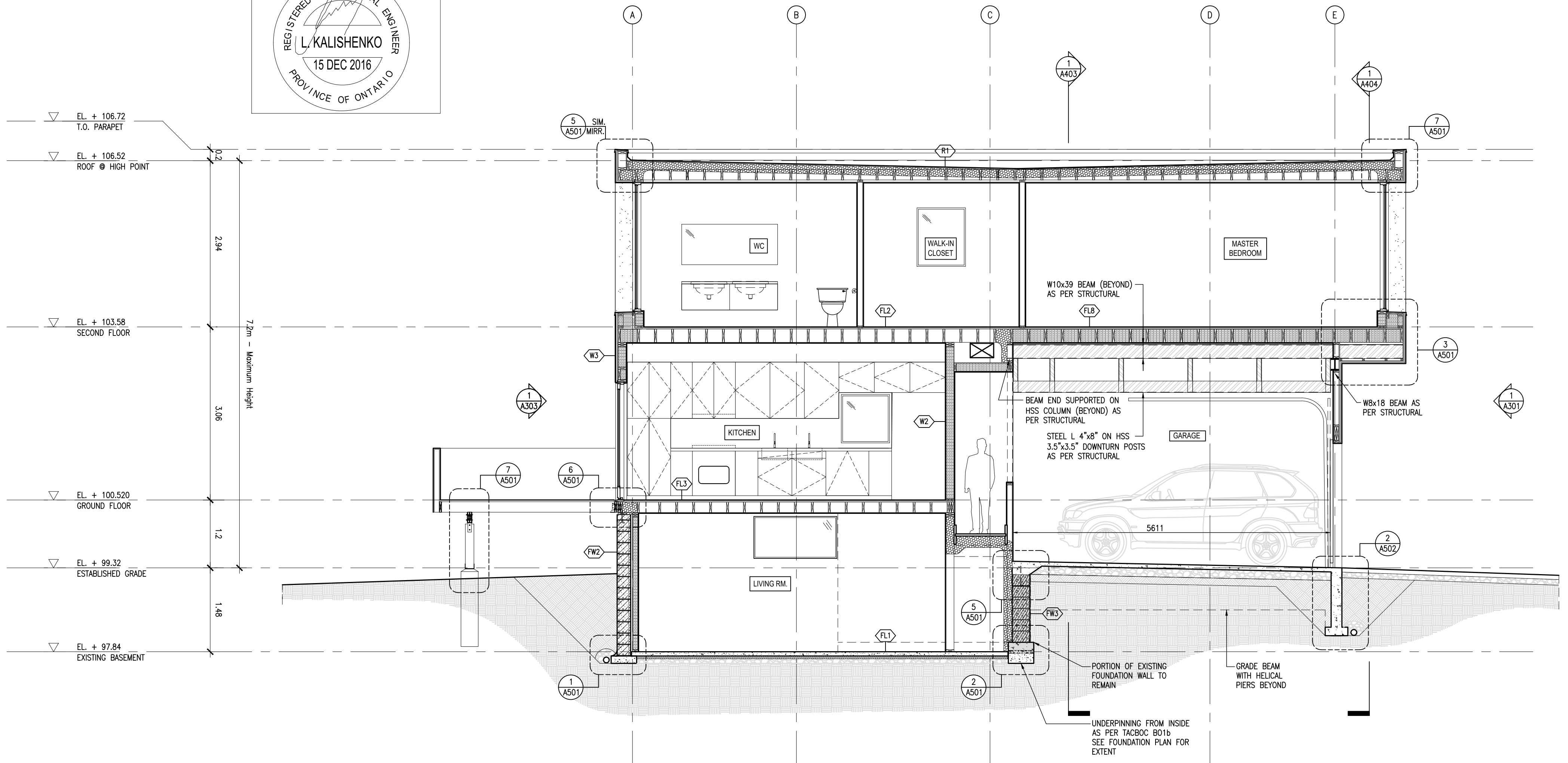
SOUTH ELEVATION

SCALE 1:50
DATE 04/11/2016
DRAWN BY TD

A 304

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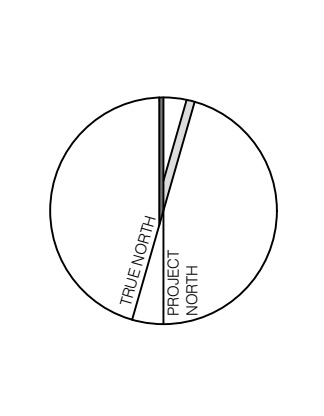
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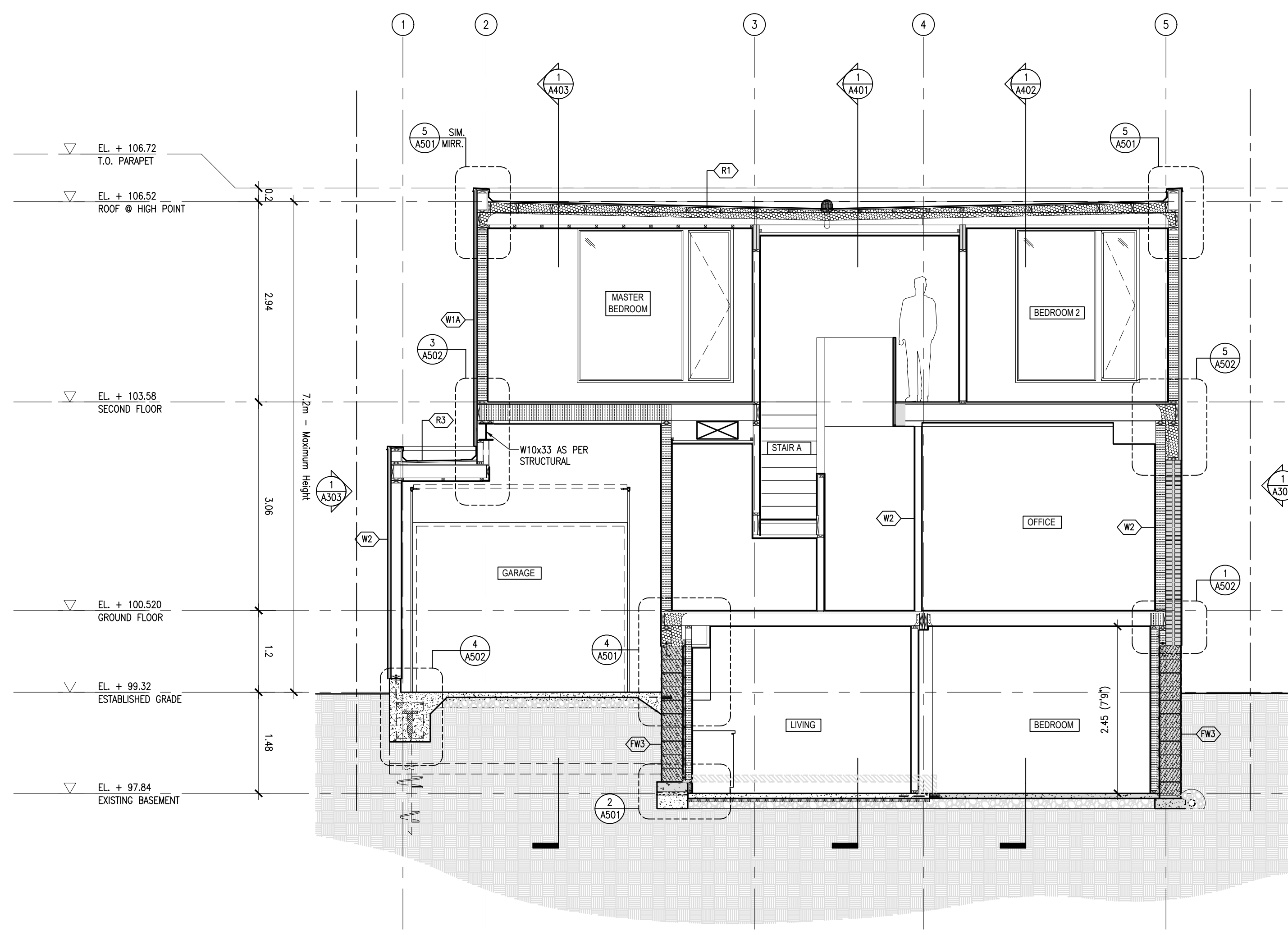
EAST - WEST
BUILDING
SECTION

SCALE 1:50
DATE 04/11/2016
DRAWN BY TD

A 402

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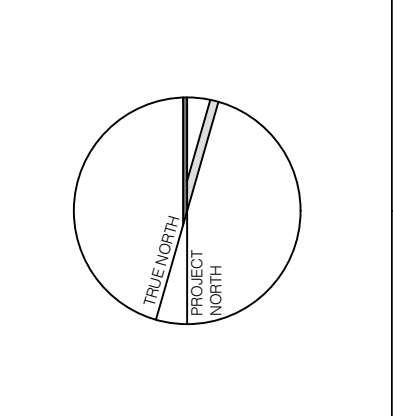
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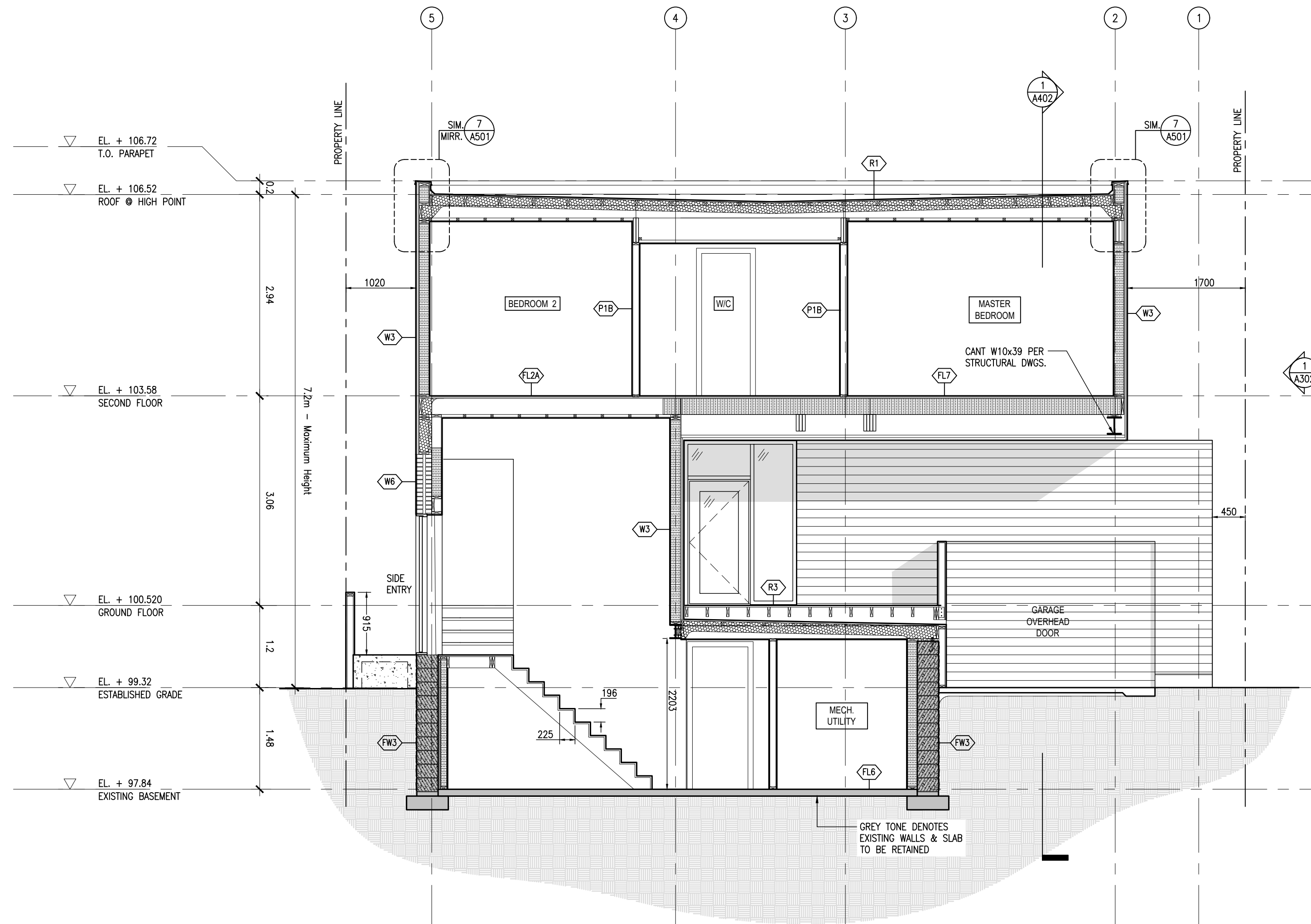
**NORTH - SOUTH
BUILDING
SECTION**

SCALE 1:50
DATE 04/11/2016
DRAWN BY TD

A 403

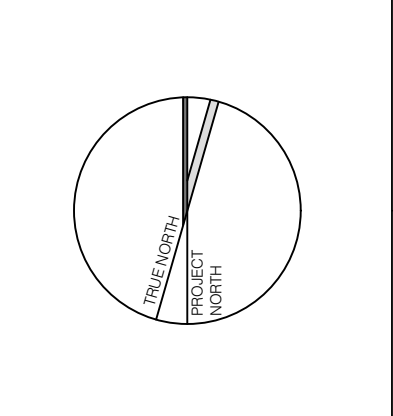
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ALL CONTRACTORS AND SUB-CONTRACTORS SHALL REFER TO NOTES & SPECIFICATIONS THAT APPEAR IN THIS DRAWING SET. REFER TO SHEET A002 AND NOTES ON PARTICULAR DRAWINGS.

ISSUED	DATE	REVISION NO.
FOR BUILDING PERMIT	13/12/2016	



128 MILTON ST
Etobicoke, Ontario M8Y 2Y3

PROOF

1 Bellwoods Ave. Toronto, Ont. M6J 1P3
416.573.1636 | WWW.PROOFARCHITECTURE.COM

**NORTH - SOUTH
BUILDING
SECTION**

SCALE 1:50
DATE 04/11/2016
DRAWN BY TD

A 404

Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0097/17EYK	Zoning:	RD & R2
Owner(s):	DANIELA FRANCESCA STELLATO MARTIN CARIGNAN	Ward:	Etobicoke-Lakeshore (05)
Agent:	CASALDOM ARCHITECT	Heritage:	Not Applicable
Property Address:	8 CLUESON PK	Community:	
Legal Description:	PLAN 3729 E PT LOT 24		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (115.15 m²).
The altered dwelling will have a lot coverage of 36% of the lot area (125.66 m²).
- Section 900.3.10.(42)(A)(i), By-law 569-2013**
The maximum permitted gross floor area is 118 m² plus 25% of the lot area (205.24 m²), up to a maximum floor space index of 0.5 (174.47 m²).
The altered dwelling will have a floor space index of 0.58 (203.46 m²).
- Section 10.20.40.70.(2)(A), By-law 569-2013 & Section 320-42.A**
The minimum required rear yard setback is 7.5 m.
The altered dwelling will be located 7.43 m from the rear lot line.
- Section 320-42.1.B.(2)**
The maximum permitted height of a flat roof dwelling is 6.5 m.
The altered dwelling will have a height of 6.65 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0097/17EYK	Zoning	RD & R2
Owner:	DANIELA FRANCESCA STELLATO MARTIN CARIGNAN	Ward:	Etobicoke-Lakeshore (05)
Agent:	CASALDOM ARCHITECT	Heritage:	Not Applicable
Property Address:	8 CLUESON PK	Community:	
Legal Description:	PLAN 3729 E PT LOT 24		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, April 6, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0100/17EYK	Zoning:	RD & R2
Owner(s):	MARIA ABREU MANUEL ABREU	Ward:	Etobicoke North (02)
Agent:	EKP DESIGNS INC	Heritage:	Not Applicable
Property Address:	685 SCARLETT RD	Community:	
Legal Description:	PLAN 2199 LOT 27 31FT 3 1/3IN ON L		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 1.(e), By-law 3970**
The maximum permitted gross floor area is 60% of the lot area (217.94 m²).
The new dwelling will have a gross floor area equal to 64.7% of the lot area (234.91 m²).
- 2. Section 320-40.A**
The minimum required front yard setback is 7.5 m.
The new dwelling will be located 3.67 m from the front lot line.
- 3. Section 320-39.E**
If a building fronts onto Scarlett Road, the minimum distance of a building from the centre line of a street shall be 23 m and in no case less than 7.5 metres from the street line.
The front yard of the new dwelling is 17.06 m from the centreline of Scarlett Road.
- 4. Section 320-42.1.D.(1)**
The maximum permitted dwelling depth is 16.5 m.
The new dwelling will have a depth of 18.5 m.
- 5. Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The new dwelling will have a length of 18.49 m.
- 6. Section 200.5.1(3)(A), By-law 569-2013 and 320-18. A. (4)**
The minimum required driveway width from the lot line to the garage is 6 m.
The proposed driveway width from the lot line to the garage is 3.67 m.

7. Section 10.5.50.10(1)(D), By-law 569-2013 and Section 320-24.10(A)

A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping.

A total of 66.25% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or destroy privately owned trees.
2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 Illustrate a 3.0m wide driveway and associated depressed curb cut within the Scarlett Road municipal boulevard for the proposed access driveway to the new attached garage.
 - 3.2 Illustrate the portion of the existing driveway and depressed curb cut that will be closed as being restored with sod and poured raised concrete curb along the frontage of Scarlett Road according to the City of Toronto Design Standard No. T-600.11-1.
 - 3.3 The site plan drawing shall be revised to include the following notations:
 - a. "The applicant must obtain the necessary authorizations and permits from the City's Right-of-Way Management Unit before widening the existing driveway and associated curb cut within the Scarlett Road municipal boulevard;"
 - b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) prior to obtaining a Building Permit." The applicant is advised to contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at (416) 338-1045 regarding municipal road damage deposit requirements; and,
 - 3.4 The applicant shall submit a revised site plan in metric units (1:200 or 1:250) illustrating the above condition No.'s 3.1 through 3.3 and at no cost to the City, no later than May 31, 2018.

SIGNATURE PAGE

File Number:	A0100/17EYK	Zoning	RD & R2
Owner:	MARIA ABREU	Ward:	Etobicoke North (02)
	MANUEL ABREU		
Agent:	EKP DESIGNS INC	Heritage:	Not Applicable
Property Address:	685 SCARLETT RD	Community:	
Legal Description:	PLAN 2199 LOT 27 31FT 3 1/3IN ON L		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

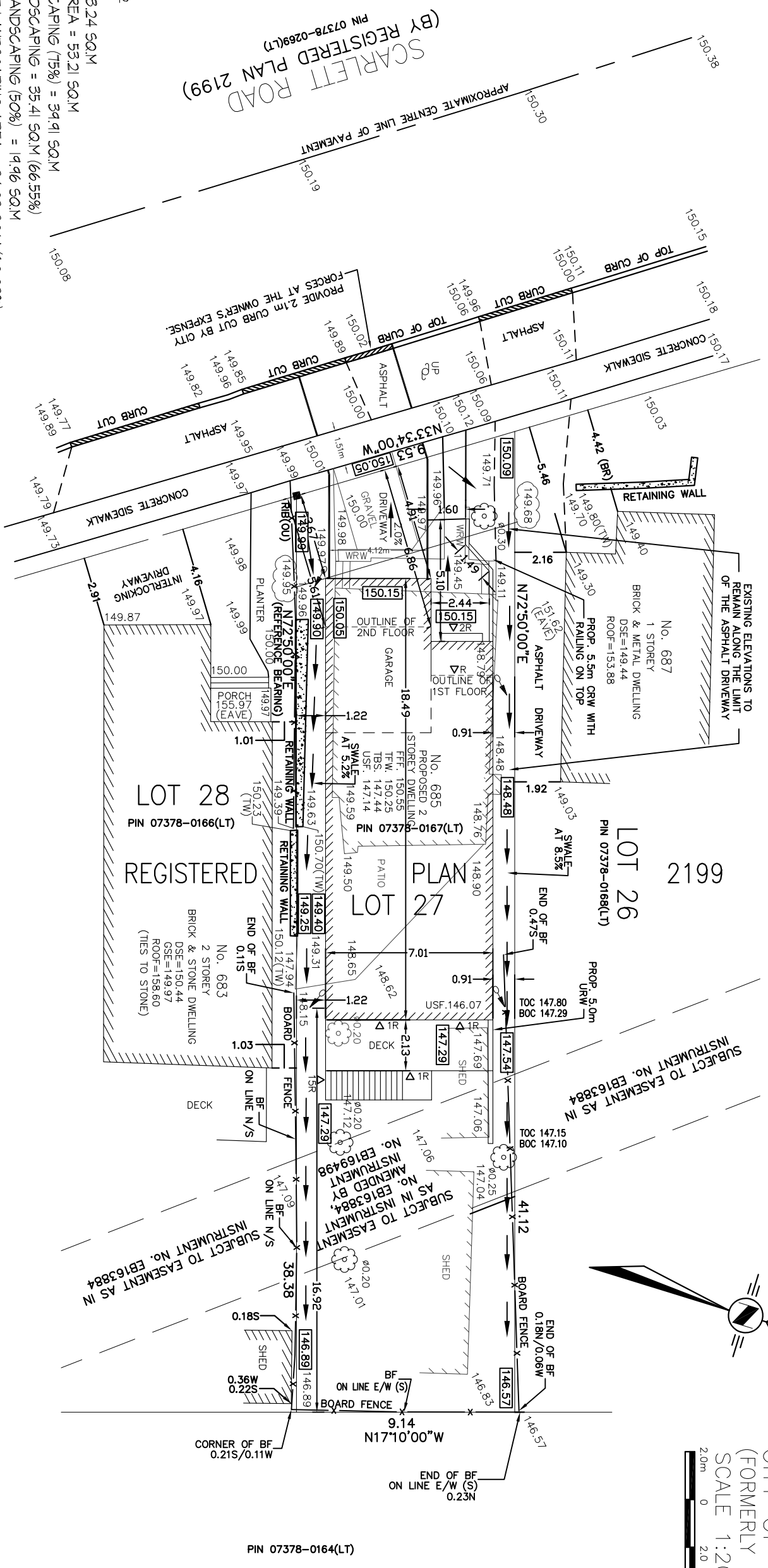
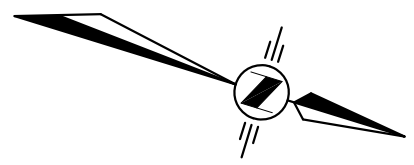
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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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METRIC
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SITE GRADING PLAN
LOT 27
REGISTERED PLAN 2199
CITY OF TORONTO
(FORMERLY CITY OF ETOBICOKE)
SCALE 1:200



LOT 25, REGISTERED PLAN 2199

UNDERGROUND SERVICES
THE LOCATION OF UNDERGROUND SERVICES SHOWN ON THIS PLAN IS ONLY APPROXIMATE AND IS FOR PLANNING AND DESIGN PURPOSES ONLY. THIS INFORMATION MUST NOT BE ASSUMED TO BE COMPLETE OR UP-TO-DATE. THE UNDERNAMED COMPANY AND EACH UTILITY ACCEPTS NO RESPONSIBILITY FOR ANY CLAIMS OR LOSSES DUE TO IMPROPER USE OF THE INFORMATION SHOWN HEREON AND EACH UTILITY MUST BE CONTACTED FOR AN ON-SITE LOCATE PRIOR TO ANY EXCAVATION.

NOTES

1. BOUNDARY INFORMATION WAS TAKEN FROM REGISTERED PLAN 2199.
2. ALL FOOTING FORMWORK ELEVATION ARE TO BE CONFIRMED BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED ONTARIO LAND SURVEYOR PRIOR TO THE PLACING OF ANY CONCRETE.
3. PRIOR TO THE SUPERSTRUCTURE WORKS PROCEEDING AND THE RELEASE OF THE COMPLETION STAGE PERMIT, THE OWNERS CONSULTANT MUST CERTIFY THAT THE TOP OF FOUNDATIONS IS IN CONFORMITY WITH THE GRADING PLAN REVIEWED BY THE CITY.
4. ALL RAINWATER LEADERS TO DISCHARGE ONTO SPLASH PADS AT GROUND LEVEL AT FRONT OF HOUSE.
5. A 0.60m WIDE UNDISTURBED STRIP IS TO BE PROVIDED ALONG ALL BOUNDARIES WITH ADJACENT PROPERTIES.
6. NO TREES TO BE REMOVED WITHOUT PRIOR CONSENT FROM THE CITY ARBORIST.

SITE STATISTICS
LOT AREA = 363.24 SQ.M
FRONT YARD AREA = 53.21 SQ.M
MINIMUM LANDSCAPING (75%) = 39.91 SQ.M
PROPOSED LANDSCAPING (75%) = 35.41 SQ.M (66.55%)
MINIMUM SOFT LANDSCAPING (50%) = 19.96 SQ.M
PROPOSED SOFT LANDSCAPING AREA = 24.02 SQ.M (60.02%)
PROPOSED FIRST FLOOR G.F.A. = 91.74 SQ.M.
PROPOSED SECOND FLOOR G.F.A. = 104.53 SQ.M
TOTAL G.F.A. = 201.27 SQ.M

REAR YARD AREA = 15452 SQ.M
PROPOSED CONCRETE DECK + STAIRS AREA = 2035 SQ.M.
PROPOSED SOFT LANDSCAPING AREA = 13417 SQ.M (66.83%)

SITE PLAN
SCALE : 1:200

EKP DESIGNS INC.

53 NORMAN AVENUE
TORONTO, ONTARIO
M6E-1G9
TEL. No. 416-658-6737
CELL No. 416-723-6983
EMAIL: ekpdesigns@outlook.com

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No.	REVISIONS	DATE

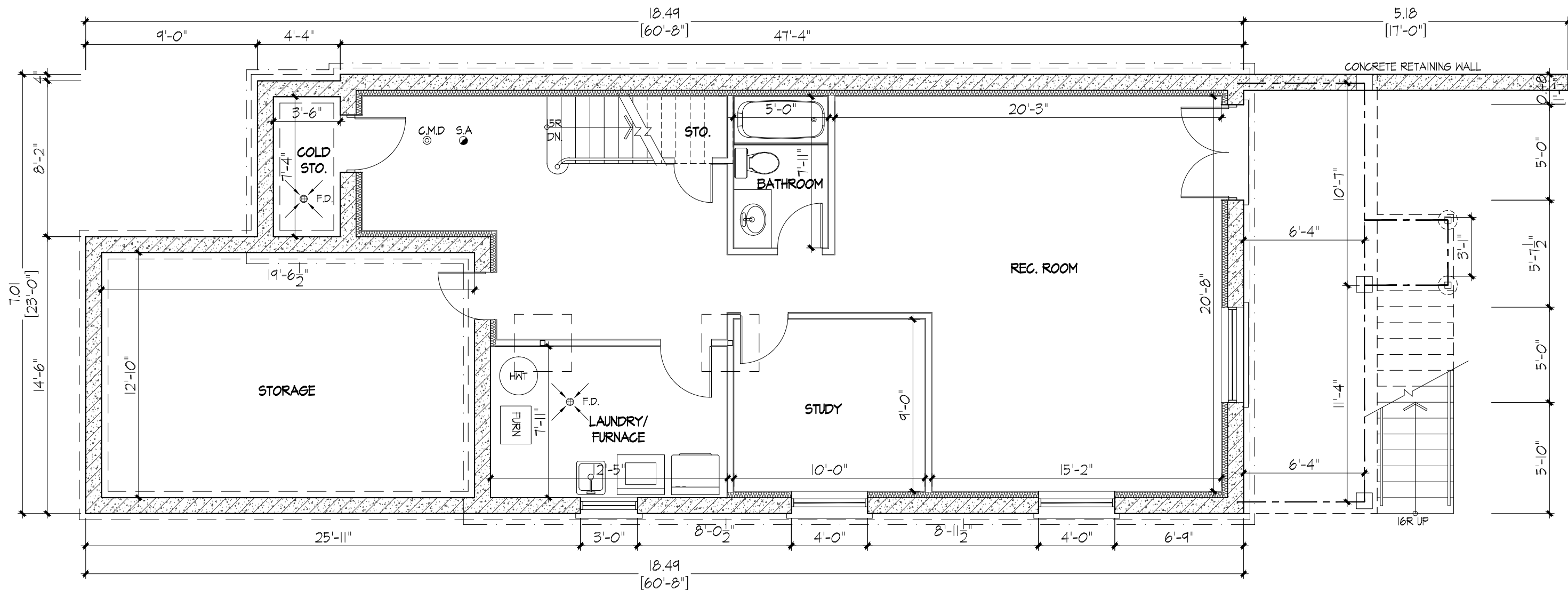
LEGEND

□	DENOTES SURVEY MONUMENT PLANTED	BF	DENOTES BOARD FENCE
■	DENOTES SURVEY MONUMENT FOUND	BR	DENOTES TIES TO BRICK
○	DENOTES DIAMETER	CF	DENOTES TIES TO CONCRETE FOUNDATION
●	DENOTES ROUND IRON BAR	DSE	DENOTES DOOR SILL ELEVATION
○	DENOTES ROUND UNKNOWN	GSE	DENOTES GARAGE SILL ELEVATION
○	DENOTES FINISHED FIRST FLOOR	MT	DENOTES TIES TO METAL
○	DENOTES TOP OF FOUNDATION WALL	TW	DENOTES UTILITY POST
○	DENOTES UNDERSIDE OF FOOTING	URW	DENOTES WOOD RETAINING WALL
○	DENOTES EXISTING ELEVATION	CRW	DENOTES CONCRETE RETAINING WALL
○	DENOTES PROPOSED ELEVATION	URW	DENOTES UNILOCK RETAINING WALL
○	DENOTES DOWNSPOUT	○	DENOTES DECIDUOUS TREE

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:
QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.
EDMIE PERES 37296 BCIN
NAME SIGNATURE
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.
EKP DESIGNS INC. 38281 BCIN
FIRM NAME

PROJECT
PROPOSED 2 STOREY BRICK DWELLING
685 SCARLETT ROAD
CITY OF TORONTO

DESIGNED BY	DRAWN BY	APPROVED BY
EKP	RLIUU	EKP
PROJECT No. 2016-63	DATE NOVEMBER 2016	SCALE AS SHOWN
FILE: 2016	DRAWING NO. A1	



1 BASEMENT FLOOR PLAN
 A2 SCALE : 3/16" = 1'-0"

EKP DESIGNS INC.
 53 NORMAN AVENUE
 TORONTO, ONTARIO
 M6E-1G9
 TEL. No. 416-658-6737
 CELL No. 416-723-6983
 EMAIL: ekpdesigns@outlook.com

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EDDIE PERES 37296
 NAME SIGNATURE BCIN

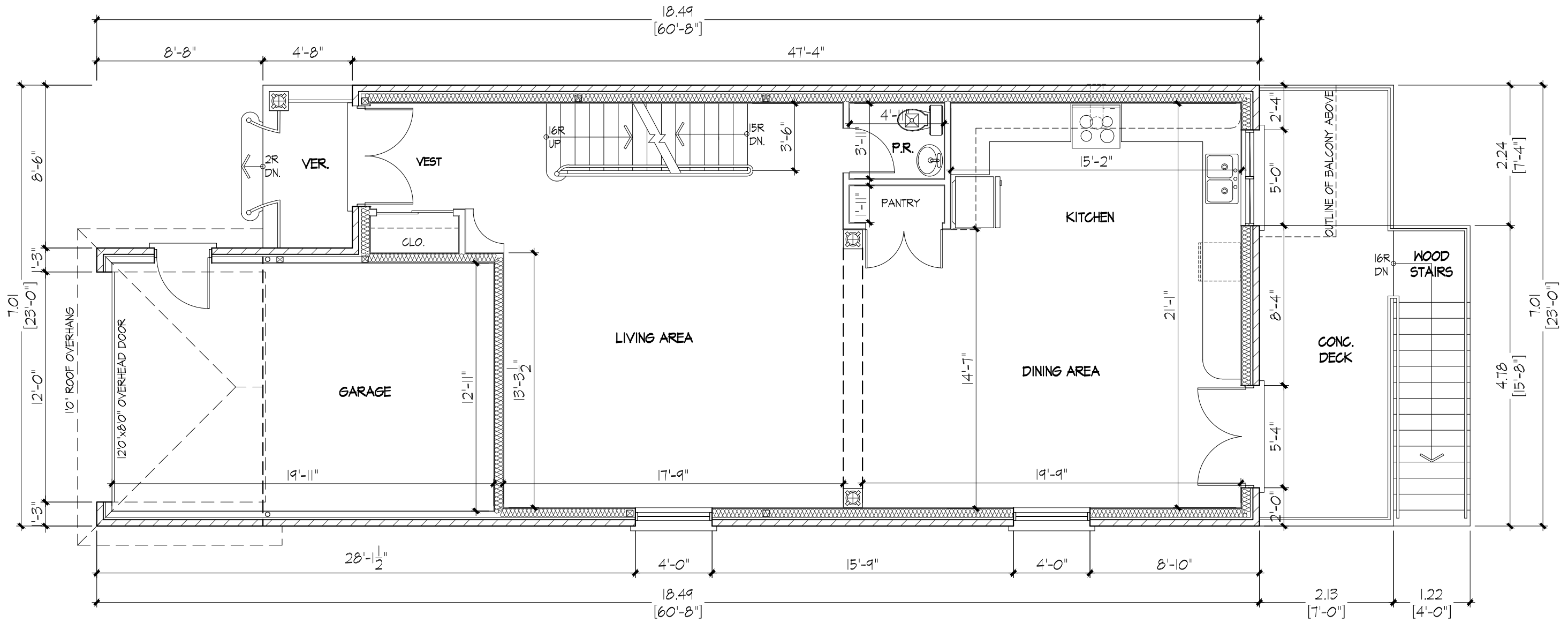
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EKP DESIGNS INC. 38281
 FIRM NAME BCIN

PROJECT
 PROPOSED 2 STOREY BRICK DWELLING
 685 SCARLETT ROAD
 CITY OF TORONTO

DRAWING NAME
 BASEMENT FLOOR PLAN

DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-63	DATE NOVEMBER 2016	SCALE AS SHOWN
FILE: 2016		DRAWING NO. A2



1 FIRST FLOOR PLAN
 A3 SCALE : 3/16" = 1'-0"

EKP DESIGNS INC.
 53 NORMAN AVENUE
 TORONTO, ONTARIO
 M6E-1G9
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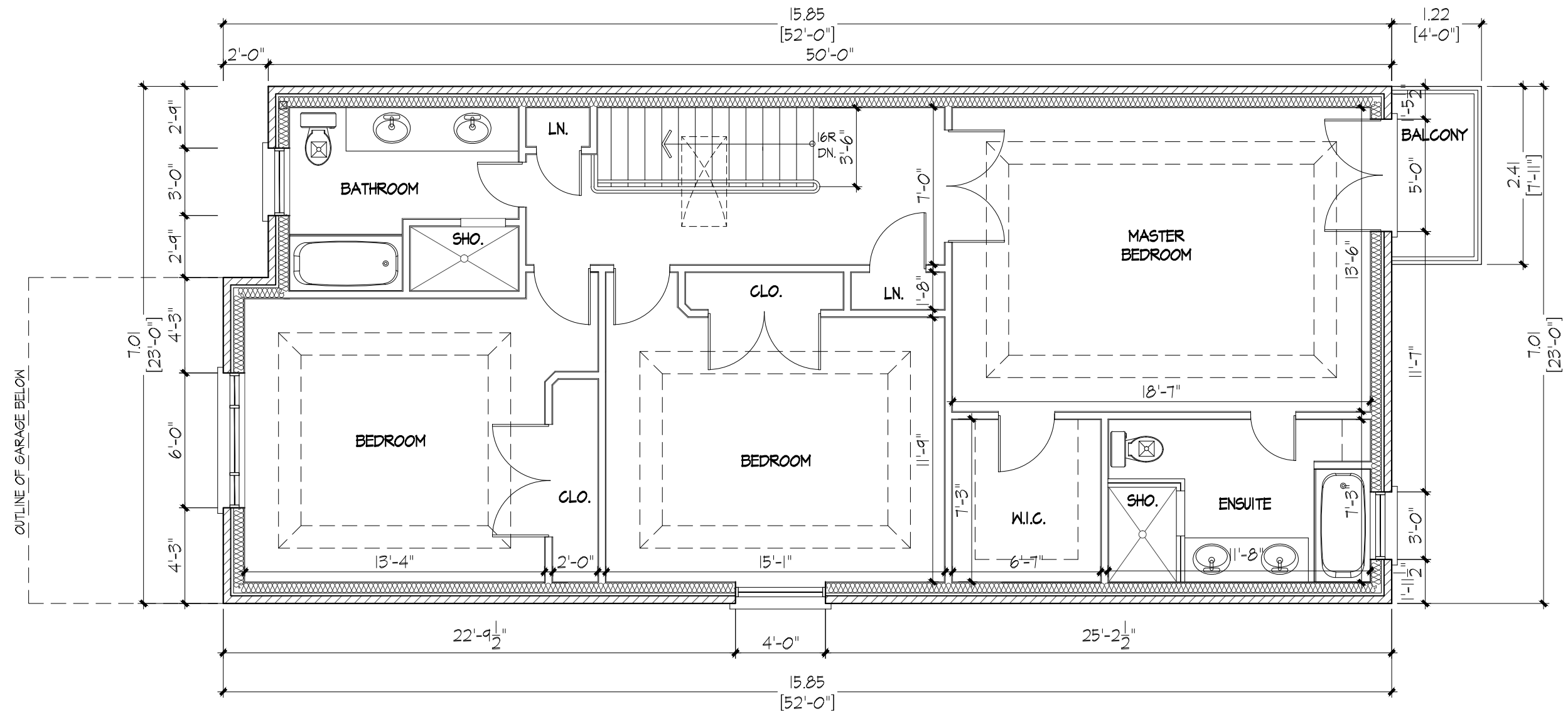
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EKP DESIGNS INC. 38281
 FIRM NAME BCIN

PROJECT
 PROPOSED 2 STOREY BRICK DWELLING
 685 SCARLETT ROAD
 CITY OF TORONTO

DRAWING NAME
 FIRST FLOOR PLAN

DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-63	DATE NOVEMBER 2016	SCALE AS SHOWN
FILE: 2016	DRAWING NO. A3	



1 SECOND FLOOR PLAN
 A4 SCALE : 3/16" = 1'-0"

EKP DESIGNS INC.

53 NORMAN AVENUE
 TORONTO, ONTARIO
 M6E-1G9
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No.	REVISIONS	DATE

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 NAME SIGNATURE BCIN

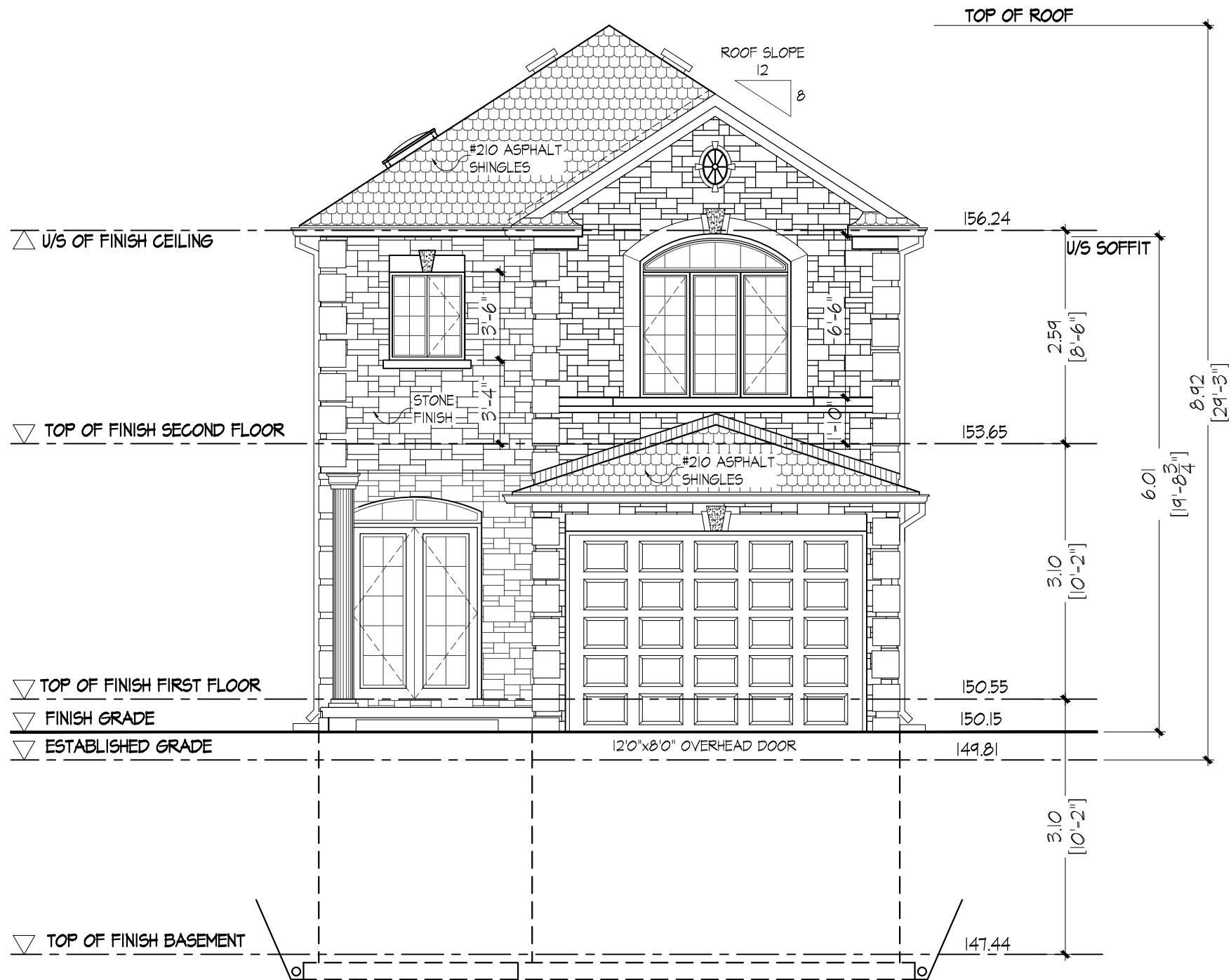
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EKP DESIGNS INC. 38281
 FIRM NAME BCIN

PROJECT
 PROPOSED 2 STOREY BRICK DWELLING
 685 SCARLETT ROAD
 CITY OF TORONTO

DRAWING NAME
 SECOND FLOOR PLAN

DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-63	DATE NOVEMBER 2016	SCALE AS SHOWN
FILE: 2016	DRAWING NO. A4	



1 WEST (FRONT) ELEVATION
 A6 SCALE : 3/16" = 1'-0"

EKP DESIGNS INC.
 53 NORMAN AVENUE
 TORONTO , ONTARIO
 M6E-1G9
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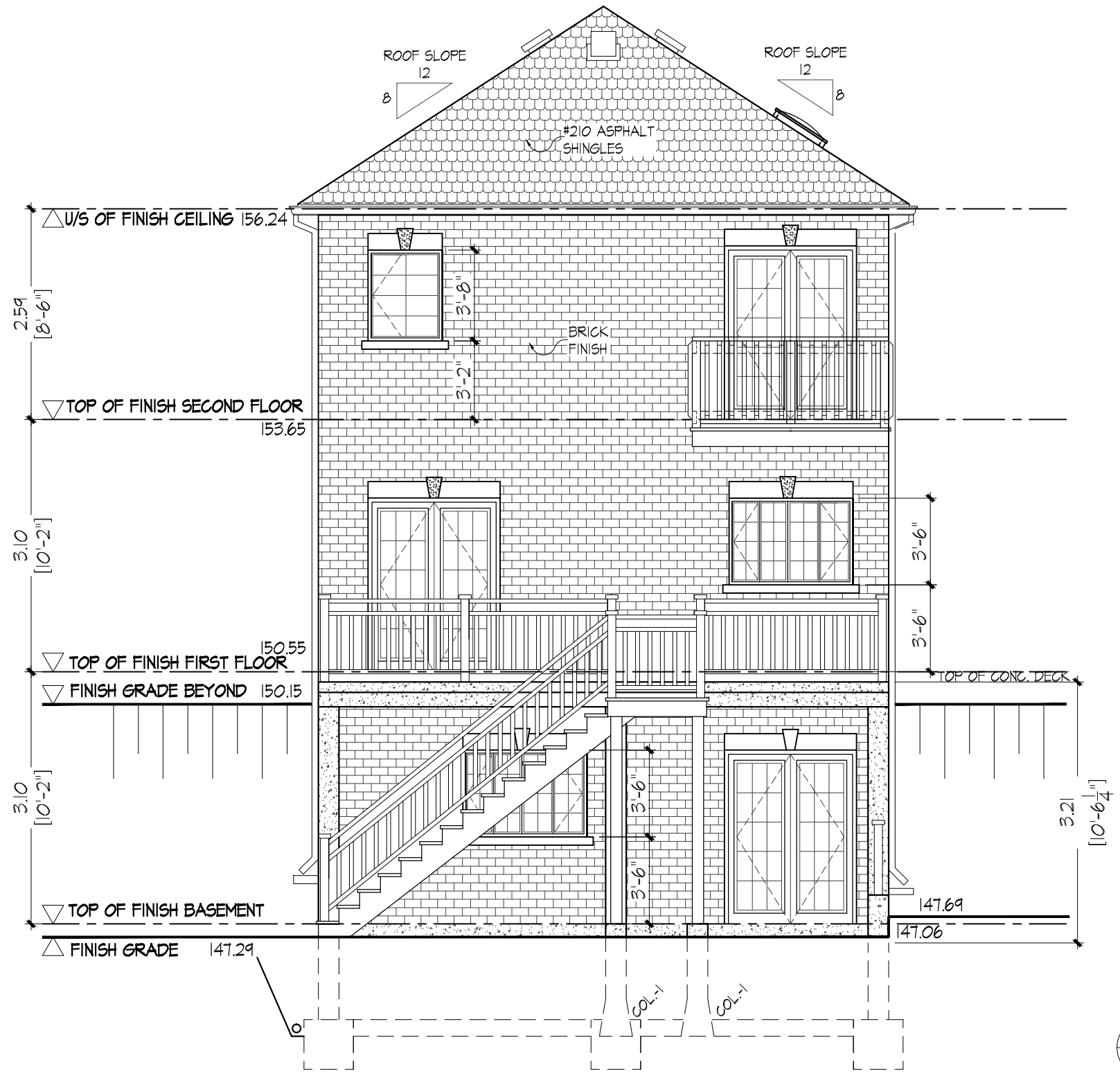
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EDDIE PERES 37296
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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EKP DESIGNS INC. 38281
 FIRM NAME BCIN

PROJECT		
PROPOSED 2 STOREY BRICK DWELLING 685 SCARLETT ROAD CITY OF TORONTO		
DRAWING NAME		
WEST (FRONT) ELEVATION		
DESIGNED BY	DRAWN BY	APPROVED BY
EKP	R.LUU	EKP
PROJECT No.	DATE	SCALE
2016-63	NOVEMBER 2016	AS SHOWN
FILE:	DRAWING NO.	
2016	A6	



1 EAST (REAR) ELEVATION
A7 SCALE : 3/16" = 1'-0"

EKP DESIGNS INC.
53 NORMAN AVENUE
TORONTO , ONTARIO
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EDDIE PERES 37296
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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EKP DESIGNS INC. 38281
FIRM NAME BCIN

PROJECT
PROPOSED 2 STOREY BRICK DWELLING
685 SCARLETT ROAD
CITY OF TORONTO

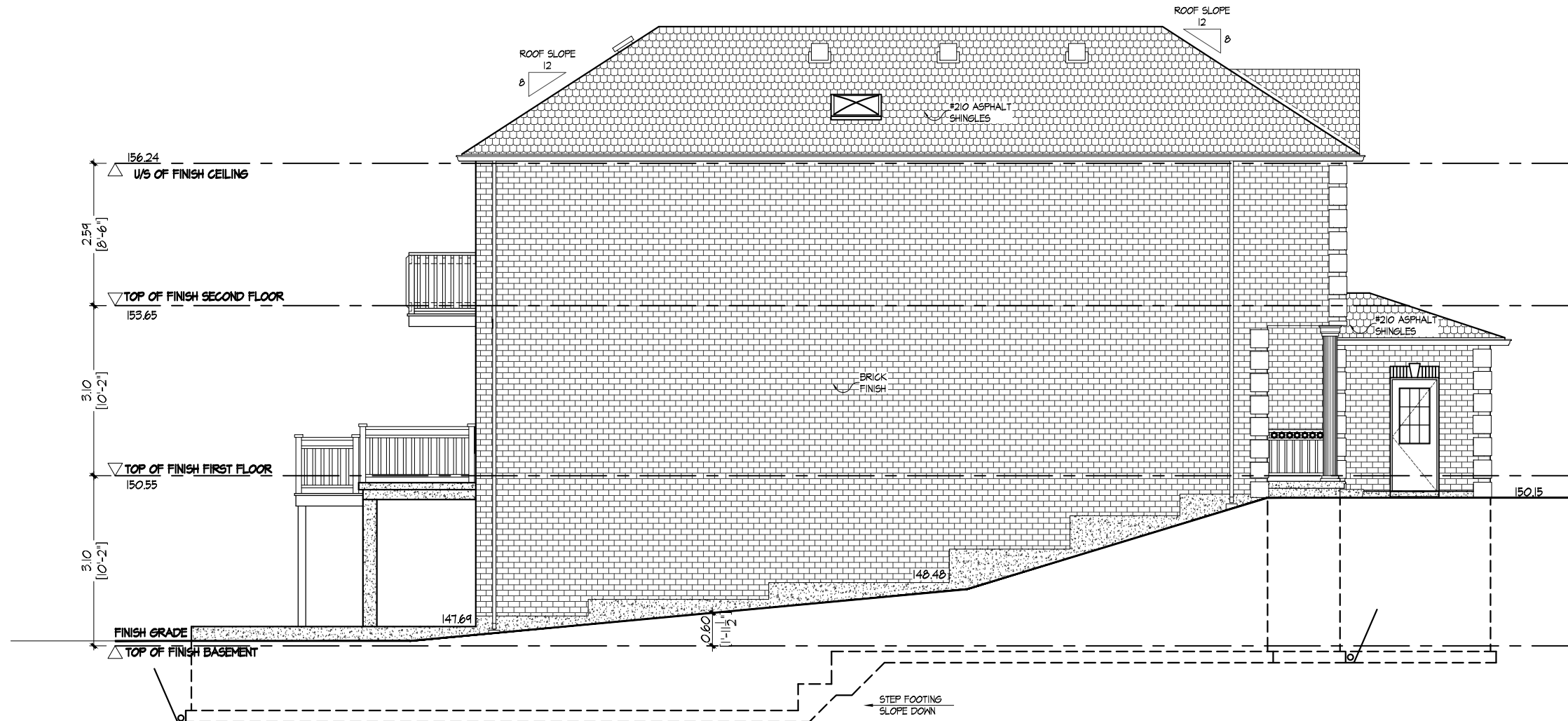
DRAWING NAME
EAST (REAR) ELEVATION

DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-63	DATE NOVEMBER 2016	SCALE AS SHOWN
FILE: 2016	DRAWING NO. A7	

PROJECT
PROPOSED 2 STOREY BRICK DWELLING
685 SCARLETT ROAD
CITY OF TORONTO

DRAWING NAME
EAST (REAR) ELEVATION

DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-63	DATE NOVEMBER 2016	SCALE AS SHOWN
FILE: 2016	DRAWING NO. A7	



1 NORTH (SIDE) ELEVATION
 A B SCALE : 1/8" = 1'-0"

EKP DESIGNS INC.
 53 NORMAN AVENUE
 TORONTO , ONTARIO
 M6E-1G9
 TEL. No. 416-658-6737
 CELL No. 416-723-6983
 EMAIL: ekpdesigns@outlook.com

THIS DRAWING AS AN INSTRUMENT OF SERVICE IS PROVIDED BY AND IS THE PROPERTY OF EKP DESIGNS INC. THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY EKP DESIGNS INC. OF ANY VARIATIONS FROM THE SUPPLIED INFORMATION. THE DRAWING IS NOT TO SCALE. THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL ELECTRICAL ETC. VERIFY INFORMATION SHOWN ON THE DRAWINGS BEFORE PROCEEDING WITH WORK. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED 'FOR CONSTRUCTION' MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS/HER WORK.

No.	REVISIONS	DATE

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
 Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

EDDIE PERES 37296
 NAME SIGNATURE BCIN

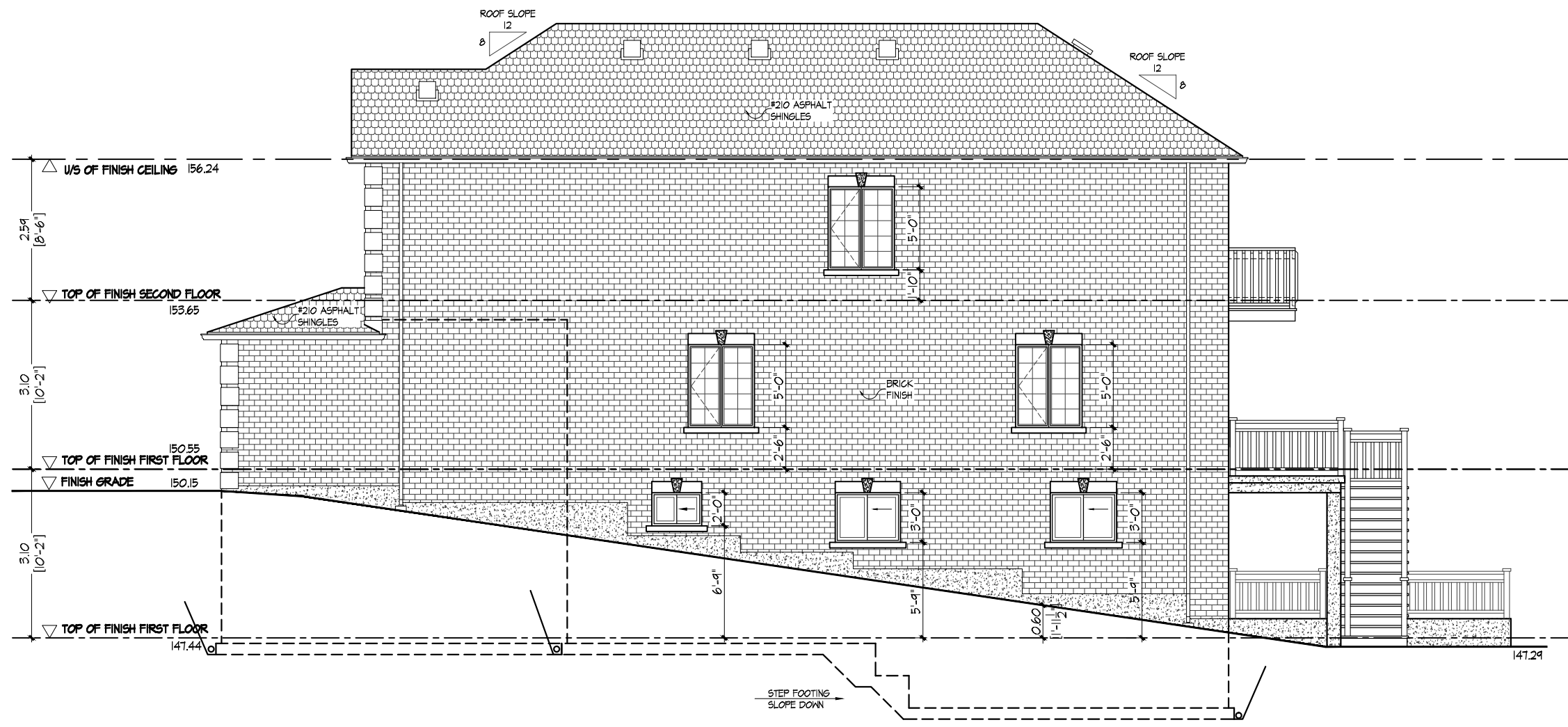
REGISTRATION INFORMATION
 Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

EKP DESIGNS INC. 38281
 FIRM NAME BCIN

PROJECT
 PROPOSED 2 STOREY BRICK DWELLING
 685 SCARLETT ROAD
 CITY OF TORONTO

DRAWING NAME
 NORTH (SIDE) ELEVATION

DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-63	DATE NOVEMBER 2016	SCALE AS SHOWN
FILE: 2016	DRAWING NO. A8	



1 SOUTH (SIDE) ELEVATION
A9 SCALE : 1/8" = 1'-0"

EKP DESIGNS INC.

53 NORMAN AVENUE
TORONTO , ONTARIO
M6E-1G9
TEL. No. 416-658-6737
CELL No. 416-723-6983
EMAIL: ekpdesigns@outlook.com

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No.	REVISIONS	DATE

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QUALIFICATION INFORMATION
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EDDIE PERES 37296
NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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EKP DESIGNS INC. 38281
FIRM NAME BCIN

PROJECT PROPOSED 2 STOREY BRICK DWELLING 685 SCARLETT ROAD CITY OF TORONTO		
DRAWING NAME SOUTH (SIDE) ELEVATION		
DESIGNED BY EKP	DRAWN BY R.LUU	APPROVED BY EKP
PROJECT No. 2016-63	DATE NOVEMBER 2016	SCALE AS SHOWN
FILE: 2016	DRAWING NO. A9	

Thursday, April 6, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0101/17EYK	Zoning:	RD
Owner(s):	DIJANA GAVRIC SLAVISA GAVRIC	Ward:	Etobicoke-Lakeshore (05)
Agent:	SLOBODAN REKALIC	Heritage:	Not Applicable
Property Address:	26 CHARLESTON RD	Community:	
Legal Description:	PLAN 4344 LOT 12		

Notice was given and a Public Hearing was held on Thursday, April 6, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition with a deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.20.(1), By-law 569-2013

The maximum permitted building length is 17 m
The altered dwelling will have a length of 18.29 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the site plan drawing and elevations submitted and held on file by the Committee of Adjustment office and date stamped as received on February 3, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0101/17EYK	Zoning	RD
Owner:	DIJANA GAVRIC SLAVISA GAVRIC	Ward:	Etobicoke-Lakeshore (05)
Agent:	SLOBODAN REKALIC	Heritage:	Not Applicable
Property Address:	26 CHARLESTON RD	Community:	
Legal Description:	PLAN 4344 LOT 12		

Allan Smithies (signed)

Dominic Gulli (signed)

Rick Ross (signed)

Michael Clark (signed)

DATE DECISION MAILED ON: Wednesday, April 12, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, April 26, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

SURVEYOR'S REAL PROPERTY REPORT
 PART 1) PLAN AND TOPOGRAPHIC DETAIL OF
LOT 12
REGISTERED PLAN 4344
 (FORMERLY CITY OF ETOBICOKE)
CITY OF TORONTO

SCALE 1:200
 2.0m 0 2.0 10.0metres

VLADIMIR DOSEN SURVEYING, O.L.S.

METRIC
 DISTANCES SHOWN ON THIS
 PLAN ARE IN METRES AND
 CAN BE CONVERTED TO
 FEET BY DIVIDING BY 0.3048

ASSOCIATION OF ONTARIO
 LAND SURVEYORS
 PLAN SUBMISSION FORM
2001506

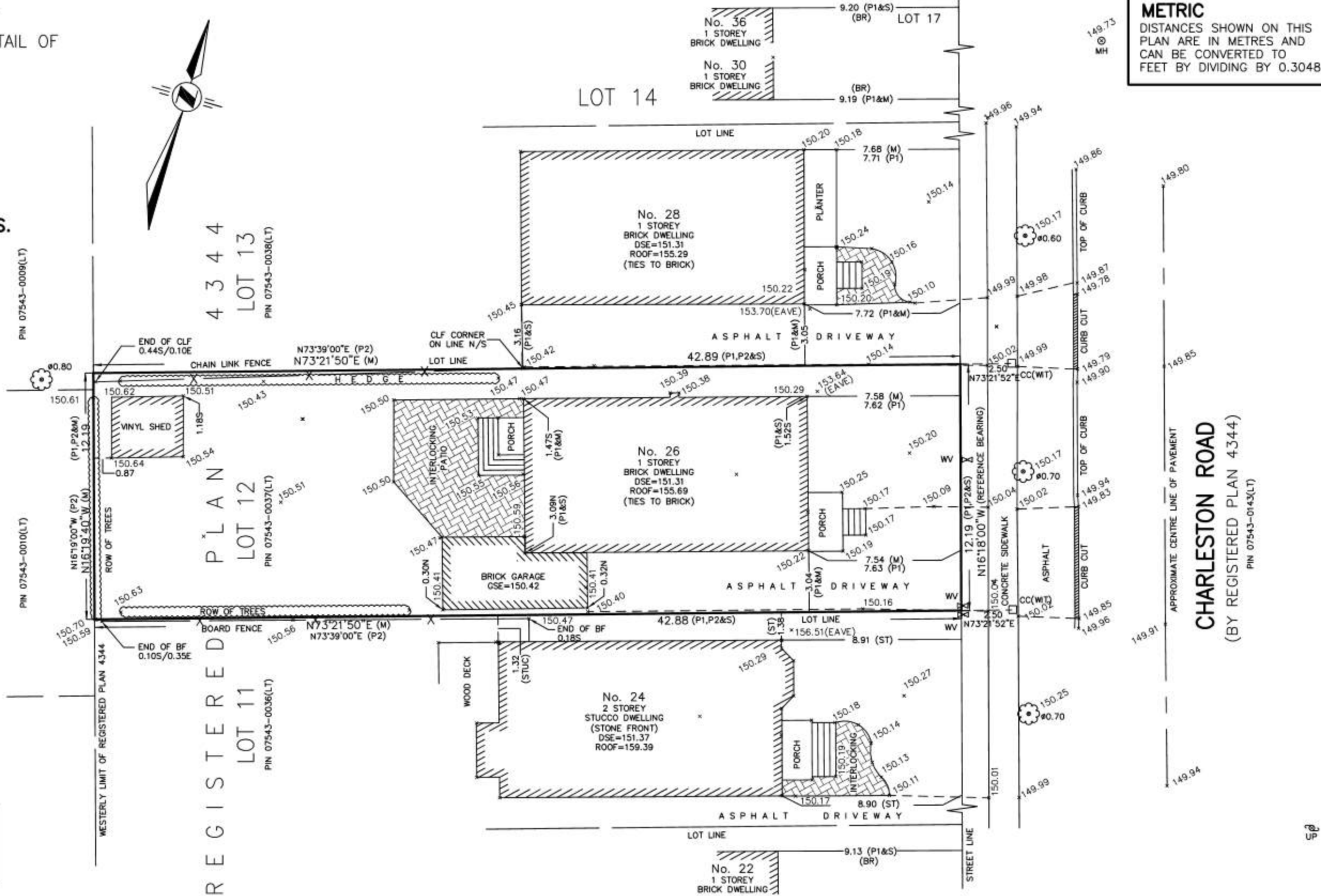


THIS PLAN IS NOT VALID
 UNLESS IT IS AN EMBOSSED
 ORIGINAL COPY
 ISSUED BY THE SURVEYOR
 In accordance with
 Regulation 1026, Section 29(3).

THIS REPORT WAS PREPARED FOR
 BOB REKALIC
 AND THE UNDERSIGNED ACCEPTS NO
 RESPONSIBILITY FOR USE BY
 OTHER PARTIES

PART 2) SURVEY REPORT
 REGISTERED EASEMENTS AND/OR RIGHT OF WAYS:
 NO EASEMENTS OR RIGHT OF WAYS ARE REGISTERED.
 COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS:
 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING
 BY-LAWS.

LOT 18, CONCESSION 1
 NORTHERN DIVISION FRONTING LAKE ONTARIO



LEGEND

□	DENOTES SURVEY MONUMENT PLANTED	BF	DENOTES BOARD FENCE
■	DENOTES SURVEY MONUMENT FOUND	BR	DENOTES TIES TO BRICK
S	DENOTES SET	CLF	DENOTES CHAIN LINK FENCE
M	DENOTES MEASURED	DSE	DENOTES DOOR SILL ELEVATION
⊕	DENOTES DIAMETER	GSE	DENOTES GARAGE SILL ELEVATION
P1	DENOTES SKETCH OF SURVEY BY COOK & DUNNING, O.L.S., DATED JULY 8, 1953	MH	DENOTES MAN HOLE
P2	DENOTES REGISTERED PLAN 4344	ST	DENOTES TIES TO STONE
		STUC	DENOTES TIES TO STUCCO
		UP	DENOTES UTILITY POST
		WV	DENOTES WATER VALVE
		⊙	DENOTES DECIDUOUS TREE

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS
 PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION
 OF VLADIMIR DOSEN, O.L.S.

BEARING NOTE:
 BEARINGS ARE ASTRONOMIC AND ARE DERIVED
 FROM THE WESTERLY LIMIT OF CHARLESTON ROAD
 AS SHOWN ON REGISTERED PLAN 4344
 HAVING A BEARING OF N16°18'00"W.

BENCHMARK NOTE:
 ELEVATIONS ARE LOCAL.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE 2nd DAY OF DECEMBER, 2016

DECEMBER 21, 2016

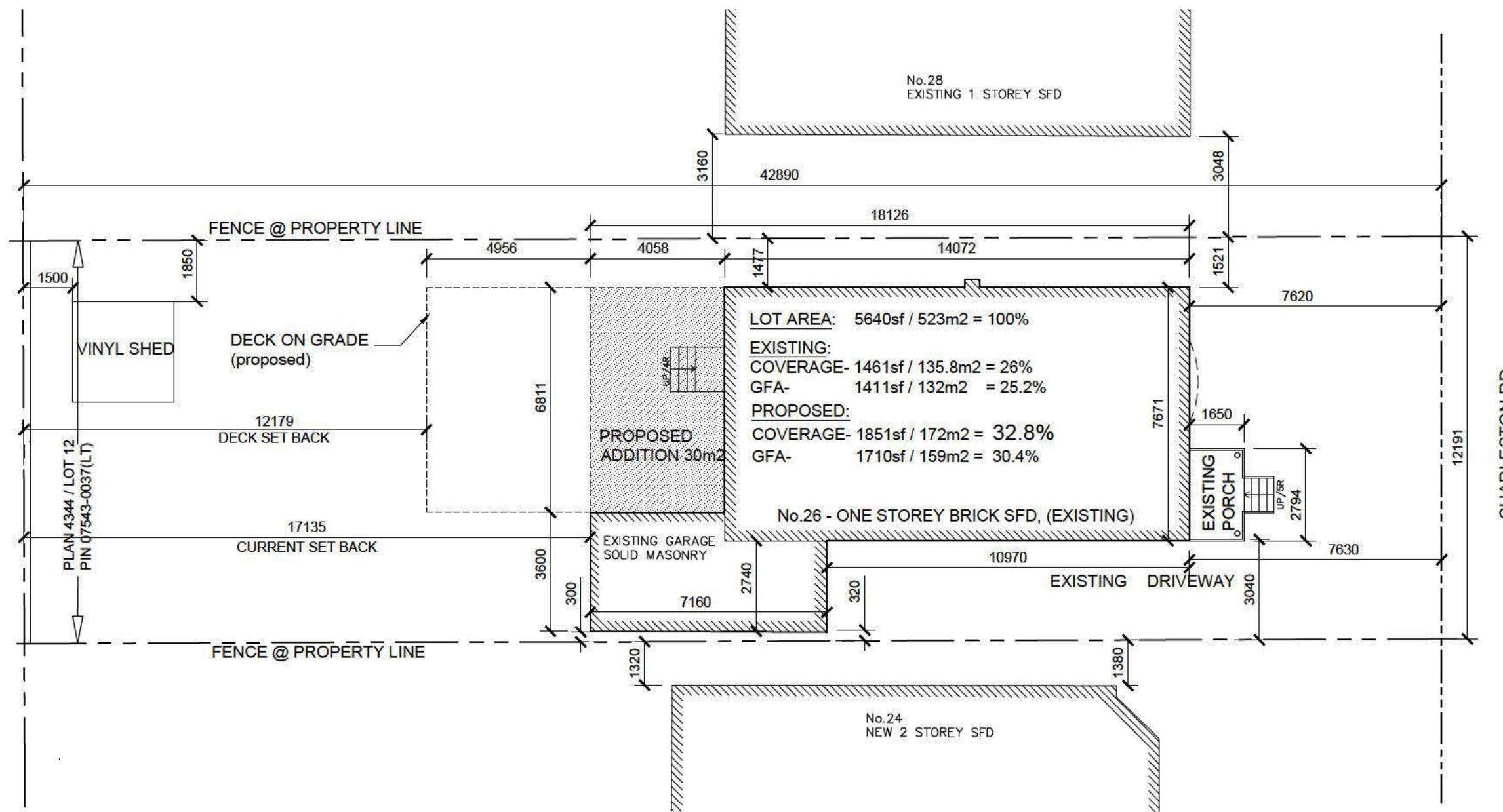
DATE

VLADIMIR DOSEN, B.Sc.
 ONTARIO LAND SURVEYOR

VLADIMIR DOSEN SURVEYING
ONTARIO LAND SURVEYORS
 555 DAVISVILLE AVENUE
 TORONTO, ONTARIO M4S 1J2
 PHONE:(416) 466-0440 EMAIL:vladdosen@rogers.com

FIELD: RK	CAD FILE: 26 CHARESTON ROAD
DRAWN BY: CL	FILE: 16-217
CHECKED BY: VD	JOB No: 16498

52



THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATION AND MEETS THE REQUIREMENTS SET OUT IN ONTARIO BUILDING CODE TO BE A DESIGNER.

QUALIFICATION INFORMATION
 REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.1. OF THE BUILDING CODE

DARKO DUNAT P.Eng. *Dunat Dunat* 25168
 NAME SIGNATURE BCIN

REGISTRATION INFORMATION
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URBIS ENGINEERING Ltd. 30253
 FIRM NAME BCIN

Contractor must check and verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work. Do not scale drawings. All drawings ARE PRELIMINARY unless specifically issued for Tender or Contract.

CONSULTANT:
 BR DESIGN,
 285 Manor Rd. E. ON,
 M4S1S3 TORONTO
 416-358-8508
 brdesign@rogers.com

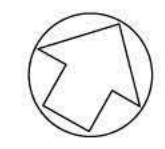
CLIENT:
 Slavisa / Dijana Gavric
 26 Charlestone Rd.
 Etobicoke, ON M9D 4M7

DRAWING:
 SITE PLAN

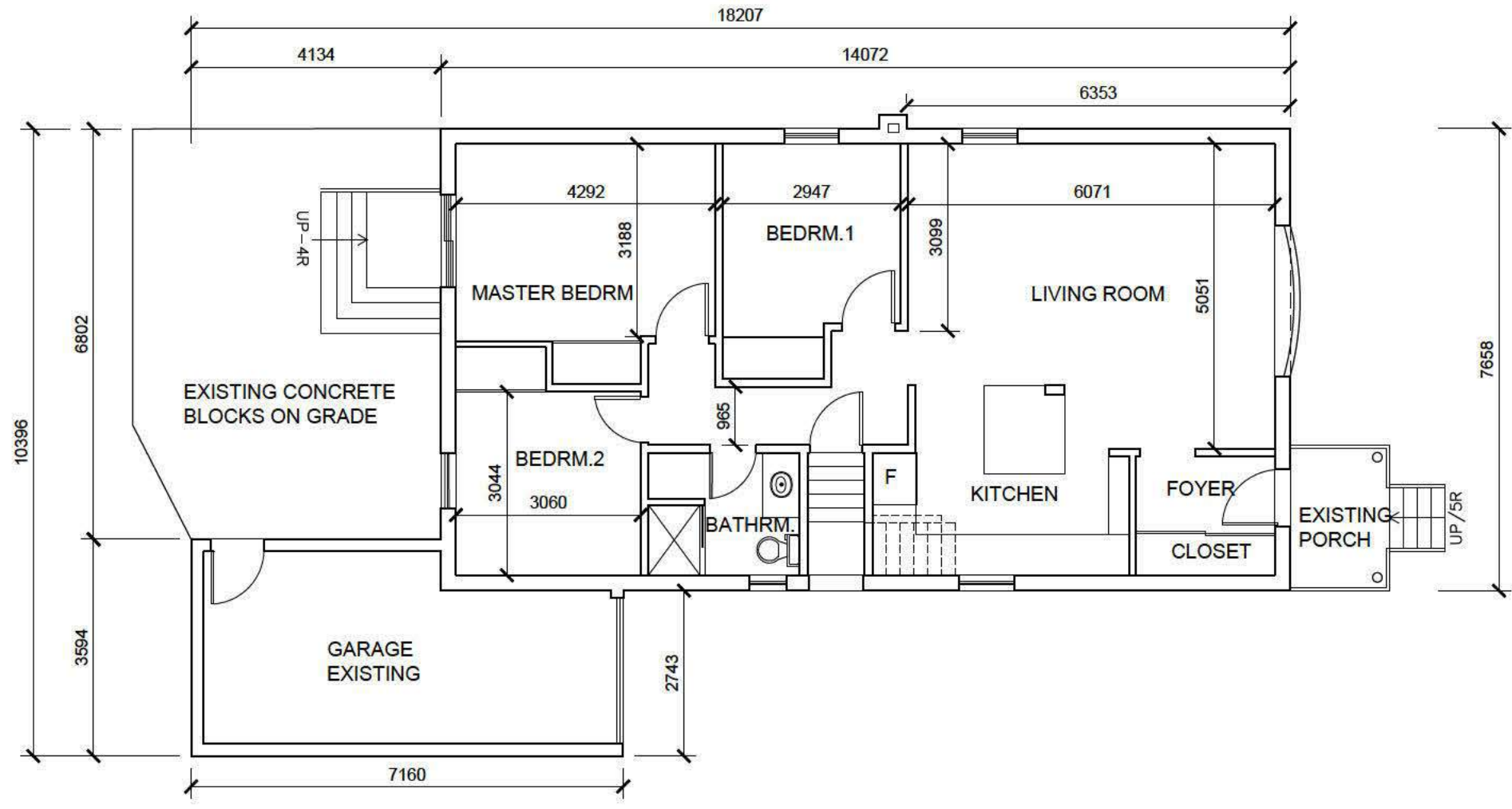
DRAWING:
 EXISTING AND PROPOSED

No.	DR. BY	DESCRIPTION	CK. BY	DATE
1	BR	FOR COMMITTEE of ADJUSTMENT	BR	02/02/17

Initials	Signed by	Date
BR		
DD		
Scale: 1:150		
Drawing No.: A100		Rev.: R00



2/2/2017 2:15:15 PM ANSI full bleed B (17.00 x 11.00 inches)



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DANKO DUNAT P.Eng. *Danko Dunat* 25168
 NAME SIGNATURE BCIN

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URBIS ENGINEERING Ltd. 30253
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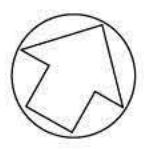
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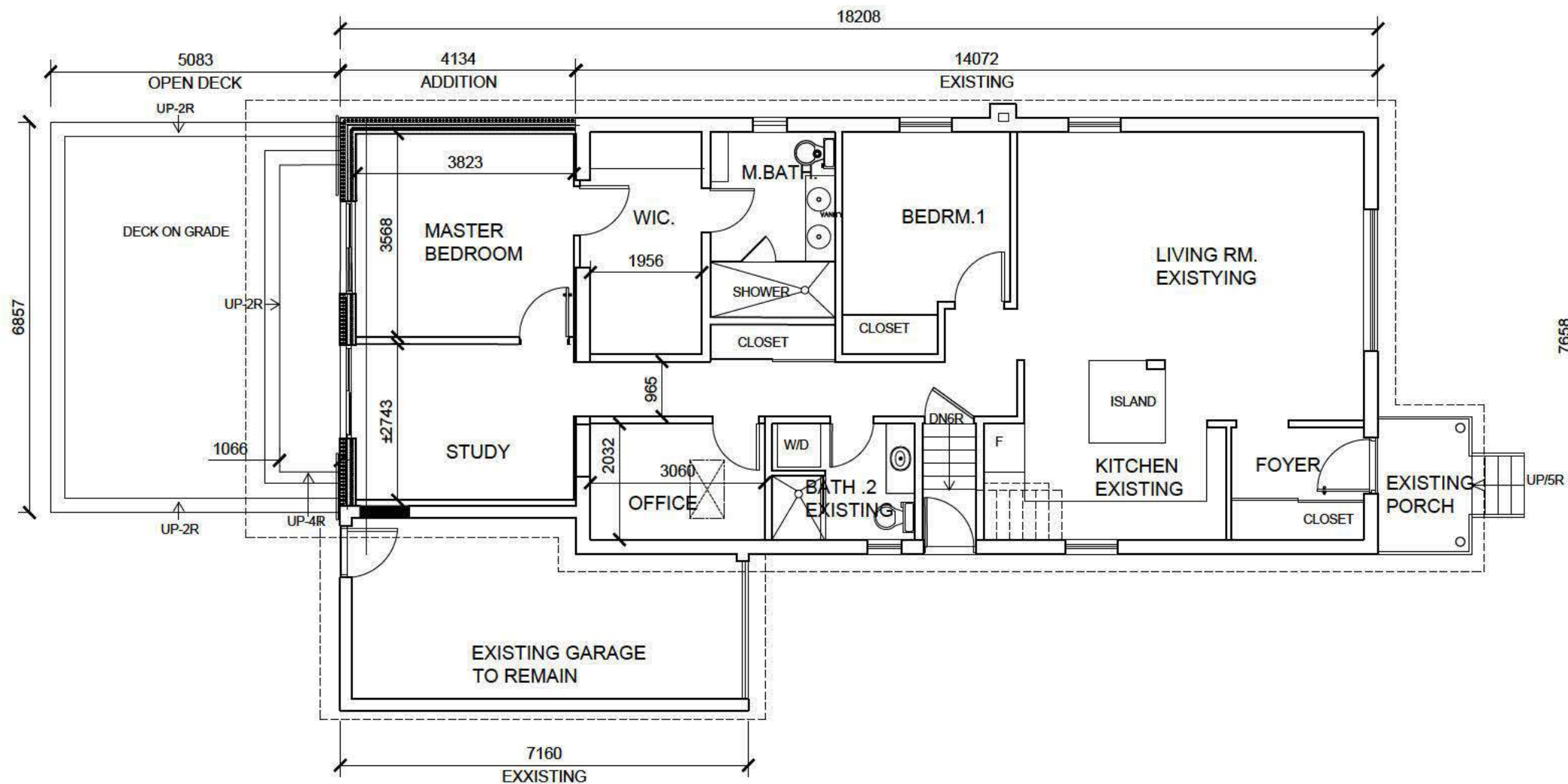
DRAWING:
 GROUND FLOOR

DRAWING:
 FLOOR PLAN EXISTING

No.	DR. BY	DESCRIPTION	CK. BY	DATE
1	BR	FOR COMMITTEE of ADJUSTMENT	BR	02/02/17

Initials	Signed by	Date
BR		
DD		
Scale: 1:100		
Drawing No.: A101		Rev.: R00





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 NAME SIGNATURE BCIN

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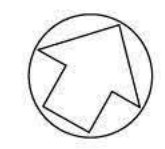
CLIENT
 Slavisa / Dijana Gavric
 26 Charlestone Rd.
 Etobicoke, ON M9D 4M7

DRAWING:
 GROUND FLOOR

DRAWING:
 FLOOR PLAN PROPOSED

No.	DR. BY	DESCRIPTION	CK. BY	DATE
1	BR	FOR COMMITTEE of ADJUSTMENT	BR	02/02/17

Initials	Signed by	Date
BR		
DD		
Scale: 1:100		
Drawing No.: A102		Rev.:



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