

Thursday, August 3, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0097/16NY	Zoning	RD/R4(ZR)
Owner(s):	MARYAM SABOURI RAMANDI HAMED GHAMOOSHI	Ward:	Willowdale (23)
Agent:	URBAN GROWTH INC	Heritage:	Not Applicable
Property Address:	64 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 48 TO 49		

Notice was given and the application considered on Thursday, August 3, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Conveyed - Part 1

Address to be determined

The frontage is 7.62m and the lot area is 301.8m². A new detached residential dwelling is proposed requiring variances to the applicable zoning By-laws as outlined in application A1137/16NY.

Retained - Part 2

Address to be determined

The frontage is 7.62m and the lot area is 301.8m². A new detached residential dwelling is proposed requiring variances to the applicable zoning By-laws as outlined in application A1136/16NY.

File Numbers B0097/16NY, A1136/16NY and A1137/16NY will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca .
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) The applicant shall submit an application for permit to injure or remove city-owned trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
- (6) The requirements of the Heritage Preservation Services (as outlined in their memo of April 21, 2017): Prior to the issuance of the certificate of official by the Manager and Deputy Secretary Treasurer, Committee of Adjustment:
 - a. The applicant shall retain a consultant archaeologist, licensed by the Ministry of Tourism, Culture and Sport, under the provisions of the Ontario Heritage Act (R.S.O 1990 as amended) to carry out a Stage 1- 2 archaeological assessment of the entire development property and follow through on recommendations to mitigate, through preservation or resource removal and documentation, adverse impacts to any significant archaeological resources found. The assessment is to be completed in accordance with the 2011 Standards and Guidelines for Consulting Archaeologists, Ministry of Tourism, Culture and Sport.
 - b. The consultant archaeologist shall submit a copy of the relevant assessment report(s) to the Heritage Preservation Services Unit in both hard copy format and as an Acrobat PDF file on CD.
 - c. No demolition, construction, grading or other soil disturbances shall take place on the subject property prior to the City's Planning Division (Heritage Preservation Services Unit) and the Ministry of Tourism, Culture and Sport (Heritage Operations Unit) confirming in writing that all archaeological licensing and technical review requirements have been satisfied.
- (7) The associated minor variance decisions, A1136/16NY and A1137/16NY be declared Final and Binding.
- (8) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0097/16NY	Zoning	RD/R4(ZR)
Owner(s):	MARYAM SABOURI RAMANDI HAMED GHAMOOSHI	Ward:	Willowdale (23)
Agent:	URBAN GROWTH INC	Heritage:	Not Applicable
Property Address:	64 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 48 TO 49		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 30, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A1136/16NY	Zoning	RD/R4(ZR)
Owner(s):	RAMANDI HAMED GHAMOOSHI RAMANDI HAMED GHAMOOSHI	Ward:	Willowdale (23)
Agent:	URBAN GROWTH INC	Heritage:	Not Applicable
Property Address:	64 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 48 TO 49		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. File Numbers B0097/16NY, A1136/16NY and A1137/16NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**1. Chapter 10.5.40.10(5), Zoning By-law No. 569-2013**

An area of 10 m² of the first floor shall be within 4 m of the front main wall.
Proposed 2.7 m² of the first floor is within 4 m of the front main wall.

2. Chapter 10.5.40.50, Zoning By-law No. 569-2013

A west side yard setback of 1.8 m is required. A platform must comply with the required minimum building setbacks for the zone.
The proposed west side yard setback to the front porch is **0.9m**.

3. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

The minimum required lot area is 550 m².
The proposed lot area is 301.9 m².

4. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is **0.9m**.

5. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is **1.2m**.

6. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **31.0%** of the lot area.

7. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

The minimum required lot frontage is 15 m.
The proposed lot frontage is 7.62 m.

8. Section 13.2.1 and 6(8), Zoning By-law No. 7625

The minimum required lot frontage and lot width is 15 m.
The proposed lot frontage and lot width is 7.62 m.

9. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550m².
The proposed lot area is 301.9m².

10. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.5 m.
The proposed west side yard setback is **0.9m**.

11. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.5 m.
The proposed east side yard setback is **1.2m**.

12. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **31.0%** of the lot area.

13. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8 m.
The proposed building height is **9.1m**.

14. Section 6(30)a, Zoning By-law No. 7625

The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 2.25m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

2. The proposed driveways be constructed of a permeable pavers.

SIGNATURE PAGE

File Number:	A1136/16NY	Zoning	RD/R4(ZR)
Owner:	RAMANDI HAMED GHAMOOSHI RAMANDI HAMED GHAMOOSHI	Ward:	Willowdale (23)
Agent:	URBAN GROWTH INC	Heritage:	Not Applicable
Property Address:	64 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 48 TO 49		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1137/16NY	Zoning	RD/R4(ZR)
Owner(s):	RAMANDI HAMED GHAMOOSHI RAMANDI HAMED GHAMOOSHI	Ward:	Willowdale (23)
Agent:	URBAN GROWTH INC	Heritage:	Not Applicable
Property Address:	64 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 48 TO 49		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. File Numbers B0097/16NY, A1136/16NY and A1137/16NY will be considered jointly.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10(5), Zoning By-law No. 569-2013

A minimum area of 10 m² of the first floor shall be located within 4 m of the front main wall.
Proposed 2.7 m² of the first floor is within 4 m of the front main wall.

2. Chapter 10.5.40.50, Zoning By-law No. 569-2013

A platform must comply with the required minimum building setbacks for the zone. A minimum east side yard setback of 1.8 m is required.

The proposed east side yard setback to the front porch is **0.9m**.

3. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The minimum required side yard setback is 1.8 m.

The proposed west side yard setback is **1.2m**.

4. Chapter 900.3.10(5), Zoning By-law No. 569-2013

The minimum required side yard setback is 1.8 m.

The proposed east side yard setback is **0.9m**.

5. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

The minimum required lot area is 550 m².

The proposed lot area is 301.9 m².

6. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

The minimum required lot frontage is 15 m.
The proposed lot frontage is 7.62 m.

7. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage of the dwelling is **31.0%**

8. Section 13.2.1 and 6(8), Zoning By-law No. 7625

The minimum required lot frontage and lot width is 15 m.
The proposed lot frontage and lot width is 7.62 m.

9. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550m².
The proposed lot area is 301.9m².

10. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.5 m.
The proposed west side yard setback is **1.2m**.

11. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.5 m.
The proposed east side yard setback is **0.9m**.

12. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **31%** of the lot area.

13. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8m.
The proposed building height is **9.1m**.

14. Section 6(30)a, Zoning By-law No. 7625

The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 2.37 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

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2. The proposed driveways be constructed of a permeable pavers.

SIGNATURE PAGE

File Number:	A1137/16NY	Zoning	RD/R4(ZR)
Owner:	RAMANDI HAMED GHAMOOSHI RAMANDI HAMED GHAMOOSHI	Ward:	Willowdale (23)
Agent:	URBAN GROWTH INC	Heritage:	Not Applicable
Property Address:	64 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 48 TO 49		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0021/17NY	Zoning	R4/RD[WAV]
Owner(s):	NAVIDI MEHRSHAD	Ward:	Willowdale (23)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	90 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 58 TO 59		

Notice was given and the application considered on Thursday, August 3, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two residential lots.

CONVEYED - PART 1

Part 1 has a lot frontage of 7.62m and a lot area is 301.3m². The lot will be redeveloped with a new detached residential dwelling.

RETAINED - PART 2

Part 2 has a lot frontage of 7.62m and a lot area is 301.3m². The lot will be redeveloped with a new detached residential dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number:	B0021/17NY	Zoning	R4/RD[WAV]
Owner(s):	NAVIDI MEHRSHAD	Ward:	Willowdale (23)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	90 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 58 TO 59		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 30, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0292/17NY	Zoning	R4/RD[WAV]
Owner(s):	NAVIDI MEHRSHAD	Ward:	Willowdale (23)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	90 JOHNSTON AVE – PART 2	Community:	North York
Legal Description:	PLAN 1743 LOT 58 TO 59		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40, By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 2. Chapter 10.20.40.70, By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 0.9m.
- 3. Chapter 10.20.40.70, By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 0.9m.
- 4. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the first floor must be within 4m of the main front wall.
The proposed first floor within 4m of the main front wall is 2.2m².
- 5. Chapter 10.5.40.60(1), By-law No. 569-2013**
The minimum required side lot line for the front porch is 1.8m.
The proposed front porch is 1.15m from the side lot line.
- 6. Chapter 10.20.30.20, By-law No. 569-2013**
The minimum required lot frontage is 15m.
The proposed lot frontage is 7.62m.

7. **Chapter 10.20.30.10, By-law No. 569-2013**
The minimum required lot area is 550m².
The proposed lot area is 301.3m².
8. **Chapter 10.20.40.10, By-law No. 569-2013**
The maximum permitted wall height is 7.5m.
The proposed wall height is 7.8m for 81% and 8.7m for 19% of the side walls.
9. **Section 13.2.1 & 6(8), By-law No. 7625**
The minimum required lot frontage and width is 15m.
The proposed lot frontage and width is 7.62m.
10. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 301.3m².
11. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
12. **Section 13.2.3A, By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 0.9m.
13. **Section 13.2.3A, By-law No. 7625**
The minimum required side yard setback is 1.5m.
The proposed east side yard setback is 0.9m.
14. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0292/17NY	Zoning	R4/RD[WAV]
Owner:	NAVIDI MEHRSHAD	Ward:	Willowdale (23)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	90 JOHNSTON AVE – PART 2	Community:	North York
Legal Description:	PLAN 1743 LOT 58 TO 59		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0293/17NY	Zoning	R4/RD[WAV]
Owner(s):	NAVIDI MEHRSHAD	Ward:	Willowdale (23)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	90 JOHNSTON AVE – PART 1	Community:	North York
Legal Description:	PLAN 1743 LOT 58 TO 59		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40, By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 2. Chapter 10.20.40.70, By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 0.9m.
- 3. Chapter 10.20.40.70, By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 0.9m.
- 4. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the first floor must be within 4m of the main front wall.
The proposed first floor within 4m of the main front wall is 2.2m².
- 5. Chapter 10.5.40.60(1), By-law No. 569-2013**
The minimum required side lot line for the front porch is 1.8m.
The proposed front porch is 1.15m from the side lot line.
- 6. Chapter 10.20.30.20, By-law No. 569-2013**
The minimum required lot frontage is 15m.
The proposed lot frontage is 7.62m.

7. **Chapter 10.20.30.10, By-law No. 569-2013**
The minimum required lot area is 550m².
The proposed lot area is 301.3m².
8. **Chapter 10.20.40.10, By-law No. 569-2013**
The maximum permitted wall height is 7.5m.
The proposed wall height is 7.8m for 81% and 8.7m for 19% of the side walls.
9. **Section 13.2.1 & 6(8), By-law No. 7625**
The minimum required lot frontage and width is 15m.
The proposed lot frontage and width is 7.62m.
10. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 301.3m².
11. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
12. **Section 13.2.3A, By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 0.9m.
13. **Section 13.2.3A, By-law No. 7625**
The minimum required side yard setback is 1.5m.
The proposed east side yard setback is 0.9m.
14. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0293/17NY	Zoning	R4/RD[WAV]
Owner:	NAVIDI MEHRSHAD	Ward:	Willowdale (23)
Agent:	ARCICA INC	Heritage:	Not Applicable
Property Address:	90 JOHNSTON AVE – PART 1	Community:	North York
Legal Description:	PLAN 1743 LOT 58 TO 59		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 3, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0045/17NY	Zoning	Zoning By-law No. 1338-2013
Owner(s):	TORONTO COMMUNITY HOUSING CORPORATION	Ward:	Eglinton-Lawrence (15)
Agent:	DEVINE PARK LLP	Heritage:	Not Applicable
Property Address:	1 LEILA LANE, 215 RANEE AVE	Community:	North York
Legal Description:	PLAN 5633 PTBLK L		

Notice was given and the application considered on Thursday, August 3, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two residential lots to facilitate the construction of a 15 storey market residential building and a 8 storey Toronto Community Housing Corporation (TCHC) rental replacement building. A number of easements in favour of the respective owners are required to ensure appropriate and compatible use of the lands after the proposed severance. Zoning By-law No. 1338-2013 applies to the subject lands. No variances are required. Related planning files include 16 166716 NNY 15 SA; 16 124589 NNY15SB.

Conveyed - Parts 1 to 7 both inclusive and Part 10 (on Draft R-plan):

Address to be assigned

Parts 1 to 7 both inclusive and Part 10 - the area is 6,236.4 m² at grade and 5,830.9 m² at third level and above.

Easements:

Together with Certain Easements over Conveyed Lands (HDI/YRI) in favour of Retained lands (TCHC):

- a) Easement over Part 1 on Reference Plan 66R-___, for a right of support in favour of the retained lands (for the TCHC building and TCHC portion of the P1 parking level);
- b) Easement over Part 3 on Reference Plan 66R-___, for (i) a right of support in favour of the retained lands (for the TCHC building), (ii) pedestrian and vehicle access, and (iii) a right of access for the purposes of service, maintenance and utilities;
- c) Easement over Part 4 on Reference Plan 66R-___, for (i) pedestrian and vehicle access, and (ii) a right of access for the purposes of service, maintenance and utilities;
- d) Easement over Part 6 on Reference Plan 66R-___, for (i) pedestrian and vehicle access, and

- (ii) a right of access for the purposes of service, maintenance and utilities;
- e) Easement over Part 7 on Reference Plan 66R-___ , for a right of support in favour of the retained lands (for the TCHC building overhang); and
- f) Easement over Part 10 on Reference Plan 66R-___ , for pedestrian stairwell access and support in favour of the retained lands (for the TCHC portion of the P1 parking level).

Retained - Parts 8, 9 and Parts 11 to 13 both inclusive (on Draft R-plan):

Address to be assigned

Parts 8, 9 and Parts 11 to 13 both inclusive - the area is 2,101.5 m² at grade and 2,507.0 m² at third level and above.

Easements:

Together with Certain Easements over Retained Lands (TCHC) in favour of Conveyed lands (HDI/YRI):

- a) Easement over Part 8 on Reference Plan 66R-___ , for (i) a right of support in favour of the conveyed lands (for the HDI building and ground level area), and (ii) a right of access for the purposes of service, maintenance and utilities;
- b) Easement over Part 9 on Reference Plan 66R-___ , for (i) a right of support in favour of the conveyed lands (for the HDI building and ground level area), and (ii) a right of access for the purposes of service, maintenance and utilities;
- c) Easement over Part 11 on Reference Plan 66R-___ , for a right of access for the purposes of service, maintenance and utilities; and
- d) Easement over Part 12 on Reference Plan 66R-___ , for (i) a right of support in favour of the conveyed lands (for the HDI building and ground level area), and (ii) a right of access for the purposes of service, maintenance and utilities.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca

- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca .
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) The requirement(s) of Engineering and Construction Services (memo dated July 18, 2017) - The Owner(s) provide a letter of intent stating that they will provide appropriate mutual access agreements (vehicular and pedestrian) with provisions for maintenance of the lands. These agreements must be registered on title.
- (6) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0045/17NY	Zoning	Zoning By-law No. 1338-2013
Owner(s):	TORONTO COMMUNITY HOUSING CORPORATION	Ward:	Eglinton-Lawrence (15)
Agent:	DEVINE PARK LLP	Heritage:	Not Applicable
Property Address:	1 LEILA LANE, 215 RANEE AVE	Community:	North York
Legal Description:	PLAN 5633 PTBLK L		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 30, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0479/17NY	Zoning	RD/R6[WAV]
Owner(s):	SVETOMIR STOJANOVIC	Ward:	Eglinton-Lawrence (15)
Agent:	STEVE STOJANOVIC	Heritage:	Not Applicable
Property Address:	1153A GLENCAIRN AVE – PART2	Community:	North York
Legal Description:	PLAN 2502 LOT 52		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished. Please be advised the subject property went before the Committee of Adjustment on March 9, 2017, the minor variance and consent application was refused.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10 (5), Zoning By-law No. 569-2013**
A minimum of 10m² of the first floor must be within 4m of the front main wall.
The proposed is 3.53m².
- 2. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 12m.
The proposed lot frontage is 7.62m.
- 3. Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 17.98m including the rear deck is 20.07m.
- 4. Chapter 10.20.40.10.(2)B(ii), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.53m
- 5. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.2m.
The proposed west side yard setback is 0.9m
- 6. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**

The required minimum side yard setback is 1.2m.
The proposed east side yard setback is 0.46m.

7. **Chapter 10.10.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 370m².
The proposed lot area is 301.09m².
8. **Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted finished first floor height is 1.2m.
The proposed finished first floor height is 1.54m.
9. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35%.
The proposed lot coverage is 37.5%.
10. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted rear stair projection is 2.1m.
The proposed rear stair projection is 4.94m.
11. **Section 14-A(4) and Section 6(8), Zoning By-law No. 7625**
The minimum required lot frontage and lot width is 12m.
The proposed lot frontage and lot width is 7.62m.
12. **Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required side yard setback is 1.2m.
The proposed west side yard setback is 0.9m.
13. **Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required side yard setback is 1.2m.
The proposed east side yard setback is 0.46m.
14. **Section 14-A(3), Zoning By-law No. 7625**
The minimum required lot area is 371m².
The proposed lot area is 301.09m².
15. **Section 14-A(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 17.98m including the rear deck is 20.07m.
16. **Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 35%.
The proposed lot coverage is 37.5%.
17. **Section 6(9)(b), Zoning By-law No. 7625**
The maximum permitted rear stair projection is 2.1m.
The proposed rear stair projection is 4.94m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0479/17NY	Zoning	RD/R6[WAV]
Owner:	SVETOMIR STOJANOVIC	Ward:	Eglinton-Lawrence (15)
Agent:	STEVE STOJANOVIC	Heritage:	Not Applicable
Property Address:	1153A GLENCAIRN AVE – PART2	Community:	North York
Legal Description:	PLAN 2502 LOT 52		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0480/17NY	Zoning	RD/R6[WAV]
Owner(s):	SVETOMIR STOJANOVIC	Ward:	Eglinton-Lawrence (15)
Agent:	STEVE STOJANOVIC	Heritage:	Not Applicable
Property Address:	1153B GLENCAIRN AVE – PART 1	Community:	North York
Legal Description:	PLAN 2502 LOT 52		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished. Please be advised the subject property went before the Committee of Adjustment on March 9, 2017, the minor variance and consent application was refused.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10 (5), Zoning By-law No. 569-2013**
A minimum of 10m² of the first floor must be within 4m of the front main wall.
The proposed is 3.53m².
- 2. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
The required minimum lot frontage is 12m.
The proposed lot frontage is 7.62m.
- 3. Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 17.98m including the rear deck is 20.07m.
- 4. Chapter 10.20.40.10.(2)B(ii), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.53m
- 5. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.2m.
The proposed west side yard setback is 0.90m.
- 6. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**

The required minimum side yard setback is 1.2m.
The proposed east side yard setback is 0.46m.

7. **Chapter 10.10.30.10.(1), Zoning By-law No. 569-2013**
The required minimum lot area is 370m².
The proposed lot area is 300.77m².
8. **Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted finished first floor height is 1.2m.
The proposed finished first floor height is 1.4.1m.
9. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35%.
The proposed lot coverage is 37.5%.
10. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted rear stair projection is 2.1m.
The proposed rear stair projection is 4.94m.
11. **Section 14-A(4) and Section 6(8), Zoning By-law No. 7625**
The minimum required lot frontage and lot width is 12m.
The proposed lot frontage and lot width is 7.62m.
12. **Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required side yard setback is 1.2m.
The proposed west side yard setback is 0.90m.
13. **Section 14-A(5)c, Zoning By-law No. 7625**
The minimum required side yard setback is 1.2m.
The proposed east side yard setback is 0.46m.
14. **Section 14-A(3), Zoning By-law No. 7625**
The minimum required lot area is 371m².
The proposed lot area is 300.77m².
15. **Section 14-A(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 17.98m including the rear deck is 20.07m.
16. **Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 35%.
The proposed lot coverage is 37.5%.
17. **Section 6(9)(b), Zoning By-law No. 7625**
The maximum permitted rear stair projection is 2.1m.
The proposed rear stair projection is 4.94m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0480/17NY	Zoning	RD/R6[WAV]
Owner:	SVETOMIR STOJANOVIC	Ward:	Eglinton-Lawrence (15)
Agent:	STEVE STOJANOVIC	Heritage:	Not Applicable
Property Address:	1153B GLENCAIRN AVE – PART 1	Community:	North York
Legal Description:	PLAN 2502 LOT 52		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0498/17NY	Zoning	RD/R3 [ZZC]
Owner(s):	XINHONG LIU	Ward:	Don Valley West (25)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	103 YORK MILLS RD	Community:	North York
Legal Description:	PLAN 1750 LOT 7		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.04m; **30% for the west wall height and 7% of the east wall height.**

2. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 18.75m.

3. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.52m **for the first 10.4m of the dwelling.**

4. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.52m **for the first 6.5m of the dwelling.**

5. Section 12.2, By-law No. 7625

The minimum required lot frontage is 18.00m.

The existing lot frontage is 15.24m.

6. Section 12.3, By-law No. 7625

The minimum required lot area is 690.00m².

The existing lot area is 673.54m².

7. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.52m **for the first 10.4m of the dwelling.**

8. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.52m **for the first 6.5m of the dwelling.**

9. Section 12.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 18.75m

10. Section 6(8), By-law No. 7625

The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed.

The existing lot width is 15.24m.

11. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.10m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0498/17NY	Zoning	RD/R3 [ZZC]
Owner:	XINHONG LIU	Ward:	Don Valley West (25)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	103 YORK MILLS RD	Community:	North York
Legal Description:	PLAN 1750 LOT 7		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0499/17NY	Zoning	RD / R6 (ZR)
Owner(s):	NATALY PESIN	Ward:	Eglinton-Lawrence (16)
Agent:	MARLENE SLOPACK	Heritage:	Not Applicable
Property Address:	74 KIMBARK BLVD	Community:	North York
Legal Description:	PLAN 1505 SPT NPT 20		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(3), By-law No. 596-2013**
The required minimum side yard setback is 1.2 m.
The proposed south side yard setback is 0.914 m
- 2. Chapter 10.20.40.20.(1), By-law No. 596-2013**
The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is **22.12 m**.
- 3. Chapter 10.20.40.30.(1), By-law No. 596-2013**
The permitted maximum building depth for a detached house is 19.0 m.
The proposed building depth is 22.32 m.
- 4. Chapter 10.20.40.10.(1), By-law No. 596-2013**
The permitted maximum height of a building or structure is 10.0 m.
The proposed height of the building is 10.594 m.
- 5. Chapter 10.20.40.10.(2), By-law No. 596-2013**
The permitted maximum height for both side elevations is 7.5 m.
The proposed height of both side elevation is 8.4 m.
- 6. Section 140A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.80 m.
The proposed south side yard setback is 0.914 m.

7. **Section 140A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.80 m.
The proposed north side yard setback is 1.219 m.
8. **Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.30 m.
The proposed building length is **22.12m**.
9. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is **9.28m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0499/17NY	Zoning	RD / R6 (ZR)
Owner:	NATALY PESIN	Ward:	Eglinton-Lawrence (16)
Agent:	MARLENE SLOPACK	Heritage:	Not Applicable
Property Address:	74 KIMBARK BLVD	Community:	North York
Legal Description:	PLAN 1505 SPT NPT 20		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0500/17NY	Zoning	R3/RD[ZONING]
Owner(s):	ARYEH HOFSTEDTER	Ward:	Eglinton-Lawrence (16)
Agent:	SARAH IFRAH ARCHITECT INC	Heritage:	Not Applicable
Property Address:	20 FOREST WOOD	Community:	North York
Legal Description:	PLAN 1061 LOT 55 PLAN 1825 LOT 56		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10m.
The proposed building height is 10.74m.
- 2. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 8.06m.
The proposed rear yard setback is 7.66m.
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 39.11% of the lot area.
- 4. Chapter 10.20.40.10.(3), By-law No. 569-2013**
The maximum permitted number of storey is 2.
The proposed number of storey is 3.
- 5. Chapter 10.5.50.10.(2), By-law No. 569-2013**
A corner lot with a detached house must have a minimum of 60% of the side yard abutting a street for landscaping.
The proposed side yard landscape area is 57.27%.
- 6. Section 12.4(c), By-law No. 7625**
The minimum required rear yard setback is 9.5m.

The proposed rear yard setback is 7.66m.

7. Section 12.5A, By-law No. 7625

The maximum permitted building length is 16.8m.

The proposed building length is 20.41m.

8. Section 12.7, By-law No. 7625

The maximum permitted number of storeys is 2.

The proposed number of storeys is 3.

9. Section 6(30)a, By-law No. 7625

The maximum permitted finished floor height is 1.5m.

The proposed finished floor height is 2.23m.

10. Section 6(9)(f), By-law No. 7625

Canopies shall be permitted to project into the minimum front yard setback not more than 2.1m but no closer to the side lot line than the minimum side yard setback for the main building.

The proposed front canopy covering the patio project 3.66m.

11. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is 11.19m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

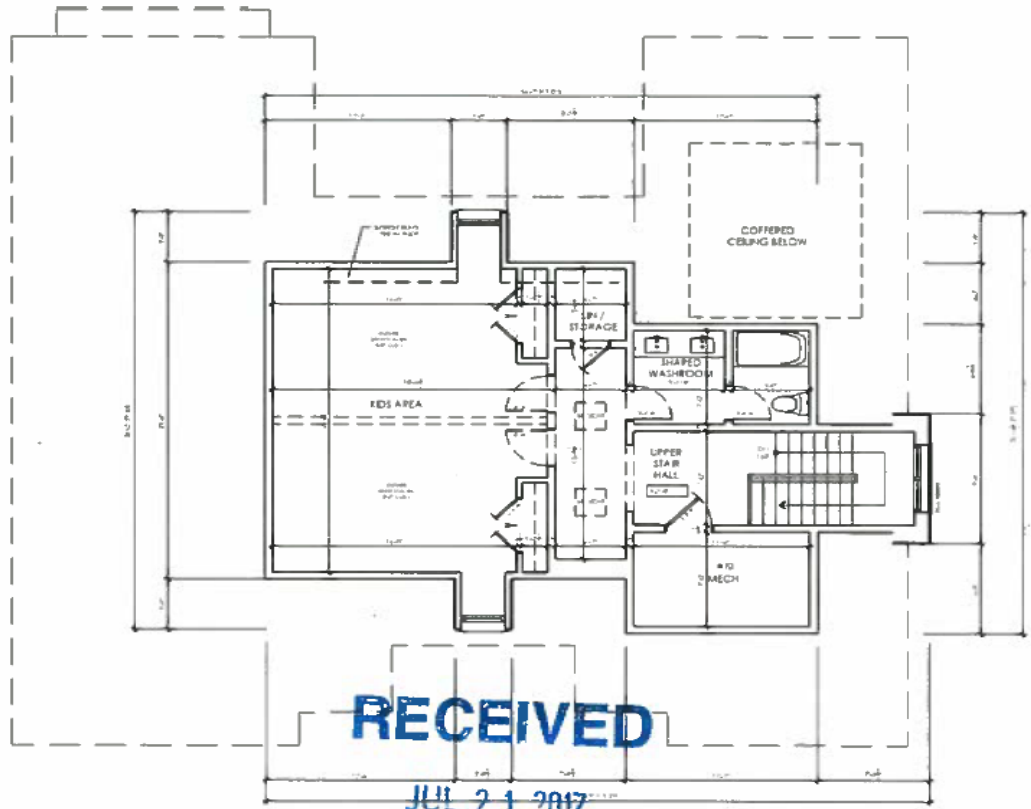
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. The rear covered patio is to remain open and unenclosed on all sides.
3. The proposal be constructed in accordance with the third floor plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, July 21, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



RECEIVED

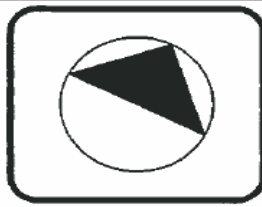
JUL 21 2017

APPROX 145 SQ FT

Toronto City Planning
North York District

1 THIRD FLOOR PLAN
A5 SCALE: 1/8"=1'-0"

Project Name and Address
**RESIDENCE
20 FOREST WOOD
NORTH YORK, ONTARIO**



sarahifrah
ARCHITECT INC
75 Dufferin Road #214 Toronto, ON M7W 1W6
416.784.8767

17.02	A5
MAY 9, 17	
AS NOTED	

SIGNATURE PAGE

File Number:	A0500/17NY	Zoning	R3/RD[ZONING]
Owner:	ARYEH HOFSTEDTER	Ward:	Eglinton-Lawrence (16)
Agent:	SARAH IFRAH ARCHITECT INC	Heritage:	Not Applicable
Property Address:	20 FOREST WOOD	Community:	North York
Legal Description:	PLAN 1061 LOT 55 PLAN 1825 LOT 56		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0501/17NY	Zoning	RD/R6[ZONING]
Owner(s):	CARLA BEATRIZ DURAN SEMPRUN JAVIER PAUL SOROS DUPRE	Ward:	Willowdale (23)
Agent:	FARHAD FARAHANI	Heritage:	Not Applicable
Property Address:	178 CAMERON AVE	Community:	North York
Legal Description:	PLAN M442 E PT LOT 2		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the First Floor area must be within 4m the front wall.
There is 4.1m² proposed within 4m of the front wall.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls is 8.81m.
- 4. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building or structure is 10.0m.
The proposed height of the building is 10.06m.
- 5. Section 14-A(6), By-law No. 7625**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 6. Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8m.

The proposed building height is 9.54m.

7. Section 14-A(9), By-law No. 7625

The maximum permitted building length is 15.3m.

The proposed building length is 16.21m.

8. Section 6(30)a, By-law No. 7625

The maximum finished first floor height is 1.5m.

The proposed finished first floor height is 1.66m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0501/17NY	Zoning	RD/R6[ZONING]
Owner:	CARLA BEATRIZ DURAN SEMPRUN	Ward:	Willowdale (23)
Agent:	JAVIER PAUL SOROS DUPRE	Heritage:	Not Applicable
Property Address:	178 CAMERON AVE	Community:	North York
Legal Description:	PLAN M442 E PT LOT 2		

Rick Ross (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0507/17NY	Zoning	RD / R6 (ZR)
Owner(s):	ZVI ARIE PAUL GOLDFISHER	Ward:	Eglinton-Lawrence (16)
Agent:	INTEGRAL DESIGN ASSOCIATES	Heritage:	Not Applicable
Property Address:	463 COLDSTREAM AVE	Community:	North York
Legal Description:	PLAN 1564 PT LOT 22		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new playroom under existing rear patio.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 44.0% of the lot area.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m
The proposed building length is 23.08 m.
- 3. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth for a detached is 19.0 m.
The proposed building depth is 24.53 m.
- 4. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The required minimum rear yard setback is 10.21 m.
The proposed rear yard setback is 10.03 m.
- 5. Section 14-A(9), By-law No. 7625**
The maxim permitted building length is 15.3 m
The proposed building length is 23.8 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

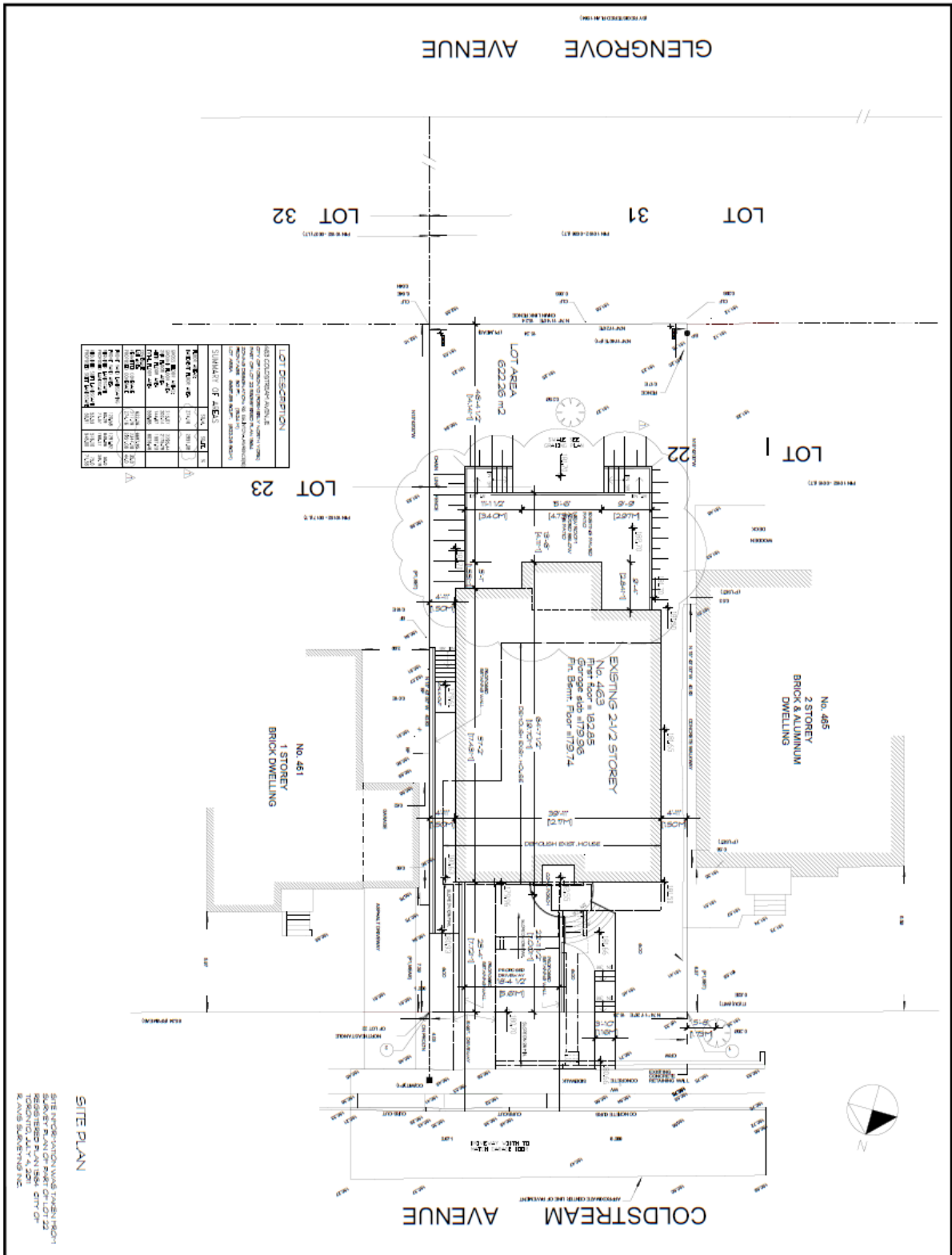
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The property being developed essentially in accordance with the site plan and basement plan attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



LOT DESCRIPTION

LOT 22: 622.26 m² (155,000 sq ft) - 2 1/2 STOREY BRICK & ALUMINUM DWELLING (No. 485) and 1 STOREY BRICK DWELLING (No. 481)

LOT 23: [Description]

LOT 31: [Description]

LOT 32: [Description]

SITE PLAN

SITE INFORMATION WAS TAKEN FROM:
 SURVEY PLAN OF PART OF LOT 22
 TOWNSHIP OF MARKHAM
 CITY OF
 R. AVIS SURVEYING INC.
 2011-12-14

3074 Highway 7 East, Markham, Ontario

483 COLDSTREAM AVENUE
 CITY OF TORONTO (NORTH YORK)

Michael Cogan Architect

ASSOCIATION of ARCHITECTS of ONTARIO

DATE: 2011-12-14

SCALE: 1/8" = 1'-0"

DATE: 2011-12-14

DESIGNED BY: [Name]

CHECKED BY: [Name]

DATE: 2011-12-14

PROJECT NO.: A1

SIGNATURE PAGE

File Number:	A0507/17NY	Zoning	RD / R6 (ZR)
Owner:	ZVI ARIE PAUL GOLDFISHER	Ward:	Eglinton-Lawrence (16)
Agent:	INTEGRAL DESIGN ASSOCIATES	Heritage:	Not Applicable
Property Address:	463 COLDSTREAM AVE	Community:	North York
Legal Description:	PLAN 1564 PT LOT 22		

Rick Ross (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0508/17NY	Zoning	RD(f12.0; a370) (x1463)/R6[ZONING]
Owner(s):	LIANNE DARA ZAITLIN IAN ROBERT LIFSHITZ	Ward:	York Centre (10)
Agent:	DOWNEY MITCHELL DESIGN BUILD	Heritage:	Not Applicable
Property Address:	32 SOUTHGATE AVE	Community:	North York
Legal Description:	PLAN 2044 PT LOTS 1086, 1087		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear and west side addition including an attached garage to the existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed west side yard setback is 0.368m.
- 2. Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.
The proposed eaves project 0.368m and is 0m from the west lot line.
- 3. Chapter 200.5.1.10(2), By-law No. 569-2013**
The minimum required parking space area is 3.2m x 5.6m and 2.0m in vertical clearance.
The proposed parking space is 3.15m x 5.4m.
- 4. Section 14-A(5)c, By-law No. 7625**
The minimum required side yard setback is 1.2m.
The proposed west side yard setback is 0.368m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposed garage portion to be constructed as a one-storey only.

SIGNATURE PAGE

File Number:	A0508/17NY	Zoning	RD(f12.0; a370) (x1463)/R6[ZONING]
Owner:	LIANNE DARA ZAITLIN IAN ROBERT LIFSHITZ	Ward:	York Centre (10)
Agent:	DOWNEY MITCHELL DESIGN BUILD	Heritage:	Not Applicable
Property Address:	32 SOUTHGATE AVE	Community:	North York
Legal Description:	PLAN 2044 PT LOTS 1086, 1087		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0509/17NY	Zoning	RD / R5 (ZZC)
Owner(s):	CHRISTINE IABONI SABASTINO IABONI	Ward:	York Centre (09)
Agent:	GORAL DESIGN	Heritage:	Not Applicable
Property Address:	101 EXBURY RD	Community:	North York
Legal Description:	PLAN M799 LOT 278		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached garage at the front of the property.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(1), By-law No. 569-2013**
The minimum required front yard landscaping area must be 60% on a lot with a frontage of 15.0 m or greater.
The proposed front yard landscaping area is 51.32%
- 2. Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping is 51.32%.
- 3. Chapter 10.5.60.10.(1), By-law No. 569-2013**
An ancillary building or structure may not be located in a front yard.
The proposed ancillary building is located in the front yard.
- 4. Chapter 10.5.60.30.(1), By-law No. 569-2013**
An ancillary building with a height greater than 2.5 m, or a gross floor area greater than 10 m², must be at least 1.8 m from a residential building on the same lot.
The proposed ancillary building is 0.71 m from a residential building on the same lot.
- 5. Chapter 10.5.60.40.(2), By-law No. 569-2013**
The maximum height of an ancillary building if the ancillary building is less than 1.8 m from the residential building on the lot is 2.5 m.
The proposed height of the ancillary building is 3.76 m.

6. **Chapter 10.5.60.50.(3), By-law No. 569-2013**
The maximum floor area of an ancillary building located less than 1.8 m from a residential building on the lot is 10.0 m².
The proposed floor area of the ancillary building is 36.33 m².
7. **Chapter 10.5.80.11.(2), By-law No. 569-2013**
A lot with a lawfully existing detached house or lawfully existing semi-detached house, that has a lawfully existing driveway that leads to just one parking space behind the main front main wall, two parking spaces may be located side-by-side on that driveway in the front yard if the driveway width does not exceed 6.0 m.
The driveway width is 9.88 m
8. **Chapter 10.5.80.10.(3), By-law No. 569-2013**
A parking space may not be located in a front yard or side yard abutting a street.
The proposed parking spot is located in a front yard.
9. **Section 14.2.6, By-law No. 7625**
The maximum permitted accessory building height is 3.7 m.
The proposed building height is 3.76 m.
10. **Section 7.4A, By-law No. 7625**
The minimum required front yard landscaping is 60% of which 75% must be soft.
The proposed landscaping is 43% and 43% is soft.
11. **Section 6A(5)a, By-law No. 7625**
The maximum access width required for parking areas is 6 m.
The proposed access to parking is 9.88 m.
12. **Section 6(23), By-law No. 7625**
Accessory structures are not permitted in the front yard.
The proposed is located in the front yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number: A0509/17NY
Owner: CHRISTINE IABONI
SABASTINO IABONI
Agent: GORAL DESIGN
Property Address: **101 EXBURY RD**
Legal Description: PLAN M799 LOT 278

Zoning: RD / R5 (ZZC)
Ward: York Centre (09)
Heritage: Not Applicable
Community: North York

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0510/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	SEYED ALI ASTANEH	Ward:	Willowdale (24)
Agent:	URBANSCAPE GROUP	Heritage:	Not Applicable
Property Address:	20 RAVENSCROFT CRCL	Community:	North York
Legal Description:	PLAN M677 L 151		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.74m.

2. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 8.77m.
The proposed front yard setback is 7.50m.

3. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.27m.

4. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.52m.

5. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.

6. Section 13.2.2, By-law No. 7625

The minimum required lot area is 550.00m².
The existing lot area is 503.00m².

7. Section 13.2.1, By-law No. 7625

The minimum required lot frontage is 15.00m.

The existing lot frontage is 14.68m.

8. Section 6(8), By-law No. 7625

The minimum lot width is not be less than the lot frontage for the zone in which the building is to be constructed.

9. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

10. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.27m.

11. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.52m.

12. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.10m.

13. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall.

The proposed rear deck projects 3.66m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0510/17NY	Zoning	RD/R4 [ZZC]
Owner:	SEYED ALI ASTANEH	Ward:	Willowdale (24)
Agent:	URBANSCAPE GROUP	Heritage:	Not Applicable
Property Address:	20 RAVENSCROFT CRCL	Community:	North York
Legal Description:	PLAN M677 L 151		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

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Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0511/17NY	Zoning:	RD / R7 (ZR)
Owner(s):	MARIJA LOMBARDI LOLIANO LOMBARDI	Ward:	Eglinton-Lawrence (15)
Agent:	ST ENGINEERING	Heritage:	Not Applicable
Property Address:	515 GLEN PARK AVE	Community:	North York
Legal Description:	PLAN 3033 LOT 62		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with integral garage. The existing garage will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is **7.75m**.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 39% of the lot area.
- 3. Chapter 10.20.40.10.(6), By-law No. 569-2013**
The permitted maximum height of the first floor above established grade is 1.2 m.
The proposed height of the first floor above established grade is 1.22 m.
- 4. Section 14-B(5)(b), By-law No. 7625**
The minimum required west side yard setback is 1.2 m.
The proposed west side yard setback is 0.92 m.
- 5. Section 14-B(9), By-law No. 7625**
The maximum permitted building length is 15.3 m.
The proposed building length is 16.34 m.
- 6. Section 14-B(8), By-law No. 7625**
The maximum permitted building height is 8.0 m.
The proposed building height is **9.1m**.

7. Section 6(24), By-law No. 7625

Decks which are greater than 1 m in height above all points of the adjacent ground are limited to projecting 2.1 m from the wall and are not to be greater than 50% of the width of the building at the building's widest point.

The proposed deck projects 3.99 m and is **49%** of the width of the building.

8. Section 14-B(5)(b), By-law No. 7625

The minimum required east side yard setback is 1.2 m

The proposed east side yard setback is 0.90 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. Submission of a complete application for permit to injure or remove privately owned trees.
2. Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0511/17NY	Zoning	RD / R7 (ZR)
Owner:	MARIJA LOMBARDI LOLIANO LOMBARDI	Ward:	Eglinton-Lawrence (15)
Agent:	ST ENGINEERING	Heritage:	Not Applicable
Property Address:	515 GLEN PARK AVE	Community:	North York
Legal Description:	PLAN 3033 LOT 62		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0512/17NY	Zoning	RD(f15.0; a550)(x5)[ZONING]
Owner(s):	JASON SKEETE	Ward:	Willowdale (23)
Agent:	HICKORY DICKORY DECKS NORTH YORK	Heritage:	Not Applicable
Property Address:	6 GARDENIA CRT	Community:	North York
Legal Description:	PLAN 66M2137 LOT 4		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 8.4m (25% of lot depth).
The proposed rear yard setback is 3.89m.
- Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5m.
The proposed platform encroaches 4.51m into the required rear yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0512/17NY	Zoning	RD(f15.0; a550)(x5)[ZONING]
Owner:	JASON SKEETE	Ward:	Willowdale (23)
Agent:	HICKORY DICKORY DECKS NORTH YORK	Heritage:	Not Applicable
Property Address:	6 GARDENIA CRT	Community:	North York
Legal Description:	PLAN 66M2137 LOT 4		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

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Appeal Information

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0514/17NY	Zoning	RD/R6 [ZZC]
Owner(s):	MASOUMEH AMOUZADEH TABRIZI HAMIDREZA EINAFSHAR	Ward:	Willowdale (23)
Agent:	WALLZCORP INC	Heritage:	Not Applicable
Property Address:	213 PATRICIA AVE	Community:	North York
Legal Description:	PLAN 1880 E 222 W 223		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 7.70m² within 4.00m of the main front wall.

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.70% of the lot area.

3. Section 14-A(9), By-law No. 7625

The maximum permitted building length is 15.30m.
The proposed building length is 15.95m.

4. Section 14-A(6), By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 31.70% of the lot area.

5. Section 14-A(8), By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is **9.10m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0514/17NY	Zoning	RD/R6 [ZZC]
Owner:	MASOUMEH AMOUZADEH TABRIZI HAMIDREZA EINAFSHAR	Ward:	Willowdale (23)
Agent:	WALLZCORP INC	Heritage:	Not Applicable
Property Address:	213 PATRICIA AVE	Community:	North York
Legal Description:	PLAN 1880 E 222 W 223		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0515/17NY	Zoning:	RD / R1 (ZZC)
Owner(s):	RACHEL NUSINOFF-LONDON ROBERT LONDON	Ward:	Eglinton-Lawrence (16)
Agent:	DREW LASZLO ARCHITECT	Heritage:	Not Applicable
Property Address:	47 CASTLEWOOD RD	Community:	Toronto
Legal Description:	PLAN M387 N PT LOT 103		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
The required minimum area of the first floor within 4.0 m of the front wall is 10 m².
The proposed area of the first floor within 4.0 m of the front wall is 4.71 m².
- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The proposed maximum height of a building or structure is 9.0 m.
The proposed height of the building is 9.3 m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7 m.
The proposed height of the side exterior main walls facing a side lot line is 9 m.
- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.81 times the area of the lot.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 0.9 m where the required minimum lot frontage is 6.0 m to less than 12.0 m.
The proposed north side yard setback is 0.60 m.
- Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.

The proposed eaves are 0.14 m from the north lot line.

7. Section 6(3) Part I 1, By-law No. 438-86

The permitted maximum gross floor area is 0.6 times the area of the lot.

The proposed gross floor area is 0.81 times the area of the lot.

8. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum side yard setback for the portion of the dwelling not exceeding 17.0 m in depth is 0.9 m.

The proposed north side yard setback is 0.60 m.

9. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum side yard setback for the portion of the dwelling exceeding 17.0 m in depth is 7.5 m.

The proposed north side yard setback is 0.60 m. The building exceeds 17.0 m in depth by 0.47 m.

10. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum side yard setback for the portion of the dwelling exceeding 17.0 m in depth is 7.5 m.

The proposed south side yard setback is 1.03 m. The building exceeds 17.0 m in depth by 0.47 m.

11. Section 6(3) Part II 3(II), By-law No. 438-86

The proposed building location must not be any closer than 1.2 m to the portion of the side wall of an adjacent building.

The proposed building is located 0.87 m from the adjacent building.

12. Section 6(3) Part II 8 D(I), By-law No. 438-86

The permitted maximum height of an uncovered platform which projects into the required setbacks is 1.2 m above grade.

The proposed uncovered platform is 2.64 m high.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

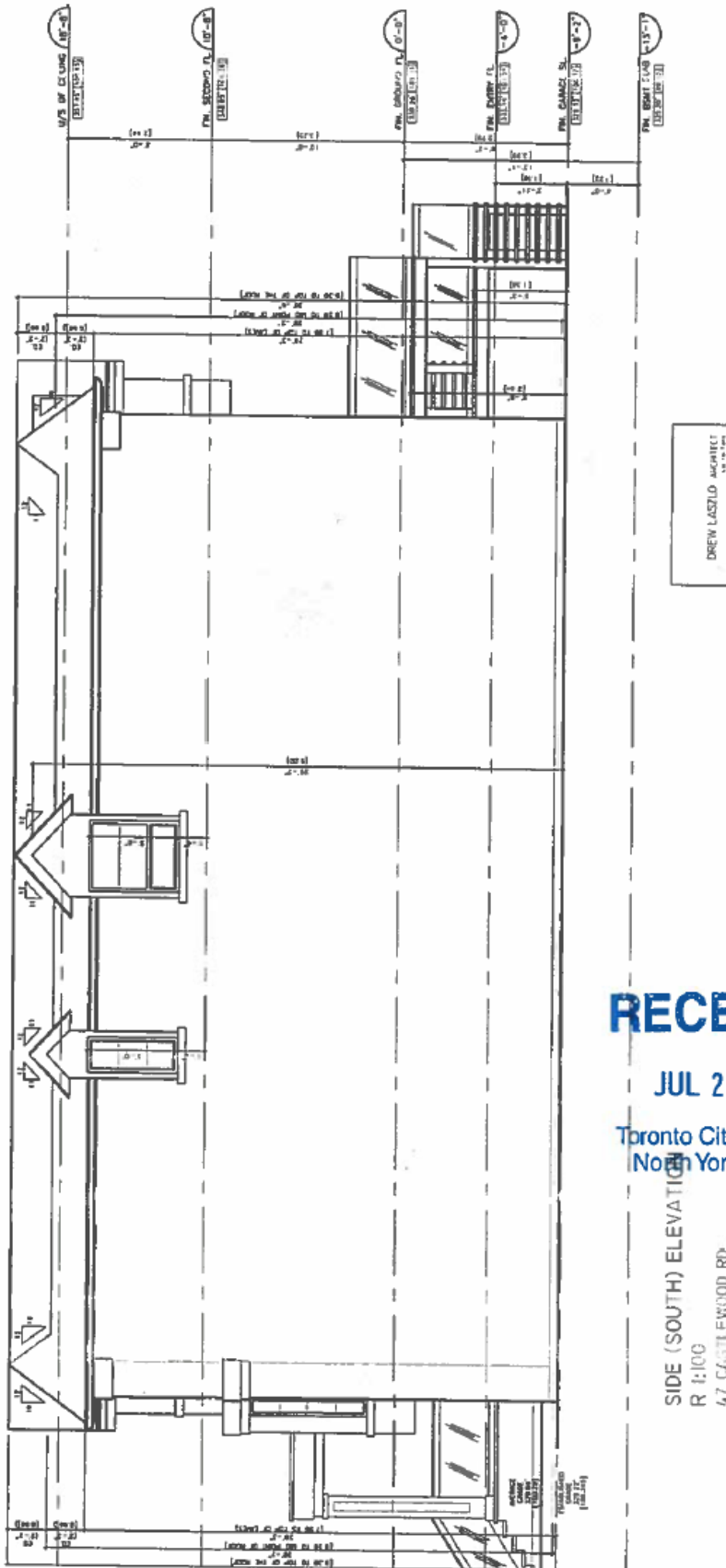
The Minor Variance Application is Approved on Condition

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant is to provide permanent opaque screening or fencing along the north and south edges of the rear deck/platform with a minimum height of 1.5 metres from the floor of the rear platform.
2. The proposal be constructed in accordance with the south elevation submitted to the Committee of Adjustment date stamped received by the City of Toronto Planning Division, July 20, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



RECEIVED

JUL 20 2017

Toronto City Planning
North York District

SIDE (SOUTH) ELEVATION

R 1:100

47 CASTLEWOOD RD.

SIGNATURE PAGE

File Number:	A0515/17NY	Zoning	RD / R1 (ZZC)
Owner:	RACHEL NUSINOFF-LONDON ROBERT LONDON	Ward:	Eglinton-Lawrence (16)
Agent:	DREW LASZLO ARCHITECT	Heritage:	Not Applicable
Property Address:	47 CASTLEWOOD RD	Community:	Toronto
Legal Description:	PLAN M387 N PT LOT 103		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0516/17NY	Zoning	CR 2.0(c 0.5; R 2.0) SS2 [ZONING]
Owner(s):	SALVATORE MARANO	Ward:	Eglinton-Lawrence (15)
Agent:	JOSEPH MAZZITELLI	Heritage:	Not Applicable
Property Address:	353 OAKWOOD AVE	Community:	North York
Legal Description:	PLAN 1473 LOT 110 PT LOT 109		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new third and fourth floor additions above the existing two-storey building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.11.10(284)c, By-law No. 569-2013**
The maximum permitted Floor Space Index is 2.0m².
The proposed Floor Space Index is 2.45m²
- 2. Chapter 200.5.10.1.(1), By-law No. 569-2013**
The required minimum number of parking space(s) for the Apartment Building is 9 spaces (7 for residents and 2 for visitors).
The proposed parking space is 2.
- 3. Section 11.3.1(5), By-law No. 1-83**
The maximum permitted Floor Space Index is 2.0m².
The proposed Floor Space Index is 2.45m²
- 4. Section 3.2.1(v), By-law No. 1-83**
The minimum required 8 residential parking spaces and 1 visitor parking space.
The proposed number of parking spaces is 2 residential and 0 visitor.
- 5. Section 11.3.1(2), By-law No. 1-83**
The bylaw requires the portion of any building adjacent to the rear lot line that abuts an R1 or R2 District, to have a height no more than 70% of the horizontal distance between the building and the rear lot line: 8.11m. The proposed height will be 11.12m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0516/17NY	Zoning	CR 2.0(c 0.5; R 2.0) SS2 [ZONING]
Owner:	SALVATORE MARANO	Ward:	Eglinton-Lawrence (15)
Agent:	JOSEPH MAZZITELLI	Heritage:	Not Applicable
Property Address:	353 OAKWOOD AVE	Community:	North York
Legal Description:	PLAN 1473 LOT 110 PT LOT 109		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
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North York Panel

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0518/17NY	Zoning:	RD/R1 Z0.35 [ZZC]
Owner(s):	PAULA TATSCHKE OLIVER MCGINLEY	Ward:	Don Valley West (25)
Agent:	ARCH DWG INC	Heritage:	Designated
Property Address:	151 BLYTHWOOD RD	Community:	Toronto
Legal Description:	PLAN 205 PT LOTS 9 & 10		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one-storey addition to the rear of the existing semi-detached dwelling, in conjunction with a new detached garage. Please note that this dwelling is legal non-conforming.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.20.40.(1), By-law No. 569-2013

A dwelling unit is only permitted in a detached house.

The proposed dwelling unit is located in an existing semi-detached house.

2. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.35 times the lot area.

The proposed floor space index is 0.495 times the lot area.

3. Chapter 10.5.60.20. By-law No. 569-2013

The minimum side yard setback for an ancillary building or structure located in a side yard, is the minimum side yard setback required for the residential building on the lot; in this case 0.90m.

The proposed east side yard setback for the ancillary building is 0.25m.

4. Chapter 10.5.60.30.(1), By-law No. 569-2013

An ancillary building or structure with a height greater than 2.50m, or a gross floor area greater than 10.00m², must be at least 1.80m from a residential building on the same lot. The proposed ancillary building or structure is 1.09m from a residential building on the same lot.

5. Chapter 10.5.60.40., By-law No. 569-2013

The maximum height of an ancillary building or structure if the ancillary building or structure is less than 1.80m from the residential building on the lot, is 2.50m.

The proposed height of the ancillary structure is 3.90m.

6. Chapter 10.5.60.50.(3), By-law No. 569-2013

The maximum floor area of an ancillary building or structure located less than 1.80m from a residential building on the lot is 10.00m².

The proposed floor area of the ancillary building is 20.80m².

7. Chapter 10.5.60.60.(1), By-law No. 569-2013

The eaves of a roof on an ancillary building may encroach into a building setback a maximum of 0.30m, if the eaves are no closer to a lot line than 0.15m.

The proposed eaves encroach 0.23m into a building setback, and are 0.25m from the east lot line.

8. Section 6(1), By-law No. 438-86

The existing semi-detached dwelling is a legal non-conforming use.

9. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.35 times the lot area.

The proposed gross floor area is 0.495 times the lot area.

10. Section 6(3) Part II 3.BC(II), By-law No. 438-86

The minimum required side yard setback is 0.90m.

The proposed west side yard setback is 0.00m.

11. Section 6(3) Part II 5(II), By-law No. 438-86

The maximum permitted building depth is 17.00m.

The proposed building depth is 20.17m.

12. Section 6(3) Part II 7(III), By-law No. 438-86

An accessory garden or storage shed less than 9.00m² in floor area or a private garage is to be setback 1.50m from the main building.

The proposed setback is 1.09m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0518/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner:	PAULA TATSCHKE OLIVER MCGINLEY	Ward:	Don Valley West (25)
Agent:	ARCH DWG INC	Heritage:	Designated
Property Address:	151 BLYTHWOOD RD	Community:	Toronto
Legal Description:	PLAN 205 PT LOTS 9 & 10		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0519/17NY	Zoning:	RD / R5 (BLD)
Owner(s):	ALICE TAMARA KOWAL	Ward:	Don Valley West (25)
Agent:	ADTEK BUILDING CONSULTANTS	Heritage:	Not Applicable
Property Address:	168 COTTONWOOD DR	Community:	North York
Legal Description:	PLAN 4545 LOT 397		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain an existing deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 15.5.30.40.(2), By-law No. 569-2013**
The lot area covered by a platform without main walls must not be more than 5% of the lot area.
The proposed deck is 6.96% of the lot area.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 25% of the lot area.
The proposed lot coverage is 31.44% of the lot area.
- Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 0.3 m.
The proposed platform encroaches 5.18 m into the required rear yard setback.
- Section 6(24)(a), By-law No. 7625**
All Unexcavated porches or decks, attached to or detached from the main building, and located in the side and rear yard, shall not occupy more than 5% of the lot area or 56 m², whichever is the lesser.
The proposed deck occupies 6.96% of the lot area.
- Section 6(24)(a), By-law No. 7625**
Unexcavated porches or decks, attached to or detached from the main building, shall not exceed 1.0 m in height.
The proposed deck is 1.38 m height.

6. Section 6(24)(a), By-law No. 7625

The first 2.1 m of an unexcited porches or decks, above 1.0- m in height and projecting from the rear or side wall of the main building shall not exceed the of the first storey floor joists and be wider than one-half the width of the dwelling at the dwellings widest point.

The proposed deck projects 5.49 m from the main rear wall and is 1.0 m wider than the dwellings widest point.

7. Section 6(9), By-law No. 7626

Unexcavated porches and deck shall be permitted to project into the minimum rear yard setback but no closer than 3 m from the rear lot line.

The proposed deck is 2.65 m from the rear lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0519/17NY	Zoning	RD / R5 (BLD)
Owner:	ALICE TAMARA KOWAL	Ward:	Don Valley West (25)
Agent:	ADTEK BUILDING CONSULTANTS	Heritage:	Not Applicable
Property Address:	168 COTTONWOOD DR	Community:	North York
Legal Description:	PLAN 4545 LOT 397		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0520/17NY	Zoning	RD (f12.0; a370; d0.6)/R1B[ZONING]
Owner(s):	BERTINA KOKA ILIA KOKA	Ward:	Don Valley West (26)
Agent:	Peter Higgins Architect Inc.	Heritage:	Not Applicable
Property Address:	35 DONEGALL DR	Community:	East York
Legal Description:	PLAN 2121 LOT 112		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0m² of the first floor must be within 4.0m of the front main wall.
There is 0m² proposed within 4m of the front wall.
- 2. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building or structure is 8.5m.
The proposed height of the building is **8.67m**.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 18.34m.
- 4. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.6 x the area of the lot.
The proposed floor space index is 0.61 x the area of the lot.
- 5. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2m.
The proposed north side yard setback is 0.90m.
- 6. Chapter 10.5.40.60.(2)(B)(i), By-law No. 569-2013**

A canopy, awning or similar structure that is not covering a platform may encroach into a required minimum building setback in a front yard 2.5m, if it is no closer to a side lot line than the minimum required side yard setback.

The proposed front canopy over the garage entrance is 0.681m closer to the side lot line than the required side yard setback.

7. **Section 6.3.3, By-law No. 1916**
The maximum permitted building height is 8.5m.
The proposed building height is **8.8m**.
8. **Section 6.3.3, By-law No. 1916**
The maximum permitted building length is 16.75 m.
The proposed building length is 18.34 m.
9. **Section 6.3.3, By-law No. 1916**
The maximum permitted floor space index is 0.6 x the lot area.
The proposed floor space index is 0.61 x the lot area.
10. **Section 6.3.3, By-law No. 1916**
Below-grade garage is not permitted.
The proposed garage is below-grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The driveway to maintain a minimum of 2% positive slope from the street to the entry of the integral garage.

SIGNATURE PAGE

File Number:	A0520/17NY	Zoning	RD (f12.0; a370; d0.6)/R1B[ZONING]
Owner:	BERTINA KOKA ILIA KOKA	Ward:	Don Valley West (26)
Agent:	Peter Higgins Architect Inc.	Heritage:	Not Applicable
Property Address:	35 DONEGALL DR	Community:	East York
Legal Description:	PLAN 2121 LOT 112		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

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Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0521/17NY	Zoning	RD/R6 [ZZC]
Owner(s):	ALIREZA DAWOUDI	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	395 HILLCREST AVE	Community:	North York
Legal Description:	PLAN 1609 PT LOTS 353 & 354		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.25m.

3. Section 14-A(8), By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.08m.

4. Section 14-A(9), By-law No. 7625

The maximum permitted building length is 15.30m.

The proposed building length is 15.49m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 24, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*

NO.	REVISION
1	COMPLETION
2	REVISION & COR.
3	COM.
4	27/04/2017

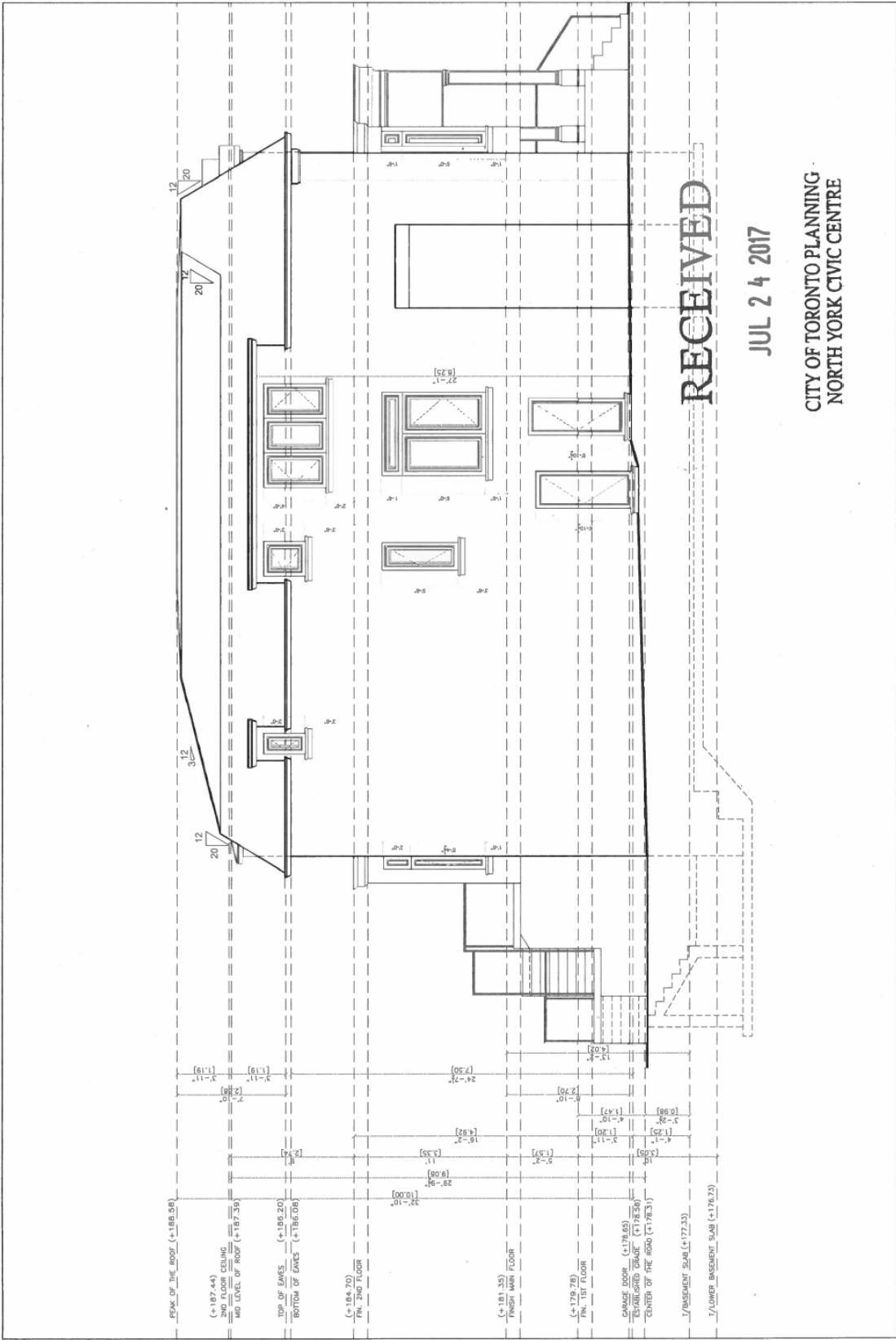
EAST SIDE ELEVATION

DRAWING TITLE

A8

SHEET NUMBER:

APPLICANT: MERRAN HEDRARI
 PROJECT TITLE: 395 HILLCREST AVENUE
 TORONTO, ONTARIO



NO.	REVISION
1	ISSUED FOR PERMIT
2	FOR COMMENTS
3	FOR COMMENTS
4	FOR COMMENTS
5	FOR COMMENTS
6	FOR COMMENTS
7	FOR COMMENTS
8	FOR COMMENTS
9	FOR COMMENTS
10	FOR COMMENTS

WEST SIDE ELEVATION

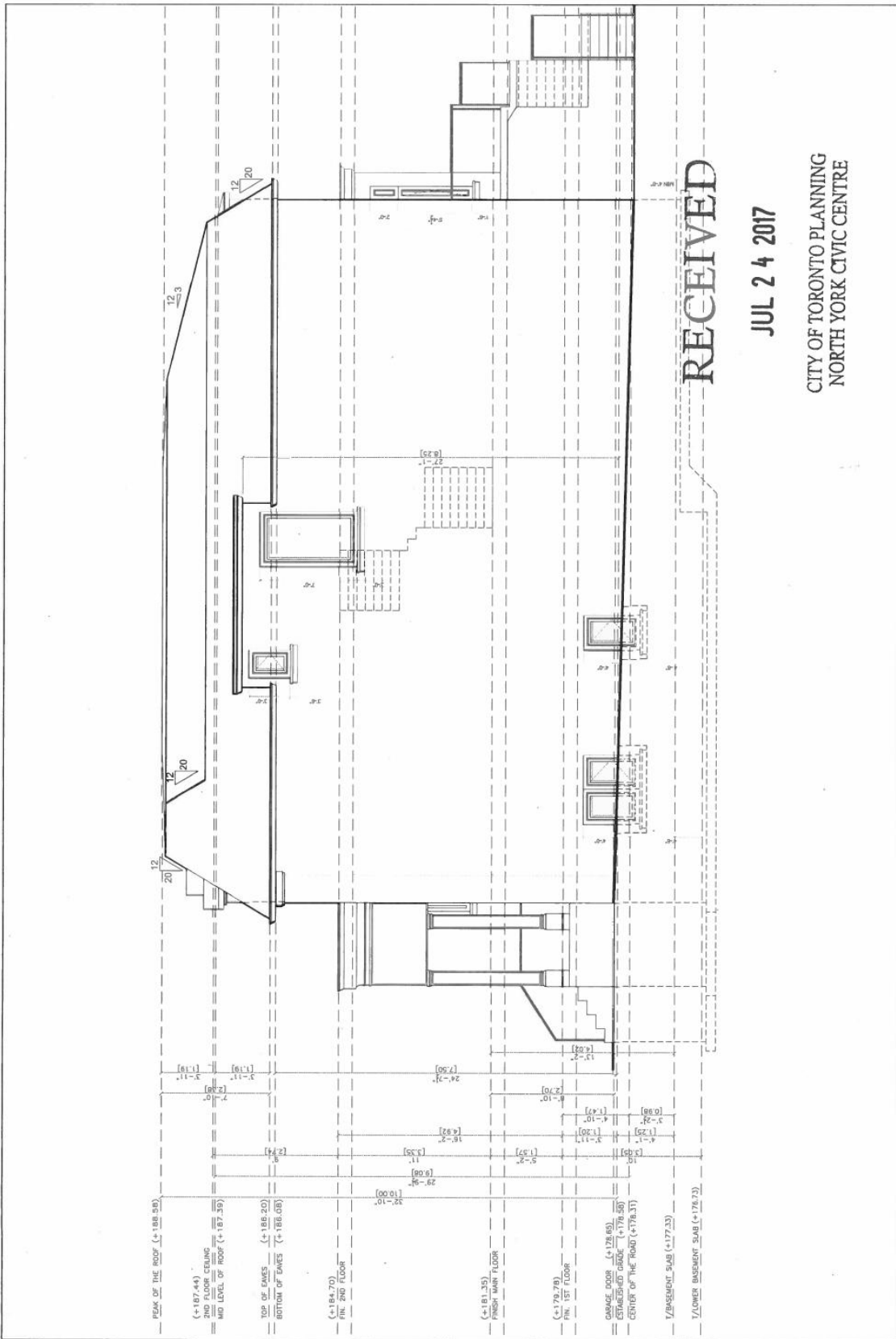
DRAWING TITLE:

SCALE: 1/25

A9

SHEET NUMBER:

APPLICANT: MEHRAN HEYDARI
 PROJECT TITLE: 395 HILLCREST AVENUE
 TORONTO, ONTARIO



SIGNATURE PAGE

File Number:	A0521/17NY	Zoning	RD/R6 [ZZC]
Owner:	ALIREZA DAWOUDI	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	395 HILLCREST AVE	Community:	North York
Legal Description:	PLAN 1609 PT LOTS 353 & 354		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

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CERTIFIED TRUE COPY

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0048/17NY	Zoning	R4/RD(x5)(ZR)
Owner(s):	NORMAN WONG	Ward:	Willowdale (23)
Agent:	MONDA MANIOS	Heritage:	Not Applicable
Property Address:	169 GOULDING AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2366 LOT 243 LOT 244		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed west side yard is 1.22m.

2. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed east side yard is 1.22m.

3. Chapter 10.5.40.70, Zoning By-law No. 569-2013

(1)(B) The minimum required building front yard setback is 7.28m.
The proposed building front yard setback is 6.55m.

4. Chapter 10.5.40.10, Zoning By-law No. 569-2013

(5) A minimum of 10.0m² of the first floor must be within 4.0 m of the front main wall.
Proposed 5.04 m² area is within 4 m of the front main wall.

5. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15.0 m.
The proposed lot frontage is 14.03 m.

6. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 30 % of the lot area.
The proposed lot coverage is **31.2%** of the lot area.

7. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013

A)(i) The permitted maximum height of all front exterior main walls is 7.5 m.

The proposed height of the front exterior main walls is **8.17 m**.

A)(ii) The permitted maximum height of all rear exterior main walls is 7.5 m.

The proposed height of the rear exterior main walls is **8.17 m**.

8. Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013

The permitted maximum building length for a detached house is 17.0 m.

The proposed building length is **17.27 m**.

9. Chapter 10.5.40.60.(1), Zoning By-law No. 569-2013

(A)(i) A platform without main walls, attached to or less than 0.3 metres from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5 m if it is no closer to a side lot line than the required side yard setback.

The proposed platform encroaches 2.62 m into the required front yard setback and is 1.11 m closer to the side lot line than the required setback.

10. Chapter 10.5.80.40.(3), Zoning By-law No. 569-2013

(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.

The proposed vehicle access to a parking space is from the front yard street.

11. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15.0 m.

The proposed lot frontage is 14.11 m.

12. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The lot width is 14.03m.

13. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required west side yard setback is 1.7m.

The proposed west side yard setback is 1.22m.

14. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required east side yard setback is 1.7m.

The proposed east side yard setback is 1.22m.

15. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is **31.27%** of the lot area.

16. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is **9.28m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed west side yard is 1.22m.

3. Chapter 10.5.40.70, Zoning By-law No. 569-2013

(1)(B) The minimum required building front yard setback is 7.28m.
The proposed building front yard setback is 6.55m.

4. Chapter 10.5.40.10, Zoning By-law No. 569-2013

(5) A minimum of 10.0m² of the first floor must be within 4.0 m of the front main wall.
Proposed 5.04 m² area is within 4 m of the front main wall.

5. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15.0 m.
The proposed lot frontage is 14.03 m.

6. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 30 % of the lot area.
The proposed lot coverage is **31.2%** of the lot area.

8. Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013

The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is **17.27 m**.

9. Chapter 10.5.40.60.(1), Zoning By-law No. 569-2013

(A)(i) A platform without main walls, attached to or less than 0.3 metres from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5 m if it is no closer to a side lot line than the required side yard setback.
The proposed platform encroaches 2.62 m into the required front yard setback and is 1.11 m closer to the side lot line than the required setback.

10. Chapter 10.5.80.40.(3), Zoning By-law No. 569-2013

(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front yard street.

11. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15.0 m.
The proposed lot frontage is 14.11 m.

12. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
The lot width is 14.03m.

13. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required west side yard setback is 1.7m.
The proposed west side yard setback is 1.22m.

15. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **31.27%** of the lot area.

16. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is **9.28m**.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

2. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.

The proposed east side yard is **1.52m**.

7. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013

A)(i) The permitted maximum height of all front exterior main walls is 7.5 m.

The proposed height of the front exterior main walls is **7.50m**.

A)(ii) The permitted maximum height of all rear exterior main walls is 7.5 m.

The proposed height of the rear exterior main walls is **7.50m**.

14. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required east side yard setback is 1.7m.

The proposed east side yard setback is **1.52m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0048/17NY	Zoning	R4/RD(x5)(ZR)
Owner:	NORMAN WONG	Ward:	Willowdale (23)
Agent:	MONDA MANIOS	Heritage:	Not Applicable
Property Address:	169 GOULDING AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2366 LOT 243 LOT 244		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0569/16NY	Zoning	RM6(238) [PPR]
Owner(s):	THE ROCKET TIPPETT INC	Ward:	York Centre (10)
Agent:	SHERMAN BROWN	Heritage:	Not Applicable
Property Address:	36R TIPPETT RD – BUILDING “A”	Community:	North York
Legal Description:	PLAN 4402 PT LOT 2 PLAN 2466 PT BLK A RP 66R28404 PARTS 10 AND 11		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To facilitate in the construction of two new residential buildings which would include an increase to the number of storeys, number of units and an increase in the gross floor area, in conjunction with other requested variances to the Zoning By-law(s), as outlined below.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 2(h), By-law No. 1361-2015

The maximum number of residential dwelling units permitted is 396.

The proposed number of residential dwelling units for Building "A" is 291 and for Building "B" is 171 for a combined total of 462 residential dwelling units.

2. Section 2(i), By-law No. 1361-2015

The minimum yard setbacks for buildings and structures above Established Grade shall be as shown on Schedule RM6(238).

The proposed setbacks shall be as shown on the attached revised Schedule RM6(238), By-law 1361-2015.

3. Section 2(o), By-law No. 1361-2015

The minimum separation between buildings shall be as shown on Schedule RM6(238).

The proposed distances between buildings shall be as shown on the attached revised Schedule RM6(238), By-law 1361-2015.

4. Section 2(p), By-law No. 1361-2015

The maximum gross floor area for all uses on lands zoned as RM6(238) shall be 29,343.00m², of which the maximum gross floor area for residential uses shall be 27,901.00m².

The proposed gross floor area for Building A is 19,524.40m² of which 19,049.40m² is residential and the proposed gross floor area for both buildings A and B is 31,959.80m² and the total for residential uses is 31,484.80m².

5. Section 2(q)(i), By-law No. 1361-2015

Notwithstanding Schedule 'D' of By-law No. 7625:

The maximum number of storeys of any portion of a building or structure shall not exceed the number of storeys shown for that portion of the building on Schedule RM6(238).

The maximum number of storeys proposed shall be as shown on the attached revised Schedule RM6(238), By-law 1361-2015.

6. Section 2(q)(ii), By-law No. 1361-2015

The maximum Building Height of any portion of a building or structure shall not exceed the height measured in metres above sea level for that portion of the building on Schedule RM6(238) as shown by the number (being maximum geodetic elevation) on Schedule RM6(238).

The proposed building heights shall be as shown on the attached revised Schedule RM6(238), By-law 1361-2015.

7. Section 2(r), By-law No. 1361-2015

A minimum of 2.00m² per apartment house dwelling unit of indoor residential recreational amenity area shall be provided; 582.00m² for Building A, and combined area of 924.00m² for buildings "A" & "B".

The proposed indoor amenity area is 539.28m² for Building "A" and a combined area of 863.79m² for Buildings "A" & "B".

8. Section 2(cc), By-law No. 1361-2015

A minimum of two (2) Type "G" loading spaces shall be provided on the lands shown on Schedule RM6(238).

The proposed has two (2) loading spaces, however, one Type "G" and one Type "C" are provided.

9. Section 15.8(a), By-law No. 7625

An area of 18.00m² of landscaping for each 82.00m² of gross floor area of the building, a part of which may be designated as a children's play area, shall be provided for multiple family dwelling other than semi-detached dwellings and duplex dwellings, in this case 7,015.57m² is required.

The proposed landscaping for Buildings "A" and "B" is 5,372.30m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner will be required to complete the Phase 1 and Phase 2 external sanitary sewer works as described on page 9 as one phase, section 2.4 of the Tippet Road Regeneration Area- External Sanitary Sewer Study (dated May 201 6) prepared by MMM Group. These sanitary works (Phase 1 and Phase 2) will have to be designed prior to site plan approval and constructed prior to the issuance of the first Above Grade Building Permit for any development blocks within Phase 1 and Phase 2 lands.

2. The Owner will be required to provide the City with a letter of Credit in the amount of 100% of the value of the works described in condition 1 .based on a cost-estimate approved by the Executive Director, Engineering and Construction Services.
3. The Owner be required to enter into an agreement with the City pursuant to Section 45(9) of the Planning Act, to be registered on title, to secure the works described in condition 1 .to the satisfaction of the City Solicitor in consultation with the Chief Planner and Executive Director, City Planning and the Executive Director, Engineering and Construction Services.

SIGNATURE PAGE

File Number:	A0569/16NY	Zoning	RM6(238) [PPR]
Owner:	THE ROCKET TIPPETT INC	Ward:	York Centre (10)
Agent:	SHERMAN BROWN	Heritage:	Not Applicable
Property Address:	36R TIPPETT RD – BUILDING “A”	Community:	North York
Legal Description:	PLAN 4402 PT LOT 2 PLAN 2466 PT BLK A RP 66R28404 PARTS 10 AND 11		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON:

LAST DATE OF APPEAL:

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0482/17NY	Zoning:	RM6(238) [PPR]
Owner(s):	36 TIPPETT	Ward:	York Centre (10)
Agent:	SHERMAN BROWN	Heritage:	Not Applicable
Property Address:	36 TIPPETT RD – BUILDING “B”	Community:	North York
Legal Description:	PLAN 4402 PT LOT 2 PLAN 2466 PT BLK A RP 66R28404 PART 12		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To facilitate in the construction of two new residential buildings which would include an increase to the number of storeys, number of units and an increase in the gross floor area, in conjunction with other requested variances to the Zoning By-law(s), as outlined below.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 2(h), By-law No. 1361-2015

The maximum number of residential dwelling units permitted is 396.

The proposed number of residential dwelling units for Building "B" is 171 and for Building "A" is 291 for a combined total of 462 residential dwelling units.

2. Section 2(i), By-law No. 1361-2015

The minimum yard setbacks for buildings and structures above Established Grade shall be as shown on Schedule RM6(238).

The proposed setbacks shall be as shown on the attached revised Schedule RM6(238), By-law 1361-2015.

3. Section 2(p), By-law No. 1361-2015

The maximum gross floor area for all uses on lands zoned as RM6(238) shall be 29,343.00m², of which the maximum gross floor area for residential uses shall be 27,901.00m².

The proposed gross floor area for Building "B" is 12,435.40m² of which 12,435.40m² is residential and the proposed gross floor area for both buildings "A" and "B" is 31,959.80m² and the total for residential uses is 31,484.80m².

4. Section 2(q)(i), By-law No. 1361-2015

Notwithstanding Schedule 'D' of By-law No. 7625:

The maximum number of storeys of any portion of a building or structure shall not exceed the number of storeys shown for that portion of the building on Schedule RM6(238).

The maximum number of storeys proposed shall be as shown on the attached revised Schedule RM6(238), By-law 1361-2015.

5. Section 2(q)(ii), By-law No. 1361-2015

The maximum Building Height of any portion of a building or structure shall not exceed the height measured in metres above sea level for that portion of the building on Schedule RM6(238) as shown by the number (being maximum geodetic elevation) on Schedule RM6(238).

The proposed building heights shall be as shown on the attached revised Schedule RM6(238), By-law 1361-2015.

6. Section 2(q)(iv), By-law No. 1361-2015

Parapets and railings shall be permitted to project 1.20m above the maximum Building Height provided that section (q) & (iii) has been complied with.

The proposed 'outdoor amenity area' has privacy screens/architectural features which project 3.70m above the maximum building height.

7. Section 2(r), By-law No. 1361-2015

A minimum of 2.00m² per apartment house dwelling unit of indoor residential recreational amenity area shall be provided; 342.00m² for Building "B", and a combined area of 924.00m² for buildings "A" & "B".

The proposed indoor amenity area is 324.51m² for Building "B" and a combined area of 863.79m² for Buildings "A" & "B".

8. Section 2(cc), By-law No. 1361-2015

A minimum of two (2) Type "G" loading spaces shall be provided on the lands shown on Schedule RM6(238).

The proposed has two (2) loading spaces, however, one Type "G" and one Type "C" are provided.

9. Section 2(s), By-law No. 1361-2015

A minimum of 2.00m² per apartment house dwelling unit of outdoor residential recreational amenity area shall be provided; 342.00m² for Building "B", and a combined area of 924.00m² for buildings "A" & "B".

The proposed outdoor amenity area is 324.18m² for Building "B" and a combined area of 960.10m² for buildings "A" & "B".

10. Section 15.8(a), By-law No. 7625

An area of 18.00m² of landscaping for each 82.00m² of gross floor area of the building, a part of which may be designated as a children's play area, shall be provided for multiple family dwelling other than semi-detached dwellings and duplex dwellings, in this case 7,015.57m² is required.

The proposed landscaping for Buildings "A" and "B" is 5,372.30m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner will be required to complete the Phase 1 and Phase 2 external sanitary sewer works as described on page 9 as one phase, section 2.4 of the Tippet Road Regeneration Area- External Sanitary Sewer Study (dated May 2016) prepared by MMM Group. These sanitary works (Phase 1 and Phase 2) will have to be designed prior to site plan approval and constructed prior to the issuance of the first Above Grade Building Permit for any development blocks within Phase 1 and Phase 2 lands.
2. The Owner will be required to provide the City with a letter of Credit in the amount of 100% of the value of the works described in condition 1 .based on a cost-estimate approved by the Executive Director, Engineering and Construction Services.
3. The Owner be required to enter into an agreement with the City pursuant to Section 45(9) of the Planning Act, to be registered on title, to secure the works described in condition 1 .to the satisfaction of the City Solicitor in consultation with the Chief Planner and Executive Director, City Planning and the Executive Director, Engineering and Construction Services.

SIGNATURE PAGE

File Number:	A0482/17NY	Zoning	RM6(238) [PPR]
Owner:	36 TIPPETT	Ward:	York Centre (10)
Agent:	SHERMAN BROWN	Heritage:	Not Applicable
Property Address:	36 TIPPETT RD – BUILDING “B”	Community:	North York
Legal Description:	PLAN 4402 PT LOT 2 PLAN 2466 PT BLK A RP 66R28404 PART 12		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0522/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	MOHAMMAD AHMADI-TABATABAEI	Ward:	Willowdale (24)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	154 NORTHWOOD DR	Community:	North York
Legal Description:	PLAN 3344 W PT LOT 36		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is **8.20m**.

2. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.
The proposed building length is 17.98m.

3. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.

4. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.52m.

5. Section 13.2.1 & 6(8), By-law No. 7625

The minimum required lot frontage and width is 15.00m.
The existing lot frontage and width is 14.63m.

6. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.52m.

7. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.52m.

8. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.
The proposed building length is 18.78m.

9. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.02m.

10. Section 6(9)(b), By-law No. 7625

Exterior stairways shall be permitted to project into the front yard not more than 2.10m.
The proposed front exterior stair projection is 2.90m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The property being developed essentially in accordance with the side elevations, signed and dated August 3, 2017, attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



WEST ELEVATION

OWNER	MR. AND MRS. TABATABAEI	DATE	JULY 17, 2017	DESIGN	HOMELAND	PHONE	416-319-6020	PROJECT	154 NORTHWOOD DR.	SCALE	3/16"=1'-0"	TITLE	LEFT ELEVATION	07
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EAST ELEVATION

OWNER	MR. AND MRS. TABATABAEI	DATE	JULY 17, 2017	DESIGN	HOMELAND	PHONE	416-319-6020	PROJECT	154 NORTHWOOD DR.	SCALE	3/16"=1'-0"	TITLE	RIGHT ELEVATION	09
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SIGNATURE PAGE

File Number:	A0522/17NY	Zoning	RD/R4 [ZZC]
Owner:	MOHAMMAD AHMADI-TABATABAEI	Ward:	Willowdale (24)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	154 NORTHWOOD DR	Community:	North York
Legal Description:	PLAN 3344 W PT LOT 36		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0523/17NY	Zoning	RD / R6 (WAV)
Owner(s):	BATOOL JAVADI-ERAM	Ward:	Willowdale (23)
Agent:	ADA ENGINEERING SOLUTIONS INC	Heritage:	Not Applicable
Property Address:	207 FLORENCE AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 559 E PT LOT 560		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1)A, By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.
- 2. Chapter 10.20.40.10.(2)B, By-law No. 569-2013**
The permitted maximum height of all side exterior main walls is 7.5 m.
The proposed height of 25% of the exterior west main side wall is 8.50 m.
- 3. Chapter 10.20.40.10.(2)B, By-law No. 569-2013**
The permitted maximum height of all side exterior main walls is 7.5 m.
The proposed height of 15% of the exterior east main wide wall is 8.50 m.
- 4. Section 14-A(6)a, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.
- 5. Section 14-A(8)b, By-law No. 7625**
The maximum permitted building height is 8.80 m.
The proposed building height is 9.00 m.
- 6. Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.3 m.
The proposed building length is **15.72m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1)A, By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.
2. **Chapter 10.20.40.10.(2)B, By-law No. 569-2013**
The permitted maximum height of all side exterior main walls is 7.5 m.
The proposed height of 25% of the exterior west main side wall is 8.50 m.
3. **Chapter 10.20.40.10.(2)B, By-law No. 569-2013**
The permitted maximum height of all side exterior main walls is 7.5 m.
The proposed height of 15% of the exterior east main wide wall is 8.50 m.
4. **Section 14-A(6)a, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **32.00%** of the lot area.
5. **Section 14-A(8)b, By-law No. 7625**
The maximum permitted building height is 8.80 m.
The proposed building height is 9.00 m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

6. **Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.3 m.
The proposed building length is **15.72m**.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 24, 2017, in order to allow the second storey windows be a maximum height of 8.50m.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0523/17NY	Zoning	RD / R6 (WAV)
Owner:	BATOOL JAVADI-ERAM	Ward:	Willowdale (23)
Agent:	ADA ENGINEERING SOLUTIONS INC	Heritage:	Not Applicable
Property Address:	207 FLORENCE AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 559 E PT LOT 560		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0524/17NY	Zoning	RD (f7.5; d0.6) (x1410)/R1 Z0.6[ZONING]
Owner(s):	DAYNA BLEEMAN JESSE BLEEMAN	Ward:	Eglinton-Lawrence (16)
Agent:	BEN GAUM	Heritage:	Not Applicable
Property Address:	62 SHIELDS AVE	Community:	Toronto
Legal Description:	PLAN M387 PT LOT 158		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition and a rear deck to the existing two-storey dwelling. The existing addition would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Exception RD 1410, By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space Index is 0.82 times the area of the lot.
- 2. Chapter 10.20.40.20, By-law No. 569-2013**
The maximum permitted building length is 17m.
The proposed building length is 18m.
- 3. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space Index is 0.82 times the area of the lot.
- 4. Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.
The proposed eaves project 0.3m and is 0.05m over the South lot line.
- 5. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building or structure is 9m.
The proposed height of the building is 9.5m.

- 6. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth where the side wall contains openings is 0.9m.
The proposed South side lot line setback is 0.25m.
- 7. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed south side lot line setback is 0.25m.
- 8. Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed west side lot line setback is 1.07m.
- 9. Section 6(3) Part II 3.(II), By-law No. 438-86**
The by-law requires that the proposed building be located no closer than 1.2m to the portion of the side wall of an adjacent building that contains openings.
The proposed building is located 0.49m from the adjacent building on the South side.
- 10. Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.6 times the area of the lot.
The proposed Gross Floor Area is 0.999 times the area of the.
- 11. Section 4(2), By-law No. 438-86**
The maximum permitted building height is 9m.
The proposed building height is 9.4m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

- 1. Exception RD 1410, By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space Index is 0.82 times the area of the lot.
- 2. Chapter 10.20.40.20, By-law No. 569-2013**
The maximum permitted building length is 17m.
The proposed building length is 18m.
- 3. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.6 times the area of the lot.
The proposed Floor Space Index is 0.82 times the area of the lot.
- 5. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building or structure is 9m.
The proposed height of the building is 9.5m.

6. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth where the side wall contains openings is 0.9m.
The proposed South side lot line setback is 0.25m.
7. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed south side lot line setback is 0.25m.
8. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed west side lot line setback is 1.07m.
9. **Section 6(3) Part II 3.(II), By-law No. 438-86**
The by-law requires that the proposed building be located no closer than 1.2m to the portion of the side wall of an adjacent building that contains openings.
The proposed building is located 0.49m from the adjacent building on the South side.
10. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.6 times the area of the lot.
The proposed Gross Floor Area is 0.999 times the area of the.
11. **Section 4(2), By-law No. 438-86**
The maximum permitted building height is 9m.
The proposed building height is 9.4m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

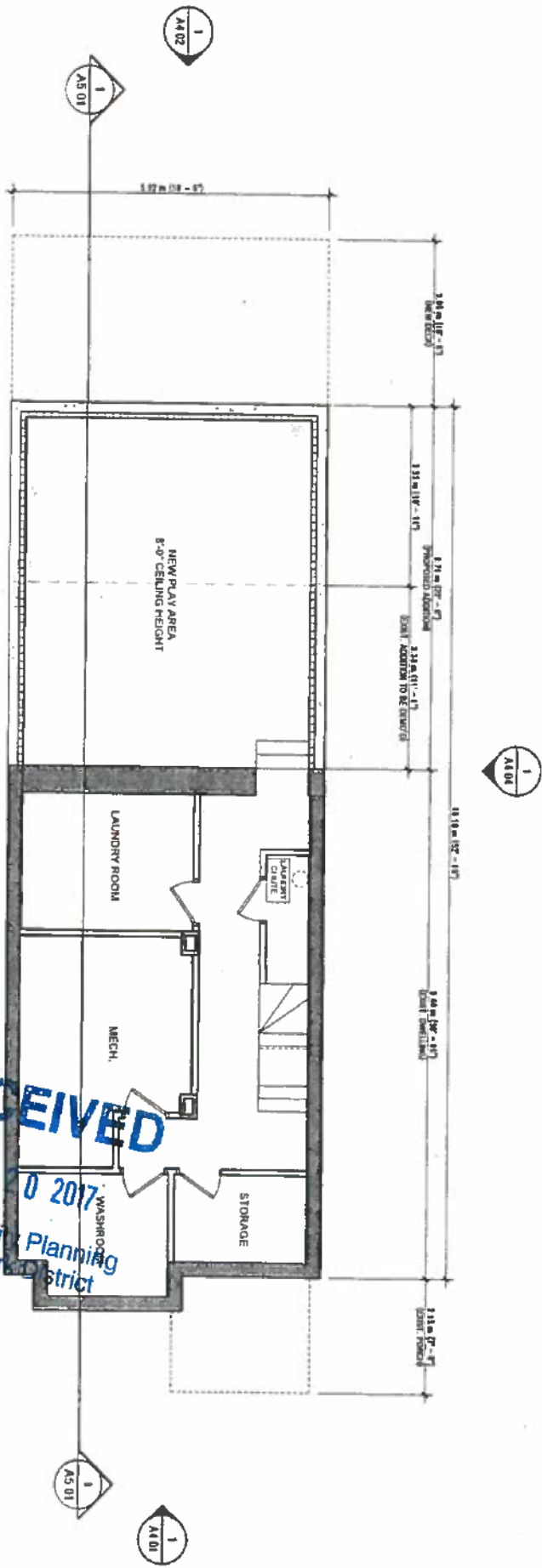
4. **Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.
The proposed eaves project 0.3m and is 0.05m over the South lot line.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

- 1) The application be constructed substantially in accordance with the basement plan submitted to the Committee of Adjustment, date stamped received by the City Planning Division on July 20, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



RECEIVED
 JUL 10 2017
 Toronto City Planning
 North York District

BASEMENT PLAN

SCALE: 1 : 75

1
 A2 00

Project
BLEEMAN
 RESIDENCE
 62 SHIELDS AVE, TORONTO



No.	Description	Date
1	Issued for Zoning Certificate	07/11/17

Title	Project	Date	Drawn by	Checked by
BASEMENT PLAN	2017-01-01	APR 21, 2017	BNG	BNG

Scale 1 : 75
 A2 00

SIGNATURE PAGE

File Number:	A0524/17NY	Zoning	RD (f7.5; d0.6) (x1410)/R1 Z0.6[ZONING]
Owner:	DAYNA BLEEMAN JESSE BLEEMAN	Ward:	Eglinton-Lawrence (16)
Agent:	BEN GAUM	Heritage:	Not Applicable
Property Address:	62 SHIELDS AVE	Community:	Toronto
Legal Description:	PLAN M387 PT LOT 158		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0525/17NY	Zoning	RD(f 15 ; a 550)(x 5)/R4[ZONING]
Owner(s):	MEREDITH GREENFIELD ANTHONY JONES	Ward:	York Centre (10)
Agent:	GEORGIAN CUSTOM RENOVATIONS	Heritage:	Not Applicable
Property Address:	9 BAINTREE EAST ST	Community:	North York
Legal Description:	PLAN 4942 LOT 9		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey dwelling, including a garage on the east side portion of the dwelling. The existing garage would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 1.20.3(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 0.73m.
- 2. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 7.77m.
The proposed front yard setback is 7.72m.
- 3. Section 13.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The existing and proposed rear yard setback is 8.25m.
- 4. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 0.73m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

- 2. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 7.77m.
The proposed front yard setback is 7.72m.
- 3. Section 13.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The existing and proposed rear yard setback is 8.25m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

- 1. Chapter 1.20.3(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is **1.00m**.
- 4. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is **1.00m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0525/17NY	Zoning	RD(f 15 ; a 550)(x 5)/R4[ZONING]
Owner:	MEREDITH GREENFIELD ANTHONY JONES	Ward:	York Centre (10)
Agent:	GEORGIAN CUSTOM RENOVATIONS	Heritage:	Not Applicable
Property Address:	9 BAINTREE EAST ST	Community:	North York
Legal Description:	PLAN 4942 LOT 9		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0526/17NY	Zoning	RD/R6 [ZZC]
Owner(s):	FABIAN BORENHOLTZ MONICA BEATRIZ ALVARENGA	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	255 FLORENCE AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 595 & PT LOT 594		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is **8.50m** and **8.50m**.

3. Section 14-A(8), By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is **9.20m**.

4. Section 14-A(9), By-law No. 7625

The maximum permitted building length is 15.30m.

The proposed building length is 15.85m.

5. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.74m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

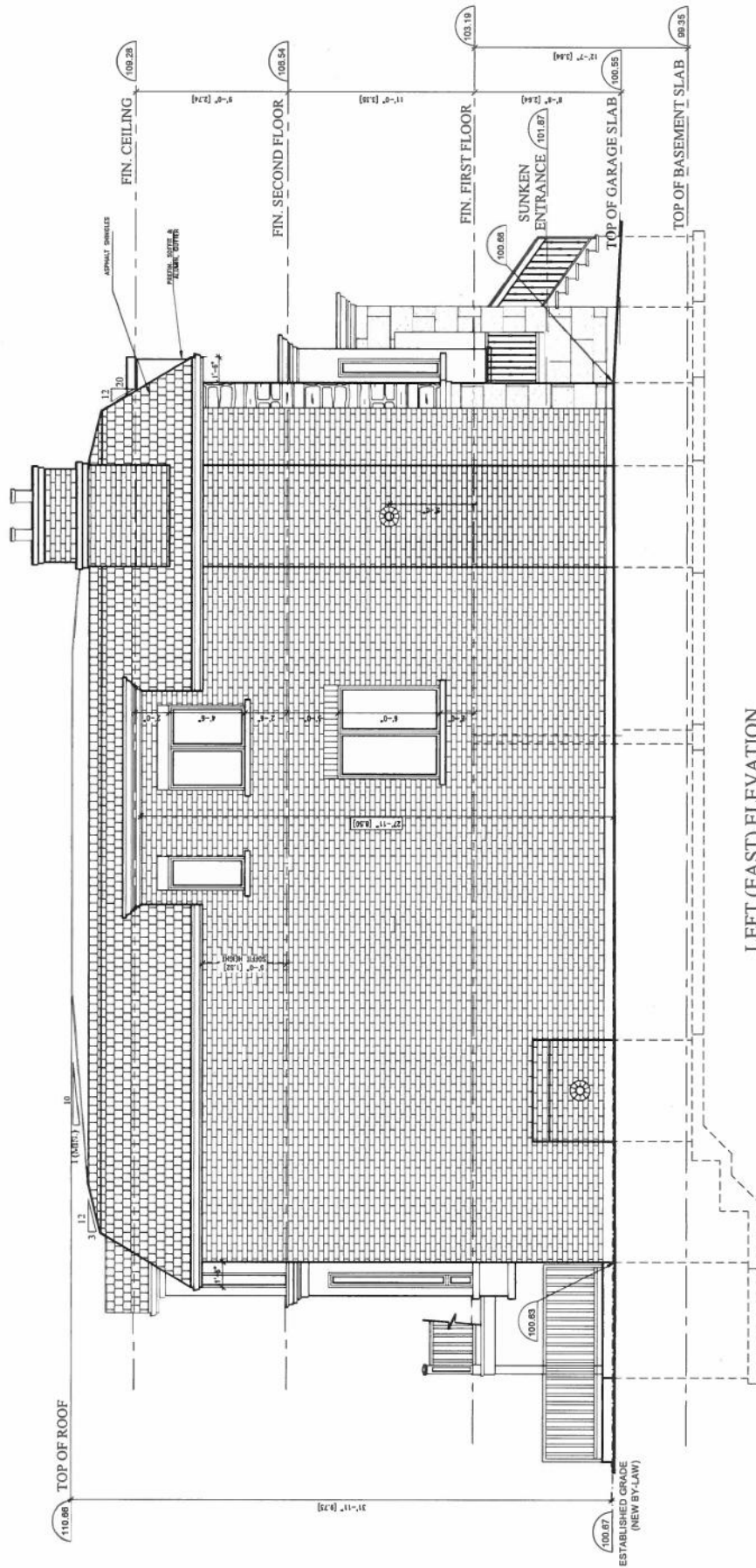
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

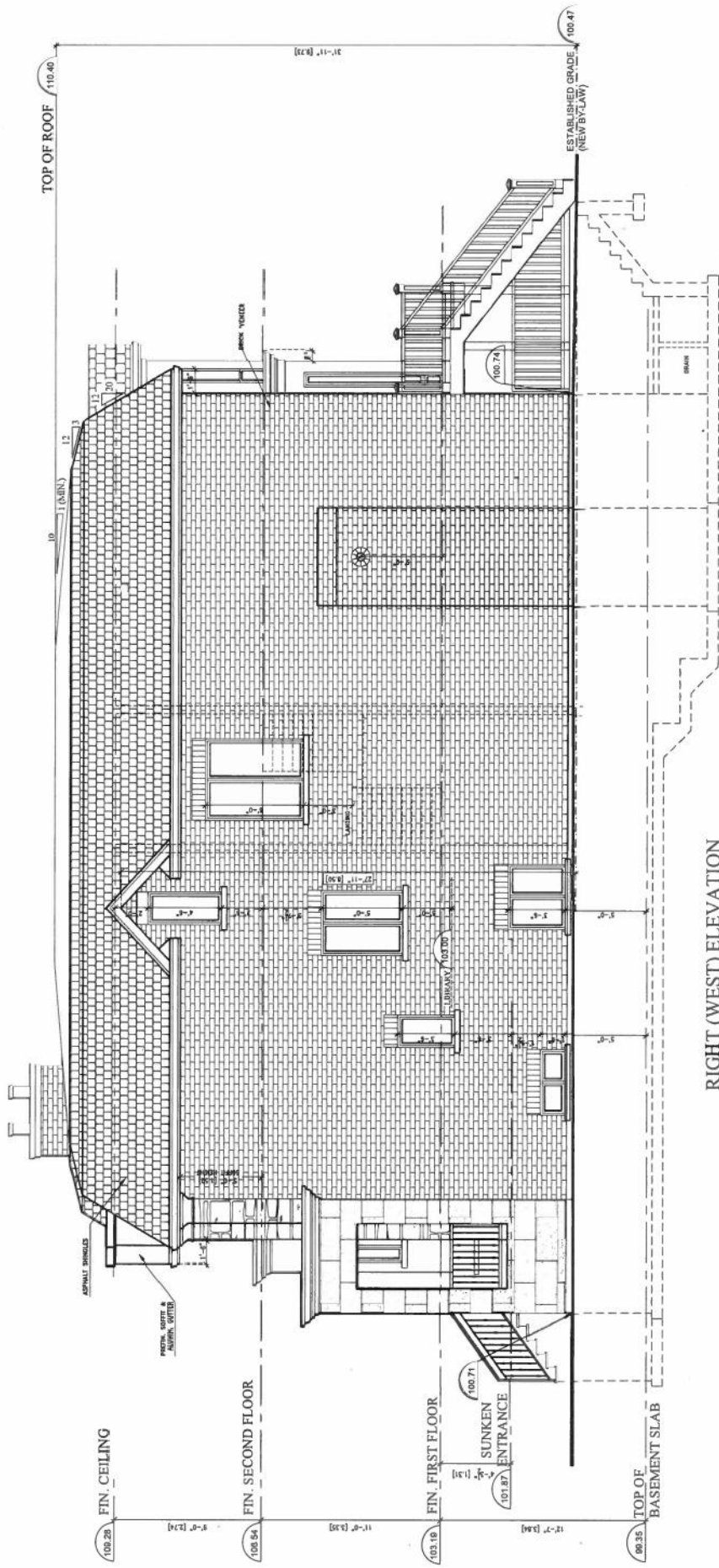
- 1) The proposal be developed in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 24, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



LEFT (EAST) ELEVATION
255 FLORENCE AVE

Rubinoff Design Group
 697 Mount Pleasant Road
 Toronto, Ontario M4S 2N4
 TEL: 416.867-2522 FAX: 416.877-0751 EMAIL: info@rubinoffdesign.com
 255 FLORENCE AVE
 SCALE: 3/8" = 1'-0" JULY 24, 2017

RECEIVED
 JUL 24 2017
 Toronto City Planning
 North York District



RIGHT (WEST) ELEVATION
255 FLORENCE AVE

Rubinfoff Design Group
 887 Mount Pleasant Road
 Toronto, Ontario M4S 2N4
 TEL: 416.597.0282 FAX: 416.597.8751 EMAIL: info@rubinfoff.com

255 FLORENCE AVE

SCALE: 3/8" = 1'-0" JULY 24, 2017

RECEIVED

JUL 24 2017

Toronto City Planning
 North York District

SIGNATURE PAGE

File Number:	A0526/17NY	Zoning	RD/R6 [ZZC]
Owner:	FABIAN BORENHOLTZ MONICA BEATRIZ ALVARENGA	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	255 FLORENCE AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 595 & PT LOT 594		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0529/17NY	Zoning	RD / R4
Owner(s):	HUI XING YIFENG XUAN	Ward:	Don Valley East (33)
Agent:	LAZIC NIKOLINA	Heritage:	Not Applicable
Property Address:	21 CHASE RD	Community:	North York
Legal Description:	PLAN M789 LOT 102		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second storey addition and to conduct renovations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.70(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 8.05 m.
The proposed front yard setback is 7.99 m.
- Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m².
The proposed area of the platform at the second storey is **6.50m²**.
- Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.17m.
- Section 13.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.8 m²
The proposed balcony area at the second storey is **6.50m²**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

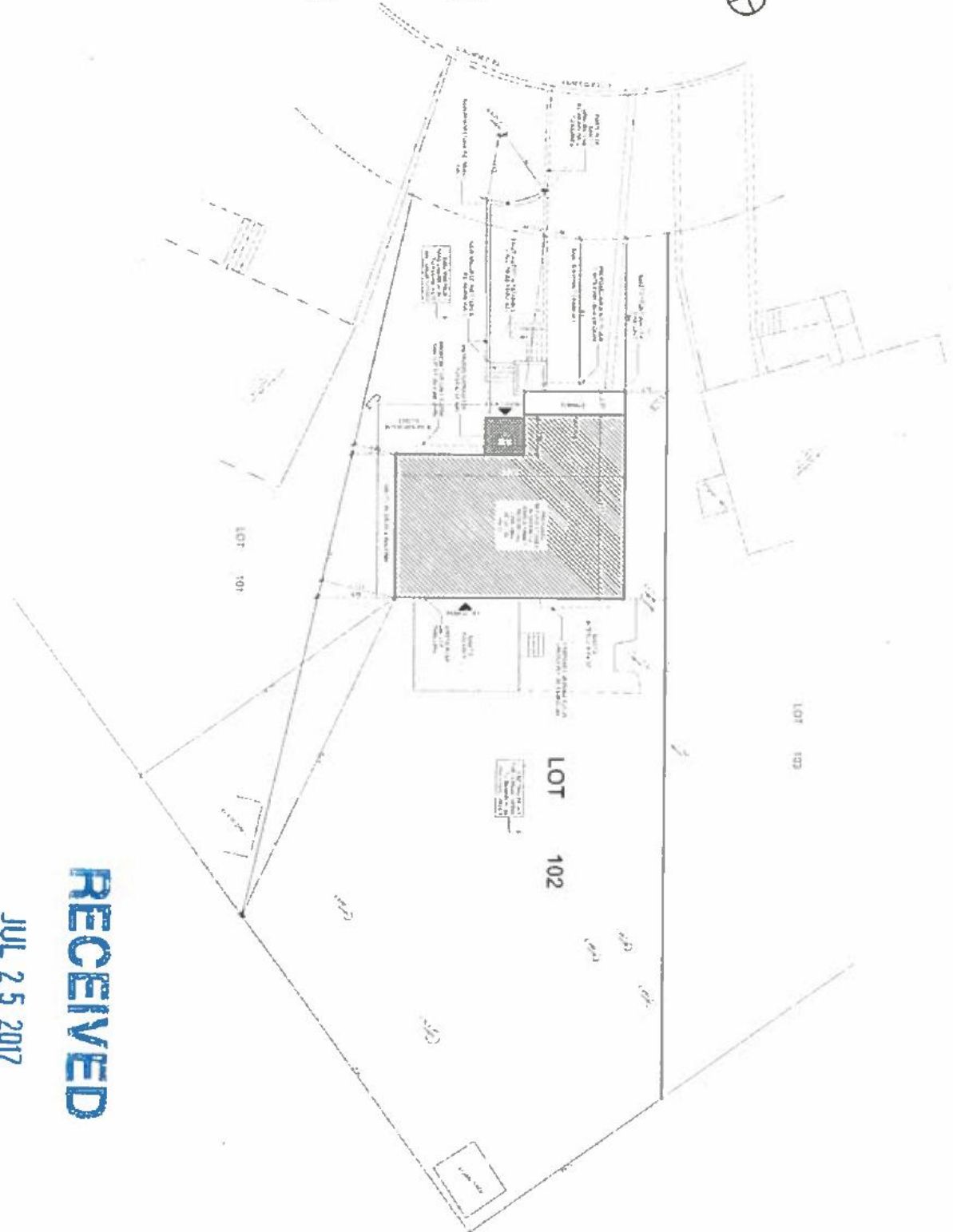
Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

- 2) The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division. July 25, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



Chase Road

Project Name:	1001-1002 Chase Road
Client:	1001-1002 Chase Road
Address:	1001-1002 Chase Road
City:	Toronto
Province:	Ontario
Country:	Canada
Scale:	1:1000
Date:	2017
Author:	[Name]
Checker:	[Name]
Reviewer:	[Name]
Approved:	[Name]
Notes:	See 1001-1002 Chase Road for details.



1 Site Plan
SCALE: 1:1000

RECEIVED

JUL 25 2017

Toronto City Planning
North York District

ID	Sheet Title
1	1001-1002 Chase Road
2	1001-1002 Chase Road
3	1001-1002 Chase Road
4	1001-1002 Chase Road
5	1001-1002 Chase Road
6	1001-1002 Chase Road
7	1001-1002 Chase Road
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13	1001-1002 Chase Road
14	1001-1002 Chase Road
15	1001-1002 Chase Road
16	1001-1002 Chase Road
17	1001-1002 Chase Road
18	1001-1002 Chase Road
19	1001-1002 Chase Road
20	1001-1002 Chase Road

Declaration of Designer
I, the undersigned, declare that I have a good and lawful title to the land shown on this plan and that I am the owner of the same. I hereby declare that the information provided in this plan is true and correct to the best of my knowledge and belief. I am a resident of the City of Toronto and I am duly qualified to practice as a Professional Engineer in the Province of Ontario.
Signature: [Signature]
Date: [Date]

No.	Description
1	1001-1002 Chase Road
2	1001-1002 Chase Road
3	1001-1002 Chase Road
4	1001-1002 Chase Road
5	1001-1002 Chase Road
6	1001-1002 Chase Road
7	1001-1002 Chase Road
8	1001-1002 Chase Road
9	1001-1002 Chase Road
10	1001-1002 Chase Road
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12	1001-1002 Chase Road
13	1001-1002 Chase Road
14	1001-1002 Chase Road
15	1001-1002 Chase Road
16	1001-1002 Chase Road
17	1001-1002 Chase Road
18	1001-1002 Chase Road
19	1001-1002 Chase Road
20	1001-1002 Chase Road

ACQUISITION
Attention: 2001 St. Lawrence
777 Broadview Ave.
Toronto, Ontario M4M 1B7
Tel: (416) 461-1000
Fax: (416) 461-1001
www.toronto.ca

Proposed Second Storey Addition & Renovation
21 Chase Road
Toronto, Ontario M2N 2S1
Client: Edai, Zuan & Hu, Inc.

Drawn By: QHB
Scale: As Indicated
Printing Date: 2/07/2017
Project No: ACC101-02003

Site Plan
A-3

SIGNATURE PAGE

File Number:	A0529/17NY	Zoning	RD / R4
Owner:	HUI XING YIFENG XUAN	Ward:	Don Valley East (33)
Agent:	LAZIC NIKOLINA	Heritage:	Not Applicable
Property Address:	21 CHASE RD	Community:	North York
Legal Description:	PLAN M789 LOT 102		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0531/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	ALFREDO ANTONIO TORRES MARGARITA TORRES	Ward:	Willowdale (24)
Agent:	M KARBALAEI CONSULTING	Heritage:	Not Applicable
Property Address:	7 CANARY CRES	Community:	North York
Legal Description:	PLAN 5099 LOT 82		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.51m.

3. Chapter 10.5.100.1.(1), By-law No. 569-2013

The maximum permitted driveway width is 6.00m.

The proposed driveway width is 6.05m.

4. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.22m.

5. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.21m.

6. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.22m.

7. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.21m.

8. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.23m.

9. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.58m.

10. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck projects 3.66m from the rear wall, is 2.06m in height and is 50.00% of the width of the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

SIGNATURE PAGE

File Number:	A0531/17NY	Zoning	RD/R4 [ZZC]
Owner:	ALFREDO ANTONIO TORRES MARGARITA TORRES	Ward:	Willowdale (24)
Agent:	M KARBALAEI CONSULTING	Heritage:	Not Applicable
Property Address:	7 CANARY CRES	Community:	North York
Legal Description:	PLAN 5099 LOT 82		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0532/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	DAVID NEMETH KIMBERLY TRIMBOLI	Ward:	Don Valley East (34)
Agent:	GLORIA APOSTOLOU	Heritage:	Not Applicable
Property Address:	46 SHAUNAVON HEIGHTS CRES	Community:	North York
Legal Description:	PLAN M744 LOT 285		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new rear addition and decks to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 500 Exception 5, By-law No. 569-2013**
The required side yard setback is 1.80 m.
The proposed west side yard setback is 1.27 m.
- 2. Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5 m if it is no closer to a side lot line than the required side yard setback of 1.8 m.
The proposed platform encroaches into the required rear yard setback but is 1.27 m closer to the side lot line than the required setback.
- 3. Section 13.2.3(b), By-law No. 7625**
The minimum required west side yard setback is 1.8 m.
The proposed west side yard setback is 1.27 m.
- 4. Section 6(24), By-law No. 7625**
Unexcavated porches and decks shall be permitted to encroach in the rear yard setback to a maximum of 2.1 m, but no closer to the side lot line than the required 1.8 m.
The proposed deck encroaches 1.27 m closer to the side lot line than the required setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the Site Plan drawing submitted to the Committee of Adjustment date stamped received by the City of Toronto Planning Division, July 25, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED

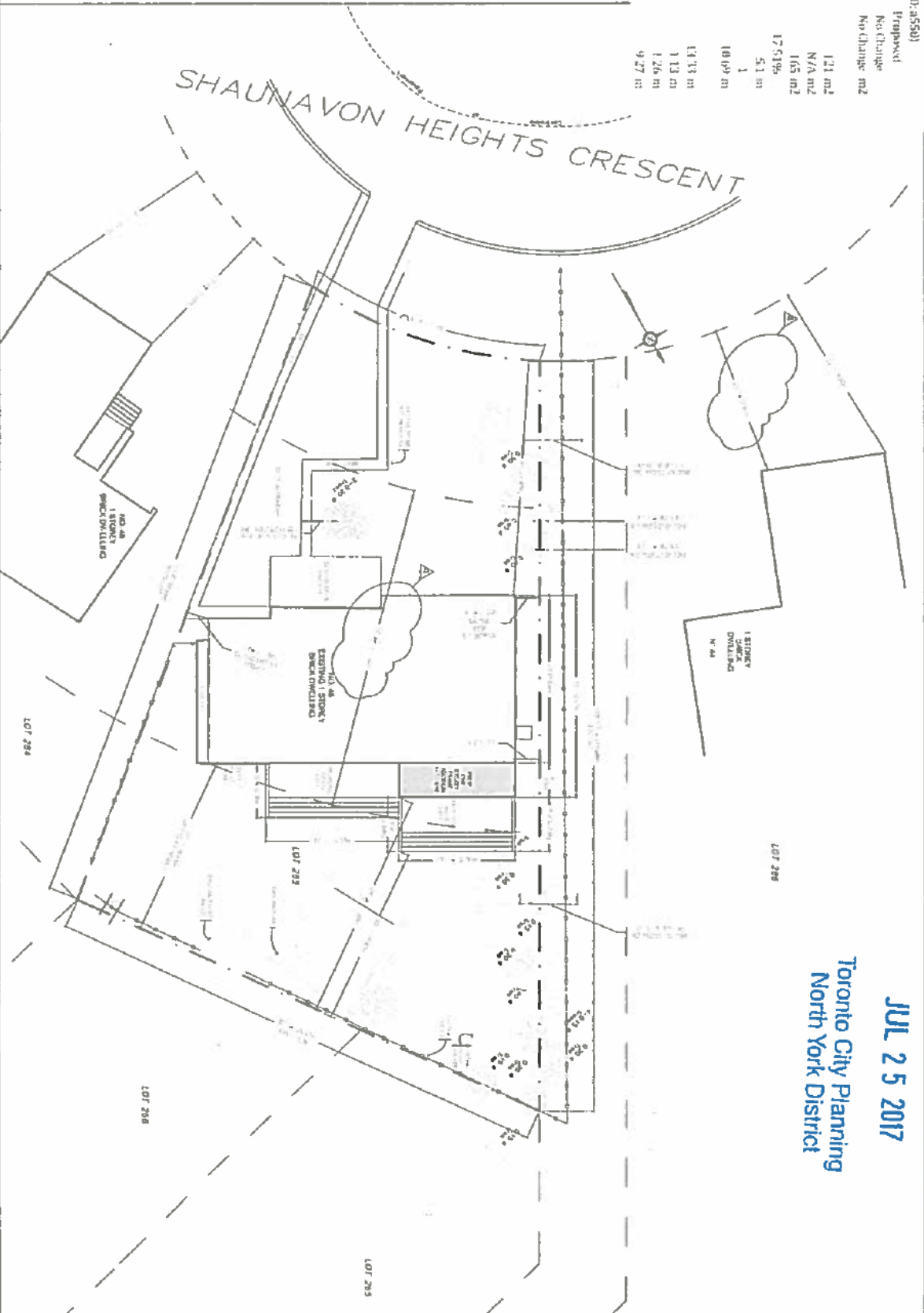
JUL 25 2017

Toronto City Planning
North York District

46 Shaunavon Heights Cres. RD (1150-8558)

Use	Existing	Proposed
Lot Area	Residential	No Change
Lot Area	691	No Change: m2
GFA		
Ground Floor	110 m2	121 m2
Basement	N/A m2	N/A m2
Total GFA (excl. baln)	136 m2	165 m2
Density	15.9296	17.5196
Height	5.1 m	5.1 m
Porching	1	1
People	8187 m	1809 m
Setbacks, Min		
Front yard	13.33 m	13.33 m
Side yard (E)	1.13 m	1.13 m
Side yard (W)	1.26 m	1.26 m
Rear yard	9.27 m	9.27 m

NOTE:
STAKEY PRODUCTIONS DEVELOPER
PLAN ON SITE OF PART OF LOT 249
12701 HIND AVE W 744 LOT OF 1000 SQ FT
LAND UNDER THE CONTROL OF THE CITY OF TORONTO
15C 1300
DATE OF THE SUBMITTAL: 24/10/16
DATE OF THE SUBMITTAL: 2016



 **post architecture**
32 Albany Ave. Toronto ON M5R 3C3 416 516.6064

△ RE-ISSUED FOR C61A	09 MAY 17
△ REVISED FOR B.DEPH	08 MAY 17
△ ISSUED FOR C61A	04 MAY 17
△ ISSUED FOR Z2C	13 APR 17
△ ISSUED FOR REVIEW	15 SEP 16

46 SHAUNAVON HEIGHTS CRES.
project no.: --
date: 12 SEP 16
drawn by: TC

PROPOSED SITE PLAN
S-1

SIGNATURE PAGE

File Number:	A0532/17NY	Zoning	RD / R4 (ZZC)
Owner:	DAVID NEMETH KIMBERLY TRIMBOLI	Ward:	Don Valley East (34)
Agent:	GLORIA APOSTOLOU	Heritage:	Not Applicable
Property Address:	46 SHAUNAVON HEIGHTS CRES	Community:	North York
Legal Description:	PLAN M744 LOT 285		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0533/17NY	Zoning	R3 / RD(f30; a1100) (x971)[WAIVER]
Owner(s):	LISA HE	Ward:	Don Valley West (25)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	23 SUNCREST DR	Community:	North York
Legal Description:	PLAN M809 LOT 15		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1)(A), By-law No. 569-2013**
The maximum permitted lot coverage is 25% of the lot area.
The proposed lot coverage is **28.50%** of the lot area.
- Section 6A (5)(a), By-law No. 7625**
The maximum permitted driveway width is 6.0m.
The proposed driveway width is **9.00m**.
- Section 10.2.4, By-law No. 7625**
The maximum permitted lot coverage is 25% of the lot area.
The proposed lot coverage is **28.50%** of the lot area
- Section 10.2.3(a), By-law No. 7625**
The minimum required front yard setback is 12m.
The proposed front yard setback is 9.14 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0533/17NY	Zoning	R3 / RD(f30; a1100) (x971)[WAIVER]
Owner:	LISA HE	Ward:	Don Valley West (25)
Agent:	TAES ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	23 SUNCREST DR	Community:	North York
Legal Description:	PLAN M809 LOT 15		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0534/17NY	Zoning	RD/R6 [BLD]
Owner(s):	JENNIFER MINDY TAYLOR	Ward:	York Centre (10)
Agent:	CLIMANS GREEN LIANG ARCHITECTS INC.	Heritage:	Not Applicable
Property Address:	213 ARMOUR BLVD	Community:	North York
Legal Description:	PLAN 2456 PT LOTS 24 & 25		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey addition to the south portion of the existing dwelling, in conjunction with a second storey cantilevered addition to the rear south east portion of the existing two-storey dwelling. The applicant is also proposing other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.50.(2), By-law No. 569-2013**
The minimum required side yard setback is 1.20m.
The proposed north side yard setback is 0.60m to the front porch.
- 2. Chapter 10.5.40.70.(1)(B), By-law No. 569-2013**
The minimum required front yard setback is 7.72m.
The proposed front yard setback is 6.53m.
- 3. Section 14-B(9), By-law No. 7625**
The maximum permitted building length is 15.30m.
The proposed building length is 16.14m.
- 4. Section 6(9)(f), By-law No. 7625**
Porches and decks, either excavated or unexcavated, and canopies shall be permitted to project into the minimum front yard setback not more than 2.10m but no closer to the side lot line than the minimum side yard setback for the main building; in this case 1.20m.
The proposed north side yard setback is 0.60m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0534/17NY	Zoning	RD/R6 [BLD]
Owner:	JENNIFER MINDY TAYLOR	Ward:	York Centre (10)
Agent:	CLIMANS GREEN LIANG ARCHITECTS INC.	Heritage:	Not Applicable
Property Address:	213 ARMOUR BLVD	Community:	North York
Legal Description:	PLAN 2456 PT LOTS 24 & 25		

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0535/17NY	Zoning	R4 /R6 (WAV)
Owner(s):	TORONTO DISTRICT SCHOOL BOARD	Ward:	Willowdale (23)
Agent:	+VG ARCHITECTS (THE VENTIN GROUP ARCHITECTS)	Heritage:	Not Applicable
Property Address:	171 AVONDALE AVE	Community:	North York
Legal Description:	CON 1 EY PT LOT 14 PLAN 1967 LOT 1345 LOT 1346		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct new third storey addition to the currently under construct two storey school.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 6(26)(b), By-law No. 7625**
The maximum permitted height is 9.5 m or 2 storeys, whichever is less.
The proposed height is **12.2** m and is 3 storeys.
- 2. Section 6A(2)a, By-law No. 7625**
The minimum required number of parking spaces is 82.
The proposed number of parking spaces is 60.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number: A0535/17NY Zoning R4 /R6 (WAV)
Owner: TORONTO DISTRICT SCHOOL BOARD Ward: Willowdale (23)
Agent: +VG ARCHITECTS (THE VENTIN GROUP ARCHITECTS) Heritage: Not Applicable
Property Address: **171 AVONDALE AVE** Community: North York
Legal Description: CON 1 EY PT LOT 14 PLAN 1967 LOT 1345 LOT 1346

Denise Graham (signed)

Giacomo Tonon (signed)

Nadini Sankar (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0536/17NY	Zoning	R4/RD[ZONING]
Owner(s):	HANIEH BORGHEI	Ward:	Willowdale (23)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	167 ELMHURST AVE	Community:	North York
Legal Description:	PLAN M389 LOT 191		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.0m.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 3. Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550m².
The existing and proposed lot area is 546.5m².
- 4. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m
The proposed building height is 8.91m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

2) The proposal be developed in accordance with the north and south side elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 24, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

Scale: 1/8"=1'-0"
 Drawn By: S.N.
 Checked By: M.H.
 Project No.: 571
 Date: 2017 MAY 18

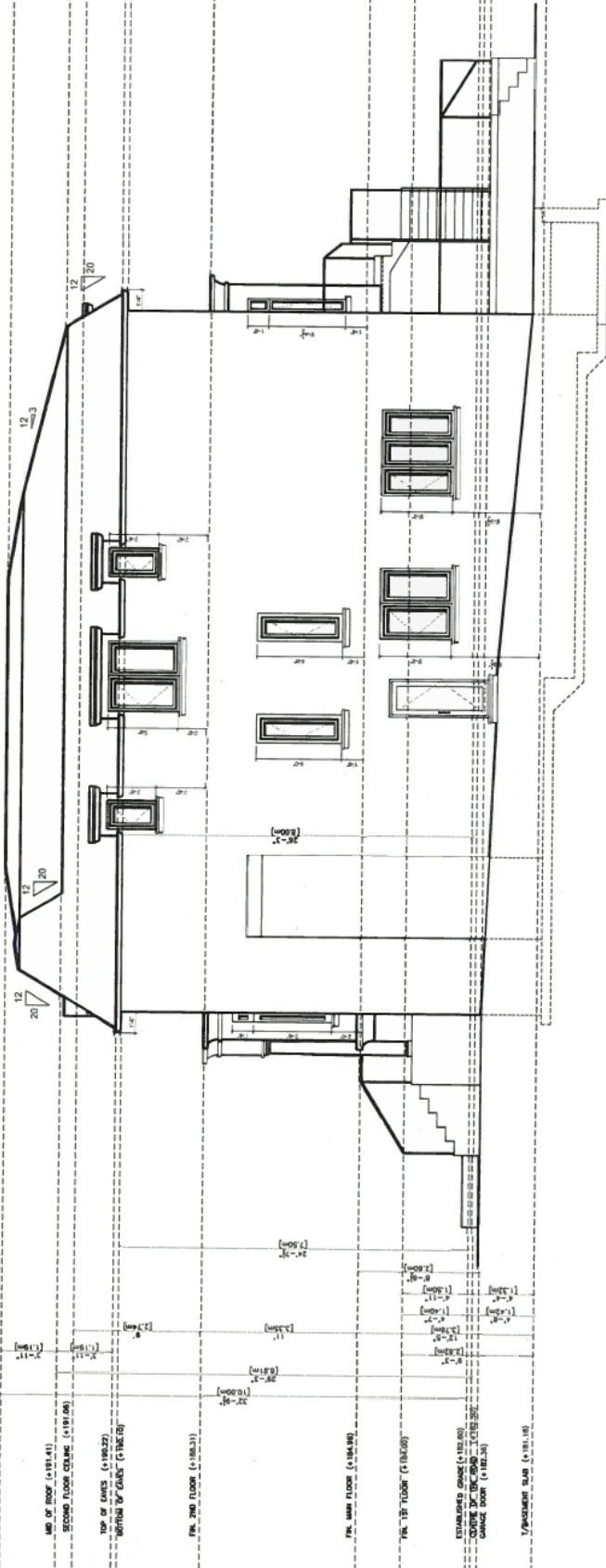
A9

PROJECT TITLE:
 167 ELMHURST AVENUE,
 TORONTO
 ONTARIO

Drawing Title:
 SIDE ELEVATION
 (SOUTH)

Exclusive Residential Design
 PMP Design Group

1	SCHEMATIC	18/05/2017
2	CONCEPT REVIEW	22/06/2017
3	PERMITS	
4	CONSTRUCTION	
5	AS-BUILT	



RECEIVED

JUL 24 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

SIGNATURE PAGE

File Number:	A0536/17NY	Zoning	R4/RD[ZONING]
Owner:	HANIEH BORGHEI	Ward:	Willowdale (23)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	167 ELMHURST AVE	Community:	North York
Legal Description:	PLAN M389 LOT 191		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0537/17NY	Zoning	RD (f18.0; a690) (x863)/ R3 [ZZC]
Owner(s):	JIAO YINGCHUN NAN SUN	Ward:	Don Valley West (25)
Agent:	BANANARCH DESIGN + BUILD	Heritage:	Not Applicable
Property Address:	92 ARJAY CRES	Community:	North York
Legal Description:	PLAN 3720 W PT LOT 6 N PT LOT 7		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling with integral garage and swimming pool.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.00m.
The proposed building depth is 23.24m.
- 2. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 12.13m.
The proposed rear yard setback is 9.00m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.00m.
The proposed building length is 19.99m.
- 4. Section 12.4(c), By-law No. 7625**
The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is 9.00m.
- 5. Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.80m.
The proposed building length is **23.24m**.

6. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.00m.
The proposed building height is **9.39m**.

7. Section 6(30)a, By-law No. 7625

The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.82m.

8. Section 6(9)(f), By-law No. 7625

Canopies shall be permitted to project into the minimum front yard setback not more than 2.10m but no closer to the side lot line than the minimum side yard setback.
The proposed front canopy projects 5.02m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Prior to the issuance of a Building Permit, the applicant/owner shall submit a complete application for permit to injure privately owned trees under Chapter 813 Article III, Private Trees, which application shall propose a minimum tree protection zone, to the City standard, from the edge of the trunk of each of the red oak trees, along the rear lot line, to be secured by hoarding throughout the construction period, such that no construction vehicles, construction activity, grading, landscaping or storage of materials may occur within the tree protection zone.

SIGNATURE PAGE

File Number:	A0537/17NY	Zoning	RD (f18.0; a690) (x863)/ R3 [ZZC]
Owner:	JIAO YINGCHUN NAN SUN	Ward:	Don Valley West (25)
Agent:	BANANARCH DESIGN + BUILD	Heritage:	Not Applicable
Property Address:	92 ARJAY CRES	Community:	North York
Legal Description:	PLAN 3720 W PT LOT 6 N PT LOT 7		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0538/17NY	Zoning	RD / R4 (BLD)
Owner(s):	HUYEN UNG	Ward:	Don Valley West (25)
Agent:	JAN TYMSTRA ARCHITECT	Heritage:	Not Applicable
Property Address:	12 DIDRICKSON DR	Community:	North York
Legal Description:	PLAN M866 LOT 167		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 9.95 m.
The proposed front yard setback is 7.49 m.
- 2. Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0 m.
The proposed rear stairs are 3.5 m wide.
- 3. Section 6(3)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.67 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

- 2. Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0 m.

The proposed rear stairs are 3.5 m wide.

3. Section 6(3)a, By-law No. 7625

The maximum finished first floor height is 1.5 m.

The proposed finished first floor height is 1.67 m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. Chapter 10.5.40.70.(1), By-law No. 569-2013

The required minimum front yard setback is 9.95 m.

The proposed front yard setback is 7.49 m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0538/17NY	Zoning	RD / R4 (BLD)
Owner:	HUYEN UNG	Ward:	Don Valley West (25)
Agent:	JAN TYMSTRA ARCHITECT	Heritage:	Not Applicable
Property Address:	12 DIDRICKSON DR	Community:	North York
Legal Description:	PLAN M866 LOT 167		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0539/17NY	Zoning	R4/RD[WAIVER]
Owner(s):	LEONARDO SPERDUTI	Ward:	Willowdale (23)
Agent:	PETER PITINO	Heritage:	Not Applicable
Property Address:	417 DREWRY AVE	Community:	North York
Legal Description:	PLAN 4083 LOT 3		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10(5), By-law No. 569-2013**
An area of 10m² of the first floor above established grade must be within 4m of the front main wall.
The proposed area of 0m² of the first floor above established grade is within 4m of the front main wall.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.8% of the lot area.
- 3. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.31m.
The proposed front yard setback is 5.75m.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The minimum required building length is 17.0m.
The proposed building length is 17.93m.
- 5. Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5m.
The proposed front yard setback is 5.75m.
- 6. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 17.93m including a rear canopy and excavated rear porch.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.10(5), By-law No. 569-2013**
An area of 10m² of the first floor above established grade must be within 4m of the front main wall.
The proposed area of 0m² of the first floor above established grade is within 4m of the front main wall.
3. **Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.31m.
The proposed front yard setback is 5.75m.
4. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The minimum required building length is 17.0m.
The proposed building length is 17.93m.
5. **Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5m.
The proposed front yard setback is 5.75m.
6. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 17.93m including a rear canopy and excavated rear porch.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

2. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.8% of the lot area; **such that, 25.76% of the lot coverage be allocated to the dwelling and 7.04% of the lot coverage be allocated to the existing detached garage.**

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0539/17NY	Zoning	R4/RD[WAIVER]
Owner:	LEONARDO SPERDUTI	Ward:	Willowdale (23)
Agent:	PETER PITINO	Heritage:	Not Applicable
Property Address:	417 DREWRY AVE	Community:	North York
Legal Description:	PLAN 4083 LOT 3		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0541/17NY	Zoning	RD / R6 (ZZC)
Owner(s):	GROVEPARK HOLDINGS LIMITED	Ward:	Willowdale (23)
Agent:	BRIAN FEELEY	Heritage:	Not Applicable
Property Address:	8 PEWTER RD	Community:	North York
Legal Description:	PLAN M412 PT LOTS 9 AND 10		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.10.(4), By-law No. 569-2013**
The permitted maximum height is 7.2 m
The proposed height is 8.27 m to the top of the architectural feature.
- Section 14-A(5)(b), By-law No. 7625**
The minimum required rear yard setback is 9.5 m.
The proposed rear yard setback is 7.56 m.
- Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.0 m.
The proposed building height is 8.15 m to the top of the architectural feature.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal be developed in accordance with the front, left side, right side, and rear elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, July 24, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

CLIENT:

FEELEY GROUP

PROJECT:

8 PEWTER ROAD,
NORTH YORK, TORONTO

REVISIONS

1	FEB 17 17	PLANS ISSUED FOR REVIEW
2	MAR 03 17	PLANS ISSUED FOR REVIEW
3	MAR 10 17	ELEVATIONS & BASEMENT ADDED
4	MAR 15 17	ISSUED FOR ZONING CERT.
5	APR 26 17	REVISED PER BYLAW NOTICE

MODEL:

AREA:

2619 sq.ft.

INCLUDES FIN. BSMT AREA AND O.T.B.

PROJECT

NUMBER:

17-05

DRAWN BY:

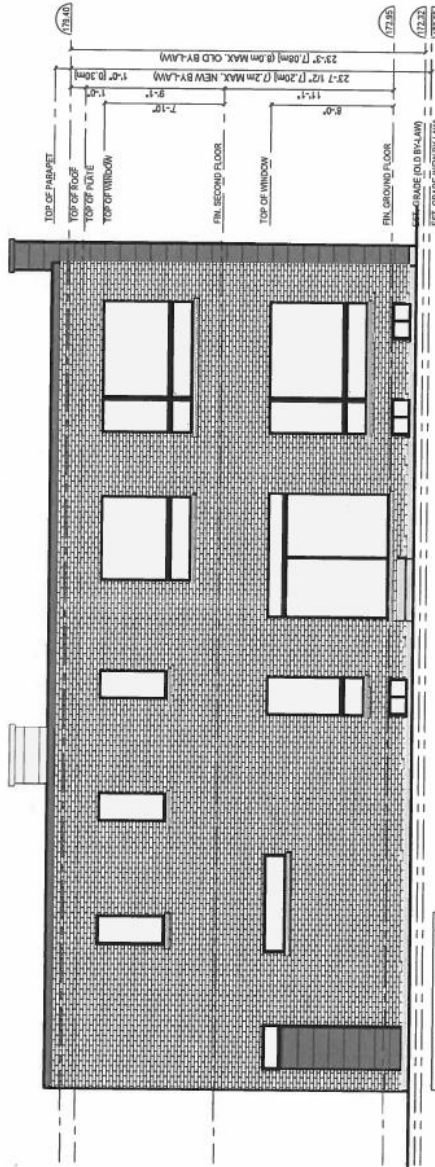
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SCALE:

1/8" = 1'-0"

DRAWING NO.:

7 OF 7



RECEIVED

JUL 24 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

FIBERISER
DESIGNS

20 RIVERVIEW ROAD, UNIT 101
SCARBOROUGH, ONTARIO
M1V 3K3
PHONE: (905) 669-2111
FAX: 1 (888) 602-1163
www.fiberiser.com

CLIENT:

FEELEY GROUP

PROJECT:

8 PEWTER ROAD,
NORTH YORK, TORONTO

REVISIONS

1	FEB.17.17	PLANS ISSUED FOR REVIEW
2	MAR.03.17	PLANS ISSUED FOR REVIEW
3	MAR.10.17	ELEVATIONS & BASEMENT ADDED
4	MAR.15.17	ISSUED FOR ZONING CERT.
5	APR.26.17	REVISED PER BYLAW NOTICE

MODEL:

AREA:

2619 sq.ft.

INCLUDES FIN. BSMT AREA AND O.T.B.

PROJECT NUMBER:

17-05

DRAWN BY:

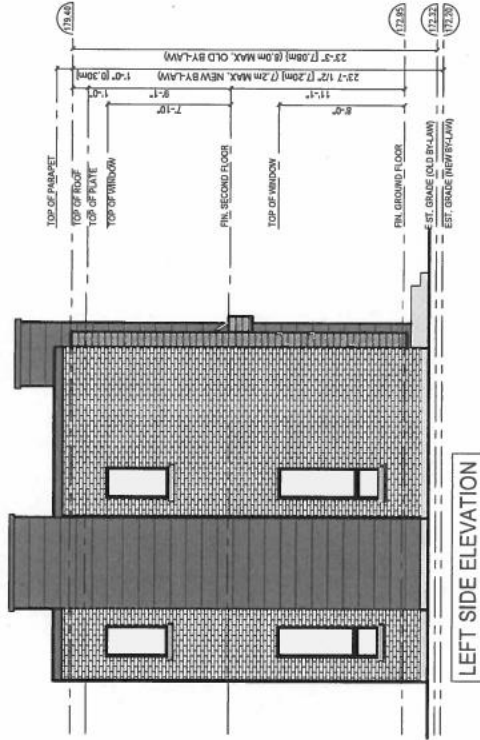
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SCALE:

1/8" = 1'-0"

DRAWING NO.:

5 OF 7



LEFT SIDE ELEVATION

RECEIVED

JUL 24 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

CLIENT:

FEELEY GROUP

PROJECT:

8 PEWTER ROAD,
NORTH YORK, TORONTO

REVISIONS

1	FEB.17.17	PLANS ISSUED FOR REVIEW
2	MAR.03.17	PLANS ISSUED FOR REVIEW
3	MAR.10.17	ELEVATIONS & BASEMENT ADDED
4	MAR.15.17	ISSUED FOR ZONING CERT.
5	APR.26.17	REVISED PER BY-LAW NOTICE

MODEL:

AREA:

2619 sq.ft.

INCLUDES FIN. BSMT AREA AND O.T.B.

PROJECT NUMBER:

17-05

DRAWN BY:

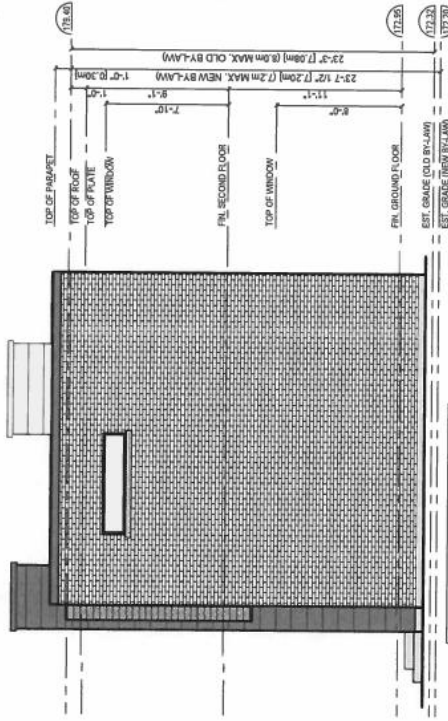
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SCALE:

1/8" = 1'-0"

DRAWING NO.:

6 OF 7



RIGHT SIDE ELEVATION

RECEIVED

JUL 24 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

SIGNATURE PAGE

File Number:	A0541/17NY	Zoning	RD / R6 (ZZC)
Owner:	GROVEPARK HOLDINGS LIMITED	Ward:	Willowdale (23)
Agent:	BRIAN FEELEY	Heritage:	Not Applicable
Property Address:	8 PEWTER RD	Community:	North York
Legal Description:	PLAN M412 PT LOTS 9 AND 10		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0542/17NY	Zoning	RD (f15.0; a550) (x5)/R5[ZONING]
Owner(s):	XIAOYU FENG	Ward:	York Centre (10)
Agent:	CHENG ZHANG	Heritage:	Not Applicable
Property Address:	83 SEARLE AVE	Community:	North York
Legal Description:	PLAN 1899 PT LOT 322		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey dwelling, including a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The existing and proposed east side yard setback is 1.28m.
- 2. Chapter 10.10.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The existing and proposed west side yard setback is 1.47m.
- 3. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 8.52m.
The proposed front yard setback is 7.58m.
- 4. Chapter 10.20.30.40.(1)(A), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 33.8% of the lot area.
- 5. Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform may encroach into the required rear yard setback if it is no closer to a side lot line than the required side yard setback 1.8m
The proposed platform permitted to encroaches required rear yard setback and is 1.47m closer to the side lot line than the required setback.

6. **Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 33.8% of the lot area.
7. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The existing and proposed east side yard setback is 1.28m.
8. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The existing and proposed west side yard setback is 1.47m.
9. **Section 6(30)a, By-law No. 7625**
The maximum permitted finished first floor height is 1.5m.
The proposed finished first floor height is 1.53m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0542/17NY	Zoning	RD (f15.0; a550) (x5)/R5[ZONING]
Owner:	XIAOYU FENG	Ward:	York Centre (10)
Agent:	CHENG ZHANG	Heritage:	Not Applicable
Property Address:	83 SEARLE AVE	Community:	North York
Legal Description:	PLAN 1899 PT LOT 322		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0544/17NY	Zoning	RM / RM2
Owner(s):	STEFAN LAZAR JULIA LAZAR	Ward:	Don Valley East (34)
Agent:	JULIA LAZAR	Heritage:	Not Applicable
Property Address:	99 PINEMORE CRES	Community:	North York
Legal Description:	PLAN 5439 W PT LOT 257		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second storey addition to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 17(4)(c)(ii)(B)(I), By-law No. 7625

For an addition to only one of the semi-detached dwelling units, the minimum side yard setback for the addition shall be 0.6 m from the lot line separating the two units.

The proposed setback from the common lot line is 0 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0544/17NY	Zoning	RM / RM2
Owner:	STEFAN LAZAR JULIA LAZAR	Ward:	Don Valley East (34)
Agent:	JULIA LAZAR	Heritage:	Not Applicable
Property Address:	99 PINEMORE CRES	Community:	North York
Legal Description:	PLAN 5439 W PT LOT 257		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0545/17NY	Zoning	RD(f18.0,A690)/R3[ZONIN G]
Owner(s):	DAVID BARKER STELLA CHENG	Ward:	Don Valley West (25)
Agent:	MONDA MANIOS	Heritage:	Not Applicable
Property Address:	5 PINE FOREST RD	Community:	North York
Legal Description:	PLAN 4458 LOT 4		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey front addition including a one-storey covered porch to the existing two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.70.(2), By-law No. 569-2013**
The minimum required front yard setback is 11.37m.
The proposed front yard setback is 7.0m.
- Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.45m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

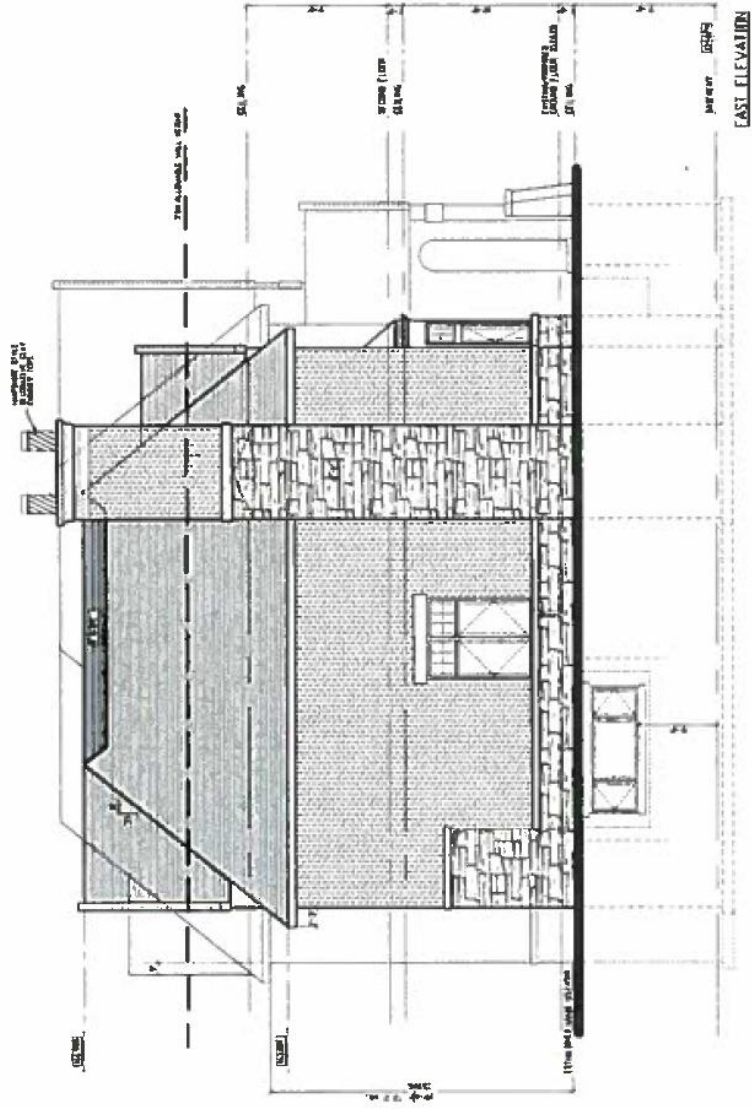
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed in accordance with the East and West Elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, July 25, 2017, and the attached site plan.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



RECEIVED

JUL 25 2017

Toronto City Planning
North York District

MD MonArch Design 1 The Woodbine Toronto, Ontario M4M 1A7 Tel: (416) 462-2888 Fax: (416) 462-1887 Email: info@monarch.ca Web: www.monarch.ca		Project Name and Address RENOVATION/ADDITION 5 PINE FOREST ROAD LAWRENCE PARK
Project EAST ELEVATION	Date MAY 2017	Scale 1/8" = 1'-0"
Prepared by ZORNO & CO. ARCHITECTS		Checked by ZORNO & CO. ARCHITECTS

SIGNATURE PAGE

File Number:	A0545/17NY	Zoning	RD(f18.0,A690)/R3[ZONIN G]
Owner:	DAVID BARKER STELLA CHENG	Ward:	Don Valley West (25)
Agent:	MONDA MANIOS	Heritage:	Not Applicable
Property Address:	5 PINE FOREST RD	Community:	North York
Legal Description:	PLAN 4458 LOT 4		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0135/17NY	Zoning:	Rd / R5 (ZR)
Owner(s):	LEAH HANDELSMAN LEAH HANDELSMAN	Ward:	Eglinton-Lawrence (15)
Agent:	SARAH IFRAH ARCHITECT	Heritage:	Not Applicable
Property Address:	61 RIDGEVALE DR	Community:	North York
Legal Description:	PLAN 3864 L 398 + PART OF LANE RP3864 SHOWN AS PART 4 ON RP64R10859		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second story addition to the existing dwelling. This file was previously deferred on April 20th, 2017

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10, By-law No. 569-2013**
The required minimum front yard soft landscaping is 75%.
The proposed front yard soft landscaping is 71.32%.
- 2. Chapter 900(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is 1.67 m.
- 3. Chapter 900(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.14 m.
- 4. Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 1.8 m.
The proposed platform permitted encroachment into the required rear yard setback but is 1.14 m from the west side lot line.
- 5. Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80 m.
The proposed east side yard setback is 1.67 m.

6. Section 6(30)a, By-law No. 7625

The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.65 m.

7. Section 14.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.14 m.

8. Section 6(24), By-law No. 7625

Unexcavated porches and decks shall be permitted to encroach in the rear yard setback but no closer to the side lot line than the required 1.8 m.
The proposed deck encroaches 3.65 m and is 1.14 m from the west side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0135/17NY	Zoning	Rd / R5 (ZR)
Owner:	LEAH HANDELSMAN LEAH HANDELSMAN	Ward:	Eglinton-Lawrence (15)
Agent:	SARAH IFRAH ARCHITECT	Heritage:	Not Applicable
Property Address:	61 RIDGEVALE DR	Community:	North York
Legal Description:	PLAN 3864 L 398 + PART OF LANE RP3864 SHOWN AS PART 4 ON RP64R10859		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0056/16NY	Zoning	R4(waiver)
Owner(s):	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Notice was given and the application considered on Thursday, August 3, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into eight residential lots with vehicular access from Peckham Avenue.

Retained -Part 1

Address to be assigned

The frontage is 15.694m and the lot area is 749.57m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s).

Conveyed - Part 2

Address to be assigned

The frontage is 15.091m and the lot area is 745.83m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s).

Conveyed - Part 3

Address to be assigned

The frontage is 15.076m and the lot area is 770.13m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s).

Conveyed - Part 4

Address to be assigned

The frontage is 15.018m and the lot area is 778.40m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s).

Conveyed - Part 5

Address to be assigned

The frontage is 15.471m and the lot area is 747.76m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s).

Conveyed - Part 6

Address to be assigned

The frontage is 16.690m and the lot area is 673.25m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s).

Conveyed - Part 7

Address to be assigned

The frontage is 16.602m and the lot area is 558.18m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s).

Conveyed - Part 8

Address to be assigned

The frontage is 36.194m and the lot area is 1,004.95m². The property will be redeveloped as the site of a new detached two-storey dwelling requiring variances to the applicable zoning By-law(s).

PART 9 is a corner rounding.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.

(5) **The requirements of the Parks and Recreation, Urban Forestry Division;**

- i) The applicant shall submit the necessary application for permits to injure or remove street trees to Urban Forestry, City of Toronto Municipal Code Chapter 813, Article II.
- ii) The applicant shall submit an application for permits to injure or remove private trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
- iii) Where no street tree exists, the owner shall provide payment in the amount of \$583 to cover the cost of planting a street tree abutting the site to the satisfaction of the General Manager, PFR

(6) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

PLAN 66R-
RECEIVED AND DEPOSITED

DATE: _____

LAURENCE J. MULLINS
REGISTERED PROFESSIONAL SURVEYOR
ONTARIO LAND SURVEYOR

PART	LOT	SCHEDULE	REGD. PLAN	PIN	AREA (M ²)
1	PART 1, LOT 585	2366			742.76
2	PART 2, LOT 585	2366			632.25
3	PART 3, LOT 585	2366			558.19
4	PART 4, LOT 585	2366			1004.95
5	PART 5, LOT 585	2366			4.47

PLAN OF SURVEY OF
PART OF LOTS 427, 579, 580, 583, 585 AND
ALL OF LOT 584
AND
PART OF HARVEY AVENUE
AND
PART OF MOORE PARK AVENUE
(CLOSED BY BY-LAW 9676, INSTRUMENT NOS. N1207919 AND N1207920)
AND
1ST RESERVE AT NORTH END OF HARVEY STREET
REGISTERED PLAN 2366
CITY OF TORONTO
(FORMERLY THE CITY OF NORTH YORK)

SCALE: 1:2500

GUIDO PAPA SURVEYING
A DIVISION OF J.M. BARNES LIMITED

METRIC UNITS AND COORDINATES SHOWN HEREIN ARE IN METERS
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEYOR'S CERTIFICATE:
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
WITH THE SURVEY ACT AND REGULATIONS MADE UNDER THEREIN.
2. THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____, 2015.

NAME: _____
TITLES: _____
OFFICIAL LAND SURVEYOR

INTERSECTION DATA

WEATHER CONDITIONS: CLEAR, B. WIND: CALM, TEMPERATURE: 15°C, RELATIVE HUMIDITY: 65%, BAROMETRIC PRESSURE: 1013.25 hPa, DATE: 2015-07-17, TIME: 10:30 AM

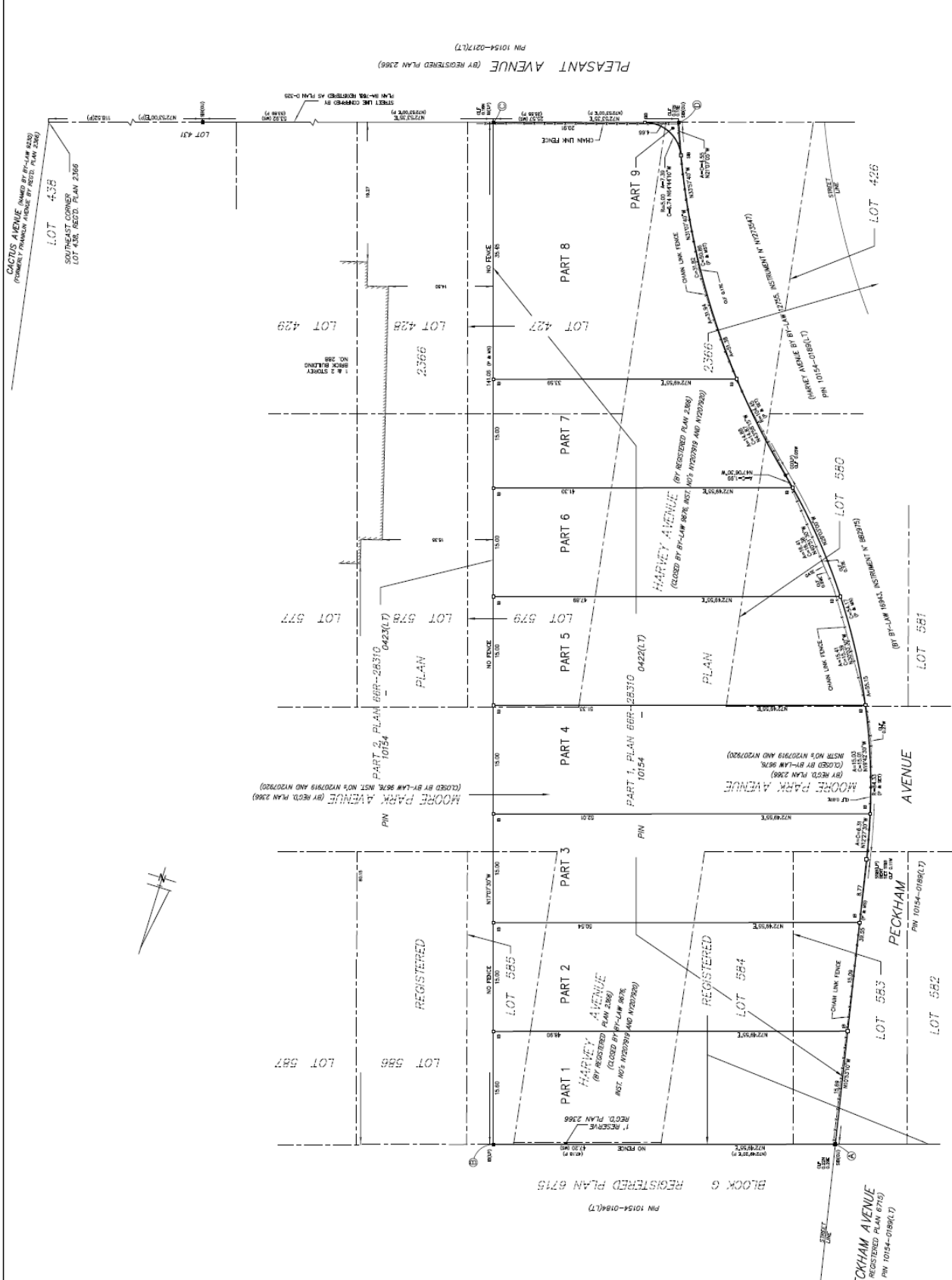
POINT	NORTHING	EASTING	HEIGHT
1	455551.73	705514.77	100.00
2	455551.73	705514.77	100.00
3	455551.73	705514.77	100.00
4	455551.73	705514.77	100.00
5	455551.73	705514.77	100.00
6	455551.73	705514.77	100.00
7	455551.73	705514.77	100.00
8	455551.73	705514.77	100.00
9	455551.73	705514.77	100.00

NOTE:
1. SURVEY MONUMENTS PLACED AT THE INTERSECTION OF HARVEY AVENUE AND MOORE PARK AVENUE.
2. SURVEY MONUMENTS PLACED AT THE INTERSECTION OF HARVEY AVENUE AND PECKHAM AVENUE.
3. SURVEY MONUMENTS PLACED AT THE INTERSECTION OF HARVEY AVENUE AND LOT 585.
4. SURVEY MONUMENTS PLACED AT THE INTERSECTION OF HARVEY AVENUE AND LOT 584.
5. SURVEY MONUMENTS PLACED AT THE INTERSECTION OF HARVEY AVENUE AND LOT 583.
6. SURVEY MONUMENTS PLACED AT THE INTERSECTION OF HARVEY AVENUE AND LOT 582.

GUIDO PAPA SURVEYING
A Division of J.M. Barnes Limited

211 CHERYLWOOD WOODBINE, ONTARIO, CANADA M3J 1S1
TEL: 416-291-2277 FAX: 416-291-2278 WWW.GUIDOPAPASURVEYING.COM

PLAN NO: _____ DATE: 15-07-2015
SHEET NO: 1 OF 1



PECKHAM AVENUE (BY REGISTERED PLAN 6715) PIN 10154-0184(LT)

MOORE PARK AVENUE (BY REGD. PLAN 2366) (CLOSED BY BY-LAW 9676, INST. NOS. N1207919 AND N1207920)

HARVEY AVENUE (CLOSED BY BY-LAW 9676, INST. NOS. N1207919 AND N1207920)

LOT 585

LOT 584

LOT 583

LOT 582

LOT 579

LOT 578

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CACTUS AVENUE (CLOSED BY BY-LAW 8220) (FORMERLY PARKWAY AVENUE) (BY REGD. PLAN 2366)

LOT 438

LOT 429

LOT 428

LOT 427

LOT 426

PECKHAM AVENUE (BY REGISTERED PLAN 6715) PIN 10154-0184(LT)

MOORE PARK AVENUE (BY REGD. PLAN 2366) (CLOSED BY BY-LAW 9676, INST. NOS. N1207919 AND N1207920)

HARVEY AVENUE (CLOSED BY BY-LAW 9676, INST. NOS. N1207919 AND N1207920)

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SIGNATURE PAGE

File Number:	B0056/16NY	Zoning	R4(waiver)
Owner(s):	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 30, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0776/16NY	Zoning	R4(waiver)
Owner(s):	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 1	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 13, (13.2.4(a)), Zoning By-law No. 7625**
The maximum Lot coverage shall be 30.00%.
The proposed dwelling provides a maximum lot coverage of 32.00%, excluding porches.
- 2. Section 13, (13.2.5A, 1.1 (b)), Zoning By-law No. 7625**
The maximum length of dwelling is 16.80m.
The maximum length of dwelling proposed is 25.00m.
- 3. Section 13, (13.2.6(ii)), Zoning By-law No. 7625**
A maximum building height of 8.80m and maximum of 2 storeys.
The proposed dwelling will provide a maximum building height of 9.10m and maximum of 2 storeys.
- 4. Section 6, (6(30)(a)(i)), Zoning By-law No. 7625**
The finished first floor elevation of a single detached dwelling shall be no higher than 1.50m above established grade.
The proposed dwelling shall have a maximum finished first floor elevation of 1.80m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0776/16NY	Zoning	R4(waiver)
Owner:	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 1	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0778/16NY	Zoning	R4(waiver)
Owner(s):	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 2	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 13, (13.2.4(a)), Zoning By-law No. 7625**
The maximum Lot coverage shall be 30.00%.
The proposed dwelling provides a maximum lot coverage of 32.00%, excluding porches.
- 2. Section 13, (13.2.5A, 1.1 (b)), Zoning By-law No. 7625**
The maximum length of dwelling is 16.80m.
The maximum length of dwelling proposed is 22.00m.
- 3. Section 13, (13.2.6(ii)), Zoning By-law No. 7625**
A maximum building height of 8.80m and maximum of 2 storeys.
The proposed dwelling will provide a maximum building height of 9.10m and maximum of 2 storeys.
- 4. Section 6, (6(30)(a)(i)), Zoning By-law No. 7625**
The finished first floor elevation of a single detached dwelling shall be no higher than 1.50m above established grade.
The proposed dwelling shall have a maximum finished first floor elevation of 1.80m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0778/16NY	Zoning	R4(waiver)
Owner:	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 2	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0777/16NY	Zoning:	R4(waiver)
Owner(s):	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 3	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 13, (13.2.4(a)), of By-law No. 7625**
The maximum Lot coverage shall be 30.00%.
The proposed dwelling provides a maximum lot coverage of 32.00%, excluding porches.
- Section 13, (13.2.5A, 1.1 (b)), of By-law No. 7625**
The maximum length of dwelling is 16.80m.
The maximum length of dwelling proposed is 22.00m.
- Section 13, (13.2.6(ii)), of By-law No. 7625**
A maximum building height of 8.80m and maximum of 2 storeys.
The proposed dwelling will provide a maximum building height of 9.10m and maximum of 2 storeys.
- Section 6, (6(30)(a)(i)), of By-law No. 7625**
The finished first floor elevation of a single detached dwelling shall be no higher than 1.50m above established grade.
The proposed dwelling shall have a maximum finished first floor elevation of 1.80m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0777/16NY	Zoning	R4(waiver)
Owner:	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 3	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0779/16NY	Zoning:	R4(waiver)
Owner(s):	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE –LOT 4	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 13, (13.2.4(a)), of By-law No. 7625**
The maximum Lot coverage shall be 30.00%.
The proposed dwelling provides a maximum lot coverage of 32.00%, excluding porches.
- 2. Section 13, (13.2.5A, 1.1 (b)), of By-law No. 7625**
The maximum length of dwelling is 16.80m.
The maximum length of dwelling proposed is 22.00m.
- 3. Section 13, (13.2.6(ii)), of By-law No. 7625**
A maximum building height of 8.80m and maximum of 2 storeys.
The proposed dwelling will provide a maximum building height of 9.10m and maximum of 2 storeys.
- 4. Section 6, (6(30)(a)(i)), of By-law No. 7625**
The finished first floor elevation of a single detached dwelling shall be no higher than 1.50m above established grade.
The proposed dwelling shall have a maximum finished first floor elevation of 1.80m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0779/16NY	Zoning	R4(waiver)
Owner:	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE –LOT 4	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0780/16NY	Zoning:	R4(waiver)
Owner(s):	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 5	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 13, (13.2.4(a)), of By-law No. 7625**
The maximum Lot coverage shall be 30.00%.
The proposed dwelling provides a maximum lot coverage of 32.00%, excluding porches.
- 2. Section 13, (13.2.5A, 1.1 (b)), of By-law No. 7625**
The maximum length of dwelling is 16.80m.
The maximum length of dwelling proposed is 22.00m.
- 3. Section 13, (13.2.6(ii)), of By-law No. 7625**
A maximum building height of 8.80m and maximum of 2 storeys.
The proposed dwelling will provide a maximum building height of 9.10m and maximum of 2 storeys.
- 4. Section 6, (6(30)(a)(i)), of By-law No. 7625**
The finished first floor elevation of a single detached dwelling shall be no higher than 1.50m above established grade.
The proposed dwelling shall have a maximum finished first floor elevation of 1.80m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0780/16NY	Zoning	R4(waiver)
Owner:	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 5	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0781/16NY	Zoning:	R4(waiver)
Owner(s):	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 6	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 13, (13.2.4(a)), of By-law No. 7625**
The maximum Lot coverage shall be 30.00%.
The proposed dwelling provides a maximum lot coverage of 32.00%, excluding porches.
- 2. Section 13, (13.2.5A, 1.1 (b)), of By-law No. 7625**
The maximum length of dwelling is 16.80m.
The maximum length of dwelling proposed is 22.00m.
- 3. Section 13, (13.2.6(ii)), of By-law No. 7625**
A maximum building height of 8.80m and maximum of 2 storeys.
The proposed dwelling will provide a maximum building height of 9.10m and maximum of 2 storeys.
- 4. Section 6, (6(30)(a)(i)), of By-law No. 7625**
The finished first floor elevation of a single detached dwelling shall be no higher than 1.50m above established grade.
The proposed dwelling shall have a maximum finished first floor elevation of 1.80m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0781/16NY	Zoning	R4(waiver)
Owner:	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 6	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, August 3, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0782/16NY	Zoning	R4(waiver)
Owner(s):	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 7	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 13, (13.2.4(a)), of By-law No. 7625**
The maximum Lot coverage shall be 30.00%.
The proposed dwelling provides a maximum lot coverage of 32.00%, excluding porches.
- Section 13, (13.2.5A, 1.1 (b)), of By-law No. 7625**
The maximum length of dwelling is 16.80m.
The maximum length of dwelling proposed is 22.00m.
- Section 13, (13.2.6(ii)), of By-law No. 7625**
A maximum building height of 8.80m and maximum of 2 storeys.
The proposed dwelling will provide a maximum building height of 9.10m and maximum of 2 storeys.
- Section 6, (6(30)(a)(i)), of By-law No. 7625**
The finished first floor elevation of a single detached dwelling shall be no higher than 1.50m above established grade.
The proposed dwelling shall have a maximum finished first floor elevation of 1.80m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0782/16NY	Zoning	R4(waiver)
Owner:	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 7	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0783/16NY	Zoning	R4(waiver)
Owner(s):	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 8	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 2, (2.52.7(b)(i)) of By-law No. 7625**
Front Lot Line means the lot line that abuts a street. In the case of a corner lot, the front lot line shall be the shorter lot line that abuts a street.
The Front Lot Line for Lot 8 shall be Peckham Avenue.
- Section 13, (13.2.4(a)), of By-law No. 7625**
The maximum Lot coverage shall be 30.00%.
The proposed dwelling provides a maximum lot coverage of 32.00%, excluding porches.
- Section 13, (13.2.5A, 1.1 (b)), of By-law No. 7625**
The maximum length of dwelling is 16.80m.
The maximum length of dwelling proposed is 22.00m.
- Section 13, (13.2.6(ii)), of By-law No. 7625**
A maximum building height of 8.80m and maximum of 2 storeys.
The proposed dwelling will provide a maximum building height of 9.10m and maximum of 2 storeys.
- Section 6, (6(30)(a)(i)), of By-law No. 7625**
The finished first floor elevation of a single detached dwelling shall be no higher than 1.50m above established grade.
The proposed dwelling shall have a maximum finished first floor elevation of 1.80m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0783/16NY	Zoning	R4(waiver)
Owner:	LIVANTE HOLDINGS (PECKHAM AVENUE) INC	Ward:	Willowdale (23)
Agent:	M BEHAR PLANNING & DESIGN INC	Heritage:	Not Applicable
Property Address:	85 PECKHAM AVE – LOT 8	Community:	North York
Legal Description:	PLAN 2366 LOT 584 TO LOT 589 PT LOT 583 PT LOT 580 PT LOT 590 PT LOT 574 PT LOT 432 LOT 575 TO LOT		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, August 3, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0006/17NY	Zoning	R4/RD(x5)(ZR)
Owner(s):	NORMAN WONG	Ward:	Willowdale (23)
Agent:	MONDA MANIOS	Heritage:	Not Applicable
Property Address:	169 GOULDING AVE	Community:	North York
Legal Description:	PLAN 2366 LOT 243 LOT 244		

Notice was given and the application considered on Thursday, August 3, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained lot: - PART 1

Address to be assigned

The proposed lot frontage is 13.01m. The proposed lot area is 523.15 m²

The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0047/17NY.

Conveyed - PART 2

Address to be assigned

The proposed lot frontage is 14.03m. The proposed lot area is 626.43m².

The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0048/17NY.

PART 3 - corner rounding dedication to the City

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) **TRANSPORTATION SERVICES CONDITIONS**
 - i) Revise the Draft R-Plan to illustrate a 5.0 m comer rounding at the northwest comer of Part 2; and
 - ii) The above lands are to be conveyed to the City for a nominal sum and must be separated by a different PART.
- (6) **ENGINEERING AND CONSTRUCTION SERVICES CONDITIONS**
 - i) Prepare all documents and convey to the City, at nominal cost, a 5 m radius comer rounding at the northwest comer of Part 2, in fee simple, such lands to be free and clear of all physical and title encumbrances, and subject to a right-of-way for access in favour of the Granter until such time as said lands have been dedicated as a public highway, all to the satisfaction of the Executive Director of Engineering and Construction Services and the City Solicitor.
 - ii) Submit a draft Reference Plan of Survey to the Executive Director of Engineering and Construction Services, for review and approval, prior to depositing it in the Land Registry Office. The plan should:
 - a) be in metric units and integrated to the 1983 North American Datum (Canadian Spatial Reference System) and the 3 degree Modified Transverse Mercator Projection;
 - b) delineate by separate PARTS the lands to be conveyed to the City, the remainder of the site and any appurtenant rights-of-way and easements; and
 - c) show the co-ordinate values of the main comers of the subject lands in a schedule on the face of the plan.
 - iii) Pay all costs for registration and preparation of reference plan(s).
- (7) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or

subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0006/17NY	Zoning	R4/RD(x5)(ZR)
Owner(s):	NORMAN WONG	Ward:	Willowdale (23)
Agent:	MONDA MANIOS	Heritage:	Not Applicable
Property Address:	169 GOULDING AVE	Community:	North York
Legal Description:	PLAN 2366 LOT 243 LOT 244		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 30, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, August 3, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0048/17NY	Zoning	R4/RD(x5)(ZR)
Owner(s):	NORMAN WONG	Ward:	Willowdale (23)
Agent:	MONDA MANIOS	Heritage:	Not Applicable
Property Address:	169 GOULDING AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2366 LOT 243 LOT 244		

Notice was given and a Public Hearing was held on Thursday, August 3, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed west side yard is 1.22m.

2. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed east side yard is 1.22m.

3. Chapter 10.5.40.70, Zoning By-law No. 569-2013

(1)(B) The minimum required building front yard setback is 7.28m.
The proposed building front yard setback is 6.55m.

4. Chapter 10.5.40.10, Zoning By-law No. 569-2013

(5) A minimum of 10.0m² of the first floor must be within 4.0 m of the front main wall.
Proposed 5.04 m² area is within 4 m of the front main wall.

5. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15.0 m.
The proposed lot frontage is 14.03 m.

6. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 30 % of the lot area.
The proposed lot coverage is **31.2%** of the lot area.

7. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013

A)(i) The permitted maximum height of all front exterior main walls is 7.5 m.

The proposed height of the front exterior main walls is **8.17 m**.

A)(ii) The permitted maximum height of all rear exterior main walls is 7.5 m.

The proposed height of the rear exterior main walls is **8.17 m**.

8. Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013

The permitted maximum building length for a detached house is 17.0 m.

The proposed building length is **17.27 m**.

9. Chapter 10.5.40.60.(1), Zoning By-law No. 569-2013

(A)(i) A platform without main walls, attached to or less than 0.3 metres from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5 m if it is no closer to a side lot line than the required side yard setback.

The proposed platform encroaches 2.62 m into the required front yard setback and is 1.11 m closer to the side lot line than the required setback.

10. Chapter 10.5.80.40.(3), Zoning By-law No. 569-2013

(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.

The proposed vehicle access to a parking space is from the front yard street.

11. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15.0 m.

The proposed lot frontage is 14.11 m.

12. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The lot width is 14.03m.

13. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required west side yard setback is 1.7m.

The proposed west side yard setback is 1.22m.

14. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required east side yard setback is 1.7m.

The proposed east side yard setback is 1.22m.

15. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is **31.27%** of the lot area.

16. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is **9.28m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed west side yard is 1.22m.

3. Chapter 10.5.40.70, Zoning By-law No. 569-2013

(1)(B) The minimum required building front yard setback is 7.28m.
The proposed building front yard setback is 6.55m.

4. Chapter 10.5.40.10, Zoning By-law No. 569-2013

(5) A minimum of 10.0m² of the first floor must be within 4.0 m of the front main wall.
Proposed 5.04 m² area is within 4 m of the front main wall.

5. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15.0 m.
The proposed lot frontage is 14.03 m.

6. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 30 % of the lot area.
The proposed lot coverage is **31.2%** of the lot area.

8. Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013

The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is **17.27 m**.

9. Chapter 10.5.40.60.(1), Zoning By-law No. 569-2013

(A)(i) A platform without main walls, attached to or less than 0.3 metres from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5 m if it is no closer to a side lot line than the required side yard setback.
The proposed platform encroaches 2.62 m into the required front yard setback and is 1.11 m closer to the side lot line than the required setback.

10. Chapter 10.5.80.40.(3), Zoning By-law No. 569-2013

(B) Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front yard street.

11. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15.0 m.
The proposed lot frontage is 14.11 m.

12. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
The lot width is 14.03m.

13. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required west side yard setback is 1.7m.
The proposed west side yard setback is 1.22m.

15. Section 13.2.4, Zoning By-law No. 7625

The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is **31.27%** of the lot area.

16. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is **9.28m**.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

2. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.

The proposed east side yard is **1.52m**.

7. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013

A)(i) The permitted maximum height of all front exterior main walls is 7.5 m.

The proposed height of the front exterior main walls is **7.50m**.

A)(ii) The permitted maximum height of all rear exterior main walls is 7.5 m.

The proposed height of the rear exterior main walls is **7.50m**.

14. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required east side yard setback is 1.7m.

The proposed east side yard setback is **1.52m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0048/17NY	Zoning	R4/RD(x5)(ZR)
Owner:	NORMAN WONG	Ward:	Willowdale (23)
Agent:	MONDA MANIOS	Heritage:	Not Applicable
Property Address:	169 GOULDING AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2366 LOT 243 LOT 244		

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, August 10, 2017

LAST DATE OF APPEAL: Wednesday, August 23, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.