

**COMMITTEE OF ADJUSTMENT
AGENDA
SCARBOROUGH PANEL****Hearing Date:** September 7, 2017**Time:** 9:30 a.m.**Location:** Council Chamber - Scarborough Civic Centre - 150 Borough Drive**1. OPENING REMARKS**

- **Declarations of Interest**
- **Confirmation of Minutes from Previous Hearing**

2. DEPUTATION ITEMS**The following applications will be heard at 9:30 a.m. or shortly thereafter:**

File Number	Owner	Property	Community (Ward)
<u>COMBINED APPLICATIONS</u>			
1. B0018/17SC, A0127/17SC & A0128/17SC	BIJOY KUMAR PAUL MUKTA DAS	37 WANSTEAD AVE	Scarborough Southwest (35)
2. B0028/17SC, A0187/17SC, A0227/17SC	MICHEL PROULX NINON PROULX	18 PARKCREST DR	Scarborough Southwest (36)
3. B0032/17SC, A0209/17SC & A0210/17SC	FARHANA AKTHER CHOWDHURY	211 MCINTOSH ST	Scarborough Southwest (36)
4. B0033/17SC, A0218/17SC, A0219/17SC	LENNIE RODRIGUEZ ALLAN PERKINS	48 WOLCOTT AVE	Scarborough Southwest (35)
5. B0034/17SC, A0220/17SC, A0221/17SC	TAHERA ISLAM TALAT MAHMUD	122 LINDEN AVE	Scarborough Southwest (35)

- | | | | | |
|----|---|----------------------|---------------|----------------------------|
| 6. | B0036/17SC,
A0230/17SC &
A0231/17SC | MIZANUR
CHOWDHURY | 94 PITT AVE | Scarborough Southwest (35) |
| 7. | B0037/17SC,
A0237/17SC &
A0238/17SC | ISRAT JAHAN MRIDHA | 94 PRESTON ST | Scarborough Southwest (36) |

MINOR VARIANCE APPLICATIONS

- | | | | | |
|-----|------------|---|---|---------------------------------|
| 8. | A103/14SC | KENNEDY COMMONS
INC | 1, 8, 11, 12, 15, 16, 20,
21, 23, 25, 26, 27, 29,
33, 35 & 37 WILLIAM
KITCHEN RD | Scarborough-Agincourt (40) |
| 9. | A0191/17SC | MARGARET ANNE
KERESTECI | 247 RIDGEWOOD RD | Scarborough East (44) |
| 10. | A0204/17SC | EAGRE HOLDINGS
LIMITED | 3781-3791 VICTORIA
PARK AVE | Scarborough-Agincourt (39) |
| 11. | A0206/17SC | NASREEN HOSSAIN
SYED SHAHADAT
HOSSAIN | 1343 WARDEN AVE | Scarborough Centre (37) |
| 12. | A0208/17SC | CARMELO MIZZI | 32 PHENIX DR | Scarborough Southwest (36) |
| 13. | A0224/17SC | MELFORD
INDUSTRIAL INC | 90 MELFORD DR
UNIT 23 | Scarborough-Rouge River
(42) |
| 14. | A0225/17SC | 1428914 ONTARIO INC | 86 MELFORD DR -
UNITS 2 & 3 | Scarborough-Rouge River
(42) |
| 15. | A0226/17SC | MARK WOULD | 17 BRIAR DALE
BLVD | Scarborough Southwest (36) |
| 16. | A0228/17SC | HARPLIN INC
HARPLIN INC | 599-605 KENNEDY RD | Scarborough Southwest (35) |
| 17. | A0233/17SC | PERSAUD BHESHAM | 16 FEENEY AVE | Scarborough-Rouge River
(42) |
| 18. | A0234/17SC | SAMAD RASHID | 72 CLONMORE DR | Scarborough Southwest (36) |
| 19. | A0235/17SC | LEPHUONG LU
THEMICH LUONG | 36 DONALDA CRES | Scarborough-Rouge River
(41) |
| 20. | A0236/17SC | MICHAEL HERMAN | 14 JANELLAN TER | Scarborough East (44) |

21.	A0240/17SC	ZAVEN SIMONIAN	496 HUNTINGWOOD DR	Scarborough-Agincourt (40)
22.	A0241/17SC	CATHERINE LYNN THORNTON	114 BROOKLAWN AVE	Scarborough Southwest (36)
23.	A0243/17SC	EMPIRE PACE (1088 PROGRESS) LTD	1070 PROGRESS AVE	Scarborough-Rouge River (42)
24.	A0249/17SC	CHAD NELSON	37 FALAISE RD	Scarborough East (43)
25.	A0250/17SC	RAJAT KANTI CHAKRABARTY ARPITA BISWAS	63 INNISWOOD DR	Scarborough Centre (37)
26.	A0259/17SC	LI TAO CHAN	15 BELLEFONTAINE ST	Scarborough-Agincourt (39)
27.	A0263/17SC	NATALIYA BALKO YURIY BALKO	60 CHINE DR	Scarborough Southwest (36)
28.	A0265/17SC	SHERYLIN BIASON RONALDO BIASON	38 MILLDOCK DR	Scarborough East (44)
29.	A0273/17SC	AMARPREET BAKSHI	19 ARDEN CRES	Scarborough Southwest (35)
30.	A0275/17SC	MOHSEN KHADEMI	3 IONSON BLVD	Scarborough Southwest (36)

3. OTHER BUSINESS

None.

4. TORONTO LOCAL APPEAL BODY (TLAB)

Appeals:

There are currently no appeals from the August 10, 2017 Hearing.

5. DATE OF NEXT MEETING: October 5, 2017

6. ADJOURNMENT

- * **Website for City of Toronto, Committee of Adjustment Agendas and Decisions:**
<https://www1.toronto.ca/wps/portal/contentonly?vgnextoid=29a8c64a28c0c510VgnVCM10000071d60f89RCRD>

Please Note: Looking for information regarding Case Manager on a file and/or hearing date prior to the agenda? Please use the following link:

- * **Website for City Planning "Application Information Centre" (AIC);**
<http://app.toronto.ca/DevelopmentApplications/mapSearchSetup.do?action=init>
For Committee of Adjustment, please "select" "Committee of Adjustment" prior to entering your search information.

The following applications will be heard at 9:30 a.m. or shortly thereafter:

1. 37 WANSTEAD AVE

File Number:	B0018/17SC, A0127/17SC & A0128/17SC	Zoning	Residential Semi-Detached (RS) & Two-Family Residential (T) [Waiver]
Owner(s):	BIJOY KUMAR PAUL MUKTA DAS	Ward:	Scarborough Southwest (35)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	37 WANSTEAD AVE	Community:	Oakridge Community
Legal Description:	PLAN 1952 PT LOT 31		

THE CONSENT REQUESTED:

To obtain consent to sever the property into two residential lots.

Note: This application was deferred at the August 10, 2017 public hearing for the applicant to make revisions to the proposal.

**Conveyed - Part 1
37B Wanstead Ave**

The proposed lot frontage is 6.096 m and the proposed lot area is 228.07 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0127/17SC.

**Retained - Part 2
37A Wanstead Ave**

The proposed lot frontage is 6.096 m and the proposed lot area is 228.07 m². The existing detached dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0128/17SC.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

37B – Part 1 – Conveyed (A0127/17SC)

By-law No. 569-2013:

1. The proposed dwelling will be located 0.43 m from the north side lot line;
Whereas the minimum required setback from a lot line facing a street is 1.5 m.

2. The proposed dwelling will have a length of 21.31 m;
Whereas the maximum permitted dwelling length is 17 m.
3. The proposed dwelling will have a depth of 22.22 m, as measured from the required front yard setback to the rear main wall;
Whereas the maximum permitted depth is 19 m.
4. The proposed parking space in the garage will have a width of 3.05 m;
Whereas the minimum required dimensions of a parking space are 3.2 m wide by 5.6 m long.
5. A total of 46% of the lot will be maintained as landscaping;
Whereas a minimum of 50% of the lot area shall be maintained as landscaping.
6. A total of 60% of the required landscaping will be maintained as soft landscaping;
Whereas a minimum of 75% of the required landscaping shall be maintained as soft landscaping.

By-law No. 9812:

7. The proposed dwelling will be located 0.43 m from the north side lot line;
Whereas the minimum required setback from a lot line facing a street is 1.5 m.
8. The proposed parking space in the garage will have a width of 3.05 m;
Whereas the minimum required dimensions of a parking space are 3.3 m wide by 5.6 m long.

37A – Part 2 – Retained (A0128/17SC)

By-law No. 569-2013:

1. The proposed dwelling will have a length of 21.31 m;
Whereas the maximum permitted dwelling length is 17 m.
2. The proposed dwelling will have a depth of 21.31 m, as measured from the required front yard setback to the rear main wall;
Whereas the maximum permitted depth is 19 m.
3. The proposed parking space in the garage will have a width of 3.05 m;
Whereas the minimum required dimensions of a parking space are 3.2 m wide by 5.6 m long.
4. A total of 47% of the required landscaping will be maintained as soft landscaping;
Whereas a minimum of 75% of the required landscaping shall be maintained as soft landscaping.

By-law No. 9812:

5. The proposed parking space in the garage will have a width of 3.05 m;
Whereas the minimum required dimensions of a parking space are 3.3 m wide by 5.6 m long.

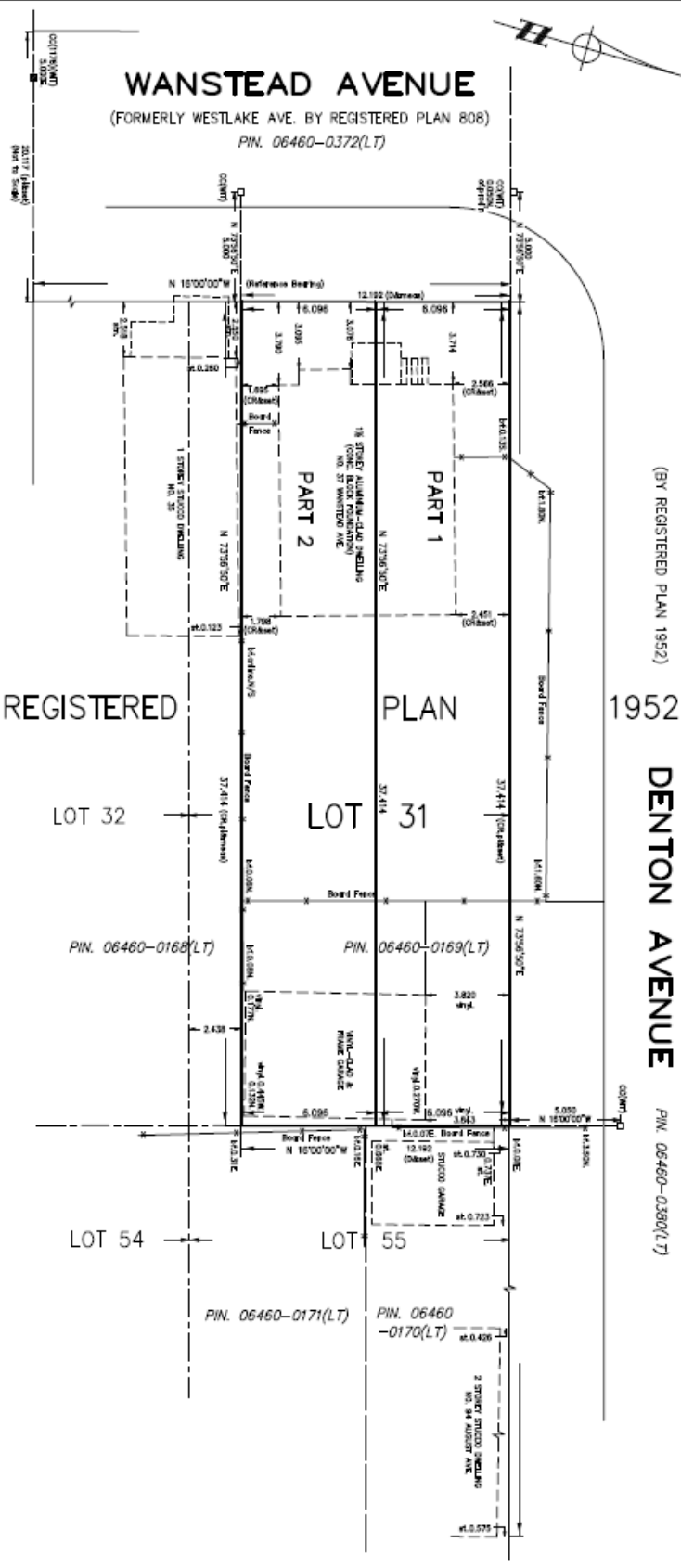
PLAN OF SURVEY
 PART OF LOT 31, REGISTERED PLAN 1952
CITY OF TORONTO (FORMERLY THE CITY OF SCARBOROUGH)
 Scale 1 : 150 METERS
 DONALD E ROBERTS O.L.S., © 2016

SCHEDULE

PLAN	LOT	REG. PLAN	ALL OR IN PART	AREA (M ²)
1	31	1952	(PART-WHOLE)	2280
2	31	1952	(PART-WHOLE)	2280

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
 DATE: _____, 2016
 DONALD E. ROBERTS, O.L.S.

PLAN 66R-
 RECEIVED AND DEPOSITED:
 DATE: _____, 2016
 REGISTERED FOR LAND REGISTRATION FOR THE LAND TITLES DIVISION OF THE TORONTO DISTRICT OFFICE (REVISED 8/5)



BEARINGS AND DISTANCES ARE TO BE CONVERTED TO GRID BY MULTIPLYING BY THE CHAINED SCALE FACTOR OF _____

DESIGNED REFERENCE POINTS (SPR4, H4, ZONE 18, MAGD (CSRS) (1972)) CONFORM TO UTM ACCURACY PER SEC. 14 OF OREG. 298/15

POINT ID	NOTATION	EXISTING
1		

NOTE

BEARINGS ARE IN THE SENSE AS SHOWN FROM OBSERVED REFERENCE POINTS 1 AND 2 BY FIELD MEASUREMENT FROM STATION POINTS AND FROM THE PLAN (MAGD (CSRS) (1972)).

THE REFERENCE POINTS (SPR4, H4, ZONE 18, MAGD (CSRS) (1972)) CONFORM TO UTM ACCURACY PER SEC. 14 OF OREG. 298/15

1. THE SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE UNDER THE ACT.

2. THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____, 2016.

SURVEYOR'S CERTIFICATE

DATE: _____, 2016

DONALD E. ROBERTS
 ONTARIO LAND SURVEYOR

METRIC

BEARINGS AND DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

CAUTION

CONVEYANCES, EASEMENTS, INTERESTS, RIGHTS, AND LIENS TO WHICH THIS PLAN IS SUBJECT ARE NOT SHOWN ON THIS PLAN.

DONALD E. ROBERTS LTD., ONTARIO LAND SURVEYORS
 111 BALDWIN ROAD, SUITE 304, THORNHILL, ONTARIO, CANADA M2H 4S9 (416) 756-5300

DATE: November 26, 2016

SCALE: 1 : 150

REF. NO.: 16-8890-1

2. 18 PARKCREST DR

File Number:	B0028/17SC, A0187/17SC, A0227/17SC	Zoning	RD - Residential Detached/ S - Single Family Residential [ZZC]
Owner(s):	MICHEL PROULX NINON PROULX	Ward:	Scarborough Southwest (36)
Agent:	DESIGN PLAN SERVICES	Heritage:	Not Applicable
Property Address:	18 PARKCREST DR	Community:	Scarborough Village Community
Legal Description:	PLAN 1734 LOT 84 PT LOT 85		

THE CONSENT REQUESTED:

This application is for consent to sever the land into two lots, as shown on the attached Site Plan. Lot to be created, Part 1 would have a frontage of 63.9 metres and a 1,550.9 square metres lot area. Part 2 would have a frontage of 40 metres and a 1,745.9 square metres lot area. The owner is proposing to keep the existing house and Part 1 would be developed in the future. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0187/17SC and A0227/17SC.

Part 1- A0227/17SC

By-law No. 569-2013

1. To permit the proposed 1,550.9 square metres lot area, whereas the Zoning By-law requires a minimum 3,250 square metres lot area.

By-law No. 10010

2. To permit the proposed 1,550.9 square metres lot area, whereas the Zoning By-law requires a minimum 2,322 square metres lot area.

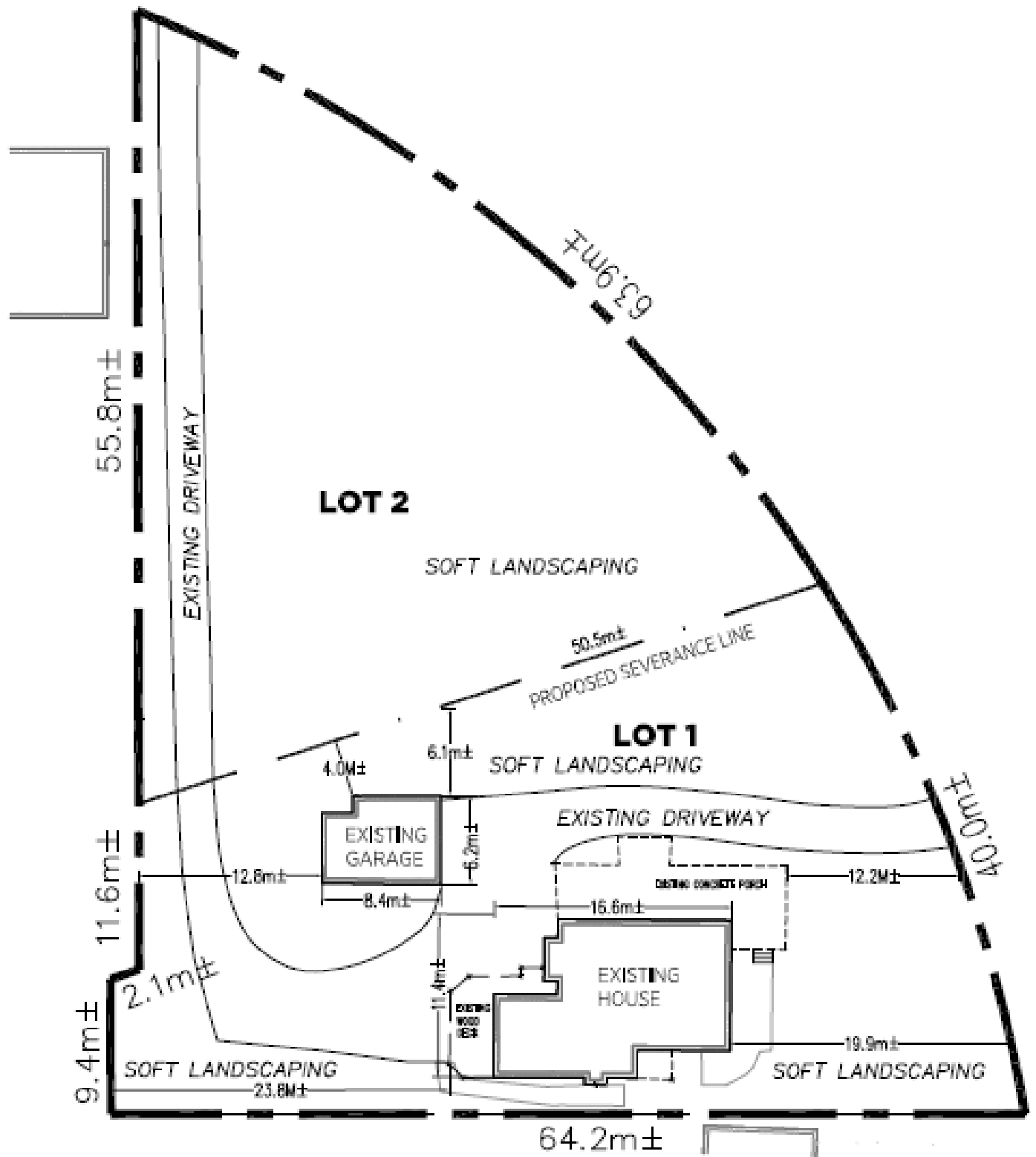
Part 2- A0187/17SC

By-law No. 569-2013

1. To permit the proposed 1,745.9 square metres lot area, whereas the Zoning By-law requires a minimum 3,250 square metres lot area.

By-law No. 10010

2. To permit the proposed 1,745.9 square metres lot area, whereas the Zoning By-law requires a minimum 2,322 square metres lot area.



3. 211 MCINTOSH ST

File Number:	B0032/17SC, A0209/17SC & A0210/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	FARHANA AKTHER CHOWDHURY	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	211 MCINTOSH ST	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 263		

THE CONSENT REQUESTED:

This application is to obtain consent to sever the property into two undersized residential lots.

Conveyed - Part 1

The proposed lot frontage is 7.62 m and the proposed lot area is 287.3 m². The existing detached dwelling and detached garage will be demolished and the property will be redeveloped as the site of a new two-storey detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0209/17SC.

Retained - Part 2

The proposed lot frontage is 7.62 m and the proposed lot area is 287.3 m². The existing detached dwelling and detached garage will be demolished and the property will be redeveloped as the site of a new two-storey detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0210/17SC.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Part 1 – Conveyed (A0209/17SC)

By-law No. 569-2013 & No. 9364:

1. The proposed lot frontage is 7.62 and the proposed lot area is 287.3 m²;
Whereas the minimum required lot frontage is 9 m and the minimum required lot area is 325 m².

By-law No. 569-2013:

2. The proposed dwelling will cover 35.4% of the lot area (101.82 m²);
Whereas the maximum permitted coverage is 33% of the lot area (94.81 m²).
3. The proposed dwelling will have a floor space index equal to 0.65 times the lot area (185.85 m²);
Whereas the maximum permitted floor space index is 0.6 times the lot area (172.38 m²).

By-law No. 9364:

4. The proposed dwelling will cover 37% of the lot area (106.15 m²);
Whereas the maximum permitted coverage is 33% of the lot area (94.81 m²).
5. The proposed dwelling will have a floor area equal to 0.64 times the lot area (183.04 m²);
Whereas the maximum permitted floor area is 0.6 times the lot area (172.38 m²).

Part 2 – Retained (A0210/17SC)

By-law No. 569-2013 & No. 9364:

1. The proposed lot frontage is 7.62 and the proposed lot area is 284.9 m²;
Whereas the minimum required lot frontage is 9 m and the minimum required lot area is 325 m².

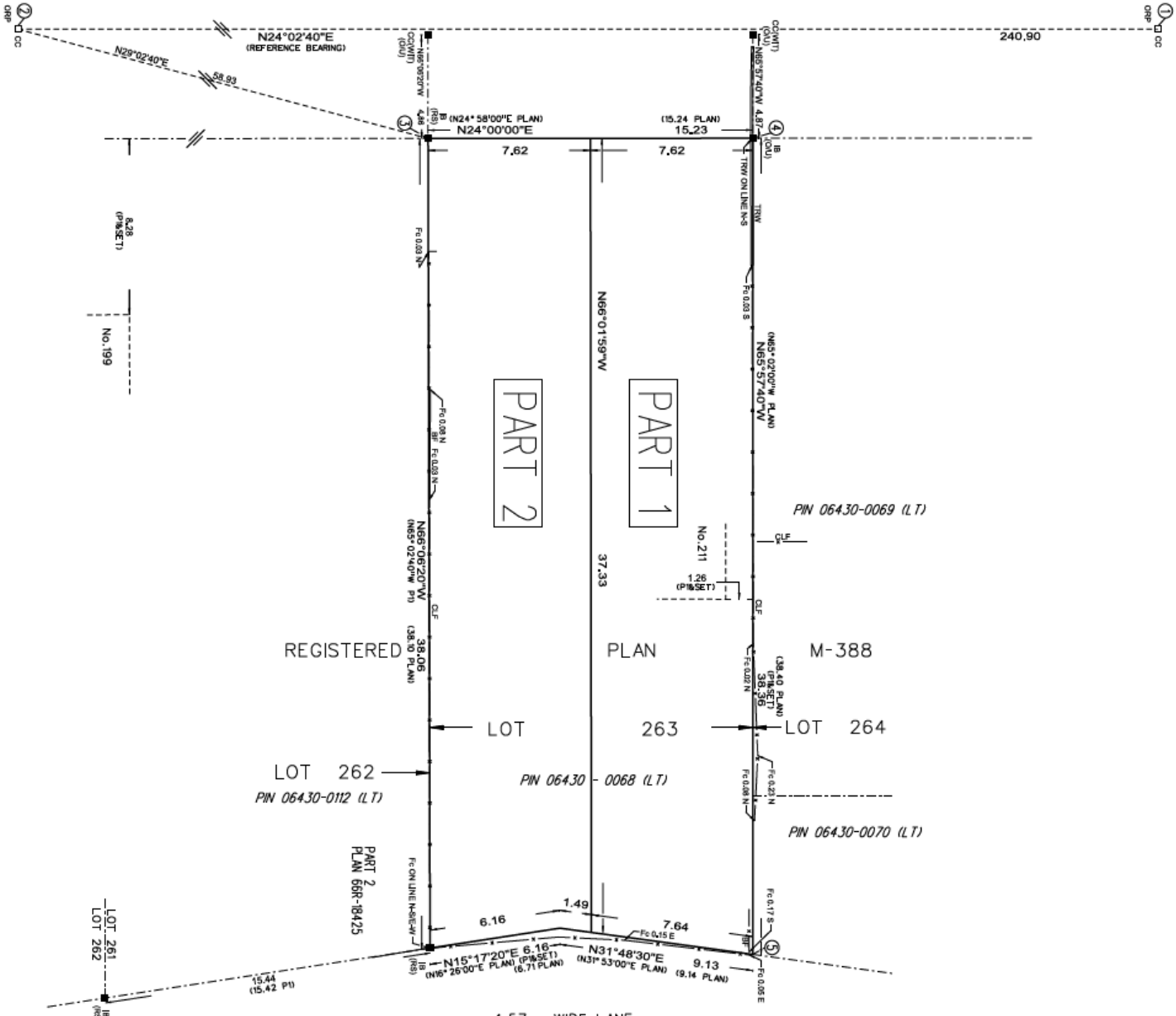
By-law No. 569-2013:

2. The proposed dwelling will cover 36% of the lot area (101.82 m²);
Whereas the maximum permitted coverage is 33% of the lot area (94.07 m²).
3. The proposed dwelling will have a floor space index equal to 0.652 times the lot area (185.85 m²);
Whereas the maximum permitted floor space index is 0.6 times the lot area (170.94 m²).

By-law No. 9364:

4. The proposed dwelling will cover 37.25% of the lot area (106.15 m²);
Whereas the maximum permitted coverage is 33% of the lot area (94.07 m²).
5. The proposed dwelling will have a floor area equal to 0.642 times the lot area (183.04 m²);
Whereas the maximum permitted floor area is 0.6 times the lot area (170.94 m²).

M c I N T O S H S T R E E T
 FORMERLY McNAB STREET
 BY REGISTERED PLAN M-388
 PIN 064.33-0230 (L.T.)

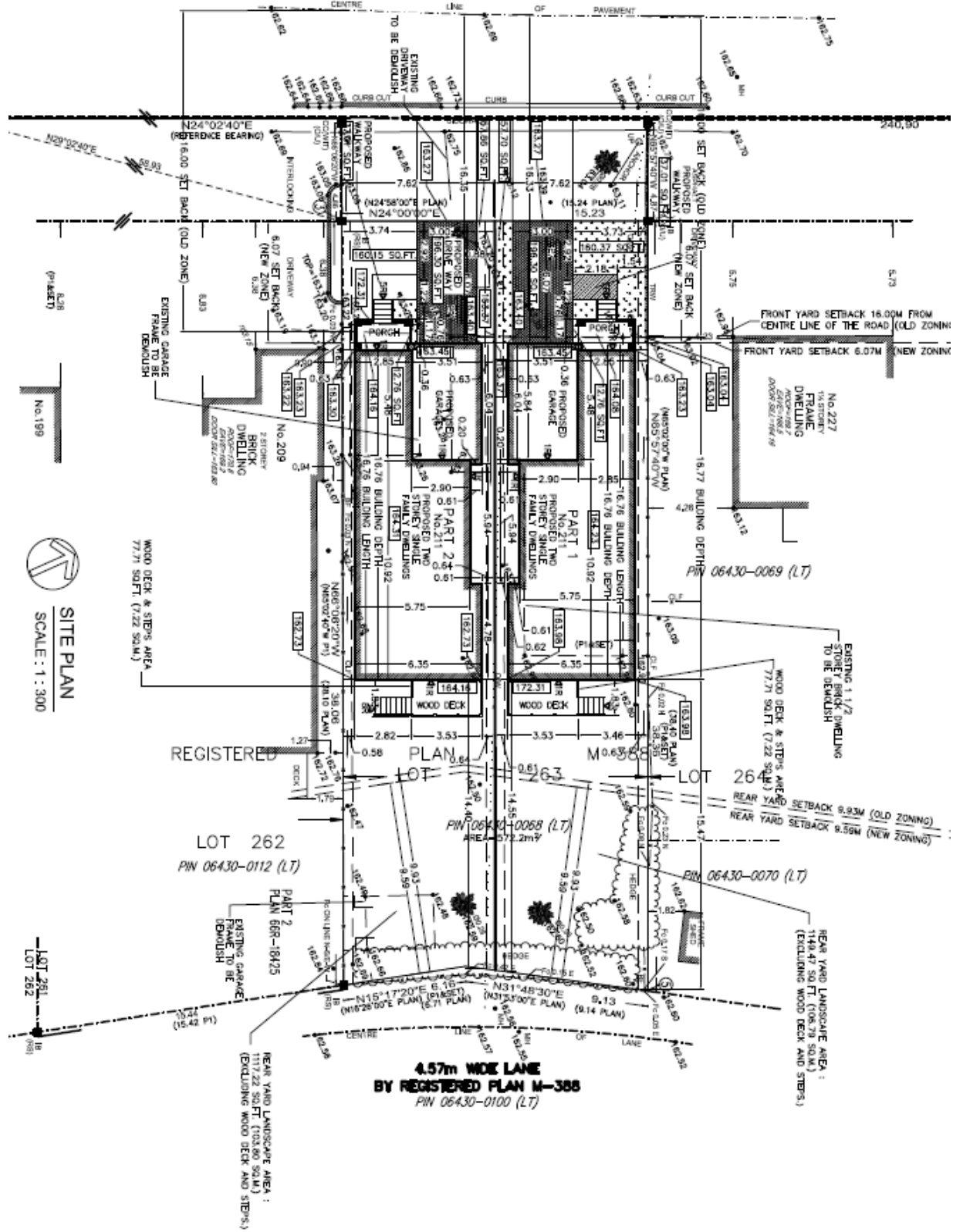


4.57m WIDE LANE
 BY REGISTERED PLAN M-388
 PIN 064.30-0100 (L.T.)



McINTOSH STREET

FORMERLY McNAB STREET
 BY REGISTERED PLAN M-388
 PIN 06433-0230 (LT)



4. 48 WOLCOTT AVE

File Number:	B0033/17SC, A0218/17SC, A0219/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	LENNIE RODRIGUEZ ALLAN PERKINS	Ward:	Scarborough Southwest (35)
Agent:	GRAHAM BARRETT	Heritage:	Not Applicable
Property Address:	48 WOLCOTT AVE	Community:	Oakridge Community
Legal Description:	PLAN 1971 PT LOT 31		

THE CONSENT REQUESTED:

This application is for consent to sever the land into two lots, as shown on the attached Site Plan. Lot to be created Part 1 and Part 2 would have a frontage of 6.86 metres and a lot area of 245.4 square metres. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0218/17SC and A0219/17SC.

Part 1 - A0218/17SC

By-law No. 569-2013

1. To permit the proposed 245.4 square metres lot area, whereas the Zoning By-law requires a minimum 287 square metres lot area.
2. To permit the proposed 6.86 metres lot frontage, whereas the Zoning By-law requires a minimum 9 metres lot frontage.
3. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
4. To permit the proposed 7.85 metres height of the exterior main walls, whereas the Zoning By-law permits maximum 7 metres height of the exterior main walls.
5. To permit the proposed 3 storey building, whereas the Zoning By-law permits maximum 2 storey buildings.
6. To permit the proposed 3.16 square metres of the first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum 10 square metres of the first floor to be within 4 metres of the front main wall.

7. To permit the proposed 0.28 metres eaves projection inclusive of eaves trough, whereas the Zoning By-law permits maximum 0.16 metres eaves projection.

By-law No. 9812

8. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
9. To permit the proposed 245.4 square metres lot area, whereas the Zoning By-law requires a minimum 287 square metres lot area.
10. To permit the proposed 6.86 metres lot frontage, whereas the Zoning By-law requires a minimum 9 metres lot frontage.

Part 2 - A0219/17SC

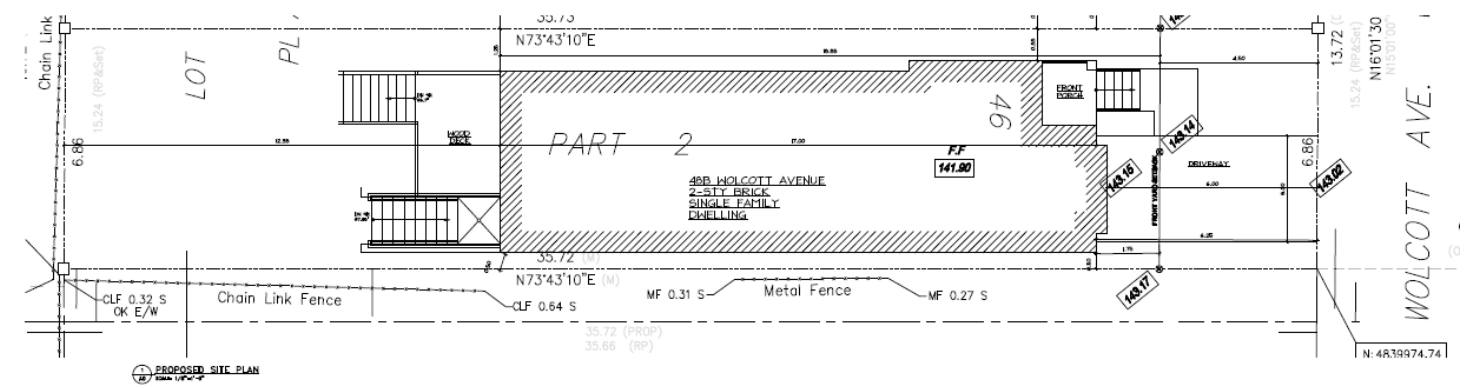
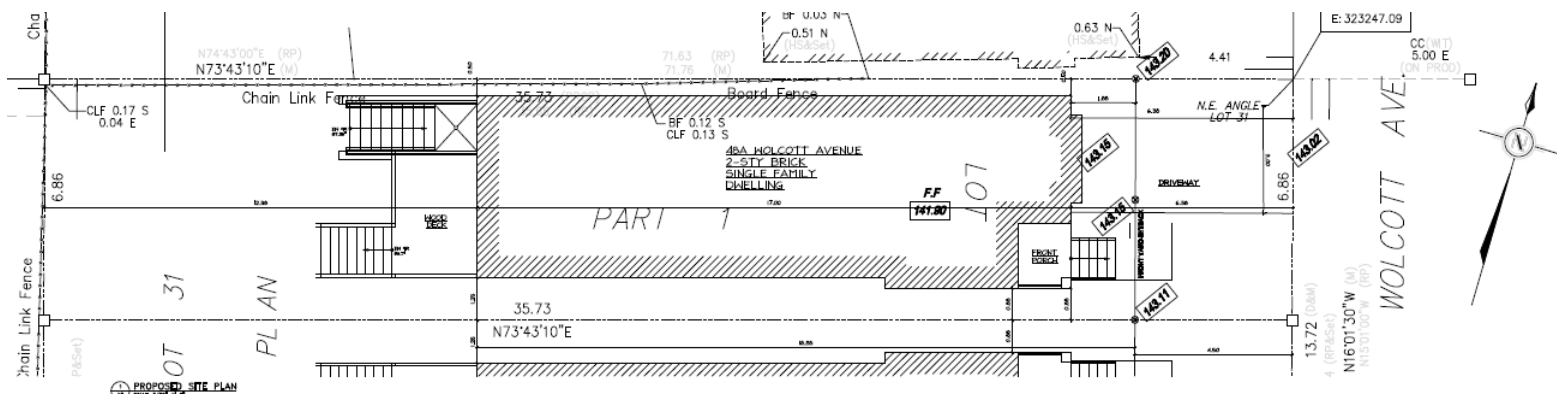
By-law No. 569-2013

1. To permit the proposed 245.4 square metres lot area, whereas the Zoning By-law requires a minimum 287 square metres lot area.
2. To permit the proposed 6.86 metres lot frontage, whereas the Zoning By-law requires a minimum 9 metres lot frontage.
3. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
4. To permit the proposed 7.85 metres height of the exterior main walls, whereas the Zoning By-law permits maximum 7 metres height of the exterior main walls.
5. To permit the proposed 3 storey building, whereas the Zoning By-law permits maximum 2 storey buildings.
6. To permit the proposed 3.16 square metres of the first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum 10 square metres of the first floor to be within 4 metres of the front main wall.
7. To permit the proposed 0.28 metres eaves projection inclusive of eaves trough, whereas the Zoning By-law permits maximum 0.16 metres eaves projection.

By-law No. 9812

8. To permit the proposed 37% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

9. To permit the proposed 245.4 square metres lot area, whereas the Zoning By-law requires a minimum 287 square metres lot area.
10. To permit the proposed 6.86 metres lot frontage, whereas the Zoning By-law requires a minimum 9 metres lot frontage.



5. 122 LINDEN AVE

File Number:	B0034/17SC, A0220/17SC, A0221/17SC	Zoning	RS - Residential Semi Detached/S-Single Family Residential [ZZC]
Owner(s):	TAHERA ISLAM TALAT MAHMUD	Ward:	Scarborough Southwest (35)
Agent:	YASO SOMALINGAM	Heritage:	Not Applicable
Property Address:	122 LINDEN AVE	Community:	Kennedy Park Community
Legal Description:	PLAN 1093 LOT 64 LOT 65 PT LOT 63 BLK A		

THE CONSENT REQUESTED:

This application is for consent to sever the land into two lots, as shown on the attached Site Plan. Lot to be created Part 1 and Part 2 would have a frontage of 9.135 metres and a lot area of 289.6 square metres. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0220/17SC and A0221/17SC.

Part 1 - A0221/17SC

By-law No. 569-2013

1. To permit the proposed 39% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

By-law No. 9276

2. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

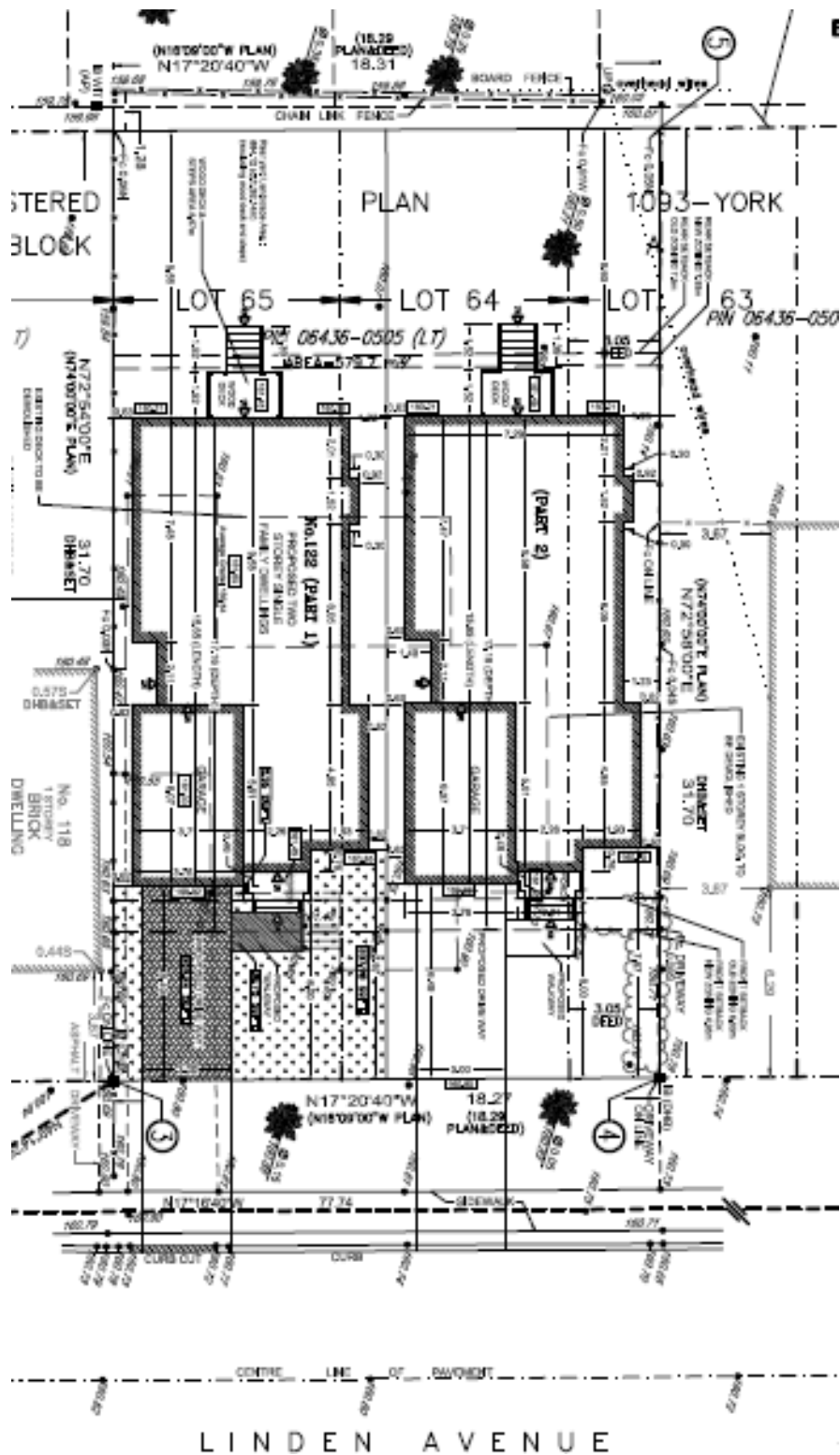
Part 2 - A0220/17SC

By-law No. 569-2013

1. To permit the proposed 39.1% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

By-law No. 9276

2. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.



6. 94 PITT AVE

File Number:	B0036/17SC, A0230/17SC & A0231/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	MIZANUR CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ERIKA STRANGIS	Heritage:	Not Applicable
Property Address:	94 PITT AVE	Community:	Clairlea Community
Legal Description:	PLAN 1859 LOT 90		

THE CONSENT REQUESTED:

Proposal to sever the land at 94 Pitt Avenue into 2 lots for single family houses. The proposed lots are shown as Parts 1 and 2 on the attached Lot Division Plan. Each lot would have a frontage of 7.6 m on Pitt Avenue and a lot area of approximately 246 m².

REQUESTED VARIANCES TO THE ZONING BY-LAW:

PART 1 (File A0230/17SC) and PART 2 (File A0231/17SC)

By-law No. 569-2013:

1. The proposed lot frontage is 7.6 m
Whereas the minimum required lot frontage is 12 m
2. The proposed lot area is 246 m²
Whereas the minimum required lot area is 371 m²
3. The proposed lot coverage is 38%
Whereas the maximum permitted lot coverage is 33%
4. On the first floor, 7.3 m² of floor area is proposed within 4.0 m of the front main wall
Whereas a minimum of 10 m² of the first floor area is required within 4 m of the front main wall

By-law No. 8978:

5. The proposed lot coverage is 39%
Whereas the maximum permitted lot coverage is 33%
6. The proposed parking space dimensions are 3.2 m x 6.0 m
Whereas the minimum required parking spaces dimensions are 3.3 m x 5.6 m

7. The proposed lot frontage is 7.6 m and the proposed lot area is 246 m²
Whereas the by-law permits one single-family dwelling per parcel having a minimum frontage of 12 m on a public street and a minimum area of 371 m².

8. The proposed ground floor building coverage is 39%
Whereas the maximum permitted ground floor building coverage is 33%

7. 94 PRESTON ST

File Number:	B0037/17SC, A0237/17SC & A0238/17SC	Zoning	Single Family (S) and Residential Semi-Detached (RS) [ZR]
Owner:	ISRAT JAHAN MRIDHA	Ward:	Scarborough Southwest (36)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	94 PRESTON ST	Community:	Cliffside Community
Legal Description:	PLAN M409 LOT 69 TO 70		

THE CONSENT REQUESTED:

Proposal to sever the land at 94 Preston Street into 2 lots for single family houses. The proposed lots are shown as Parts 1 and 2 on the attached Lot Division Plan. Each lot would have a frontage of 7.62 m on Preston Street and a lot area of approximately 360 m².

REQUESTED VARIANCES TO THE ZONING BY-LAW:

PART 1 (File A0237/17SC) and PART 2 (File A0238/17SC)

By-law No. 569-2013:

1. The proposed lot frontage is 7.6 m
Whereas the minimum required lot frontage is 15 m
2. The proposed lot area is 359 m²
Whereas the minimum required lot area is 510 m²
3. The proposed floor area is 295 m² (*including the basement, which is considered to be the first floor because it is the closest floor to grade*)
Whereas the maximum permitted floor area is 204 m²
4. A floor area of 6.0 m² is proposed to be located within 4.0 m of the front main wall
Whereas a minimum of 10 m² of the first floor area is required within 4 m of the front main wall
5. 100% of the side main walls are above 7.0 m (the proposed height is 7.8 m)
Whereas 100% of the side main walls must be below 7.0 m
- 6) The proposed number of storeys is 3 (*including the basement, which is considered to be the first floor because it is the closest floor to grade*)
Whereas the maximum permitted number of storeys is 2

7. The proposed building length is 17.5 m
Whereas the maximum permitted building length is 17 m measured between the front main wall of the building and the rear main wall of the building
8. The proposed second floor platform (rear deck) area is 11.5 m²
Whereas the maximum permitted area of each platform at or above the second storey is 4.0 m²

By-law No. 8786:

9. The proposed floor area is 209 m²
Whereas the maximum permitted floor area is 204 m²
10. The proposed basement height is 2.0 m
Whereas the maximum permitted building height is 1.0 m measured from the averaged finished grade at the front main wall of the building to the ceiling of the basement.

8. 1, 8, 11, 12, 15, 16, 20, 21, 23, 25, 26, 27, 29, 33, 35 & 37 WILLIAM KITCHEN RD

File Number:	A103/14SC	Zoning	Mixed Employment (ME) Zone [Waiver]
Owners:	KENNEDY COMMONS INC	Ward:	Scarborough-Agincourt (40)
Agent:	FIRST GULF CORPORATION		
Property Address:	1, 8, 11, 12, 15, 16, 20, 21, 23, 25, 26, 27, 29, 33, 35 & 37 WILLIAM KITCHEN RD	Employment District:	Progress Employment District
Legal Description:	PLAN OF SURVEY OF LOT 22 RCP 9945, LOTS 45, 46 PT LOT 33, 42, 44 RCP 9953		

PURPOSE OF THE APPLICATION:

This application is for a proposal to reduce the parking requirement for the Kennedy Commons power centre. The zoning by-law requires parking to be provided at a minimum rate of 4.8 spaces/100 m² of total gross floor area for financial institutions, personal service shop, restaurants, retail stores including lumber yards, building supply warehouses & places of entertainment, and 5.0 spaces/100 m² for a fitness centre. The owners are requesting a variance to establish a new uniform rate of 3.8 spaces/100 m² of total gross floor area.

REQUESTED VARIANCE TO THE ZONING BY-LAW:

By-law No. 24982:

The proposed parking rate is 3.8 spaces/100 m² of total gross floor area
WHEREAS the by-law requires a minimum rate of 4.8 spaces/100 m² of total gross floor area for financial institutions, personal service shop, restaurants, retail stores including lumber yards, building supply warehouses & places of entertainment, and 5.0 spaces/100 m² for a fitness centre.

9. 247 RIDGEWOOD RD

File Number:	A0191/17SC	Zoning	RD - Residential Detached/ S- Single Family Residential [ZZC]
Owner(s):	MARGARET ANNE KERESTECI	Ward:	Scarborough East (44)
Agent:	SCOTT POMEROY	Heritage:	Not Applicable
Property Address:	247 RIDGEWOOD RD	Community:	Centennial Community
Legal Description:	PLAN 319 PT LOTS 75 & 76		

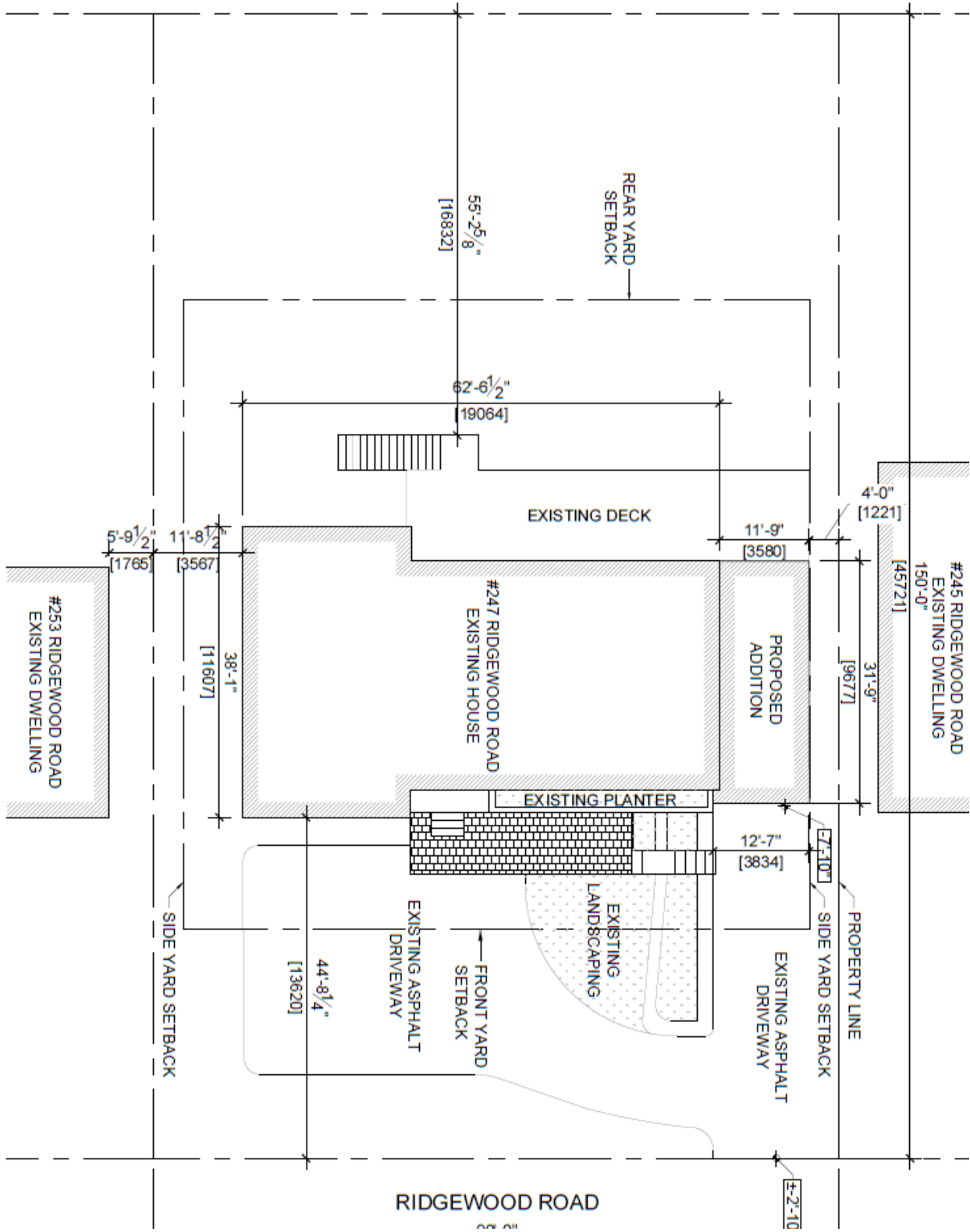
PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a side addition with an attached garage to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 2.39 metres garage entrance elevation and 0.86 metres elevation of the centreline of the driveway at the point where it intersects a lot line abutting the street., whereas the Zoning By-law requires the elevation of the lowest point of a vehicle entrance in a main wall of the building to be higher than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street.



10. 3781-3791 VICTORIA PARK AVE

File Number:	A0204/17SC	Zoning	E - Employment Industral/M-Industrial/MG- General Industrial [ZZC]
Owner(s):	EAGRE HOLDINGS LIMITED	Ward:	Scarborough-Agincourt (39)
Agent:	NOIR DESIGN	Heritage:	Not Applicable
Property Address:	3781-3791 VICTORIA PARK AVE	Community:	
Legal Description:	PLAN 9323 PT BLK T RP 64R3890 PART 4 PART 8		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to permit the existing business, Archery Circuit to continue operating in the existing building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

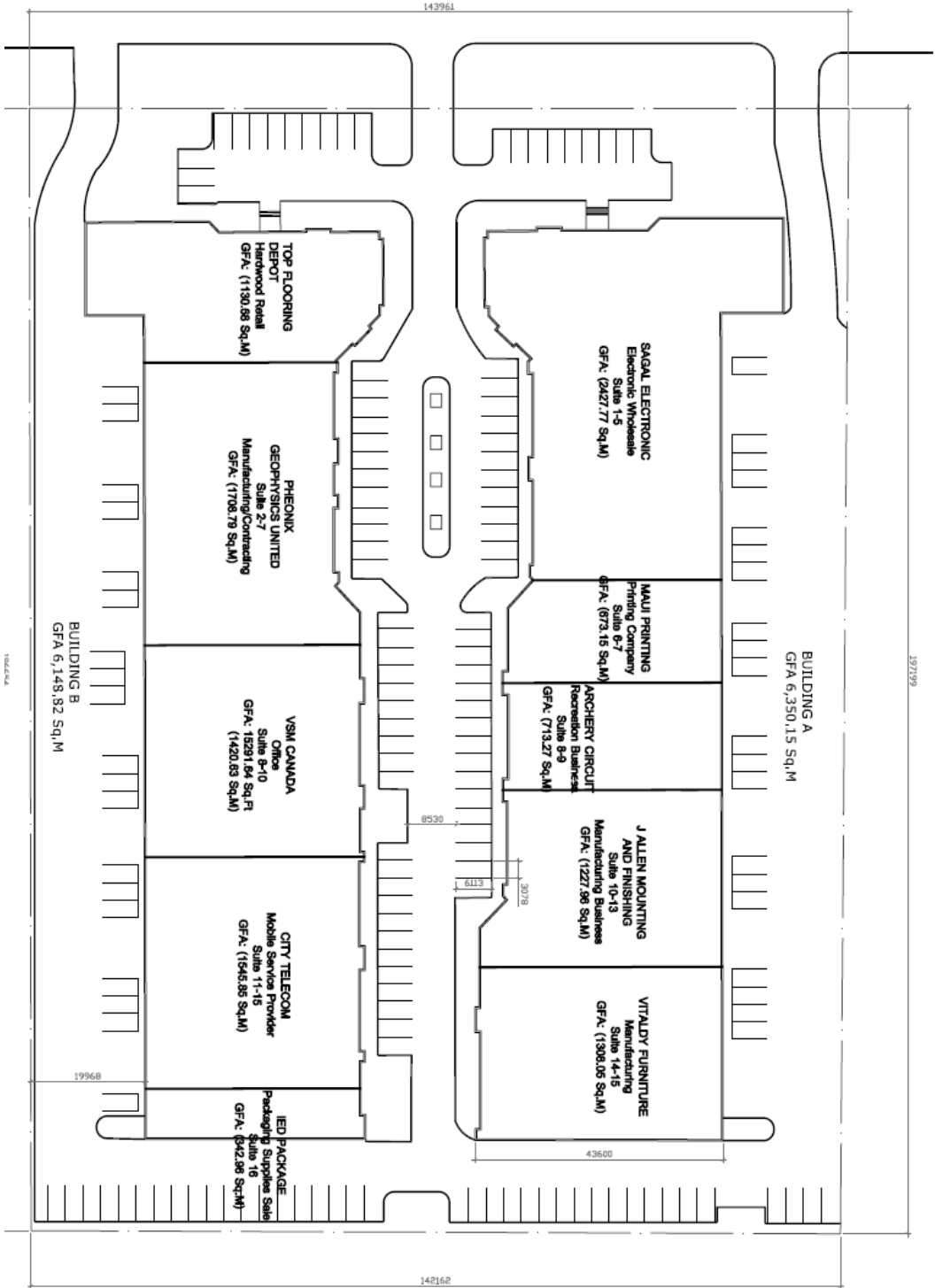
By-law No. 569-2013

1. To permit the 147 parking space, whereas the Zoning By-law requires a minimum 171 parking spaces.

By-law No. 24982

2. To permit the 147 parking space, whereas the Zoning By-law requires a minimum 241 parking spaces.

VICTORIA PARK AVENUE



11. 1343 WARDEN AVE

File Number:	A0206/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	NASREEN HOSSAIN SYED SHAHADAT HOSSAIN	Ward:	Scarborough Centre (37)
Agent:	V ROSA DESIGNS LTD	Heritage:	Not Applicable
Property Address:	1343 WARDEN AVE	Community:	Wexford Community
Legal Description:	PLAN M640 LOT 14		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition and a second storey to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 21.9 metres building setback from the centreline of the street, whereas the Zoning By-law requires a minimum 22 metres building setback from the centre line of the street.
2. To permit the proposed 0.91 metres south side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.
3. To permit a second suite in a building less than 5 years old and have the same floor area as the dwelling unit, whereas the Zoning By-law permits second suites in a building constructed 5 years prior to the introduction of a second suite, and the interior floor area of a secondary suite must be less than the interior floor area of the dwelling unit.
4. To permit the proposed second storey addition containing the second suite which alters the main wall and roof that faces the street, whereas the Zoning By-law permits an addition to accommodate a second suite if it does not alter or add to a main wall and roof that faces the street.
5. To permit the proposed 2 platforms on the rear elevation of the dwelling, whereas the Zoning By-law permits maximum 1 platform on each elevation of a dwelling.
6. To permit the proposed 5.23 square metres (master bedroom balcony) and 5.36 square metres (study balcony) platforms, whereas the Zoning By-law permits maximum 4 square metres platforms.

7. To permit the proposed eaves of a roof to project 0.409 metres into the required minimum building setback, and be 0.122 metres to the south lot line, whereas the Zoning By-law permits the eaves of a roof to encroach into a required minimum building setback a maximum of 0.9 metres, if they are no closer to a lot line than 0.3 metres.

By-law No. 9511

8. To permit a second suite in a building less than 5 years old and have the same floor area as the dwelling unit, whereas the Zoning By-law permits second suites in a building constructed 5 years prior to the introduction of a second suite, and the interior floor area of a secondary suite must be less than the interior floor area of the dwelling unit.
9. To permit the proposed 21.9 metres building setback from the centreline of the street, whereas the Zoning By-law requires a minimum 22 metres building setback from the centre line of the street.
10. To permit the proposed 0.91 metres south side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.

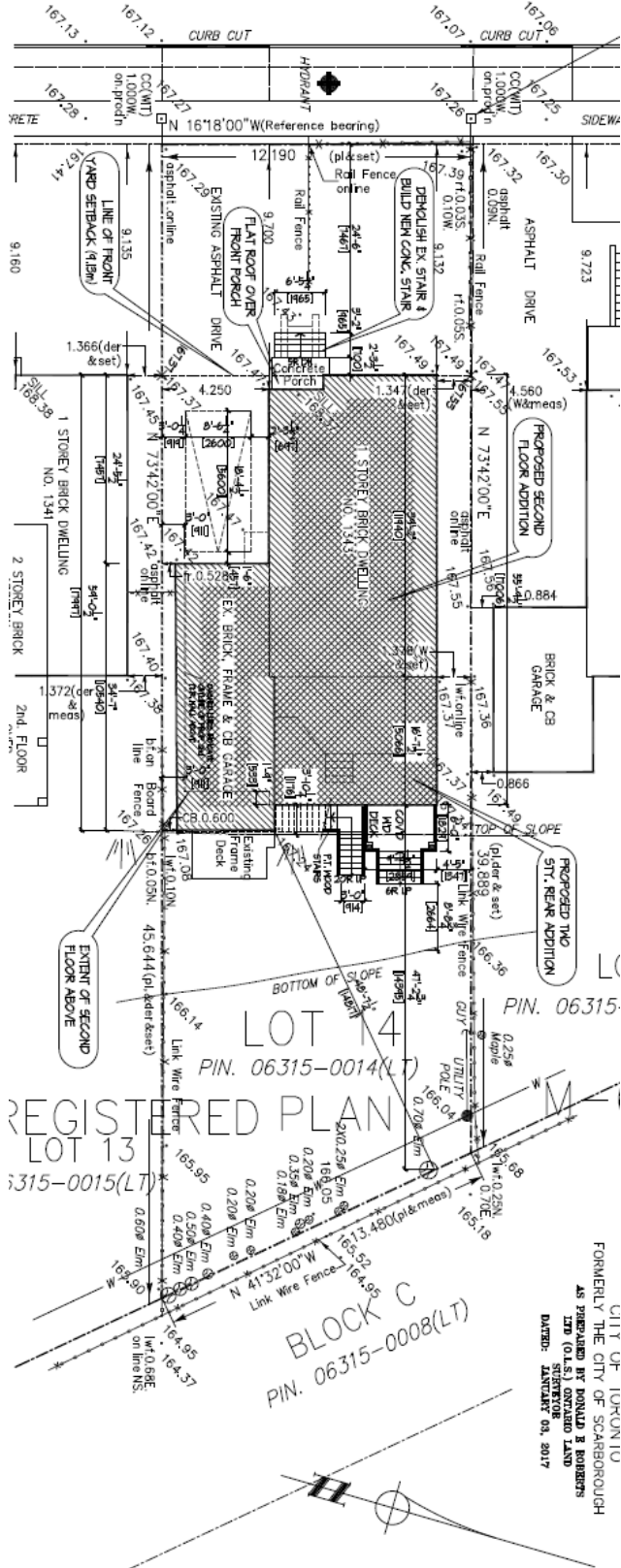
WARDEN AVENUE

(ROAD ALLOWANCE BETWEEN LOTS 32 & 33, CONCESS

PIN. 06315-0272(LT)

(3.048 STREET WIDENING BY REGISTERED PLAN M-640)

PIN. 6315-



REGISTERED PLAN
LOT 13
06315-0015(LT)

BLOCK C
PIN. 06315-0008(LT)

FORMERLY THE CITY OF SCARBOROUGH
AS PREPARED BY DONALD & ROBERTS
LTD. (CONSULTING ENGINEERS)
DATE: JANUARY 09, 2017

12. 32 PHENIX DR

File Number:	A0208/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	CARMELO MIZZI	Ward:	Scarborough Southwest (36)
Agent:	DANILO MARASIGAN	Heritage:	Not Applicable
Property Address:	32 PHENIX DR	Community:	Birchcliff Community
Legal Description:	PLAN 3585 PT LOT 10		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey addition to the existing single family dwelling with a two storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 41% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
2. To permit the proposed 1.27 metres platform encroachment into the front yard, whereas the Zoning By-law permits maximum 0.66 metres platform encroachment into the front yard.
3. To permit the proposed building length of 18.3 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.
4. To permit the proposed 2.28 metres driveway width, whereas the Zoning By-law requires a minimum 2.6 metres driveway width.

By-law No. 8786

5. To permit the proposed 41% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
6. To permit the proposed 2.28 metres driveway width, whereas the Zoning By-law requires a minimum 2.6 metres driveway width.
7. To permit the proposed 1.324 metres building setback from the street line, whereas the Zoning By-law requires a minimum 6 metres building setback from the street line.

13. 90 MELFORD DR UNIT 23

File Number:	A0224/17SC	Zoning	Special Industrial (MS) & Employment Heavy Industrial (EH) Zone [ZR]
Owners:	MELFORD INDUSTRIAL INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	90 MELFORD DR UNIT 23	Employment District:	Marshalling Yard Employment District
Legal Description:	PL M1546 PT BLK Q NOW RP 66R9602 PT 1 & 2		

PURPOSE OF THE APPLICATION:

To permit a vehicle repair garage to occupy Unit 23 in the existing multi-tenant industrial building.

REQUESTED VARIANCE TO THE ZONING BY-LAW:

By-Law No. 24982

1. To permit a vehicle repair garage in Unit 23;
Whereas a vehicle repair garage is not a permitted use.

14. 86 MELFORD DR - UNITS 2 & 3

File Number:	A0225/17SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [ZR]
Owner(s):	1428914 ONTARIO INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	86 MELFORD DR - UNITS 2 & 3	Employment:	Marshalling Yard Employment District
Legal Description:	PLAN M1546 PT BLK P RP 66R9643 PART 1		

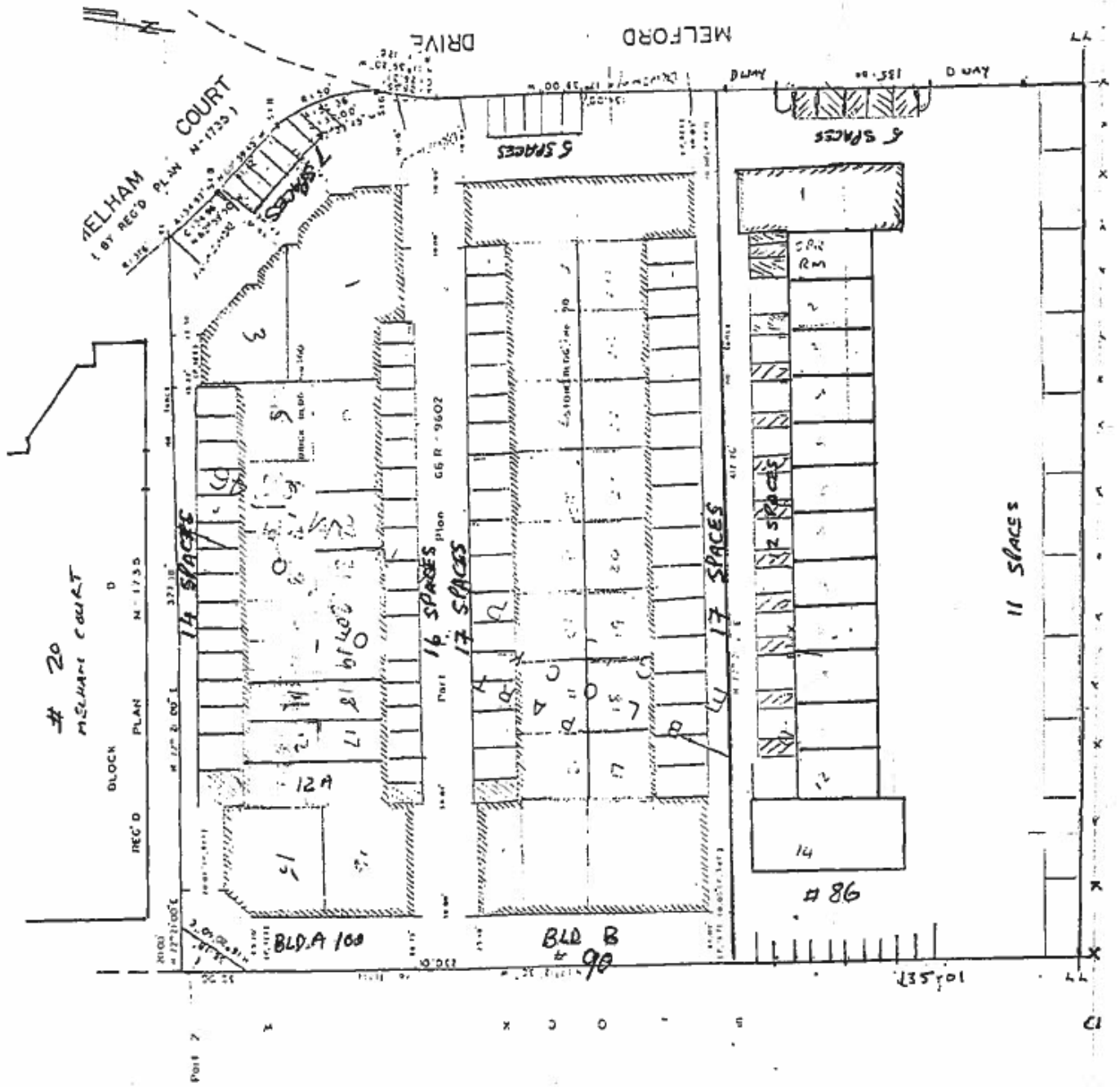
PURPOSE OF THE APPLICATION:

To permit a vehicle repair garage to occupy Units 2 & 3 in the existing multi-tenant industrial building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-Law No. 24982

1. To permit a vehicle repair garage in Units 2 & 3;
Whereas a vehicle repair garage is not a permitted use.



TOTAL PARKING SPACES
 # 86 34

15. 17 BRIAR DALE BLVD

File Number:	A0226/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	MARK WOULD	Ward:	Scarborough Southwest (36)
Agent:	TIMBER WOLF DESIGN BUILD INC	Heritage:	Not Applicable
Property Address:	17 BRIAR DALE BLVD	Community:	Birchcliff Community
Legal Description:	PLAN 3223 PT LOT 26		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new second storey addition to the existing one storey dwelling with a two storey side addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

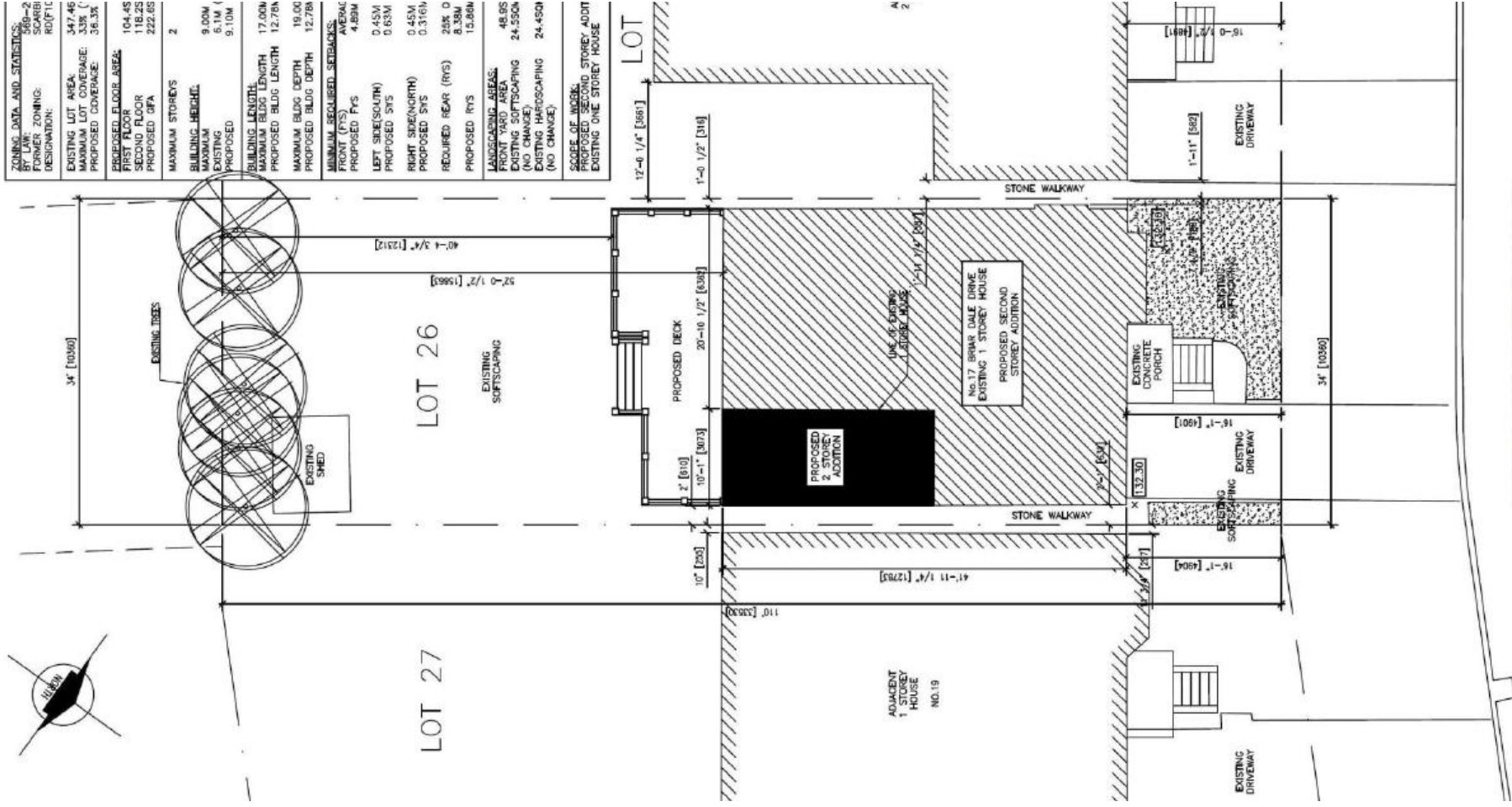
1. To permit the proposed 0.3 metres south west side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.
2. To permit the proposed 242 square metres floor area, whereas the Zoning By-law permits maximum 204 square metres or 0.5 times the lot area.
3. To permit the proposed 36.7% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
4. To permit the proposed 9.1 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
5. To permit the proposed 0.77 metres second floor front bay window projections, whereas the Zoning By-law permits maximum 0.75 metres into the front yard setback.
6. To permit the proposed roof overhang to be 0.46 metres on the south west side yard, and encroach into the neighbours property by 0.141 metres, whereas the Zoning By-law permit the eaves of a roof to encroach into a required minimum building setback a maximum of 0.9 metres, if they are no closer to a lot line than 0.3 metres.
7. To permit the proposed 0.3 metres rear yard deck setback from the side lot line, whereas the Zoning By-law requires a minimum 0.45 metres rear yard setback to the side lot line.

By-law No. 8786

8. To permit the existing/proposed 4.1 metres front yard setback, whereas the Zoning By-law requires a minimum 6 metres front yard setback.
9. To permit the proposed 0.3 metres south west side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.
10. To permit the proposed 9.1 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
11. To permit the proposed 242 square metres floor area, whereas the Zoning By-law permits maximum 204 square metres or 0.5 times the lot area.
12. To permit the proposed 38.4% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
13. To permit the proposed 9.5 metres by 3.6 metres garage dimensions, whereas the Zoning By-law permits a maximum 7.6 metres by 7.6 metres garage dimensions.

SITE AND ZONING DATA

ZONING DATA AND STATISTICS:	
BY LAW:	509-2
FORMER ZONING:	SCARBI
DESIGNATION:	RD1FC
EXISTING LOT AREA: 347.46	
MAXIMUM LOT COVERAGE: 33% (
PROPOSED COVERAGE: 36.3%	
PROPOSED FLOOR AREA:	
FIRST FLOOR	164.45
SECOND FLOOR	117.25
PROPOSED GFA	222.65
MAXIMUM STOREYS: 2	
BUILDING HEIGHT:	
MAXIMUM	9.00M
EXISTING	5.1M (
PROPOSED	9.10M
BUILDING LENGTH: 17.00M	
MAXIMUM BLDG LENGTH: 12.78M	
MAXIMUM BLDG DEPTH: 19.00	
PROPOSED BLDG DEPTH: 12.78M	
MINIMUM REQUIRED SETBACKS:	
FRONT (FYS)	4.89M
PROPOSED FYS	4.89M
LEFT SIDE(SOUTH)	0.45M
PROPOSED SYS	0.63M
RIGHT SIDE(NORTH)	0.45M
PROPOSED SYS	0.316M
REQUIRED REAR (RYS)	26% D
PROPOSED RYS	8.38M
PROPOSED RYS	15.80M
LANDSCAPING AREAS:	
FRONT	48.05
EXISTING SOFTSCAPING	24.550M
(NO CHANGE)	
EXISTING HAROSCAPING	24.450M
(NO CHANGE)	
SCOPE OF WORK:	
PROPOSED SECOND STOREY ADON	
EXISTING ONE STOREY HOUSE	



BRIAR DALE BOULEVARD

16. 599-605 KENNEDY RD

File Number:	A0228/17SC	Zoning	Highway Commercial (HC) Zone [ZR]
Owner(s):	HARPLIN INC HARPLIN INC	Ward:	Scarborough Southwest (35)
Agent:	CADAXX DESIGN LTD	Heritage:	Not Applicable
Property Address:	599-605 KENNEDY RD	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 2 RP 64R8883 PART 3		

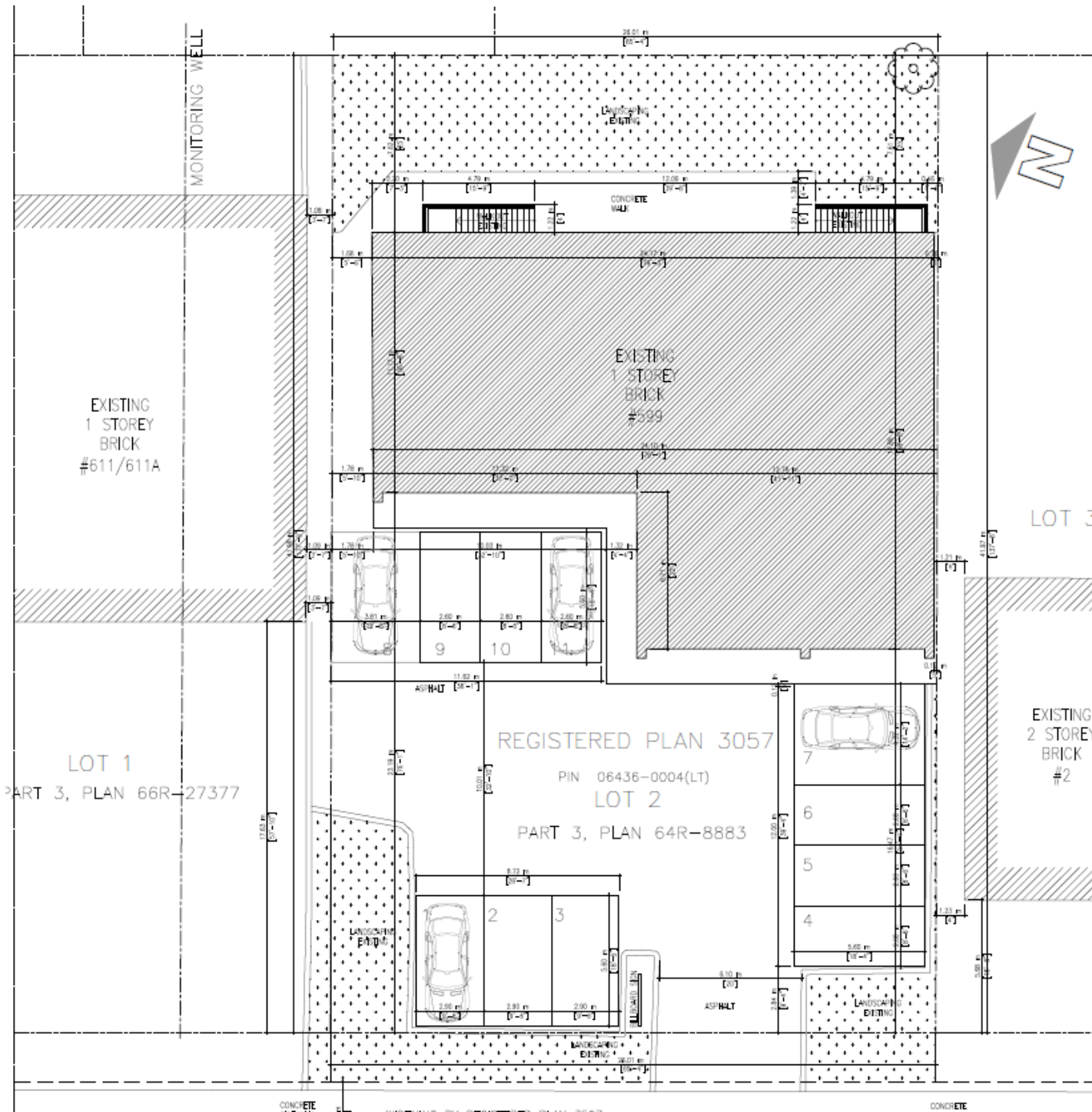
PURPOSE OF THE APPLICATION:

To convert the existing multi-tenant commercial building into a single tenant unit consisting of administrative workspaces. The proposed work is to be done through interior alterations and no additional structures are proposed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 9276:

1. A total of 11 parking spaces are provided on the site;
Whereas a minimum of 18 parking spaces are required for the site.



17. 16 FEENEY AVE

File Number:	A0233/17SC	Zoning	Residential Townhouse (RT) & Single Family (S)/Semi-Detached (SD) Zones [ZR]
Owner(s):	PERSAUD BHESHAM	Ward:	Scarborough-Rouge River (42)
Agent:	PERSAUD BHESHAM	Heritage:	Not Applicable
Property Address:	16 FEENEY AVE	Community:	Malvern Community
Legal Description:	PLAN M2071 LOT 173		

PURPOSE OF THE APPLICATION:

To construct a new rear deck.

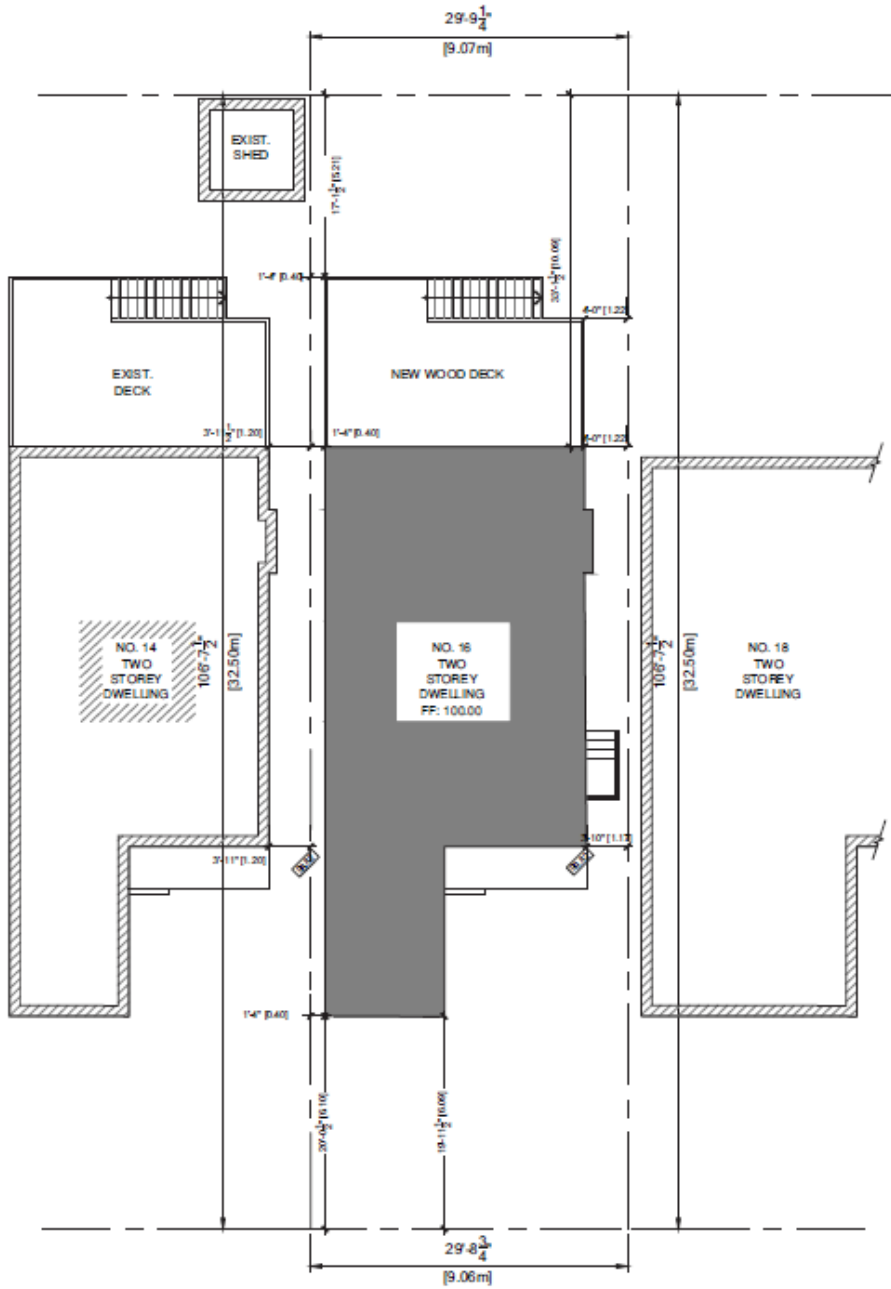
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed deck and existing dwelling will cover 41.73% of the lot area; Whereas the maximum permitted coverage is 33% of the lot area.
2. The proposed rear deck will be located 0.4 m from the north side lot line, 1.22 m from the south side lot line and will encroach a 2.93 m into the required rear yard setback (8.13 m); Whereas the maximum permitted encroachment is 2.5 m into a required rear yard setback.

By-law No. 14402:

3. The proposed rear deck will project 2.29 m into the required rear yard setback (7.5 m); Whereas the maximum permitted projection is 2 m into a required rear yard setback.
4. The proposed rear deck will be located 0.4 m from the north side lot line and 1.64 m from the dwelling on the adjacent lot; Whereas the minimum required side yard setback is 0.45 m from a lot line and 1.8 m from an adjoining dwelling.



F E E N E Y A V E N U E

18. 72 CLONMORE DR

File Number:	A0234/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	SAMAD RASHID	Ward:	Scarborough Southwest (36)
Agent:	JR DESIGN AND CONSTRUCTION	Heritage:	Not Applicable
Property Address:	72 CLONMORE DR	Community:	Birchcliff Community
Legal Description:	PLAN 3952 LOT 6		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two-storey single family dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed floor area 0.58 time the lot area, whereas the Zoning By-law permits maximum 0.5 times the lot area.
2. To permit the proposed building length of 19 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.

By-law No. 8786

3. To permit the proposed 5.37 metres building setback from the street line, whereas the Zoning By-law requires a minimum 6 metres building setback from the street line.
4. To permit the proposed 33.7% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
5. To permit the proposed floor area 0.54 time the lot area, whereas the Zoning By-law permits maximum 0.5 times the lot area.
6. To permit the proposed 1.9 metres front porch projection, whereas the Zoning By-law permits maximum 1.55 metres front porch projection.

19. 36 DONALDA CRES

File Number:	A0235/17SC	Zoning	Residential Detached (RD) & Single-Family (S) [ZR]
Owner(s):	LEPHUONG LU THEMICH LUONG	Ward:	Scarborough-Rouge River (41)
Agent:	VULCAN DESIGN INC	Heritage:	Not Applicable
Property Address:	36 DONALDA CRES	Community:	Agincourt Community
Legal Description:	PLAN 1909 LOT 75		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

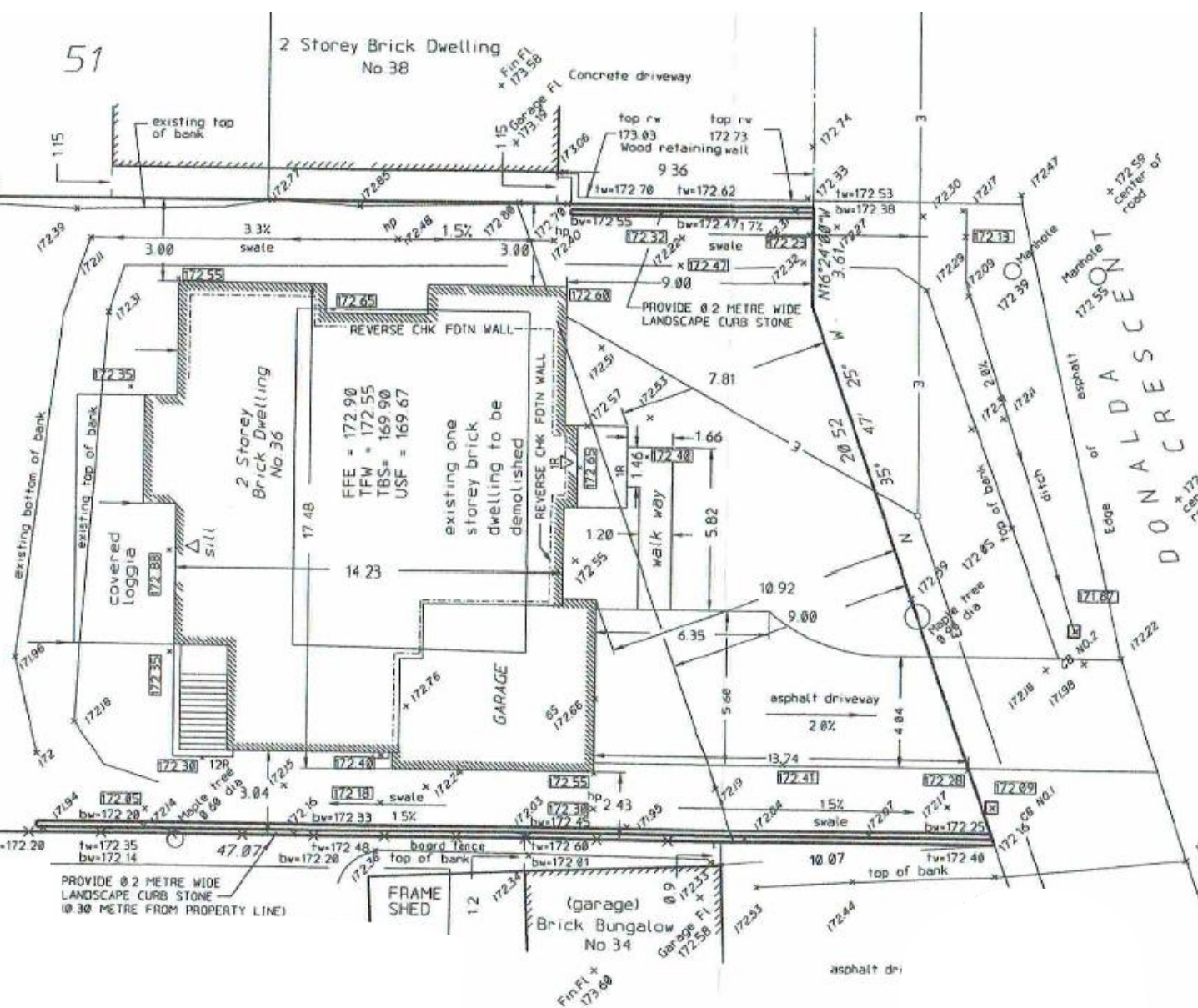
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 10076:

1. The proposed dwelling will have a floor area equal to 0.43 times the lot area (421.6 m²);
Whereas the maximum permitted floor area is 0.4 times the lot area (394.96 m²).
2. The proposed rear covered deck (loggia) will have dimensions of 3.66 m by 8.95 m;
Whereas the maximum permitted dimensions of an accessory structure is 7.6 m by 7.6 m.

Lot 52
 Lot 55
 Lot 56

Registered
 Plan
 1909
 Lot 51
 Lot 75



20. 14 JANELLAN TER

File Number:	A0236/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	MICHAEL HERMAN	Ward:	Scarborough East (44)
Agent:	KYLE KHADRA	Heritage:	Not Applicable
Property Address:	14 JANELLAN TER	Community:	West Hill Community
Legal Description:	PLAN M1094 LOT 3		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new second storey addition to the existing one and a half storey dwelling with a two storey side addition.

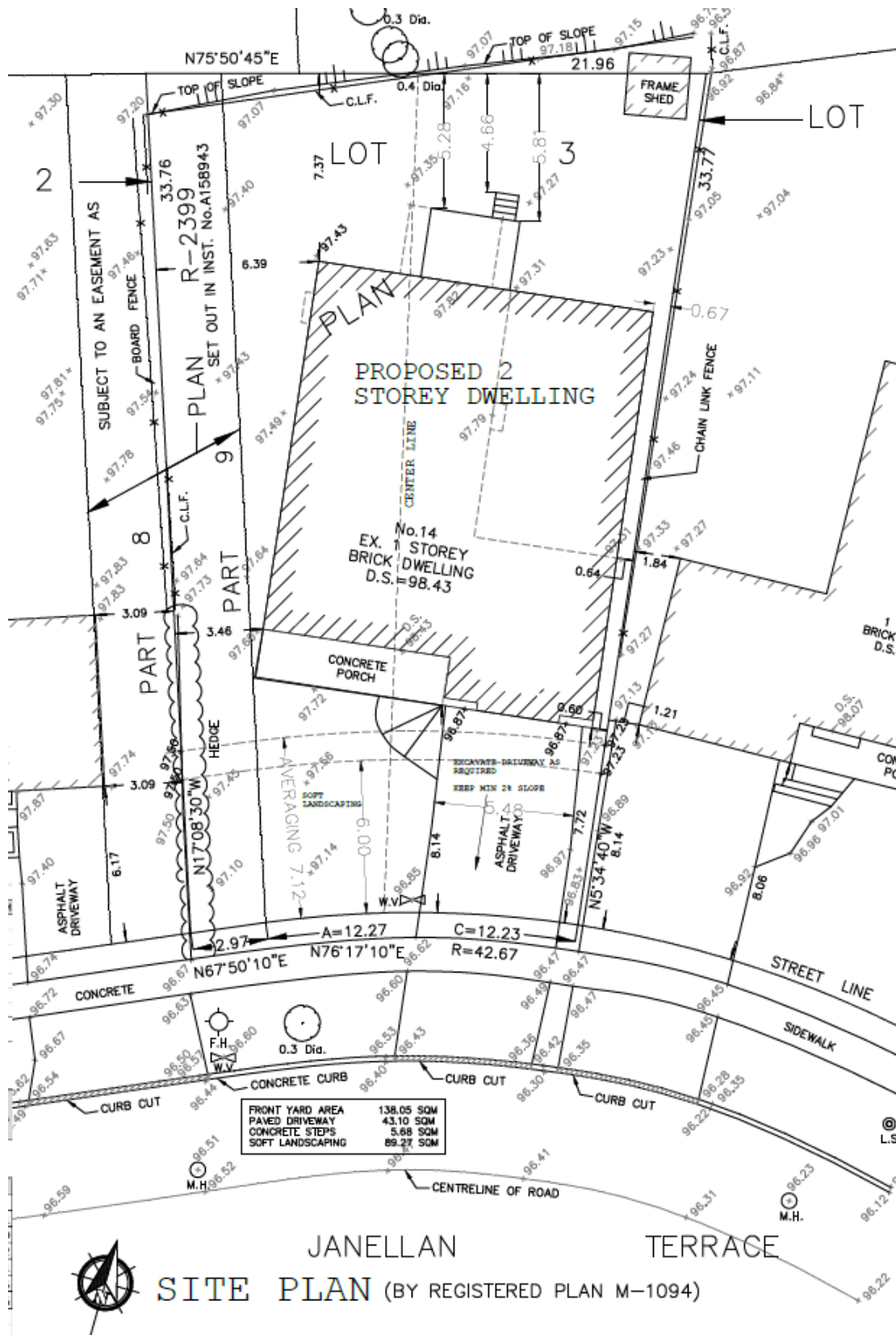
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013

1. To permit the proposed 0.6 metres east side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.
2. To permit the proposed 356.2 square metres floor area or 0.58 time the lot area, whereas the Zoning By-law permits maximum 279 square metres or 0.5 times the lot area.
3. To permit the proposed 7.3 metres rear yard setback, whereas the Zoning By-law requires a minimum 8.25 metres rear yard setback.
4. To permit the proposed 0 square metres of the proposed first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum 10 square metres of the first floor to be within 4 metres of the front main wall.
5. To permit the proposed platform encroachment of 2.97 metres into the required rear yard setback, whereas the Zoning By-law permits maximum 2.5 metres encroachment into the rear yard setback.
6. To permit the proposed eaves to project 1.2 metres and would be 0.15 metres front the side lot line, whereas the Zoning By-law permits the roof eaves to project a maximum 0.9 metres provided that they are no closer than 0.3 metres to a lot line.

By-law No. 10327

7. To permit the proposed 7.3 metres rear yard setback, whereas the Zoning By-law requires a minimum 8.25 metres rear yard setback.



21. 496 HUNTINGWOOD DR

File Number:	A0240/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ZAVEN SIMONIAN	Ward:	Scarborough-Agincourt (40)
Agent:	ZAVEN SIMONIAN	Heritage:	Not Applicable
Property Address:	496 HUNTINGWOOD DR	Community:	Sullivan Community
Legal Description:	PLAN M969 LOT 6		

PURPOSE OF THE APPLICATION:

To legalize and maintain the as-built deck in the rear yard.

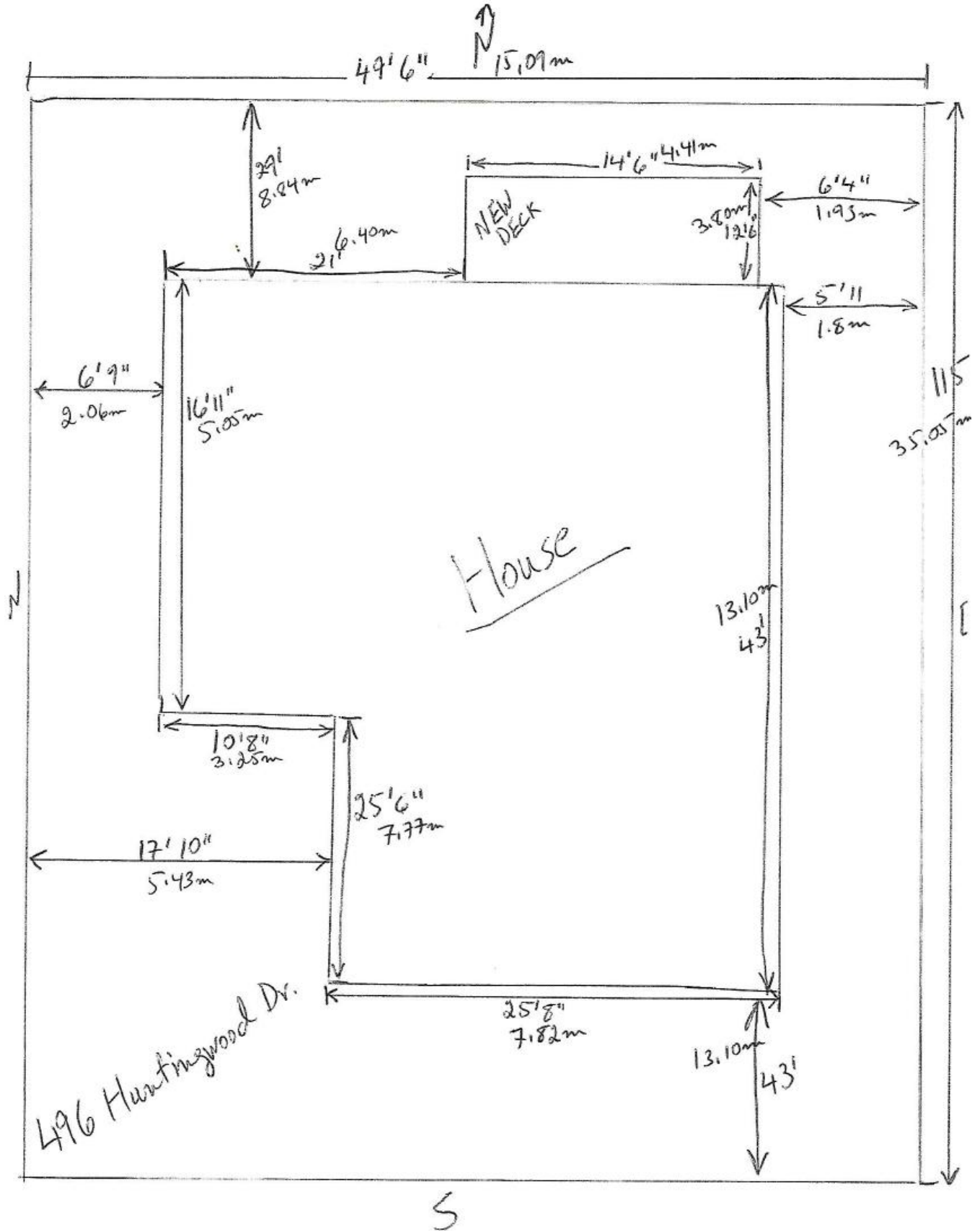
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The rear deck is located 5.03 m from the rear lot line;
Whereas the minimum required rear yard setback is 8.76 m.

By-law No. 10717:

2. The rear deck is located 5.03 m from the rear lot line;
Whereas the minimum required rear yard setback is 8.3 m.



22. 114 BROOKLAWN AVE

File Number:	A0241/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	CATHERINE LYNN THORNTON	Ward:	Scarborough Southwest (36)
Agent:	DAVID R SMITH	Heritage:	Not Applicable
Property Address:	114 BROOKLAWN AVE	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 409, 410 & PT LOT 411		

PURPOSE OF THE APPLICATION:

Proposed new parking space and paved driveway for the existing house. The garage on the adjacent, severed land will be demolished, but the existing breezeway will be retained.

REQUESTED VARIANCES TO THE ZONING BY-LAW:

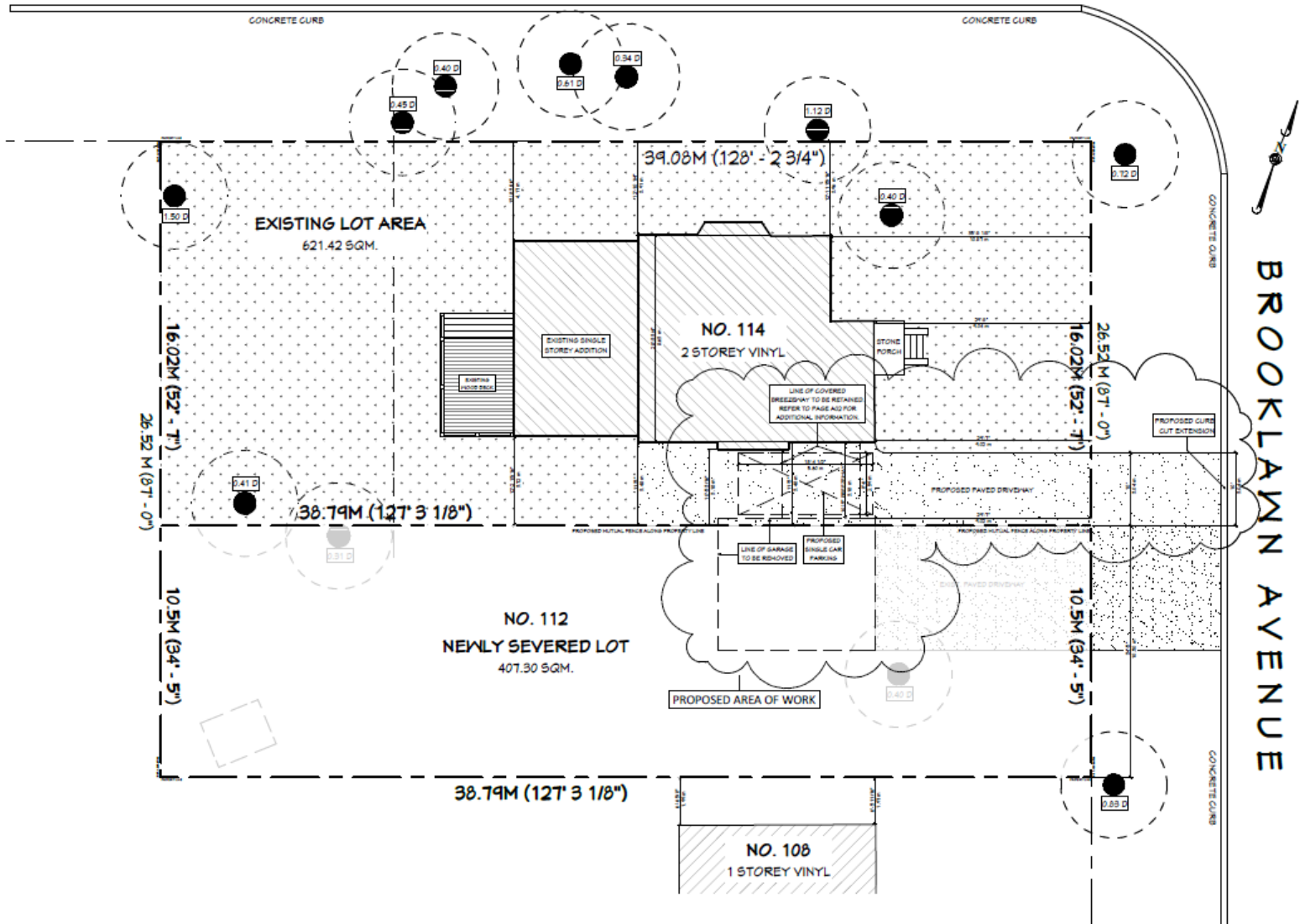
By-law No. 569-2013:

1. The proposed vehicle access to a parking space is from the front street (Brooklawn Avenue) Whereas vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street (Sloley Road)
2. The proposed eaves are 0.05 m from the south lot line. Whereas roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
3. The proposed south side yard setback is 0.09 m Whereas the minimum required south side yard setback is 0.9 m
4. The proposed parking space width is 2.6 m Whereas the minimum required parking space width is 3.2 m

By-law No. 9396:

5. The proposed driveway width is 2.4 m Whereas the minimum required driveway width is 2.6 m
6. The proposed South side yard setback is 0.09 m Whereas the required minimum side yard setbacks are 0.9 m each side.
7. The proposed parking space will have a width of 2.6 m Whereas the required parking space must have a minimum width of 3.3 m

SLOLEY ROAD



23. 1070 PROGRESS AVE

File Number:	A0243/17SC	Zoning	A - Apartment Residential /NC - Neighbourhood Commercial [WAIVER]
Owner(s):	EMPIRE PACE (1088 PROGRESS) LTD	Ward:	Scarborough-Rouge River (42)
Agent:	ARMSTRONG PLANNING	Heritage:	Not Applicable
Property Address:	1070 PROGRESS AVE	Community:	Malvern Community
Legal Description:	PLAN 66M2300 BLK 2		

PURPOSE OF THE APPLICATION:

The applicant is seeking relief from the provisions of the Zoning By-law to permit the already constructed 105 stacked townhouse units in phase 1 site, municipally known as 80 Orchid Place Drive, 90 Orchid Place and 1070 Progress Avenue.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 14402

1. To permit 2.6 metres wide parking spaces for units 1, 67, 93, and 96, 2.8 metres wide parking space for unit 97, and 2.54 metres wide parking space for unit 110, whereas the Zoning By-law requires a minimum 2.9 metres wide parking space.

24. 37 FALAISE RD

File Number:	A0249/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	CHAD NELSON	Ward:	Scarborough East (43)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	37 FALAISE RD	Community:	West Hill Community
Legal Description:	PLAN 2178 PT LOT 25 RP 64R4217 PART 1		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached garage with an integral garage. The existing dwelling, detached garage and shed will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.524 times the lot area (318.03 m²);
Whereas the maximum permitted floor space index is the lessor of 0.5 times the lot area (304 m²) or 279 m².
2. The proposed dwelling will be located 6.5 m from the front lot line;
Whereas the minimum required front yard setback is 12.09 m.
3. The proposed vehicle access to the parking space is from the front street (Falaise Avenue);
Whereas vehicle access to a parking space must be from a flanking street that is not a major street (Rodda Boulevard).
4. The proposed dwelling will have a height of 9.68 m, as measured from average grade;
Whereas the maximum permitted dwelling height is 9 m.

By-law No. 10327:

5. The proposed dwelling will have a total floor area equal to 0.524 times the lot area (318.03 m²);
Whereas the maximum permitted floor space index is the lessor of 0.5 times the lot area (304 m²) or 279 m².
6. The proposed dwelling will have a height of 9.76 m, as measured from mean grade;
Whereas the maximum permitted dwelling height is 9 m.

25. 63 INNISWOOD DR

File Number:	A0250/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	RAJAT KANTI CHAKRABARTY ARPITA BISWAS	Ward:	Scarborough Centre (37)
Agent:	NADEEM IRFAN	Heritage:	Not Applicable
Property Address:	63 INNISWOOD DR	Community:	Wexford Community
Legal Description:	PLAN 4219 LOT 52		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

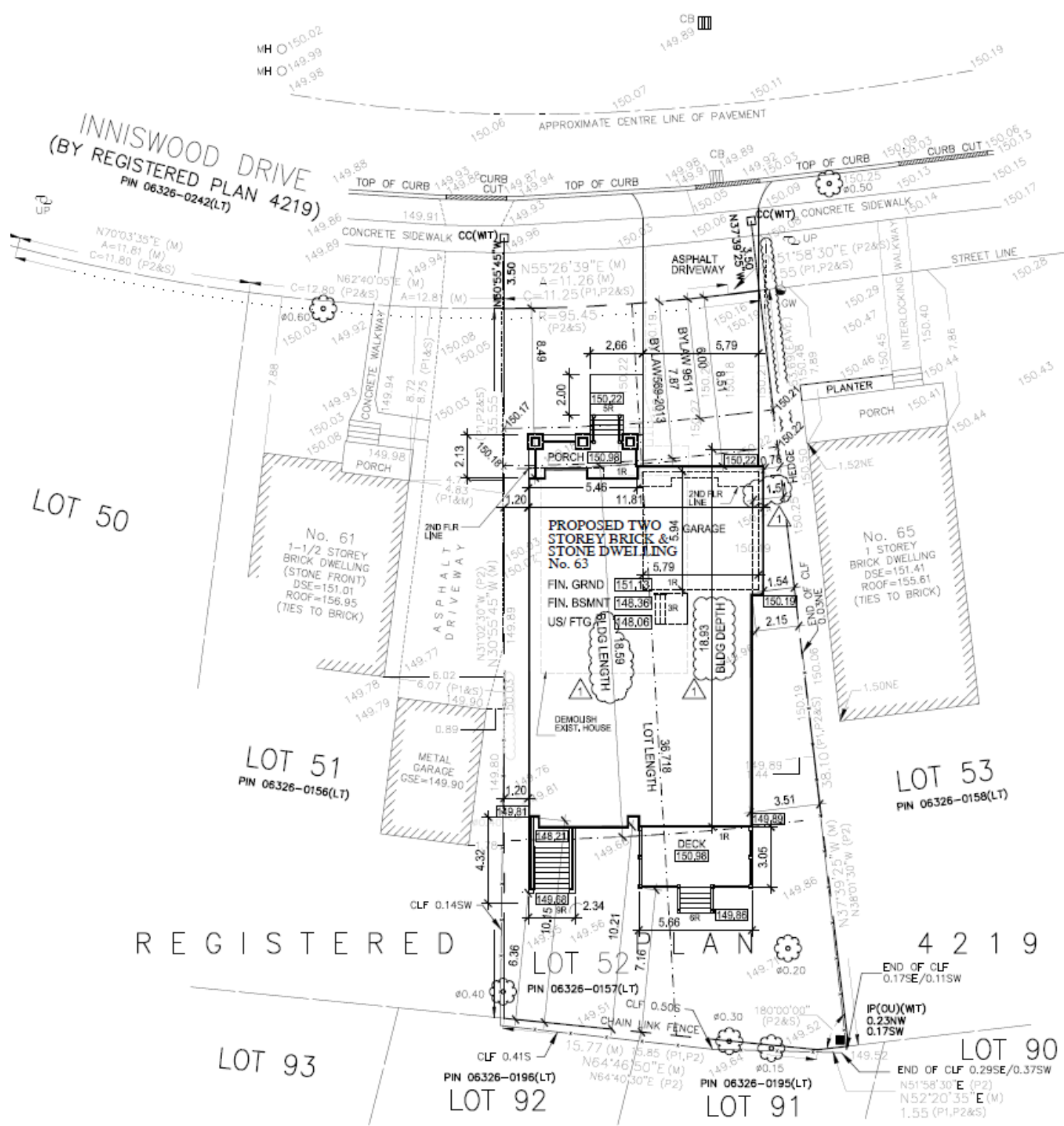
REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will cover 36.93% of the lot area;
Whereas the maximum permitted coverage is 33% of the lot area.
2. The proposed dwelling will have a length of 18.59 m;
Whereas the maximum permitted dwelling length is 17 m.

By-law No. 9511:

3. The proposed dwelling will cover 38.79% of the lot area;
Whereas the maximum permitted coverage is 33% of the lot area.



26. 15 BELLEFONTAINE ST

File Number:	A0259/17SC	Zoning	Residential Detached (RD) & Single Family (S) Zone [Waiver]
Owner(s):	LI TAO CHAN	Ward:	Scarborough-Agincourt (39)
Agent:	TRAN DIEU & ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	15 BELLEFONTAINE ST	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4401 LOT 66		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.44 times the lot area (357.4 m²); Whereas the maximum permitted floor space index is 0.4 times the lot area (324.9 m²).
2. The proposed dwelling will be located 1.5 m from the south side lot line; Whereas the minimum required side yard setback is 1.8 m.
3. The proposed dwelling will have a length of 19.43 m; Whereas the maximum permitted dwelling length is 17 m.
4. The proposed dwelling will have a depth of 21.53 m, as measured from the required front yard setback to the rear main wall; Whereas the maximum permitted depth is 19 m.

By-law No. 12360:

5. The proposed dwelling will have a floor area equal to 0.44 times the lot area (357.4 m²); Whereas the maximum permitted floor area is 0.4 times the lot area (324.9 m²).
6. The proposed dwelling will be located 1.5 m from the south side lot line; Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.

27. 60 CHINE DR

File Number:	A0263/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	NATALIYA BALKO YURIY BALKO	Ward:	Scarborough Southwest (36)
Agent:	YURIY BALKO	Heritage:	Not Applicable
Property Address:	60 CHINE DR	Community:	Cliffside Community
Legal Description:	PLAN 1566 LOT 430		

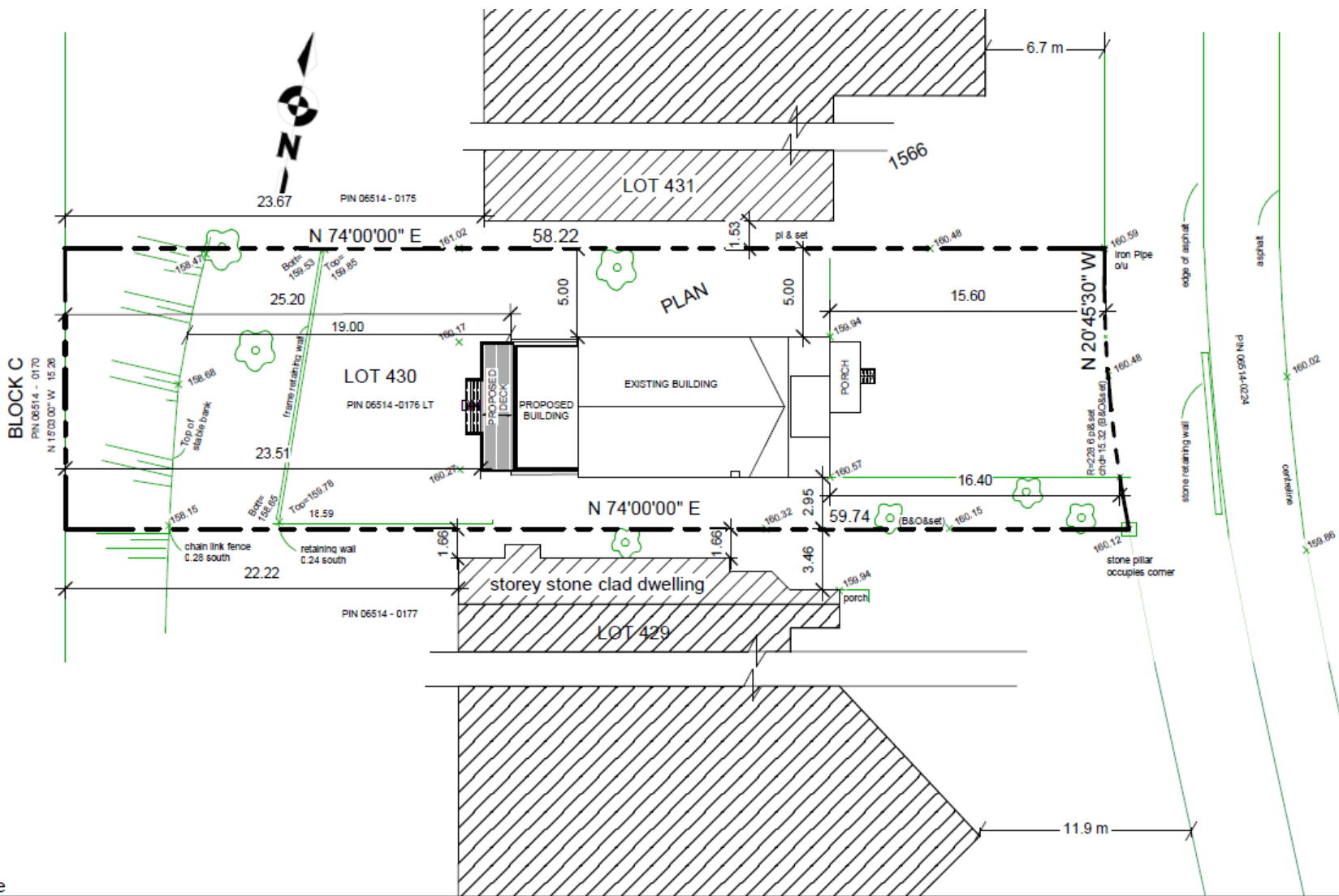
PURPOSE OF THE APPLICATION:

To construct a one-storey addition with terrace at the rear of the existing dwelling. The proposed addition will be constructed over the existing foundation.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The altered dwelling will have a total length of 17.63 m;
Whereas the maximum permitted dwelling length is 17 m.
2. The altered dwelling will have a total depth of 24.73 m, as measured from the required front yard setback to the rear main wall;
Whereas the maximum permitted depth is 19 m.
3. The proposed second storey rear platform (terrace) will have an area of 29 m²;
Whereas the maximum permitted area of a platform at or above the second storey is 4 m².



CHINE DRIVE
(BY REGISTERED PLAN N° 1566)

① Site
1" = 20'-0"

28. 38 MILLDOCK DR

File Number:	A0265/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	SHERYLIN BIASON RONALDO BIASON	Ward:	Scarborough East (44)
Agent:	FOUR SEASONS SUNROOMS	Heritage:	Not Applicable
Property Address:	38 MILLDOCK DR	Community:	Centennial Community
Legal Description:	PLAN M2141 LOT 26		

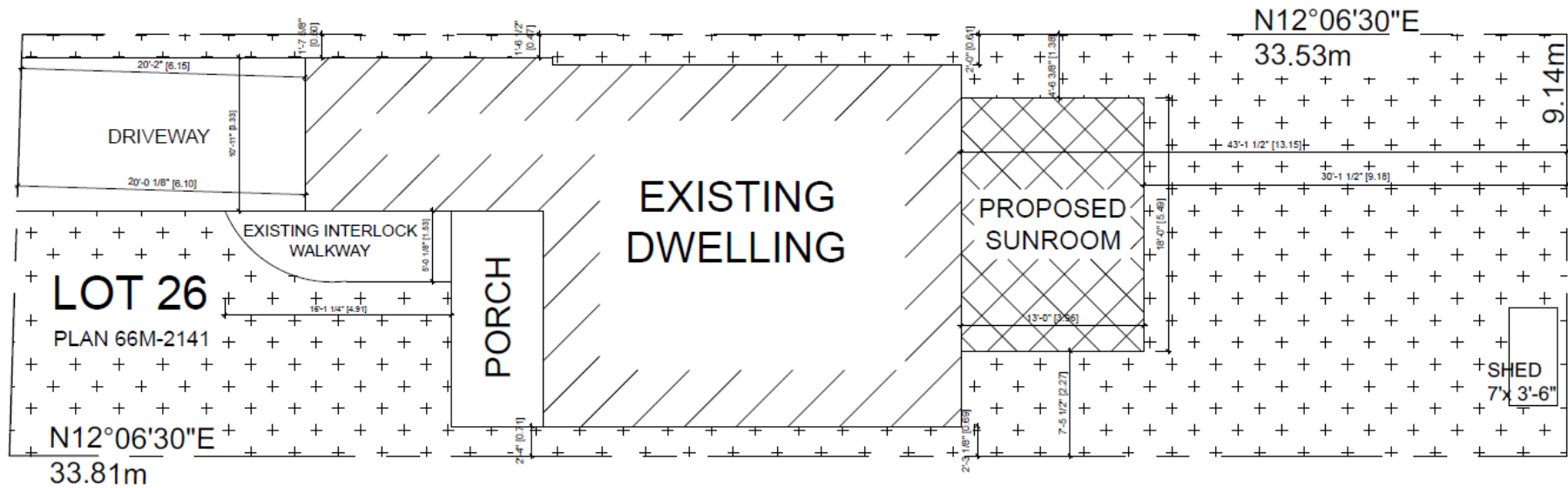
PURPOSE OF THE APPLICATION:

To construct a one-storey sunroom addition to the rear of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The altered dwelling will have a total length of 18.21 m;
Whereas the maximum permitted dwelling length is 17 m.



- +++ SOFT LANDSCAPE AREA= 1,730.52SF [160.77SM]
- +++ SOFT LANDSCAPE AREA (REAR YARD ONLY)= 1,291.17SF [119.95SM]



SITE STATISTICS

LOT AREA=	3,312.52SF (307.74SM)
EXISTING HOUSE=	1,052.90SF (97.82SM)
EXISTING SHED=	24.50SF (2.28SM)
ADDITION=	234SF (21.74SM)
LOT COVERAGE (HOUSE/ADDITION/SHED)=	39.59%
LOT COVERAGE (HOUSE)=	31.79%
LOT COVERAGE (ADDITION)=	7.06%
LOT COVERAGE (SHED)=	0.74%

29. 19 ARDEN CRES

File Number:	A0273/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	AMARPREET BAKSHI	Ward:	Scarborough Southwest (35)
Agent:	STAMBUK HOMES	Heritage:	Not Applicable
Property Address:	19 ARDEN CRES	Community:	Clairlea Community
Legal Description:	PLAN 3835 LOT 45		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

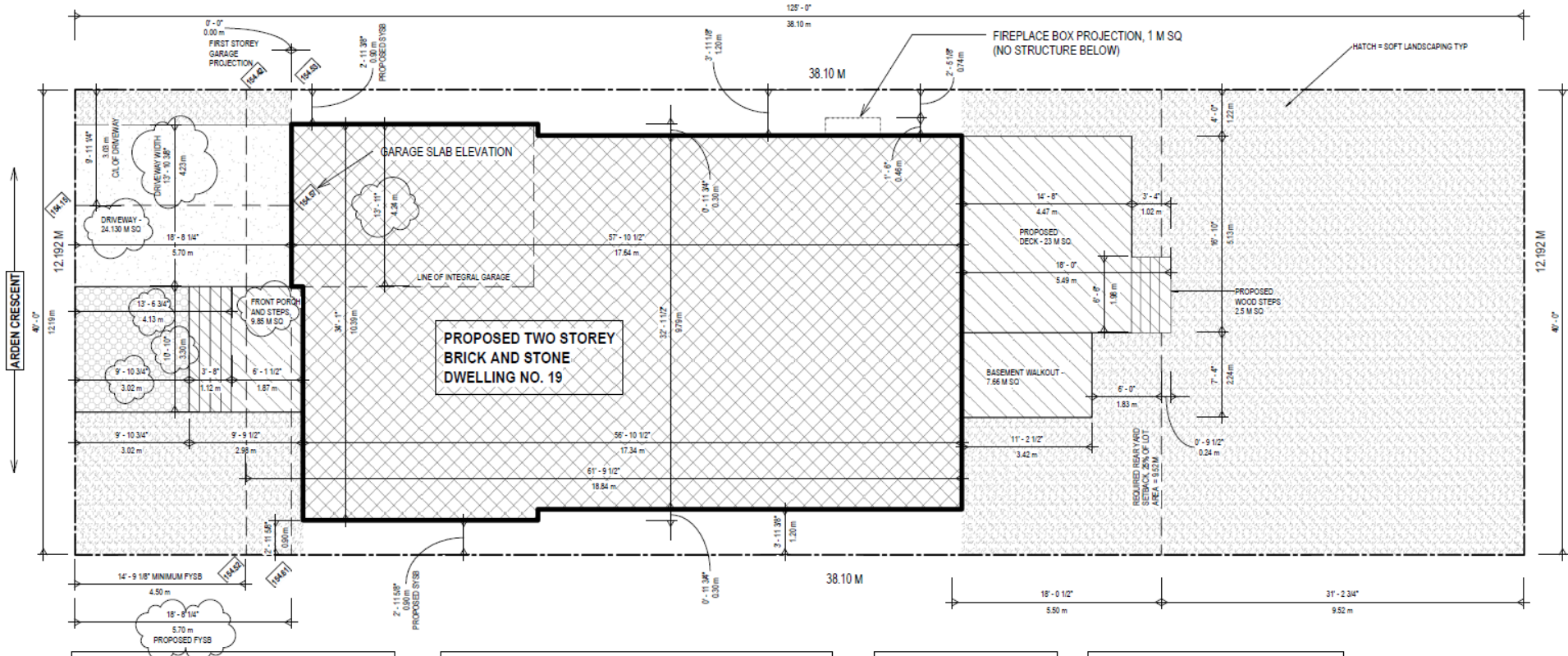
By-law No. 569-2013:

1. The proposed dwelling will cover 37.7% of the lot area (175.32 m²);
Whereas the maximum permitted coverage is 33% of the lot area (153.29 m²).
2. The proposed dwelling will have a length of 17.64 m;
Whereas the maximum permitted dwelling length is 17 m.
3. The proposed dwelling will have a height of 9.16 m;
Whereas the maximum permitted dwelling height is 9 m.
4. None of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be located within 4 m of the front main wall.
5. The proposed front stairs are 3.3 m wide;
Whereas exterior stairs may only encroach into a required minimum building setback if the stairs are no wider than 2 m.
6. The proposed driveway will have a width of 4.23 m;
Whereas the maximum permitted driveway width is 3.38 m, as measured by the width of a single parking space behind the front main wall.

By-law No. 8978:

7. The proposed garage will be located 0.9 m from the south side lot line;
Whereas the minimum required side yard setback to a garage is 1.2 m.

8. The proposed dwelling will have a height of 9.16 m;
Whereas the maximum permitted dwelling height is 9 m.
9. The proposed garage will have a height of 4.25 m, as measured from the floor to the eaves;
Whereas the maximum permitted height of a garage is 3.6 m.
10. The proposed driveway will have a width of 4.23 m;
Whereas the maximum permitted driveway width is 3.38 m, as measured by the width of a single parking space behind the front main wall.



PROPOSED COVERAGE:
 LOT AREA: 464.52 M SQ
 PERMITTED COVERAGE: 33% - 153.29 M SQ
 PROPOSED COVERAGE: 37.6 % - 174.63 M SQ

PROPOSED FLOOR AREA:
 FIRST FLOOR AREA (EXCLUDING GARAGE): 150.21 M SQ
 SECOND FLOOR AREA: 174.06 M SQ
 TOTAL FLOOR AREA: 324.27 M SQ

PROPOSED SETBACKS:
 FRONT YARD: 5.70 M
 SIDE YARD SOUTH: 0.9 M
 SIDE YARD NORTH: 0.9 M
 REAR YARD: 14.76 M

PROPOSED BUILDING DIMENSIONS:
 LENGTH: 17.59 M
 DEPTH: 18.64 M
 HEIGHT: 9.16 M

30. 3 IONSON BLVD

File Number:	A0275/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	MOHSEN KHADEMI	Ward:	Scarborough Southwest (36)
Agent:	FRJJ TECHNICAL INC	Heritage:	Not Applicable
Property Address:	3 IONSON BLVD	Community:	Birchcliff Community
Legal Description:	PLAN 2597 LOT 57		

PURPOSE OF THE APPLICATION:

To construct a new two-storey detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

By-law No. 569-2013:

1. The proposed dwelling will cover 37% of the lot area (99.68 m²);
Whereas the maximum permitted coverage is 33% of the lot area (88.9 m²).
2. A total of 6.2 m² of the first floor is proposed to be within 4 m of the front main wall;
Whereas a minimum of 10 m² of the first floor must be located within 4 m of the front main wall.

By-law No. 8786:

3. The proposed dwelling will cover 39% of the lot area (104.1 m²);
Whereas the maximum permitted coverage is 33% of the lot area (88.9 m²).
4. The proposed dwelling will be located 2.12 m from the front lot line;
Whereas the minimum required front yard setback is 6 m.

