

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0978/16EYK	Zoning:	RD & R2
Owner(s):	MASSIMO BRUTTO	Ward:	Etobicoke-Lakeshore (05)
	MONIKA MALACHOWSKA		
Agent:	MONIKA MALACHOWSKA	Heritage:	Not Applicable
Property Address:	28 PRINCETON RD	Community:	
Legal Description:	PLAN 2736 N PT LOT 90 S PT LOT 91		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a second storey rear balcony, and a rear yard deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (147.15 m²).
Section 10.20.30.40.(1)(A), By-law 569-2013
The altered dwelling will cover 36.9% of the lot area (164.56 m²).
Section 320-59.C.
The altered dwelling will cover 33.87% of the lot area (151.04 m²).
- Section 900.3.10.(38)(A), By-law 569-2013**
The maximum permitted gross floor area, including an attached or detached garage, shall be 125 m² plus 25% of the lot area (236.48 m²) up to a maximum floor space index of 0.5 (222.96 m²).
Section 1.a), By-law 1993-107
The maximum permitted gross floor area, including an attached or detached garage, shall be 125 m² plus 25% of the lot area (236.48 m²).
Section 900.3.10.(38)(A), By-law 569-2013 and Section 1.a), By-law 1993-107
The altered dwelling, including the attached garage, will have a gross floor area of 125 m² plus 34.75% of the lot area (279.96 m²) with a floor space index of 0.63 (279.96 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9 m, providing the aggregate is not less than 2.1 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 320-42.1.C.(1)
The existing front archway is located 0 m from the south side lot line and the proposed addition will be located 0.52 m from the north side lot line with an aggregate side yard setback of 2.07 m.
- Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above a second storey is 4 m².
The proposed second storey rear platform will have an area of 5.2 m².

5. **Section 10.5.40.60.(7)(B), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 320-41.D
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D
The eaves of the altered dwelling will be located 0.11 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0978/16EYK	Zoning	RD & R2
Owner:	MASSIMO BRUTTO MONIKA MALACHOWSKA	Ward:	Etobicoke-Lakeshore (05)
Agent:	MONIKA MALACHOWSKA	Heritage:	Not Applicable
Property Address:	28 PRINCETON RD	Community:	
Legal Description:	PLAN 2736 N PT LOT 90 S PT LOT 91		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0980/16EYK	Zoning	E 1.0
Owner(s):	1742875 ONTARIO INC	Ward:	Etobicoke-Lakeshore (06)
Agent:	CIC MANAGEMENT SERVICES INC	Heritage:	Not Applicable
Property Address:	53 & 55 JUDSON ST	Community:	
Legal Description:	PLAN 389 BLK C PT LOT 44		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct two mixed use buildings consisting of Block A employment/ industrial uses and Block B office use.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 60.20.40.70.(2), By-law 569-2013 & Section 304-36(3)**
The minimum required side yard setback is 3 m.
The proposed building (block A) will be located 1.5 m from the west side lot line.
- Section 60.20.40.70.(3), By-law 569-2013**
The minimum required rear yard setback is 7.5 m.
The proposed building (Block A) will be located 1.5 m from the rear lot line. The proposed building (Block B) will be located 7.05 m from the rear lot line.
- Table 200.5.10.1, By-law 569-2013**
A minimum of 85 parking spaces are required (excluding medical office).
Section 320-18.C.(3)(f)
A minimum of 185 parking spaces are required.
Table 200.5.10.1, By-law 569-2013 & Section 320-18.C.(3)(f)
A total of 81 parking spaces will be provided.
- Section 220.5.10.1.(5), By-law 569-2013**
A minimum of 2 type B and loading spaces and 2 type C loading spaces are required.
A total of 1 type B and 1 type C loading spaces will be provided.
- Section 304-36.H.(2)**
The minimum required dimensions of a loading space are 16.5 m in length and in 3.6 m width.
One of the proposed loading spaces will be 11 m in length and 3.5 m in width and the other will be 6 m in length and 3.5 m in width.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0980/16EYK	Zoning	E 1.0
Owner:	1742875 ONTARIO INC	Ward:	Etobicoke-Lakeshore (06)
Agent:	CIC MANAGEMENT SERVICES INC	Heritage:	Not Applicable
Property Address:	53 & 55 JUDSON ST	Community:	
Legal Description:	PLAN 389 BLK C PT LOT 44		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0981/16EYK	Zoning:	RD & R2
Owner(s):	ANN NATALIE BURCHELL EMMANUEL GASPARD LATOIR	Ward:	Etobicoke-Lakeshore (05)
Agent:	ALEXANDRA BISHEVSKY	Heritage:	Not Applicable
Property Address:	33 GOVERNMENT RD	Community:	
Legal Description:	PLAN 531 PT LT 10 PARCEL E		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third storey addition above the existing dwelling and a third storey rear platform.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10.(35)(A), By-law 569-2013**
The maximum permitted gross floor area is 0.5 times the area of the lot (247.96 m²).
The altered dwelling will have a gross floor area of 0.55 times the area of the lot (271.84 m²).
- Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The front exterior main walls of the altered dwelling will have height of 9.16 m.
- Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed third storey rear platform will have an area of 6.85 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Submission of a complete application for permit to injure or destroy privately owned trees.

SIGNATURE PAGE

File Number:	A0981/16EYK	Zoning	RD & R2
Owner:	ANN NATALIE BURCHELL EMMANUEL GASPARD LATOIR	Ward:	Etobicoke-Lakeshore (05)
Agent:	ALEXANDRA BISHEVSKY	Heritage:	Not Applicable
Property Address:	33 GOVERNMENT RD	Community:	
Legal Description:	PLAN 531 PT LT 10 PARCEL E		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0984/16EYK	Zoning:	RD & R2
Owner(s):	ANNA MARIE CAIN-GRAY AINSLEY ELIZABETH CAIN-GRAY	Ward:	Etobicoke-Lakeshore (05)
Agent:	CHRISTINE LAWRENCE	Heritage:	Not Applicable
Property Address:	180 BERRY RD	Community:	
Legal Description:	RANGE 2 PT LOT 3		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by: constructing a two-storey rear addition, a rear deck, a west side porch, to extend the driveway width and to create a secondary suite in the basement.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 320-42.1(C)(3)**
The minimum required side yard setback is 1.5 m.
The altered dwelling will be located 1.32 m from the west side lot line.
- 2. Section 150.10.40.1.(1), By-law 569-2013 and Section 320-22**
A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of the secondary suite.
The entire building was not constructed more than 5 years prior to the introduction of the secondary suite.
- 3. Section 10.5.100.1.(1)(C), By-law 569-2013 and Section 320-44(A)(1)(iii)**
The maximum permitted driveway width is 6 m.
The proposed driveway will have a width of 6.13 m.
- 4. Section 200.5.1.10.(2)(A), By-law 569-2013 and Section 320-18.A. as amended by By-law 497-2007**
The minimum required dimensions of a parking space are 3.2 m wide and 5.6 m long.
The proposed parking space will have a width of 3.03 m and a length of 2.52 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The site plan drawings must be revised to show the width of the proposed driveway that is above and beyond the By-law requirement as being contained entirely on private property
2. The site plan must include the following notations:
 - a. "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) to the Right-of-Way Management section of Transportation Services." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0984/16EYK	Zoning	RD & R2
Owner:	ANNA MARIE CAIN-GRAY AINSLEY ELIZABETH CAIN-GRAY	Ward:	Etobicoke-Lakeshore (05)
Agent:	CHRISTINE LAWRENCE	Heritage:	Not Applicable
Property Address:	180 BERRY RD	Community:	
Legal Description:	RANGE 2 PT LOT 3		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0989/16EYK	Zoning:	RD & R2
Owner(s):	PATRICK PRIMERANO DIANA PRIMERANO	Ward:	Etobicoke-Lakeshore (05)
Agent:	DESIGN PLAN SERVICES	Heritage:	Not Applicable
Property Address:	63 LOTHIAN AVE	Community:	
Legal Description:	PLAN 3802 LOT 13		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey side and rear addition which will include an attached garage, and a second storey addition above the existing dwelling. Also, a covered front porch is proposed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.40.70.(1)(B), By-law 569-2013 and Section 320-40.C.(3)**
The minimum required front yard setback is 7.7 m.
The altered dwelling will be located 7.22 m from the front lot line.
- Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.B.(1)**
The maximum permitted dwelling height is 9.5 m.
The altered dwelling will have a height of 9.82 m.
- Section 10.5.40.60.(3)(A)(ii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2 m.
The proposed front exterior stairs will have a width of 3.3 m.
- Section 200.5.1.10.(2)(A)(iv), By-law 569-2013 and Section 320-18.A.(1)(c)**
The minimum required parking space width for a parking space where both sides are obstructed is 3.2 m.
The proposed width of the parking space, within the proposed attached garage, will have a width of 3.04 m.
- Section 320-24.10.(A)**
A minimum of 75% of the required front yard not covered by a permitted driveway shall be maintained as soft landscaping (65.2 m²).
A total of 73.1% of the required front yard not covered by a permitted driveway will be maintained as soft landscaping (63.56 m²).
- Section 320-40.D.(2)**
The maximum permitted projection of a porch into the required front yard is 1.6 m.
The proposed porch will project 2.29 m into the required front yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The site plan drawing must be revised to show the dimensions of the portion of the driveway within the public boulevard, including the dimensions of the existing / proposed curb cut.
2. The site plan must include the following notations:
 - 2.1. "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - 2.2. "The applicant must submit a Municipal Road Damage Deposit (MRDD)." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - 2.3. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0989/16EYK	Zoning	RD & R2
Owner:	PATRICK PRIMERANO DIANA PRIMERANO	Ward:	Etobicoke-Lakeshore (05)
Agent:	DESIGN PLAN SERVICES	Heritage:	Not Applicable
Property Address:	63 LOTHIAN AVE	Community:	
Legal Description:	PLAN 3802 LOT 13		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0993/16EYK	Zoning	RD & R2
Owner(s):	DAVID QUANG TRAN LING YI SUNG	Ward:	Etobicoke North (02)
Agent:	DAVID QUANG TRAN	Heritage:	Not Applicable
Property Address:	16 PENHALE DR	Community:	
Legal Description:	PLAN 3919 PT LOT 1		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage. A previous Committee of Adjustment application (A611/15EYK) approved variances relating to floor space index, building depth, building height, main wall height, soffit height, landscaping and driveway width.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.B.(1)

The maximum permitted dwelling height is 9.5 m.

A previous Committee of Adjustment (A611/15EYK) approved a height of 10 m.

The new dwelling will have a height of 10.14 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Urban Forestry Ravine and Natural Feature Protection:

1. Prior to the issuance of a demolition and/or building permit, the applicant must obtain a Permit or Clearance under Chapter 658 – Ravine and Natural Feature Protection. The permit will be subject to conditions including tree protection.
2. Prior to the issuance of a demolition and/or building permit, all trees not approved for removal must be protected according to the “City of Toronto Tree Protection Policy and Specifications for Construction near Trees” (<http://www.toronto.ca/trees/pdfs/TreeProtSpecs.pdf>) and to the satisfaction of Urban Forestry RNFP. The tree protection measures must be installed on site and approved by Urban Forestry RNFP prior to beginning any demolition or construction activities on the subject property.
3. Prior to the issuance of a demolition and/or building permit the applicant must install sediment control fencing to the satisfaction of RNFP. The installed sediment control fencing would have to remain in place and in good condition during construction and must not be altered or moved until authorised by RNFP.

SIGNATURE PAGE

File Number:	A0993/16EYK	Zoning	RD & R2
Owner:	DAVID QUANG TRAN LING YI SUNG	Ward:	Etobicoke North (02)
Agent:	DAVID QUANG TRAN	Heritage:	Not Applicable
Property Address:	16 PENHALE DR	Community:	
Legal Description:	PLAN 3919 PT LOT 1		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0998/16EYK	Zoning	RD & R2
Owner(s):	MAIREAD JOANNA REES JOHN ELIOT REES	Ward:	Etobicoke Centre (03)
Agent:	SUNNY GERVAN	Heritage:	Not Applicable
Property Address:	7 TALLFOREST CRES	Community:	
Legal Description:	PLAN M1082 LOT 35		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition and a new deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 320-59C**
The maximum permitted lot coverage is 33% of the lot area (210.5 m²)
The altered dwelling will have a lot coverage of 33.6% of the lot area (214.4 m²).
- Section 10.20.40.70.(2), By-law 569-2013 & 320-42A**
The minimum required rear yard setback is 8.43 m.
The altered dwelling will be located 6.68 m from the rear lot line.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling depth is 17 m.
The altered dwelling will have a depth of 17.5 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0998/16EYK	Zoning	RD & R2
Owner:	MAIREAD JOANNA REES JOHN ELIOT REES	Ward:	Etobicoke Centre (03)
Agent:	SUNNY GERVAN	Heritage:	Not Applicable
Property Address:	7 TALLFOREST CRES	Community:	
Legal Description:	PLAN M1082 LOT 35		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0999/16EYK	Zoning:	R2
Owner(s):	MURALI KRISHNA RAJU ADDALA NAGA SATYAVATHI ADDALA	Ward:	Etobicoke North (02)
Agent:	MURALI KRISHNA RAJU ADDALA	Heritage:	Not Applicable
Property Address:	55 BURRARD RD	Community:	
Legal Description:	PLAN M946 LOT 92		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached green house in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**Section 320-43.(E)(1)**

The maximum permitted coverage for an accessory structure is 2% of the lot area (10.22 m²).
The proposed accessory structure (green house) will cover 10% of the lot area (51.03 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0999/16EYK	Zoning	R2
Owner:	MURALI KRISHNA RAJU ADDALA NAGA SATYAVATHI ADDALA	Ward:	Etobicoke North (02)
Agent:	MURALI KRISHNA RAJU ADDALA	Heritage:	Not Applicable
Property Address:	55 BURRARD RD	Community:	
Legal Description:	PLAN M946 LOT 92		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1000/16EYK	Zoning	RD & R2
Owner(s):	2437799 ONTARIO INC	Ward:	Etobicoke-Lakeshore (05)
Agent:	ARCTEK DESIGN	Heritage:	Not Applicable
Property Address:	70 PRINCETON RD	Community:	
Legal Description:	PLAN 3041 PT LOTS 9 & 10		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing the following: a two-storey rear addition, an attached garage, a second storey addition above the existing dwelling, and a partial third floor addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (128.8 m²).
The altered dwelling will cover 37.1% of the lot area (145 m²).
- Section 900.3.10.(38)(A), By-law 569-2013**
The maximum permitted gross floor area is 0.5 times the area of the lot (195.1 m²).
Section 1.a), By-law 1993-107
The maximum permitted gross floor area, including an attached or detached garage, shall be 125 m² plus 25% of the lot area (222.6 m²).
Section 900.3.10.(38)(A), By-law 569-2013 and Section 1.a), By-law 1993-107
The new dwelling, including the attached garage, will have a gross floor area of 125 m² plus 43% of the lot area (295.4 m²) with a floor space index of 0.75 (295.4 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1.(C)(1)
The minimum required side yard setback is 0.9 m and the aggregate width of the side yards shall not equal less than 2.1 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 320-42.1.(C)(1)
The altered dwelling will be located 0.54 m from the north side lot line and will have an aggregate side yard width of 1.77 m.
- Section 320-42.1.(D)(1)**
The maximum permitted dwelling depth is 16.5 m.
The altered dwelling will have a depth of 17 m.

5. Section 10.5.40.60.(7), By-law 569-2013

The minimum required side yard setback for eaves is 0.3 m.

Section 320-41.(D)

The minimum required side yard setback for eaves is 0.4 m.

Section 10.5.40.60.(7), By-law 569-2013 and Section Section 320-41.(D)

The eaves of the altered dwelling will be located 0.2 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1000/16EYK	Zoning	RD & R2
Owner:	2437799 ONTARIO INC	Ward:	Etobicoke-Lakeshore (05)
Agent:	ARCTEK DESIGN	Heritage:	Not Applicable
Property Address:	70 PRINCETON RD	Community:	
Legal Description:	PLAN 3041 PT LOTS 9 & 10		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1001/16EYK	Zoning:	RM & R2
Owner(s):	1634739 ONTARIO INC	Ward:	Etobicoke-Lakeshore (06)
Agent:	ARBEN SHPATI	Heritage:	Not Applicable
Property Address:	298 MELROSE ST	Community:	
Legal Description:	PLAN 1007 PT LOT 116		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing the following: an attached garage, a second storey addition above the existing dwelling and a basement walk-out with a deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 340-30(L)**
The maximum permitted gross floor area is 0.6 times the lot area (174.4 m²).
The altered dwelling will have a gross floor area of 1.03 times the lot area (298.4 m²).
- Section 10.80.40.70.(1), By-law 569-2013 & Section 340-30(N)**
The minimum required front yard setback is 5.33 m.
The altered dwelling will be located 4.64 m from the front lot line.
- Section 900.6.10.(22)(D), By-law 569-2013 & Section 340-30(A)(4)**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.42 m from the east side lot line.
- Section 10.5.40.10.(7), By-law 569-2013**
The minimum required side yard setback for the eaves is 0.3 m.
Section 340-16(B)
The minimum required side yard setback for the eaves is 0.3 m.
Section 10.5.40.10.(7), By-law 569-2013 & Section 340-16(B)
The eaves of the altered dwelling will be located 0.2 m from the east side lot line.
- Section 10.80.40.60.(4), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The altered dwelling will have a first floor height of 1.8 m above established grade.
- Section 10.80.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of the front exterior main walls is 7 m.
The front exterior main wall height of the altered dwelling will be 7.69 m.

7. **Section 10.5.50.10.(1)(D), By-law 569-2013 & Section 340-23.8(A) as amended by By-law 973-2006**
A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (16.1 m²).
A total of 51% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (12 m²).
8. **Section 340-31(A)(4)**
A minimum of 6 m of access shall be provided in front of the parking space.
A total of 4.64 m will be provided in front of the parking space.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal shall be constructed substantially in accordance with the revised plans submitted and held on file by the Committee of Adjustment office and date stamped as received on March 8, 2017. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1. The Site Plan Drawing must be revised to include the following notations:
 - a. "All existing redundant curb cuts that are no longer required must be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards";
 - c. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - d. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A1001/16EYK	Zoning	RM & R2
Owner:	1634739 ONTARIO INC	Ward:	Etobicoke-Lakeshore (06)
Agent:	ARBEN SHPATI	Heritage:	Not Applicable
Property Address:	298 MELROSE ST	Community:	
Legal Description:	PLAN 1007 PT LOT 116		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0001/17EYK	Zoning:	RD & R2
Owner(s):	ARLENE KHAN WASEEM SATTAR KHAN	Ward:	Etobicoke-Lakeshore (05)
Agent:	SHAHRAM RASHVAND	Heritage:	Not Applicable
Property Address:	175 THE KINGSWAY	Community:	
Legal Description:	PLAN 1732 PT LOT 20		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (152.12 m²).

Section 10.20.30.40.(1)(A), By-law 569-2013
The new dwelling will cover 39% of the lot area (178.65 m²).

Section 320-59.C.
The new dwelling will cover 40% of the lot area (184.22 m²).
- Section 900.3.10.(35)(A), By-law 569-2013**
The maximum permitted gross floor area is 0.5 times the area of the lot (230.49 m²).

Section 1.a), By-law 1993-108
The maximum permitted gross floor area of a detached dwelling, including an attached or detached garage, is 150 m² plus 25% of the lot area (265.25 m²).

Section 900.3.10.(35)(A), By-law 569-2013 and Section 1.a), By-law 1993-108
The new dwelling, including the attached garage, will have a gross floor area of 150 m² plus 44% of the lot area (354.61 m²), with a floor space index of 0.77 (354.61 m²).
- Section 10.20.40.70.(1), By-law 569-2013 & Section 320-40.C.(1)**
The minimum required front yard setback is 7.7 m.
The new dwelling will be located 2.7 m from the front lot line.
- Section 10.20.40.70.(2)(B), By-law 569-2013 & Section 320-42.A.**
The minimum required rear yard setback is 7.88 m.
The new dwelling will be located 7.09 m from the rear lot line.

5. Section 320-42.E

The maximum permitted encroachment for a platform into the required rear yard setback is 1.6 m.
The proposed rear yard deck will encroach 2.32 m into the required rear yard setback.

6. Section 320-41.F

A minimum of 6 m must be provided in front of a garage facing a flanking street.
The proposed carport facing a flanking street (Hyland Avenue) will be located 3 m from the south side lot line.

7. Section 10.20.40.10.(2)(A)(i), By-law 569-2013

The maximum permitted height of all front exterior main walls is 7 m.
The front exterior main walls of the new dwelling will have height of 7.33 m.

8. Section 320-42.1.B.(2)

The maximum permitted dwelling height for a flat roofed dwelling is 6.5 m.
The new flat roofed dwelling will have a height of 9.48 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
3. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 3.1 The site plan must be revised to include a notation on the drawing stating: "The proposed new driveway shall be constructed to the applicable City of Toronto Design Standard(s)";
 - 3.2 The site plan must be revised to include a notation on the drawing stating: "The applicant must provide a Municipal Road Damage Deposit (MRDD) for the proposed new driveway construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of our Right-of-Way Management Section at 416-338-1045 in this regard;

- 3.3 The site plan must be revised to include a notation on the drawing stating: “The applicant must obtain all required permits to construct any proposed the driveway from the Right-of-Way Management Section of Transportation Services (i.e. curb cut permits, etc.)”; and

SIGNATURE PAGE

File Number:	A0001/17EYK	Zoning	RD & R2
Owner:	ARLENE KHAN WASEEM SATTAR KHAN	Ward:	Etobicoke-Lakeshore (05)
Agent:	SHAHRAM RASHVAND	Heritage:	Not Applicable
Property Address:	175 THE KINGSWAY	Community:	
Legal Description:	PLAN 1732 PT LOT 20		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

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Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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PROJECT : 175 THE KINGSWAY,
ETOBICOKE, ON., M8X 2V7
NOV / 20 / 2016

ISSUED FOR COA

LIST OF DRAWINGS:

- COVER
- A01 SITE PLAN
- A02 BASEMENT PLAN
- A03 1ST FLOOR PLAN
- A04 2ND ROOF PLAN
- A05 ROOF PLAN
- A06 SOUTH ELEVATION
- A07 WEST ELEVATION
- A08 NORTH ELEVATION
- A09 EAST ELEVATION

CONTACT INFO:

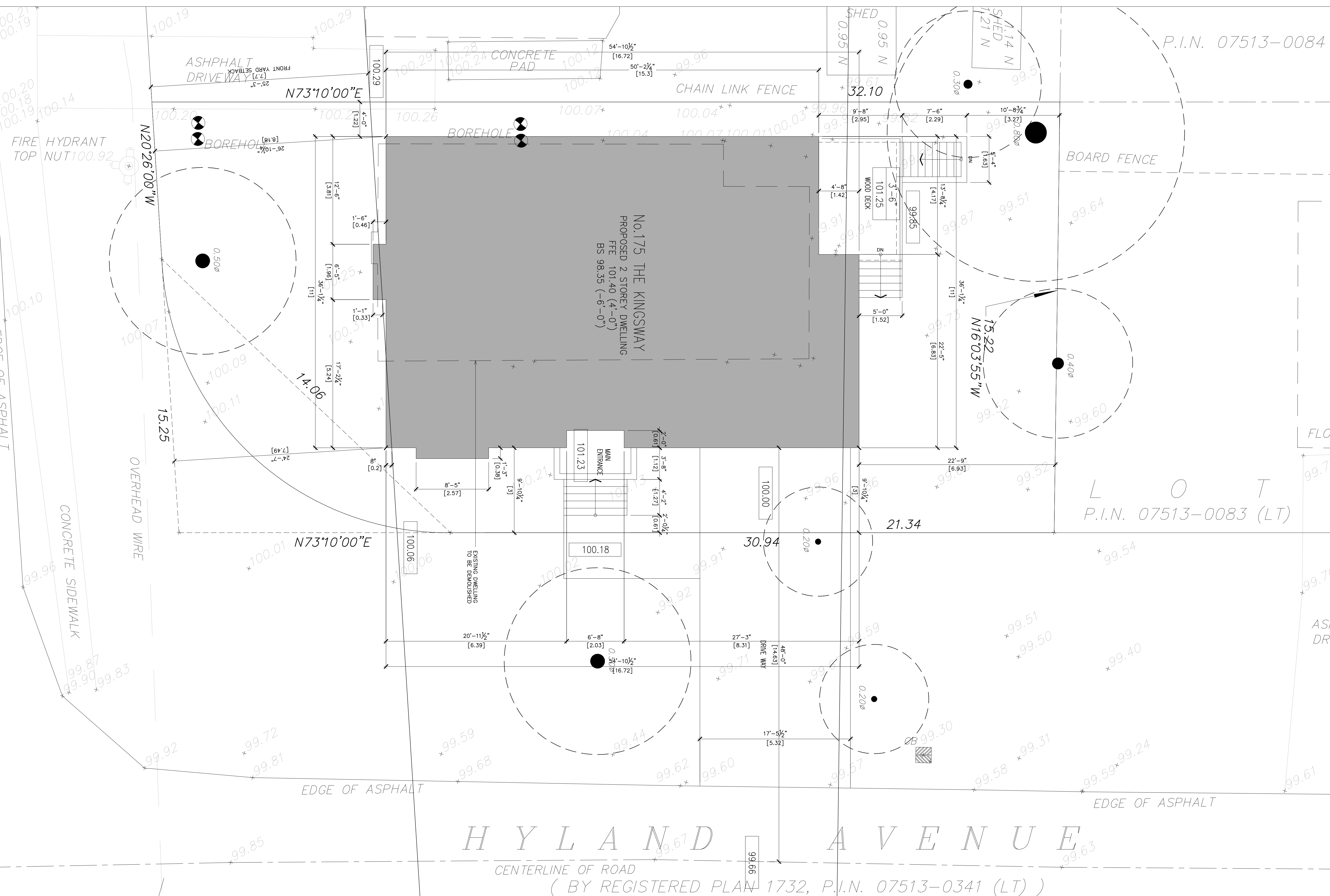
SHAHRAM 647.887.5000
shahram@rashvand.ca



THE KINGSWAY
(BY REGISTERED PLAN 1732, P.I.N. 07513-0354 (LT))

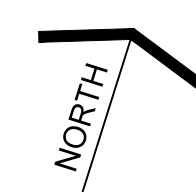
STATISTICS:
LOT AREA 460.98M²
COVERGE: 178.65M² 38.75%
ALLOWABLE COVERGE 33%
FLOOR INDEX:
BASEMENT 147.25M²
1ST FLOOR 178.65M²
2ND FLOOR 178.96M²
TOTAL (WITHOUT BASEMENT) 354.61M²
PROPOSED FLOOR SPACE INDEX 0.77%
ALLOWABLE FLOOR SPACE INDEX 0.45

ESTABLISHED GRADE CALCULATION:
100.06 + 100.29 = 200.35
200.35 / 2 = 100.18

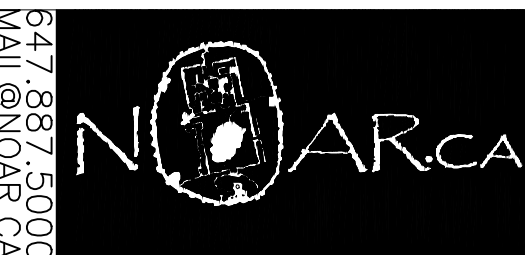


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PLOTDATE: Nov 20, 2016 - 11:23pm

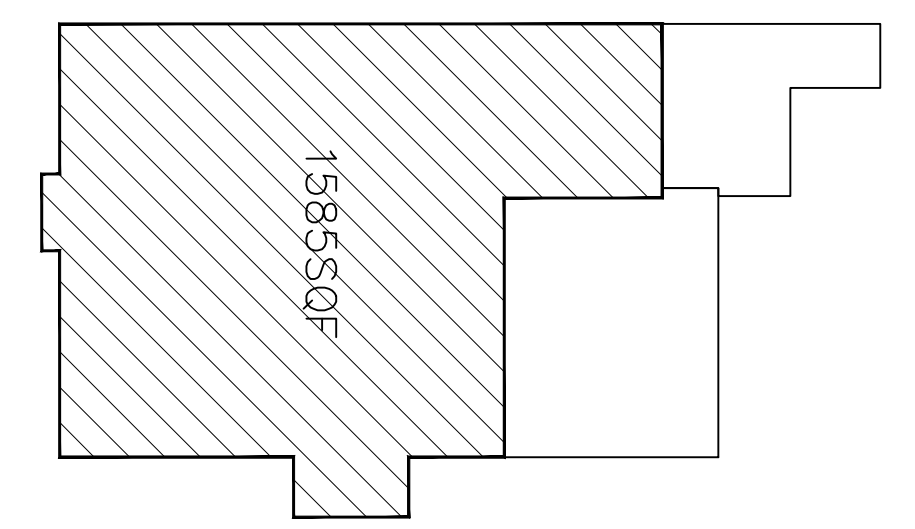
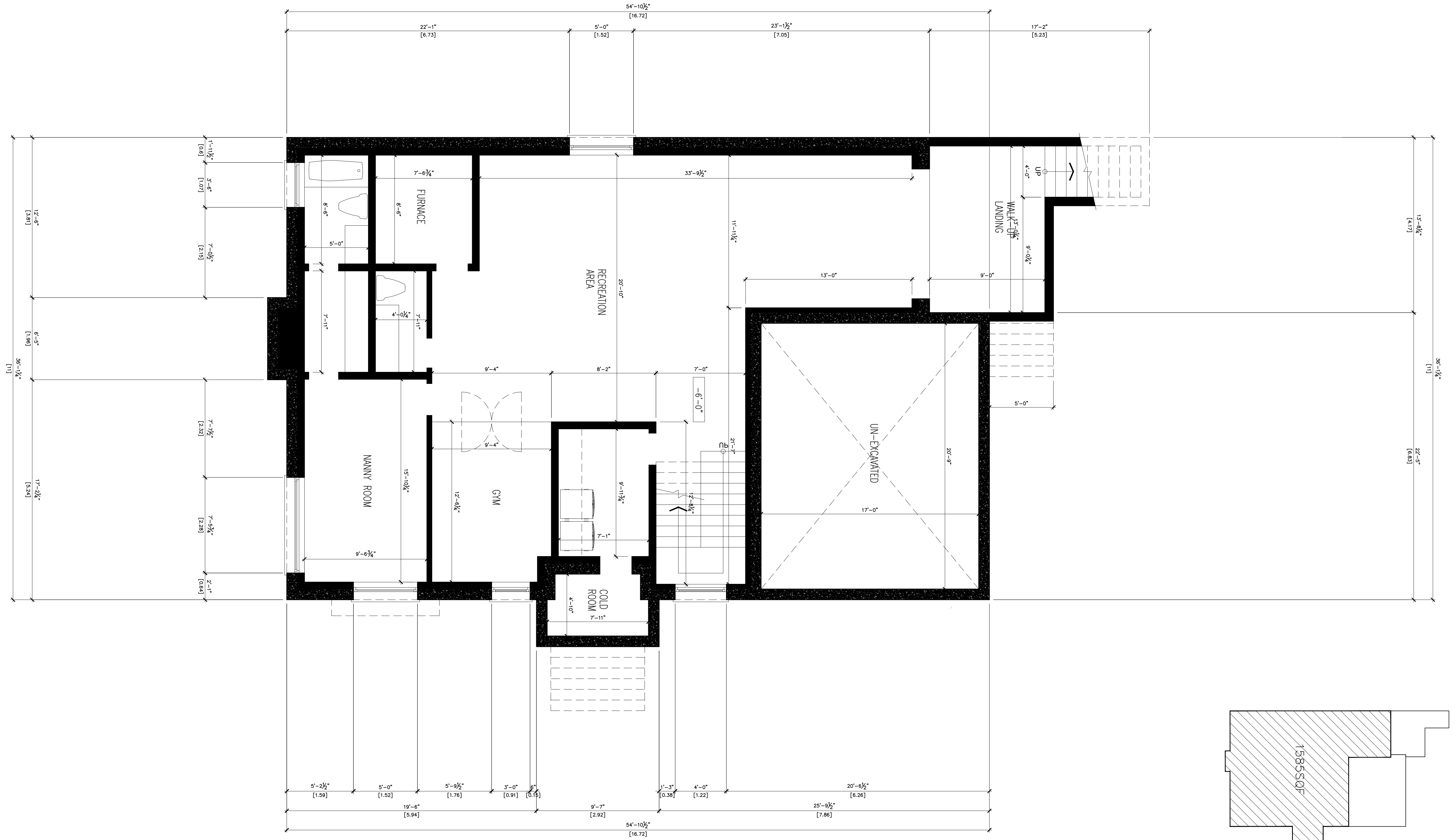


ROYAL YORK RD	NO.	ISSUED	DATE	TITLE A01	PROJECT 175 THE KINGSWAY, ETOBICOKE, ON., M8X 2V7
THE KINGSWAY	1	FOR ZIC	03/OCT/16		
	2	FOR ZIC-REVISED	07/NOV/16		
DUNDAS	3	FOR CGA	20/NOV/16	SCALE 3/16"=1'-0"	



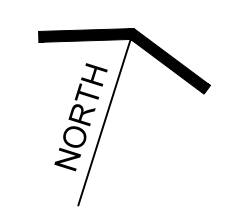
BASEMENT PLAN

SCALE 1/4"=1'-0"



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 PLOTDATE: Nov 20, 2016 - 9:52pm



ROYAL YORK RD
 THE KINGSWAY
 DUNDAS

NO.	ISSUED	DATE
1	FOR Z2C	03/OCT/16
2	FOR Z2C-REVISED	07/NOV/16
3	FOR CGA	20/NOV/16

A02

TITLE
BASEMENT FLOOR PLAN

PROJECT
 175 THE KINGSWAY,
 ETOBICOKE, ON.,
 M8X 2V7

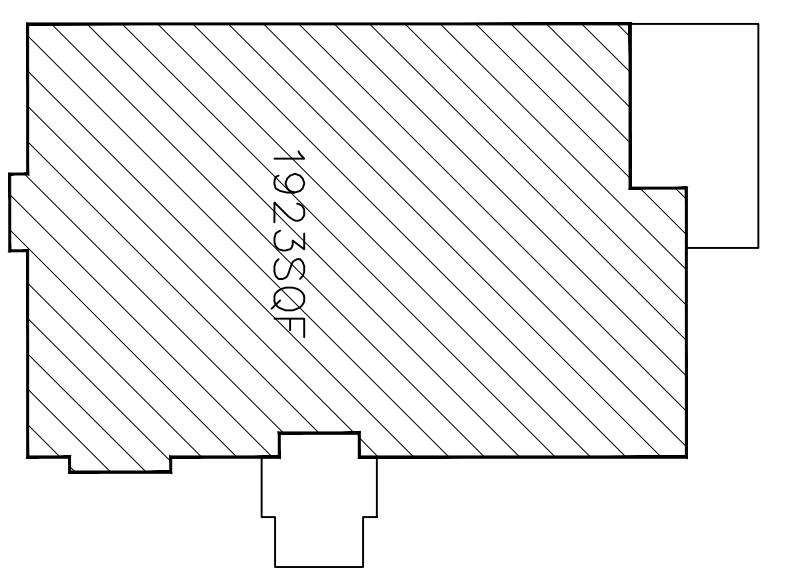
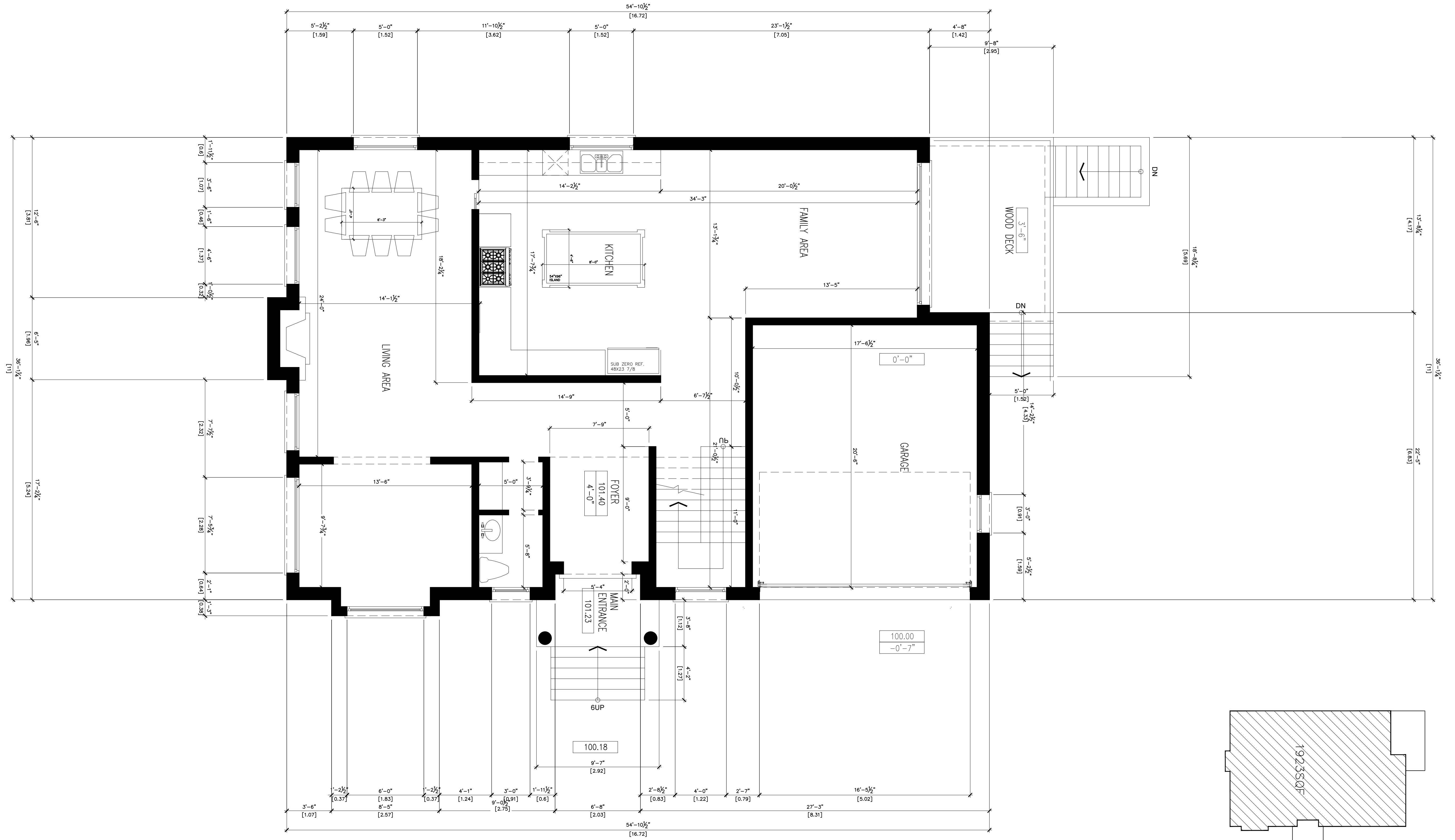
DATE
 22/JUN/2016

SCALE
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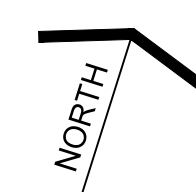
1ST FLOOR PLAN

SCALE 1/4"=1'-0"



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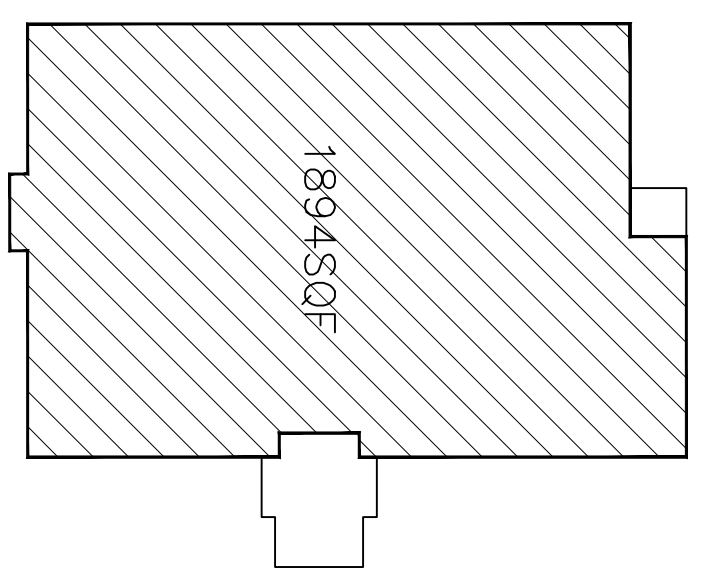
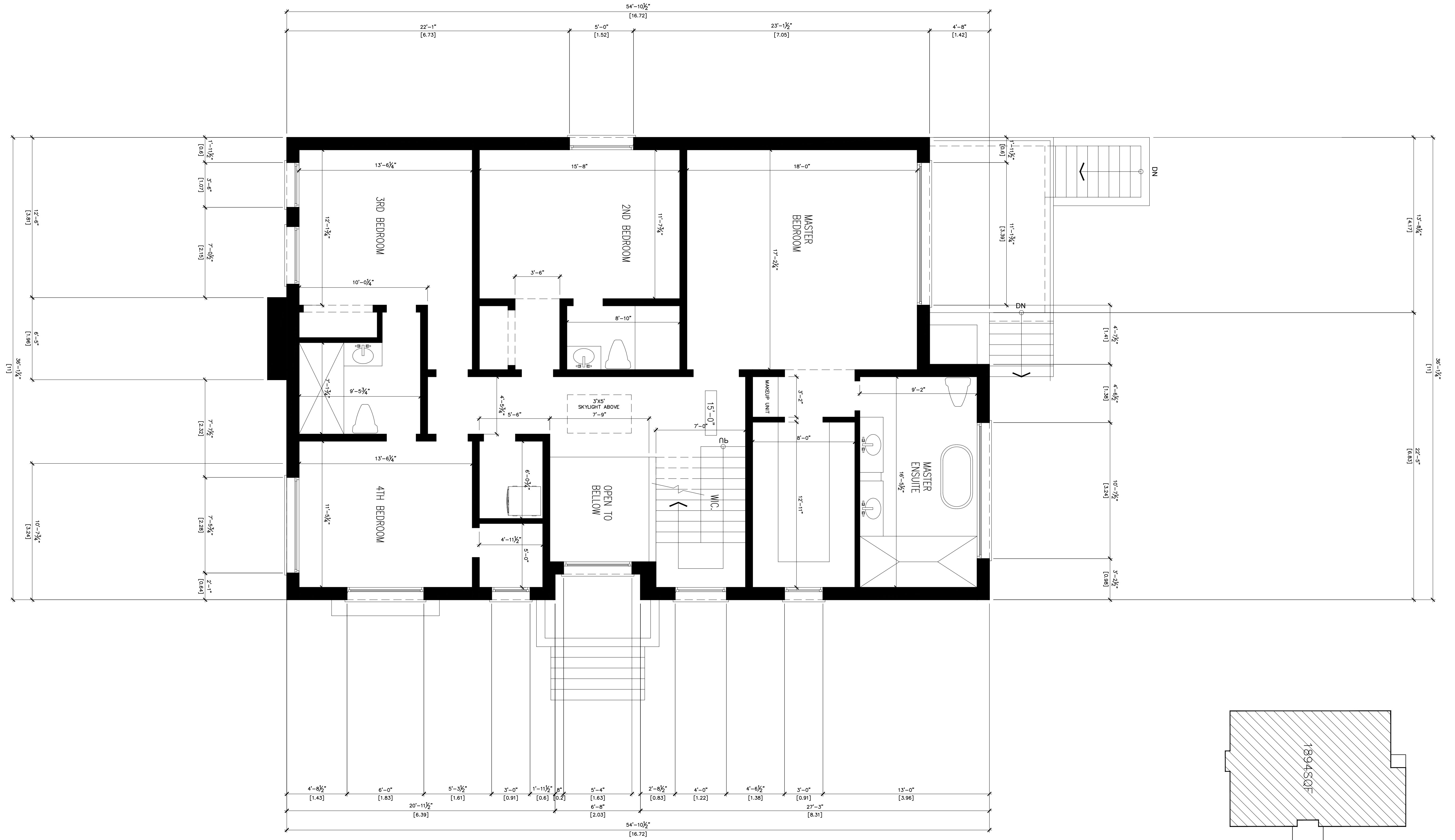
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 PLOTDATE: Nov 20, 2016 - 9:52pm



ROYAL YORK RD		M/S SANDS	NO. ISSUED	DATE	TITLE	PROJECT
THE KINGSWAY						
DUNDAS ST		1	FOR ZCC	03/OCT/16	A03	1ST FLOOR PLAN
		2	FOR ZCC-REVISED	07/NOV/16		
		3	FOR CGA	20/NOV/16		
					DATE	SCALE
					22/JUN/2016	1/4"=1'-0"
					175 THE KINGSWAY, ETOBICOKE, ON., M8X 2V7	
					847.887.5000 MAIL@NOARCA.CA	
					NOARCA	

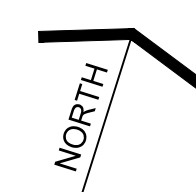
2ND FLOOR PLAN

SCALE 1/4"=1'-0"



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 PLOTDATE: Nov 20, 2016 - 9:53pm



ROYAL YORK RD
 THE KINGSWAY

M/D/S
 DUNDAS ST W

NO.	ISSUED	DATE
1	FOR Z2C	03/OCT/16
2	FOR Z2C-REVISED	07/NOV/16
3	FOR CGA	20/NOV/16

A04

TITLE
 2ND FLOOR PLAN
 DATE: 22/JUN/2016 SCALE: 1/4"=1'-0"

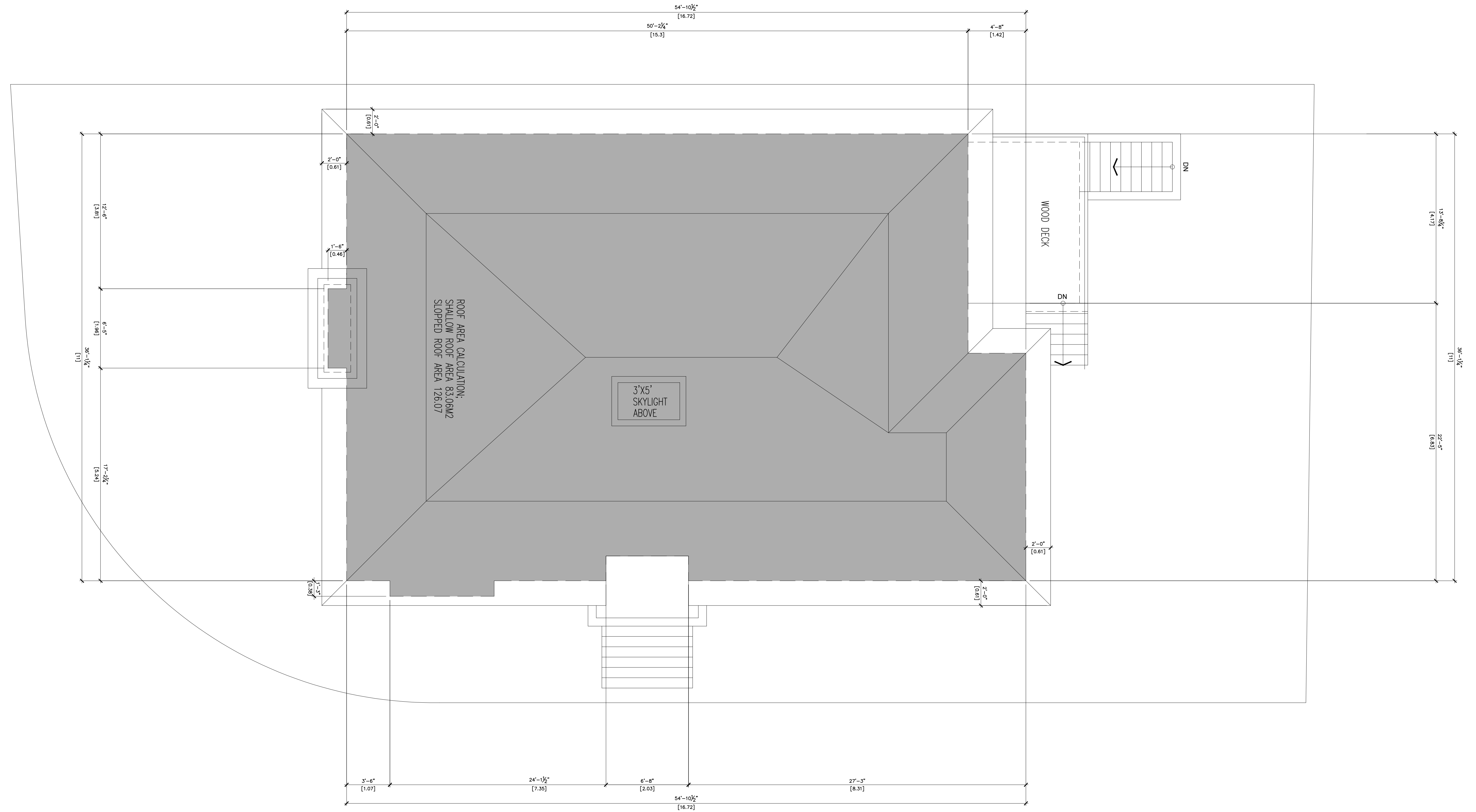
PROJECT
 175 THE KINGSWAY,
 ETOBICOKE, ON.,
 M8X 2V7

047.887.5000
 MAIL@NOAR.CA



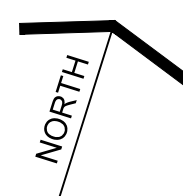
ROOF PLAN

SCALE 1/4"=1'-0"



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PLOTDATE: Nov 20, 2016 - 9:53pm



ROYAL YORK RD

THE KINGSWAY

DUNDAS ST W

NO.	ISSUED	DATE
1	FOR Z2C	03/OCT/16
2	FOR Z2C-REVISED	07/NOV/16
3	FOR CGA	20/NOV/16

A05

ROOF PLAN

DATE: 22/JUN/2016 SCALE: 1/4"=1'-0"

PROJECT
175 THE KINGSWAY,
ETOBICOKE, ON.,
M8X 2V7

847.887.5000
MAIL@NOARCA.CA



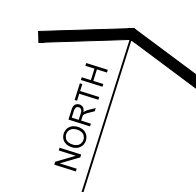
MAIN (SOUTH) ELEVATION

SCALE 1/4"=1'-0"

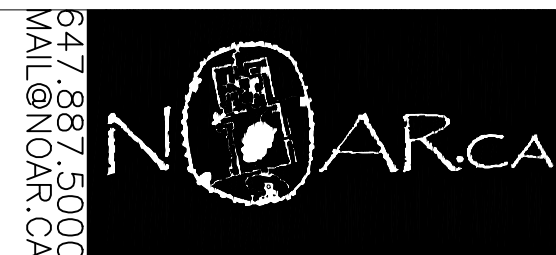


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 PLOTDATE: Nov 20, 2016 - 9:54pm



ROYAL YORK RD		DUNDAS ST W	NO.	ISSUED	DATE	A06	TITLE MAIN ELEVATION SOUTH	PROJECT 175 THE KINGSWAY, ETOBICOKE, ON., M8X 2V7
THE KINGSWAY			1	FOR Z2C	03/OCT/16			
			2	FOR Z2C-REVISED	07/NOV/16			
			3	FOR CGA	20/NOV/16			
							DATE 22/JUN/2016	SCALE 1/4"=1'-0"



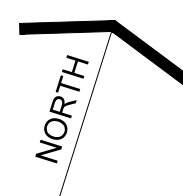
WEST ELEVATION

SCALE 1/4" = 1'-0"



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 PLOTDATE: Nov 20, 2016 - 9:55pm



ROYAL YORK RD

THE KINGSWAY

DUNDAS ST W

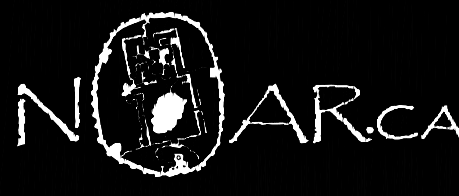
NO.	ISSUED	DATE
1	FOR Z2C	03/OCT/16
2	FOR Z2C-REVISED	07/NOV/16
3	FOR CGA	20/NOV/16

A07

NO.	TITLE	SCALE
1	WEST ELEVATION	1/4"=1'-0"

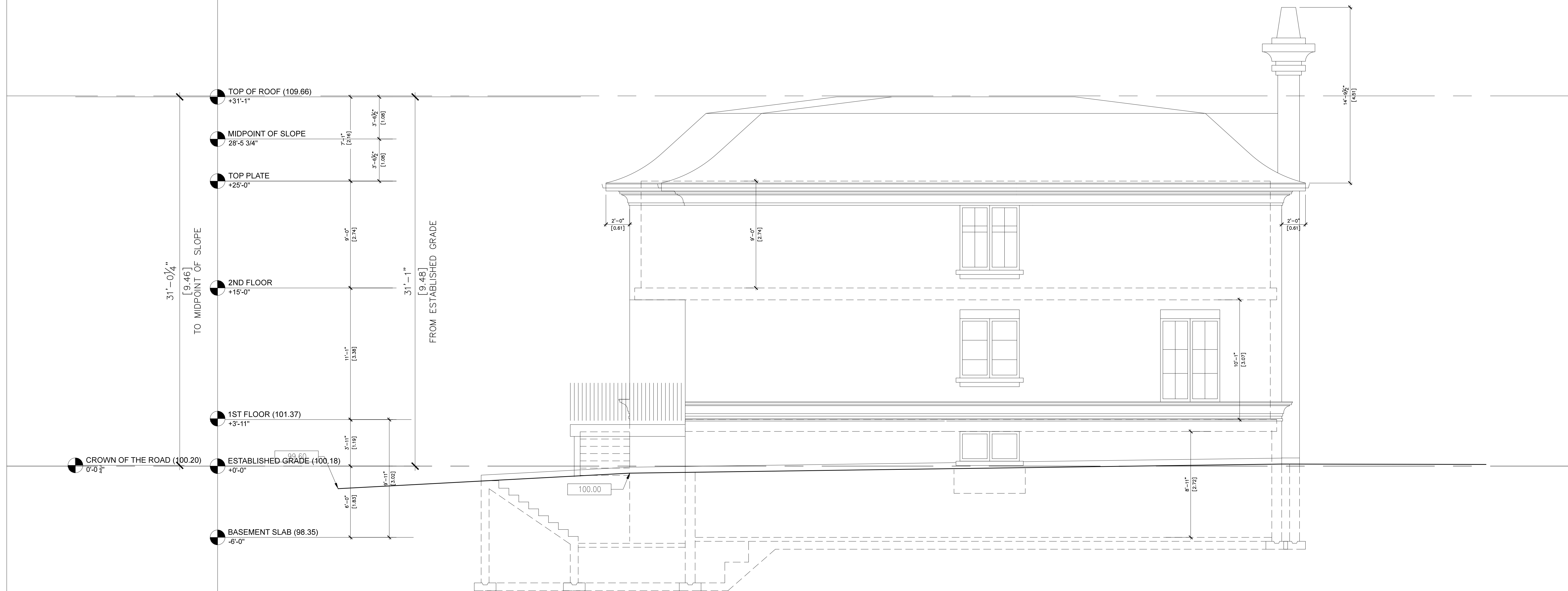
PROJECT
 175 THE KINGSWAY,
 ETOBICOKE, ON.,
 M8X 2V7

047.887.5000
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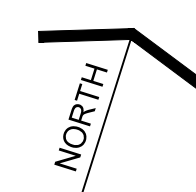
NORTH ELEVATION

SCALE 1/4" = 1'-0"



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FILENAME: /Users/shahramrashvand/Library/Mobile Documents/com~apple~CloudDocs/175 THE KINGSWAY/CAD/160907-175 The Kingsway-ELEs.dwg
 PLOTDATE: Nov 20, 2016 - 9:56pm



ROYAL YORK RD
 THE KINGSWAY
 DUNDAS ST W

NO.	ISSUED	DATE
1	FOR Z2C	03/OCT/16
2	FOR Z2C-REVISED	07/NOV/16
3	FOR CGA	20/NOV/16

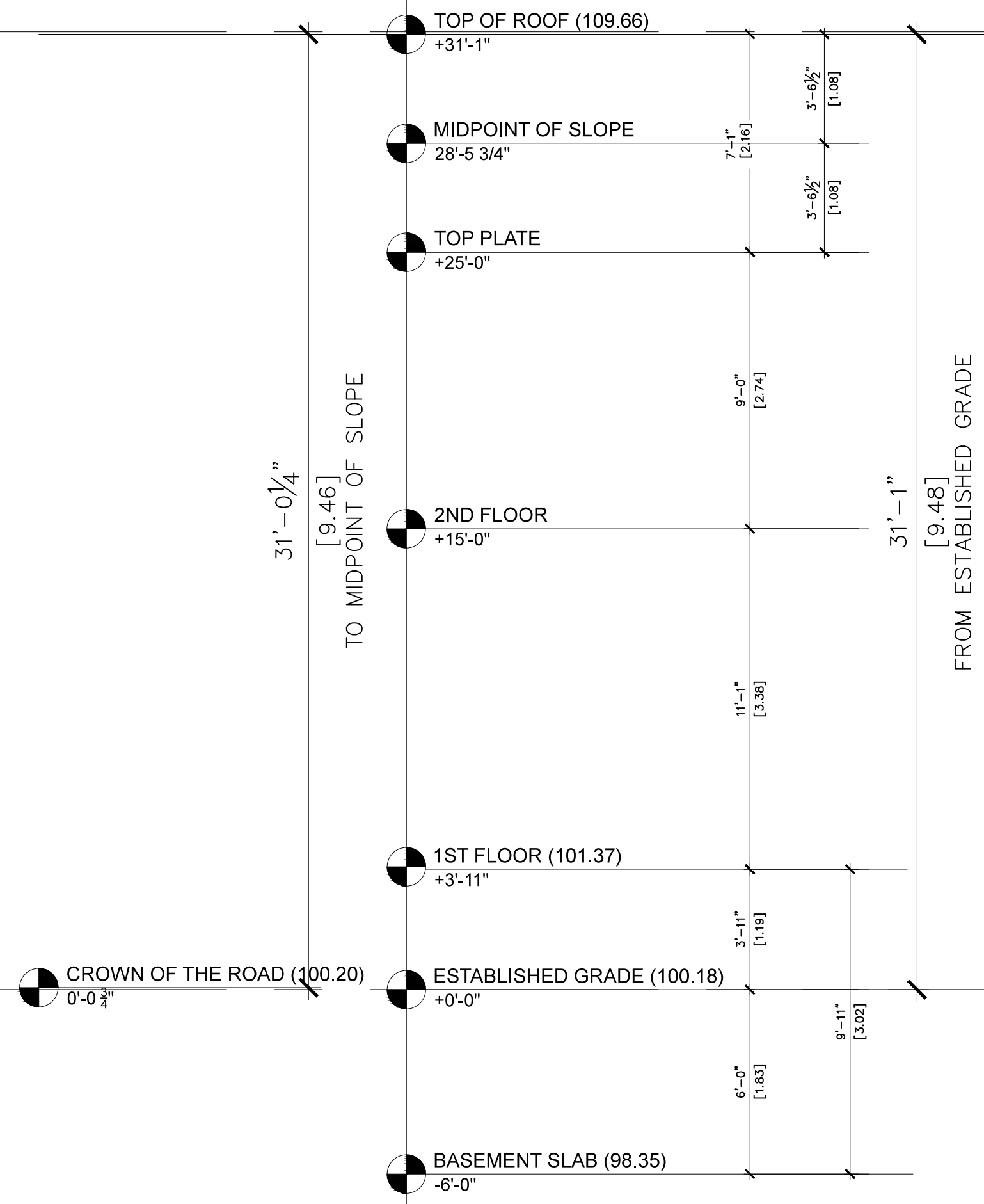
A08
 NORTH ELEVATION
 DATE: 22/JUN/2016 SCALE: 1/4"=1'-0"

PROJECT
 175 THE KINGSWAY,
 ETOBICOKE, ON.,
 M8X 2V7



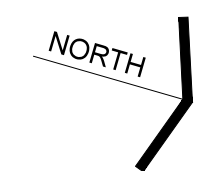
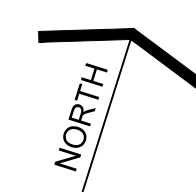
WEST ELEVATION

SCALE 1/4"=1'-0"



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FILENAME: /Users/shahramrashvand/Library/Mobile Documents/com~apple~CloudDocs/175 THE KINGSWAY/CAD/160907-175 The KingsWay-ELEs.dwg
 PLOTDATE: Nov 20, 2016 - 9:57pm



ROYAL YORK RD
 THE KINGSWAY
 DUNDAS ST W

NO.	ISSUED	DATE
1	FOR ZIC	03/OCT/16
2	FOR ZIC-REVISED	07/NOV/16
3	FOR CGA	20/NOV/16

A09

TITLE	SCALE
WEST ELEVATION	1/4"=1'-0"
DATE	22/JUN/2016

PROJECT
 175 THE KINGSWAY,
 ETOBICOKE, ON.,
 M8X 2V7

847.887.5000
 MAIL@NOAR.CA



Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0002/17EYK	Zoning	RD & R2
Owner(s):	ENNIO RUBINO	Ward:	Etobicoke Centre (03)
Agent:	GLENN EDWARDS	Heritage:	Not Applicable
Property Address:	131 WEST DEANE PARK DR	Community:	
Legal Description:	PLAN 5719 LOT 193		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct an attached garage and a one-storey addition along the north side, a second storey addition over a portion of the dwelling, and a new front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (254.77 m²).
Section 10.20.40.40.(1)(A), By-law 569-2013
The altered dwelling will have a floor space index of 0.55 times the area of the lot (311.99 m²).
Section 320-42.1.A.(1)
The altered dwelling will have a floor space index of 0.53 times the area of the lot (302.04 m²).
- Section 10.20.40.70.(2)(B), By-law 569-2013 and Section 320-42.A.**
The minimum required rear yard setback is 9.37 m.
The altered dwelling will be located 5.22 m from the rear lot line.
- Section 320-41.B.**
The minimum required side yard setback abutting a street is 3.86 m.
The altered dwelling will be located 3.75 m from the east side lot line abutting a street (West Deane Park Drive).
- Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19 m.
Section 302-42.1.D.(1)
The maximum permitted building depth is 16.5 m.
Section 10.20.40.30.(1), By-law 569-2013 and Section 302-42.1.D.(1)
The altered dwelling will have a depth of 20.14 m.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 20.12 m.
- Section 10.5.100.1.(1)(C)(i), By-law 569-2013 and Section 320-44.A.(1)(c)**
The maximum permitted driveway width is 6 m.
The driveway will have a width of 7.5 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The site plan drawings must be revised to clearly illustrate a maximum 6 m width for the portion of the driveway and associated curb cut that are located within the West Dean Park Drive municipal boulevard.
2. The site plan drawings must clearly identify the existing curb cut width within the West Dean Park Drive municipal boulevard and the additional width that is required to allow for a 6 m curb cut, as required under Condition 1.
3. The site plan drawings must be revised to include the following notations:
 - a. "All existing redundant curb cuts that are no longer required must be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards";
 - c. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - d. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0002/17EYK	Zoning	RD & R2
Owner:	ENNIO RUBINO	Ward:	Etobicoke Centre (03)
Agent:	GLENN EDWARDS	Heritage:	Not Applicable
Property Address:	131 WEST DEANE PARK DR	Community:	
Legal Description:	PLAN 5719 LOT 193		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0005/17EYK	Zoning	Rd & R2
Owner(s):	RAUL SANTOS PATRICIA GOMEZ	Ward:	Etobicoke Centre (03)
Agent:	REXFORD DESIGNS	Heritage:	Not Applicable
Property Address:	11 LLOYD MANOR RD	Community:	
Legal Description:	PLAN 4526 LOT 16		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling that will be cantilevered along the south-east corner. Also to construct a new front porch and a new rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 320-42.1.A.(1)

The maximum permitted floor space index is 0.45 times the lot area (219.48 m²).

The altered dwelling will have a floor space index of 0.51 times the lot area (250.88 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0005/17EYK	Zoning	Rd & R2
Owner:	RAUL SANTOS PATRICIA GOMEZ	Ward:	Etobicoke Centre (03)
Agent:	REXFORD DESIGNS	Heritage:	Not Applicable
Property Address:	11 LLOYD MANOR RD	Community:	
Legal Description:	PLAN 4526 LOT 16		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0010/17EYK	Zoning:	RD & R2
Owner(s):	REGINA MARIE KAPSA JOHN JOSEPH KAPSA	Ward:	Etobicoke Centre (03)
Agent:	ANGUS SKENE	Heritage:	Not Applicable
Property Address:	64 HALIBURTON AVE	Community:	
Legal Description:	PLAN 1635 PT LOT 16		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain two rear (one-storey) additions and a rear deck. Interior alterations will result in a reduced parking space within the existing garage. A previous Committee of Adjustment application (A350/07EYK) approved a rear one and two-storey addition and a rear deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.70.(2)(B), By-law 569-2013 & Section 320-42.A.**
The minimum required rear yard setback is 10.4 m.
A previous Committee of Adjustment application (A350/07EYK) approved a rear yard setback of 2.87 m from the rear lot line.
The altered dwelling will be located 4.08 m from the rear lot line.
- Section 10.5.40.60.(1)(C)(A), By-law 569-2013**
A platform without main walls may encroach into the required rear yard setback 2.5 m.
Section 320-42.E
The maximum permitted encroachment for a platform into the required rear yard setback is 1.6 m.
Section 10.5.40.60.(1)(C)(A), By-law 569-2013 and Section 320-42.E
A previous Committee of Adjustment application (A350/07EYK) approved a rear yard deck with an encroachment of 9.96 m into the required rear yard setback and 2.44 m from the rear wall of dwelling.
The proposed rear yard deck will encroach 8.25 m into the required rear yard setback.
- Section 10.20.40.30.(1), By-law 569-2013, Section 900.3.10(37)(B), By-law 569-2013 & Section 1.d(1), By-law 1992-25**
The maximum permitted building depth is 19 m.
A previous Committee of Adjustment application (A350/07EYK) approved a dwelling depth of 24.03 m.
The altered dwelling will have a depth of 22.95 m.
- Section 200.5.1.10.(2)(A), By-law 569-2013 and Section 320-18.A.(1)**
The minimum required dimensions of a parking space are 2.6 m wide and 5.6 m long.
The altered parking space (within the garage) will have a width of 2.08 m and a length of 4.29 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. Site Plan Drawing Nos. A1 and A3 must be revised to consistently show:
 - a. The stairs immediately north of the existing garage that lead to the proposed deck; and
 - b. The provision of a paved parking space immediately north of the garage, which has minimum dimensions of 3.32 m in width by 5.75 m in length.
2. Site Plan Drawing No. A1 must be revised to include the following notations:
 - a. "All existing redundant curb cuts that are no longer required must be restored to the satisfaction of the City of Toronto at no cost to the municipality"; and
 - b. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0010/17EYK	Zoning	RD & R2
Owner:	REGINA MARIE KAPSA JOHN JOSEPH KAPSA	Ward:	Etobicoke Centre (03)
Agent:	ANGUS SKENE	Heritage:	Not Applicable
Property Address:	64 HALIBURTON AVE	Community:	
Legal Description:	PLAN 1635 PT LOT 16		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0012/17EYK	Zoning:	RD & R2
Owner(s):	JULIE KENNEDY TOM FLUELLING	Ward:	Etobicoke-Lakeshore (05)
Agent:	RE:PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	4 KINGSGROVE BLVD	Community:	
Legal Description:	PLAN 2736 LOT 20		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition with an upper and lower deck in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 320-42.1.(C)(1)**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.55 m from the west side lot line.
- 2. Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 320-41.D
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7), By-law 569-2013 and Section Section 320-41.D
The eaves of the altered dwelling will be located 0.1 m from the west side lot line.
- 3. Section 10.5.80.10.(3), By-law 569-2013**
A parking space may not be located in a front yard or a side yard abutting a street.
Section 320-18.(B)(1)
A minimum of one parking space shall be provided on the lot. The said parking shall be provided either by an attached garage, carport, detached garage or rear yard parking space.
Section 10.5.80.10.(3), By-law 569-2013 and Section 320-18.(B)(1)
The proposed parking spot will be located in the front yard.
- 4. Section 320-43.(E)(1)**
The maximum permitted coverage for an accessory structure is 2% of the lot area (8.9 m²).
The existing accessory structure (detached garage) covers 4.3% of the lot area (19 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0012/17EYK	Zoning	RD & R2
Owner:	JULIE KENNEDY TOM FLUELLING	Ward:	Etobicoke-Lakeshore (05)
Agent:	RE:PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	4 KINGSGROVE BLVD	Community:	
Legal Description:	PLAN 2736 LOT 20		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0017/17EYK	Zoning	IC2
Owner(s):	3001091 CANADA INC	Ward:	Etobicoke North (02)
Agent:	3001091 CANADA INC	Heritage:	Not Applicable
Property Address:	56 MCCULLOCH AVE	Community:	
Legal Description:	PLAN 3663 PT LOT 4		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a transport trailer repair shop to operate within the existing multiple occupancy building. A previous Committee of Adjustment application (A433/11EYK) approved the operation of a transport trailer repair shop for a period of 5 years.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 304-32.

Vehicle related uses in multiple occupancy buildings are prohibited.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The Committee of Adjustment's decision of approval shall be valid for a period of 10 years, expiring on March 18, 2027.

SIGNATURE PAGE

File Number:	A0017/17EYK	Zoning	IC2
Owner:	3001091 CANADA INC	Ward:	Etobicoke North (02)
Agent:	3001091 CANADA INC	Heritage:	Not Applicable
Property Address:	56 MCCULLOCH AVE	Community:	
Legal Description:	PLAN 3663 PT LOT 4		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0024/17EYK	Zoning	RM & R3
Owner(s):	BAHADUR SINGH	Ward:	Etobicoke North (02)
Agent:	ADRIAN LITAVSKI	Heritage:	Not Applicable
Property Address:	9 HATFIELD CRES	Community:	
Legal Description:	PLAN 4163 LOT 121		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage, a rear yard deck, and a rear yard basement walk-out.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10.(18)(C)(i), By-law 569-2013 and Section 320-63.A.(3)**
The maximum permitted lot coverage is 33% of the lot area (157.44 m²).
Section 900.6.10.(18)(C)(i), By-law 569-2013
The new dwelling will cover 34.91% of the lot area (166.53 m²).
Section 320-63.A.(3)
The new dwelling will cover 36.43% of the lot area (173.8 m²).
- Section 900.6.10.(18)(E), By-law 569-2013 and Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (214.69 m²).
The new dwelling will have a floor space index of 0.6 times the area of the lot (284.47 m²).
- Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a height of 6.99 m.
- Section 320-42.E.**
The maximum permitted encroachment for a platform into the required rear yard setback is 1.6 m.
The proposed basement walkout will project 3.8 m into the required rear yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0024/17EYK	Zoning	RM & R3
Owner:	BAHADUR SINGH	Ward:	Etobicoke North (02)
Agent:	ADRIAN LITAVSKI	Heritage:	Not Applicable
Property Address:	9 HATFIELD CRES	Community:	
Legal Description:	PLAN 4163 LOT 121		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0025/17EYK	Zoning	RD & R2
Owner(s):	DRAGAN VELJKOVIC IRENA VELJKOVIC	Ward:	Etobicoke Centre (03)
Agent:	STELLANUVA CORP	Heritage:	Not Applicable
Property Address:	415 BURNHAMTHORPE RD	Community:	
Legal Description:	PLAN 3289 W PT LOT 132		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert a private home daycare into a registered day nursery.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 150.45.20.1.(1), By-law 569-2013 & Section 320-58.B.(4)

A day nursery is not a permitted use in a detached dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0025/17EYK	Zoning	RD & R2
Owner:	DRAGAN VELJKOVIC IRENA VELJKOVIC	Ward:	Etobicoke Centre (03)
Agent:	STELLANUVA CORP	Heritage:	Not Applicable
Property Address:	415 BURNHAMTHORPE RD	Community:	
Legal Description:	PLAN 3289 W PT LOT 132		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0053/17EYK	Zoning	RD & R1
Owner(s):	ANGELA MARIA VIGNA	Ward:	Etobicoke Centre (04)
Agent:	MANARCH DESIGN INC	Heritage:	Not Applicable
Property Address:	17 ROMNEY RD	Community:	
Legal Description:	PLAN 2630 PT LOT 33 PT LOT 34		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the existing as-built detached dwelling and rear cabana. A previous Committee of Adjustment application (A690/15EYK) approved a new detached dwelling with an integral garage and a rear yard cabana.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 10.20.30.40.(1)(A), By-law 569-2013**
The maximum permitted coverage is 33% of the lot area (287.4 m²).
A previous Committee of Adjustment application (A690/15EYK) approved a dwelling with coverage of 33.9% of the lot area (295.4 m²).
The proposed dwelling will cover 34.6% of the lot area (301.48 m²).
- 2. Section 320-43.E(1)**
The maximum permitted coverage for an accessory building or structure is 2% of the lot area (17.4 m²).
A previous Committee of Adjustment application (A690/15EYK) approved a rear yard cabana with coverage of 2.3% of the lot area (20.1 m²).
The proposed rear yard cabana will cover 3% of the lot area (26.2 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The roof overhang shall be permitted along the north side of the cabana only.

SIGNATURE PAGE

File Number:	A0053/17EYK	Zoning	RD & R1
Owner:	ANGELA MARIA VIGNA	Ward:	Etobicoke Centre (04)
Agent:	MANARCH DESIGN INC	Heritage:	Not Applicable
Property Address:	17 ROMNEY RD	Community:	
Legal Description:	PLAN 2630 PT LOT 33 PT LOT 34		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0131/17EYK	Zoning	RD & R1
Owner(s):	JILL BADA	Ward:	Etobicoke Centre (04)
Agent:	JILL BADA	Heritage:	Not Applicable
Property Address:	480 THE KINGSWAY	Community:	
Legal Description:	PLAN 5009 LOT 30		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage and a rear yard deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-55.C**
The maximum permitted lot coverage is 33% of the lot area (309.08 m²).
The new dwelling will cover 36.78% of the lot area (344.47 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (421.47 m²).
Section 10.20.40.40.(1)(A), By-law 569-2013
The new dwelling will have a floor space index of 0.57 times the area of the lot (535.25 m²).
Section 320-42.1.A.(1)
The new dwelling will have a floor space index of 0.58 times the area of the lot (546.06 m²).
- Section 10.20.40.70.(3)(F), By-law 569-2013**
The minimum required side yard setback is 2.4 m.
Section 320-42.1.C.(3)
The minimum required side yard setback is 1.8 m provided that the aggregate width both side yards is 4.39 m.
Section 10.20.40.70.(3)(F), By-law 569-2013 and Section 320-42.1.C.(3)
The new dwelling will be located 1.83 m from the north side lot line and will have a total aggregate side yard width of 4.27 m.

4. **Section 10.20.40.70.(5)(A), By-law 569-2013**
The minimum required side yard setback is 7.5 m where the building depth is greater than 17 m from the front main wall of the building.
The new dwelling will be located 5.36 m from the north side lot line and the 2.44 m from the south side, where the building depth is greater than 17 m from the front main wall of the building.
5. **Section 10.5.40.50.(2) to Section 10.20.40.70.(5), By-law 569-2013**
The minimum required side yard setback of the rear deck is 7.5 m where the building depth is greater than 17 m from the front main wall of the building.
The new deck will be located 5.97 m from the north side lot line and 4.92 m from the south side lot line.
6. **Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 6.58 m.
7. **Section 10.5.40.60.(7)(B), By-law 569-2013**
The eaves of a roof may encroach into a required minimum building setback a maximum of 0.9 metres, if they are no closer to a lot line than 0.3 metres.
The eaves/roof projection of the new dwelling will encroach 0.98 m into the required north side setback and where the building length is 17 m from the front main wall, the eaves will encroach 2.55 m into the required north side setback and 5.47 m into the required south side setback.
8. **Section 320-42.1.E.**
A three-car garage shall be permitted only on lots with a frontage greater than 27 m.
The existing lot frontage is 21.95 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0131/17EYK	Zoning	RD & R1
Owner:	JILL BADA	Ward:	Etobicoke Centre (04)
Agent:	JILL BADA	Heritage:	Not Applicable
Property Address:	480 THE KINGSWAY	Community:	
Legal Description:	PLAN 5009 LOT 30		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0026/17EYK	Zoning	RD & R1
Owner(s):	SHAHNAM TAFRESI DONYA KHALILZADEH	Ward:	Etobicoke Centre (04)
Agent:	SANDRA SISERA	Heritage:	Not Applicable
Property Address:	159 PERRY CRES	Community:	
Legal Description:	PLAN M709 LOT 4		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new attached garage at the front of the dwelling, a second storey addition above a portion of the existing dwelling and a roof terrace at the front of the dwelling. The existing attached garage will be converted into habitable space.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-55(C)**
The maximum permitted lot coverage is 33% of the lot area (187.4 m²).
The altered dwelling will have a lot coverage of 35.1% of the lot area (199.6 m²).
- Section 900.3.10.(37)(C), By-law 569-2013 & Section 1.(b)(1), By-law 1992-24**
The maximum permitted gross floor area is 0.5 times the area of the lot (283.9 m²).
The altered dwelling will have a gross floor area of 0.69 times the area of the lot (391.4 m²).
- Section 900.3.10(37)(D)(iii), By-law 569-2013 and Section 1.c)(3), By-law 1992-25**
The minimum required side yard setback is 1.8 m, provided that the aggregate of the side yards shall equal not less than 4.53 m.
The altered dwelling will be located 1.22 m from the north side lot line and 0.2 m from the south side lot line and will have an aggregate of side yard setback of 1.42 m.
- Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The altered dwelling will have a front exterior main wall height of 7.18 m.
- Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 7.18 m.

6. Section 10.20.40.50.(1)(B), By-law 569-2013

The maximum permitted area of a platform at or above the second storey is 4 m².

The proposed platform above the garage will have an area of 35.3 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0026/17EYK	Zoning	RD & R1
Owner:	SHAHNAM TAFRESI DONYA KHALILZADEH	Ward:	Etobicoke Centre (04)
Agent:	SANDRA SISERA	Heritage:	Not Applicable
Property Address:	159 PERRY CRES	Community:	
Legal Description:	PLAN M709 LOT 4		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0029/17EYK	Zoning:	RD & R2
Owner(s):	TINA DUGUAY JEAN-PIERRE CARVALHO	Ward:	Etobicoke-Lakeshore (05)
Agent:	TINA DUGUAY	Heritage:	Not Applicable
Property Address:	39 BERNICE AVE	Community:	
Legal Description:	PLAN 1897 LOT 29		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.70.(1), By-law 569-2013 and Section 320-40.A.**
The minimum required front yard setback is 6.73 m.
The new dwelling will be located 4.58 m from the front lot line.
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1.C.(1)
The minimum required side yard setback is 0.9 m, providing the aggregate is not less than 2.1 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 320-42.1.C.(1)
The new dwelling will be located 0.89 m from the west side lot line and 1.07 m from the east side lot line with a total aggregate side yard width of 1.96 m.
- Section 10.20.40.70.(6)(A), By-law 569-2013 and Section 320-41.B.**
The minimum required side yard setback is 3 m for a corner lot.
The new dwelling will be located 0.89 m from the west side lot line.
- Section 320-42.1.B.(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 6.8 m.
- Section 10.5.80.40.(2), By-law 569-2013**
The elevation of the lowest point of a vehicle entrance in a main wall of the building must be higher than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street .
The proposed vehicle entrance in a main wall of the principal building is lower than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposal shall be constructed substantially in accordance with the site plan submitted and held on file by the Committee of Adjustment office and date stamped as received on January 16, 2017, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.
2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:
 - 2.1 The site plan must explicitly show the sloped segment of the proposed driveway, which must be entirely on private property and cannot exceed 10% grading;
 - 2.2 The site plan must include the following notations:
 - a. "The proposed driveway shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality";
 - b. "The applicant must submit a Municipal Road Damage Deposit (MRDD)." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0029/17EYK	Zoning	RD & R2
Owner:	TINA DUGUAY JEAN-PIERRE CARVALHO	Ward:	Etobicoke-Lakeshore (05)
Agent:	TINA DUGUAY	Heritage:	Not Applicable
Property Address:	39 BERNICE AVE	Community:	
Legal Description:	PLAN 1897 LOT 29		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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39 Bernice Ave.



Committee of Adjustment

TITLE SHEET

Scale:

13/01/2017 11:05:36 AM

DUGUAY RESIDENCE
39 BERNICE AVE.

FINE LINES DESIGN

BERNICE AVE

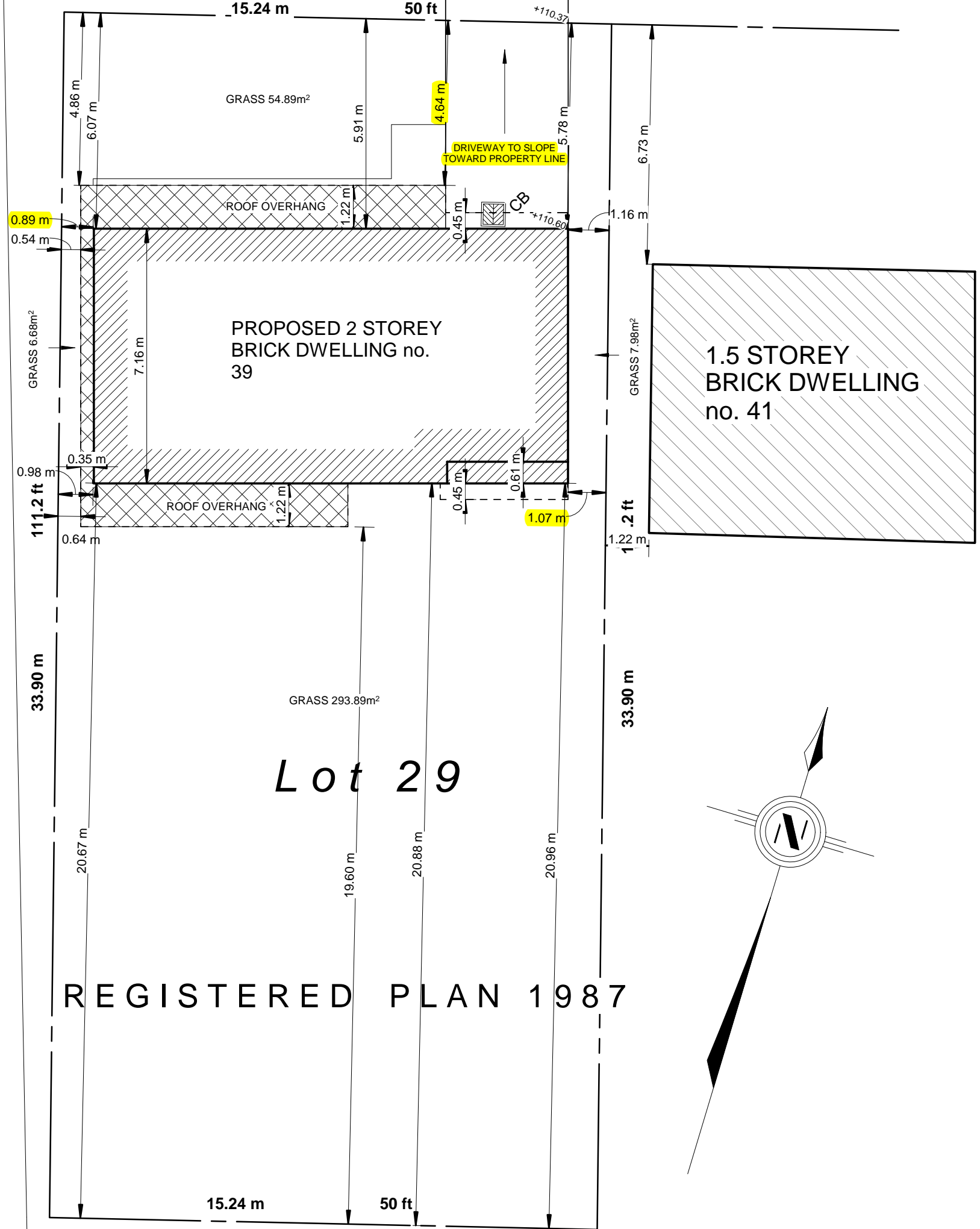
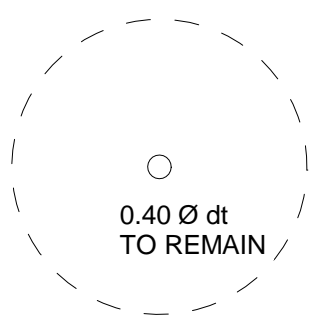
BALLACAINNE DRIVE

C/L OF DITCH

C/L OF DITCH

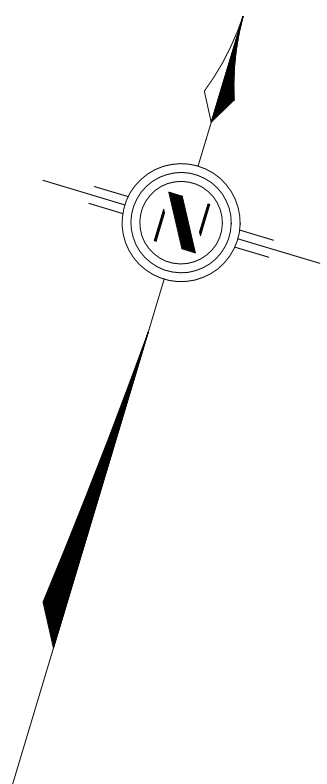
DRIVEWAY

SOFT LANDSCAPING:	
FRONT YARD AREA:	91.19m ²
SOFT LANDSCAPING:	54.89m ²
PERCENT:	60%
WEST SIDE AREA:	6.68m ²
SOFT LANDSCAPING:	6.68m ²
PERCENT:	100%
BACK YARD AREA:	320.65m ²
SOFT LANDSCAPING:	293.89m ²
PERCENT:	91%
EAST SIDE AREA:	7.98m ²
SOFT LANDSCAPING:	7.98m ²
PERCENT:	100%



Lot 29

REGISTERED PLAN 1987



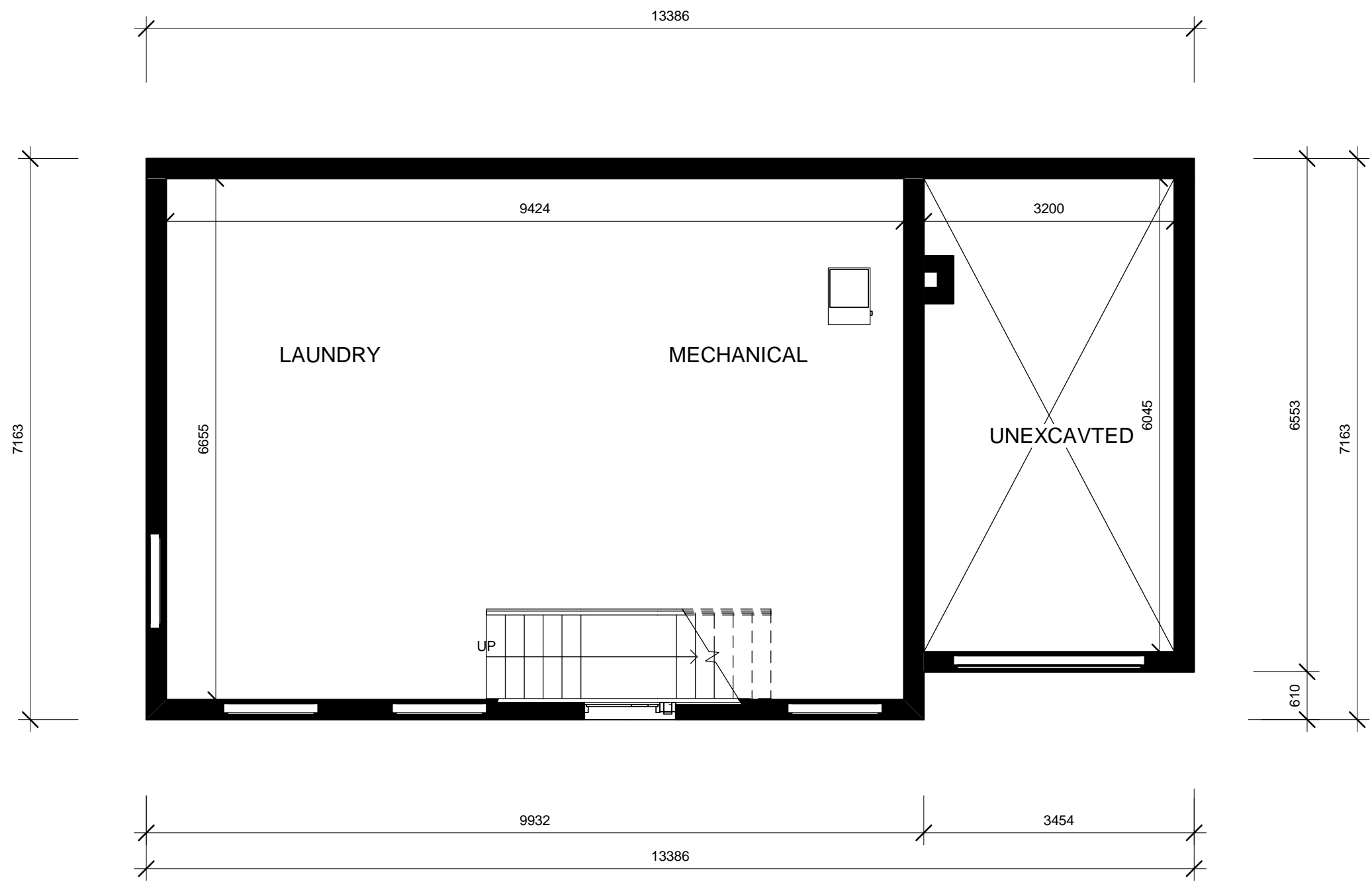
ZONING: RD	LOT NO: 29	PLAN NO: 1987	LOT AREA: 522.1 m ²	LOT FRONTAGE: 15.24 m	LOT DEPTH: 33.9 m		
DESCRIPTION	EXISTING	ADDITION	TOTAL	% ALLOWED	% SETBACKS	EXISTING	PROPOSED
LOT COVERAGE	93.5 m ²	17.7 m ²	111.2 m ²	21.2	33	FRONT YARD	5.78 m / 4.64 m
GROSS FLOOR AREA	125.5 m ²	40.5 m ²	166 m ²	31.7	45	REAR YARD	20.67 m / 19.60 m
						SIDE YARD (EAST)	1.07 m / 1.07 m
# OF STORIES	2		2			SIDE YARD (WEST)	.89 m / .89 m

SITE PLAN

Scale: As indicated
13/01/2017 11:29:59 AM

DUGUAY RESIDENCE
39 BERNICE AVE.

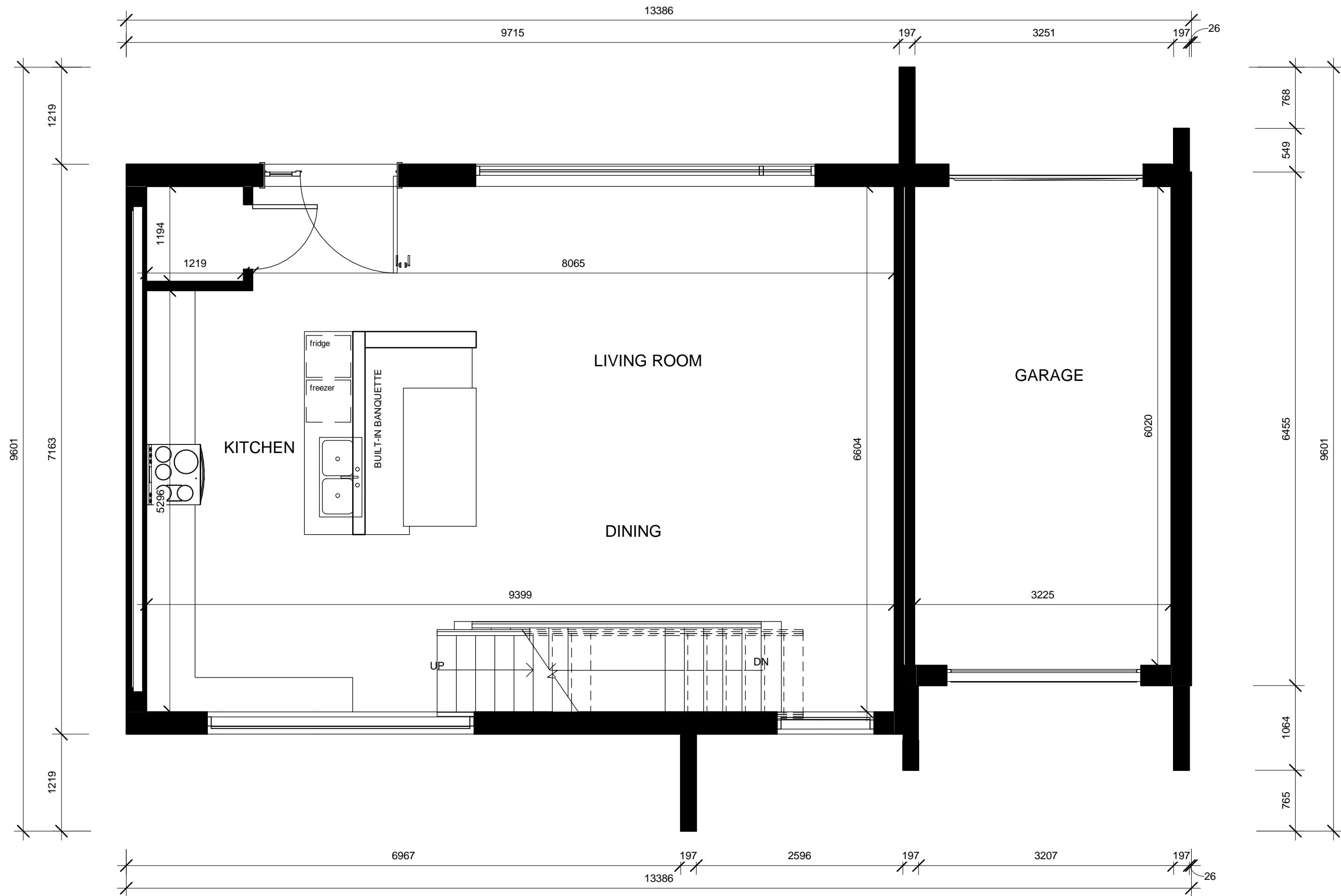
FINE LINES DESIGN



BASEMENT PLAN

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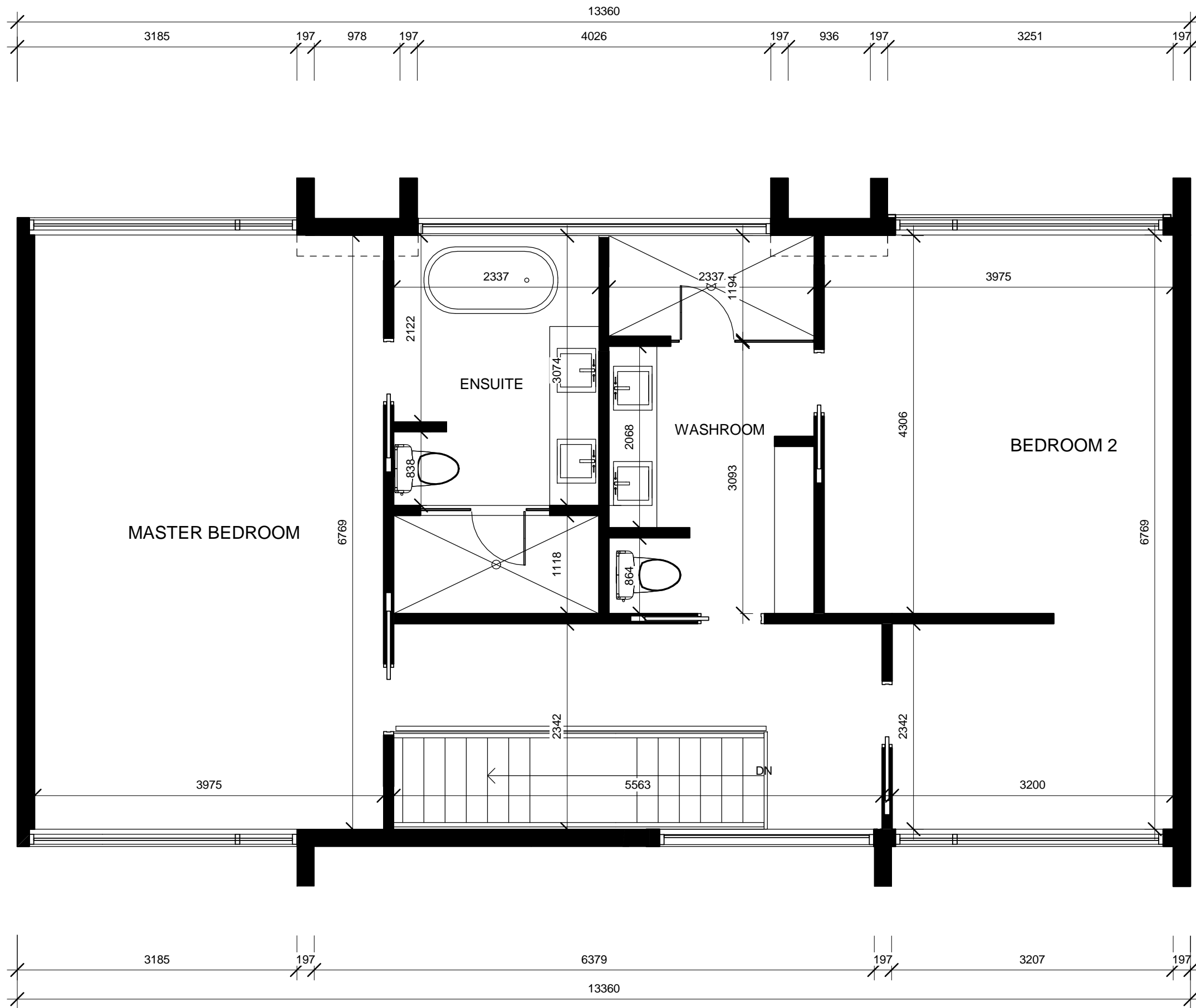
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MAIN FLOOR PLAN

Scale: 1/4" = 1'-0"

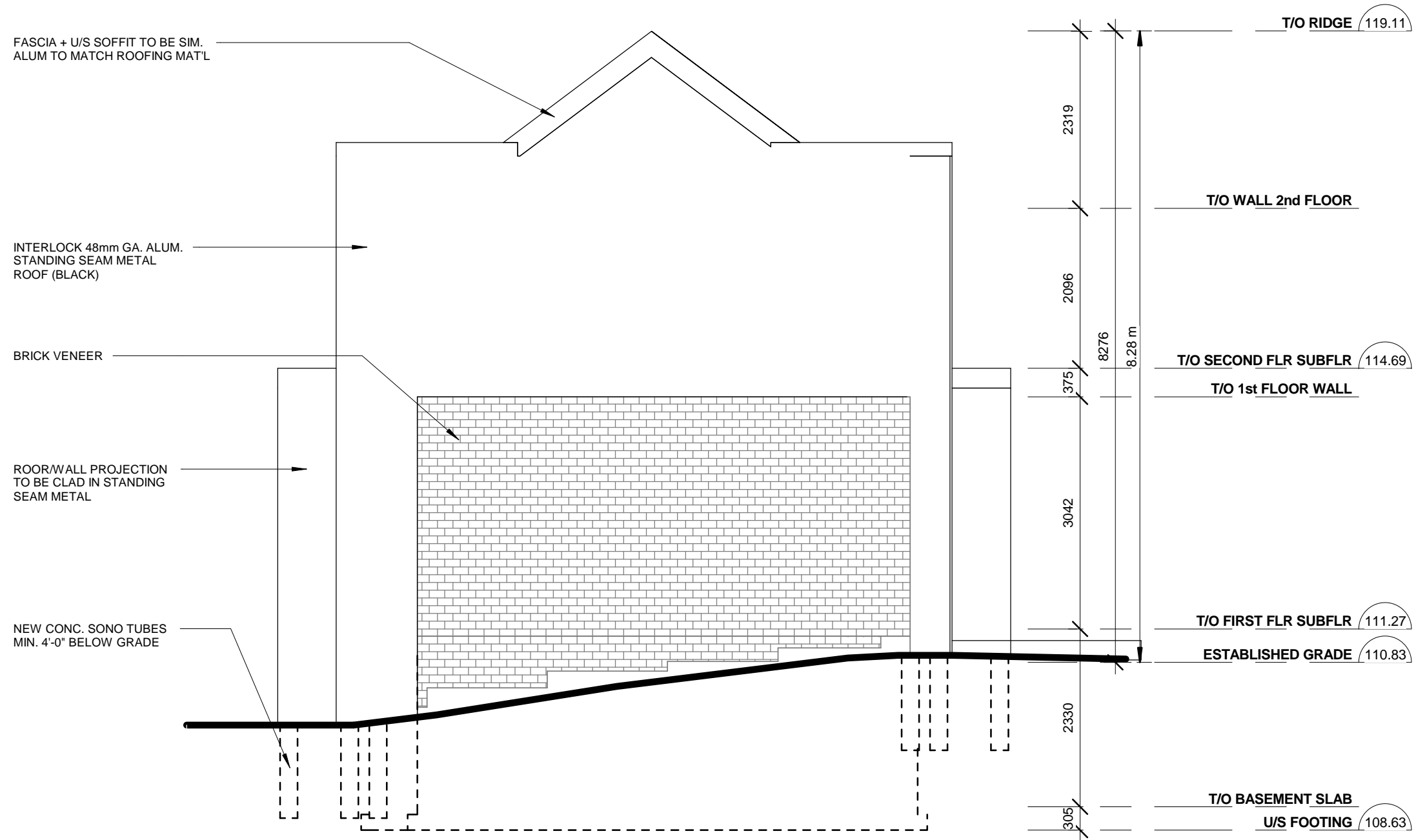
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2nd FLOOR PLAN

Scale: 1/4" = 1'-0"

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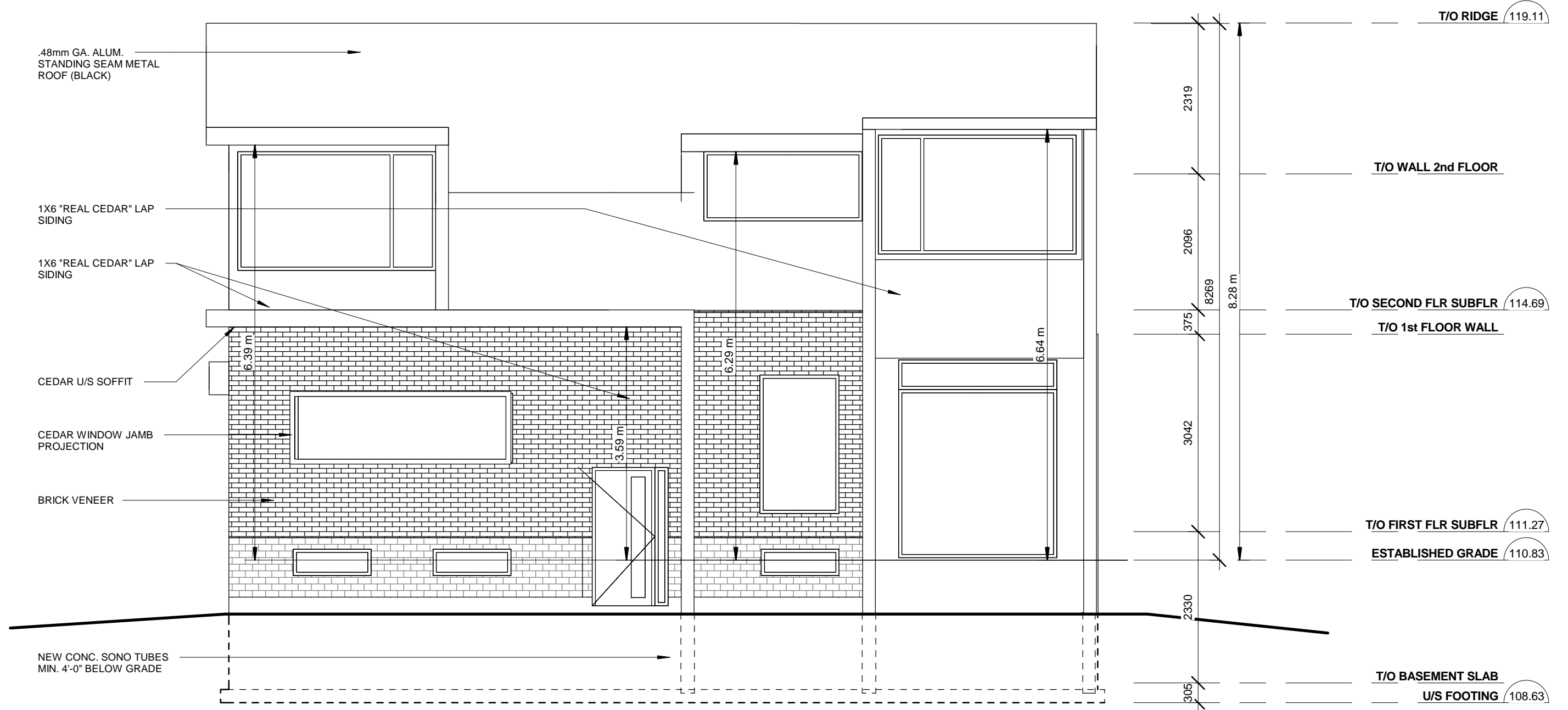
EAST ELEVATION

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DUGUAY RESIDENCE
39 BERNICE AVE.

FINE LINES DESIGN



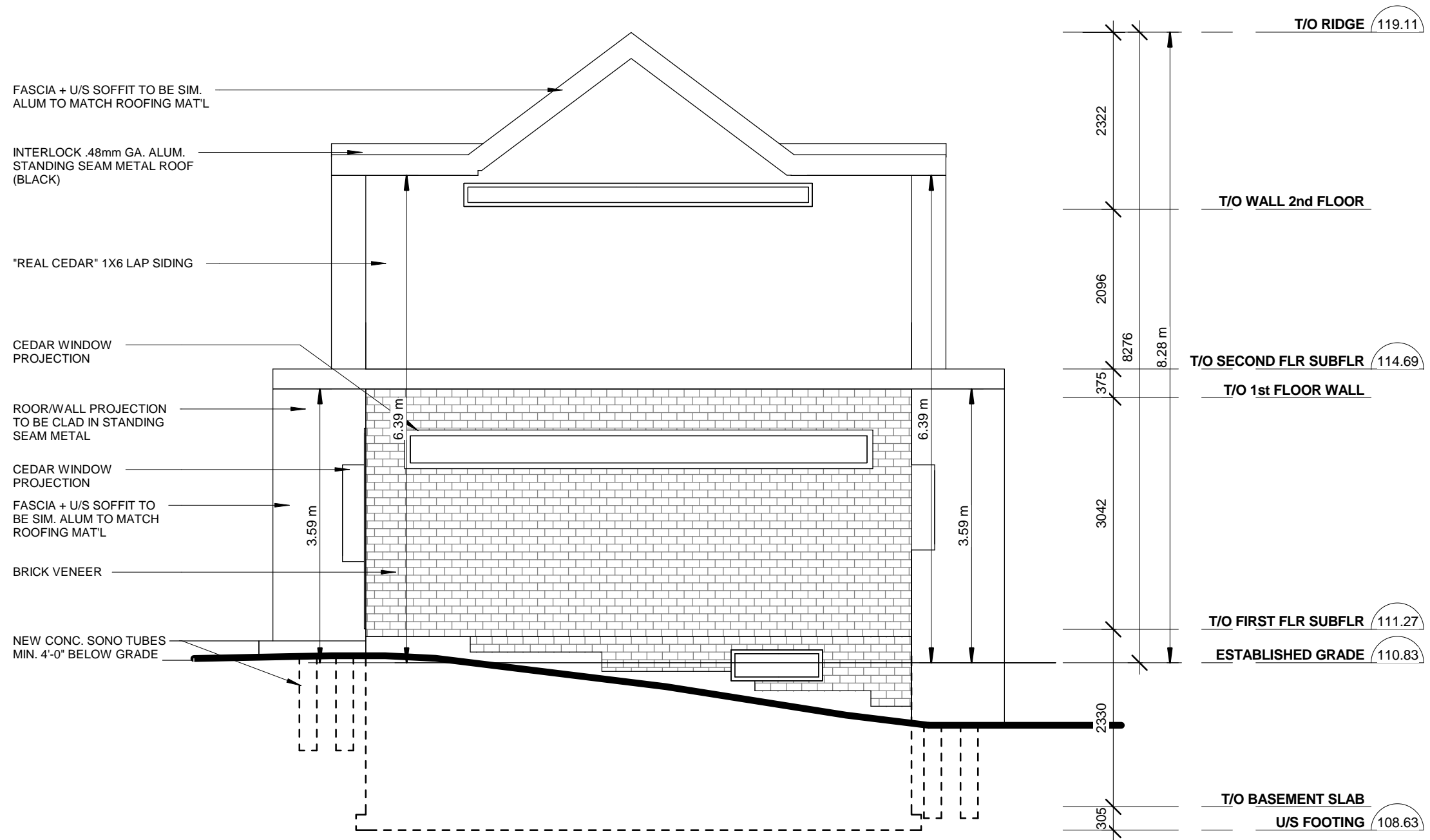
SOUTH ELEVATION

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DUGUAY RESIDENCE
39 BERNICE AVE.

FINE LINES DESIGN



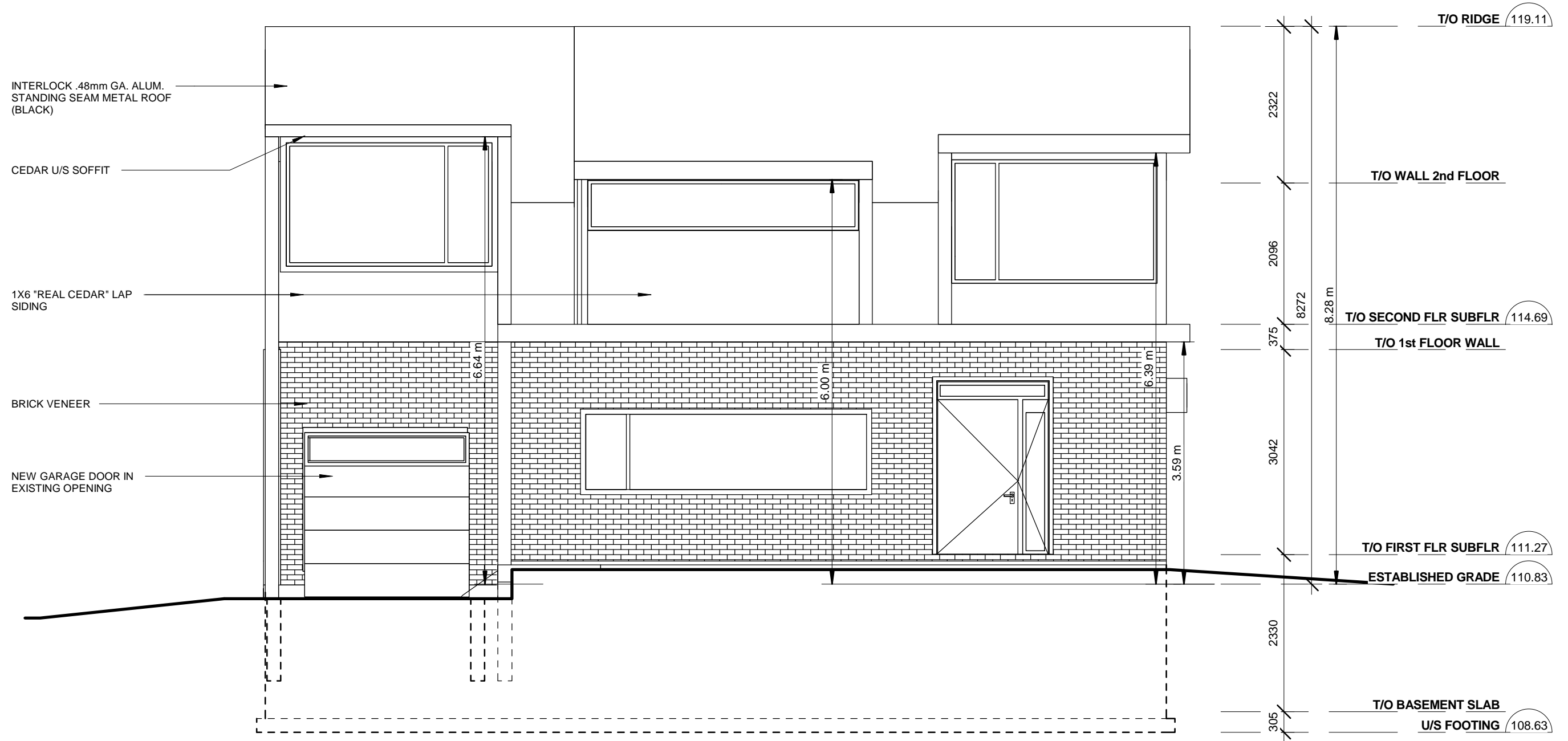
WEST ELEVATION

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DUGUAY RESIDENCE
39 BERNICE AVE.

FINE LINES DESIGN



NORTH ELEVATION

Scale: 3/16" = 1'-0"

13/01/2017 12:13:16 PM

DUGUAY RESIDENCE
39 BERNICE AVE.

FINE LINES DESIGN



FRONT PERSPECTIVE

DUGUAY RESIDENCE
39 BERNICE AVE.

Scale:
13/01/2017 11:05:43 AM

FINE LINES DESIGN



REAR PERSPECTIVE

DUGUAY RESIDENCE
39 BERNICE AVE.

Scale:
13/01/2017 11:05:47 AM

FINE LINES DESIGN

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0031/17EYK	Zoning	RD & R2
Owner(s):	KULJIT ROOPRA	Ward:	Etobicoke-Lakeshore (06)
Agent:	JURI ROOPRA	Heritage:	Not Applicable
Property Address:	94 ST GEORGE ST	Community:	
Legal Description:	PLAN M119 PT LOT 13 PT LOT 14 SPT 13 LOT 14		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage and a covered front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59(C)**
The maximum permitted lot coverage is 33% of the lot area (129.7 m²).
The proposed dwelling will have a lot coverage of 44% of the lot area (173.3 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 320-42.1(A)(1)**
The maximum permitted floor space index/ gross floor area is 0.45 times the lot area (176.9 m²).
The proposed dwelling will have a floor space index/ gross floor area of 0.74 times the lot area (290.8 m²).
- Section 10.20.40.70.(1), By-law 569-2013 & Section 320-40(C)(1)**
The minimum required front yard setback is 7.29 m.
The proposed dwelling will be located 6 m from the front lot line.
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-42.1(C)(1)
The minimum required aggregate side yard setback is 2.1 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 320-42.1(C)(1)
The proposed dwelling will be located 0.9 m from the north and south side lot line, providing an aggregate side yard setback of 1.8 m.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The proposed dwelling will have a length of 18.29 m.
- Section 320-42.1(D)(1)**
The maximum permitted dwelling depth is 16.5 m.
The proposed dwelling will have a depth of 17 m.

7. **Section 10.20.40.10.(4)(A), By-law 569-2013**
The maximum permitted dwelling height for a flat roof is 7.2 m.
Section 320-42.1(B)(2)
The maximum permitted dwelling height for a flat roof is 6.5 m.
Section 10.20.40.10.(4)(A), By-law 569-2013 & Section 320-42.1(B)(2)
The proposed dwelling will have a height of 7.31 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.
2. The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0031/17EYK	Zoning	RD & R2
Owner:	KULJIT ROOPRA	Ward:	Etobicoke-Lakeshore (06)
Agent:	JURI ROOPRA	Heritage:	Not Applicable
Property Address:	94 ST GEORGE ST	Community:	
Legal Description:	PLAN M119 PT LOT 13 PT LOT 14 SPT 13 LOT 14		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

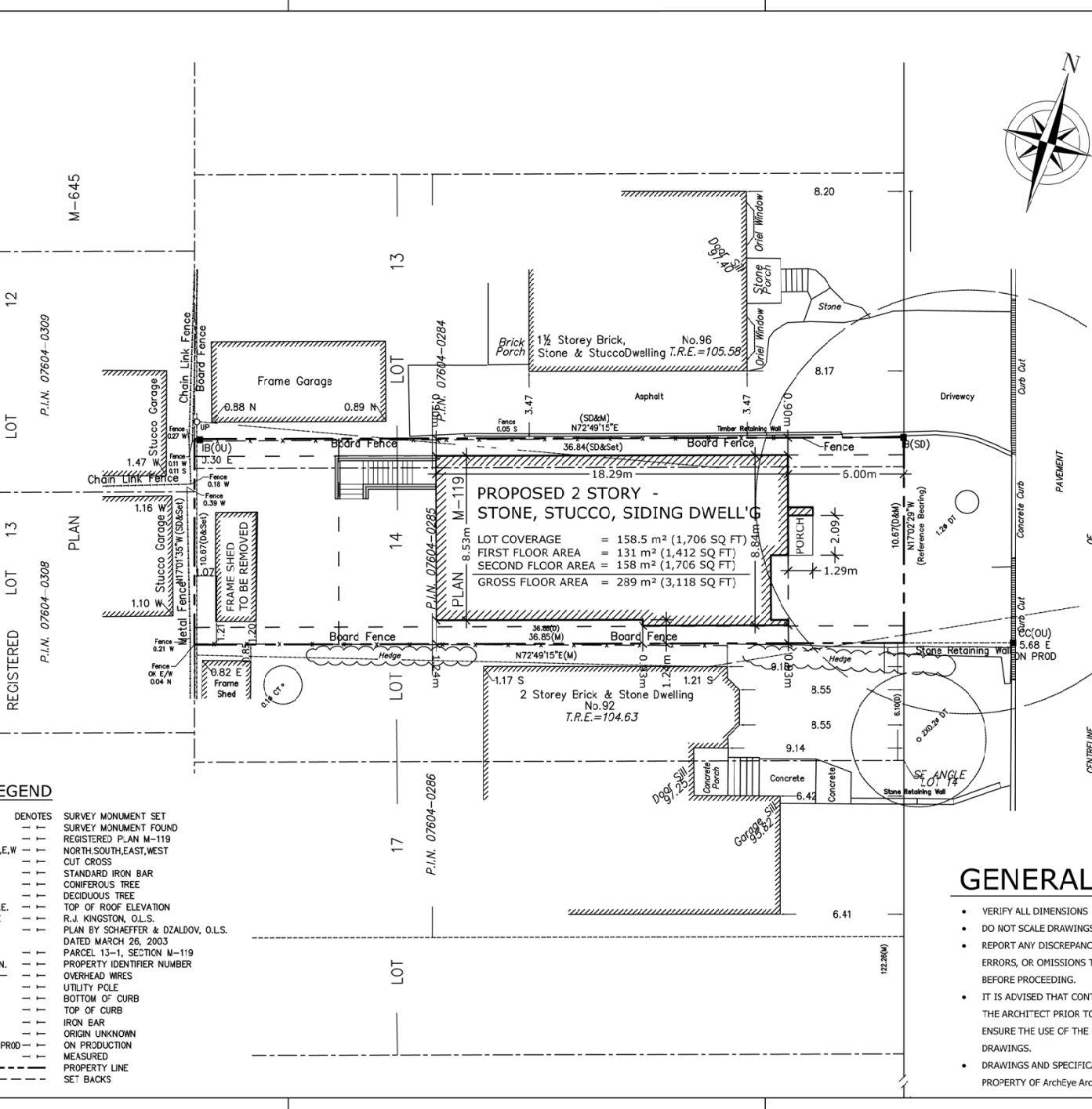
DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.



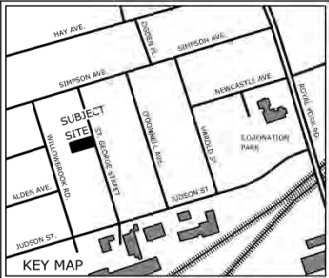
**PROPOSED 2 STORY -
STONE, STUCCO, SIDING DWELLING**

LOT COVERAGE = 158.5 m² (1,706 SQ FT)
 FIRST FLOOR AREA = 131 m² (1,412 SQ FT)
 SECOND FLOOR AREA = 158 m² (1,706 SQ FT)
 GROSS FLOOR AREA = 289 m² (3,118 SQ FT)

GENERAL NOTES

- VERIFY ALL DIMENSIONS
- DO NOT SCALE DRAWINGS
- REPORT ANY DISCREPANCIES, DISCOVERED ERRORS, OR OMISSIONS TO THE ARCHITECT BEFORE PROCEEDING.
- IT IS ADVISED THAT CONTRACTORS CONTACT THE ARCHITECT PRIOR TO CONSTRUCTIONS TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS.
- DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ArchEye Architects.

SAINT GEORGE STREET
 (Unnamed Street by Registered Plan 339 or 389, Name Changed by Registered Plan M-119)
 P.I.N. 07605-0330



15 WERTHEIM Ct. SUITE #511.
 RICHMOND HILL ONTARIO, L4B 3H7
 PHONE # 905 235 4888 x 111
 www.archeyeartists.com

It is the responsibility of the Contractor and/or Owner to ensure that the drawings are used for construction.

No.	DATE.	REVISION.	BY.
3.			
2.			
1.			

CLIENT NAME:			
Juri Roopra			
PROJECT ADDRESS:			
94 ST. GEORGE STREET			
PROJECT NAME:			
CUSTOM HOME - SITEPLAN			

SCALE:	PROJECT No.
1:200	2305
DATE:	DRAWING No.
JAN. 12, 2017	S1
DRAWN BY:	CHECKED BY:
BB	NA

LEGEND

□	DENOTES	SURVEY MONUMENT SET
■	---	SURVEY MONUMENT FOUND
RP	---	REGISTERED PLAN M-119
N,S,E,W	---	NORTH SOUTH,EAST, WEST
CC	---	CUT CROSS
SIB	---	STANDARD IRON BAR
CT	---	CONIFEROUS TREE
DT	---	DECIDUOUS TREE
T.R.E.	---	TOP OF ROOF ELEVATION
R.K	---	R.J. KINGSTON, O.L.S.
SD	---	PLAN BY SCHAEFFER & DZALDOV, O.L.S.
	---	DATED MARCH 26, 2003
D	---	PARCEL 13-1, SECTION M-119
P.I.N.	---	PROPERTY IDENTIFIER NUMBER
UP	---	OVERHEAD WRES
BC	---	UTILITY POLE
TC	---	BOTTOM OF CURB
IB	---	TOP OF CURB
OU	---	IRON BAR
ON PROD	---	ORIGIN UNKNOWN
M	---	ON PRODUCTION
---	---	MEASURED
---	---	PROPERTY LINE
---	---	SET BACKS

2015 ONTARIO BUILDING CODE MATRIX

PROJECT DESCRIPTION:	<input type="checkbox"/> NEW <input type="checkbox"/> ADDITION	<input type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE USE	<input type="checkbox"/> PART 11 <input type="checkbox"/> PART 10	<input type="checkbox"/> PART 3 [DIVISION] 1.1.2.[A]	<input type="checkbox"/> PART 9 [DIVISION] 1.1.2.[A], 9.10.1.3					
MAJOR OCCUPANCY(S)	GROUP 'C'									
BUILDING AREA (m²)	EXISTING: 102m²	NEW: 155m²	TOTAL: 155m²	1.4.1.2.[A]	1.4.1.2.[A]					
GROSS AREA (m²)	EXISTING: 102m²	NEW: 289m²	TOTAL: 289m²	1.4.1.2.[A]	1.4.1.2.[A]					
MEZZANINE AREA (m²)	EXISTING:	NEW:	TOTAL:	3.1.2.1.[B]	9.10.4.1.[B]					
NUMBER OF STOREYS	ABOVE GRADE: 2 STOREYS	BELOW GRADE: 1 UNFINISHED		1.4.1.2.[A], & 3.2.1.1.	1.4.1.2.[A], 9.10.4.					
NUMBER OF STREETS (FIRE ROUTES):	1 STREET									
BUILDING CLASSIFICATION:	RESIDENTIAL									
SPRINKLERED BUILDING:	<input type="checkbox"/> NOT PROVIDED	<input type="checkbox"/> ROOF ONLY		3.2.2.20.-83.	9.10.2.					
	<input type="checkbox"/> PROVIDED VOLUNTARILY	<input type="checkbox"/> BASEMENT ONLY		3.2.1.5.	9.10.8.2.					
	<input type="checkbox"/> ENTIRE REQUIRED	<input type="checkbox"/> LIEU OF RATING/COMPARTMENT(S)		3.2.2.17.	9.10.16.1.[B]					
	<input type="checkbox"/> AREA(S) REQUIRED	<input type="checkbox"/> LIEU OF NON-COMBUSTIBLE(S)		INDEX	INDEX					
STANDPIPE REQUIRED:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> PROVIDED	3.2.9.						
FIRE ALARM REQUIRED:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> PROVIDED	3.2.4.	9.10.18.					
FIRE FIGHTING WATER SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES		<input type="checkbox"/> NO	3.2.5.7.						
HIGH BUILDING:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		3.2.6.						
PERMITTED CONSTRUCTION:	<input checked="" type="checkbox"/> COMBUSTIBLE		<input type="checkbox"/> NON-COMBUSTIBLE	3.2.2.20.-83.	9.10.6.					
ACTUAL CONSTRUCTION:	<input checked="" type="checkbox"/> COMBUSTIBLE		<input type="checkbox"/> NON-COMBUSTIBLE	<input type="checkbox"/> BOTH	3.2.2.20.-83.					
OCCUPANT LOAD BASED ON:	<input type="checkbox"/> POSTED LOAD		<input type="checkbox"/> AREA (m²) / PERSON	3.1.17.	9.9.1.3.					
BASEMENT:	OCCUPANCY TYPE:	LOAD:	PERSONS							
1st FLOOR:	OCCUPANCY TYPE:	LOAD:	PERSONS							
2nd FLOOR:	OCCUPANCY TYPE:	LOAD:	PERSONS							
BARRIER-FREE DESIGN	<input type="checkbox"/> YES		<input checked="" type="checkbox"/> NO	3.8.	9.6.2.					
SPECIAL PROTECTION	<input type="checkbox"/> YES		<input checked="" type="checkbox"/> NO	3.3.1.2., & 3.3.1.19.	9.10.1.3.					
FIRE RESISTANCE RATING IN HOURS		LISTED DESIGN NO. or DESCRIPTION (S8-3)		3.2.2.20.-83.	9.10.8.					
FLOOR ASSEMBLIES:	1 HR	F4a		3.2.1.4.	9.10.9.					
ROOF ASSEMBLIES:	----									
MEZZANINE ASSEMBLIES:	N/A									
FLOOR STRUCTURAL MEMBERS:	1 HR	SEE STRUCTURAL DWG								
ROOF STRUCTURAL MEMBERS:	----	SEE STRUCTURAL DWG								
MEZZANINE STRUCTURAL MEMBERS:	N/A									
SPECIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	3.2.3.				9.10.14.					
WALL	AREA OF EBF (m²)	L.D. (m)	L/H or H/L	PERMITTED MAX. % OF OPENINGS	PROP. % OF OPENINGS	FRR (Hours)	LISTED DESIGN or DESCRIPTION	COMB. CONST.	COMB. CONST. NON-COMB. CLAD.	NON-COMB. CONST.
NORTH	122	0.6	L/H	N/A	N/A	1 HR	EIFS SYSTEM	YES		
SOUTH	71.8	1.2	L/H	7%	6.7%	1 HR	EIFS SYSTEM	YES		
EAST	59	6	L/H	57%	43%	1 HR	STONE/SIDING	YES		
WEST	59	12.56	L/H	100%	58%	1 HR	EIFS SYSTEM	YES		

GENERAL NOTES:

- 1. ARCHYEYE ARCHITECTS DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS ON THESE PLANS, UNLESS ADVISED IN WRITING OF SUCH ERRORS OR OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PLEASE ADVISE ARCHYEYE ARCHITECTS IF ANY DISCREPANCIES ARE OBSERVED OR EXPLANATIONS ARE REQUIRED.
- 2. ALL FLOORS WITH CERAMIC TILE TO BE REINFORCED AS PER DIVISION B, 9.30.6 OF THE O.B.C.
- 3. ALL LIGHTING AND ELECTRICAL TO COMPLY WITH O.B.C. 9.34.
- 4. SMOKE DETECTORS ARE REQUIRED ON EACH FLOOR LEVEL AND ARE TO BE INTERCONNECTED.
- 5. RANGE HOODS TO BE VENTED TO THE EXTERIOR 2/3w NON-COMBUSTIBLE PIPING.
- 6. ATTIC VENTILATION TO COMPLY WITH DIVISION B, 9.33. OF THE O.B.C.
- 7. PROVIDE AN AIR BARRIER IN ACCORDANCE WITH DIVISION B, 9.25.5 OF THE O.B.C.
- 8. HEADROOM UNDER DUCTS AND BEAMS MIN. 1955 mm
- 9. INSULATE & WEATHERSTRIP ATTIC ACCESS HATCHES (MIN. 546mm x 711mm)
- 10. ALL DOORS AND WINDOWS TO COMPLY WITH RESISTANCE TO FORCED ENTRY DIVISION B, 9.7.5.2 OF THE O.B.C.
- 11. DOOR FROM GARAGE TO HOUSE TO BE EXTERIOR TYPE c/w WEATHERSTRIPPING AND CLOSER.
- 12. PROVIDE MINIMUM R19 INSULATION ON INTERIOR GARAGE WALL IF ATTACHED TO DWELLING
- 13. PROVIDE MINIMUM R25 INSULATION IN FLOOR SPACE OVER GARAGE, AND ENSURE WALLS AND CEILING ON GARAGE SIDE ADJACENT TO LIVING SPACE ARE TO BE DRYWALLED AND SEALED (GAS-PROOFED) IF ATTACHED TO DWELLING
- 14. EVERY FLOOR CONTAINING BEDROOMS MUST HAVE AT LEAST ONE WINDOW WITH AN UNOBSTRUCTED OPENING WITH AN OPERABLE PORTION NOT LESS THAN 0.35sqm. (3.8sq.ft.), WITH NO DIMENSION LESS THAN 380mm (15"), AND A SILL HEIGHT NO MORE THAN 1m (3'-3") ABOVE FIN. FLOOR.
- 15. FOR MASONRY VENEER INSTALLATION, PROVIDE CONTINUOUS FLASHING AND WEEPHOLES EVERY 787mm o.c. MAX.
- 16. PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS OF THIS PLAN.

WINDOW NOTE:

WINDOW SIZES SHOWN ARE APPROXIMATE EXACT ROUGH OPENING TO BE DETERMINED BY WINDOW MANUFACTURERS SPECIFICATIONS.

ZONING REGULATIONS

94 ST. GEORGE STREET, PART OF LOT 14, REGISTERED PLAN M-119, CITY OF TORONTO

NEW TORONTO, ETOBICOKE ZONING CODE
DIVISION E - SINGLE FAMILY DWELLING

ZONING	REQUIRED	PROVIDED
SUBJECT SITE PERMITTED USES	RD (f13.5; a510; d0.45) R	RD (f13.5; a510; d0.45) R2 (SINGLE FAMILY DETACHED DWELLING)
FLOOR SPACE INDEX	0.45	APPLYING FOR MINOR VARIANCE - 0.75
MIN. LOT FRONTAGE	13.5m	10.67m
MIN. LOT AREAS	510m²	393m²
MAX COVERAGE	33%	APPLYING FOR MINOR VARIANCE - 40%
FRONT YARD REAR YARD EXTERIOR SIDE YARD	6.0m 7.5m 0.9m	CONFORMS CONFORMS CONFORMS - 10.20.40.70 (3) (B)
MAXIMUM HEIGHT MAX. HEIGHT OF MAIN WALL LANDSCAPE/OPEN SPACE	6.5m 6.5m 40%	APPLYING FOR MINOR VARIANCE - 8m APPLYING FOR MINOR VARIANCE - 7.5m CONFORMS
BUILDING DEPTH	16.5m	APPLYING FOR MINOR VARIANCE - 18.5m
PARKING SPACE PROVIDED	1 SPACE	CONFORMS

PERMITTED ENCROACHMENT

FRONT YARD REAR YARD SIDE YARD	1.6m 1.6m 0.5m	CONFORMS CONFORMS CONFORMS
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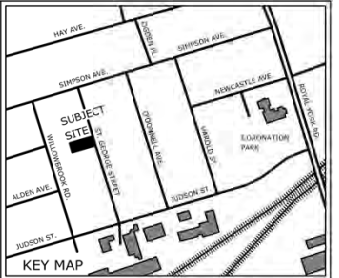
ZONING NOTES	DATE:

SPECIFICATIONS

94 ST. GEORGE STREET, NEW TORONTO, ETOBICOKE
PART OF LOT 14, REGISTERED PLAN M-119, CITY OF TORONTO
CLASSIFICATION - GROUP C
FIRE SEPARATION - 1 HR

LOT AREA	- 0.097 ACRES - 393m²
LOT COVERAGE - RESIDENCE	- 155m²
TOTAL LOT COVERAGE	- 158.5m² - 40%
TOTAL LANDSCAPE AREA	- 235.2m² - 60%
1ST FLOOR LEVEL	- 131m²
2ND FLOOR LEVEL	- 158m²
TOTAL GROSS FLOOR AREA	- 289 m²

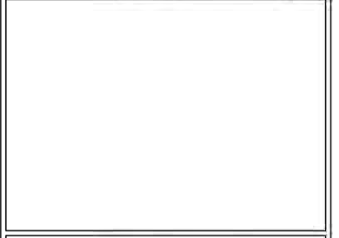
SPECIFICATION NOTES



15 WERTHEIM Ct. SUITE #511.
RICHMOND HILL ONTARIO, L4B 3H7
PHONE # 905 235 4888 x 111
www.archeyearchitects.com

It is the responsibility of the Contractor and/or Owner to ensure that the drawings with the latest revisions are used for construction.

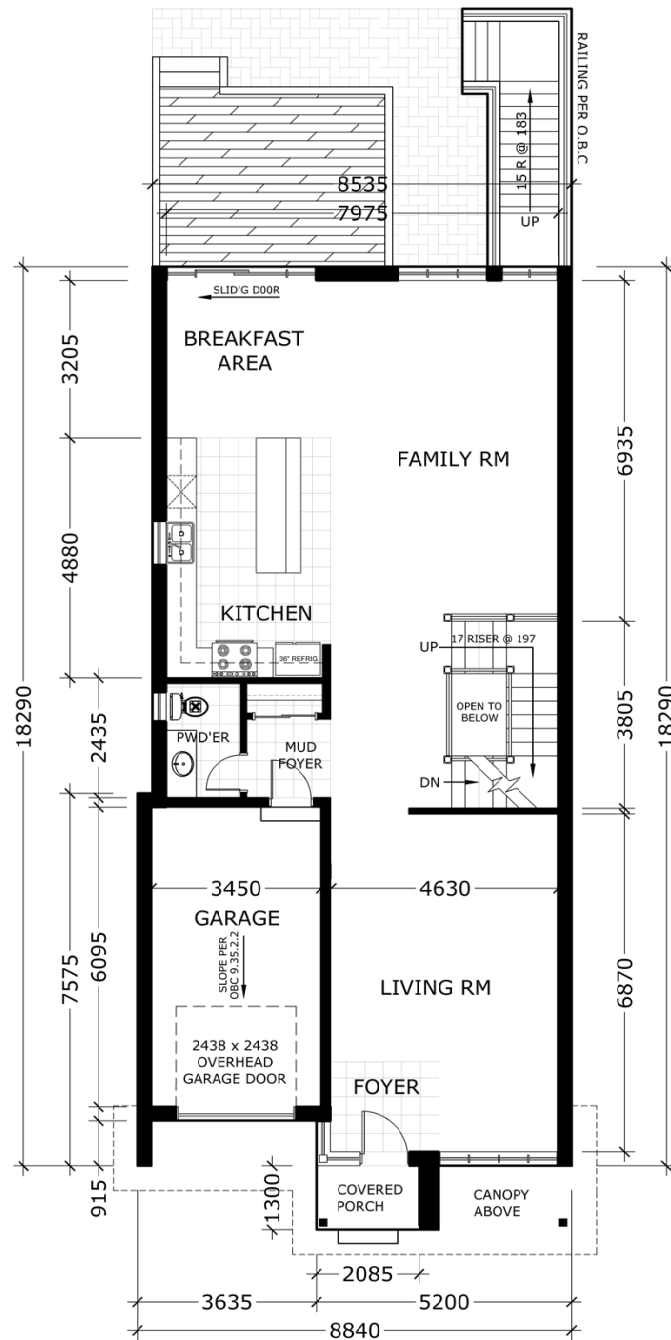
No.	DATE.	REVISION.	BY.



CLIENT NAME: Juri Roopra
PROJECT ADDRESS: 94 ST. GEORGE STREET

PROJECT NAME: CUSTOM HOME - CODE MATRIX, ZONING REG'U & SPECIFICATIONS

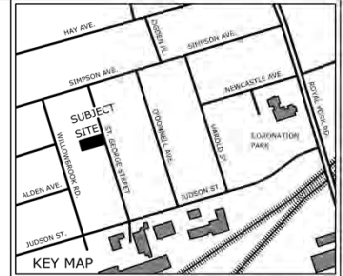
SCALE: N/A	PROJECT No.: 2305
DATE: JAN. 12, 2017	
DRAWN BY: BB	DRAWING No.: S2
CHECKED BY: NA	



FIRST FLOOR
SCALE: 1:100

GENERAL NOTES

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RICHMOND HILL ONTARIO, L4B 3H7
PHONE # 905 235 4888 x 111
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3.			
2.			
1.			
No.	DATE.	REVISION.	BY.

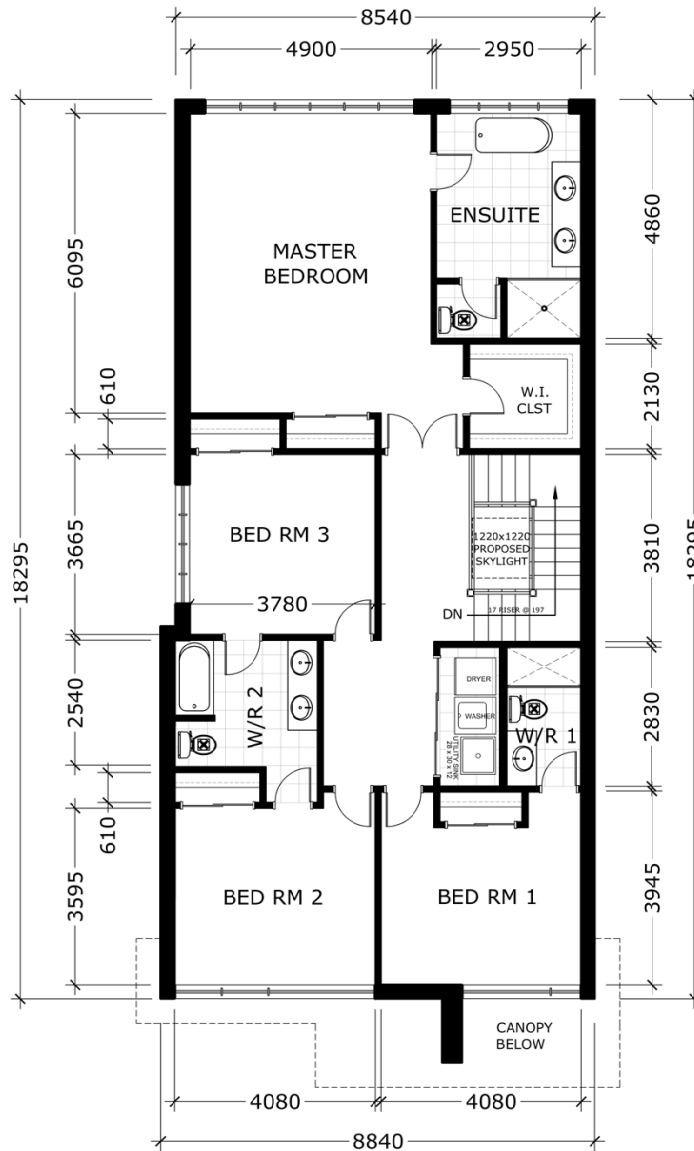
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CLIENT NAME:
Juri Roopra

PROJECT ADDRESS:
94 ST. GEORGE STREET

PROJECT NAME:
CUSTOM HOME - FIRST FLOOR PLAN

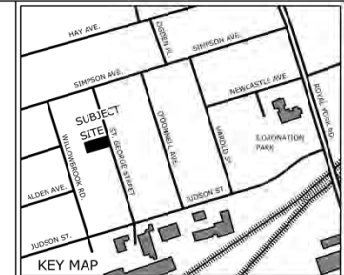
SCALE: 1:100	PROJECT No: 2305
DATE: JAN. 12, 2017	
DRAWN BY: BB	DRAWING No: A1
CHECKED BY: NA	



SECOND FLOOR
SCALE: 1:100

GENERAL NOTES

- VERIFY ALL DIMENSIONS
- DO NOT SCALE DRAWINGS
- REPORT ANY DISCREPANCIES, DISCOVERED ERRORS, OR OMISSIONS TO THE ARCHITECT BEFORE PROCEEDING.
- IT IS ADVISED THAT CONTRACTORS CONTACT THE ARCHITECT PRIOR TO CONSTRUCTIONS TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS.
- DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF ArchEye Architects.



15 WERTHEIM Ct. SUITE #511.
RICHMOND HILL ONTARIO, L4B 3H7
PHONE # 905 235 4888 x 111
www.archeyearchitects.com

It is the responsibility of the Contractor and/or Owner to ensure that the drawings with the latest revisions are used for construction.

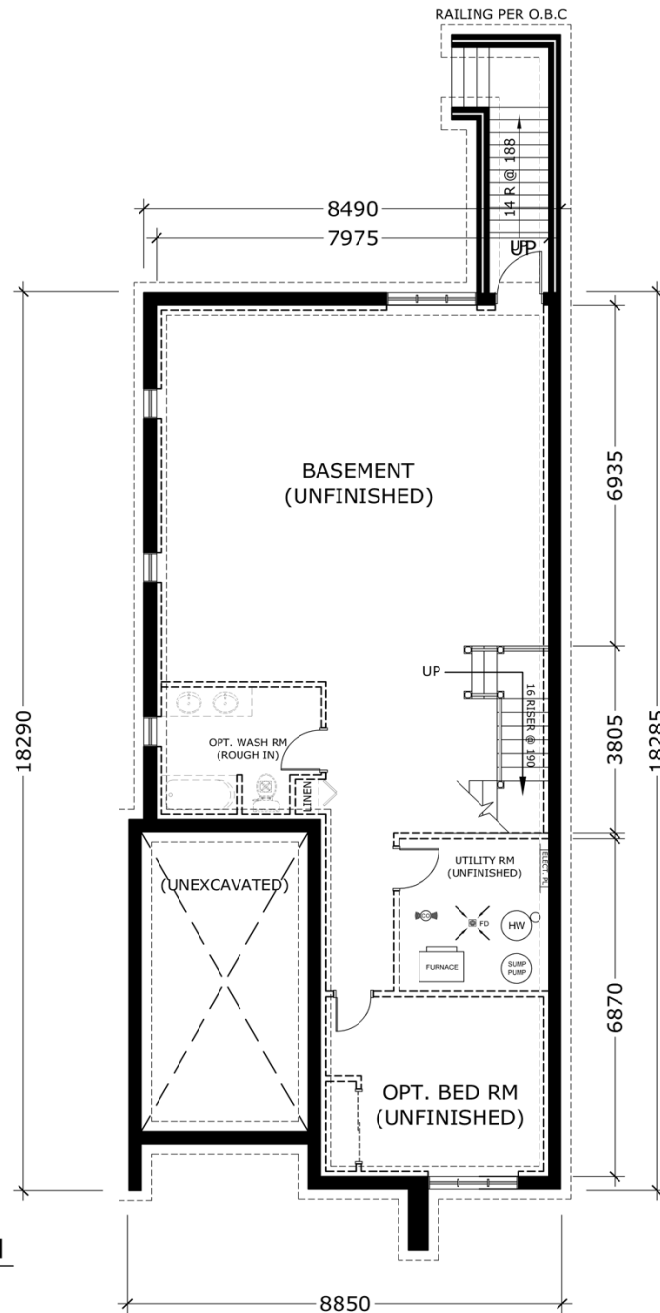
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No.	DATE.	REVISION.	BY.

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CLIENT NAME:
Juri Roopra
PROJECT ADDRESS:
94 ST. GEORGE STREET

PROJECT NAME:
**CUSTOM HOME -
SECOND FLOOR PLAN**

SCALE: 1:100	PROJECT No. 2305
DATE: JAN. 12, 2017	DRAWING No. A2
DRAWN BY: BB	
CHECKED BY: NA	



BASEMENT/FOUNDATION
SCALE: 1:100

GENERAL NOTES

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No.	DATE.	REVISION.	BY.

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CLIENT NAME:
Juri Roopra

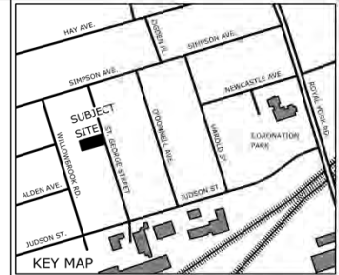
PROJECT ADDRESS:
94 ST. GEORGE STREET

PROJECT NAME:
CUSTOM HOME - BASEMENT/FOUNDATION

SCALE: 1:100	PROJECT No: 2305
DATE: JAN. 12, 2017	DRAWING No: A3
DRAWN BY: BB	
CHECKED BY: NA	

GENERAL NOTES

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 PHONE # 905 235 4888 x 111
www.archeyeartists.com

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No.	DATE.	REVISION.	BY.
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CLIENT NAME:
Juri Roopra

PROJECT ADDRESS:
94 ST. GEORGE STREET

PROJECT NAME:
CUSTOM HOME - EAST ELEVATION

SCALE:
 1:100

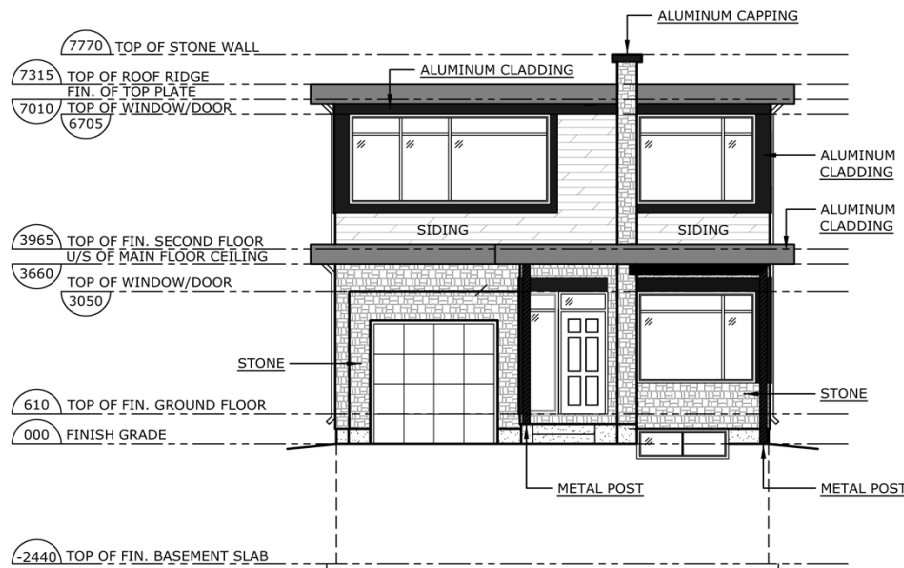
DATE:
 JAN. 12, 2017

DRAWN BY:
 BB

CHECKED BY:
 NA

PROJECT No.
2305

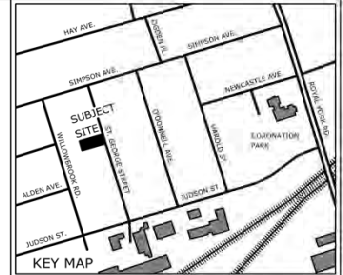
DRAWING No.
A4



EAST ELEVATION
 SCALE: 1:100

GENERAL NOTES

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www.archeyearchitects.com

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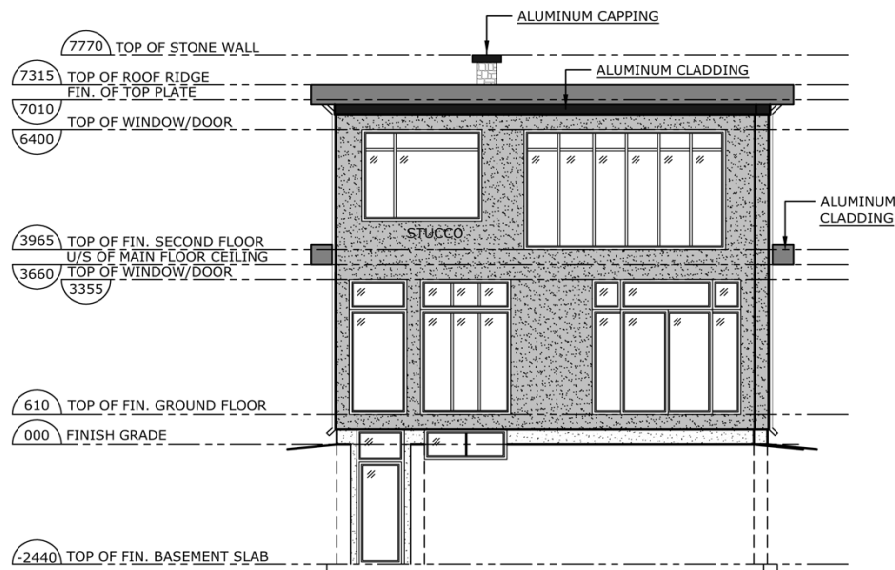
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CLIENT NAME:
Juri Roopra

PROJECT ADDRESS:
94 ST. GEORGE STREET

PROJECT NAME:
CUSTOM HOME - WEST ELEVATION

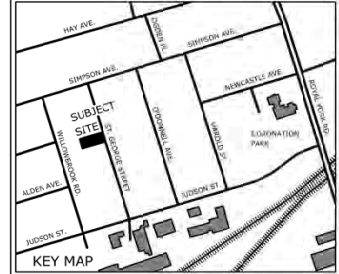
SCALE: 1:100	PROJECT No. 2305
DATE: JAN. 12, 2017	DRAWING No. A5
DRAWN BY: BB	
CHECKED BY: NA	



WEST ELEVATION
 SCALE: 1:100

GENERAL NOTES

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 RICHMOND HILL ONTARIO, L4B 3H7
 PHONE # 905 235 4888 x 111
www.archeyeartists.com

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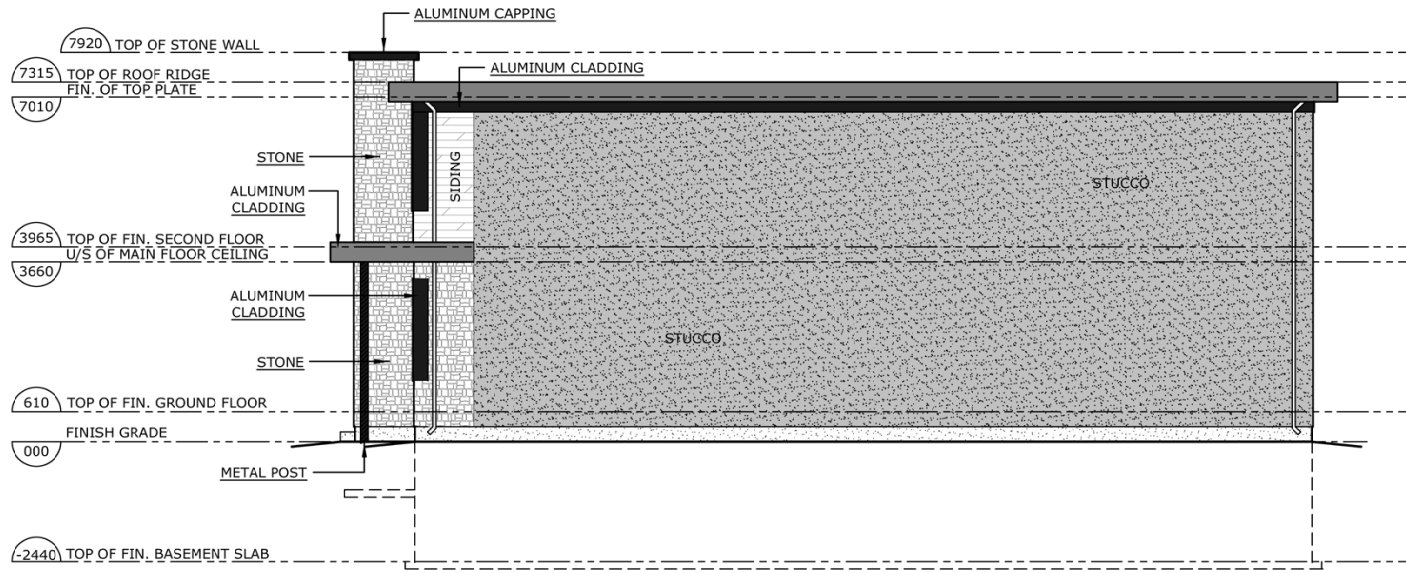
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CLIENT NAME:
Juri Roopra

PROJECT ADDRESS:
94 ST. GEORGE STREET

PROJECT NAME:
CUSTOM HOME - NORTH ELEVATION

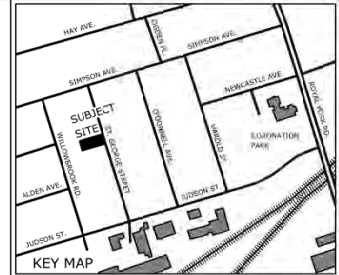
SCALE: 1:100	PROJECT No. 2305
DATE: JAN. 12, 2017	
DRAWN BY: BB	DRAWING No. A6
CHECKED BY: NA	



 **NORTH ELEVATION**
 SCALE: 1:100

GENERAL NOTES

- VERIFY ALL DIMENSIONS
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PHONE # 905 235 4888 x 111
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It is the responsibility of the Contractor and/or Owner to ensure that the drawings with the latest revisions are used for construction.

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No.	DATE.	REVISION.	BY.

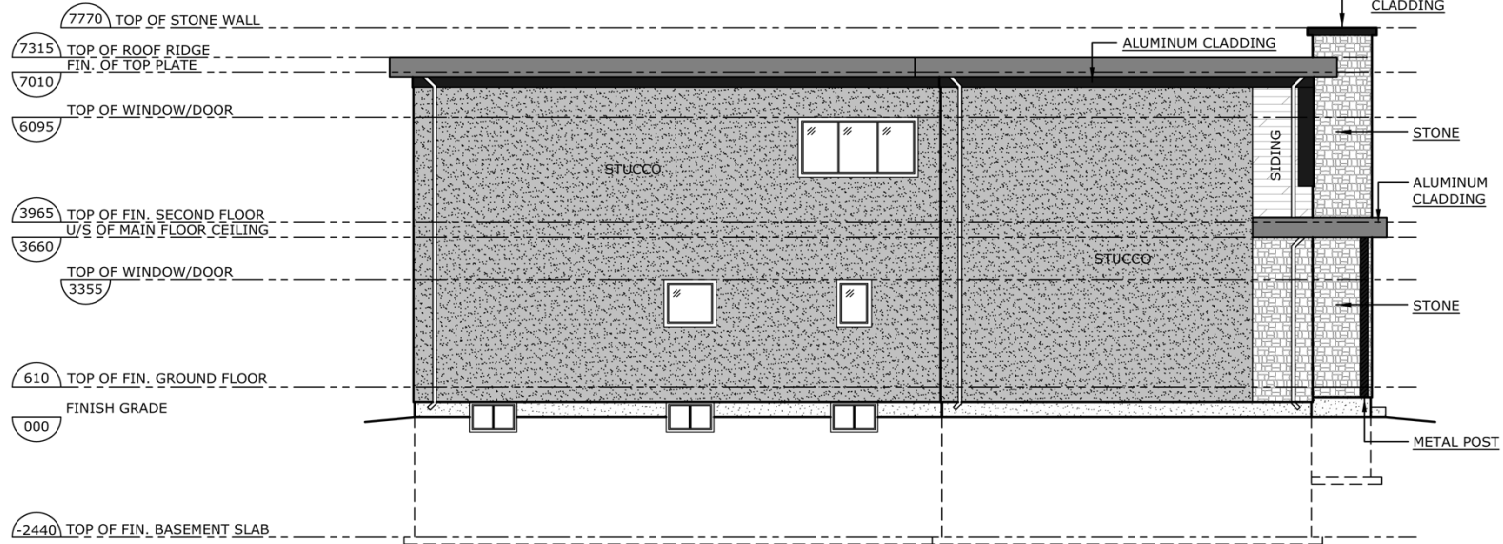
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CLIENT NAME:
Juri Roopra

PROJECT ADDRESS:
94 ST. GEORGE STREET

PROJECT NAME:
CUSTOM HOME - SOUTH ELEVATION

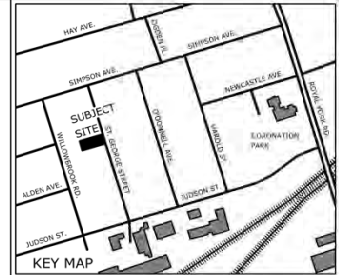
SCALE: 1:100	PROJECT No. 2305
DATE: JAN. 12, 2017	DRAWING No. A7
DRAWN BY: BB	
CHECKED BY: NA	



SOUTH ELEVATION
SCALE: 1:100

GENERAL NOTES

- VERIFY ALL DIMENSIONS
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15 WERTHEIM Ct. SUITE #511.
 RICHMOND HILL ONTARIO, L4B 3H7
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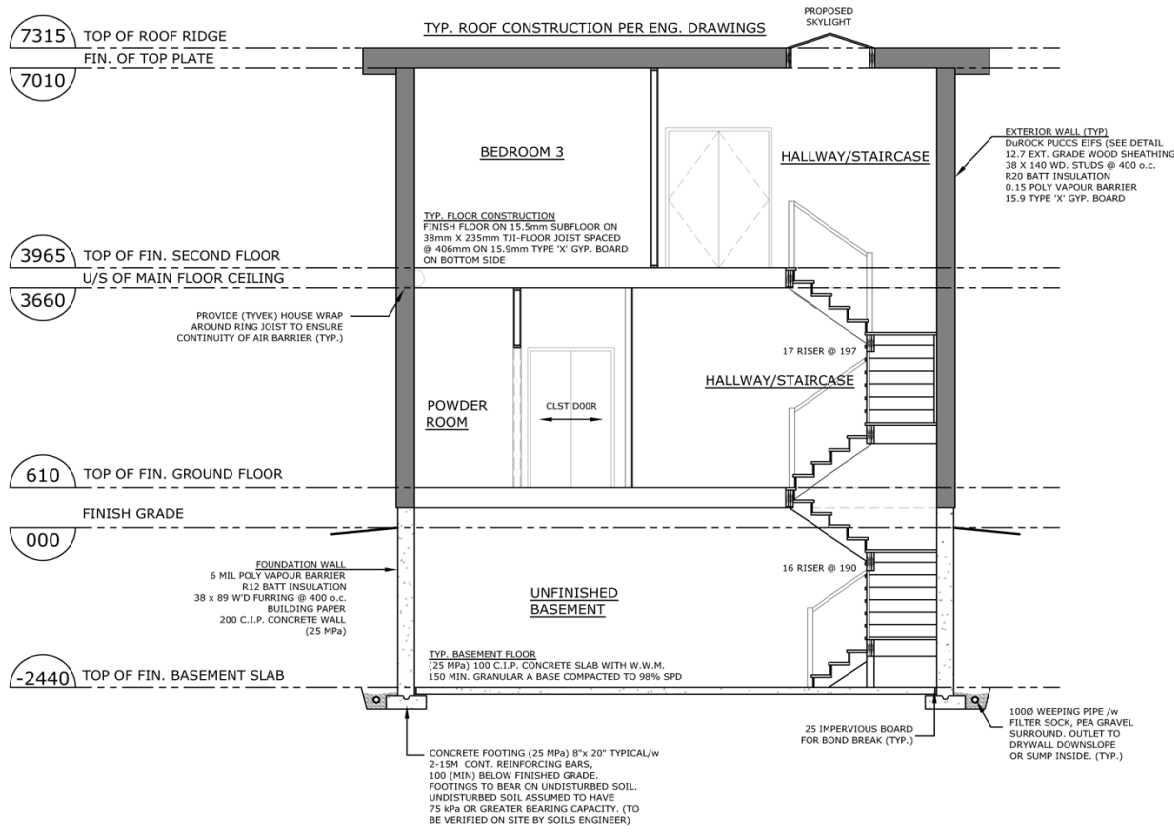
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No.	DATE.	REVISION.	BY.

CLIENT NAME:
Juri Roopra
 PROJECT ADDRESS:
94 ST. GEORGE STREET

PROJECT NAME:
CUSTOM HOME - SECTIONS

SCALE: 1:75	PROJECT No. 2305
DATE: JAN. 12, 2017	
DRAWN BY: BB	DRAWING No. A8
CHECKED BY: NA	



SECTION
 SCALE: 1:75

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0037/17EYK	Zoning	RD & R2
Owner(s):	SHAORYONG YOU	Ward:	Etobicoke-Lakeshore (05)
Agent:	SHAORYONG YOU	Heritage:	Not Applicable
Property Address:	59 EDGECROFT RD	Community:	
Legal Description:	PLAN 3888 LOT 31		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing a rear addition, a partial second floor addition, a south side second storey terrace, a new rear deck, a new porch, and a new attached garage at the front of the dwelling

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59(C)**
The maximum permitted lot coverage is 33% of the lot area (163.56 m²).
The altered dwelling will have a lot coverage of 39.37% of the lot area (195.1 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 320-42.1(A)(1)**
The maximum permitted floor space index is 0.45 times the lot area (223.08 m²).
Section 10.20.40.40.(1)(A), By-law 569-2013
The altered dwelling will have a floor space index of 0.54 times the lot area (265.4 m²).
Section 320-42.1(A)(1)
The altered dwelling will have a floor space index of 0.56 times the lot area (275.6 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 320-42.1(C)(1)**
The minimum required side yard setback is 1.2 m.
The altered dwelling will be located 0.62 m from the east side yard lot line.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The altered dwelling will have a length of 19.55 m.

5. **Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted dwelling depth is 19 m.
Section 320-42.1(D)(1)
The maximum permitted dwelling depth is 16.5 m.
Section 10.20.40.30.(1), By-law 569-2013 & Section 320-42.1(D)(1)
The altered dwelling will have a depth of 19.55 m.
6. **Section 320-42.1.B(2)**
The maximum permitted soffit height is 6.5 m.
The altered dwelling will have a soffit height of 6.85 m.
7. **Section 10.20.40.50(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m.
The proposed south side second storey terrace will be 7.2 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The site plan must explicitly illustrate the width of the proposed curb cut on Edgcroft Road, which must be consistent with the width of the existing curb cut.
2. The site plan must include the following notations:
 - a. "All existing redundant curb cuts, or portions thereof, that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality";
 - c. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveway and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - d. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0037/17EYK	Zoning	RD & R2
Owner:	SHAOYONG YOU	Ward:	Etobicoke-Lakeshore (05)
Agent:	SHAOYONG YOU	Heritage:	Not Applicable
Property Address:	59 EDGECROFT RD	Community:	
Legal Description:	PLAN 3888 LOT 31		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0040/17EYK	Zoning	RD
Owner(s):	VELERI TALEGA ALEXANDRA TALEGA	Ward:	Etobicoke Centre (03)
Agent:	ALEXANDRA TALEGA	Heritage:	Not Applicable
Property Address:	12 COTMAN CRES	Community:	
Legal Description:	PLAN 5057 LOT 129		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To extend the existing attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.20.(1), By-law 569-2013

The maximum permitted dwelling length is 17 m.

The altered dwelling will have a length of 18.63 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0040/17EYK	Zoning	RD
Owner:	VELERI TALEGA	Ward:	Etobicoke Centre (03)
	ALEXANDRA TALEGA		
Agent:	ALEXANDRA TALEGA	Heritage:	Not Applicable
Property Address:	12 COTMAN CRES	Community:	
Legal Description:	PLAN 5057 LOT 129		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0045/17EYK	Zoning	R2
Owner(s):	ANTHONY D'AVELLA	Ward:	Etobicoke-Lakeshore (05)
Agent:	EST DESIGN CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	5 SPRINGBROOK GDNS	Community:	
Legal Description:	PLAN 3743 LOT 12		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To relocate the wall between the garage and the hallway, which will result in reduced garage dimensions.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 320-18.(A) as amended by By-law 497-2007

The minimum required width of a parking space is 3.2 m.

The proposed parking space, within the attached garage, will have a width of 3 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The site plan must be revised to include the following notations;
 - a. "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards";
 - c. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - d. "The applicant must obtain all required permits to construct the proposed driveways from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0045/17EYK	Zoning	R2
Owner:	ANTHONY D'AVELLA	Ward:	Etobicoke-Lakeshore (05)
Agent:	EST DESIGN CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	5 SPRINGBROOK GDNS	Community:	
Legal Description:	PLAN 3743 LOT 12		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0046/17EYK	Zoning	RD & R2
Owner(s):	JOHN CHIAROT	Ward:	Etobicoke-Lakeshore (05)
Agent:	ANGUS SKENE	Heritage:	Not Applicable
Property Address:	45 VAN DUSEN BLVD	Community:	
Legal Description:	PLAN 2100 PT BLK 12		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (186.95 m²).
The new dwelling will cover 39.54% of the lot area (224 m²).
- Section 900.3.10.(18)(E), By-law 569-2013 and Section 1.(b)(1), By-law 1992-22**
The maximum permitted gross floor area is 185 m² or a floor space index of 0.45 times the area of the lot (257.92 m²).
The new dwelling will have a gross floor area of 369.2 m² and a floor space index of 0.65 times the area of the lot (369.2 m²).
- Section 10.20.40.70.(1); By-law 569-2013 and Section 320-40.A.**
The minimum front yard setback is 6.16 m.
The new dwelling will be located 5.13 m from the front lot line.
- Section 900.3.10.(18)(F)(ii), By-law 569-2013 and Section 1.c)(2), By-law 1992-22**
The minimum required side yard setback is 1.2 m provided that the aggregate width of both side yards shall not equal less than 20% of the lot frontage (3.44 m).
The new dwelling will be located 1.22 m from the west side lot line and 1.2 m from the east side lot line and will have an aggregate side yard width equal to 14% of the lot frontage (2.42 m).
- Section 900.3.10.(18)(C), By-law 569-2013 and Section 1.a)(2), By-law 1992-22**
The maximum permitted building height is 6 m for a flat roofed dwelling.
The new dwelling will have a flat roofed height of 9.23 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal shall be constructed substantially in accordance with the plans submitted and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0046/17EYK	Zoning	RD & R2
Owner:	JOHN CHIAROT	Ward:	Etobicoke-Lakeshore (05)
Agent:	ANGUS SKENE	Heritage:	Not Applicable
Property Address:	45 VAN DUSEN BLVD	Community:	
Legal Description:	PLAN 2100 PT BLK 12		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

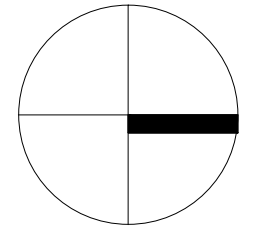
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TRCA DEVELOPMENT DATA (SEE ALSO DWG A1C):

EXISTING 1ST FLOOR LIVING AREA: 111.86 SM (1204 SQFT)
 ALLOWABLE NEW 1ST FLR LIVING AREA = 111.86 + 55.93 (50%) = 167.79 SM (1806 SQFT)
 PROPOSED 1ST FLR LIVING AREA = 165.65 SM (1783 SQFT)
 ALLOWABLE NEW 2ND FLR AREA = 167.79 SM (1806 SQFT)
 PROPOSED 2ND FLR AREA = 167.50 (1803 SQFT)
 EXISTING BSMT LIVING AREA = 111.86 SM (1204 SQFT)
 ALLOWABLE NEW BSMT LIVING AREA = 111.86 SM (1204 SQFT)
 PROPOSED BSMT LIVING AREA = 104.52 SM (1125 SQFT)

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1	ZONING REVIEW	NOV-28-16

SURVEY NOTES:
 1. SITE PLAN BASED ON PLAN OF SURVEY BY TOM SENKUS DATED NOV. 17, 2016.
 2. SEE SURVEY FOR MORE INFORMATION ON NEIGHBOURING BLDG SETBACKS AND TOPOGRAPHY

PROJECT:
**45 VAN DUSEN BLVD
 TORONTO**

SITE PLAN

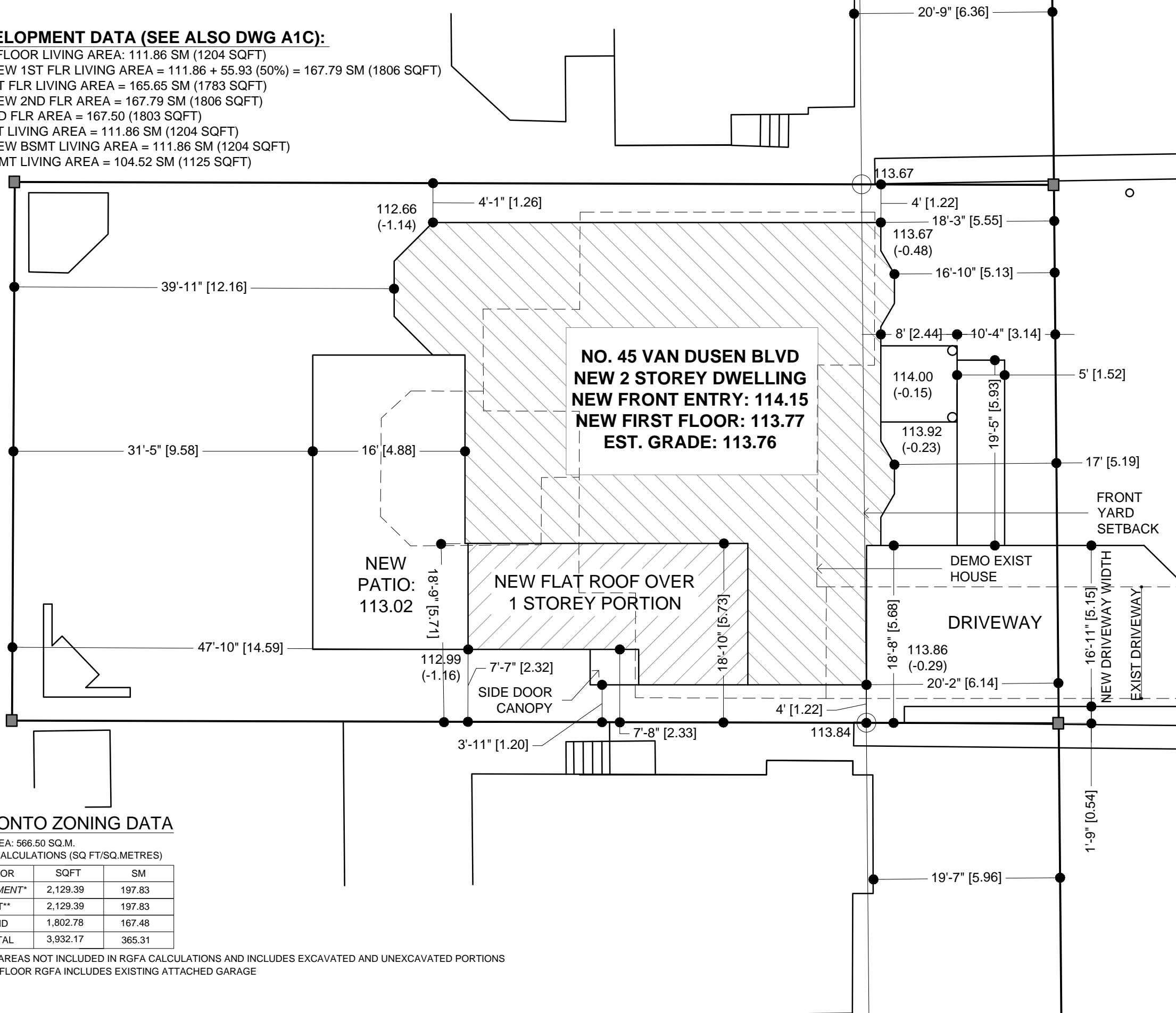
SCALE:
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DRAWN BY:
 A.S.

DATE:
 NOV-29-16

JOB NO:
 16-64

A1



TORONTO ZONING DATA

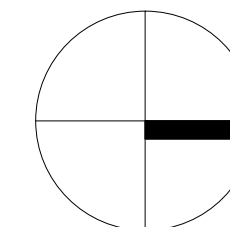
LOT AREA: 566.50 SQ.M.
 RGFA CALCULATIONS (SQ FT/SQ.METRES)

FLOOR	SQFT	SM
BASEMENT*	2,129.39	197.83
1ST**	2,129.39	197.83
2ND	1,802.78	167.48
TOTAL	3,932.17	365.31

* BSMT AREAS NOT INCLUDED IN RGFA CALCULATIONS AND INCLUDES EXCAVATED AND UNEXCAVATED PORTIONS
 ** FIRST FLOOR RGFA INCLUDES EXISTING ATTACHED GARAGE

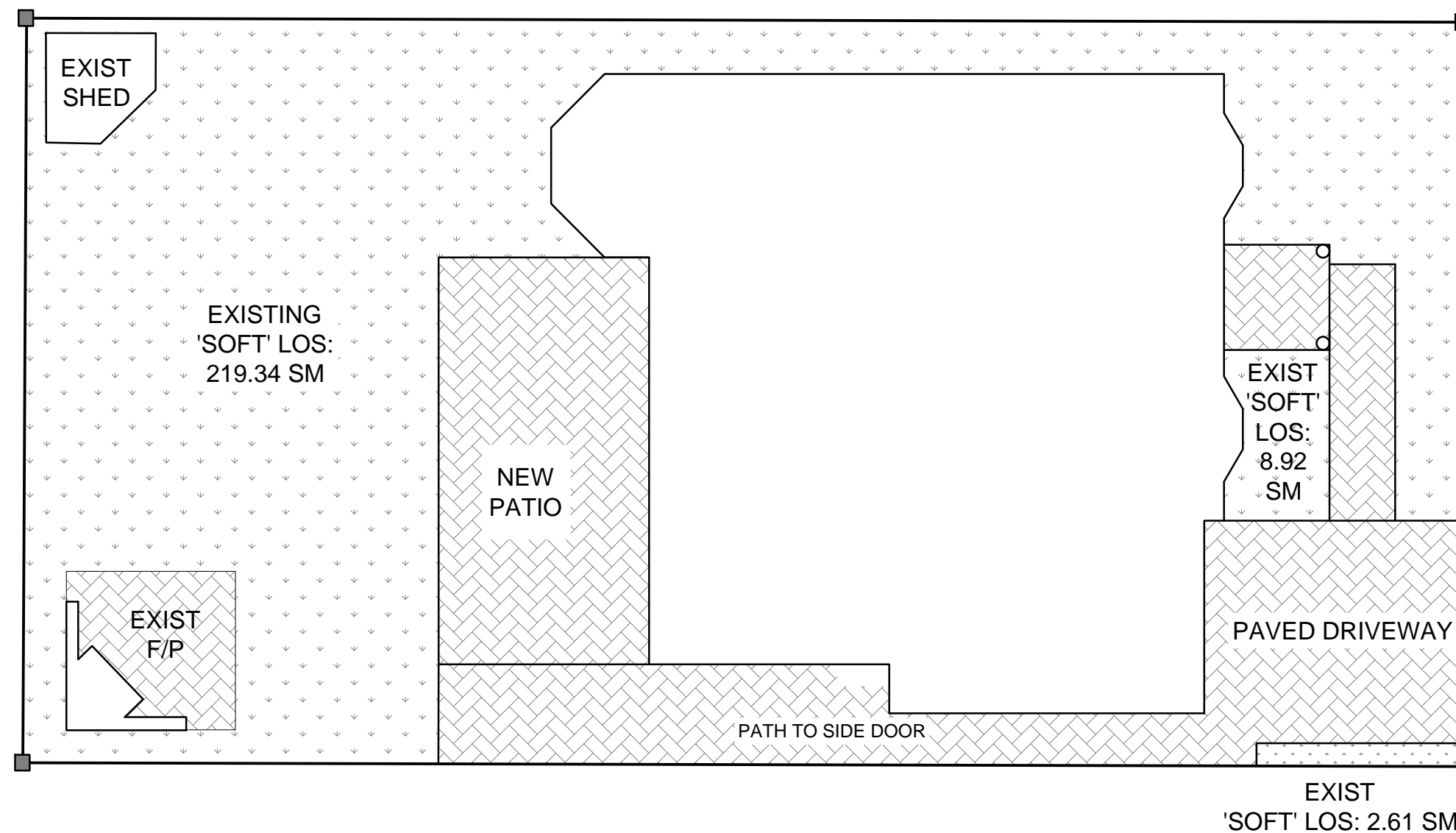
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1	ZONING REVIEW	NOV-28-16



WHOLE LOT AREA: 566.50 SM

PROJECT:
45 VAN DUSEN BLVD
TORONTO

**LANDSCAPE PLAN
WHOLE LOT**

SCALE:
 $\frac{3}{16}'' = 1'-0''$

DRAWN BY:
A.S.

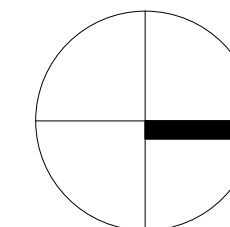
DATE:
NOV-29-16

JOB NO:
16-64

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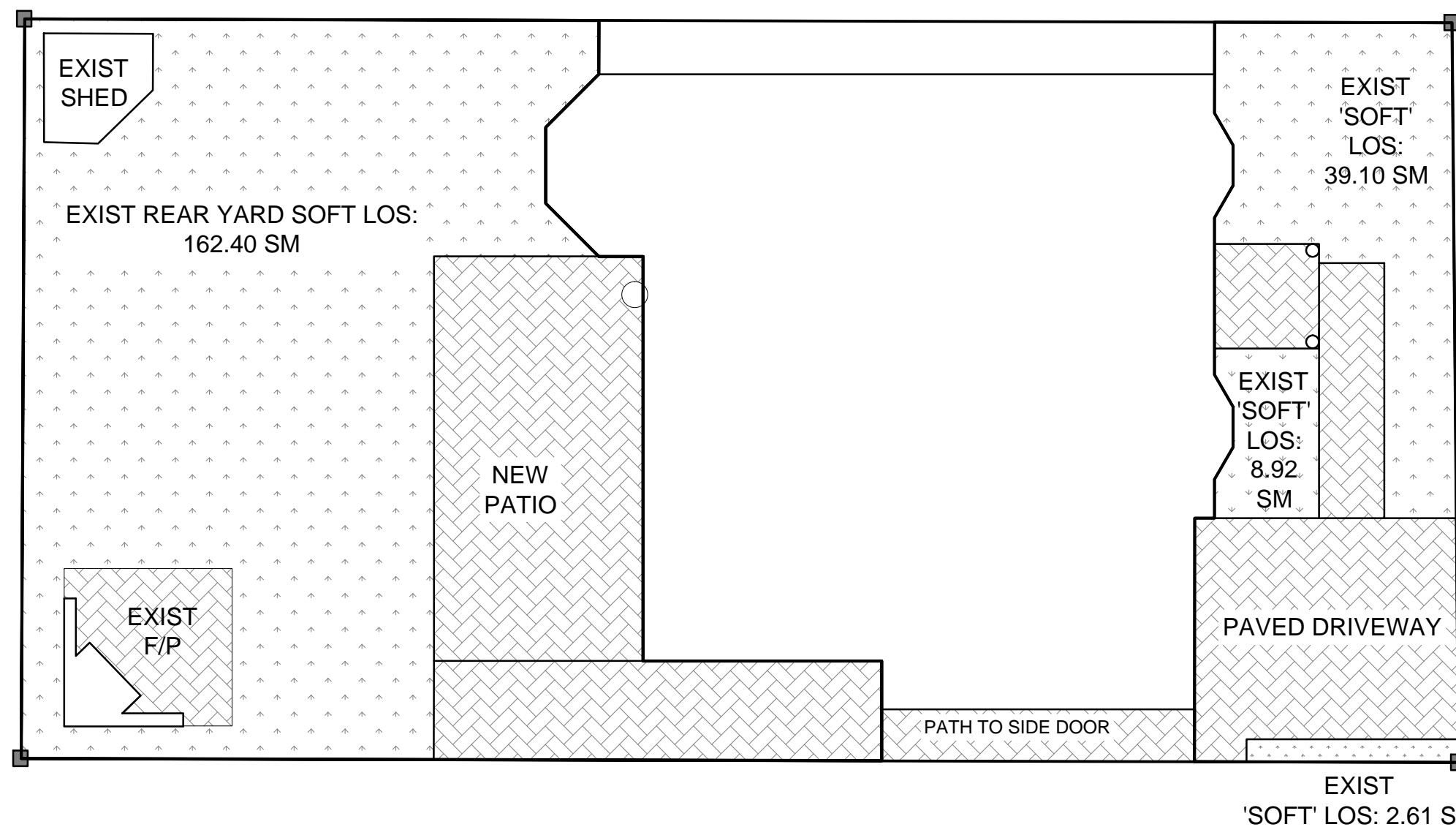
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1	ZONING REVIEW	NOV-28-16



REAR YARD AREA: 252.21

FRONT YARD AREA: 97.95 SM

PROJECT:
45 VAN DUSEN BLVD
TORONTO

**LANDSCAPE PLAN
REAR YARD**

SCALE:
 $\frac{3}{16}'' = 1'-0''$

DRAWN BY:
A.S.

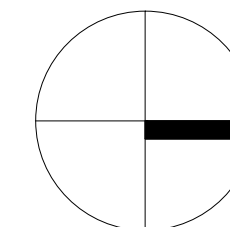
DATE:
NOV-29-16

JOB NO:
16-64

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EXIST 1 STOREY DWELLING:
1ST FLOOR LIVING AREA =
110.77SM (1192.3 SQFT)
BSMT LIVING AREA =
110.77SM (1192.3 SQFT)

EXIST ATTACHED
GARAGE

PROJECT:
45 VAN DUSEN BLVD
TORONTO

**TRCA EXIST
BUILDING DATA**

SCALE:
 $\frac{3}{16}'' = 1'-0''$

DRAWN BY:
A.S.

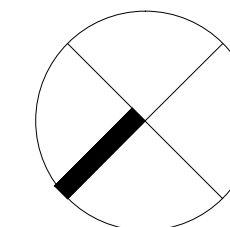
DATE:
NOV-29-16

JOB NO:
16-64

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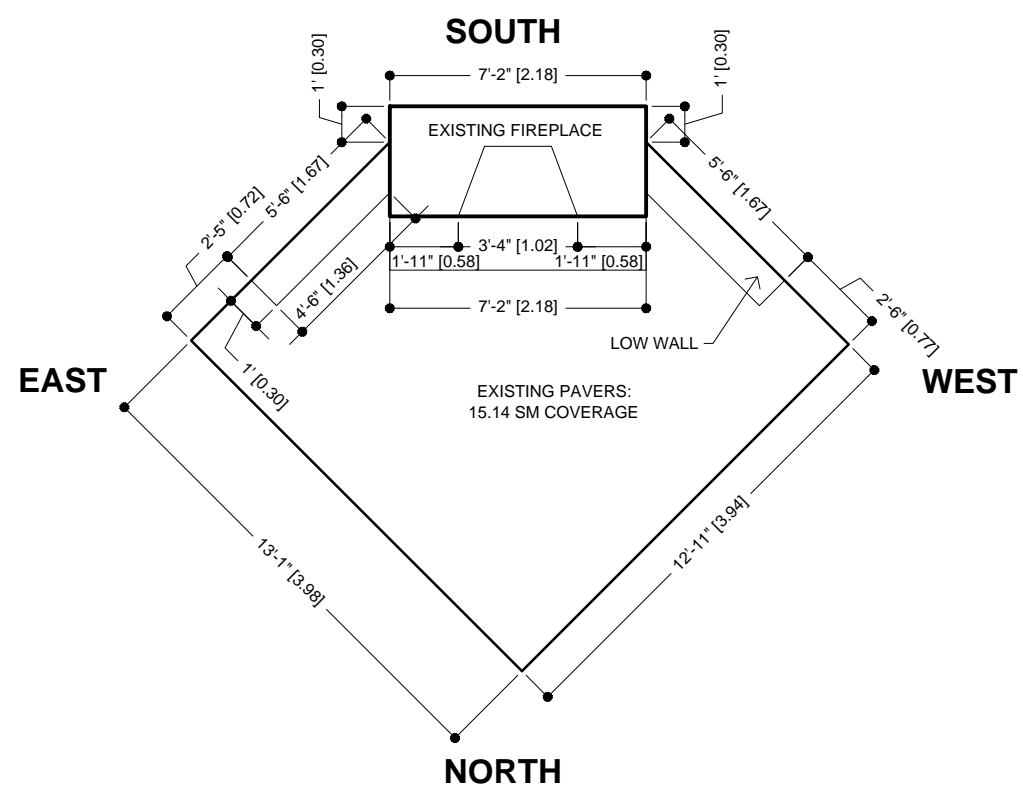
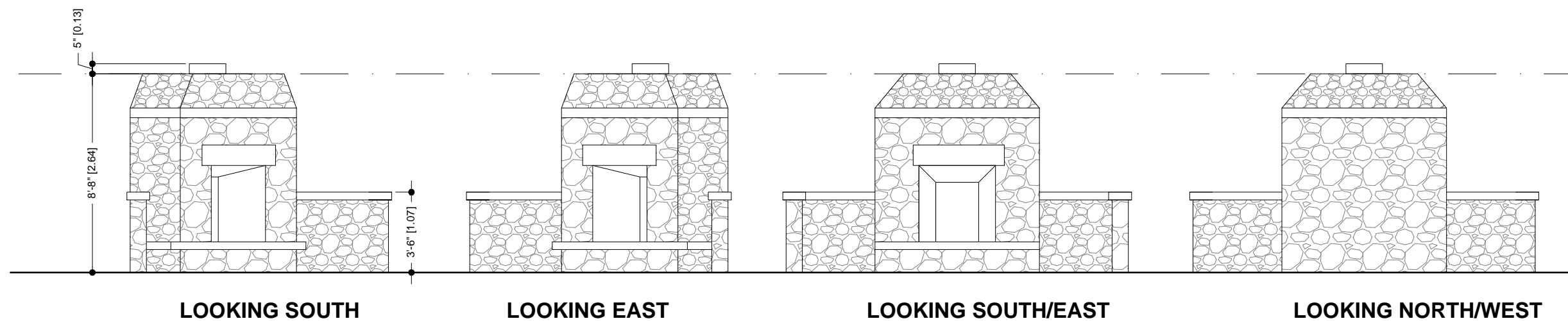
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PROJECT:
45 VAN DUSEN BLVD
TORONTO

**EXIST. BACKYARD
FIREPLACE**

SCALE:
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DRAWN BY:
A.S.

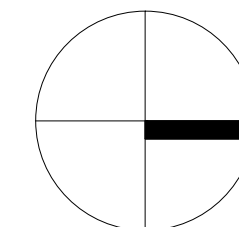
DATE:
NOV-29-16

JOB NO:
16-64

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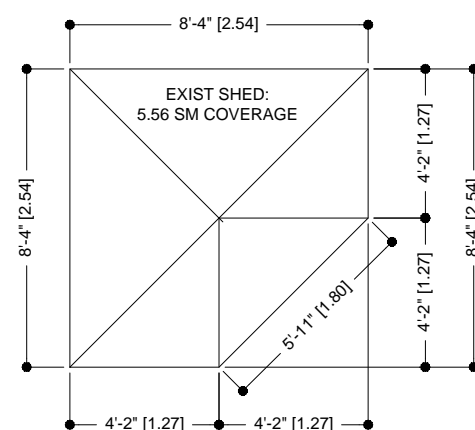
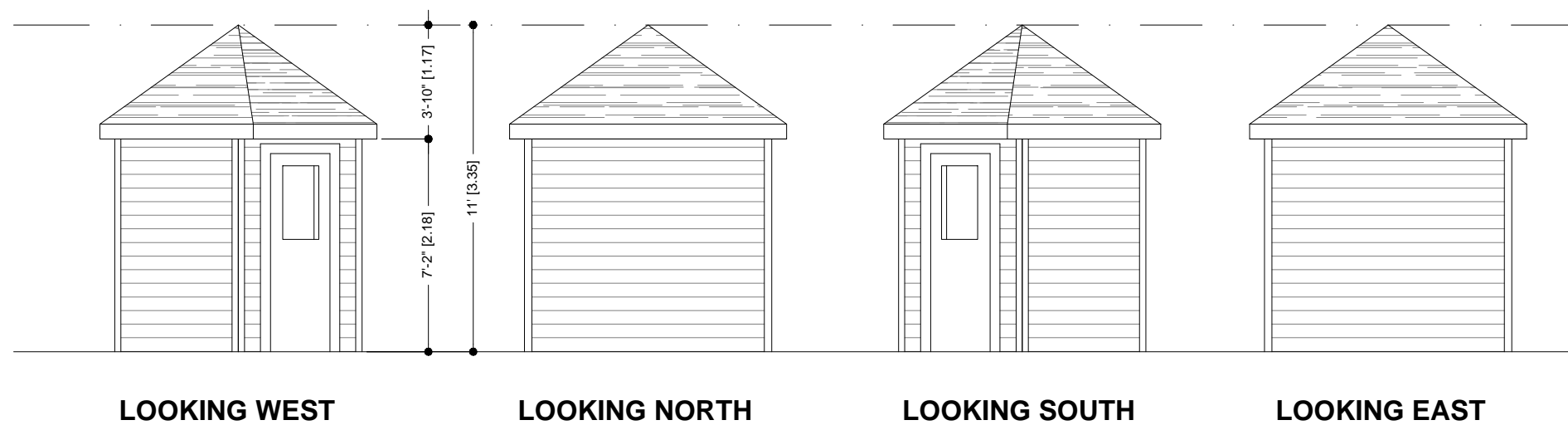
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PROJECT:
45 VAN DUSEN BLVD
TORONTO

**EXIST. BACKYARD
SHED**

SCALE:
 $\frac{3}{16}'' = 1'-0''$

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A.S.

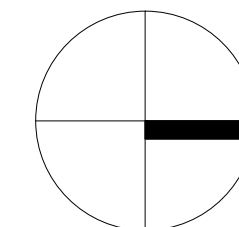
DATE:
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JOB NO:
16-64

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PROJECT:
**45 VAN DUSEN BLVD
TORONTO**

BAEMENT PLAN

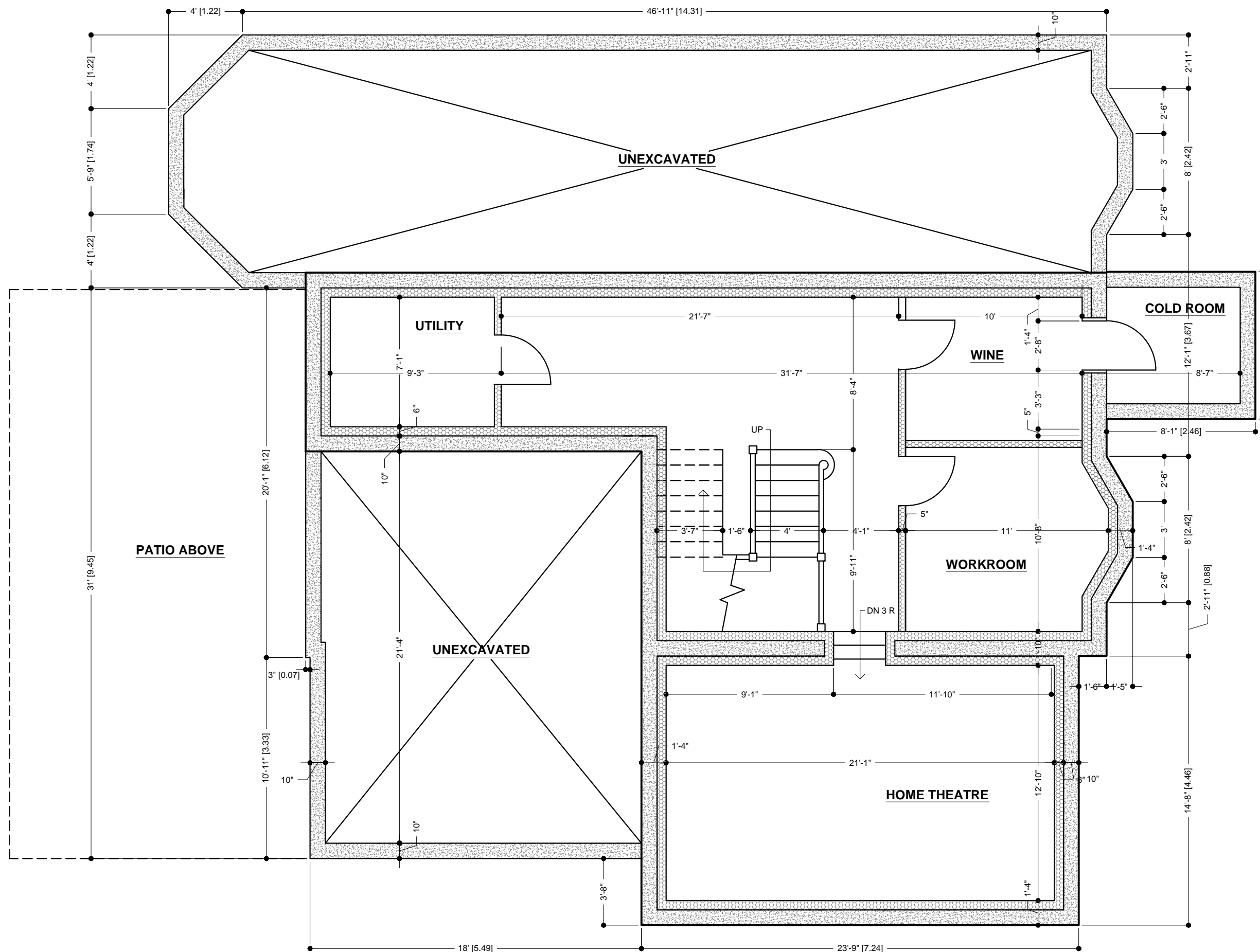
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DATE:
NOV-29-16

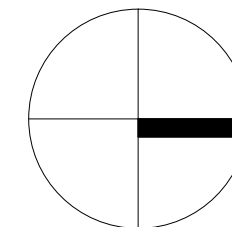
JOB NO:
16-64

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ANGUS SKENE ARCHITECT

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PROJECT:
**45 VAN DUSEN BLVD
TORONTO**

1ST FLOOR PLAN

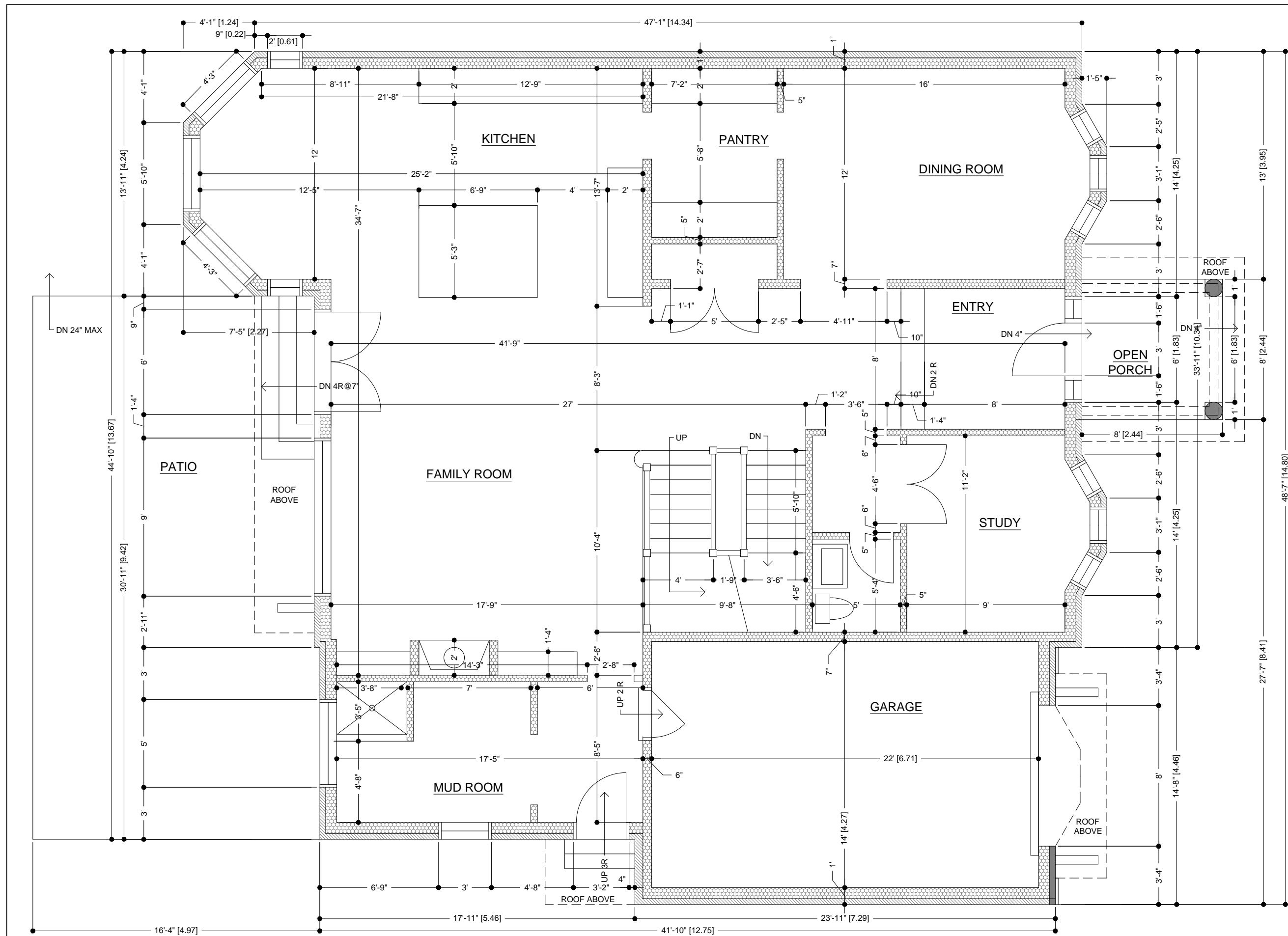
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DATE:
NOV-29-16

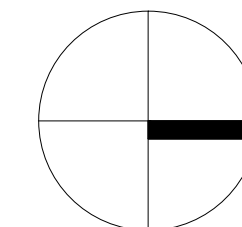
JOB NO:
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ANGUS SKENE ARCHITECT

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PROJECT:
45 VAN DUSEN BLVD
TORONTO

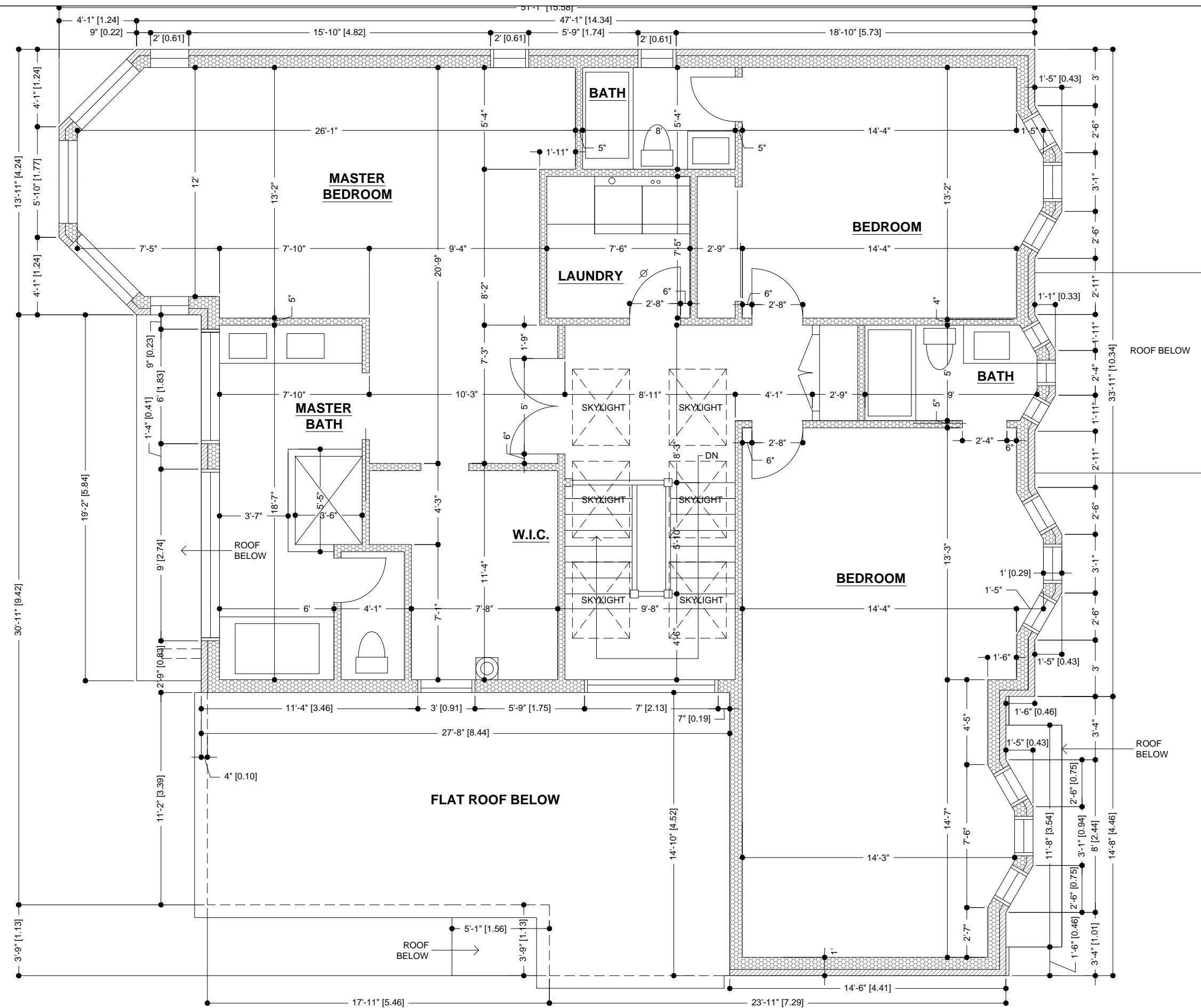
2ND FLOOR PLAN

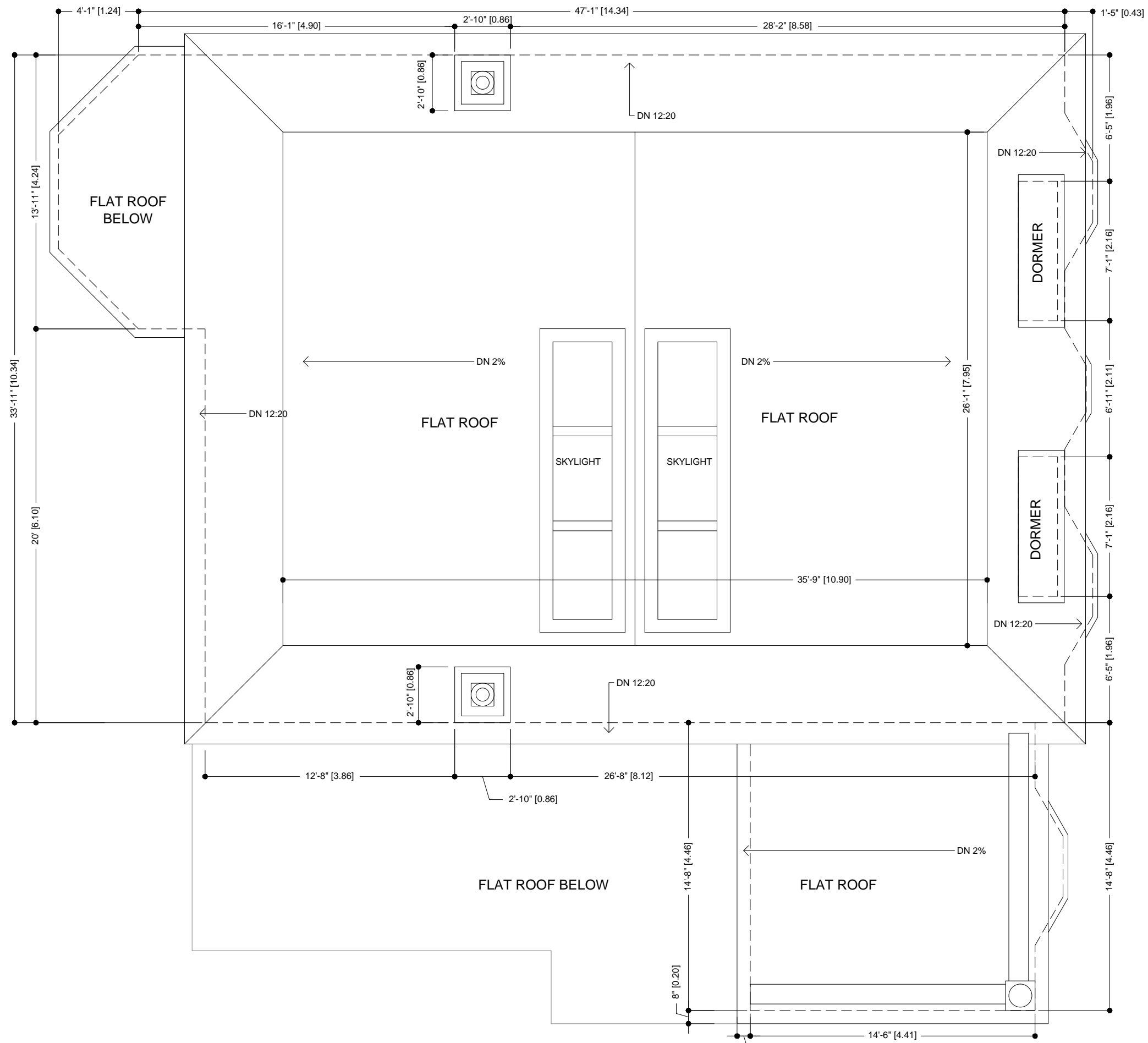
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A.S.

DATE:
NOV-29-16

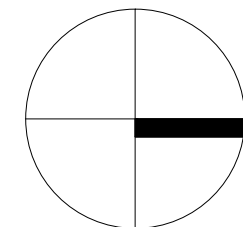
A4





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PROJECT:
**45 VAN DUSEN BLVD
TORONTO**

ROOF PLAN

SCALE:
 $\frac{3}{16}'' = 1'-0''$

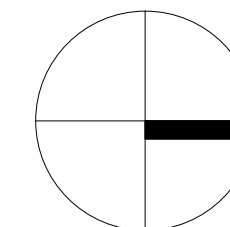
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DATE:
NOV-29-16

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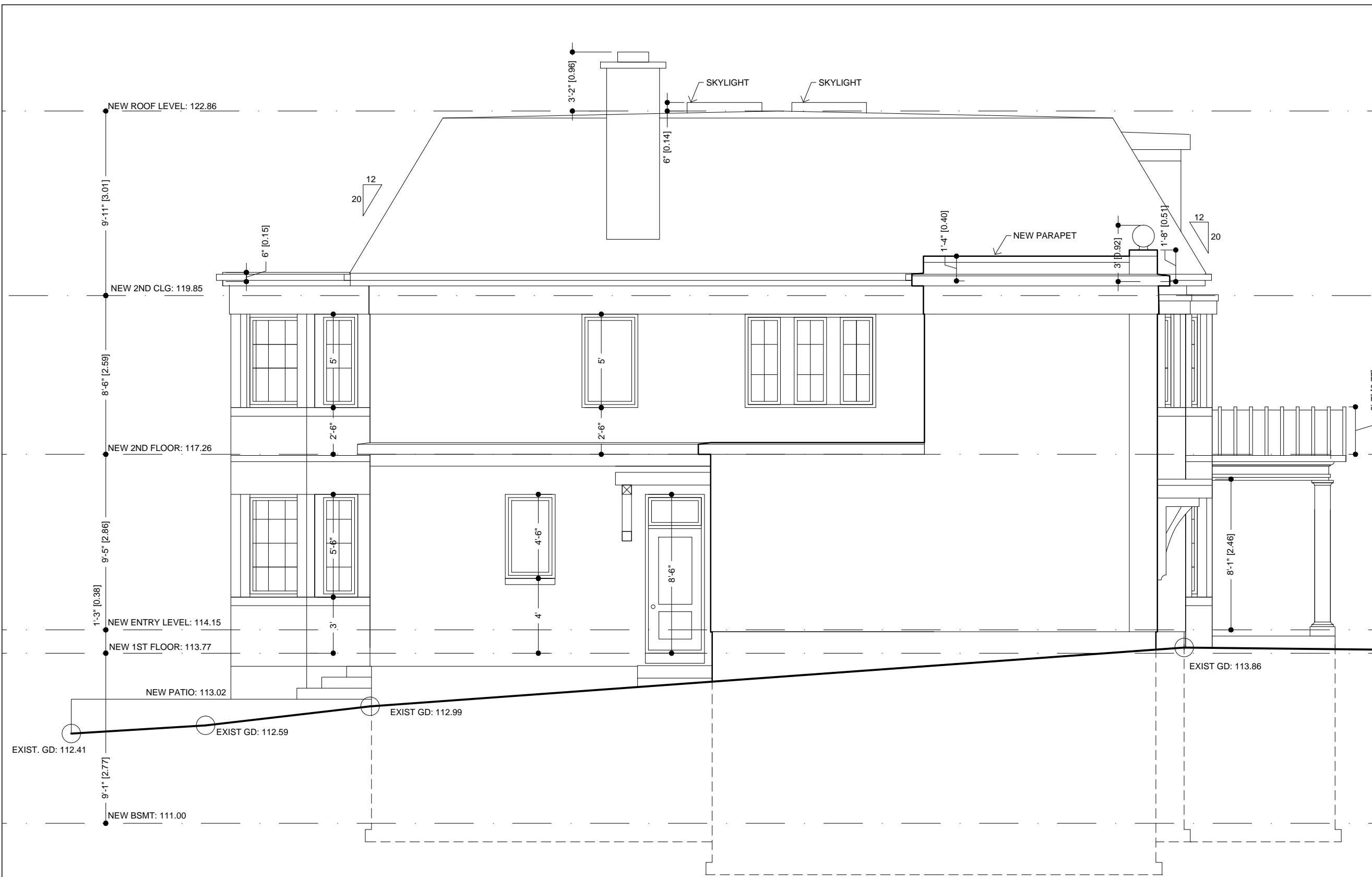
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PROJECT:
**45 VAN DUSEN BLVD
TORONTO**

EAST ELEVATION

SCALE:
 $\frac{3}{16}'' = 1'-0''$

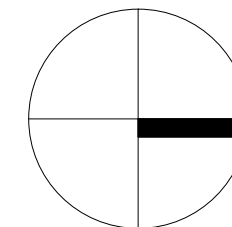
DRAWN BY:
A.S.

DATE:
NOV-29-16

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1	ZONING REVIEW	NOV-28-16

PROJECT:
**45 VAN DUSEN BLVD
TORONTO**

NORTH ELEVATION

SCALE:
 $\frac{3}{16}'' = 1'-0''$

DRAWN BY:
A.S.

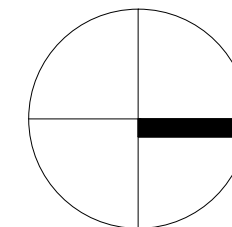
DATE:
NOV-29-16

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**ANGUS SKENE
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PROJECT:
**45 VAN DUSEN BLVD
TORONTO**

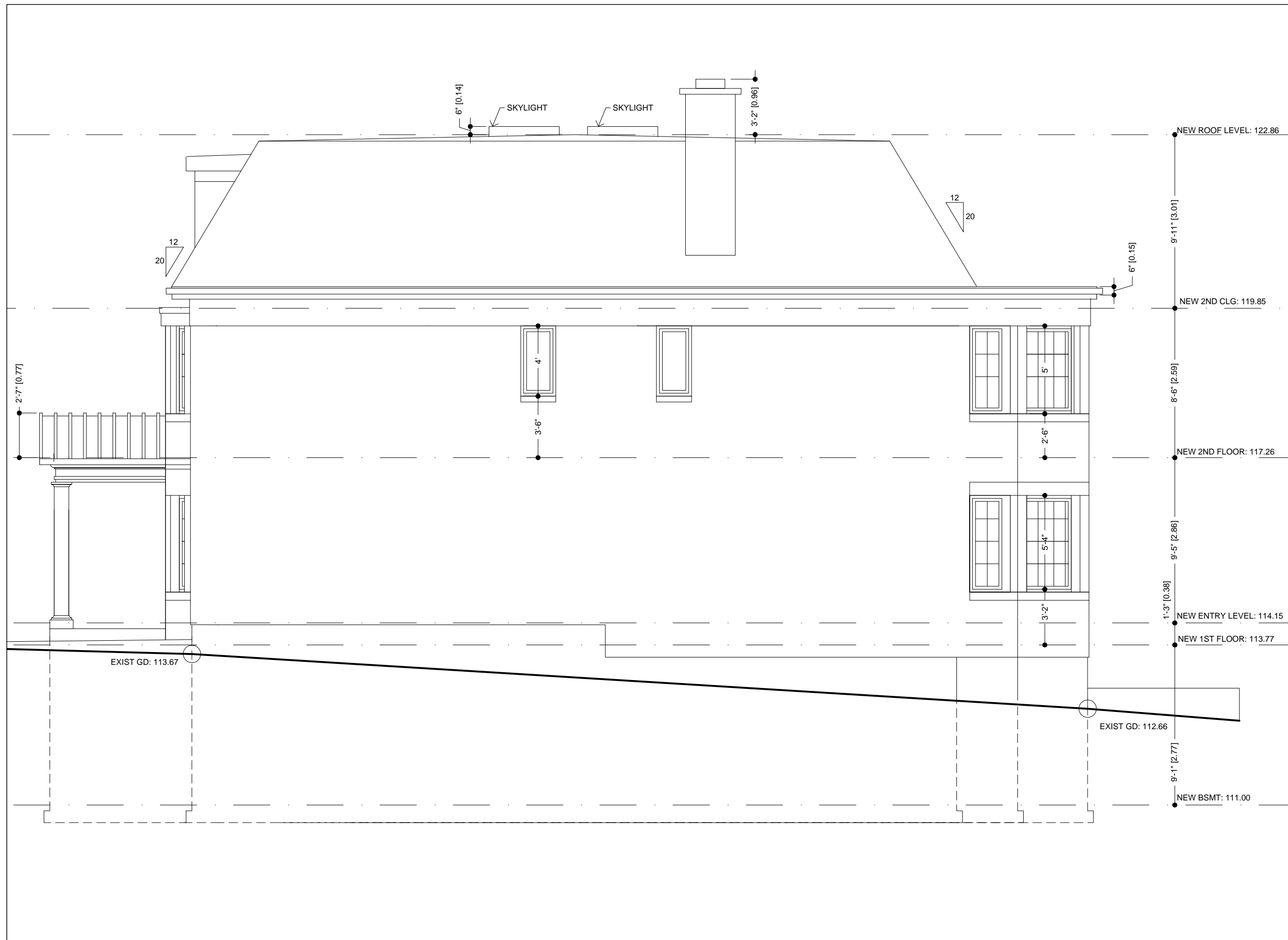
WEST ELEVATION

SCALE:
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DRAWN BY:
A.S.

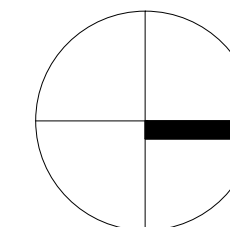
DATE:
NOV-29-16

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ANGUS SKENE ARCHITECT

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PROJECT:
45 VAN DUSEN BLVD
TORONTO

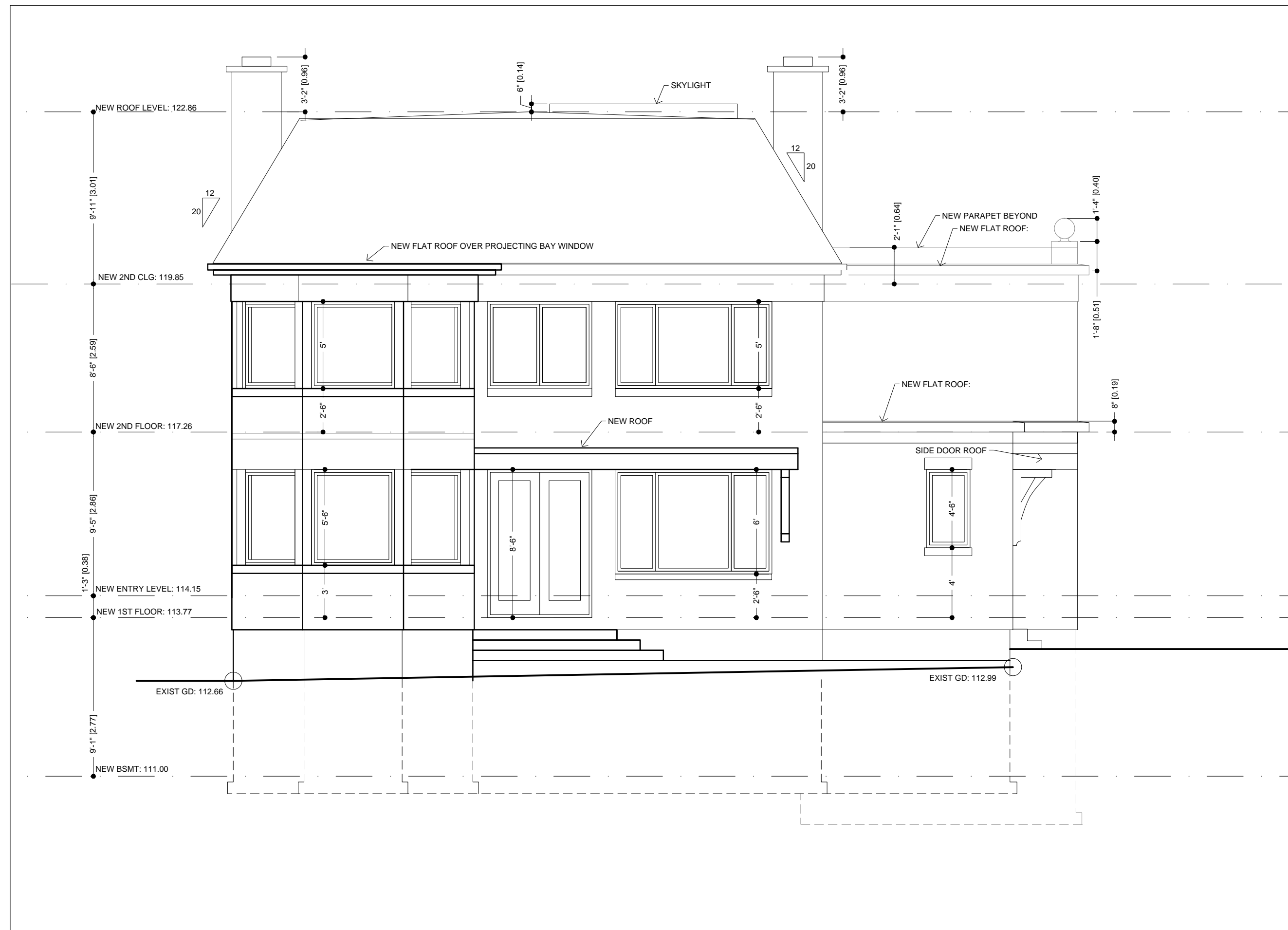
SOUTH ELEVATION

SCALE:
 $\frac{3}{16}'' = 1'-0''$

DRAWN BY:
A.S.

DATE:
NOV-29-16

A9



Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0057/17EYK	Zoning:	RM & R3
Owner(s):	RAMANPREET RHANNA VINEET KHANNA	Ward:	Etobicoke-Lakeshore (06)
Agent:	KBK STUDIOS INC	Heritage:	Not Applicable
Property Address:	304 DELTA ST	Community:	
Legal Description:	PLAN 2225 PT LOTS 127 TO 129		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10.(18)(C)(i), By-law 569-2013 & Section 320-63(A)(3)**
The maximum permitted lot coverage is 33% of the lot area (147.1 m²).
The proposed dwelling will have a lot coverage of 37.5% of the lot area (167.2 m²)
- Section (1)(a), By-law 1979-67**
The maximum permitted gross floor area is 0.4 times the lot area (178.4 m²).
The proposed dwelling will have a gross floor area of 0.66 times the lot area (305.3 m²).
- Section 10.80.40.70.(3)(A), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The proposed dwelling will be located 0.9 m from the north side lot line.
- Section 320-42.1(D)(1)**
The maximum permitted dwelling depth is 16.5 m.
The proposed dwelling will have a depth of 17 m.
- Section (3), By-law 1979-67**
The maximum permitted height is 7.5 m to the midpoint of the roof.
The proposed dwelling will have a height of 7.93 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0057/17EYK	Zoning	RM & R3
Owner:	RAMANPREET RHANNA VINEET KHANNA	Ward:	Etobicoke-Lakeshore (06)
Agent:	KBK STUDIOS INC	Heritage:	Not Applicable
Property Address:	304 DELTA ST	Community:	
Legal Description:	PLAN 2225 PT LOTS 127 TO 129		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0059/17EYK	Zoning	RD & R2
Owner(s):	ERICA JOHNSTON ALISTAIR JOHNSTON	Ward:	Etobicoke-Lakeshore (05)
Agent:	ALISTAIR JOHNSTON	Heritage:	Not Applicable
Property Address:	5 BLOORLEA CRES	Community:	
Legal Description:	PLAN M817 LOT 38		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition above the existing dwelling and a rear platform.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 900.3.10 (21)(C), By-law 569-2013 and Section 1b(1), By-law 1992-23

The maximum permitted gross floor area is 135 m² plus 25% of the lot area (264.91m²), including the attached or detached garage, to a maximum floor space index of 0.5 times the lot area (259.83 m²).

Section 900.3.10 (21)(C), By-law 569-2013

The altered dwelling will have a gross floor area, including the attached garage, of 135 m² plus 30.6% of the lot area (294.26 m²), with a floor space index of 0.57 times the lot area.

Section 1b(1), By-law 1992-23

The altered dwelling will have a gross floor area, including the attached garage, of 135 m² plus 35.3% of the lot area (318.76 m²), with a floor space index of 0.61 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0059/17EYK	Zoning	RD & R2
Owner:	ERICA JOHNSTON ALISTAIR JOHNSTON	Ward:	Etobicoke-Lakeshore (05)
Agent:	ALISTAIR JOHNSTON	Heritage:	Not Applicable
Property Address:	5 BLOORLEA CRES	Community:	
Legal Description:	PLAN M817 LOT 38		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0062/17EYK	Zoning:	RD
Owner(s):	HMAYAK ARAZYAN YELENA STEPANYAN	Ward:	Etobicoke-Lakeshore (05)
Agent:	YELENA STEPANYAN	Heritage:	Not Applicable
Property Address:	384 PRINCE EDWARD DR N	Community:	
Legal Description:	PLAN 1685 S PT LOT 261 N PT LOT 262		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To maintain the existing driveway.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.5.80.10.(3), By-law 569-2013 and Section 320-18.B.(1)**
A parking space may not be located in a front yard or a side yard abutting a street.
The proposed parking spot is located in the front yard.
- Section 10.5.100.1.(1)(C), By-law 569-2013**
The maximum permitted driveway width is 2.6 m.
Section 320-44.A.
The maximum permitted driveway width is 2.46 m.
Section 10.5.100.1.(1)(C), By-law 569-2013 and Section 320-44.A.
The existing driveway has a width of 5.81 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0062/17EYK	Zoning	RD
Owner:	HMAYAK ARAZIAN YELENA STEPANYAN	Ward:	Etobicoke-Lakeshore (05)
Agent:	YELENA STEPANYAN	Heritage:	Not Applicable
Property Address:	384 PRINCE EDWARD DR N	Community:	
Legal Description:	PLAN 1685 S PT LOT 261 N PT LOT 262		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0070/17EYK	Zoning	RD & R1
Owner(s):	PETER VOONG	Ward:	Etobicoke-Lakeshore (06)
Agent:	PETER VOONG	Heritage:	Not Applicable
Property Address:	28 TWENTY FIRST ST – PART 2	Community:	
Legal Description:	PLAN 2146 LOT 9		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage. A previous Committee of Adjustment application (A258/16EYK) approved a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.70.(3).(B), By-law 569-2013

The required minimum side yard setback is 0.9 m.

A previous Committee of Adjustment application (A258/16EYK) approved a south side yard setback of 0.61 m. The proposed side yard setback will be 0.61 m on the north side.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.

SIGNATURE PAGE

File Number:	A0070/17EYK	Zoning	RD & R1
Owner:	PETER VOONG	Ward:	Etobicoke-Lakeshore (06)
Agent:	PETER VOONG	Heritage:	Not Applicable
Property Address:	28 TWENTY FIRST ST – PART 2	Community:	
Legal Description:	PLAN 2146 LOT 9		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0071/17EYK	Zoning	RD & R1
Owner(s):	PETER VOONG	Ward:	Etobicoke-Lakeshore (06)
Agent:	PETER VOONG	Heritage:	Not Applicable
Property Address:	28 TWENTY FIRST ST – PART 1	Community:	
Legal Description:	PLAN 2146 LOT 9		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage. A previous Committee of Adjustment application (A257/16EYK) approved a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 10.20.40.70.(3)(B), By-law 569-2013

The required minimum side yard setback is 0.9 m.

A previous Committee of Adjustment application (A257/16EYK) approved a north side yard setback of 0.61 m. The proposed side yard setback will be 0.61 m on the south side.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583, subject to changes.

SIGNATURE PAGE

File Number:	A0071/17EYK	Zoning	RD & R1
Owner:	PETER VOONG	Ward:	Etobicoke-Lakeshore (06)
Agent:	PETER VOONG	Heritage:	Not Applicable
Property Address:	28 TWENTY FIRST ST – PART 1	Community:	
Legal Description:	PLAN 2146 LOT 9		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0072/17EYK	Zoning	RD & R2
Owner(s):	JOEL G BERSON JOSEPHINE BERSON	Ward:	Etobicoke Centre (03)
Agent:	ARCHITALCAN	Heritage:	Not Applicable
Property Address:	37 RISDON CRT	Community:	
Legal Description:	PLAN M752 LOT 83		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a carport along the east side of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 & Section 320-59.C.**
The maximum permitted lot coverage is 33% of the lot area (169.92 m²).
The altered dwelling will have a lot coverage of 34.9% of the lot area (179.68 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-41.A.
The minimum required side yard setback is 0.9 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 320-41.A.
The altered dwelling will be located 0.33 m from the east side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The site plan must include the following notations:
 - a. "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "The applicant must submit a Municipal Road Damage Deposit (MRDD)." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0072/17EYK	Zoning	RD & R2
Owner:	JOEL G BERSON JOSEPHINE BERSON	Ward:	Etobicoke Centre (03)
Agent:	ARCHITALCAN	Heritage:	Not Applicable
Property Address:	37 RISDON CRT	Community:	
Legal Description:	PLAN M752 LOT 83		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0073/17EYK	Zoning	RD & R2
Owner(s):	GERALD ANACLETO	Ward:	Etobicoke-Lakeshore (06)
Agent:	EKP DESIGNS INC	Heritage:	Not Applicable
Property Address:	24 PUTNEY RD	Community:	
Legal Description:	PLAN 4177 LOT 119		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey west side addition which will include an attached garage and to construct a second storey addition above the existing dwelling with a balcony in the front.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 320-42.1.A.(1)**
The maximum permitted gross floor area is 0.45 times the lot area (211.39 m²).
The altered dwelling will have a gross floor area of 0.46 times the lot area (215.84 m²).
- Section 10.5.40.70.(1)(B), By-law 569-2013 & Section 30-40.C(3)**
The minimum required front yard setback is 7.82 m.
The altered dwelling will be located 6.7 m from the front lot line.
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The altered dwelling will be located 0.9 m from the west side lot line.
- Section 320-42.1.A(1)**
The maximum permitted flat roof height is 6.5 m.
The altered dwelling will have a flat roof height of 6.75 m.
- Section 10.5.40.60.(3)(A)(ii), By-law 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2 m.
The proposed front exterior stairs will have a width of 2.09 m.
- Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above a second storey is 4 m².
The proposed second storey front platform will have an area of 5.25 m².
- Section 200.5.1.10.(2)(A)(iv), By-law 569-2013 & 320-18.A.(1)(c)**
The minimum required parking space width is 3.2 m.
The proposed parking space within the proposed attached garage will have a width of 3.03 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The site plan must include the following notations:
 - a. "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality"
 - b. "All proposed new curb cuts shall comply with all applicable City of Toronto Design Standards and requirements, and must be constructed at no cost to the municipality"
 - c. "The applicant must submit a Municipal Road Damage Deposit (MRDD) for the proposed new driveways and sidewalk/curb construction within the municipal boulevard." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD
 - d. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0073/17EYK	Zoning	RD & R2
Owner:	GERALD ANACLETO	Ward:	Etobicoke-Lakeshore (06)
Agent:	EKP DESIGNS INC	Heritage:	Not Applicable
Property Address:	24 PUTNEY RD	Community:	
Legal Description:	PLAN 4177 LOT 119		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

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Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0075/17EYK	Zoning:	RM & R3
Owner(s):	DEBBY MACHADO RICHARD FERREIRA	Ward:	Etobicoke-Lakeshore (06)
Agent:	RICHARD FERREIRA	Heritage:	Not Applicable
Property Address:	210 HALLMARK AVE	Community:	
Legal Description:	PLAN 2195 N PT LOT 141		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.3.10(18(C)(i), By-law 569-2013 & Section 320-63.A.(3)**
The maximum permitted lot coverage is 33% of the lot area (119.57 m²).
The altered dwelling will have a lot coverage of 36% of the lot area (130.32 m²).
- Section 10.80.40.70.(3)(A), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-41.A
The minimum required side yard setback is 0.9 m.
Section 10.80.40.70.(3)(A), By-law 569-2013 & Section 320-41.A
The altered dwelling will be located 0.61 m south side lot line.
- Section 10.5.40.60.(7), By-law 569-2013**
The minimum required setback for eaves is 0.3 m.
Section 320-41.D
The minimum required setback for eaves is 0.4 m.
Section 10.5.40.60.(7), By-law 569-2013 & Section 320-41.D
The altered dwelling will be located 0.15 m from the south side lot line.
- Section 10.80.40.20.(1), By-law 569-2013**
The maximum permitted dwelling length is 17 m.
The altered dwelling will have a length of 19.81 m.
- Section 10.80.40.30.(1), By-law 569-2013**
The maximum permitted dwelling depth is 19 m.
The altered dwelling will have a depth of 19.81 m.

6. Section 320-41.C

The minimum required side yard setback for a wall containing a window on the first storey of any building and admitting light to any habitable room is 1.2 m.

The altered dwelling wall containing windows will be located 0.61 m along the south side lot line

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0075/17EYK	Zoning	RM & R3
Owner:	DEBBY MACHADO RICHARD FERREIRA	Ward:	Etobicoke-Lakeshore (06)
Agent:	RICHARD FERREIRA	Heritage:	Not Applicable
Property Address:	210 HALLMARK AVE	Community:	
Legal Description:	PLAN 2195 N PT LOT 141		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0844/16EYK	Zoning:	RD & R2
Owner(s):	KATHLEEN TEIXEIRA MICHAEL VIRTU	Ward:	Etobicoke North (02)
Agent:	ESCALA DESIGNS INC	Heritage:	Not Applicable
Property Address:	68 REDWATER DR	Community:	
Legal Description:	PLAN 4411 LOT 378		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing: a one-storey rear addition, a rear deck, a rear basement walkout and a one-storey south side addition containing an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 320-41.A
The minimum required side yard setback is 0.9 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 and Section 320-41.A
The altered dwelling will be located 0.28 m from the south side lot line.
- Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 320-41.D
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7), By-law 569-2013 and Section 320-41.D
The eaves/roof projection of the altered dwelling will be located 0 m from the south side lot line.
- Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 18.77 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0844/16EYK	Zoning	RD & R2
Owner:	KATHLEEN TEIXEIRA MICHAEL VIRTU	Ward:	Etobicoke North (02)
Agent:	ESCALA DESIGNS INC	Heritage:	Not Applicable
Property Address:	68 REDWATER DR	Community:	
Legal Description:	PLAN 4411 LOT 378		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0038/17EYK	Zoning:	RM & RM1
Owner(s):	MADHUMATHI MOHAN KEDARNATH TUPIL	Ward:	Etobicoke-Lakeshore (06)
Agent:	MADHUMATHI MOHAN	Heritage:	Not Applicable
Property Address:	55 LONG BRANCH AVE	Community:	
Legal Description:	PLAN M9 BLK G PT LOT 9		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10.(2)(D)(i), By-law 569-2013 and Section 330-23.A.(9)**
The maximum permitted floor space index is 0.35 times the area of the lot (81.41 m²).
The altered dwelling will have a floor space index of 0.71 times the area of the lot (165 m²).
- Section 900.6.10.(2)(F)(i), By-law 569-2013 and Section 330-23.A.(7)**
The minimum required side yard setback is 0.9 m.
The altered dwelling will be located 0.27 m from the north side lot line.
- Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 330-13.A.(2)
The minimum required side yard setback for eaves is 0.5 m.
Section 10.5.40.60.(7), By-law 569-2013 and Section 330-13.A.(2)
The eaves of the new dwelling will be located 0 m from the north side lot line.
- Section 10.5.50.10.(1)(D), By-law 569-2013 and Section 330-20.6.A.**
A minimum of 75% of the front yard, not covered by a permitted driveway, shall be maintained as soft landscaping (41 m²).
A total of 53% of the front yard, not covered by a permitted driveway, will be maintained as soft landscaping (29 m²).
- Section 10.5.100.1.(1)(A), By-law 569-2013**
The minimum required driveway width is 2 m.
Section 330-9.B.(1)(b)(1)(a)(i)
The minimum required driveway width is 2.6 m.
Section 10.5.100.1.(1)(A), By-law 569-2013 and Section 330-9.B.(1)(b)(1)(a)(i)
The existing driveway has a width of 1.38 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0038/17EYK	Zoning	RM & RM1
Owner:	MADHUMATHI MOHAN KEDARNATH TUPIL	Ward:	Etobicoke-Lakeshore (06)
Agent:	MADHUMATHI MOHAN	Heritage:	Not Applicable
Property Address:	55 LONG BRANCH AVE	Community:	
Legal Description:	PLAN M9 BLK G PT LOT 9		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

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Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0069/17EYK	Zoning	RD & R1
Owner(s):	ROBERTO ALPINELLI ROMMY ALPINELLI	Ward:	Etobicoke Centre (04)
Agent:	ROMMY ALPINELLI	Heritage:	Not Applicable
Property Address:	7 WOODVALLEY DR	Community:	
Legal Description:	PLAN M996 LOT 26		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To alter the existing dwelling by constructing the following: a one-storey north/south side addition and rear addition, a second storey rear addition, a covered porch along the south and rear yard, and a covered porch along the north side of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.40.(1)(A), By-law 569-2013 and Section 320-55.C.**
The maximum permitted lot coverage is 33% of the lot area (238.44 m²).
The altered dwelling will cover 35.1% of the lot area (253.66 m²).
- Section 10.20.40.40.(1)(A), By-law 569-2013 and Section 320-42.1.A.(1)**
The maximum permitted floor space index is 0.45 times the area of the lot (325.15 m²).
The altered dwelling will have a floor space index of 0.48 times the area of the lot (348 m²).
- Section 10.20.40.70.(2)(B), By-law 569-2013 and Section 320-42.B.**
The minimum required rear yard setback is 9.3 m.
The altered dwelling will be located 5.18 m from the rear lot line.
- Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted dwelling depth is 19 m.
The altered dwelling will have a depth of 25.07 m.
Section 320-42.1.D.(1)
The maximum permitted dwelling depth is 16.5 m.
The altered dwelling will have a depth of 21.82 m.

5. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The altered dwelling will have a length of 23.6 m.
6. **Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.B.(1)**
The maximum permitted building height is 9.5 m.
The altered dwelling will have a height of 9.59 m.
7. **Section 10.20.40.10.(2)(B)(ii), By-law 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7 m.
The altered dwelling will have a side exterior main wall height of 8.26 m facing a side lot line.
8. **Section 10.20.40.10.(6), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The altered dwelling will have a first floor height of 2.08 m above established grade.
9. **Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum permitted area of a platform at or above the second storey is 4 m².
The proposed second storey north side platform will have an area of 16 m², the proposed south side platform will have an area of 11 m², and the proposed rear yard platform will have an area of 17 m².
10. **Section 320-42.E**
The maximum permitted encroachment for a platform into the required rear yard setback is 1.6 m.
The proposed roofed porch way within the rear yard area will project 4.12 m into the required yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III.
2. The proposal shall be constructed substantially in accordance with the revised plans date stamped January 30, 2017 and held on file by the Committee of Adjustment office, to the satisfaction of the Director, Community Planning, Etobicoke York District. Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.

3. The following conditions shall be fulfilled to the satisfaction of Urban Forestry Ravine and Natural Feature Protection:
 - 3.1 Prior to the issuance of a demolition and/or building permit, the applicant must obtain a Permit or Clearance under Chapter 658 – Ravine and Natural Feature Protection. The permit will be subject to conditions including tree protection.
 - 3.2 Prior to the issuance of a demolition and/or building permit, all trees not approved for removal must be protected according to the “City of Toronto Tree Protection Policy and Specifications for Construction near Trees” (<http://www.toronto.ca/trees/pdfs/TreeProtSpecs.pdf>) and to the satisfaction of Urban Forestry RNFP. The tree protection measures must be installed on site and approved by Urban Forestry RNFP prior to beginning any demolition or construction activities on the subject property.
 - 3.3 Prior to the issuance of a demolition and/or building permit the applicant must install sediment control fencing to the satisfaction of RNFP. The installed sediment control fencing would have to remain in place and in good condition during construction and must not be altered or moved until authorized by RNFP.

SIGNATURE PAGE

File Number:	A0069/17EYK	Zoning	RD & R1
Owner:	ROBERTO ALPINELLI ROMMY ALPINELLI	Ward:	Etobicoke Centre (04)
Agent:	ROMMY ALPINELLI	Heritage:	Not Applicable
Property Address:	7 WOODVALLEY DR	Community:	
Legal Description:	PLAN M996 LOT 26		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

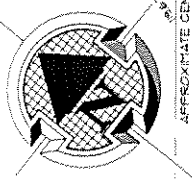
LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

SITE PLAN SHOWING
PART OF LOT 26
REGISTERED PLAN M-936
CITY OF TORONTO
(FORMERLY CITY OF ETOBICOKE)



WOODVALLEY DRIVE

APPROXIMATE CENTRELINE OF PAVEMENT

REGULATION LIMIT BOUNDARY

CONCRETE CURB

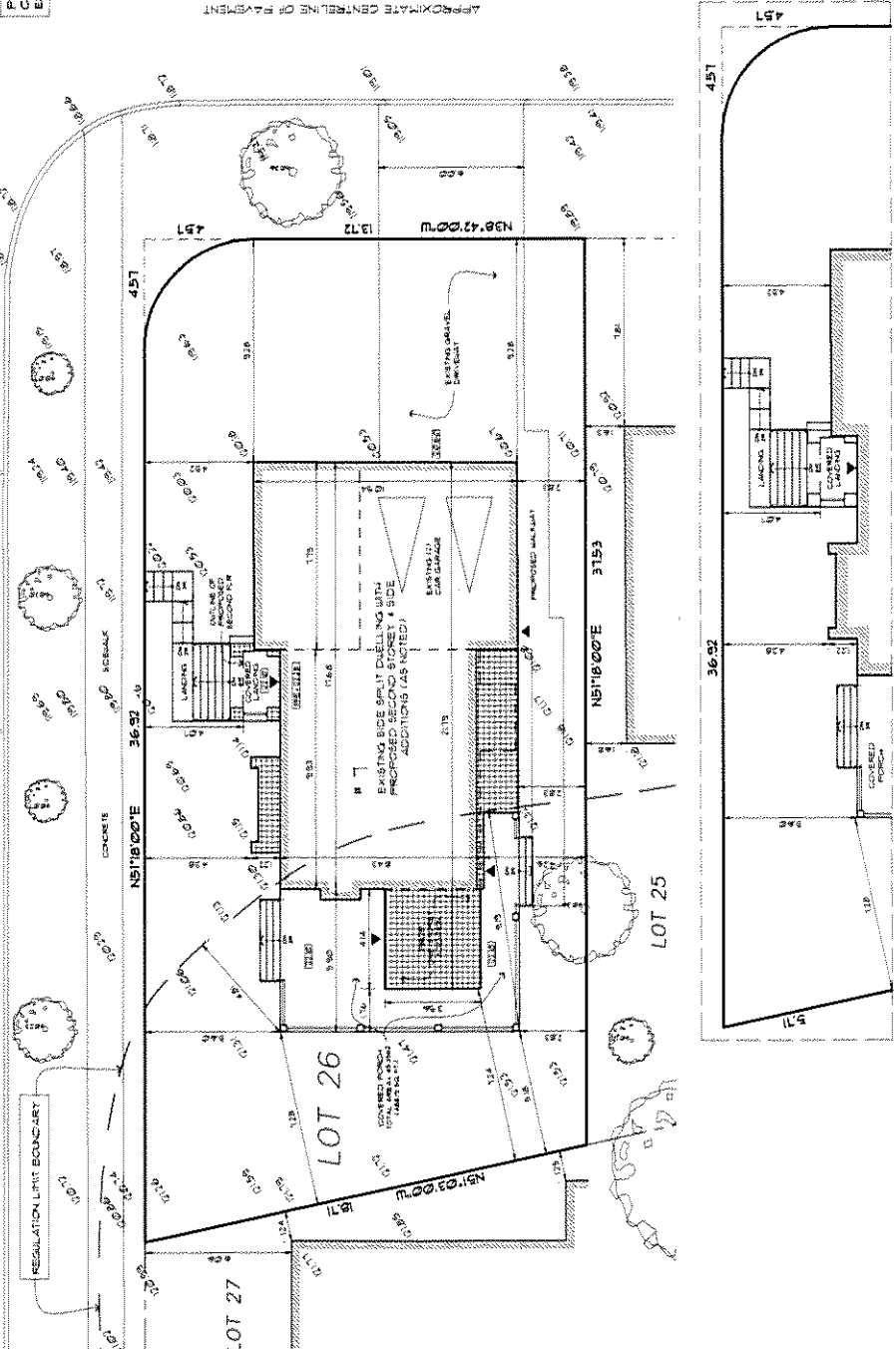
CONCRETE

WOODVALLEY DRIVE

WOODVALLEY DRIVE

WOODVALLEY DRIVE

WOODVALLEY DRIVE

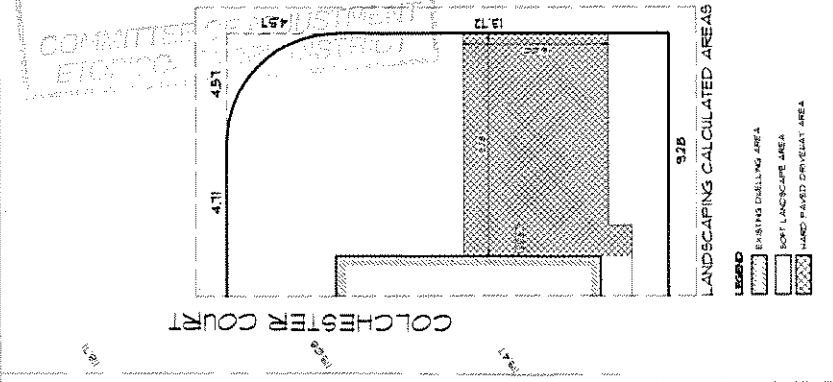


ZZC SQ. FT. CALCULATIONS

DESCRIPTION	SQ. FT.	sq
PROPOSED ADDITIONAL SQ. FOOTAGE OF FIRST + SECOND FLOOR AREAS (CALCULATED TO EXTERIOR WALLS)	19430	0.953
INTERIOR ALTERATIONS TO EXISTING (CALCULATED TO ALONG/INSIDE FACE OF EXTERIOR WALLS)	19319	0.939
BASINEMENT ALTERATIONS TO EXISTING BASINEMENT FLOOR (CALCULATED TO ALONG/INSIDE FACE OF EXTERIOR WALLS)	65996	6.131

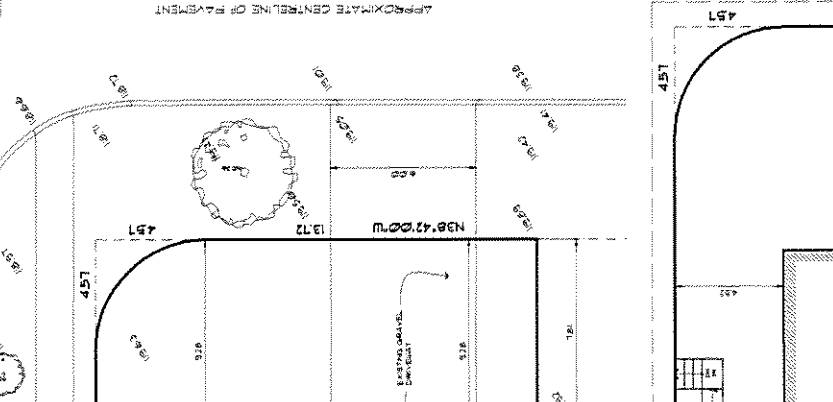
SITE DATA

DESCRIPTION	SQ. FT.	sq	%
EXISTING LOT AREA *	111153	1.026	100
EXIST. 1ST FLR DWELLING AREAS*	17560	0.162	15.7
PROCP. 1ST FLR ADDITION AREAS*	44376	0.412	39.7
TOTAL GFA*	118336	1.098	107.7
EXIST. 1ST FLR GARAGE AREA*	50350	0.467	45.2
TOTAL GFA#	277786	2.565	250.9
EXIST. 2ND FLR AREA*	9212	0.085	0.8
PROCP. 2ND FLR AREA*	95054	0.883	83.5
TOTAL GFA*	186766	1.748	169.2
TOTAL OVERALL GFA*	356502	3.316	320.9
EXIST. LOT COVERAGE	118336	1.098	107.7
PROCP. COVERAGE	277786	2.565	250.9
TOTAL LOT COVERAGE	396122	3.663	356.6
PROCP. REAR YARD (DECKING + PORCH)	266150	2.487	225.7
PROCP. FRONT YARD (DECKING + PORCH)	48814	0.453	4.3
PROCP. BASEMENT BELOW*			



FRONT YARD CALCULATIONS

DESCRIPTION	SQ. FT.	sq
TOTAL AREA	176629	1.633
SOFT LANDSCAPE AREA	176629	1.633
HARD PAVED DRIVEWAY AREA	63269	0.595



REAR YARD CALCULATIONS

DESCRIPTION	SQ. FT.	sq
TOTAL AREA	19430	0.182
SOFT LANDSCAPE AREA	19430	0.182
HARD PAVED DRIVEWAY AREA	16336	0.152

SITE PLAN INFORMATION IS GENERATED FROM PLAN OF SURVEY PREPARED BY PEARSON & PEARSON SURVEYING, DATED MAY 12th 2016

REGULATIONS

1. ZONING	RES-1
2. LOT COVERAGE	35%
3. LOT AREA	111,153 SQ. FT.
4. SETBACKS	MIN. 5 FT.
5. HEIGHTS	MAX. 35 FT.
6. FLOOR AREA RATIO	1.0
7. PARKING	1 PER 100 SQ. FT.
8. SIGNAGE	AS PER ZONING BY-LAW
9. OTHER	AS PER ZONING BY-LAW

CITY OF TORONTO RECEIVED

MAY 13 2017

CONSULTING DESIGN BY:

Georgia Loies
Architects & Interiors Design

208 DUNDAS ST. W.
SUITE 211
TORONTO, ONTARIO
M5G 1C7
TEL: (416) 593-5100
FAX: (416) 593-5141

PROPOSED RENOVATION FOR:
ALPHELLY & PRIMA RESIDENCE
ETOBICOKE, ONTARIO

SITE PLAN

DATE: 04.14.16
SCALE: 1/8" = 1'-0"



REV.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	11/13/17
2	REVISIONS	11/13/17
3	REVISIONS	11/13/17
4	REVISIONS	11/13/17
5	REVISIONS	11/13/17
6	REVISIONS	11/13/17
7	REVISIONS	11/13/17
8	REVISIONS	11/13/17
9	REVISIONS	11/13/17
10	REVISIONS	11/13/17

LEGEND

1. UNDEVELOPED SPACE

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100. UNDEVELOPED SPACE

CONSULTING DESIGN BY:

Georgio Loios
Professional Engineer
No. 12533

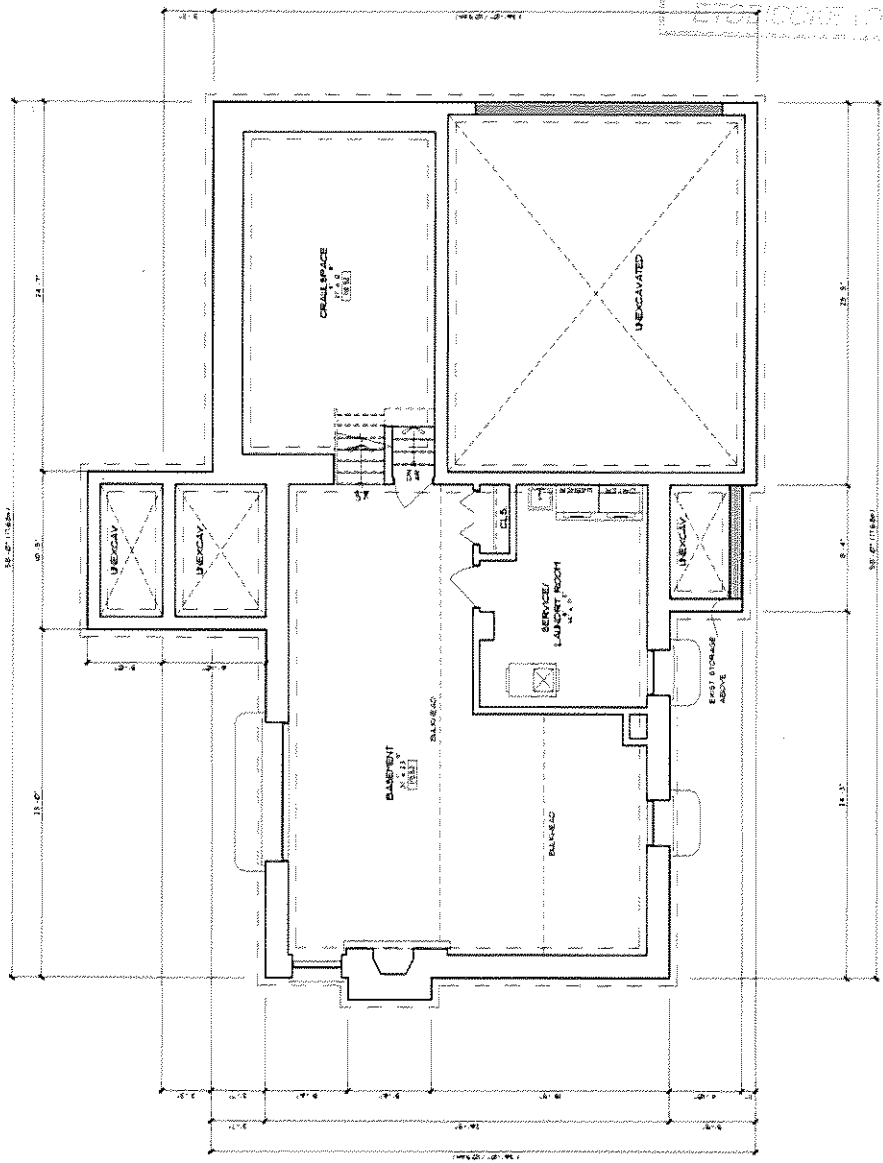
100 CECILIAN RD. #200
SCARBOROUGH, ONTARIO M1H 2K9
TEL: (416) 291-1111
FAX: (416) 291-1112

ALPANELLI & FISURA RESIDENCE
11111 111 ST. W. #101
SCARBOROUGH, ONTARIO

EXIST. BASEMENT PLAN

DATE: 11/13/17
SCALE: 1/8" = 1'-0"

CITY OF SCARBOROUGH
PROVIDED
11/13/2017
COMMITTEE OF ADJUSTMENT
FOR PROPOSED



EXISTING BASEMENT FLOOR PLAN
SCALE 1/8" = 1'-0"



NO.	REVISIONS	DATE
1	BASED ON PERMITS	01/30/17
2	CONTRACT CHANGES PER CLIENT	02/02/17
3	CONTRACT CHANGES PER CLIENT	02/02/17
4	REVISED PER TITLE	02/02/17
5	REVISED PER TITLE	02/02/17
6	REVISED PER TITLE	02/02/17
7	REVISED PER TITLE	02/02/17

LEGEND

NOTES TO BE READ IN CONJUNCTION WITH THE PERMITS AND LOCAL ORDINANCES.

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE BOOK (IMC/IEC).

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE BOOK (IMC/IEC).

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODE BOOK (IPMCC) AND THE INTERNATIONAL ELECTRICAL CODE BOOK (IEC).

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE BOOK (IFSC).

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY EFFICIENCY CODE BOOK (IEEC).

6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SMOKE AND ALARM CODE BOOK (ISACC).

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY AND MOBILITY ACT (AMA).

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL GREEN BUILDING CODE BOOK (IGBC).

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DESIGN AND CONSTRUCTION CODE BOOK (ISDCC).

10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL WELLNESS AND WELLBEING CODE BOOK (IWWC).

CONSULTING DESIGN BY:

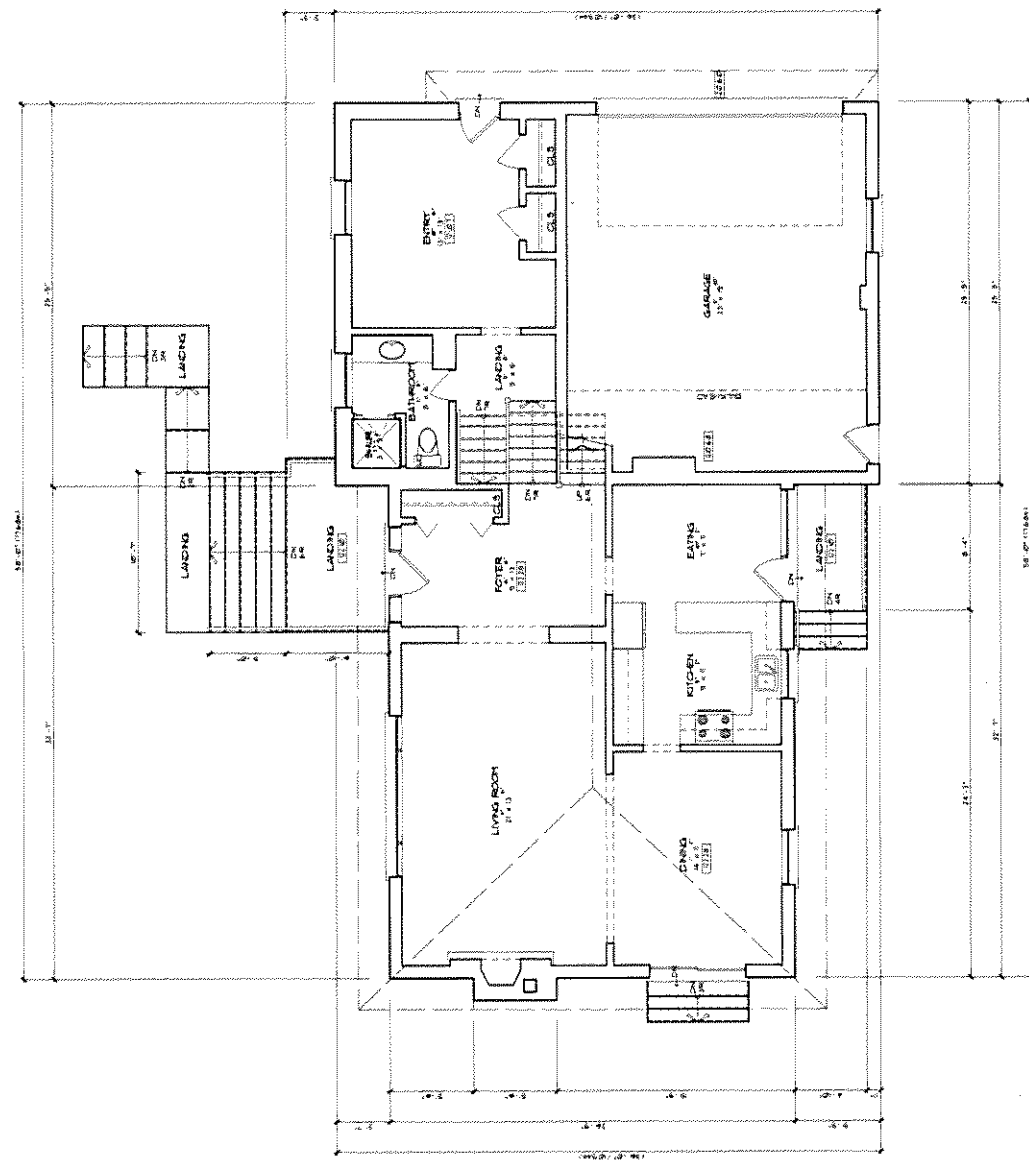
Georgia Lolas
Architects & Engineers Inc.

200 DUNCAN MILL RD
SUITE 207
TOWSON, MD 21286
TEL: 443-251-2300
FAX: 443-251-2301

PROPOSED RESIDENTIAL USE
ALPINELLI # 10000A RESIDENCE
10000A # 10000A
BETHESDA, MD 20814

EXIST. MAIN FLOOR PLAN

NO.	REVISIONS	DATE
1	BASED ON PERMITS	01/30/17
2	CONTRACT CHANGES PER CLIENT	02/02/17
3	CONTRACT CHANGES PER CLIENT	02/02/17
4	REVISED PER TITLE	02/02/17
5	REVISED PER TITLE	02/02/17
6	REVISED PER TITLE	02/02/17
7	REVISED PER TITLE	02/02/17



DATE: 01/30/17

JAN 30 2017

COMMITTEE ON PLANNING

MAIN FLOOR AREA	SQ. FT.	#2
EXISTING AREA:	1715.60	1850
EXIST. LOT COVERAGE	1113.10	185.21

EXISTING MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



NO.	DESCRIPTION	DATE
1.	ISSUED FOR PERMITS AND CONSTRUCTION	10/11/16
2.	CORRECTIONS CHANGED TO 10/11/16	10/11/16
3.	LIC. EXPIRES	10/11/16
4.	REVISIONS	10/11/16
5.	REVISIONS	10/11/16
6.	REVISIONS	10/11/16
7.	REVISIONS	10/11/16

LEGEND

EXISTING

NEW

NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE LOCAL ORDINANCES.

2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITY.

PROJECT INFORMATION

PROJECT NAME: [REDACTED]

PROJECT ADDRESS: [REDACTED]

PROJECT CITY: [REDACTED]

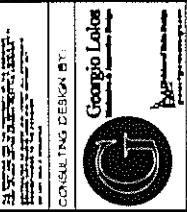
PROJECT STATE: [REDACTED]

PROJECT ZIP: [REDACTED]

CONSULTING DESIGNER BY:

Georgia Lakes

1155 DUNCAN HALL RD
SUITE 117, CHANDLER
PHOENIX, AZ 85225



PROJECT INFORMATION

PROJECT NAME: [REDACTED]

PROJECT ADDRESS: [REDACTED]

PROJECT CITY: [REDACTED]

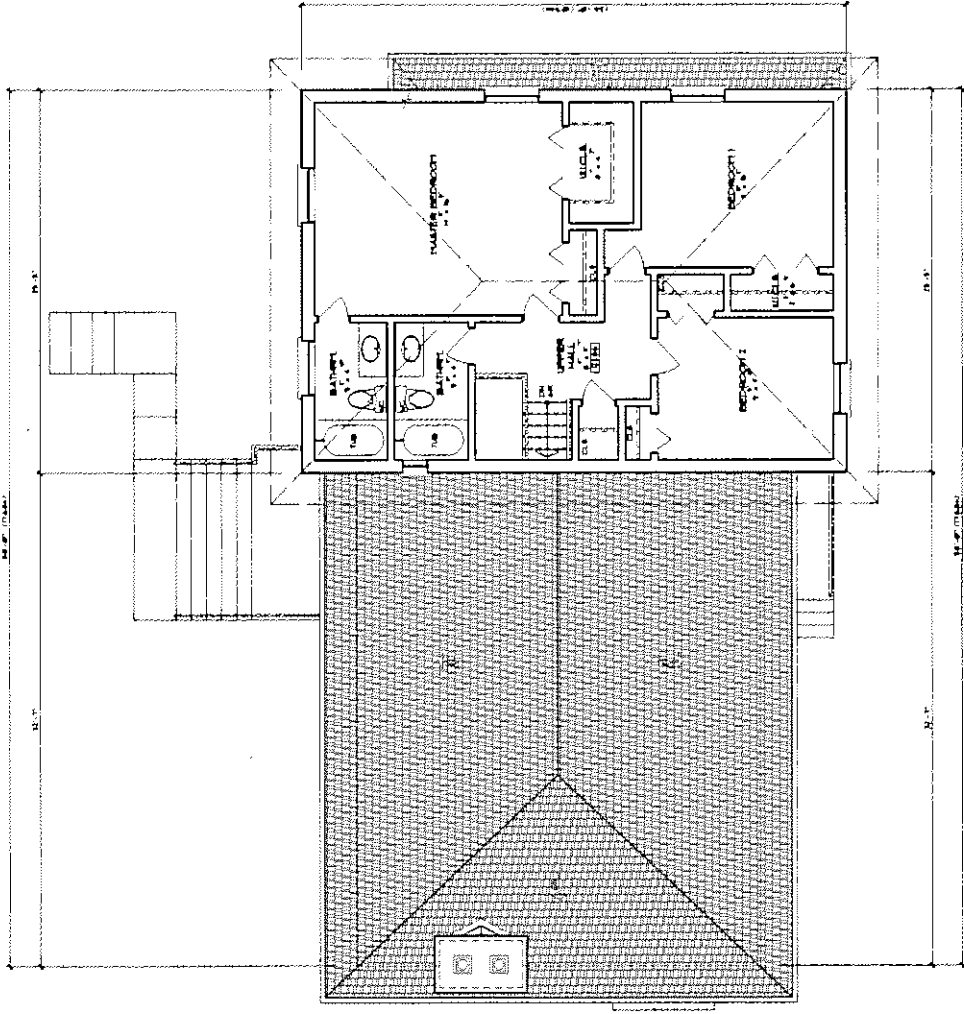
PROJECT STATE: [REDACTED]

PROJECT ZIP: [REDACTED]

EXIST. SECOND FLOOR

OWNER:	CHARTER:	SHEET:
C/O:	DATE:	NO.:
SCALE:	DATE:	NO.:
1" = 1'-0"	10/11/16	10/11/16

CITY OF [REDACTED]
 DEPT. OF [REDACTED]
 JAN 30 2017
 COMMITTEE ON [REDACTED]
 (PLANS)



SECOND FLOOR AREA	SQ. FT.	#2
EXISTING AREA	97.0	84.18

EXISTING SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

REV.	DESCRIPTION	DATE
1.	ISSUED FOR PERMIT	12/15/06
2.	ISSUED FOR PERMIT	12/15/06
3.	ISSUED FOR PERMIT	12/15/06
4.	ISSUED FOR PERMIT	12/15/06
5.	ISSUED FOR PERMIT	12/15/06
6.	ISSUED FOR PERMIT	12/15/06
7.	ISSUED FOR PERMIT	12/15/06

LEGEND
 SHADING PATTERNS
 - CONCRETE
 - BRICK
 - CLAY TILE
 - METAL ROOFING
 - ASPHALT SHINGLES
 - INSULATION
 - GUTTERING
 - DOWNSPOUTS
 - FLASHING
 - CURBS

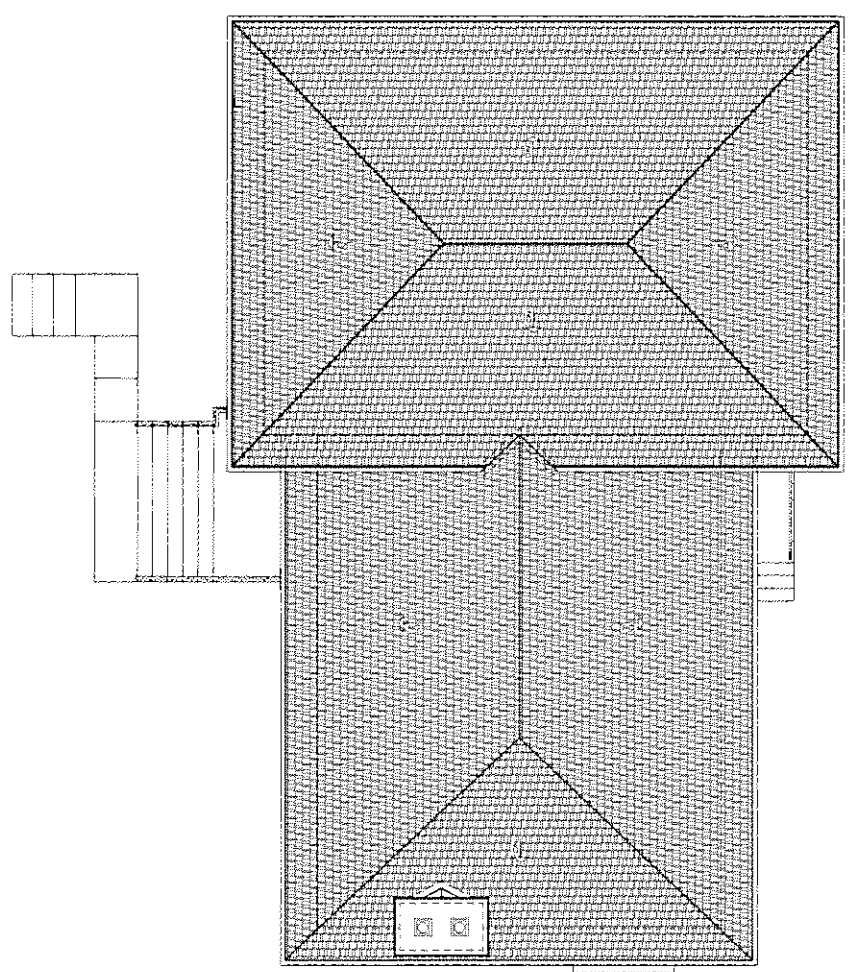
NOTES
 1. ALL WORK SHALL BE ACCORDING TO THE 1997 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AS AMENDED BY THE 2006 MICHIGAN RESIDENTIAL CODE (MRC) AND THE 2006 MICHIGAN MECHANICAL CODE (MMC).
 2. THE ROOF SHALL BE DESIGNED TO RESIST A MINIMUM WIND SPEED OF 130 MPH.
 3. THE ROOF SHALL BE DESIGNED TO RESIST A MINIMUM SNOW LOAD OF 20 PSF.
 4. THE ROOF SHALL BE DESIGNED TO RESIST A MINIMUM RAINFALL LOAD OF 1.5 PSF.
 5. THE ROOF SHALL BE DESIGNED TO RESIST A MINIMUM ICE LOAD OF 1.5 PSF.

Georgio Lakes
 CONSULTING DESIGN BY:
 1750 OAKCREEK RD.
 SUITE 201
 CANTON, ONTARIO
 M9B 2L8
 TEL: (416) 833-3389
 FAX: (416) 833-3142

PROJECT INFORMATION
 ALPHELLI / MIDURA RESIDENCE
 1155 MIDURA DRIVE
 ETOBICOKE, ONTARIO

EXIST. ROOF PLAN

12/15/06
 JAN 30 2007



EXISTING ROOF FLOOR PLAN
 SCALE: 1/4" = 1'-0"



NO.	REVISIONS	DATE
1.	ISSUED FOR COST ESTIMATE PREPARED	
2.	CONTRACT CHANGE NO. 100001001	
3.	CONTRACT CHANGE NO. 100001002	
4.	CONTRACT CHANGE NO. 100001003	
5.	CONTRACT CHANGE NO. 100001004	
6.	CONTRACT CHANGE NO. 100001005	
7.	CONTRACT CHANGE NO. 100001006	
8.	CONTRACT CHANGE NO. 100001007	
9.	CONTRACT CHANGE NO. 100001008	
10.	CONTRACT CHANGE NO. 100001009	
11.	CONTRACT CHANGE NO. 100001010	

LEGEND

_____ EXISTING
 _____ NEW
 _____ REVISION
 _____ TO BE REMOVED
 _____ TO BE ADDED
 _____ TO BE REFINISHED
 _____ TO BE REPAIRED
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 _____ TO BE MODIFIED
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 _____ TO BE SMALLER
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 _____ TO BE IMPROVED
 _____ TO BE UPGRADED
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 _____ TO BE REDESIGNED
 _____ TO BE RESTRUCTURED
 _____ TO BE REORGANIZED
 _____ TO BE REFORMED
 _____ TO BE REFINISHED
 _____ TO BE REPAIRED
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 _____ TO BE ENHANCED
 _____ TO BE IMPROVED
 _____ TO BE UPGRADED
 _____ TO BE DOWNGRADED
 _____ TO BE REDESIGNED
 _____ TO BE RESTRUCTURED
 _____ TO BE REORGANIZED
 _____ TO BE REFORMED

CONSULTING DESIGN BY:

Georgia Lakes
 Commercial Construction



110 DUNCAN MILL RD
 WOODVILLE ONTARIO
 L9M 1K9
 TEL: (416) 931-1100
 FAX: (416) 931-1101

PROJECT NO. 100001001
 ALPHELLA + PATRICK RESIDENCE
 41 WOODVALLEY DRIVE
 WOODVILLE, ONTARIO

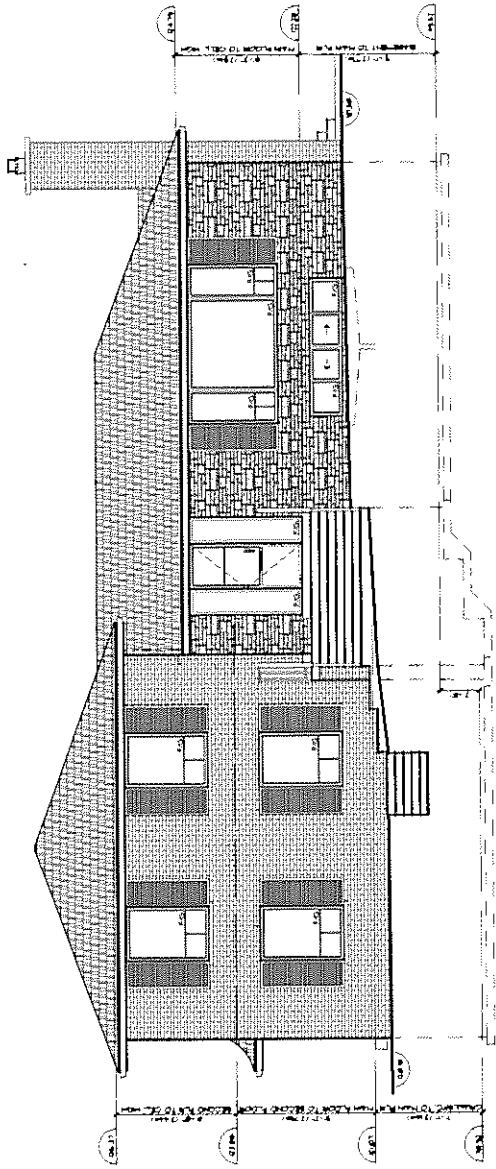
DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: JAN 30 2017

SHEET: A-1
 OF: 2
 SCALE: 1/4" = 1'-0"
 PROJECT NO. 100001001

EXIST. ELEVATIONS

NO.	REVISIONS	DATE
1.	ISSUED FOR COST ESTIMATE PREPARED	
2.	CONTRACT CHANGE NO. 100001001	
3.	CONTRACT CHANGE NO. 100001002	
4.	CONTRACT CHANGE NO. 100001003	
5.	CONTRACT CHANGE NO. 100001004	
6.	CONTRACT CHANGE NO. 100001005	
7.	CONTRACT CHANGE NO. 100001006	
8.	CONTRACT CHANGE NO. 100001007	
9.	CONTRACT CHANGE NO. 100001008	
10.	CONTRACT CHANGE NO. 100001009	
11.	CONTRACT CHANGE NO. 100001010	

41 WOODVALLEY DRIVE
 WOODVILLE ONTARIO
 L9M 1K9
 JAN 30 2017
 GEORGIA LAKES COMMERCIAL CONSTRUCTION



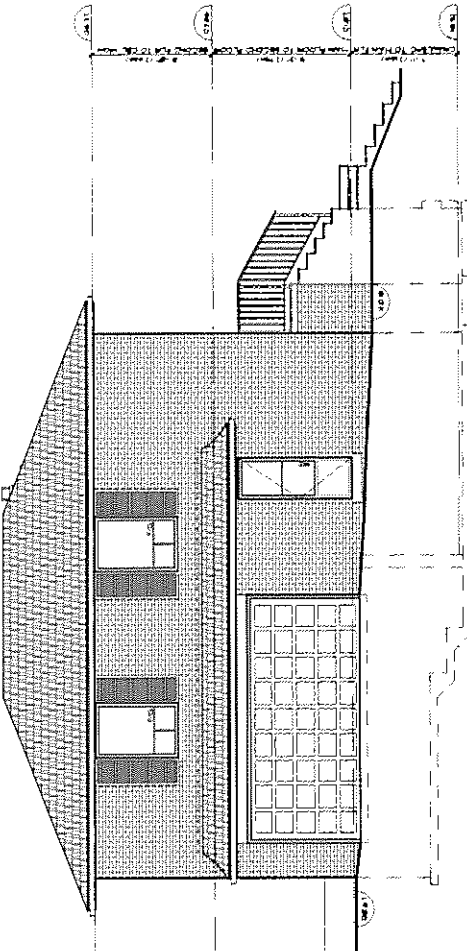
EXIST. REAR (NORTH SIDE) ELEVATION
 SCALE 1/4" = 1'-0"



1	REVISION	DATE
2	BASED ON 02/20/2017	02/20/2017
3	REVISION	DATE
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14	REVISION	DATE
15	REVISION	DATE
16	REVISION	DATE
17	REVISION	DATE
18	REVISION	DATE
19	REVISION	DATE
20	REVISION	DATE

LEGEND

- 1. EXISTING
- 2. NEW
- 3. TO BE REMOVED
- 4. TO BE RELOCATED
- 5. TO BE ENLARGED
- 6. TO BE REDUCED
- 7. TO BE REPLACED
- 8. TO BE REPAIRED
- 9. TO BE MAINTAINED
- 10. TO BE DEMOLISHED
- 11. TO BE CONSERVED
- 12. TO BE PROTECTED
- 13. TO BE RESTORED
- 14. TO BE RECONSTRUCTED
- 15. TO BE REFINISHED
- 16. TO BE REFINISHED
- 17. TO BE REFINISHED
- 18. TO BE REFINISHED
- 19. TO BE REFINISHED
- 20. TO BE REFINISHED



EXIST. LEFT (EAST SIDE) ELEVATION
SCALE 1/8" = 1'-0"

APPROVED FOR CONSTRUCTION
DATE: 03/08/2017
BY: [Signature]

COMMITTEE ON ZONING AND PLANNING
RESOLUTION NO. 2017-03-08-001

CONSULTING DESIGN BY:



228 DUNCAN HILL RD
MILLIKEN, ONTARIO
L0R 2L0
TEL: 905.433.1300
FAX: 905.433.1301

PROJECT PROVIDED FOR:
MR. & MRS. J. & M. RESIDENCE
11 GORDON ST. DR. #3
MILLIKEN, ONTARIO

EXIST. ELEVATIONS

DATE:	DATE:	DATE:	DATE:
BY:	BY:	BY:	BY:
SCALE:	SCALE:	SCALE:	SCALE:
PROJECT:	PROJECT:	PROJECT:	PROJECT:



NO.	REVISIONS	DATE
1	ISSUED FOR PERMIT	1/30/17
2	REVISED FOR CITY OF NIAGARA	1/30/17
3	REVISED FOR CITY OF NIAGARA	1/30/17
4	REVISED FOR CITY OF NIAGARA	1/30/17
5	REVISED FOR CITY OF NIAGARA	1/30/17
6	REVISED FOR CITY OF NIAGARA	1/30/17
7	REVISED FOR CITY OF NIAGARA	1/30/17
8	REVISED FOR CITY OF NIAGARA	1/30/17
9	REVISED FOR CITY OF NIAGARA	1/30/17
10	REVISED FOR CITY OF NIAGARA	1/30/17
11	REVISED FOR CITY OF NIAGARA	1/30/17
12	REVISED FOR CITY OF NIAGARA	1/30/17
13	REVISED FOR CITY OF NIAGARA	1/30/17
14	REVISED FOR CITY OF NIAGARA	1/30/17
15	REVISED FOR CITY OF NIAGARA	1/30/17
16	REVISED FOR CITY OF NIAGARA	1/30/17
17	REVISED FOR CITY OF NIAGARA	1/30/17
18	REVISED FOR CITY OF NIAGARA	1/30/17
19	REVISED FOR CITY OF NIAGARA	1/30/17
20	REVISED FOR CITY OF NIAGARA	1/30/17

LEGEND

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

4. ALL DIMENSIONS ARE TO SURFACE UNLESS OTHERWISE SPECIFIED.

5. ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE SPECIFIED.

6. ALL DIMENSIONS ARE TO CENTERLINE OF ROAD UNLESS OTHERWISE SPECIFIED.

7. ALL DIMENSIONS ARE TO CENTERLINE OF DRIVE UNLESS OTHERWISE SPECIFIED.

8. ALL DIMENSIONS ARE TO CENTERLINE OF SIDEWALK UNLESS OTHERWISE SPECIFIED.

9. ALL DIMENSIONS ARE TO CENTERLINE OF CURB UNLESS OTHERWISE SPECIFIED.

10. ALL DIMENSIONS ARE TO CENTERLINE OF UTILITY UNLESS OTHERWISE SPECIFIED.

11. ALL DIMENSIONS ARE TO CENTERLINE OF STRUCTURE UNLESS OTHERWISE SPECIFIED.

12. ALL DIMENSIONS ARE TO CENTERLINE OF WALL UNLESS OTHERWISE SPECIFIED.

13. ALL DIMENSIONS ARE TO CENTERLINE OF WINDOW UNLESS OTHERWISE SPECIFIED.

14. ALL DIMENSIONS ARE TO CENTERLINE OF DOOR UNLESS OTHERWISE SPECIFIED.

15. ALL DIMENSIONS ARE TO CENTERLINE OF PORCH UNLESS OTHERWISE SPECIFIED.

16. ALL DIMENSIONS ARE TO CENTERLINE OF BALCONY UNLESS OTHERWISE SPECIFIED.

17. ALL DIMENSIONS ARE TO CENTERLINE OF TERRACE UNLESS OTHERWISE SPECIFIED.

18. ALL DIMENSIONS ARE TO CENTERLINE OF PATIO UNLESS OTHERWISE SPECIFIED.

19. ALL DIMENSIONS ARE TO CENTERLINE OF DECK UNLESS OTHERWISE SPECIFIED.

20. ALL DIMENSIONS ARE TO CENTERLINE OF STAIR UNLESS OTHERWISE SPECIFIED.

NOTES

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

4. ALL DIMENSIONS ARE TO SURFACE UNLESS OTHERWISE SPECIFIED.

5. ALL DIMENSIONS ARE TO FINISH UNLESS OTHERWISE SPECIFIED.

6. ALL DIMENSIONS ARE TO CENTERLINE OF ROAD UNLESS OTHERWISE SPECIFIED.

7. ALL DIMENSIONS ARE TO CENTERLINE OF DRIVE UNLESS OTHERWISE SPECIFIED.

8. ALL DIMENSIONS ARE TO CENTERLINE OF SIDEWALK UNLESS OTHERWISE SPECIFIED.

9. ALL DIMENSIONS ARE TO CENTERLINE OF CURB UNLESS OTHERWISE SPECIFIED.

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12. ALL DIMENSIONS ARE TO CENTERLINE OF WALL UNLESS OTHERWISE SPECIFIED.

13. ALL DIMENSIONS ARE TO CENTERLINE OF WINDOW UNLESS OTHERWISE SPECIFIED.

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19. ALL DIMENSIONS ARE TO CENTERLINE OF DECK UNLESS OTHERWISE SPECIFIED.

20. ALL DIMENSIONS ARE TO CENTERLINE OF STAIR UNLESS OTHERWISE SPECIFIED.

CONSULTING DESIGN BY:

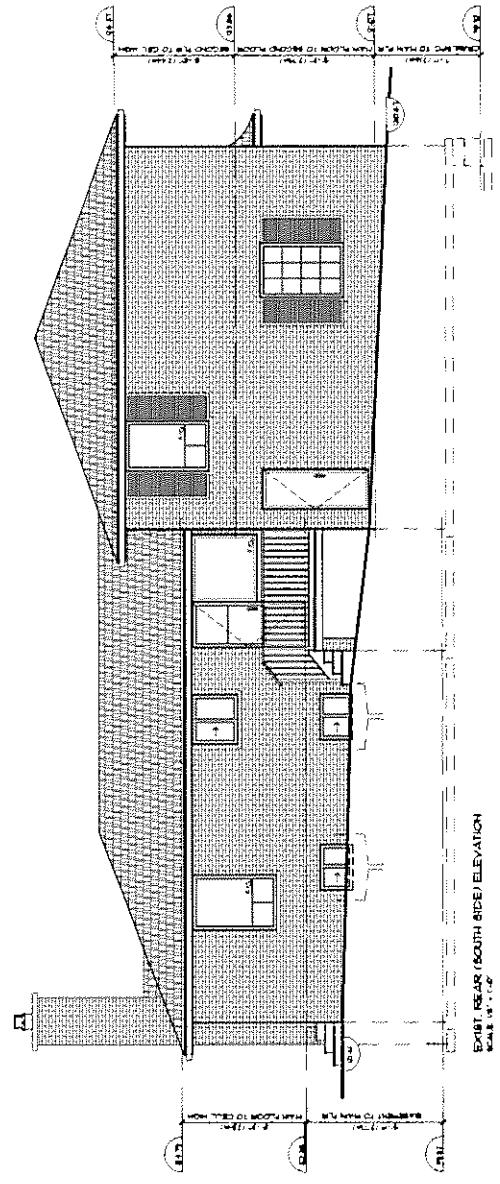
Georgio Lokos
Professional Engineer
No. 123456789

123 DUNDAS ST. W.
SUITE 111, ONTARIO
TORONTO, ONT. M5G 1R8
TEL: (416) 593-1234
FAX: (416) 593-5678

PROJECT: 123456789
CLIENT: ABC COMPANY
ADDRESS: 123456789
CITY: ONTARIO
PROVINCE: ONTARIO

EXHIBIT ELEVATIONS

NO.	DESCRIPTION	DATE	BY	CHKD.
1	EXIST. REAR (SOUTH SIDE) ELEVATION	1/30/17	GL	AT



EXIST. REAR (SOUTH SIDE) ELEVATION
SCALE: 1/8" = 1'-0"

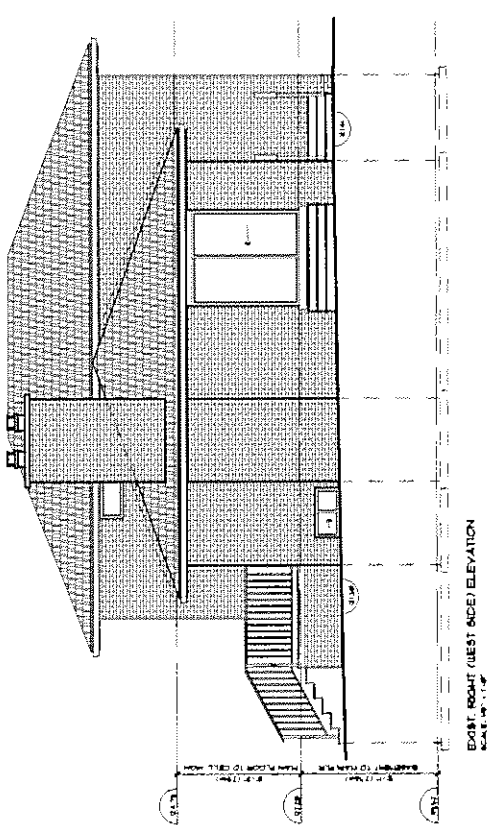
City of Niagara
Planning Department
JAN 30 2017
COMMITTEE ON
PLANNING



#	REVISION	DATE
1	ISSUED FOR CONSTRUCTION	01/23/07
2	CONTRACT CHANGES BY CLIENT	01/23/07
3	CLIENT CHANGE BY CLIENT	01/23/07
4	CLIENT CHANGE BY CLIENT	01/23/07
5	CLIENT CHANGE BY CLIENT	01/23/07
6	CLIENT CHANGE BY CLIENT	01/23/07
7	CLIENT CHANGE BY CLIENT	01/23/07
8	CLIENT CHANGE BY CLIENT	01/23/07
9	CLIENT CHANGE BY CLIENT	01/23/07
10	CLIENT CHANGE BY CLIENT	01/23/07
11	CLIENT CHANGE BY CLIENT	01/23/07
12	CLIENT CHANGE BY CLIENT	01/23/07
13	CLIENT CHANGE BY CLIENT	01/23/07
14	CLIENT CHANGE BY CLIENT	01/23/07
15	CLIENT CHANGE BY CLIENT	01/23/07

LEGEND

- Roof Type 1: Asph/Flt
- Roof Type 2: Glt/Wood
- Roof Type 3: Metal
- Roof Type 4: Membrane
- Roof Type 5: Flat
- Roof Type 6: Tile
- Roof Type 7: Concrete
- Roof Type 8: Other
- Roof Type 9: None
- Roof Type 10: Unkn
- Roof Type 11: Unkn
- Roof Type 12: Unkn
- Roof Type 13: Unkn
- Roof Type 14: Unkn
- Roof Type 15: Unkn
- Roof Type 16: Unkn
- Roof Type 17: Unkn
- Roof Type 18: Unkn
- Roof Type 19: Unkn
- Roof Type 20: Unkn
- Roof Type 21: Unkn
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- Roof Type 32: Unkn
- Roof Type 33: Unkn
- Roof Type 34: Unkn
- Roof Type 35: Unkn
- Roof Type 36: Unkn
- Roof Type 37: Unkn
- Roof Type 38: Unkn
- Roof Type 39: Unkn
- Roof Type 40: Unkn



C.1.1
JAN 23 2007
GEOLOGICAL ENGINEERING



CONSULTING DESIGN LTD.
225 PAVILLON PARK RD.
SUITE 111, ONTARIO
L2H 1L9
TEL: (905) 477-8888
FAX: (905) 477-8889

ALFONSO J. YONGA RESIDENCE
41 LINDSAY DRIVE
ETTERIDGE, ONTARIO

EXIST. ELEVATIONS		
OWNER:	DATE:	SCALE:
YONGA	01/23/07	1/4" = 1'-0"



NO.	REVISED	DATE
1.	BASED ON CLIENT REVIEW	08/20/2017
2.	CORRECTED COMMENTS BY CLIENT	08/20/2017
3.	CONTRACT SIGNATURE BY CLIENT	08/20/2017
4.	REVISIONS FOR 2017	08/20/2017
5.	ISSUED FOR PERMIT	08/20/2017

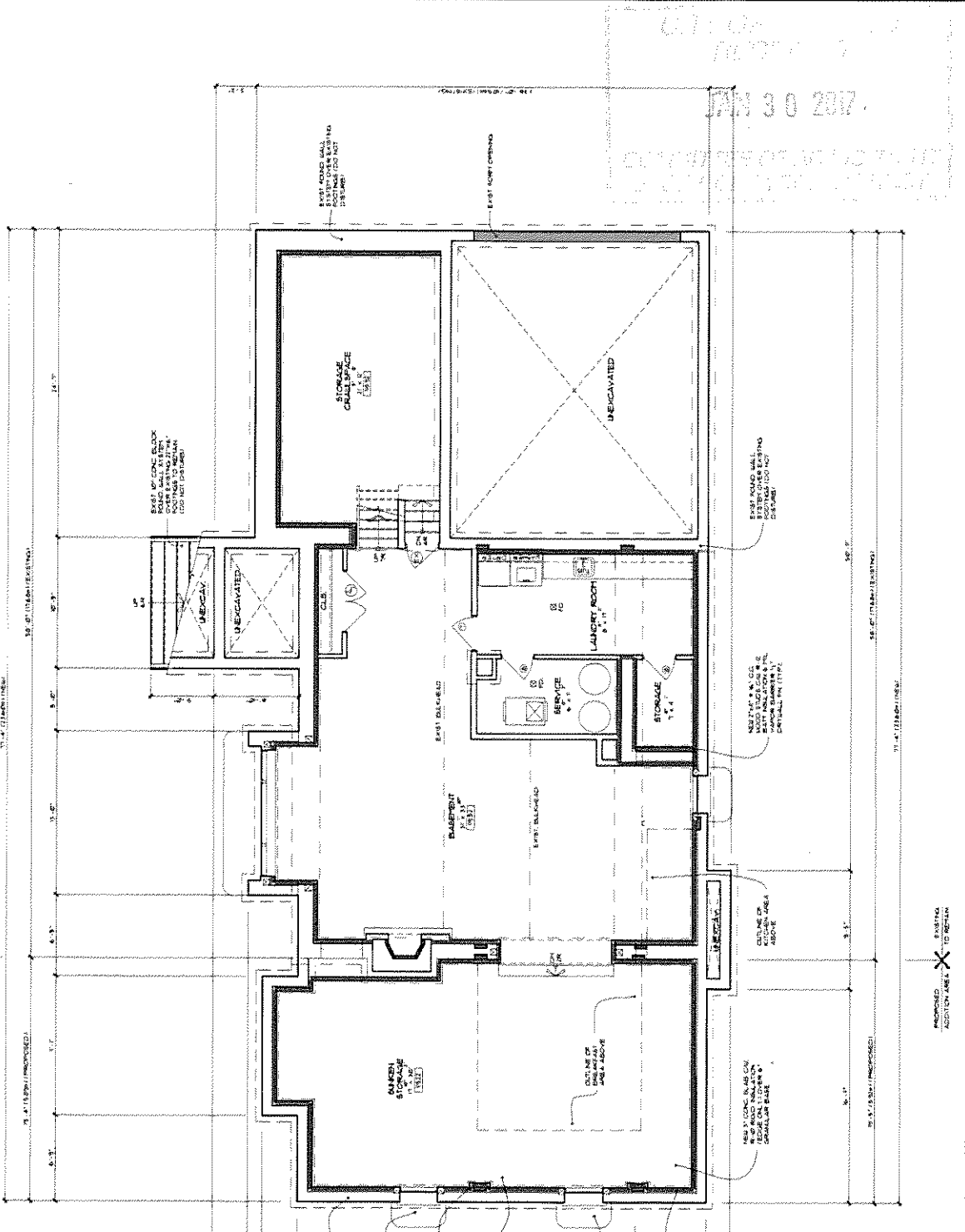
LEGEND

- EXIST. WALL TO BE REMOVED
- NEW WALL TO BE CONCRETE
- EXIST. DOOR, WINDOW OR FLOOR FINISH TO REMAIN
- NEW DOOR, WINDOW OR FLOOR FINISH TO BE INSTALLED
- NEW WINDOW/DOOR FRAME, SILL, CASING & TRIM TO BE INSTALLED
- NEW ELECTRICAL, MECHANICAL & PLUMBING TO BE INSTALLED
- PROPOSED BY A.I.C.
- PROPOSED BY J.C.M.
- PROPOSED BY T.O.M.
- PROPOSED BY J.P.
- PROPOSED BY A.I.C.
- PROPOSED BY J.C.M.
- PROPOSED BY T.O.M.
- PROPOSED BY J.P.
- FLOOR FINISH LEVELS
- NOTED ABOVE LEVELS
- NOTED BELOW LEVELS

CONSULTING DESIGN B.Y.
Giorgio Lolos
 CONSULTING DESIGN B.Y.
 710 DUNDAS STREET WEST
 TORONTO, ONTARIO
 M5G 1L5
 TEL: (416) 598-4928
 FAX: (416) 598-4929
 WWW.GIORGIOLOLOS.COM

PROJECT INFORMATION
 ALPANELLI & MISURA RESIDENCE
 41 HODGSON DRIVE
 MISSISSAUGA, ONTARIO
 L4X 1N8

OWNER BY:	DATE:
J.C.M.	A.I.S.
JAN 2017	APR 2017



PROPOSED SECTION AREA X TO N/EAST
 PROPOSED SECTION AREA X TO S/WEST
 PROP. BASEMENT FLOOR PLAN
 SCALE: 1/4\"/>



NO.	REVISION	DATE
1	ISSUED FOR PERMIT	12/15/10
2	REVISED FOR COMMENTS	12/15/10
3	REVISED FOR COMMENTS	12/15/10
4	REVISED FOR COMMENTS	12/15/10
5	REVISED FOR COMMENTS	12/15/10
6	REVISED FOR COMMENTS	12/15/10
7	REVISED FOR COMMENTS	12/15/10
8	REVISED FOR COMMENTS	12/15/10
9	REVISED FOR COMMENTS	12/15/10
10	REVISED FOR COMMENTS	12/15/10

LEGEND

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

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NOTES

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9. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

10. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE SPECIFIED.

PROFESSIONAL SEAL

DATE: 12/15/10

PROJECT: 1000000000

SCALE: AS SHOWN

DATE: 12/15/10

PROJECT: 1000000000

SCALE: AS SHOWN

CONSULTING DESIGN BY:

Georgio Lolos

210 DUNCAN HILL RD
SUITE 111, CHICAGO, IL 60618
TEL: 773.444.4444
FAX: 773.444.4444

CLIENT:

ALPNELLI, NIGELA RESIDENCE
1100 W. FULLERTON DRIVE
EAST AURORA, ILLINOIS 60127

PROJECT:

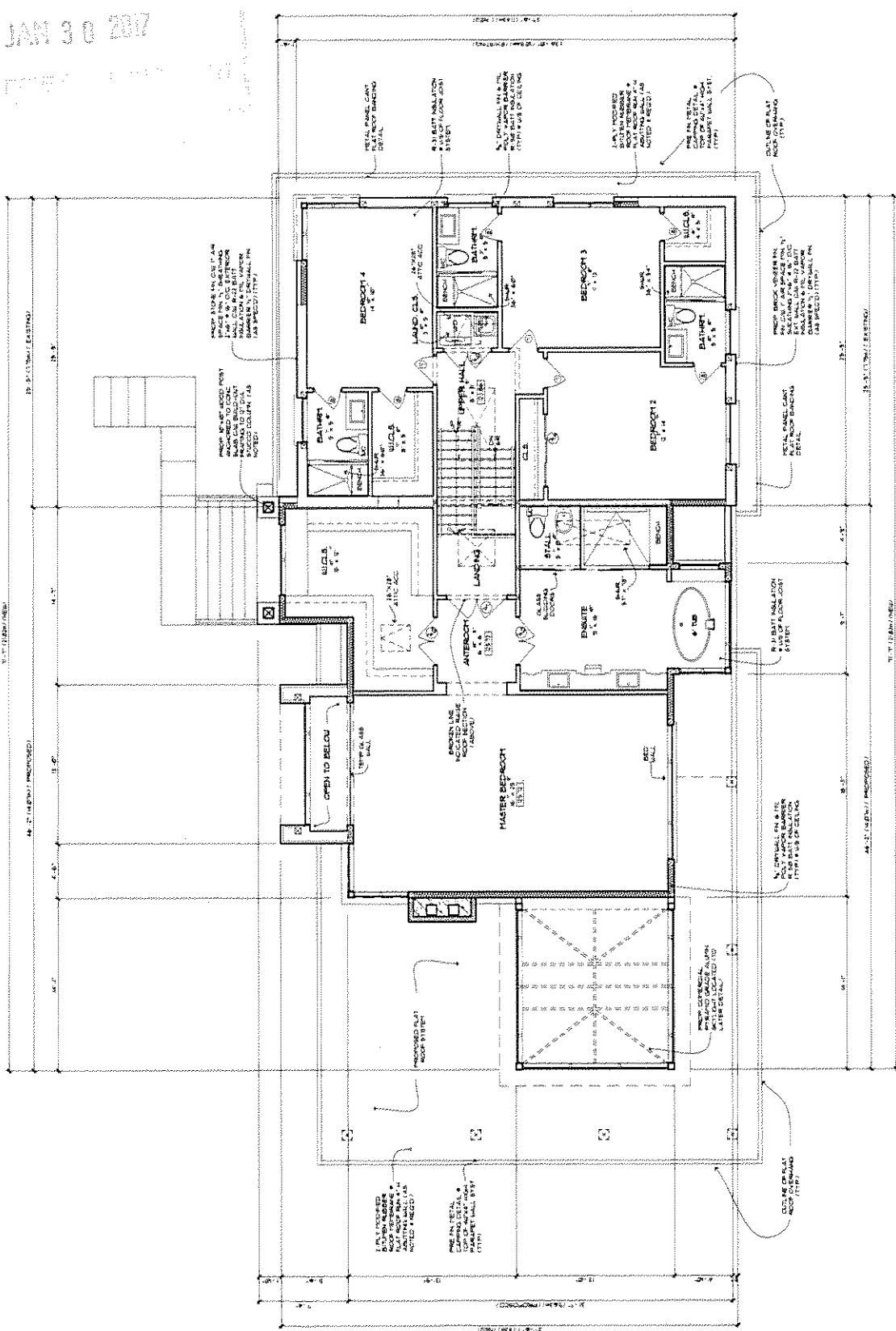
SECOND FLOOR PLAN

DATE: 12/15/10

SCALE: AS SHOWN

NO.	SQ. FT.
EXISTING AREA	8478
PROPOSED AREA	35054
TOTAL AREA	136266

JAN 30 2017



PROF. SECOND FLOOR PLAN
SCALE: AS SHOWN

EXISTING TO REMAIN

PROPOSED ADDITION AREA

SECOND FLOOR AREA

NO.	SQ. FT.
EXISTING AREA	8478
PROPOSED AREA	35054
TOTAL AREA	136266



NO.	REVISIONS	DATE
1	ISSUED FOR CONSTRUCTION	10/23/2014
2	CONTRACT AMENDMENT BY G.S. FOR 12/15/2014	
3	CONTRACT AMENDMENT BY G.S. FOR 01/08/2015	
4	REVISIONS FOR 02/02/2015	
5	REVISIONS FOR 02/02/2015	
6	REVISIONS FOR 02/02/2015	
7	REVISIONS FOR 02/02/2015	

LEGEND

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. ALL FINISHES ARE TO BE AS NOTED ON THE DRAWING.

3. ALL MATERIALS AND METHODS TO BE AS NOTED ON THE DRAWING.

4. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE AND ALL APPLICABLE BY-LAWS AND ORDINANCES.

5. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ELECTRICAL CODE AND ALL APPLICABLE BY-LAWS AND ORDINANCES.

6. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN NATIONAL PLUMBING AND MECHANICAL CODES AND ALL APPLICABLE BY-LAWS AND ORDINANCES.

7. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN NATIONAL FIRE CODE AND ALL APPLICABLE BY-LAWS AND ORDINANCES.

8. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN NATIONAL SAFETY CODE AND ALL APPLICABLE BY-LAWS AND ORDINANCES.

9. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN NATIONAL HEALTH AND SAFETY CODE AND ALL APPLICABLE BY-LAWS AND ORDINANCES.

10. ALL WORK TO BE IN ACCORDANCE WITH THE CANADIAN NATIONAL ENVIRONMENTAL AND CLIMATE CHANGE ACT AND ALL APPLICABLE BY-LAWS AND ORDINANCES.

Georgio Lukac
Professional Engineer
Ontario, Canada

128 DUNDAS STREET WEST
SUITE 100
TORONTO, ONTARIO
M5G 1C8
TEL: (416) 593-1500
FAX: (416) 593-1501

ALPHELI & HENARA RESIDENCE
11 MCCOWALLEY DRIVE
STONINGHAM, ONTARIO

ROOF PLAN

DATE: 10/23/2014
SCALE: 1/8" = 1'-0"
SHEET: 1 OF 1

CONSULTING DESIGN (BY)

Georgio Lukac
Professional Engineer
Ontario, Canada

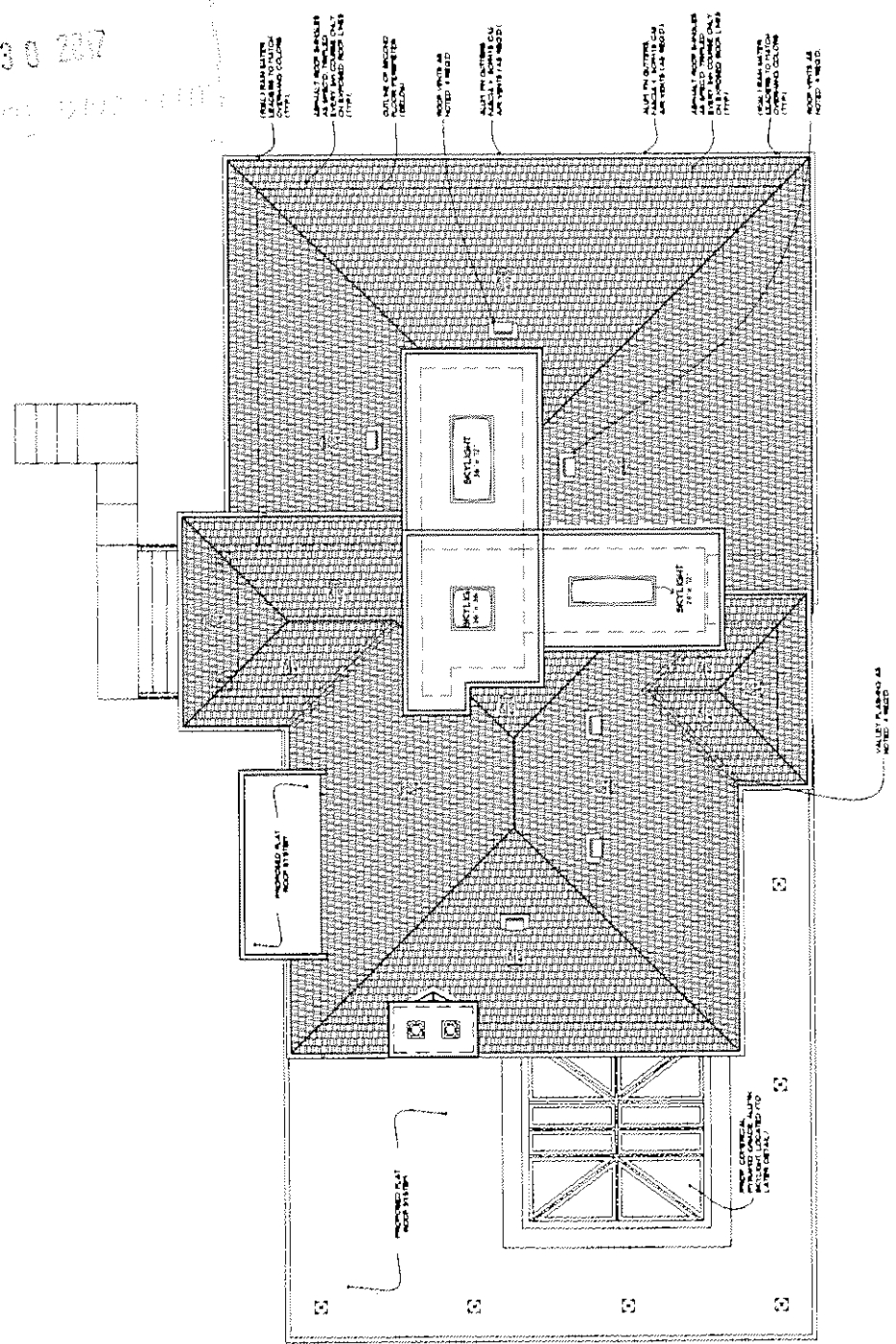
128 DUNDAS STREET WEST
SUITE 100
TORONTO, ONTARIO
M5G 1C8
TEL: (416) 593-1500
FAX: (416) 593-1501

ALPHELI & HENARA RESIDENCE
11 MCCOWALLEY DRIVE
STONINGHAM, ONTARIO

ROOF PLAN

DATE: 10/23/2014
SCALE: 1/8" = 1'-0"
SHEET: 1 OF 1

JAN 30 2015



FINISH ROOF FLOOR PLAN
SCALE 1/8" = 1'-0"



NO.	REVISIONS	DATE
1	ISSUED FOR PERMITS	12/15/10
2	ISSUED FOR PERMITS	12/15/10
3	ISSUED FOR PERMITS	12/15/10
4	ISSUED FOR PERMITS	12/15/10
5	ISSUED FOR PERMITS	12/15/10
6	ISSUED FOR PERMITS	12/15/10
7	ISSUED FOR PERMITS	12/15/10
8	ISSUED FOR PERMITS	12/15/10
9	ISSUED FOR PERMITS	12/15/10
10	ISSUED FOR PERMITS	12/15/10

LEGEND

———— FINISH LINE

———— EXISTING CONSTRUCTION

———— PROPOSED CONSTRUCTION

———— EXISTING GRADE

———— PROPOSED GRADE

———— EXISTING ROOF

———— PROPOSED ROOF

———— EXISTING WALL

———— PROPOSED WALL

———— EXISTING FLOOR

———— PROPOSED FLOOR

———— EXISTING CEILING

———— PROPOSED CEILING

———— EXISTING DOOR

———— PROPOSED DOOR

———— EXISTING WINDOW

———— PROPOSED WINDOW

———— EXISTING STAIR

———— PROPOSED STAIR

———— EXISTING ELEVATOR

———— PROPOSED ELEVATOR

———— EXISTING MECHANICAL

———— PROPOSED MECHANICAL

———— EXISTING ELECTRICAL

———— PROPOSED ELECTRICAL

———— EXISTING PLUMBING

———— PROPOSED PLUMBING

CLIENT: ALPHELI & PIRAJARA RESIDENCE

PROJECT: 1000 S. 1000 E. ST. PASCAGO, INDIANA

DATE: 12/15/10

SCALE: 1/8" = 1'-0"

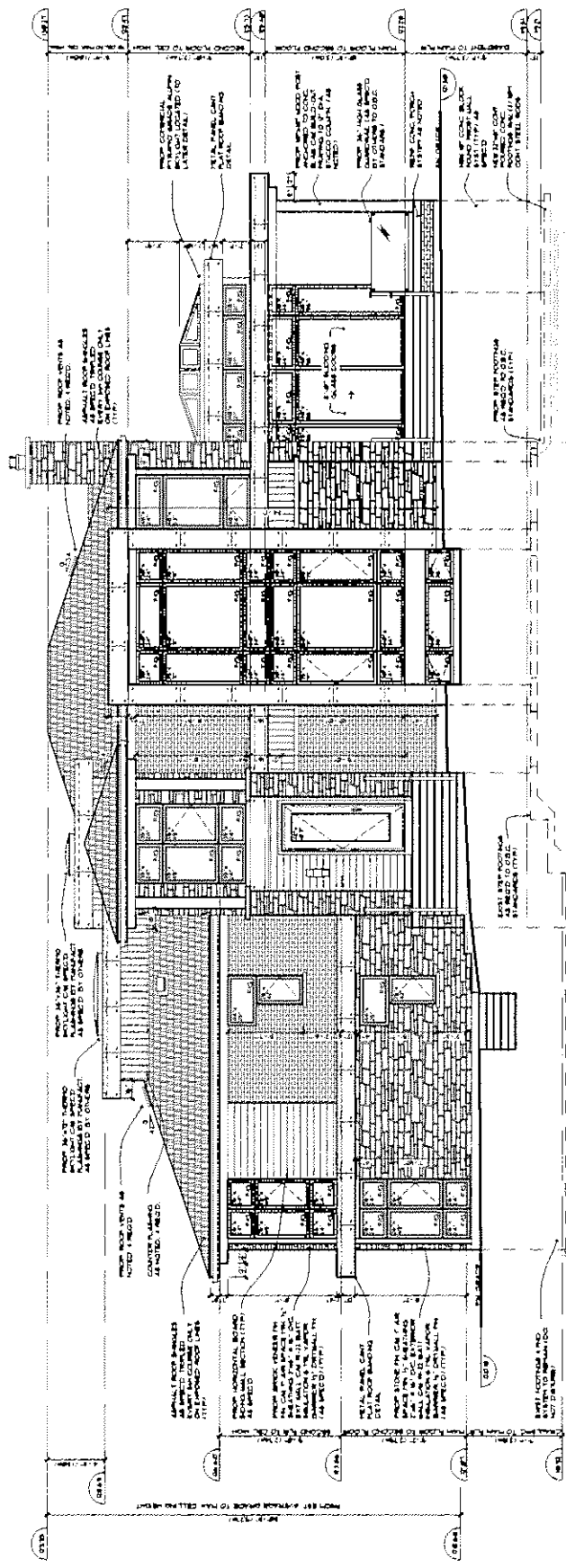
PROJECT NO.: 1000

DESIGNER: GEORGIO LAKS

CONSULTING DESIGN BY: GEORGIO LAKS ARCHITECTS, INC.

PROPOSED ELEVATIONS

NO.	DATE	SCALE
1	12/15/10	1/8" = 1'-0"
2	12/15/10	1/8" = 1'-0"
3	12/15/10	1/8" = 1'-0"
4	12/15/10	1/8" = 1'-0"
5	12/15/10	1/8" = 1'-0"
6	12/15/10	1/8" = 1'-0"
7	12/15/10	1/8" = 1'-0"
8	12/15/10	1/8" = 1'-0"
9	12/15/10	1/8" = 1'-0"
10	12/15/10	1/8" = 1'-0"



PROPOSED NORTH SIDED ELEVATION

1/8" = 1'-0"

JAN 30 2011



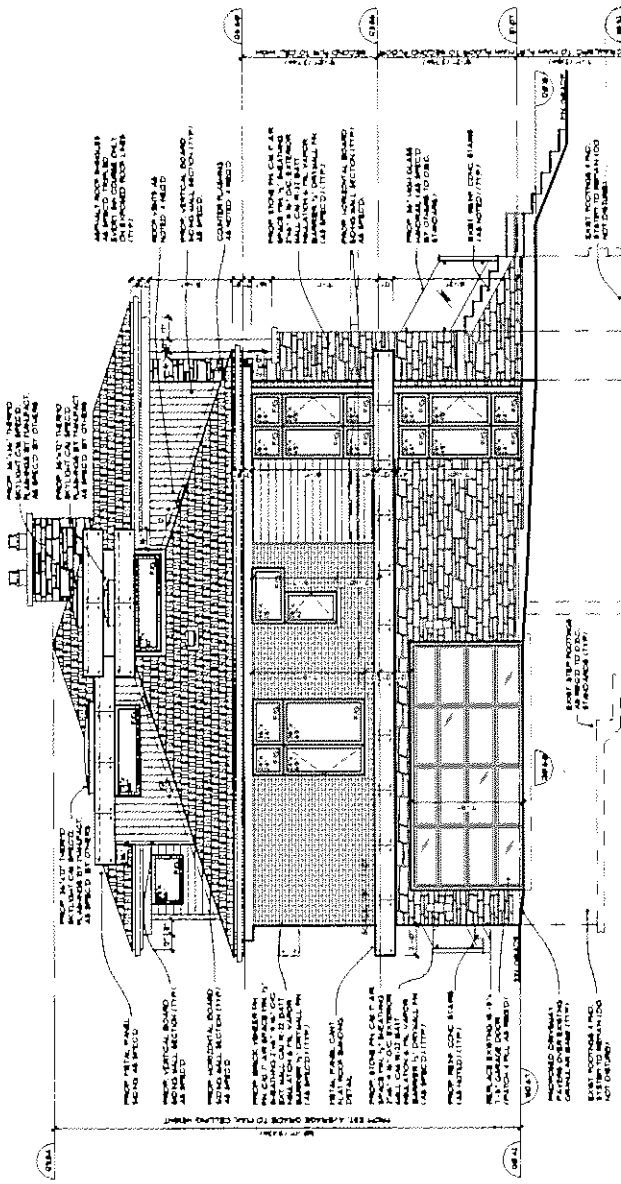
NO.	REV.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS		
2	REVISIONS TO PERMITS		
3	REVISIONS TO PERMITS		
4	REVISIONS TO PERMITS		
5	REVISIONS TO PERMITS		
6	REVISIONS TO PERMITS		
7	REVISIONS TO PERMITS		
8	REVISIONS TO PERMITS		
9	REVISIONS TO PERMITS		
10	REVISIONS TO PERMITS		

LEADS
BY: [Name]
DATE: [Date]

NOTES
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

CONSULTING DESIGN BY:
Georgio Loias
Architect
1000 [Address]
[City, State, Zip]
[Phone Number]
[Fax Number]

PROPOSED ELEVATIONS	
NO.	DATE
1	10/10/10
2	11/10/10
3	12/10/10
4	01/11/11
5	02/11/11
6	03/11/11
7	04/11/11
8	05/11/11
9	06/11/11
10	07/11/11



10/10/10



NO.	REVISION
1.	ISSUED FOR PERMIT
2.	ISSUED FOR PERMIT
3.	ISSUED FOR PERMIT
4.	ISSUED FOR PERMIT
5.	ISSUED FOR PERMIT
6.	ISSUED FOR PERMIT
7.	ISSUED FOR PERMIT
8.	ISSUED FOR PERMIT
9.	ISSUED FOR PERMIT
10.	ISSUED FOR PERMIT

LEGEND

1. EXISTING CONCRETE FOUNDATION
2. EXISTING CONCRETE FOUNDATION
3. EXISTING CONCRETE FOUNDATION
4. EXISTING CONCRETE FOUNDATION
5. EXISTING CONCRETE FOUNDATION
6. EXISTING CONCRETE FOUNDATION
7. EXISTING CONCRETE FOUNDATION
8. EXISTING CONCRETE FOUNDATION
9. EXISTING CONCRETE FOUNDATION
10. EXISTING CONCRETE FOUNDATION

PROPOSED ELEVATIONS

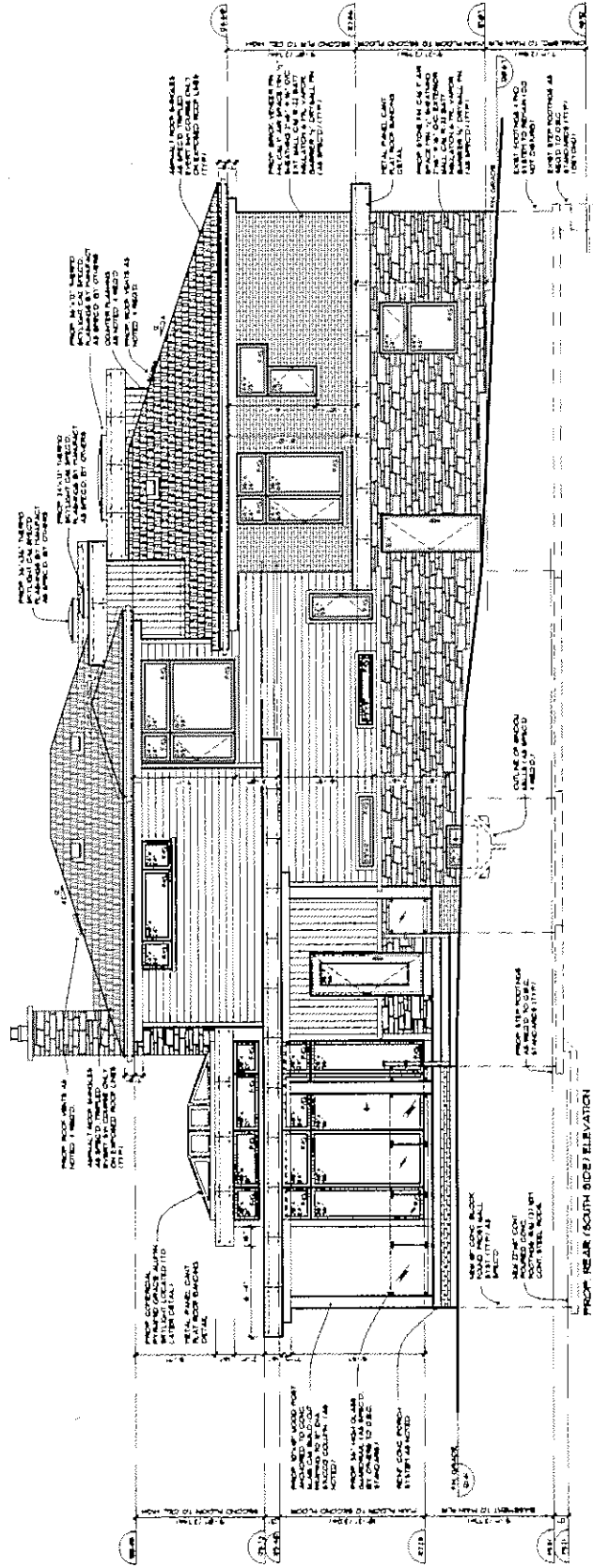
DATE: 10/10/10
SCALE: 1/8" = 1'-0"
SHEET: A-10

CONSULTING DESIGN BY:

Georgio Loko
Architectural Firm

100 DUNCAN MILL RD
SUITE 207, ONTARIO
ONTARIO, CANADA
TEL: (905) 881-1111
FAX: (905) 881-1112

PROJECT: 100 DUNCAN MILL RD
100 DUNCAN MILL RD
100 DUNCAN MILL RD
100 DUNCAN MILL RD
100 DUNCAN MILL RD



PROP. REAR (SOUTH SIDE) ELEVATION
SCALE 1/8" = 1'-0"

JAN 30 2017

Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0074/17EYK	Zoning	E & IC2
Owner(s):	GFL ENVIRONMENTAL INC GFL ENVIROMENTAL EAST CORPORATION	Ward:	Etobicoke North (02)
Agent:	NICOSIA CONTRACTING INTERNATIONAL ULC	Heritage:	Not Applicable
Property Address:	5 BRYDON DR	Community:	
Legal Description:	PLAN 4372 LOT 6		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To install electrical equipment on a concrete pad along the north-west corner of the property.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 60.20.40.70.(2), By-law 569-2013 and Section 304-36.D.(3)

The minimum required side yard setback is 3 m.

The proposed electrical equipment (switch gear/motor control panel enclosure) will be located 1.41 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0074/17EYK	Zoning	E & IC2
Owner:	GFL ENVIRONMENTAL INC GFL ENVIROMENTAL EAST CORPORATION	Ward:	Etobicoke North (02)
Agent:	NICOSIA CONTRACTING INTERNATIONAL ULC	Heritage:	Not Applicable
Property Address:	5 BRYDON DR	Community:	
Legal Description:	PLAN 4372 LOT 6		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

To appeal this decision to the Ontario Municipal Board, send a completed OMB Appellant Form (A1) to the Manager & Deputy Secretary-Treasurer, Committee of Adjustment. You must pay a filing fee of \$300.00, by certified cheque or money order, in Canadian funds, payable to the Minister of Finance. An additional reduced fee of \$25.00 is required for each connected appeal filed by the same appellant. To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0092/17EYK	Zoning	CR & CPL
Owner(s):	GARGAN INVESTMENT LTD	Ward:	Etobicoke-Lakeshore (06)
Agent:	MCROBIE ARCHITECTS AND INTERIOR DESIGNERS	Heritage:	Not Applicable
Property Address:	603 EVANS AVE	Community:	
Legal Description:	& 805-863 BROWN'S LINE CON 2 PT LOT 10 PLAN 5177 PT BLKS A B PLAN 4520 LOTS 1-6 100% SEPARATE		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new enclosed loading dock with a ramp and garbage compactor pad along the east side of the building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 40.10.40.70.(3)(A)(i), By-law 569-2013 and Section 320-100D.

The minimum required rear yard setback is 7.5 m.

The proposed loading dock will be located 6 m from the rear yard lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The site plan must include the following notations:
 - a. "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
 - b. "The applicant must submit a Municipal Road Damage Deposit (MRDD) to the Right-of-Way Management section of Transportation Services." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
 - c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services".

SIGNATURE PAGE

File Number:	A0092/17EYK	Zoning	CR & CPL
Owner:	GARGAN INVESTMENT LTD	Ward:	Etobicoke-Lakeshore (06)
Agent:	MCROBIE ARCHITECTS AND INTERIOR DESIGNERS	Heritage:	Not Applicable
Property Address:	603 EVANS AVE	Community:	
Legal Description:	& 805-863 BROWN'S LINE CON 2 PT LOT 10 PLAN 5177 PT BLKS A B PLAN 4520 LOTS 1-6 100% SEPARATE		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0091/16EYK	Zoning	RD & R2
Owner(s):	KENNETH RAMSAY	Ward:	Etobicoke-Lakeshore (05)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	30 THORNDALE AVE	Community:	
Legal Description:	PLAN M334 LOT 23		

Notice was given and the application considered on Thursday, March 9, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 1

Address to be assigned

The lot frontage is 7.62 m and the lot area is 432.43 m². The existing dwelling will be demolished and the property will be developed as the site of a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0995/16EYK.

Conveyed - Part 2

Address to be assigned

The lot frontage is 7.62 m and the lot area is 428.21 m². The existing dwelling will be demolished and the property will be developed as the site of a new detached dwelling with an attached garage, requiring variances to the Zoning By-law, as outlined in Application A0996/16EYK.

File Numbers B0091/16EYK, A0995/16EYK and A0996/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division is premature.
- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number:	B0091/16EYK	Zoning	RD & R2
Owner(s):	KENNETH RAMSAY	Ward:	Etobicoke-Lakeshore (05)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	30 THORNDALE AVE	Community:	
Legal Description:	PLAN M334 LOT 23		

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Thursday, April 6, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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NOTE: Only individuals, corporations and public agencies may appeal a decision to the Ontario Municipal Board. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0995/16EYK	Zoning	RD & R2
Owner(s):	KENNETH RAMSAY	Ward:	Etobicoke-Lakeshore (05)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	30 THORNDALE AVE – PART 1	Community:	
Legal Description:	PLAN M334 LOT 23		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 and 320-59.A(1)**
The minimum required lot frontage is 13.5 m.
The lot will have a frontage of 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013 and Section 320-59.B(1)**
The minimum required lot area is 510 m².
The lot will have an area of 432.23 m².
- Section 900.3.10.(35).(A), By-law 569-2013**
The maximum permitted floor space index is 0.5 times the area of the lot (216.11 m²).
The new dwelling will have a floor space index equal to 0.59 times the area of the lot (256.71 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The new dwelling will be located 0.91 m from the east side lot line and 0.46 m from the west side lot line.
Section 320-42.1.C(1)
The minimum required side yard setback is 0.9 m and the aggregate width of both side yards shall not equal less than 2.1 m.
The new dwelling will be located 0.46 m from the west side lot line and will have an aggregate side yard width of 1.37 m.

5. **Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 320-41.D
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D
The eaves of the new dwelling will be located 0.14 m from the west side lot line.
6. **Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.B(1)**
The maximum permitted building height is 9.5 m.
The new dwelling will have a height of 10 m.
7. **Section 320-42.1.B(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 8.35 m.
8. **Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The new dwelling will have a front exterior main wall height of 8.35 m.
9. **Section 10.20.40.10.(6)(6), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The first floor above established grade of the new dwelling will be 2.7 m in height.
10. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new dwelling will be 18.29 m in length.
11. **Section 320-42.1(D)(1)**
The maximum permitted dwelling depth is 16.5 m.
The new dwelling will be 18.75 m in depth.

File Numbers B0091/16EYK, A0995/16EYK and A0996/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0995/16EYK	Zoning	RD & R2
Owner:	KENNETH RAMSAY	Ward:	Etobicoke-Lakeshore (05)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	30 THORNDALE AVE – PART 1	Community:	
Legal Description:	PLAN M334 LOT 23		

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0996/16EYK	Zoning	RD & R2
Owner(s):	KENNETH RAMSAY	Ward:	Etobicoke-Lakeshore (05)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	30 THORNDALE AVE – PART 2	Community:	
Legal Description:	PLAN M334 LOT 23		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an integral garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.30.20.(1)(A), By-law 569-2013 and 320-59.A(1)**
The minimum required lot frontage is 13.5 m.
The lot will have a frontage of 7.62 m.
- Section 10.20.30.10.(1)(A), By-law 569-2013 and Section 320-59.B(1)**
The minimum required lot area is 510 m².
The lot will have an area of 428.14 m².
- Section 900.3.10.(35).(A), By-law 569-2013**
The maximum permitted floor space index is 0.5 times the area of the lot (214.07 m²).
The new dwelling will have a floor space index equal to 0.6 times the area of the lot (256.71 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
The new dwelling will be located 0.91 m from the west side lot line and 0.46 m from the east side lot line.
Section 320-42.1.C(1)
The minimum required side yard setback is 0.9 m and the aggregate width of both side yards shall not equal less than 2.1 m.
The new dwelling will be located 0.46 m from the east side lot line and will have an aggregate side yard width of 1.37 m.

5. **Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 320-41.D
The minimum required side yard setback for eaves is 0.4 m.
Section 10.5.40.60.(7)(B), By-law 569-2013 and Section 320-41.D
The eaves of the new dwelling will be located 0.14 m from the east side lot line.
6. **Section 10.20.40.10.(1)(A), By-law 569-2013 and Section 320-42.1.B(1)**
The maximum permitted building height is 9.5 m.
The new dwelling will have a height of 10 m.
7. **Section 320-42.1.B(2)**
The maximum permitted soffit height is 6.5 m.
The new dwelling will have a soffit height of 8.35 m.
8. **Section 10.20.40.10.(2)(A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The new dwelling will have a front exterior main wall height of 8.35 m.
9. **Section 10.20.40.10.(6)(6), By-law 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The first floor above established grade of the new dwelling will be 2.7 m in height.
10. **Section 10.20.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The new dwelling will be 18.29 m in length.
11. **Section 320-42.1(D)(1)**
The maximum permitted dwelling depth is 16.5 m.
The new dwelling will be 18.75 m in depth.

File Numbers B0091/16EYK, A0995/16EYK and A0996/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0996/16EYK	Zoning	RD & R2
Owner:	KENNETH RAMSAY	Ward:	Etobicoke-Lakeshore (05)
Agent:	ACTION PLANNING CONSULTANTS	Heritage:	Not Applicable
Property Address:	30 THORNDALE AVE – PART 2	Community:	
Legal Description:	PLAN M334 LOT 23		

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0831/16EYK	Zoning:	RD & RS
Owner(s):	EVA CALLARI JORGE CALLARI	Ward:	Etobicoke-Lakeshore (06)
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	81 TWENTY SIXTH ST	Community:	
Legal Description:	PLAN 1571 PT LOT 69		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, a partial second storey addition over the existing dwelling and a rear yard deck with a basement walk-out.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 10.20.40.40.(1)(A), By-law 569-2013 & Section 330-23.A.(9)**
The maximum permitted floor space index is 0.35 times the lot area (91.85 m²).
Section 10.20.40.40.(1)(A), By-law 569-2013
The altered dwelling will have a floor space index of 1.09 times the lot area (286.83 m²).
Section 330-23.A.(9)
The altered dwelling will have a floor space index of 1.03 times the lot area (271.45 m²).
- Section 10.20.40.70.(3)(C), By-law 569-2013**
The minimum required side yard setback is 1.2 m.
Section 330-23.A.(7)
The minimum required side yard setback is 0.9 m.
Section 10.20.40.70.(3)(C), By-law 569-2013 & Section 330-23.A.(7)
The altered dwelling will be located 0.55 m from the north side lot line and 0.62 m from the south side lot line.
- Section 10.20.40.70.(6)(A) & (B), By-law 569-2013**
The minimum required side yard setback abutting a street is 3 m.
The altered dwelling will be located 0.62 m from the south side lot line abutting a street (Laburnham Avenue).

4. **Section 10.5.40.60.(7), By-law 569-2013**
The minimum required side yard setback for eaves is 0.3 m.
Section 330-13.A.(2)
The minimum required side yard setback for eaves is 0.5 m.
Section 10.5.40.60.(7), By-law 569-2013 & Section 330-13.A.(2)
The eaves of the altered dwelling will be located 0.15 m from the north side lot line and 0.2 m from the south side lot line.
5. **Section 10.20.40.30.(1), By-law 569-2013**
The maximum permitted building depth is 19 m.
The altered dwelling will have a depth of 19.38 m.
6. **Section 10.20.40.10.(2)((A)(i), By-law 569-2013**
The maximum permitted height of all front exterior main walls is 7 m.
The front exterior main wall of the altered dwelling will have a height of 8.18 m.
7. **Section 10.20.40.50.(1)(B), By-law 569-2013**
The maximum area of a platform at or above the second storey is 4 m²
The proposed rear platform at or above the second storey is 7.7 m².
8. **Section 10.5.80.40.(3)(B), By-law 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street.
Vehicle access to the proposed parking space will be from the front street (Twenty Sixth Street).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit an application for permit to injure or remove City trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article II.

2. The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

2.1. The site plan must include the following notations:

- a. "All existing redundant curb cuts that are no longer required will be restored to the satisfaction of the City of Toronto at no cost to the municipality";
- b. "The applicant must submit a Municipal Road Damage Deposit (MRDD)." The applicant must contact Ms. Joanne Vecchiarelli of the Right-of-Way Management Section at 416-338-1045 in order to obtain all requirements related to the MRDD; and
- c. "The applicant must obtain all required permits from the Right-of-Way Management Section of Transportation Services";

SIGNATURE PAGE

File Number:	A0831/16EYK	Zoning	RD & RS
Owner:	EVA CALLARI	Ward:	Etobicoke-Lakeshore (06)
	JORGE CALLARI		
Agent:	LINA RODRIGUEZ	Heritage:	Not Applicable
Property Address:	81 TWENTY SIXTH ST	Community:	
Legal Description:	PLAN 1571 PT LOT 69		

Allan Smithies (signed)

Dominic Gulli (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0836/16EYK	Zoning	I.C1
Owner(s):	HER MAJESTY THE QUEEN IN RIGHT OF ONTARIO AS REPRESENTED BY THE MINISTER OF INFRASTRUCTURE, CO INFRASTRUCTURE ONTARIO	Ward:	Etobicoke North (02)
Agent:	JOHN CORBETT	Heritage:	Not Applicable
Property Address:	UTILITY CORRIDOR – NORTH OF REXDALE BLVD, EAST OF HIGHWAY 27	Community:	
Legal Description:	CON 2 FTH PT LOT 30 RP 66R18251 PARTS 7 TO 9 AND 11 RP 66R21096 PART 2		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To use a portion of the Hydro Corridor for vehicular parking and outside storage in association with the property at 137 Queens Plate Drive.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Section 320-126.G.

Parking and outside storage are permitted accessory uses in conjunction with a use permitted on abutting lands. The proposed parking and outside storage will be utilized in conjunction with 137 Queens Plate Drive and will be utilized as a primary use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The following conditions shall be fulfilled to the satisfaction of Traffic Planning / Right of Way Management:

1. The application shall obtain a valid lease agreement for use of the subject Hydro One lands for the purposes of vehicular parking and outside storage; and
2. The minor variance shall expire upon expiry of the aforementioned lease agreement with Hydro One.

SIGNATURE PAGE

File Number:	A0836/16EYK	Zoning	I.C1
Owner:	HER MAJESTY THE QUEEN IN RIGHT OF ONTARIO AS REPRESENTED BY THE MINISTER OF INFRASTRUCTURE, CO INFRASTRUCTURE ONTARIO	Ward:	Etobicoke North (02)
Agent:	JOHN CORBETT	Heritage:	Not Applicable
Property Address:	UTILITY CORRIDOR – NORTH OF REXDALE BLVD, EAST OF HIGHWAY 27	Community:	
Legal Description:	CON 2 FTH PT LOT 30 RP 66R18251 PARTS 7 TO 9 AND 11 RP 66R21096 PART 2		

Edwin (Ted) Shepherd
(signed)

Dominic Gulli (signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0057/16EYK	Zoning	RM & RM1
Owner(s):	CONTIHOMES INC.	Ward:	Etobicoke-Lakeshore (06)
Agent:	ELDON THEODORE	Heritage:	Not Applicable
Property Address:	22 THIRTY THIRD ST	Community:	
Legal Description:	PLAN M9 LOT 3 BLK G		

Notice was given and the application considered on Thursday, March 9, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Retained - Part 2

Address to be assigned

The lot frontage is 7.695 m and the lot area is 343.4 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0613/16EYK.

Conveyed - Part 1

Address to be assigned

The lot frontage is 7.695 m and the lot area is 343.4 m². The existing dwelling will be demolished and the property will be redeveloped as the site of a new detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0612/16EYK.

File numbers B0057/16EYK, A0612/16EYK and A0613/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division is premature.
- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number:	B0057/16EYK	Zoning	RM & RM1
Owner(s):	CONTIHOMES INC.	Ward:	Etobicoke-Lakeshore (06)
Agent:	ELDON THEODORE	Heritage:	Not Applicable
Property Address:	22 THIRTY THIRD ST	Community:	
Legal Description:	PLAN M9 LOT 3 BLK G		

Allan Smithies (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Thursday, April 6, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0612/16EYK	Zoning:	RM & RM1
Owner(s):	CONTIHOMES INC.	Ward:	Etobicoke-Lakeshore (06)
Agent:	ELDON THEODORE	Heritage:	Not Applicable
Property Address:	22 THIRTY THIRD ST – PART 1	Community:	
Legal Description:	PLAN M9 LOT 3 BLK G		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 900.6.10.(2)(B)(i), By-law 569-2013 & Section 330-23.A.(2)**
The minimum required lot frontage is 12 m.
The lot frontage will be 7.695 m.
- Section 900.6.10.(2)(A)(i), By-law 569-2013**
The minimum required lot area is 370 m².
Section 330-23.A.(1)
The minimum required lot area is 371 m².
Section 900.6.10.(2)(A)(i), By-law 569-2013 & Section 330-23.A.(1)
The lot area will be 343.43 m².
- Section 900.6.10.(2)(D)(i), By-law 569-2013 & Section 330-23.A.(9)**
The maximum permitted gross floor area is 0.35 times the lot area (120 m²).
The proposed dwelling will have a gross floor area of 0.6 times the lot area (207.92 m²).
- Section 10.80.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The proposed dwelling will have a length of 17.91 m.
- Section 10.80.40.10.(2), By-law 569-2013**
The maximum permitted height of all side exterior main walls abutting a street is 7 m.
The side exterior main walls of the proposed dwelling will have a height of 7.75 m, facing a side lot line.

File numbers B0057/16EYK, A0612/16EYK and A0613/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0612/16EYK	Zoning	RM & RM1
Owner:	CONTIHOMES INC.	Ward:	Etobicoke-Lakeshore (06)
Agent:	ELDON THEODORE	Heritage:	Not Applicable
Property Address:	22 THIRTY THIRD ST – PART 1	Community:	
Legal Description:	PLAN M9 LOT 3 BLK G		

Allan Smithies (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Thursday, March 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0613/16EYK	Zoning	RM & RM1
Owner(s):	CONTIHOMES INC.	Ward:	Etobicoke-Lakeshore (06)
Agent:	ELDON THEODORE	Heritage:	Not Applicable
Property Address:	22 THIRTY THIRD ST – PART 2	Community:	
Legal Description:	PLAN M9 LOT 3 BLK G		

Notice was given and a Public Hearing was held on Thursday, March 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached dwelling with an attached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 900.6.10.(2)(B)(i), By-law 569-2013 & Section 330-23.A.(2)**
The minimum required lot frontage is 12 m.
The lot frontage will be 7.695 m.
- 2. Section 900.6.10.(2)(A)(i), By-law 569-2013**
The minimum required lot area is 370 m².
Section 330-23.A.(1)
The minimum required lot area is 371 m².
Section 900.6.10.(2)(A)(i), By-law 569-2013 & Section 330-23.A.(1)
The lot area will be 343.43 m².
- 3. Section 900.6.10.(2)(D)(i), By-law 569-2013 & Section 330-23.A.(9)**
The maximum permitted gross floor area is 0.35 times the lot area (120 m²).
The proposed dwelling will have a gross floor area of 0.63 times the lot area (218 m²).
- 4. Section 10.80.40.20.(1), By-law 569-2013**
The maximum permitted building length is 17 m.
The proposed dwelling will have a length of 18.82 m.
- 5. Section 10.80.40.10.(2), By-law 569-2013**
The maximum permitted height of all side exterior main walls abutting a street is 7 m.
The side exterior main walls of the proposed dwelling will have a height of 7.75 m, facing a side lot line.

File numbers B0057/16EYK, A0612/16EYK and A0613/16EYK will be considered jointly.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0613/16EYK	Zoning	RM & RM1
Owner:	CONTIHOMES INC.	Ward:	Etobicoke-Lakeshore (06)
Agent:	ELDON THEODORE	Heritage:	Not Applicable
Property Address:	22 THIRTY THIRD ST – PART 2	Community:	
Legal Description:	PLAN M9 LOT 3 BLK G		

Allan Smithies (signed)

Edwin (Ted) Shepherd
(signed)

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Wednesday, March 29, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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Friday, March 10, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0085/16EYK	Zoning	MU & CL
Owner(s):	B-MAJOR HOMES (ONTARIO) INC	Ward:	Etobicoke-Lakeshore (06)
Agent:	MONARCH WATERVIEW DEVELOPMENT LIMITED	Heritage:	Not Applicable
Property Address:	2143 - 2147 LAKE SHORE BLVD W	Community:	
Legal Description:	SEE APPLICATION FOR LEGAL DESCRIPTION		

Notice was given and the application considered on Thursday, March 9, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to create an easement/right-of-way for access purposes.

Easement - Parts 1, 2, 3, 4, 5 and 6 on Plan 66R-27883

Parts 1, 2, 3, 4, 5 and 6 on Plan 66R-27883 will be subject to an access easement/right-of-way in favour of the lands municipally known as 56 Annie Craig Drive, 110 Marine Parade Drive and 2155 Lake Shore Boulevard West for the purposes of access for construction, maintenance and the installation of cap flashing.

Any existing easements/rights-of-ways will be maintained.

The Deputy Secretary-Treasurer, considered the written submissions relating to the application prior to making the decision. In so doing, **IT WAS THE DECISION OF THE SECRETARY TREASURER THAT:**

The Consent Application is Approved on Condition

The Deputy Secretary-Treasurer has considered the provisions of Section 51(24) of the Planning Act, is satisfied that a plan of subdivision is not necessary for the proper and orderly development of the municipality and therefore consents to the requested transaction, pursuant to subsection 53(42) of the Planning Act, **subject to the following conditions:**

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.

2. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
3. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
4. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act* , as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0085/16EYK	Zoning	MU & CL
Owner(s):	B-MAJOR HOMES (ONTARIO) INC	Ward:	Etobicoke-Lakeshore (06)
Agent:	MONARCH WATERVIEW DEVELOPMENT LIMITED	Heritage:	Not Applicable
Property Address:	2143 - 2147 LAKE SHORE BLVD W	Community:	
Legal Description:	SEE APPLICATION FOR LEGAL DESCRIPTION		

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Thursday, April 6, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

This day of, 2017

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Friday, March 10, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0086/16EYK	Zoning	MU & CL
Owner(s):	MONARCH WATERVIEW DEVELOPMENT LIMITED	Ward:	Etobicoke-Lakeshore (06)
Agent:	MONARCH WATERVIEW DEVELOPMENT LIMITED	Heritage:	Not Applicable
Property Address:	56 ANNIE CRAIG DR, 110 MARINE PARADE DR AND 2155 LAKE SHORE BLVD W	Community:	
Legal Description:	SEE APPLICATION FOR LEGAL DESCRIPTION		

Notice was given and the application considered on Thursday, March 9, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to create an easement/right-of-way for access purposes.

Easement - Parts 1, 2 on Plan 66R-29015 and Parts 7, 8, 9,10, and 12 on Plan 66R-27883

Parts 1 and 2 on Plan 66R-29015 and Parts 7, 8, 9, 10 and 12 on Plan 66R-27883, will be subject to an access easement/right-of-way in favour of the lands municipally known as 2143-2147 Lake Shore Boulevard West, for the purposes of access for construction, maintenance and the installation of cap flashing.

Any existing easements/rights-of-ways will be maintained.

The Deputy Secretary-Treasurer, considered the written submissions relating to the application prior to making the decision. In so doing, **IT WAS THE DECISION OF THE SECRETARY TREASURER THAT:**

The Consent Application is Approved on Condition

The Deputy Secretary-Treasurer has considered the provisions of Section 51(24) of the Planning Act, is satisfied that a plan of subdivision is not necessary for the proper and orderly development of the municipality and therefore consents to the requested transaction, pursuant to subsection 53(42) of the Planning Act, **subject to the following conditions:**

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.

2. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, of Property Records, at 416 392-8338; jhouse@toronto.ca
3. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services, shall be filed with the Committee of Adjustment.
4. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare and submit for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0086/16EYK	Zoning:	MU & CL
Owner(s):	MONARCH WATERVIEW DEVELOPMENT LIMITED	Ward:	Etobicoke-Lakeshore (06)
Agent:	MONARCH WATERVIEW DEVELOPMENT LIMITED	Heritage:	Not Applicable
Property Address:	56 ANNIE CRAIG DR, 110 MARINE PARADE DR AND 2155 LAKE SHORE BLVD W	Community:	
Legal Description:	SEE APPLICATION FOR LEGAL DESCRIPTION		

DATE DECISION MAILED ON: Friday, March 17, 2017

LAST DATE OF APPEAL TO THE ONTARIO MUNICIPAL BOARD: Thursday, April 6, 2017

CERTIFIED TRUE COPY

Susanne Pringle
Manager & Deputy Secretary Treasurer
Etobicoke York Panel

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