

September 7, 2017

## **NOTICE OF DECISIONS**

**(Section 53 and 54 of the Planning Act)**

**PLEASE NOTE:**

**Application(s) Deferred *sine die*:**

- Item 2.            18 Parkcrest Drive, B0028/17SC; A0187/17SC and A00227/17SC
- Item 4.            48 Wolcott Ave., B0033/17SC; A0281/17SC and A0219/17SC
- Item 9.            247 Ridgewood Road, A0191/17SC

Thursday, September 7, 2017

## **NOTICE OF DECISION**

### **CONSENT**

**(Section 53 of the Planning Act)**

**Table 1, Information regarding the owner and property**

File Number:	B0018/17SC	Zoning:	Residential Semi-Detached (RS) & Two-Family Residential (T) [Waiver]
Owner(s):	BIJOY KUMAR PAUL MUKTA DAS	Ward:	Scarborough Southwest (35)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	<b>37 WANSTEAD AVE</b>	Community:	Oakridge Community
Legal Description:	PLAN 1952 PT LOT 31		

Notice was given and the application considered on Thursday, September 7, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

To obtain consent to sever the property into two residential lots, as shown on the attached Lot Division Plan.

**Conveyed - Part 1**  
**37B Wanstead Ave**

The proposed lot frontage is 6.096 m and the proposed lot area is 228.07 m<sup>2</sup>. The existing detached dwelling and detached garage will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0127/17SC.

**Retained - Part 2**  
**37A Wanstead Ave**

The proposed lot frontage is 6.096 m and the proposed lot area is 228.07 m<sup>2</sup>. The existing detached dwelling and detached garage will be demolished and the property will be redeveloped as the site of a new detached dwelling with an integral garage, requiring variances to the Zoning By-law, as outlined in Application A0128/17SC.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

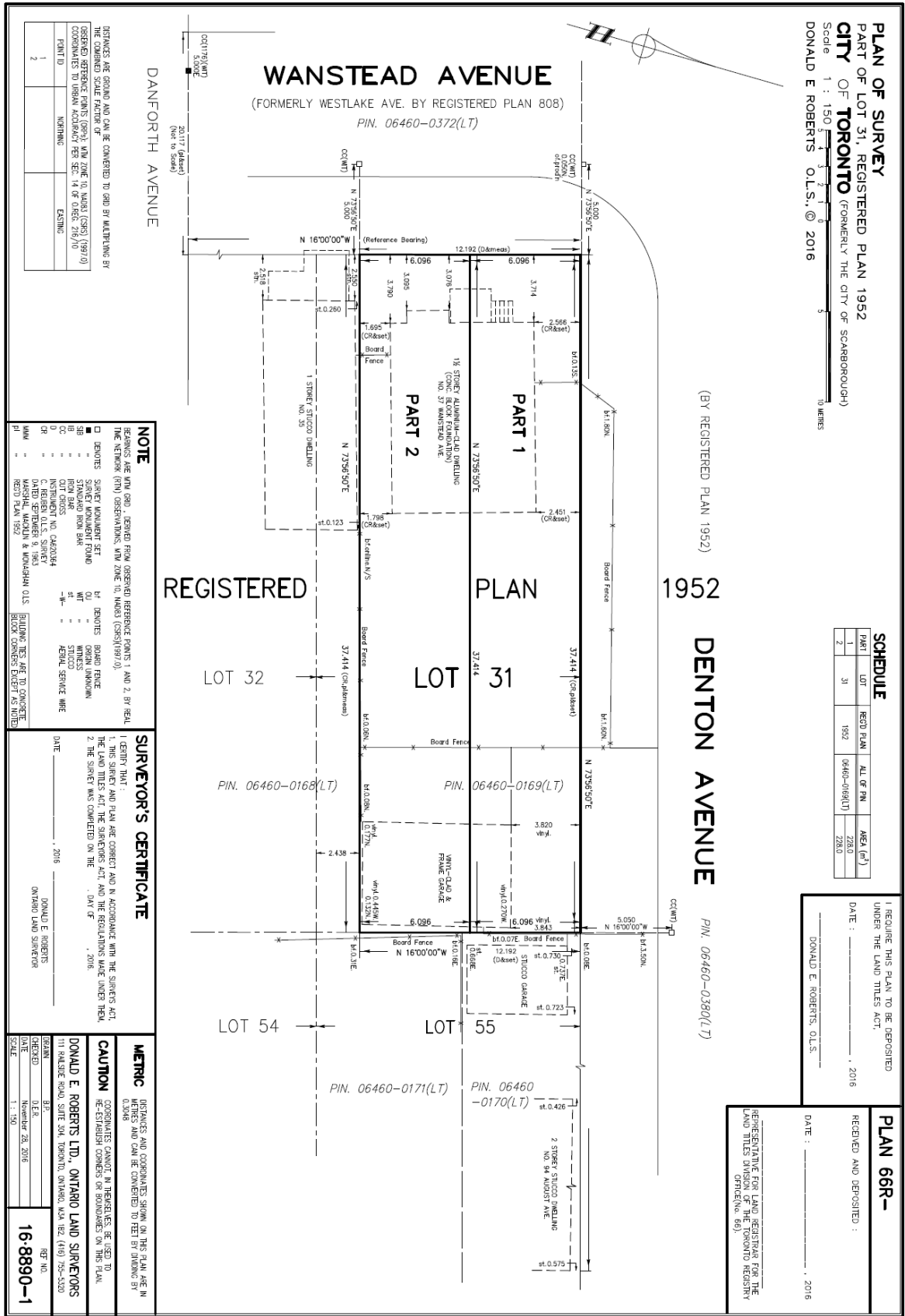
## **The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to create new lots as shown on the attached lot division plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; John.House@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; Elizabeth.Machynia@toronto.ca, John Fligg at 416-338-5031; John.Fligg@toronto.ca
3. **An electronic copy of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; John.House@toronto.ca.
4. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
5. The following conditions shall be fulfilled to the satisfaction of the Acting Manager, Development Engineering, Engineering & Construction Services, Scarborough District:
  - a. Prepare all documents and convey to the City, at nominal cost a 5.0 metre corner rounding at the northwest corner of this development, in fee simple, such lands to be free and clear of all physical and title encumbrances, and subject to a right-of-way for access in favor of the Grantor until such time as said lands have dedicated as a public highway, all to the satisfaction to the Chief Engineer and Executive Director of Engineering and Construction Services.
  - b. Submit a draft Reference Plan of Survey to the Chief Engineer and Executive Director of Engineering and Construction Services, for review and approval, prior to depositing it in the Land Registry Office. The plan should:
    - i. be in metric units and integrated with the Ontario Co-ordinate System (3° MTM, Zone 10, NAD 83 CSRS);
    - ii. delineate by separate PARTS the lands to be conveyed to the City, the remainder of the site and any appurtenant rights-of-way and easements; and

- iii. show the co-ordinate values of the main corners of the subject lands in a schedule on the face of the plan.
6. Where there are no existing street trees, the applicant shall provide to Urban Forestry a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The number of trees required to be planted is two (2) and the current cost of planting each tree is \$583.00. Payments shall be made payable to the Treasurer, City of Toronto and sent to Urban Forestry, Scarborough Civic Centre, 150 Borough Drive, 5th floor, Toronto, Ontario, M1P 4N7.
7. The Owner shall obtain Final and Binding Decisions on minor variance applications A0127/17SC and A0128/17SC, to the satisfaction of the Deputy Secretary-Treasurer, Committee of Adjustment, Scarborough Panel.
8. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

# Attachment 1: Lot Division Plan



FORM ID	NAMING	ESIMING
1	NAMING	ESIMING

DISTANCES ARE GIVEN AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMMON SCALE FACTOR OF

OSSEEN REFERENCE POINTS (OSRP) AND ZONE 10 NAD83 (OSRS) (1997.0) COORDINATES TO GRIDN ADJUSTED PER SEC. 14 OF REGS. 519/10

NOTE

- BEARINGS ARE GIVEN FROM OBSERVED REFERENCE POINTS 1 AND 2, BY REAL
- THE NETWORK (RTN) OBSERVATIONS, WITH ZONE 10 NAD83 (OSRS) (1997.0)
- 1. DENOTES SURVEY POINT
- 2. DENOTES SURVEY POINT SET
- 3. DENOTES SURVEY POINT FROM BOARD FENCE
- 4. DENOTES SURVEY POINT FROM BOARD FENCE
- 5. DENOTES SURVEY POINT FROM BOARD FENCE
- 6. DENOTES SURVEY POINT FROM BOARD FENCE
- 7. DENOTES SURVEY POINT FROM BOARD FENCE
- 8. DENOTES SURVEY POINT FROM BOARD FENCE
- 9. DENOTES SURVEY POINT FROM BOARD FENCE
- 10. DENOTES SURVEY POINT FROM BOARD FENCE
- 11. DENOTES SURVEY POINT FROM BOARD FENCE
- 12. DENOTES SURVEY POINT FROM BOARD FENCE
- 13. DENOTES SURVEY POINT FROM BOARD FENCE
- 14. DENOTES SURVEY POINT FROM BOARD FENCE
- 15. DENOTES SURVEY POINT FROM BOARD FENCE
- 16. DENOTES SURVEY POINT FROM BOARD FENCE
- 17. DENOTES SURVEY POINT FROM BOARD FENCE
- 18. DENOTES SURVEY POINT FROM BOARD FENCE
- 19. DENOTES SURVEY POINT FROM BOARD FENCE
- 20. DENOTES SURVEY POINT FROM BOARD FENCE

REGIONS ARE TO BE CONSIDERED AS REGISTERED PLAN 1952

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

PLAN NO.	DATE	SCALE
16-8890-1	2016	1:150

**CAUTION**

COORDINATES CANNOT IN THEMSELVES, BE USED TO ESTABLISH CORNERS OR BOUNDARIES ON THE PLAN

DONALD E. ROBERTS LTD., ONTARIO LAND SURVEYORS

111 WALKER ROAD SUITE 304 TORONTO, ONTARIO CANADA M5V 1A9 TEL: (416) 759-3520

16-8890-1

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

DATE: \_\_\_\_\_, 2016

DONALD E. ROBERTS, O.L.S.

## SIGNATURE PAGE

**Table 2, owner and property information.**

File Number:	B0018/17SC	Zoning	Residential Semi-Detached (RS) & Two-Family Residential (T) [Waiver]
Owner(s):	BIJOY KUMAR PAUL MUKTA DAS	Ward:	Scarborough Southwest (35)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	<b>37 WANSTEAD AVE</b>	Community:	Oakridge Community
Legal Description:	PLAN 1952 PT LOT 31		

**Table 3, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Monday, October 2, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

## ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, September 7, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**Table 4, Owner and property information**

File Number:	A0127/17SC	Zoning:	Residential Semi-Detached (RS) & Two-Family Residential (T) [Waiver]
Owner(s):	BIJOY KUMAR PAUL MUKTA DAS	Ward:	Scarborough Southwest (35)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	<b>37 WANSTEAD AVE – PT 1</b>	Community:	Oakridge Community
Legal Description:	PLAN 1952 PT LOT 31		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling on Part 1.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013:

1. The proposed dwelling will be located 0.43 m from the north side lot line;  
Whereas the minimum required setback from a lot line facing a street is 1.5 m.
2. The proposed dwelling will have a length of 21.31 m;  
Whereas the maximum permitted dwelling length is 17 m.
3. The proposed dwelling will have a depth of 22.22 m, as measured from the required front yard setback to the rear main wall;  
Whereas the maximum permitted depth is 19 m.
4. The proposed parking space in the garage will have a width of 3.05 m;  
Whereas the minimum required dimensions of a parking space are 3.2 m wide by 5.6 m long.
5. A total of 46% of the lot will be maintained as landscaping;  
Whereas a minimum of 50% of the lot area shall be maintained as landscaping.



6. A total of 60% of the required landscaping will be maintained as soft landscaping;  
Whereas a minimum of 75% of the required landscaping shall be maintained as soft landscaping.

By-law No. 9812:

7. The proposed dwelling will be located 0.43 m from the north side lot line;  
Whereas the minimum required setback from a lot line facing a street is 1.5 m.
8. The proposed parking space in the garage will have a width of 3.05 m;  
Whereas the minimum required dimensions of a parking space are 3.3 m wide by 5.6 m long.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**Minor Variance Items 1, 4, 5, 6, 7 & 8 are Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**Minor Variance Items 2 & 3 are Refused**

It is the decision of the Committee of Adjustment to NOT approve these variances for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

**Table 5, Signature page, owner and property information**

File Number:	A0127/17SC	Zoning	Residential Semi-Detached (RS) & Two-Family Residential (T) [Waiver]
Owner:	BIJOY KUMAR PAUL MUKTA DAS	Ward:	Scarborough Southwest (35)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	<b>37 WANSTEAD AVE – PT 1</b>	Community:	Oakridge Community
Legal Description:	PLAN 1952 PT LOT 31		

**Table 6, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)****Table 7, Owner and property information**

File Number:	A0128/17SC	Zoning	Residential Semi-Detached (RS) & Two-Family Residential (T) [Waiver]
Owner(s):	BIJOY KUMAR PAUL MUKTA DAS	Ward:	Scarborough Southwest (35)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	<b>37 WANSTEAD AVE – PT 2</b>	Community:	Oakridge Community
Legal Description:	PLAN 1952 PT LOT 31		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new detached dwelling on Part 2.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed dwelling will have a length of 21.31 m;  
Whereas the maximum permitted dwelling length is 17 m.
2. The proposed dwelling will have a depth of 21.31 m, as measured from the required front yard setback to the rear main wall;  
Whereas the maximum permitted depth is 19 m.
3. The proposed parking space in the garage will have a width of 3.05 m;  
Whereas the minimum required dimensions of a parking space are 3.2 m wide by 5.6 m long.
4. A total of 47% of the required landscaping will be maintained as soft landscaping;  
Whereas a minimum of 75% of the required landscaping shall be maintained as soft landscaping.

By-law No. 9812:

5. The proposed parking space in the garage will have a width of 3.05 m;  
Whereas the minimum required dimensions of a parking space are 3.3 m wide by 5.6 m long.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**Minor Variance Items 3, 4 & 5 are Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**Minor Variance Items 1 & 2 are Refused**

It is the decision of the Committee of Adjustment to NOT approve these variances for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

**Table 8, Signature page, owner and property information**

File Number:	A0128/17SC	Zoning	Residential Semi-Detached (RS) & Two-Family Residential (T) [Waiver]
Owner:	BIJOY KUMAR PAUL MUKTA DAS	Ward:	Scarborough Southwest (35)
Agent:	PATRICK MCAULIFFE	Heritage:	Not Applicable
Property Address:	<b>37 WANSTEAD AVE – PT 2</b>	Community:	Oakridge Community
Legal Description:	PLAN 1952 PT LOT 31		

**Table 9, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant

- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

## **NOTICE OF DECISION**

### **CONSENT**

**(Section 53 of the Planning Act)**

**Table 10, Owner and property information**

File Number:	B0032/17SC	Zoning:	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	FARHANA AKTHER CHOWDHURY	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	<b>211 MCINTOSH ST</b>	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 263		

Notice was given and the application considered on Thursday, September 7, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

This application is to obtain consent to sever the property into two undersized residential lots, as per the attached Lot Division Plan.

**Conveyed - Part 1**

The proposed lot frontage is 7.62 m and the proposed lot area is 287.3 m<sup>2</sup>. The existing detached dwelling and detached garage will be demolished and the property will be redeveloped as the site of a new two-storey detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0209/17SC.

**Retained - Part 2**

The proposed lot frontage is 7.62 m and the proposed lot area is 287.3 m<sup>2</sup>. The existing detached dwelling and detached garage will be demolished and the property will be redeveloped as the site of a new two-storey detached dwelling, requiring variances to the Zoning By-law, as outlined in Application A0210/17SC.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to create new lots as



shown on the attached lot division plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; John.House@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; Elizabeth.Machynia@toronto.ca, John Fligg at 416-338-5031; John.Fligg@toronto.ca
3. **An electronic copy of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; John.House@toronto.ca.
4. **An electronic copy of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
5. The applicant shall submit to Urban Forestry a refundable Tree Protection Security Deposit in the amount of **\$2,800.00** in the form of renewable letter of credit or other form acceptable to the General Manager of Parks, Forestry and Recreation to guarantee the protection of the City owned trees to be retained fronting the site or adjacent to the site, as per the City's Tree Protection Policy and Specifications for Construction near Trees and the City of Toronto Municipal Code Chapter 813, Article II.
6. Where there are no existing street trees, the applicant shall provide to Urban Forestry a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The number of trees required to be planted is **one (1)** and the current cost of planting each tree is **\$583.00**. Payments shall be made payable to the Treasurer, City of Toronto and sent to Urban Forestry, Scarborough Civic Centre, 150 Borough Drive, 5th floor, Toronto, Ontario, M1P 4N7.
7. The following conditions shall be fulfilled to the satisfaction of the Acting Manager, Development Engineering, Engineering & Construction Services, Scarborough District:
  - a. Prepare all documents and convey to the City, at nominal cost, (a 0.21 metre lane widening is required along the rear of the property to satisfy the requirement of a 6m wide lane right-of-way, of Sandown Lane) in fee simple, such lands to be free and clear of all physical and title encumbrances, and subject to a right-of-way for access in favour of the grantor until such time as said lands have dedicated as a public highway, all to the satisfaction to the Executive Director of Engineering and Construction Services and the City Solicitor;

- b. Submit a draft Reference Plan of Survey to the Executive Director of Engineering and Construction Services, for review and approval, prior to depositing it in the Land Registry Office. The plan should:
      - i. be in metric units and integrated with the Ontario Co-ordinate System (30 MTM, Zone 10, NAD 83 CSRS);
      - ii. delineate by separate PARTS the lands to be conveyed to the City, the remainder of the site and any appurtenant rights-of-way and easements; and;
      - iii. show the co-ordinate values of the main corners of the subject lands in a schedule on the face of the plan;
    - c. Pay all costs for registration and preparation of reference plan(s).
  8. The Owner shall obtain Final and Binding Decisions on minor variance applications A0209/17SC and A0210/17SC, to the satisfaction of the Deputy Secretary-Treasurer, Committee of Adjustment, Scarborough Panel.
  9. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



## SIGNATURE PAGE

**Table 11. Signature page, owner and property information**

File Number:	B0032/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	FARHANA AKTHER CHOWDHURY	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	<b>211 MCINTOSH ST</b>	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 263		

**Table 12, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Monday, October 2, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

## **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, September 7, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**Table 13, owner and property information.**

File Number:	A0209/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	FARHANA AKTHER CHOWDHURY	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	<b>211 MCINTOSH ST – PT 1</b>	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 263		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling on Part 1, as per the attached Lot Division Plan.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013 & No. 9364:

1. The proposed lot frontage is 7.62 and the proposed lot area is 287.3 m<sup>2</sup>;  
Whereas the minimum required lot frontage is 9 m and the minimum required lot area is 325 m<sup>2</sup>.

By-law No. 569-2013:

2. The proposed dwelling will cover 35.4% of the lot area (101.82 m<sup>2</sup>);  
Whereas the maximum permitted coverage is 33% of the lot area (94.81 m<sup>2</sup>).
3. The proposed dwelling will have a floor space index equal to 0.65 times the lot area (185.85 m<sup>2</sup>);  
Whereas the maximum permitted floor space index is 0.6 times the lot area (172.38 m<sup>2</sup>).

By-law No. 9364:

4. The proposed dwelling will cover 37% of the lot area (106.15 m<sup>2</sup>);  
Whereas the maximum permitted coverage is 33% of the lot area (94.81 m<sup>2</sup>).

5. The proposed dwelling will have a floor area equal to 0.64 times the lot area (183.04 m<sup>2</sup>); Whereas the maximum permitted floor area is 0.6 times the lot area (172.38 m<sup>2</sup>).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for City owned trees, as per City of Toronto Municipal Code Chapter 813, Article II.





## SIGNATURE PAGE

**Table 14, owner and property information, signature page**

File Number:	A0209/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	FARHANA AKTHER CHOWDHURY	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	<b>211 MCINTOSH ST – PT 1</b>	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 263		

**Table 15, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**Table 16, owner and property information**

File Number:	A0210/17SC	Zoning:	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	FARHANA AKTHER CHOWDHURY	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	<b>211 MCINTOSH ST – PT 2</b>	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 263		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling on Part 2, as per the attached Lot Division Plan.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013 & No. 9364:

1. The proposed lot frontage is 7.62 and the proposed lot area is 284.9 m<sup>2</sup>;  
Whereas the minimum required lot frontage is 9 m and the minimum required lot area is 325 m<sup>2</sup>.

By-law No. 569-2013:

2. The proposed dwelling will cover 36% of the lot area (101.82 m<sup>2</sup>);  
Whereas the maximum permitted coverage is 33% of the lot area (94.07 m<sup>2</sup>).
3. The proposed dwelling will have a floor space index equal to 0.652 times the lot area (185.85 m<sup>2</sup>);  
Whereas the maximum permitted floor space index is 0.6 times the lot area (170.94 m<sup>2</sup>).

By-law No. 9364:

4. The proposed dwelling will cover 37.25% of the lot area (106.15 m<sup>2</sup>);  
Whereas the maximum permitted coverage is 33% of the lot area (94.07 m<sup>2</sup>).

5. The proposed dwelling will have a floor area equal to 0.642 times the lot area (183.04 m<sup>2</sup>); Whereas the maximum permitted floor area is 0.6 times the lot area (170.94 m<sup>2</sup>).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for City owned trees, as per City of Toronto Municipal Code Chapter 813, Article II.



## SIGNATURE PAGE

**Table 17, owner and property information, signature page**

File Number:	A0210/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	FARHANA AKTHER CHOWDHURY	Ward:	Scarborough Southwest (36)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	<b>211 MCINTOSH ST – PT 2</b>	Community:	Cliffside Community
Legal Description:	PLAN M388 LOT 263		

**Table 18, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

**Table 19, owner and property information for 122 Linden Ave**

File Number:	B0034/17SC	Zoning	RS - Residential Semi Detached/S-Single Family Residential [ZZC]
Owner(s):	TAHERA ISLAM TALAT MAHMUD	Ward:	Scarborough Southwest (35)
Agent:	YASO SOMALINGAM	Heritage:	Not Applicable
Property Address:	<b>122 LINDEN AVE</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 1093 LOT 64 LOT 65 PT LOT 63 BLK A		

Notice was given and the application considered on Thursday, September 7, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

This application is for consent to sever the land into two lots, as shown on the attached Site Plan. Lot to be created Part 1 and Part 2 would have a frontage of 9.135 metres and a lot area of 289.6 square metres. In order to facilitate the proposed development, relief from the provision of the Zoning By-law was requested, as outlined in A0220/17SC and A0221/17SC.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Consent Application is Approved**

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to create new lots as shown on the attached lot division plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office:

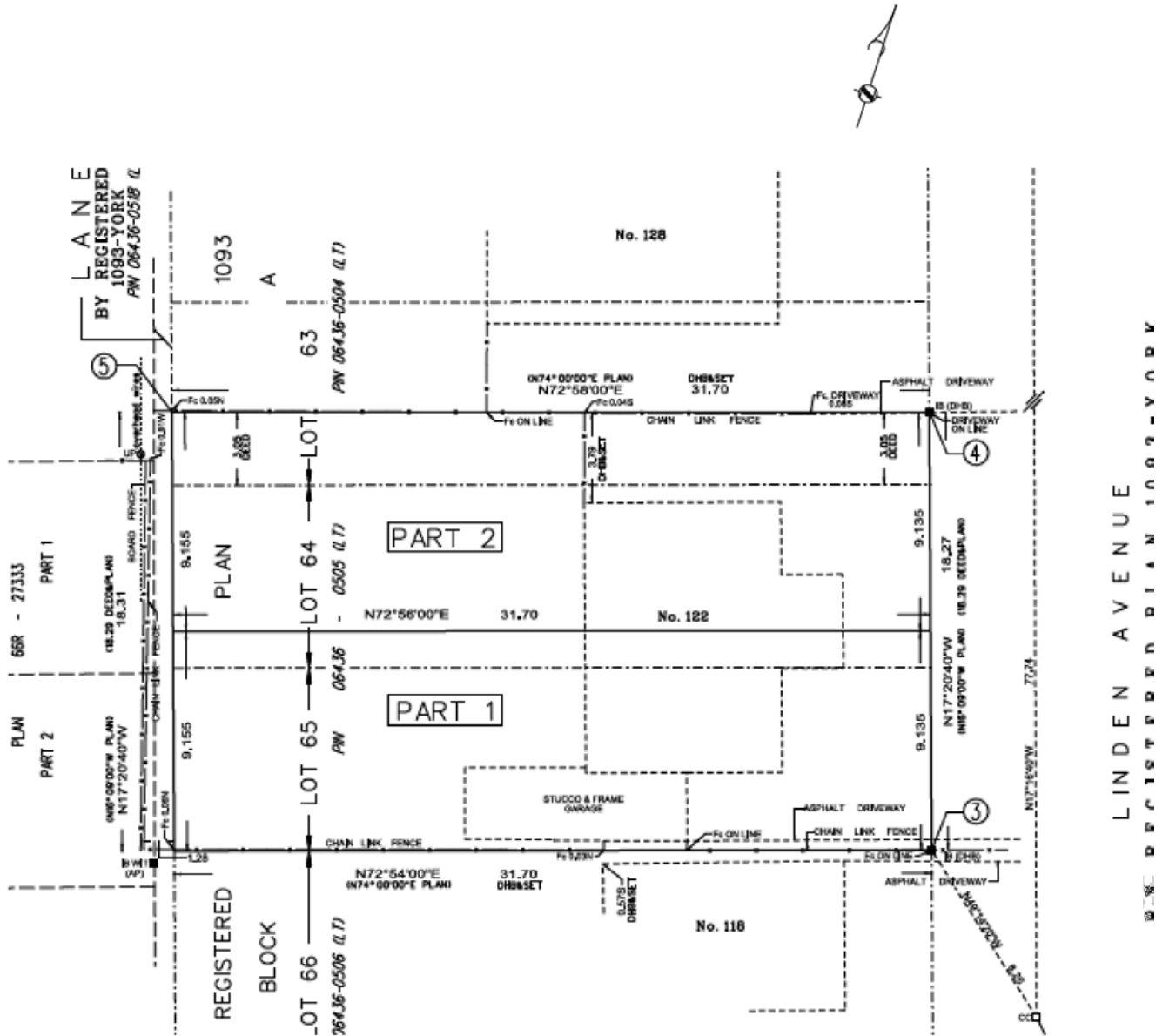
1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and



Property Surveys, at 416 392-8338; [jhouse@toronto.ca](mailto:jhouse@toronto.ca), or his designates, Elizabeth Machynia, at 416-338-5029; [emachyni@toronto.ca](mailto:emachyni@toronto.ca), John Fligg at 416-338-5031; [jfligg@toronto.ca](mailto:jfligg@toronto.ca)

3. **1 PDF copy of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be emailed to the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416 392-8338; [jhouse@toronto.ca](mailto:jhouse@toronto.ca), or his designate, Virgil Gomes at 416 338-5033; [vgomes@toronto.ca](mailto:vgomes@toronto.ca)
4. **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
5.
  - a. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for privately owned trees, as per City of Toronto Municipal Code Chapter 813, Article III.
  - b. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for City owned trees, as per City of Toronto Municipal Code Chapter 813, Article II.
  - c. The applicant shall submit to Urban Forestry a refundable Tree Protection Security Deposit in the amount of **\$2,572.00** in the form of renewable letter of credit or other form acceptable to the General Manager of Parks, Forestry and Recreation to guarantee the protection of the City owned trees to be retained fronting the site or adjacent to the site, as per the City's Tree Protection Policy and Specifications for Construction near Trees and the City of Toronto Municipal Code Chapter 813, Article II.
6. A draft Certificate of Official, as prescribed in Ontario Regulation 197/96 as Form 2 or 4 and in a form satisfactory to the Secretary Treasurer, shall be submitted to the Secretary Treasurer within one year of the date giving of notice of this decision.

Lot Division Plan:



## SIGNATURE PAGE

**Table 20, owner and property information, signature page**

File Number:	B0034/17SC	Zoning	RS - Residential Semi Detached/S-Single Family Residential [ZZC]
Owner(s):	TAHERA ISLAM TALAT MAHMUD	Ward:	Scarborough Southwest (35)
Agent:	YASO SOMALINGAM	Heritage:	Not Applicable
Property Address:	<b>122 LINDEN AVE</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 1093 LOT 64 LOT 65 PT LOT 63 BLK A		

**Table 21, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Monday, October 2, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant

- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)****Table 22, owner and property information for 122 Linden Ave Part 2**

File Number:	A0220/17SC	Zoning	RS - Residential Semi Detached/S-Single Family Residential [ZZC]
Owner(s):	TAHERA ISLAM TALAT MAHMUD	Ward:	Scarborough Southwest (35)
Agent:	YASO SOMALINGAM	Heritage:	Not Applicable
Property Address:	<b>122 LINDEN AVE, Part 2</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 1093 LOT 64 LOT 65 PT LOT 63 BLK A		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family residential dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013

1. To permit the proposed 39.1% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

By-law No. 9276

2. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

## SIGNATURE PAGE

**Table 23, owner and property information for 122 Linden Ave Part 2, signature page**

File Number:	A0220/17SC	Zoning	RS - Residential Semi Detached/S-Single Family Residential [ZZC]
Owner:	TAHERA ISLAM TALAT MAHMUD	Ward:	Scarborough Southwest (35)
Agent:	YASO SOMALINGAM	Heritage:	Not Applicable
Property Address:	<b>122 LINDEN AVE, Part 2</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 1093 LOT 64 LOT 65 PT LOT 63 BLK A		

**Table 24, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD

- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

#### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

**Table 25, owner and property information for 122 Linden Ave Part 1**

File Number:	A0221/17SC	Zoning	RS - Residential Semi Detached/S-Single Family Residential [ZZC]
Owner(s):	TAHERA ISLAM TALAT MAHMUD	Ward:	Scarborough Southwest (35)
Agent:	YASO SOMALINGAM	Heritage:	Not Applicable
Property Address:	<b>122 LINDEN AVE, Part 1</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 1093 LOT 64 LOT 65 PT LOT 63 BLK A		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey single family residential dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013

1. To permit the proposed 39% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

By-law No. 9276

2. To permit the proposed 40% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

## SIGNATURE PAGE

**Table 26, owner and property information for 122 Linden Ave Part 1, signature page**

File Number:	A0221/17SC	Zoning	RS - Residential Semi Detached/S-Single Family Residential [ZZC]
Owner:	TAHERA ISLAM TALAT MAHMUD	Ward:	Scarborough Southwest (35)
Agent:	YASO SOMALINGAM	Heritage:	Not Applicable
Property Address:	<b>122 LINDEN AVE, Part 1</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 1093 LOT 64 LOT 65 PT LOT 63 BLK A		

**Table 27, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

**Table 28, owner and property information for 94 Pitt Avenue, Consent Application**

File Number:	B0036/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	MIZANUR CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ERIKA STRANGIS C/O PAUL MARQUES ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>94 PITT AVE</b>	Community:	Clairlea Community
Legal Description:	PLAN 1859 LOT 90		

Notice was given and the application considered on Thursday, September 7, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

Proposal to sever the land at 94 Pitt Avenue into 2 lots for single family houses. The proposed lots are shown as Parts 1 and 2 on the attached Lot Division Plan. Each lot would have a frontage of 7.6 m on Pitt Avenue and a lot area of approximately 246 m<sup>2</sup>.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

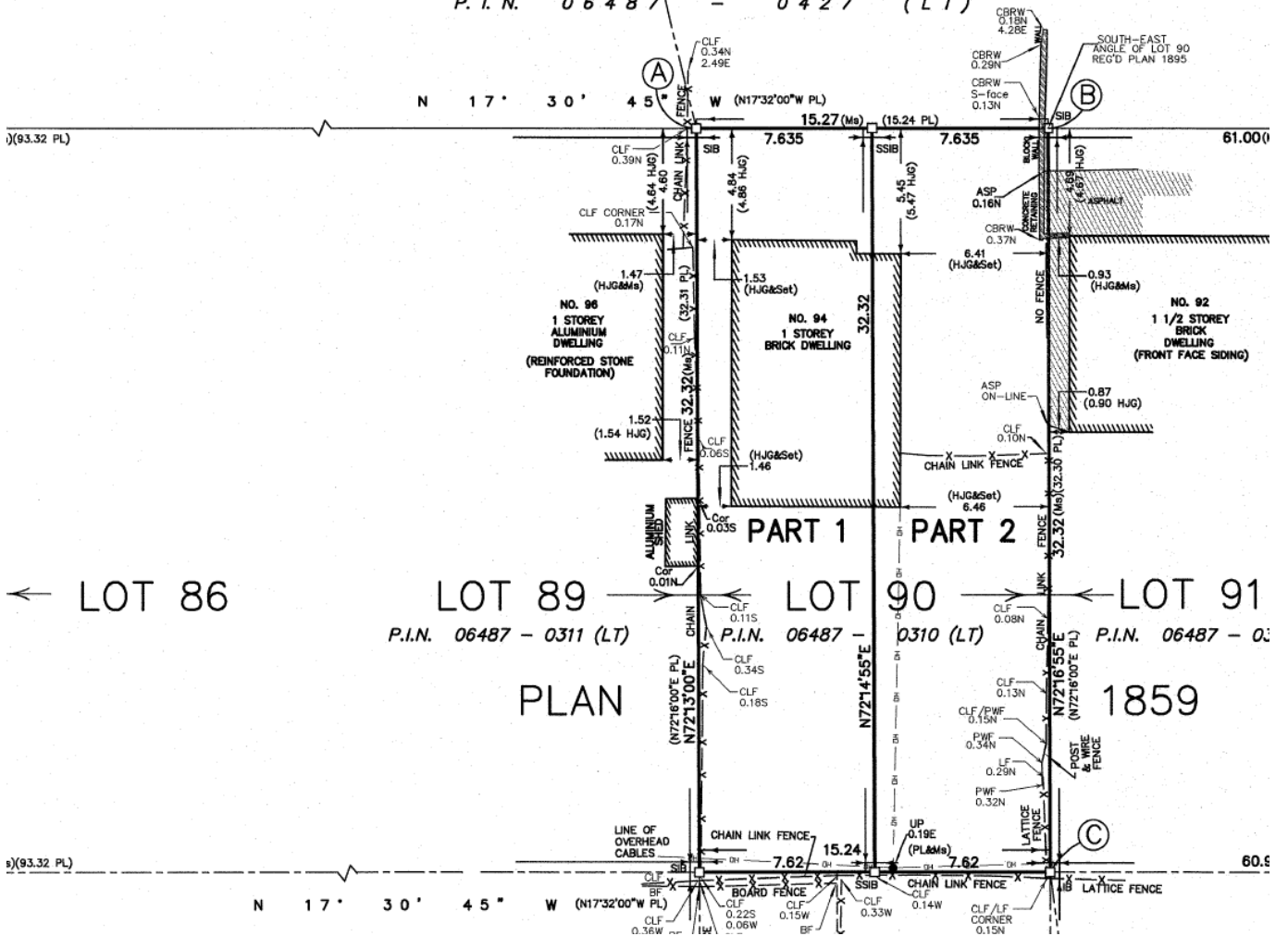
**The Consent Application is Refused**

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division is premature.
- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

PITTS AVENUE (FORMERLY EASTBOURNE AVENUE)  
 (DEDICATED BY REGISTERED PLAN 1859)

P. I. N. 06487 - 0427 (LT)



Lot Division Plan  
 Applicant's Submitted Drawing  
 Not to Scale

94 Pitt Avenue  
 File # B0036/17SC

07/09/2017

Attachment 1

## SIGNATURE PAGE

**Table 29, owner and property information for 94 Pitt Ave, signature page**

File Number:	B0036/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	MIZANUR CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ERIKA STRANGIS C/O PAUL MARQUES ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>94 PITT AVE</b>	Community:	Clairlea Community
Legal Description:	PLAN 1859 LOT 90		

**Table 30, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Monday, October 2, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

## ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.



Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)****Table 31, owner and property information for 94 Pitt Ave, Part 1**

File Number:	A0230/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	MIZANUR CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ERIKA STRANGIS C/O PAUL MARQUES ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>94 PITT AVE PART 1</b>	Community:	Clairlea Community
Legal Description:	PLAN 1859 LOT 90		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The owner is requesting consent to sever the land at 94 Pitt Avenue into two lots, and has applied for variances for the proposed north lot, shown as Part 1 on the attached Lot Division Plan. The owner is proposing to demolish the existing dwelling and build a new single family dwelling.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed lot frontage is 7.6 m  
Whereas the minimum required lot frontage is 12 m
2. The proposed lot area is 246 m<sup>2</sup>  
Whereas the minimum required lot area is 371 m<sup>2</sup>
3. The proposed lot coverage is 38%  
Whereas the maximum permitted lot coverage is 33%
4. On the first floor, 7.3 m<sup>2</sup> of floor area is proposed within 4.0 m of the front main wall  
Whereas a minimum of 10 m<sup>2</sup> of the first floor area is required within 4 m of the front main wall

By-law No. 8978:

5. The proposed lot coverage is 39%  
Whereas the maximum permitted lot coverage is 33%
6. The proposed parking space dimensions are 3.2 m x 6.0 m  
Whereas the minimum required parking spaces dimensions are 3.3 m x 5.6 m
7. The proposed lot frontage is 7.6 m and the proposed lot area is 246 m<sup>2</sup>  
Whereas the by-law permits one single-family dwelling per parcel having a minimum frontage of 12 m on a public street and a minimum area of 371 m<sup>2</sup>.
8. The proposed ground floor building coverage is 39%  
Whereas the maximum permitted ground floor building coverage is 33%

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to NOT approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

**Table 32, owner and property information for 94 Pitt Ave Part 1, signature page**

File Number:	A0230/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	MIZANUR CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ERIKA STRANGIS C/O PAUL MARQUES ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>94 PITT AVE PART 1</b>	Community:	Clairlea Community
Legal Description:	PLAN 1859 LOT 90		

**Table 33, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

#### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)****Table 34, owner and property information for 94 Pitt Ave, Part 2**

File Number:	A0231/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	MIZANUR CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ERIKA STRANGIS C/O PAUL MARQUES ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>94 PITTAVE PART 2</b>	Community:	Clairlea Community
Legal Description:	PLAN 1859 LOT 90		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The owner is requesting consent to sever the land at 94 Pitt Avenue into two lots, and has applied for variances for the proposed south lot, shown as Part 2 on the attached Lot Division Plan. The owner is proposing to demolish the existing dwelling and build a new single family dwelling.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed lot frontage is 7.6 m  
Whereas the minimum required lot frontage is 12 m
2. The proposed lot area is 246 m<sup>2</sup>  
Whereas the minimum required lot area is 371 m<sup>2</sup>
3. The proposed lot coverage is 38%  
Whereas the maximum permitted lot coverage is 33%
4. On the first floor, 7.3 m<sup>2</sup> of floor area is proposed within 4.0 m of the front main wall  
Whereas a minimum of 10 m<sup>2</sup> of the first floor area is required within 4 m of the front main wall

By-law No. 8978:

5. The proposed lot coverage is 39%  
Whereas the maximum permitted lot coverage is 33%
6. The proposed parking space dimensions are 3.2 m x 6.0 m  
Whereas the minimum required parking spaces dimensions are 3.3 m x 5.6 m
7. The proposed lot frontage is 7.6 m and the proposed lot area is 246 m<sup>2</sup>  
Whereas the by-law permits one single-family dwelling per parcel having a minimum frontage of 12 m on a public street and a minimum area of 371 m<sup>2</sup>.
8. The proposed ground floor building coverage is 39%  
Whereas the maximum permitted ground floor building coverage is 33%

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Refused**

It is the decision of the Committee of Adjustment to NOT approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

**Table 35, owner and property information for 94 Pitt Ave, Part 2, signature page**

File Number:	A0231/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	MIZANUR CHOWDHURY	Ward:	Scarborough Southwest (35)
Agent:	ERIKA STRANGIS C/O PAUL MARQUES ARCHITECT INC	Heritage:	Not Applicable
Property Address:	<b>94 PITTAVE PART 2</b>	Community:	Clairlea Community
Legal Description:	PLAN 1859 LOT 90		

**Table 36, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant

- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

#### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the **Application Information Centre** and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



Thursday, September 7, 2017

## NOTICE OF DECISION

### CONSENT

(Section 53 of the Planning Act)

**Table 37, owner and property information for 94 Preston St**

File Number:	B0037/17SC	Zoning	Single Family (S) and Residential Semi-Detached (RS) [ZR]
Owner:	ISRAT JAHAN MRIDHA	Ward:	Scarborough Southwest (36)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	<b>94 PRESTON ST</b>	Community:	Cliffside Community
Legal Description:	PLAN M409 LOT 69 TO 70		

Notice was given and the application considered on Thursday, September 7, 2017, as required by the Planning Act.

**THE CONSENT REQUESTED:**

Proposal to sever the land at 94 Preston Street into 2 lots for single family houses. The proposed lots are shown as Parts 1 and 2 on the attached Lot Division Plan. Each lot would have a frontage of 7.62 m on Preston Street and a lot area of approximately 360 m<sup>2</sup>.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

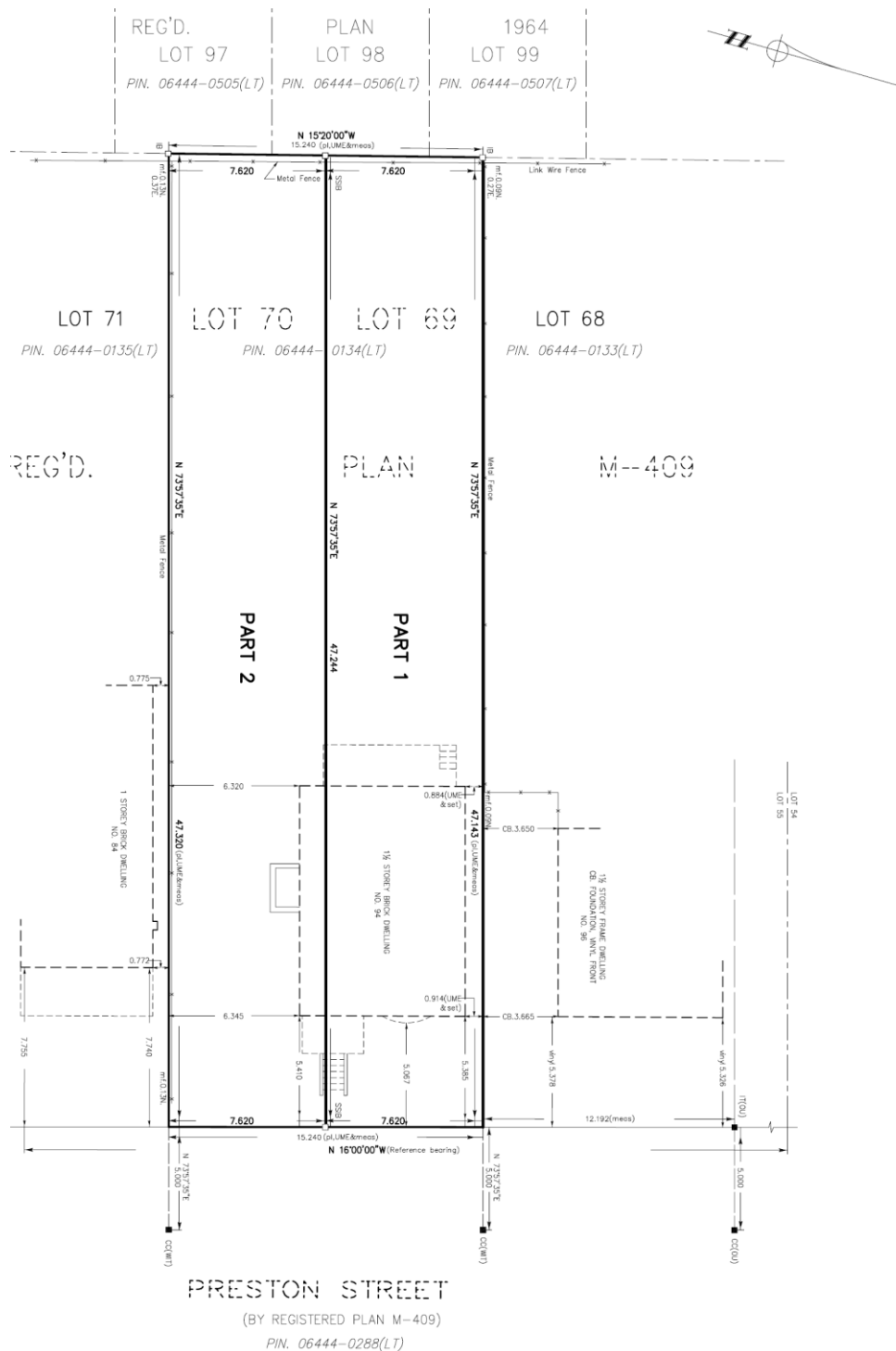
**The Consent Application is Approved on Condition**

The Committee has considered the provisions of Section 51(24) of the *Planning Act* and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the attached Lot Division Plan on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the *Planning Act*, the applicant is to file the following with the Committee office:

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering

Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca

3. **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designate, Virgil Gomes at 416-338-5033; vgomes@toronto.ca
4. **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
5. The Owner shall satisfy the following conditions to the satisfaction of Toronto Urban Forestry:
  - a. The Owner shall submit a complete application for permit to injure or destroy privately owned tree(s).
  - b. The Owner shall submit a complete application for permit to injure or destroy City-owned tree(s). A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal of the subject tree(s). Form located at:  
[www.toronto.ca/trees/pdfs/contractor\\_services\\_agreement\\_information.pdf](http://www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf).
  - c. The Owner shall submit a tree protection guarantee security deposit of \$2,012.00 to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry.
  - d. The owner shall provide payment of \$583 per tree for 1 tree to be planted on the City road allowance, (one for each of the sites involved in the application) as per City Council direction.
6. The Owner shall obtain Final and Binding Approval Decisions on minor variance applications A237/17SC and A238/17SC, to the satisfaction of the Deputy Secretary-Treasurer, Committee of Adjustment, Scarborough Panel.
7. Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



Lot Division Plan  
 Applicant's Submitted Drawing  
 Not to Scale

94 Preston Street  
 File # B0037/17SC

07/09/2017

Attachment 1

## SIGNATURE PAGE

**Table 38, owner and property information for 94 Preston St signature page**

File Number:	B0037/17SC	Zoning	Single Family (S) and Residential Semi-Detached (RS) [ZR]
Owner:	ISRAT JAHAN MRIDHA	Ward:	Scarborough Southwest (36)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	<b>94 PRESTON ST</b>	Community:	Cliffside Community
Legal Description:	PLAN M409 LOT 69 TO 70		

**Table 39, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Monday, October 2, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

## **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

**NOTE:** Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)****Table 40, owner and property information for 94 Preston St, Part 1**

File Number:	A0237/17SC	Zoning	Single Family (S) and Residential Semi-Detached (RS) [ZR]
Owner:	ISRAT JAHAN MRIDHA	Ward:	Scarborough Southwest (36)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	<b>94 PRESTON ST PART 1</b>	Community:	Cliffside Community
Legal Description:	PLAN M409 LOT 69 TO 70		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The owner is requesting consent to sever the land at 94 Preston Street into two lots, and has applied for variances for the proposed north lot, shown as Part 1 on the attached Lot Division Plan. The owner is proposing to demolish the existing dwelling and build a new single family dwelling.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed lot frontage is 7.6 m  
Whereas the minimum required lot frontage is 15 m
2. The proposed lot area is 359 m<sup>2</sup>  
Whereas the minimum required lot area is 510 m<sup>2</sup>
3. The proposed floor area is 295 m<sup>2</sup> (*including the basement, which is considered to be the first floor because it is the closest floor to grade*)  
Whereas the maximum permitted floor area is 204 m<sup>2</sup>
4. A floor area of 6.0 m<sup>2</sup> is proposed to be located within 4.0 m of the front main wall  
Whereas a minimum of 10 m<sup>2</sup> of the first floor area is required within 4 m of the front main wall

5. 100% of the side main walls are above 7.0 m (the proposed height is 7.8 m)  
Whereas 100% of the side main walls must be below 7.0 m
6. The proposed number of storeys is 3 (*including the basement, which is considered to be the first floor because it is the closest floor to grade*)  
Whereas the maximum permitted number of storeys is 2
7. The proposed building length is 17.5 m  
Whereas the maximum permitted building length is 17 m measured between the front main wall of the building and the rear main wall of the building
8. The proposed second floor platform (rear deck) area is 11.5 m<sup>2</sup>  
Whereas the maximum permitted area of each platform at or above the second storey is 4.0 m<sup>2</sup>

By-law No. 8786:

9. The proposed floor area is 209 m<sup>2</sup>  
Whereas the maximum permitted floor area is 204 m<sup>2</sup>
10. The proposed basement height is 2.0 m  
Whereas the maximum permitted building height is 1.0 m measured from the averaged finished grade at the front main wall of the building to the ceiling of the basement.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**Minor Variance Items 1-5 & 7-10 are Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**Minor Variance Item 6 is Refused**

It is the decision of the Committee of Adjustment to NOT approve this variance for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

**Table 41, owner and property information for 94 Preston Street, Part 1 signature page**

File Number:	A0237/17SC	Zoning	Single Family (S) and Residential Semi-Detached (RS) [ZR]
Owner:	ISRAT JAHAN MRIDHA	Ward:	Scarborough Southwest (36)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	<b>94 PRESTON ST PART 1</b>	Community:	Cliffside Community
Legal Description:	PLAN M409 LOT 69 TO 70		

**Table 42, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)



To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)****Table 43, owner and property information for 94 Preston Street, Part 2**

File Number:	A0238/17SC	Zoning	Single Family (S) and Residential Semi-Detached (RS) [ZR]
Owner:	ISRAT JAHAN MRIDHA	Ward:	Scarborough Southwest (36)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	<b>94 PRESTON ST PART 2</b>	Community:	Cliffside Community
Legal Description:	PLAN M409 LOT 69 TO 70		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The owner is requesting consent to sever the land at 94 Preston Street into two lots, and has applied for variances for the proposed south lot, shown as Part 2 on the attached Lot Division Plan. The owner is proposing to demolish the existing dwelling and build a new single family dwelling.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed lot frontage is 7.6 m  
Whereas the minimum required lot frontage is 15 m
2. The proposed lot area is 359 m<sup>2</sup>  
Whereas the minimum required lot area is 510 m<sup>2</sup>
3. The proposed floor area is 295 m<sup>2</sup> (*including the basement, which is considered to be the first floor because it is the closest floor to grade*)  
Whereas the maximum permitted floor area is 204 m<sup>2</sup>
4. A floor area of 6.0 m<sup>2</sup> is proposed to be located within 4.0 m of the front main wall  
Whereas a minimum of 10 m<sup>2</sup> of the first floor area is required within 4 m of the front main wall

5. 100% of the side main walls are above 7.0 m (the proposed height is 7.8 m)  
Whereas 100% of the side main walls must be below 7.0 m
6. The proposed number of storeys is 3 (*including the basement, which is considered to be the first floor because it is the closest floor to grade*)  
Whereas the maximum permitted number of storeys is 2
7. The proposed building length is 17.5 m  
Whereas the maximum permitted building length is 17 m measured between the front main wall of the building and the rear main wall of the building
8. The proposed second floor platform (rear deck) area is 11.5 m<sup>2</sup>  
Whereas the maximum permitted area of each platform at or above the second storey is 4.0 m<sup>2</sup>

By-law No. 8786:

9. The proposed floor area is 209 m<sup>2</sup>  
Whereas the maximum permitted floor area is 204 m<sup>2</sup>
10. The proposed basement height is 2.0 m  
Whereas the maximum permitted building height is 1.0 m measured from the averaged finished grade at the front main wall of the building to the ceiling of the basement.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**Minor Variance Items 1-5 & 7-10 are Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

**Minor Variance Item 6 is Refused**

It is the decision of the Committee of Adjustment to NOT approve this variance for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

## SIGNATURE PAGE

**Table 44, owner and property information for 94 Preston Street, Part 2, signature page**

File Number:	A0238/17SC	Zoning	Single Family (S) and Residential Semi-Detached (RS) [ZR]
Owner:	ISRAT JAHAN MRIDHA	Ward:	Scarborough Southwest (36)
Agent:	LEMCAD CONSULTANTS	Heritage:	Not Applicable
Property Address:	<b>94 PRESTON ST PART 2</b>	Community:	Cliffside Community
Legal Description:	PLAN M409 LOT 69 TO 70		

**Table 45, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

## **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**Table 46, owner and property information for 1-37 William Kitchen Road**

File Number:	A103/14SC	Zoning	Mixed Employment (ME) Zone [Waiver]
Owners:	KENNEDY COMMONS INC	Ward:	Scarborough-Agincourt (40)
Agent:	FIRST GULF CORPORATION	Heritage:	Not Applicable
Property Address:	<b>1 - 37 WILLIAM KITCHEN RD</b>	Employment District:	Progress Employment District
Legal Description:	PLAN OF SURVEY OF LOT 22, RCP 9945, LOTS 45, 46 AND PT LOTS 33, 42 AND 44 RCP 9953 FORMER CITY OF SCARBOROUGH		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

This application is for a proposal to reduce the parking requirement for the Kennedy Commons power centre. The zoning by-law requires parking to be provided at a minimum rate of 4.8 spaces/100 m<sup>2</sup> of total gross floor area for financial institutions, personal service shop, restaurants, retail stores including lumber yards, building supply warehouses & places of entertainment, and 5.0 spaces/100 m<sup>2</sup> for a fitness centre. The owners are requesting a variance to establish a new uniform rate of 3.8 spaces/100 m<sup>2</sup> of total gross floor area.

**REQUESTED VARIANCE TO THE ZONING BY-LAW:**

**By-law No. 24982:**

The proposed parking rate is 3.8 spaces/100 m<sup>2</sup> of total gross floor area

WHEREAS the by-law requires a minimum rate of 4.8 spaces/100 m<sup>2</sup> of total gross floor area for financial institutions, personal service shop, restaurants, retail stores including lumber yards, building supply warehouses & places of entertainment, and 5.0 spaces/100 m<sup>2</sup> for a fitness centre.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance is minor.

## SIGNATURE PAGE

**Table 47, owner and property information for 1-37 William Kitchen Road, signature page**

File Number:	A103/14SC	Zoning	Mixed Employment (ME) Zone [Waiver]
Owner:	KENNEDY COMMONS INC	Ward:	Scarborough-Agincourt (40)
Agent:	FIRST GULF CORPORATION	Heritage:	Not Applicable
Property Address:	<b>1 - 37 WILLIAM KITCHEN RD</b>	Community:	
Legal Description:	PLAN OF SURVEY OF LOT 22, RCP 9945, LOTS 45, 46 AND PT LOTS 33, 42 AND 44 RCP 9953 FORMER CITY OF SCARBOROUGH		

**Table 48, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).



## **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

**Table 49, owner and property information for 3781-3791 Victoria Park Ave**

File Number:	A0204/17SC	Zoning	E - Employment Industrial/M-Industrial/MG- General Industrial [ZZC]
Owner(s):	EAGRE HOLDINGS LIMITED	Ward:	Scarborough-Agincourt (39)
Agent:	NOIR DESIGN	Heritage:	Not Applicable
Property Address:	<b>3781-3791 VICTORIA PARK AVE</b>	Community:	
Legal Description:	PLAN 9323 PT BLK T RP 64R3890 PART 4 PART 8		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to permit the existing business, Archery Circuit to continue operating in the existing building.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013

1. To permit the 147 parking space, whereas the Zoning By-law requires a minimum 171 parking spaces.

By-law No. 24982

2. To permit the 147 parking space, whereas the Zoning By-law requires a minimum 241 parking spaces.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

## SIGNATURE PAGE

**Table 50, owner and property information for 3781-3791 Victoria Park Ave, signature page**

File Number:	A0204/17SC	Zoning	E - Employment Industrail/M-Industrial/MG- General Industrial [ZZC]
Owner:	EAGRE HOLDINGS LIMITED	Ward:	Scarborough-Agincourt (39)
Agent:	NOIR DESIGN	Heritage:	Not Applicable
Property Address:	<b>3781-3791 VICTORIA PARK AVE</b>	Community:	
Legal Description:	PLAN 9323 PT BLK T RP 64R3890 PART 4 PART 8		

**Table 51, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)****Table 52, owner and property information for 1343 Warden Ave**

File Number:	A0206/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	NASREEN HOSSAIN SYED SHAHADAT HOSSAIN	Ward:	Scarborough Centre (37)
Agent:	V ROSA DESIGNS LTD	Heritage:	Not Applicable
Property Address:	<b>1343 WARDEN AVE</b>	Community:	Wexford Community
Legal Description:	PLAN M640 LOT 14		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two storey rear addition and a second storey to the existing dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013

1. To permit the proposed 21.9 metres building setback from the centreline of the street, whereas the Zoning By-law requires a minimum 22 metres building setback from the centre line of the street.
2. To permit the proposed 0.91 metres south side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.
3. To permit a second suite in a building less than 5 years old and have the same floor area as the dwelling unit, whereas the Zoning By-law permits second suites in a building constructed 5 years prior to the introduction of a second suite, and the interior floor area of a secondary suite must be less than the interior floor area of the dwelling unit.

4. To permit the proposed second storey addition containing the second suite which alters the main wall and roof that faces the street, whereas the Zoning By-law permits an addition to accommodate a second suite if it does not alter or add to a main wall and roof that faces the street.
5. To permit the proposed 2 platforms on the rear elevation of the dwelling, whereas the Zoning By-law permits maximum 1 platform on each elevation of a dwelling.
6. To permit the proposed 5.23 square metres (master bedroom balcony) and 5.36 square metres (study balcony) platforms, whereas the Zoning By-law permits maximum 4 square metres platforms.
7. To permit the proposed eaves of a roof to project 0.409 metres into the required minimum building setback, and be 0.122 metres to the south lot line, whereas the Zoning By-law permits the eaves of a roof to encroach into a required minimum building setback a maximum of 0.9 metres, if they are no closer to a lot line than 0.3 metres.

By-law No. 9511

8. To permit a second suite in a building less than 5 years old and have the same floor area as the dwelling unit, whereas the Zoning By-law permits second suites in a building constructed 5 years prior to the introduction of a second suite, and the interior floor area of a secondary suite must be less than the interior floor area of the dwelling unit.
9. To permit the proposed 21.9 metres building setback from the centreline of the street, whereas the Zoning By-law requires a minimum 22 metres building setback from the centre line of the street.
10. To permit the proposed 0.91 metres south side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

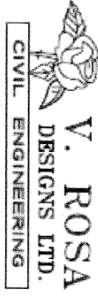
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:


The Owner shall provide permanent solid screening or fencing along the north side of the north second storey rear balcony and along the south side of the south second storey rear balcony, with a height of 1.8 m measured from the floor of the balcony.



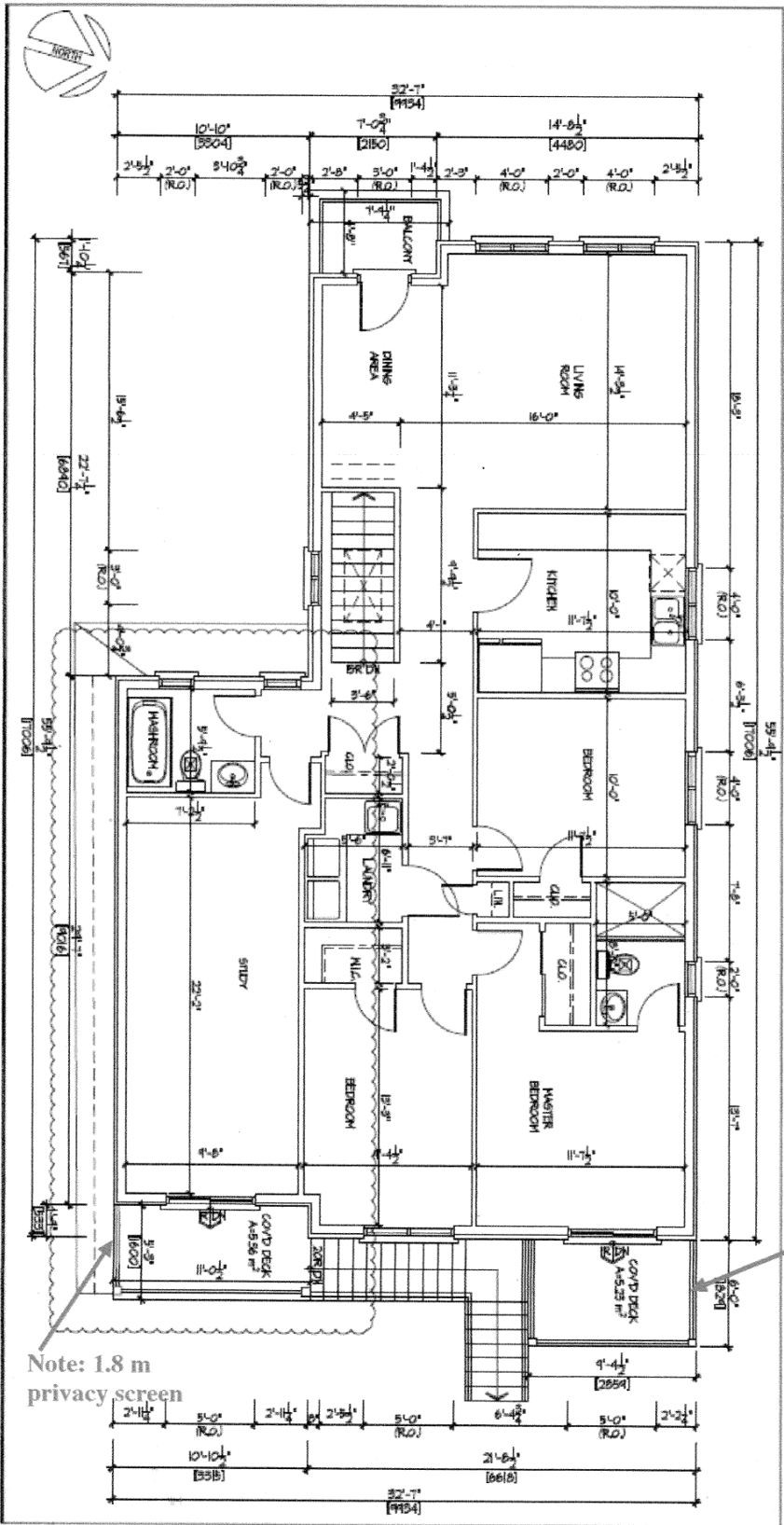
# Attachment 1: Second Floor Plan

  
**V. ROSA**  
**DESIGNS LTD.**  
 CIVIL ENGINEERING

Victor M.D. Rosa  
 Assoc. P.Eng.  
 1726 St. Clair Ave. West  
 Toronto, Ontario, M6H 1J1  
 Tel: (416) 588-0001 Fax: (416) 588-3728

 SECOND FLOOR PLAN  
 SCALE: 3/16" = 1'-0"

<p style="font-size: small;">FOR YOUR RECORD INFORMATION: THIS DRAWING IS THE PROPERTY OF V. ROSA DESIGNS LTD. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF V. ROSA DESIGNS LTD.</p> <p>PROJECT: PROF. 2 STY. REAR ADDITN &amp; 2nd FLOOR ADDITION &amp; INTERIOR ALTERATIONS AT 1343 WARDEN AVENUE CITY OF TORONTO</p>	<p style="text-align: center;">DRAWING: SECOND FLOOR PLAN</p> <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; font-size: x-small;">SCALE: AS SHOWN</td> <td style="width: 50%; font-size: x-small;">DRAWN BY: B.B.</td> </tr> <tr> <td style="font-size: x-small;">DATE: MAY 08, 2017</td> <td style="font-size: x-small;">APPROVED BY: VM/D.R.</td> </tr> <tr> <td style="font-size: x-small;">PROJECT NO.: 10066</td> <td style="font-size: x-small;">DRAWING NO.: A-4</td> </tr> </table>	SCALE: AS SHOWN	DRAWN BY: B.B.	DATE: MAY 08, 2017	APPROVED BY: VM/D.R.	PROJECT NO.: 10066	DRAWING NO.: A-4
SCALE: AS SHOWN	DRAWN BY: B.B.						
DATE: MAY 08, 2017	APPROVED BY: VM/D.R.						
PROJECT NO.: 10066	DRAWING NO.: A-4						



Note: 1.8 m privacy screen

Note: 1.8 m privacy screen

## SIGNATURE PAGE

**Table 53, owner and property information for 1343 Warden Avenue, signature page**

File Number:	A0206/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	NASREEN HOSSAIN SYED SHAHADAT HOSSAIN	Ward:	Scarborough Centre (37)
Agent:	V ROSA DESIGNS LTD	Heritage:	Not Applicable
Property Address:	<b>1343 WARDEN AVE</b>	Community:	Wexford Community
Legal Description:	PLAN M640 LOT 14		

**Table 54, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

**Table 55, owner and property information for 32 Phenix Drive**

File Number:	A0208/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	CARMELO MIZZI	Ward:	Scarborough Southwest (36)
Agent:	DANILO MARASIGAN	Heritage:	Not Applicable
Property Address:	<b>32 PHENIX DR</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3585 PT LOT 10		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a second storey addition to the existing single family dwelling with a two storey rear addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013

1. To permit the proposed 39% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.
2. To permit the proposed 1.27 metres platform encroachment into the front yard, whereas the Zoning By-law permits maximum 0.66 metres platform encroachment into the front yard.
3. To permit the proposed 2.28 metres driveway width, whereas the Zoning By-law requires a minimum 2.6 metres driveway width.

By-law No. 8786

4. To permit the proposed 39% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

5. To permit the proposed 2.28 metres driveway width, whereas the Zoning By-law requires a minimum 2.6 metres driveway width.
6. To permit the proposed 1.324 metres building setback from the street line, whereas the Zoning By-law requires a minimum 6 metres building setback from the street line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This decision is subject to the following condition(s):

1. The Owner shall submit a complete application for permit to injure or remove privately owned tree(s).

## SIGNATURE PAGE

**Table 56, owner and property information for 32 Phenix Drive, signature page**

File Number:	A0208/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	CARMELO MIZZI	Ward:	Scarborough Southwest (36)
Agent:	DANILO MARASIGAN	Heritage:	Not Applicable
Property Address:	<b>32 PHENIX DR</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3585 PT LOT 10		

**Table 57, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

**Table 58, owner and property information for 90 Melford Drive, Unit 23**

File Number:	A0224/17SC	Zoning	Special Industrial (MS) & Employment Heavy Industrial (EH) Zone [ZR]
Owners:	MELFORD INDUSTRIAL INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	<b>90 MELFORD DR UNIT 23</b>	Employment District:	Marshalling Yard Employment District
Legal Description:	PL M1546 PT BLK Q NOW RP 66R9602 PT 1 & 2		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To permit a vehicle repair garage to occupy Unit 23 in the existing multi-tenant industrial building.

**REQUESTED VARIANCE TO THE ZONING BY-LAW:**

1. To permit a vehicle repair garage in Unit 23;  
Whereas a vehicle repair garage is not a permitted use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance is minor.



## SIGNATURE PAGE

**Table 59, owner and property information for 90 Melford Drive, Unit 23, signature page**

File Number:	A0224/17SC	Zoning	Special Industrial (MS) & Employment Heavy Industrial (EH) Zone [ZR]
Owner:	MELFORD INDUSTRIAL INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	<b>90 MELFORD DR UNIT 23</b>	Employment District:	Marshalling Yard Employment District
Legal Description:	PL M1546 PT BLK Q NOW RP 66R9602 PT 1 & 2		

**Table 60, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

#### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

**Table 61, owner and property information for 86 Melford Dr, Unit 2/3**

File Number:	A0225/17SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [ZR]
Owner(s):	1428914 ONTARIO INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	<b>86 MELFORD DR – UNITS 2/3</b>	Employment:	Marshalling Yard Employment District
Legal Description:	PLAN M1546 PT BLK P RP 66R9643 PART 1		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To permit a vehicle repair garage to occupy Units 2 & 3 in the existing multi-tenant industrial building.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 24982:

1. To permit a vehicle repair garage in Units 2 & 3;  
Whereas a vehicle repair garage is not a permitted use.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## SIGNATURE PAGE

**Table 62, owner and property information for 86 Melford Dr, Unit 2/3, signature page**

File Number:	A0225/17SC	Zoning	Employment Heavy Industrial (EH) & Special Industrial (MS) Zone [ZR]
Owner:	1428914 ONTARIO INC	Ward:	Scarborough-Rouge River (42)
Agent:	THOMAS SCANLON	Heritage:	Not Applicable
Property Address:	<b>86 MELFORD DR – UNITS 2/3</b>	Employment:	Marshalling Yard Employment District
Legal Description:	PLAN M1546 PT BLK P RP 66R9643 PART 1		

**Table 63, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant

- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)****Table 64, owner and property information for 17 Briar Dale Blvd**

File Number:	A0226/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner(s):	MARK WOULD	Ward:	Scarborough Southwest (36)
Agent:	TIMBER WOLF DESIGN BUILD INC	Heritage:	Not Applicable
Property Address:	<b>17 BRIAR DALE BLVD</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3223 PT LOT 26		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new second storey addition to the existing one storey dwelling with a two storey side addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013

1. To permit the proposed 0.3 metres south west side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.
2. To permit the proposed 242 square metres floor area, whereas the Zoning By-law permits maximum 204 square metres or 0.5 times the lot area.
3. To permit the proposed 36.7% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
4. To permit the proposed 9.1 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.

5. To permit the proposed 0.77 metres second floor front bay window projections, whereas the Zoning By-law permits maximum 0.75 metres into the front yard setback.
6. To permit the proposed roof overhang to be 0.158 metres on the south west side yard, whereas the Zoning By-law permit the eaves of a roof to encroach into a required minimum building setback a maximum of 0.9 metres, if they are no closer to a lot line than 0.3 metres.

By-law No. 8786

7. To permit the existing/proposed 4.1 metres front yard setback, whereas the Zoning By-law requires a minimum 6 metres front yard setback.
8. To permit the proposed 0.3 metres south west side yard setback, whereas the Zoning By-law requires a minimum 0.45 metres side yard setback.
9. To permit the proposed 9.1 metres building height, whereas the Zoning By-law permits maximum 9 metres building height.
10. To permit the proposed 242 square metres floor area, whereas the Zoning By-law permits maximum 204 square metres or 0.5 times the lot area.
11. To permit the proposed 38.4% lot coverage, whereas the Zoning By-law permits a maximum 33% lot coverage.
12. To permit the proposed 9.5 metres by 3.6 metres garage dimensions, whereas the Zoning By-law permits a maximum 7.6 metres by 7.6 metres garage dimensions.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

## SIGNATURE PAGE

**Table 65, owner and property information for 17 Briar Dale Blvd, signature page**

File Number:	A0226/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [WAIVER]
Owner:	MARK WOULD	Ward:	Scarborough Southwest (36)
Agent:	TIMBER WOLF DESIGN BUILD INC	Heritage:	Not Applicable
Property Address:	<b>17 BRIAR DALE BLVD</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3223 PT LOT 26		

**Table 66, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant



- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

**Table 67, owner and property information for 599-605 Kennedy Road**

File Number:	A0228/17SC	Zoning	Highway Commercial (HC) Zone [ZR]
Owner(s):	HARPLIN INC HARPLIN INC	Ward:	Scarborough Southwest (35)
Agent:	CADAXX DESIGN LTD	Heritage:	Not Applicable
Property Address:	<b>599-605 KENNEDY RD</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 2 RP 64R8883 PART 3		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To convert the existing multi-tenant commercial building into a single tenant unit consisting of administrative workspaces. The proposed work is to be done through interior alterations and no additional structures are proposed.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 9276:

1. A total of 11 parking spaces are provided on the site;  
Whereas a minimum of 18 parking spaces are required for the site.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## SIGNATURE PAGE

**Table 68, owner and property information for 599-605 Kennedy Road, signature page**

File Number:	A0228/17SC	Zoning	Highway Commercial (HC) Zone [ZR]
Owner:	HARPLIN INC HARPLIN INC	Ward:	Scarborough Southwest (35)
Agent:	CADAXX DESIGN LTD	Heritage:	Not Applicable
Property Address:	<b>599-605 KENNEDY RD</b>	Community:	Kennedy Park Community
Legal Description:	PLAN 3507 PT LOT 2 RP 64R8883 PART 3		

**Table 69, for Panel Members signatures**

_____ David Peacock (signed)	_____ Eden Gajraj (signed)	_____ Hena Kabir (signed)
_____ Nimrod Salamon (signed)	_____ Sean Karmali (signed)	

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

## ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**Table 70, owner and property information for 16 Feeney Ave**

File Number:	A0233/17SC	Zoning	Residential Townhouse (RT) & Single Family (S)/Semi-Detached (SD) Zones [ZR]
Owner(s):	PERSAUD BHESHAM	Ward:	Scarborough-Rouge River (42)
Agent:	PERSAUD BHESHAM	Heritage:	Not Applicable
Property Address:	<b>16 FEENEY AVE</b>	Community:	Malvern Community
Legal Description:	PLAN M2071 LOT 173		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new rear deck.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013:

1. The proposed deck and existing dwelling will cover 41.73% of the lot area;  
Whereas the maximum permitted coverage is 33% of the lot area.
2. The proposed rear deck will be located 0.4 m from the north side lot line, 1.22 m from the south side lot line and will encroach a 2.93 m into the required rear yard setback (8.13 m);  
Whereas the maximum permitted encroachment is 2.5 m into a required rear yard setback.

By-law No. 14402:

3. The proposed rear deck will project 2.29 m into the required rear yard setback (7.5 m);  
Whereas the maximum permitted projection is 2 m into a required rear yard setback.
4. The proposed rear deck will be located 0.4 m from the north side lot line and 1.64 m from the dwelling on the adjacent lot;  
Whereas the minimum required side yard setback is 0.45 m from a lot line and 1.8 m from an adjoining dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## SIGNATURE PAGE

**Table 71, owner and property information for 16 Feeney Ave, signature page**

File Number:	A0233/17SC	Zoning	Residential Townhouse (RT) & Single Family (S)/Semi-Detached (SD) Zones [ZR]
Owner:	PERSAUD BHESHAM	Ward:	Scarborough-Rouge River (42)
Agent:	PERSAUD BHESHAM	Heritage:	Not Applicable
Property Address:	<b>16 FEENEY AVE</b>	Community:	Malvern Community
Legal Description:	PLAN M2071 LOT 173		

**Table 72, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.



Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)****Table 73, owner and property information for 72 Clonmore Drive**

File Number:	A0234/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	SAMAD RASHID	Ward:	Scarborough Southwest (36)
Agent:	JR DESIGN AND CONSTRUCTION	Heritage:	Not Applicable
Property Address:	<b>72 CLONMORE DR</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3952 LOT 6		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new two-storey single family dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013

1. To permit the proposed floor area 0.58 time the lot area, whereas the Zoning By-law permits maximum 0.5 times the lot area.
2. To permit the proposed building length of 19 metres measured from the front wall to the rear wall, whereas the Zoning By-law permits maximum building length of 17 metres.

By-law No. 8786

3. To permit the proposed 5.37 metres building setback from the street line, whereas the Zoning By-law requires a minimum 6 metres building setback from the street line.
4. To permit the proposed 33.7% lot coverage, whereas the Zoning By-law permits maximum 33% lot coverage.

5. To permit the proposed floor area 0.54 time the lot area, whereas the Zoning By-law permits maximum 0.5 times the lot area.
6. To permit the proposed 1.9 metres front porch projection, whereas the Zoning By-law permits maximum 1.55 metres front porch projection.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This Approval is Conditional on the Following:

1. The Owner shall build substantially in accordance with the Site Plan, Drawing No. A1, South Elevation A7, and North Elevation A8, prepared by jr Design Construction, dated January 31, 2016, in order to ensure the proposed one-storey extension at the rear shall only extend 2 metres in length by 4 metres in width and a maximum height of 5 metres. (see Attachments : Site Plan, South Elevation and North Elevation).
2. The owner shall provide payment of \$583 per tree for 1 trees to be planted on the City road allowance, (one for each of the sites involved in the application) as per City Council direction.

# Attachments 1: Site Plan

## Statistics

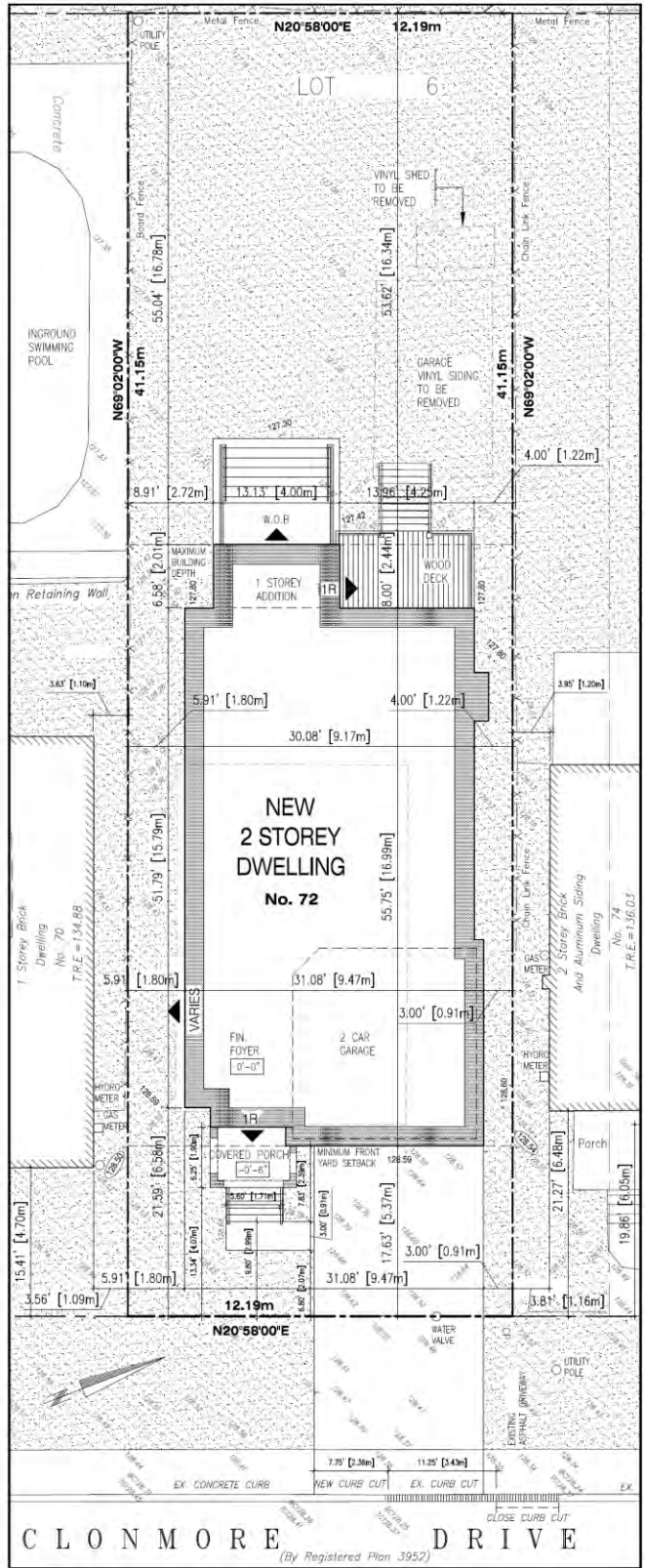
Property Information: 72 CLONMORE AVE, TORONTO, ON M6R 1Y8 - Part of Lots 6, Registered Plan 3952			
Zoning Description: R2 (P15.5)(252) Total Lot Area: 5,398 sq. ft.   501.49 sq.m.			
	Existing	Proposed	
Lot Coverage 33% MAX.	108.53 sq.m. (1,179 sq.ft.) 21.8%	169.26 sq.m. (1,822 sq.ft.) 31.73%	
Ground Floor Area - Basement Plan	81.84 sq.m. (881 sq.ft.)	128.53 sq.m. (1,382 sq.ft.)	
Ground Floor Area - Ground Floor Plan	81.84 sq.m. (881 sq.ft.)	136.53 sq.m. (1,467 sq.ft.)	
Garage Area	N/A	57.73 sq.m. (620 sq.ft.)	
Roof Pitch Area	8.73 sq.m. (94 sq.ft.)	5.01 sq.m. (54 sq.ft.)	
First Floor Area	18.96 sq.m. (205 sq.ft.)	18.96 sq.m. (205 sq.ft.)	
Second Floor Area	N/A	147.30 sq.m. (1,593 sq.ft.)	
Open Floor Area - Detachable Area	N/A	7.04 sq.m. (75 sq.ft.)	
Open Floor Area - Total (Not Including the Basement Plan)	81.84 sq.m. (881 sq.ft.) 16.32%	375.73 sq.m. (4,069 sq.ft.) 69.97%	
Building Length	11.37m (37.30ft)	16.80m (55.26ft)	
Building Length + 1 Storey Rear Ext.	11.37m (37.30ft)	19.00m (62.34ft)	
Building Depth	12.04m (39.32ft)	19.00m (62.34ft)	
Finishing	1 - 3/8" dia.	2 - 3/8" dia.	
Building Height	10.90m	9.00m (29.52 ft)	
Setback, Front Yard (East)	6.05m (19.84ft)	5.17m (17.00ft)	
Setback, Rear Yard (West)	23.70m (77.80ft)	16.76m (55.00ft)	
Setback, Side Yard (South) 0.9m MIN.	1.57m (5.14ft)	1.80m (5.91ft)	
Setback, Side Yard (North) 0.9m MIN.	3.30m (10.83ft)	0.91m (2.99ft)	

INFORMATION TAKEN FROM TOPOGRAPHY OF  
PART OF LOTS 6 REGISTERED PLAN 3952  
CITY OF TORONTO, FORMERLY IN THE CITY OF SCARBOROUGH  
(TAKEN FROM G.T.A. SURVEYING INC.)  
DATED: OCTOBER 1, 2015

## Drawing Title List

- A1 - Title Sheet & Site Plan
- A2 - Basement Plan
- A3 - Ground Floor Plan
- A4 - Second Floor Plan
- A5 - Roof Plan
- A6 - East Elevation
- A7 - South Elevation
- A8 - North Elevation
- A9 - West Elevation

DATE	2015
DESIGNER	JOHN RAMIREZ
DRAWN BY	JOHN RAMIREZ
CHECKED BY	JOHN RAMIREZ
SCALE	AS SHOWN



PROJECT NAME	72 CLONMORE AVE
CLIENT	CITY OF TORONTO, ONTARIO
DATE	2015
SCALE	AS SHOWN
DESIGNER	JOHN RAMIREZ
DRAWN BY	JOHN RAMIREZ
CHECKED BY	JOHN RAMIREZ

NO.	4	DATE	
DESCRIPTION	1 - SUBMITTED NEW DESIGN	2015.01.31	JS
	2 - SUBMITTED ZOC APPLICATION	2015.04.15	JS
	3 - REVISIONS		
	4 -		

DESIGNER MUST NOT BE SOLELY RESPONSIBLE FOR THE DESIGN AND GENERAL DRAWINGS TO BE READ IN CONJUNCTION WITH GENERAL NOTES AND SPECIFICATIONS.

1034-620 Fleet Street, Toronto, ON M6R 1B7  
 (416) 737-9414 | www.design+construction.com

**DESIGN + CONSTRUCTION**

**NORTH ARROW**

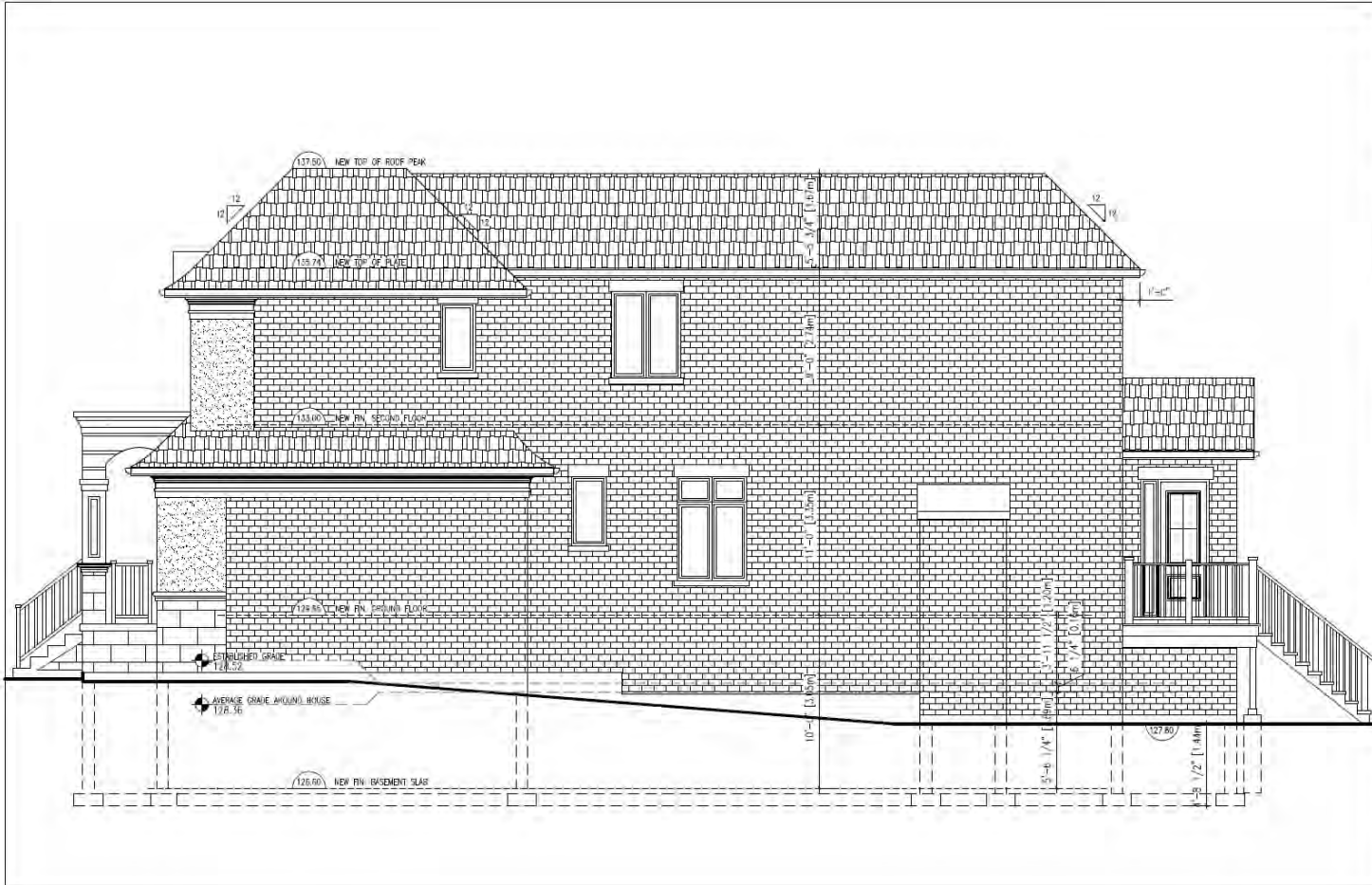
Page Number: **A1**

Attachments 2: South Elevation



1 SOUTH ELEVATION SCALE: 3/16" = 1'-0"

Attachments 3: North Elevation



1 NORTH ELEVATION SCALE: 3/16" = 1'-0"

72 CLONMORE AVE CLONMOUNT, VA	
DATE: 2/1/2017	PROJECT: 170323001
BY: J. BERTEZ	DESCRIPTION: NORTH ELEVATION
CHECKED BY: J. BERTEZ	SCALE: 3/16" = 1'-0"
DATE: 2/1/2017	PROJECT: 170323001
CONSULTANT: J. BERTEZ 10000 Hill Road, Fairfax, VA 22031 TEL: 703.441.8888 FAX: 703.441.8889 WWW.BERTEZ.COM	
NORTH ARROW 	
AC 	

## SIGNATURE PAGE

**Table 74, owner and property information for 72 Clonmore Drive, signature page**

File Number:	A0234/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	SAMAD RASHID	Ward:	Scarborough Southwest (36)
Agent:	JR DESIGN AND CONSTRUCTION	Heritage:	Not Applicable
Property Address:	<b>72 CLONMORE DR</b>	Community:	Birchcliff Community
Legal Description:	PLAN 3952 LOT 6		

**Table 75, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant

- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

*\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the **Application Information Centre** and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.*

Thursday, September 7, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**Table 76, owner and property information for 36 Donalda Cres**

File Number:	A0235/17SC	Zoning	Residential Detached (RD) & Single-Family (S) [ZR]
Owner(s):	LEPHUONG LU THEMICH LUONG	Ward:	Scarborough-Rouge River (41)
Agent:	VULCAN DESIGN INC	Heritage:	Not Applicable
Property Address:	<b>36 DONALDA CRES</b>	Community:	Agincourt Community
Legal Description:	PLAN 1909 LOT 75		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 10076:

1. The proposed dwelling will have a floor area equal to 0.43 times the lot area (421.6 m<sup>2</sup>); Whereas the maximum permitted floor area is 0.4 times the lot area (394.96 m<sup>2</sup>).
2. The proposed rear covered deck (loggia) will have dimensions of 3.66 m by 8.95 m; Whereas the maximum permitted dimensions of an accessory structure is 7.6 m by 7.6 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.



- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall submit a complete application for permit to injure or remove privately owned tree(s).
2. The applicant shall submit to Urban Forestry a complete application to Injure or Destroy Trees for City owned trees, as per City of Toronto Municipal Code Chapter 813, Article II.
3. The Owner shall submit a tree protection guarantee security deposit of **\$14,983** to guarantee the protection of City-owned trees according to the Tree Protection Policy and Specifications for Construction Near Trees or as otherwise approved by Urban Forestry.

## SIGNATURE PAGE

**Table 77, owner and property information for 36 Donalda Crescent, signature page**

File Number:	A0235/17SC	Zoning	Residential Detached (RD) & Single-Family (S) [ZR]
Owner:	LEPHUONG LU THEMICH LUONG	Ward:	Scarborough-Rouge River (41)
Agent:	VULCAN DESIGN INC	Heritage:	Not Applicable
Property Address:	<b>36 DONALDA CRES</b>	Community:	Agincourt Community
Legal Description:	PLAN 1909 LOT 75		

**Table 78, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**Table 79, owner and property information for 14 Janellan Terrace**

File Number:	A0236/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner(s):	MICHAEL HERMAN	Ward:	Scarborough East (44)
Agent:	KYLE KHADRA	Heritage:	Not Applicable
Property Address:	<b>14 JANELLAN TER</b>	Community:	West Hill Community
Legal Description:	PLAN M1094 LOT 3		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to construct a new second storey addition to the existing one and a half storey dwelling with a two storey side addition.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013

1. To permit the proposed 0.6 metres east side yard setback, whereas the Zoning By-law requires a minimum 1.2 metres side yard setback.
2. To permit the proposed 356.2 square metres floor area or 0.58 time the lot area, whereas the Zoning By-law permits maximum 279 square metres or 0.5 times the lot area.
3. To permit the proposed 7.3 metres rear yard setback, whereas the Zoning By-law requires a minimum 8.25 metres rear yard setback.
4. To permit the proposed 0 square metres of the proposed first floor to be within 4 metres of the front main wall, whereas the Zoning By-law requires a minimum 10 square metres of the first floor to be within 4 metres of the front main wall.

5. To permit the proposed platform encroachment of 2.97 metres into the required rear yard setback, whereas the Zoning By-law permits maximum 2.5 metres encroachment into the rear yard setback.
6. To permit the proposed eaves to project 1.2 metres and would be 0.15 metres front the side lot line, whereas the Zoning By-law permits the roof eaves to project a maximum 0.9 metres provided that they are no closer than 0.3 metres to a lot line.

By-law No. 10327

7. To permit the proposed 7.3 metres rear yard setback, whereas the Zoning By-law requires a minimum 8.25 metres rear yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

## SIGNATURE PAGE

**Table 80, owner and property information for 14 Janellan Terrace, signature page**

File Number:	A0236/17SC	Zoning	RD - Residential Detached/S - Single Family Residential [ZZC]
Owner:	MICHAEL HERMAN	Ward:	Scarborough East (44)
Agent:	KYLE KHADRA	Heritage:	Not Applicable
Property Address:	<b>14 JANELLAN TER</b>	Community:	West Hill Community
Legal Description:	PLAN M1094 LOT 3		

**Table 81, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

**Table 82, owner and property information for 496 Huntingwood Drive**

File Number:	A0240/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	ZAVEN SIMONIAN	Ward:	Scarborough-Agincourt (40)
Agent:	ZAVEN SIMONIAN	Heritage:	Not Applicable
Property Address:	<b>496 HUNTINGWOOD DR</b>	Community:	Sullivan Community
Legal Description:	PLAN M969 LOT 6		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To legalize and maintain the as-built deck in the rear yard.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013:

1. The rear deck is located 5.03 m from the rear lot line;  
Whereas the minimum required rear yard setback is 8.76 m.

By-law No. 10717:

2. The rear deck is located 5.03 m from the rear lot line;  
Whereas the minimum required rear yard setback is 8.3 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.



- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## SIGNATURE PAGE

**Table 83, owner and property information for 496 Huntingwood Drive, signature page**

File Number:	A0240/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	ZAVEN SIMONIAN	Ward:	Scarborough-Agincourt (40)
Agent:	ZAVEN SIMONIAN	Heritage:	Not Applicable
Property Address:	<b>496 HUNTINGWOOD DR</b>	Community:	Sullivan Community
Legal Description:	PLAN M969 LOT 6		

**Table 84, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

## **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**Table 85, owner and property information for 114 Brooklawn Avenue**

File Number:	A0241/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	CATHERINE LYNN THORNTON	Ward:	Scarborough Southwest (36)
Agent:	DAVID R SMITH	Heritage:	Not Applicable
Property Address:	<b>114 BROOKLAWN AVE</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 409, 410 & PT LOT 411		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

Proposed new parking space and paved driveway for the existing house. The garage on the adjacent, severed land will be demolished, but the existing breezeway will be retained.

**REQUESTED VARIANCES TO THE ZONING BY-LAW:**

By-law No. 569-2013:

1. The proposed vehicle access to a parking space is from the front street (Brooklawn Avenue)  
Whereas vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street (Sloley Road)
2. The proposed eaves are 0.05 m from the south lot line.  
Whereas roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
3. The proposed south side yard setback is 0.09 m  
Whereas the minimum required south side yard setback is 0.9 m
4. The proposed parking space width is 2.6 m  
Whereas the minimum required parking space width is 3.2 m

By-law No. 9396:

5. The proposed driveway width is 2.4 m  
Whereas the minimum required driveway width is 2.6 m
6. The proposed South side yard setback is 0.09 m  
Whereas the required minimum side yard setbacks are 0.9 m each side.
7. The proposed parking space will have a width of 2.6 m  
Whereas the required parking space must have a minimum width of 3.3 m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

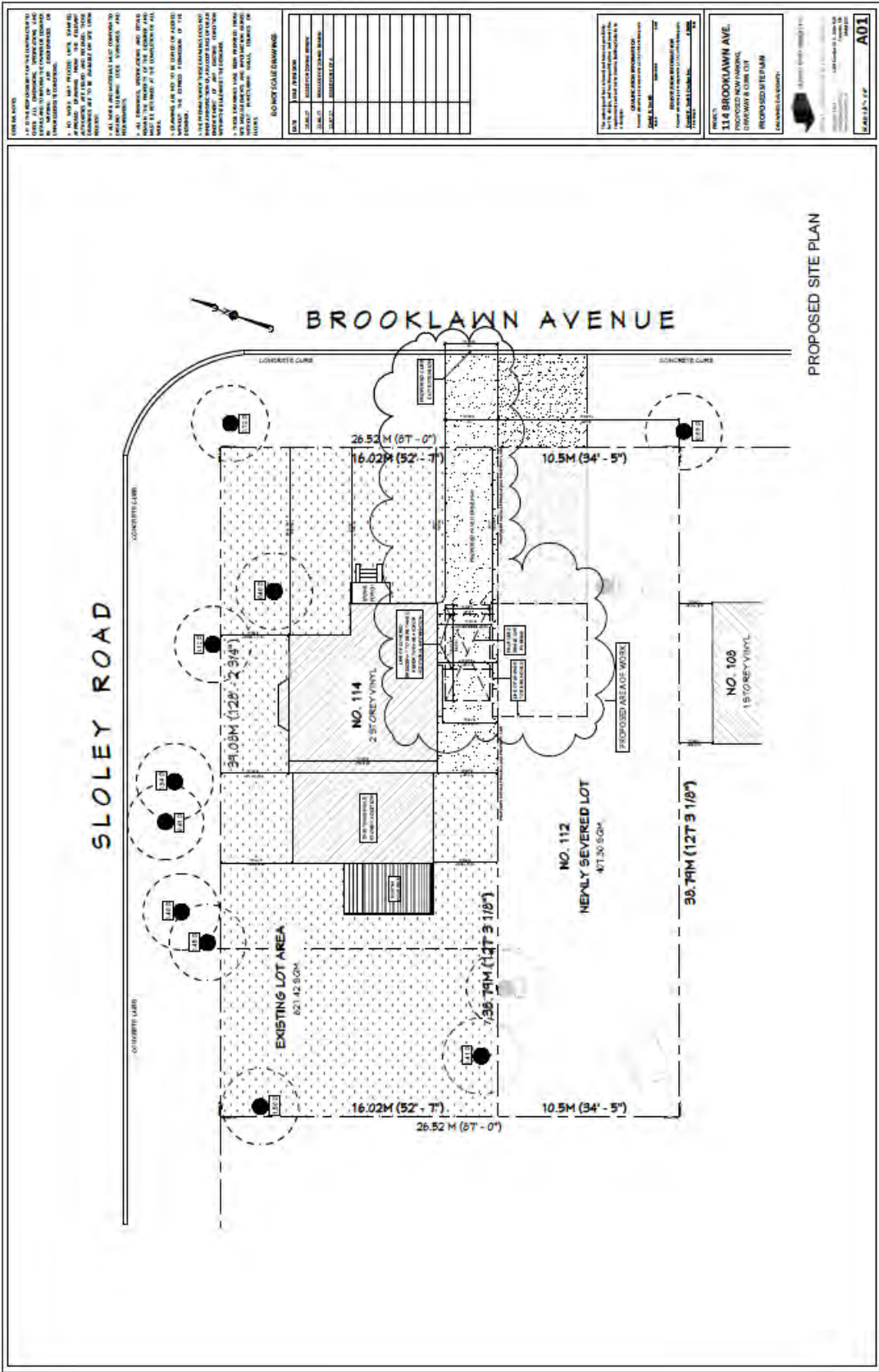
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variances are considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variances are minor.

This approval is conditional on the following:

1. The Owner shall build substantially in accordance with the following drawings:
  - a. Site Plan, Drawing No. A01, prepared by David Smith, dated July 11, 2017, as it relates to the breezeway (see Attachment 1: Site Plan)
  - b. East Elevation (Front), Drawing No. A03, prepared by David Smith, dated, July 11, 2017, as it relates to the breezeway (see Attachment 2: East Elevation)
  - c. Cross Section, Drawing No. A04, prepared by David Smith, dated July 11, 2017, as it relates to the breezeway (see Attachment 3: Cross Section)

## Attachment 1: Site Plan



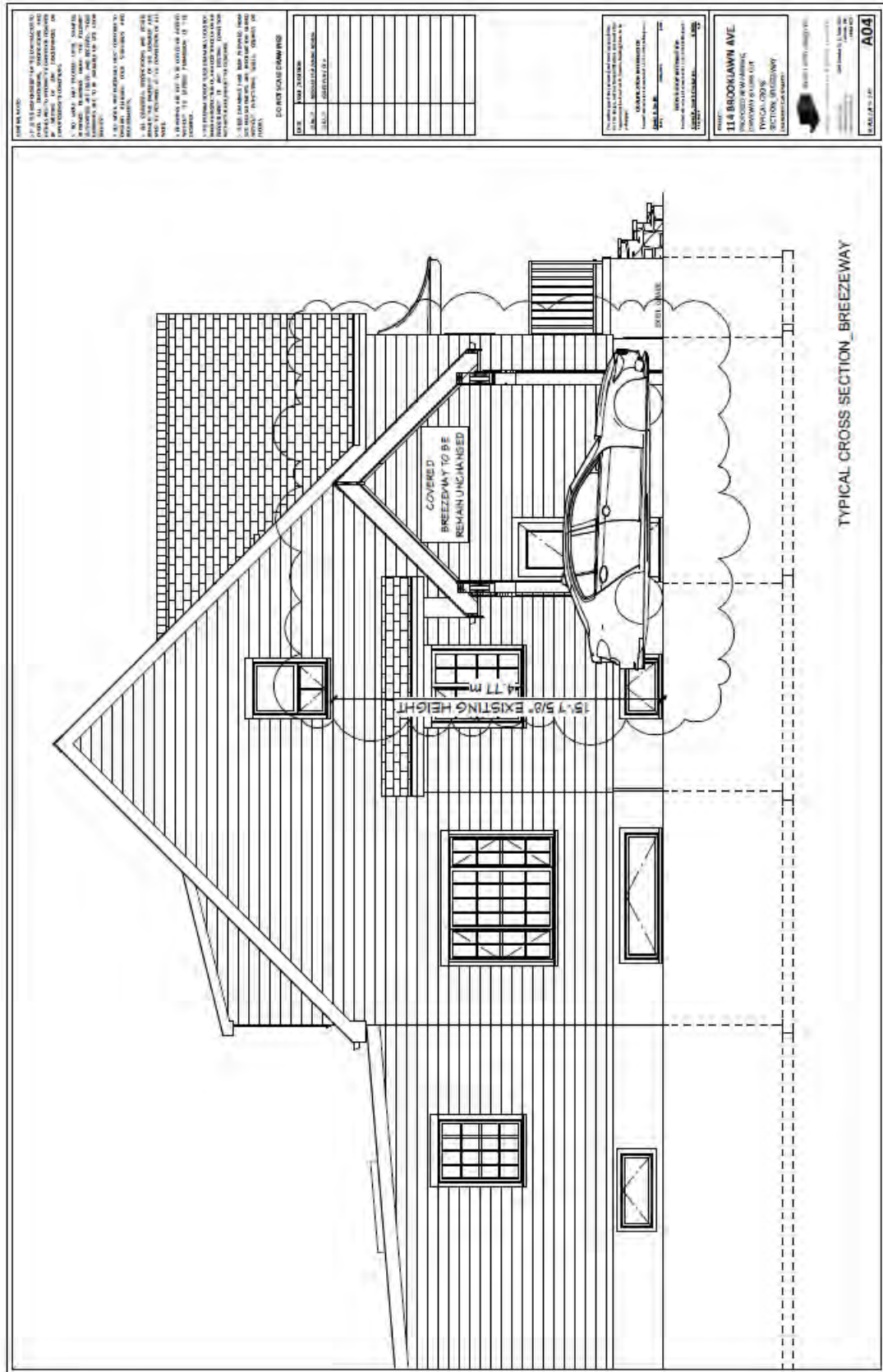
Attachment 2: East (Front) Elevation

<p><b>NOT TO SCALE DRAWINGS</b></p> <p><b>DATE:</b> 2014-09-18</p> <p><b>PROJECT:</b> BREEZENAY DR</p> <p><b>CLIENT:</b> BREEZENAY DR</p>	<p><b>PROJECT:</b> 114 BROOKDAWN AVE                  MISSISSAUGA, ONTARIO                  PROPOSED EAST                  ELEVATION, BREEZENAY                  DR</p>
---	---

PROPOSED EAST ELEVATION\_BREEZENAY

### Attachment 3: Cross Section



DATE: 08/14/2018

PROJECT: 114 BROOKLAWN AVE

SECTION: TYPICAL CROSS SECTION\_BREEZEWAY

SCALE: 1/8" = 1'-0"

PROJECT NO: 114

DATE: 08/14/2018

PROJECT: 114 BROOKLAWN AVE

SECTION: TYPICAL CROSS SECTION\_BREEZEWAY

SCALE: 1/8" = 1'-0"

PROJECT NO: 114

DATE: 08/14/2018

PROJECT: 114 BROOKLAWN AVE

SECTION: TYPICAL CROSS SECTION\_BREEZEWAY

SCALE: 1/8" = 1'-0"

PROJECT NO: 114

DATE: 08/14/2018

PROJECT: 114 BROOKLAWN AVE

SECTION: TYPICAL CROSS SECTION\_BREEZEWAY

SCALE: 1/8" = 1'-0"

PROJECT NO: 114

DATE: 08/14/2018

PROJECT: 114 BROOKLAWN AVE

SECTION: TYPICAL CROSS SECTION\_BREEZEWAY

SCALE: 1/8" = 1'-0"

PROJECT NO: 114

DATE: 08/14/2018

PROJECT: 114 BROOKLAWN AVE



## SIGNATURE PAGE

**Table 86, owner and property information for 114 Brooklawn Avenue, signature page**

File Number:	A0241/17SC	Zoning	Single Family (S) & Residential Detached (RD) Zone [ZR]
Owner:	CATHERINE LYNN THORNTON	Ward:	Scarborough Southwest (36)
Agent:	DAVID R SMITH	Heritage:	Not Applicable
Property Address:	<b>114 BROOKLAWN AVE</b>	Community:	Cliffcrest Community
Legal Description:	PLAN 2347 LOT 409,410 & PT LOT 411		

**Table 87, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Monday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

**Table 88, owner and property information for 1070 Progress Avenue**

File Number:	A0243/17SC	Zoning	A - Apartment Residential /NC - Neighbourhood Commercial [WAIVER]
Owner(s):	EMPIRE PACE (1088 PROGRESS) LTD	Ward:	Scarborough-Rouge River (42)
Agent:	ARMSTRONG PLANNING	Heritage:	Not Applicable
Property Address:	<b>1070 PROGRESS AVE</b>	Community:	Malvern Community
Legal Description:	PLAN 66M2300 BLK 2		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

The applicant is seeking relief from the provisions of the Zoning By-law to permit the already constructed 105 stacked townhouse units in phase 1 site, municipally known as 80 Orchid Place Drive, 90 Orchid Place and 1070 Progress Avenue.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 14402

1. To permit 2.6 metres wide parking spaces for units 1, 67, 93, and 96, 2.8 metres wide parking space for unit 97, and 2.54 metres wide parking space for unit 110, whereas the Zoning By-law requires a minimum 2.9 metres wide parking space.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following

reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance is minor.

## SIGNATURE PAGE

**Table 89, owner and property information for 1070 Progress Avenue, signature page**

File Number:	A0243/17SC	Zoning	A - Apartment Residential /NC - Neighbourhood Commercial [WAIVER]
Owner:	EMPIRE PACE (1088 PROGRESS) LTD	Ward:	Scarborough-Rouge River (42)
Agent:	ARMSTRONG PLANNING	Heritage:	Not Applicable
Property Address:	<b>1070 PROGRESS AVE</b>	Community:	Malvern Community
Legal Description:	PLAN 66M2300 BLK 2		

**Table 90, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

#### **TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS**

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant

- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**Table 91, owner and property information for 37 Falaise Road**

File Number:	A0249/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	CHAD NELSON	Ward:	Scarborough East (43)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	<b>37 FALAISE RD</b>	Community:	West Hill Community
Legal Description:	PLAN 2178 PT LOT 25 RP 64R4217 PART 1		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling with an integral garage. The existing dwelling, detached garage and shed will be demolished.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.524 times the lot area (318.03 m<sup>2</sup>); Whereas the maximum permitted floor space index is the lessor of 0.5 times the lot area (304 m<sup>2</sup>) or 279 m<sup>2</sup>.
2. The proposed dwelling will be located 6.5 m from the front lot line; Whereas the minimum required front yard setback is 12.09 m.
3. The proposed vehicle access to the parking space is from the front street (Falaise Avenue); Whereas vehicle access to a parking space must be from a flanking street that is not a major street (Rodda Boulevard).
4. The proposed dwelling will have a height of 9.68 m, as measured from average grade; Whereas the maximum permitted dwelling height is 9 m.

By-law No. 10327:

5. The proposed dwelling will have a total floor area equal to 0.524 times the lot area (318.03 m<sup>2</sup>); Whereas the maximum permitted floor area is the lessor of 0.5 times the lot area (304 m<sup>2</sup>) or 279 m<sup>2</sup>.
6. The proposed dwelling will have a height of 9.76 m, as measured from mean grade; Whereas the maximum permitted dwelling height is 9 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall submit a complete application for permit to injure or remove privately owned tree(s).



## SIGNATURE PAGE

**Table 92, owner and property information for 37 Falaise Road, signature page**

File Number:	A0249/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	CHAD NELSON	Ward:	Scarborough East (43)
Agent:	CANTAM GROUP LTD.	Heritage:	Not Applicable
Property Address:	<b>37 FALAISE RD</b>	Community:	West Hill Community
Legal Description:	PLAN 2178 PT LOT 25 RP 64R4217 PART 1		

**Table 93, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

## ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)****Table 94, owner and property information for 63 Inniswood Drive**

File Number:	A0250/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	RAJAT KANTI CHAKRABARTY ARPITA BISWAS	Ward:	Scarborough Centre (37)
Agent:	NADEEM IRFAN	Heritage:	Not Applicable
Property Address:	<b>63 INNISWOOD DR</b>	Community:	Wexford Community
Legal Description:	PLAN 4219 LOT 52		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed dwelling will cover 36.93% of the lot area;  
Whereas the maximum permitted coverage is 33% of the lot area.
2. The proposed dwelling will have a length of 18.59 m;  
Whereas the maximum permitted dwelling length is 17 m.

By-law No. 9511:

3. The proposed dwelling will cover 38.79% of the lot area;  
Whereas the maximum permitted coverage is 33% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall submit a complete application for permit to injure or remove privately owned tree(s).

## SIGNATURE PAGE

**Table 95, owner and property information for 63 Inniswood Drive, signature page**

File Number:	A0250/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	RAJAT KANTI CHAKRABARTY ARPITA BISWAS	Ward:	Scarborough Centre (37)
Agent:	NADEEM IRFAN	Heritage:	Not Applicable
Property Address:	<b>63 INNISWOOD DR</b>	Community:	Wexford Community
Legal Description:	PLAN 4219 LOT 52		

**Table 96, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)****Table 97, owner and property information for 15 Bellefontaine Street**

File Number:	A0259/17SC	Zoning	Residential Detached (RD) & Single Family (S) Zone [Waiver]
Owner(s):	LI TAO CHAN	Ward:	Scarborough-Agincourt (39)
Agent:	TRAN DIEU & ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	<b>15 BELLEFONTAINE ST</b>	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4401 LOT 66		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed dwelling will have a floor space index equal to 0.44 times the lot area (357.4 m<sup>2</sup>); Whereas the maximum permitted floor space index is 0.4 times the lot area (324.9 m<sup>2</sup>).
2. The proposed dwelling will be located 1.5 m from the south side lot line; Whereas the minimum required side yard setback is 1.8 m.
3. The proposed dwelling will have a length of 19.43 m; Whereas the maximum permitted dwelling length is 17 m.
4. The proposed dwelling will have a depth of 21.53 m, as measured from the required front yard setback to the rear main wall; Whereas the maximum permitted depth is 19 m.

By-law No. 12360:

5. The proposed dwelling will have a floor area equal to 0.44 times the lot area (357.4 m<sup>2</sup>); Whereas the maximum permitted floor area is 0.4 times the lot area (324.9 m<sup>2</sup>).
6. The proposed dwelling will be located 1.5 m from the south side lot line; Whereas the minimum required side yard setback is 1.2 m plus 0.6 m for each additional storey, for a total required side yard setback of 1.8 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall build in accordance with the Site Plan, Drawing No. A1, prepared by Tran Dieu & Associates, as it relates to the building footprint (see Attachment 1: Site Plan). Any other variances that may appear on these plans but are not listed in the written decision are NOT authorized.





## SIGNATURE PAGE

**Table 98, owner and property information for 15 Bellefontaine Street, signature page**

File Number:	A0259/17SC	Zoning	Residential Detached (RD) & Single Family (S) Zone [Waiver]
Owner:	LI TAO CHAN	Ward:	Scarborough-Agincourt (39)
Agent:	TRAN DIEU & ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	<b>15 BELLEFONTAINE ST</b>	Community:	Tam O'Shanter Community
Legal Description:	PLAN 4401 LOT 66		

**Table 99, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION  
MINOR VARIANCE/PERMISSION  
(Section 45 of the Planning Act)**

**Table 100, owner and property information for 60 Chine Drive**

File Number:	A0263/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	NATALIYA BALKO YURIY BALKO	Ward:	Scarborough Southwest (36)
Agent:	YURIY BALKO	Heritage:	Not Applicable
Property Address:	<b>60 CHINE DR</b>	Community:	Cliffside Community
Legal Description:	PLAN 1566 LOT 430		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a one-storey addition with terrace at the rear of the existing dwelling. The proposed addition will be constructed over the existing foundation.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013:

1. The altered dwelling will have a total length of 17.63 m;  
Whereas the maximum permitted dwelling length is 17 m.
2. The altered dwelling will have a total depth of 24.73 m, as measured from the required front yard setback to the rear main wall;  
Whereas the maximum permitted depth is 19 m.
3. The proposed second storey rear platform (terrace) will have an area of 29 m<sup>2</sup>;  
Whereas the maximum permitted area of a platform at or above the second storey is 4 m<sup>2</sup>.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing,

**IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

## **The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The Owner shall provide permanent solid screening or fencing along the north side and partial west side of the rear second storey balcony, with a minimum height of 1.8 m measured from the floor of the balcony.

## SIGNATURE PAGE

### Table 101, owner and property information for 60 Chine Drive, signature page

File Number:	A0263/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	NATALIYA BALKO YURIY BALKO	Ward:	Scarborough Southwest (36)
Agent:	YURIY BALKO	Heritage:	Not Applicable
Property Address:	<b>60 CHINE DR</b>	Community:	Cliffside Community
Legal Description:	PLAN 1566 LOT 430		

### Table 102, for Panel Members signatures

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**Table 103, owner and property information for 38 Milldock Drive**

File Number:	A0265/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	SHERYLIN BIASON RONALDO BIASON	Ward:	Scarborough East (44)
Agent:	FOUR SEASONS SUNROOMS	Heritage:	Not Applicable
Property Address:	<b>38 MILLDOCK DR</b>	Community:	Centennial Community
Legal Description:	PLAN M2141 LOT 26		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a one-storey sunroom addition to the rear of the existing dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013:

1. The altered dwelling will have a total length of 18.21 m;  
Whereas the maximum permitted dwelling length is 17 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved on Condition**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.



- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposed rear addition shall remain one-storey.

## SIGNATURE PAGE

### Table 104, owner and property information for 38 Milldock Drive, signature page

File Number:	A0265/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	SHERYLIN BIASON RONALDO BIASON	Ward:	Scarborough East (44)
Agent:	FOUR SEASONS SUNROOMS	Heritage:	Not Applicable
Property Address:	<b>38 MILLDOCK DR</b>	Community:	Centennial Community
Legal Description:	PLAN M2141 LOT 26		

### Table 105, for Panel Members signatures

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**Table 106, owner and property information for 19 Arden Cres**

File Number:	A0273/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	AMARPREET BAKSHI	Ward:	Scarborough Southwest (35)
Agent:	STAMBUK HOMES	Heritage:	Not Applicable
Property Address:	<b>19 ARDEN CRES</b>	Community:	Clairlea Community
Legal Description:	PLAN 3835 LOT 45		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**

By-law No. 569-2013:

1. The proposed dwelling will cover 37.7% of the lot area (175.32 m<sup>2</sup>);  
Whereas the maximum permitted coverage is 33% of the lot area (153.29 m<sup>2</sup>).
2. The proposed dwelling will have a length of 17.64 m;  
Whereas the maximum permitted dwelling length is 17 m.
3. The proposed dwelling will have a height of 9.16 m;  
Whereas the maximum permitted dwelling height is 9 m.
4. None of the first floor is proposed to be within 4 m of the front main wall;  
Whereas a minimum of 10 m<sup>2</sup> of the first floor must be located within 4 m of the front main wall.
5. The proposed front stairs are 3.3 m wide;  
Whereas exterior stairs may only encroach into a required minimum building setback if the stairs are no wider than 2 m.

6. The proposed driveway will have a width of 4.23 m;  
Whereas the maximum permitted driveway width is 3.38 m, as measured by the width of a single parking space behind the front main wall.

By-law No. 8978:

7. The proposed garage will be located 0.9 m from the south side lot line;  
Whereas the minimum required side yard setback to a garage is 1.2 m.
8. The proposed dwelling will have a height of 9.16 m;  
Whereas the maximum permitted dwelling height is 9 m.
9. The proposed garage will have a height of 4.25 m, as measured from the floor to the eaves;  
Whereas the maximum permitted height of a garage is 3.6 m.
10. The proposed driveway will have a width of 4.23 m;  
Whereas the maximum permitted driveway width is 3.38 m, as measured by the width of a single parking space behind the front main wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

**The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## SIGNATURE PAGE

**Table 107, owner and property information for 19 Arden Crescent, signature page**

File Number:	A0273/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	AMARPREET BAKSHI	Ward:	Scarborough Southwest (35)
Agent:	STAMBUK HOMES	Heritage:	Not Applicable
Property Address:	<b>19 ARDEN CRES</b>	Community:	Clairlea Community
Legal Description:	PLAN 3835 LOT 45		

**Table 108, for Panel Members signatures**

\_\_\_\_\_  
David Peacock (signed)

\_\_\_\_\_  
Eden Gajraj (signed)

\_\_\_\_\_  
Hena Kabir (signed)

\_\_\_\_\_  
Nimrod Salamon (signed)

\_\_\_\_\_  
Sean Karmali (signed)

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, September 7, 2017

**NOTICE OF DECISION**  
**MINOR VARIANCE/PERMISSION**  
**(Section 45 of the Planning Act)**

**Table 109, owner and property information for 3 Ionson Boulevard**

File Number:	A0275/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner(s):	MOHSEN KHADEMI	Ward:	Scarborough Southwest (36)
Agent:	FRJJ TECHNICAL INC	Heritage:	Not Applicable
Property Address:	<b>3 IONSON BLVD</b>	Community:	Birchcliff Community
Legal Description:	PLAN 2597 LOT 57		

Notice was given and a Public Hearing was held on Thursday, September 7, 2017, as required by the Planning Act.

**PURPOSE OF THE APPLICATION:**

To construct a new two-storey detached dwelling.

**REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:**By-law No. 569-2013:

1. The proposed dwelling will cover 37% of the lot area (99.68 m<sup>2</sup>);  
Whereas the maximum permitted coverage is 33% of the lot area (88.9 m<sup>2</sup>).
2. A total of 6.2 m<sup>2</sup> of the first floor is proposed to be within 4 m of the front main wall;  
Whereas a minimum of 10 m<sup>2</sup> of the first floor must be located within 4 m of the front main wall.

By-law No. 8786:

3. The proposed dwelling will cover 39% of the lot area (104.1 m<sup>2</sup>);  
Whereas the maximum permitted coverage is 33% of the lot area (88.9 m<sup>2</sup>).
4. The proposed dwelling will be located 2.12 m from the front lot line;  
Whereas the minimum required front yard setback is 6 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**



## **The Minor Variance Application is Approved**

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

## SIGNATURE PAGE

**Table 110, owner and property information for 3 Ionson Boulevard, signature page**

File Number:	A0275/17SC	Zoning	Residential Detached (RD) & Single Family (S) [ZR]
Owner:	MOHSEN KHADEMI	Ward:	Scarborough Southwest (36)
Agent:	FRJJ TECHNICAL INC	Heritage:	Not Applicable
Property Address:	<b>3 IONSON BLVD</b>	Community:	Birchcliff Community
Legal Description:	PLAN 2597 LOT 57		

**Table 111, for Panel Members signatures**

_____ David Peacock (signed)	_____ Eden Gajraj (signed)	_____ Hena Kabir (signed)
_____ Nimrod Salamon (signed)	_____ Sean Karmali (signed)	

DATE DECISION MAILED ON: Tuesday, September 12, 2017

LAST DATE OF APPEAL: Wednesday, September 27, 2017

CERTIFIED TRUE COPY

Paul Galvin  
Acting Manager & Deputy Secretary Treasurer  
Scarborough Panel

### Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal\* to the Ontario Municipal Board (OMB) for the same matter.

### TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at [www.toronto.ca/tlab](http://www.toronto.ca/tlab).

### **ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS**

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at [www.omb.gov.on.ca](http://www.omb.gov.on.ca).

\*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.