

Thursday, November 9, 2017

NOTICE OF DECISION CONSENT (Section 53 of the Planning Act)

File Number:	B0048/17NY	Zoning	R6/RD (f12.0; a370) (x1463) (ZR)
Owner(s):	ASSUNTA ARCIERO MARIO ARCIERO	Ward:	York Centre (09)
Agent:	WESTON CONSULTING	Heritage:	Not Applicable
Property Address:	61 MANIZA RD	Community:	North York
Legal Description:	PLAN 1764 S PT LOT 145		

Notice was given and the application considered on Thursday, November 9, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the rear portion of the property for the purpose of a lot addition.

Convey - PART 6

PART 6 measures 12.19 m by 15.85 m and has a lot area of 193.21 m². Part 6 will be added to PART 4 (severed from 63 Maniza Road - file B0050/17NY), and PART 2 (severed from 65 Maniza Road - file B0049/17NY) to form a new residential building lot fronting Plewes Road.

Retain - PART 5

61 Maniza Road

PART 5 has an existing frontage of 15.85 m and a proposed lot area of 603.88 m². The existing dwelling would remain. No variances are requested.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

- 1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- 2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- 3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- 4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- 5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.
- 6) Subsection 50(3) or (5) or subsection of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction shall apply.

PLAN 66R-
RECEIVED AND DEPOSITED

DATE: _____

DATE: _____

REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF THE
TORONTO REGISTRY OFFICE (No.66)

JACEY WALCZAK
ONTARIO LAND SURVEYOR

SCHEDULE

PART	ALL OF LOT	PLAN	ALL OF P.I.N.	AREA
1			10233-0495	402.53sqm.
2			32.50sqft.	32.50sqft.
3		1764	10233-0496	464.43sqm.
4			204.07sqm.	204.07sqm.
5			603.88sqm.	603.88sqm.
6			10233-0497	193.21sqm.

**PLAN OF SURVEY OF
LOT 145
REGISTERED PLAN 1764
CITY OF TORONTO**
Formerly in The City of North York

SCALE 1: 250

GTA SURVEYING INC.

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- DEWES SURVEY MONUMENT SET
 - CHAIN PIN
 - RP REGISTERED PLAN 1764
 - N, S, E, W NORTH, SOUTH, EAST, WEST
 - M MEASURED
 - SB STANDARD IRON BAR
 - IB IRON BAR
 - D D
 - D2 D
 - D3 D
 - BA PLAN BA-742
 - BA2 PLAN BA-742
 - HW HORIZONTAL WELD WHEELER ASSOCIATES, O.L.S.
 - MM (DATED) DECEMBER 15, 1988
 - MM (DATED) JULY 19, 1980
 - MM (DATED) JULY 19, 1980
 - MM (DATED) JULY 19, 1980
 - 1902 GREATER TORONTO AREAS SURVEYING INC., O.L.S.
 - PLN. PROPERTY IDENTIFIER NUMBER

SURVEYOR'S CERTIFICATE

I, JACEY WALCZAK, LAND SURVEYOR, HEREBY CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____, 2006.

THIS DRAFT REFERENCE PLAN WAS PROMISED TO CLIENT ON APRIL 7, 2017

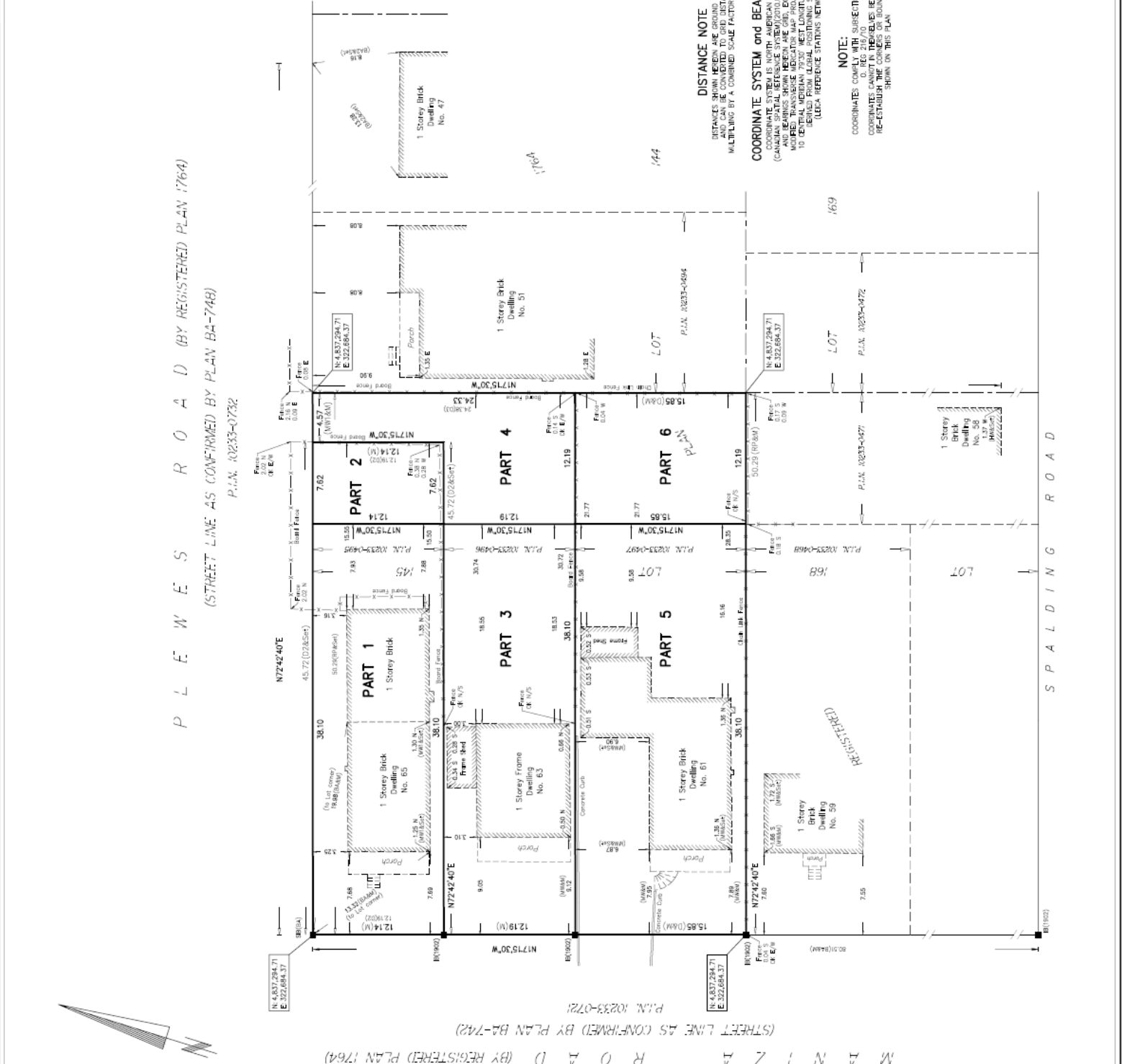
DATE: _____

JACEY WALCZAK
ONTARIO LAND SURVEYOR

GTA
Greater Toronto Area
SURVEYING Inc.

7003 Steeles Ave. West, Unit 12, Toronto ON M3W 0A2
Tel: (416) 679-0572
E-MAIL: jw@gtasurveying.ca

DRWN: WC CHECKED: P.W. PROJECT: 17096



PLAN 66R-
RECEIVED AND DEPOSITED

DATE: _____

DATE: _____

REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF THE
TORONTO REGISTRY OFFICE (No.66)

JACEY WALCZAK
ONTARIO LAND SURVEYOR

**PLAN OF SURVEY OF
LOT 145
REGISTERED PLAN 1764
CITY OF TORONTO**
Formerly in The City of North York

SCALE 1: 250

GTA SURVEYING INC.

METRIC

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- DEWES SURVEY MONUMENT SET
 - CHAIN PIN
 - RP REGISTERED PLAN 1764
 - N, S, E, W NORTH, SOUTH, EAST, WEST
 - M MEASURED
 - SB STANDARD IRON BAR
 - IB IRON BAR
 - D D
 - D2 D
 - D3 D
 - BA PLAN BA-742
 - BA2 PLAN BA-742
 - HW HORIZONTAL WELD WHEELER ASSOCIATES, O.L.S.
 - MM (DATED) DECEMBER 15, 1988
 - MM (DATED) JULY 19, 1980
 - MM (DATED) JULY 19, 1980
 - MM (DATED) JULY 19, 1980
 - 1902 GREATER TORONTO AREAS SURVEYING INC., O.L.S.
 - PLN. PROPERTY IDENTIFIER NUMBER

SURVEYOR'S CERTIFICATE

I, JACEY WALCZAK, LAND SURVEYOR, HEREBY CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____, 2006.

THIS DRAFT REFERENCE PLAN WAS PROMISED TO CLIENT ON APRIL 7, 2017

DATE: _____

JACEY WALCZAK
ONTARIO LAND SURVEYOR

GTA
Greater Toronto Area
SURVEYING Inc.

7003 Steeles Ave. West, Unit 12, Toronto ON M3W 0A2
Tel: (416) 679-0572
E-MAIL: jw@gtasurveying.ca

DRWN: WC CHECKED: P.W. PROJECT: 17096

M I N I Z A R O A D (BY REGISTERED PLAN 1764) (STREET LINE AS CONFIRMED BY PLAN BA-742) P.I.N. 02233-0721

P L E W E S R O A D (BY REGISTERED PLAN 1764) (STREET LINE AS CONFIRMED BY PLAN BA-748) P.I.N. 02233-0732

S P A L D I N G R O A D

SIGNATURE PAGE

File Number:	B0048/17NY	Zoning	R6/RD (f12.0; a370) (x1463) (ZR)
Owner(s):	ASSUNTA ARCIERO MARIO ARCIERO	Ward:	York Centre (09)
Agent:	WESTON CONSULTING	Heritage:	Not Applicable
Property Address:	61 MANIZA RD	Community:	North York
Legal Description:	PLAN 1764 S PT LOT 145		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL: Wednesday, December 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, November 9, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0049/17NY	Zoning	R6/RD (f12.0; a370) (x1463) (ZR)
Owner(s):	AHMAD NASSRI IBRAHIM NASSRI	Ward:	York Centre (09)
Agent:	WESTON CONSULTING	Heritage:	Not Applicable
Property Address:	65 MANIZA RD	Community:	North York
Legal Description:	PLAN 1764 N PT LOT 145		

Notice was given and the application considered on Thursday, November 9, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the rear portion of the property for the purpose of a lot addition.

Convey - PART 2

PART 2 measures 7.62 m by 12.14 m and has a lot area of 92.5 m². Part 2 will be added to PART 4 (severed from 63 Maniza Road - file B0050/17NY), and PART 6 (severed from 61 Maniza Road - file B0048/17NY) to form a new residential building lot fronting Plewes Road.

Retain - PART 1

65 MANIZA RD

PART 1 has an existing frontage of 12.14 m and a proposed lot area of 462.53 m². The existing dwelling would remain. The retained lot requires relief from the applicable by-laws as submitted in application A0724/17NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- 1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- 2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- 3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- 4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- 5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.
- 6) Subsection 50(3) or (5) or subsection of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction shall apply.

PLAN 66R-
REVISED AND DEPOSITED

DATE: _____

DATE: _____

REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF THE
TORONTO REGISTRY OFFICE (No.66)

JACZY WALCZAK
ONTARIO LAND SURVEYOR

SCHEDULE

PART	ALL OF LOT	PLAN	ALL OF P.I.N.	AREA
1			10233-0495	402.53sqm.
2			32.50sqft.	
3		1764	10233-0496	464.43sqm.
4			204.07sqm.	
5			603.86sqm.	
6			10233-0497	193.21sqm.

PLAN OF SURVEY OF
LOT 145
REGISTERED PLAN 1764
CITY OF TORONTO
Formerly in The City of North York

SCALE 1:250

GTA SURVEYING INC.

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES
AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

- LEGEND**
- DENOTES SURVEY MONUMENT SET
 - DENOTES SURVEY MONUMENT
 - P.P. REGISTERED PLAN 1764
 - N, S, E, W MEASURED
 - STANDARD IRON BAR
 - IRON BAR
 - IRON BAR NO. N744710
 - INSTRUMENT NO. N555808
 - INSTRUMENT NO. N112174
 - PLAN BA-742
 - PLAN BA-748
 - PLAN BA-748
 - PLAIN ALUMINUM WHEELER ASSOCIATES, O.L.S. (DATED FEBRUARY 15, 1988)
 - PLAN BY M.B. WONG, O.L.S. (DATED JULY 19, 1980)
 - PLAN BY M.B. WONG, O.L.S. (DATED FEBRUARY 15, 1988)
 - GREATER TORONTO AREAS SURVEYING INC., O.L.S.
 - PL.N. -- PROPERTY IDENTIFIER NUMBER

SURVEYOR'S CERTIFICATE

I, THE SURVEYOR, HAVE BEEN DULY SWORN AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM, I HAVE SURVEYED AND THE REGULATIONS MADE UNDER THEM, THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____, 2006.

THIS DRAFT REFERENCE PLAN WAS PROVIDED TO CLIENT ON APRIL 7, 2017

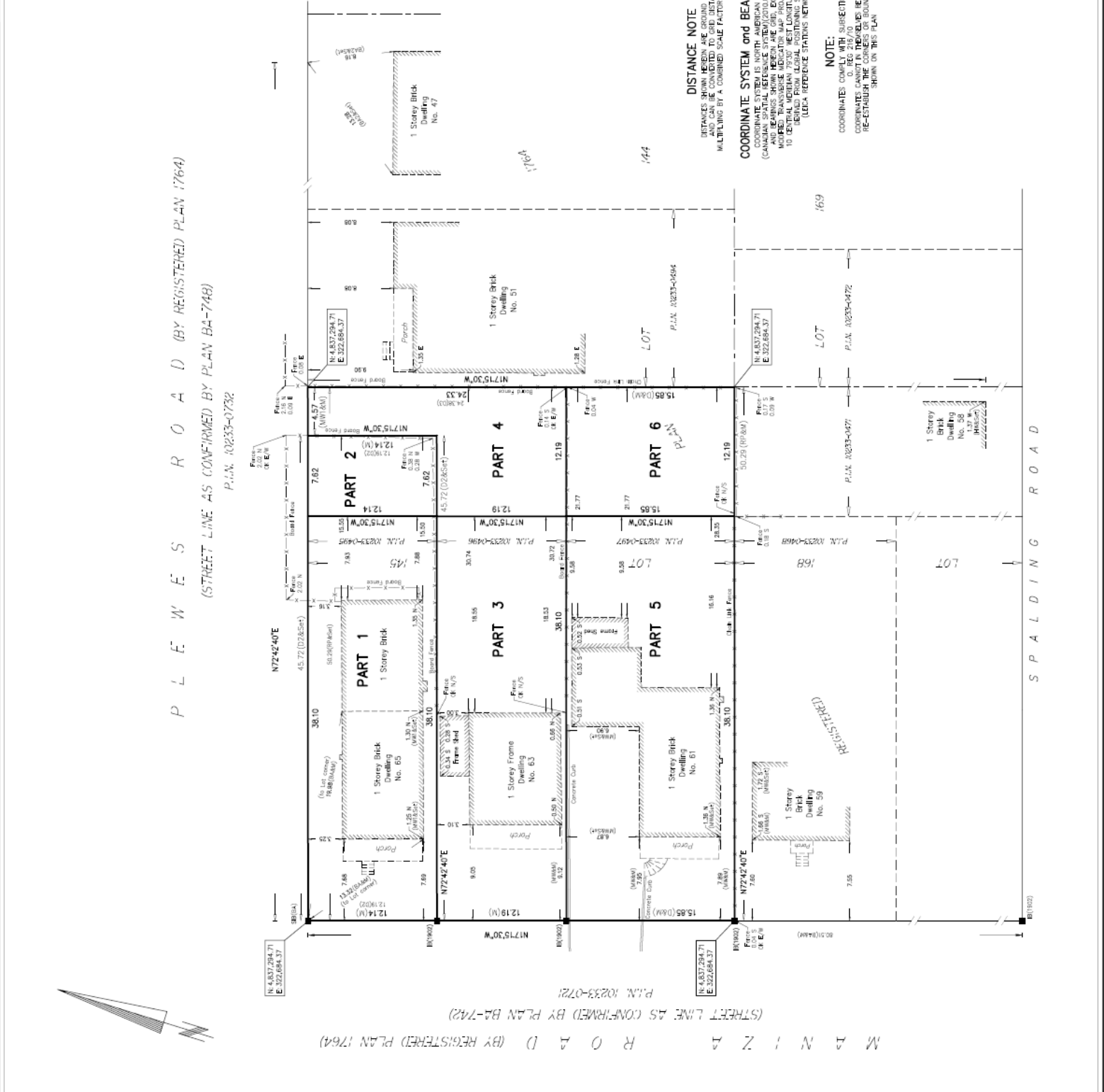
DATE _____

LIBBY WALCZAK
ONTARIO LAND SURVEYOR

GTA
Greater Toronto Areas
Surveyors Inc.

7003 Steeles Ave. West, Unit 12, Toronto ON M3W 0A2
Tel: (416) 679-0572
E-MAIL: jhw@gtasurveying.ca

DRAWN: W.C. CHECKED: P.W. PROJECT: 17096



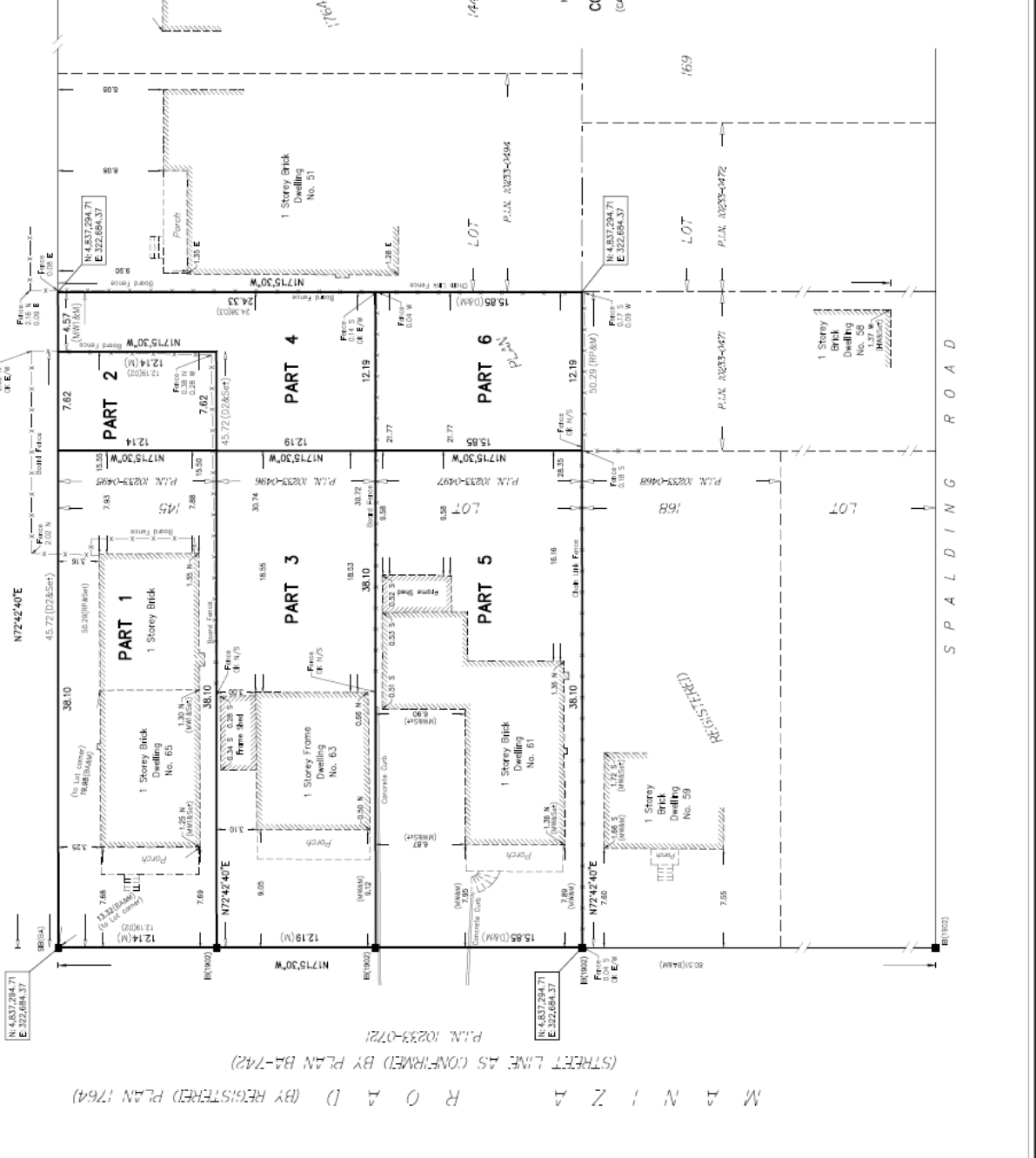
PLAN 66R-
REVISED AND DEPOSITED

DATE: _____

DATE: _____

REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF THE
TORONTO REGISTRY OFFICE (No.66)

JACZY WALCZAK
ONTARIO LAND SURVEYOR



PLAN 66R-
REVISED AND DEPOSITED

DATE: _____

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REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF THE
TORONTO REGISTRY OFFICE (No.66)

JACZY WALCZAK
ONTARIO LAND SURVEYOR

SIGNATURE PAGE

File Number:	B0049/17NY	Zoning	R6/RD (f12.0; a370) (x1463) (ZR)
Owner(s):	AHMAD NASSRI IBRAHIM NASSRI	Ward:	York Centre (09)
Agent:	WESTON CONSULTING	Heritage:	Not Applicable
Property Address:	65 MANIZA RD	Community:	North York
Legal Description:	PLAN 1764 N PT LOT 145		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL: Wednesday, December 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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Thursday, November 9, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0050/17NY	Zoning	R6/RD (f12.0; a370) (x1463) (ZR)
Owner(s):	JASON CAMPITELLI	Ward:	York Centre (09)
Agent:	WESTON CONSULTING	Heritage:	Not Applicable
Property Address:	63 MANIZA RD	Community:	North York
Legal Description:	PLAN 1764 PT LOT 145		

Notice was given and the application considered on Thursday, November 9, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the rear portion of the property for the purpose of a lot addition.

Convey - PART 4

PART 4 irregular in shape and has a lot area of 204.07 m². Part 4 will be added to PART 6 (severed from 61 Maniza Road - file B0048/17NY), and PART 2 (severed from 65 Maniza Road - file B0049/17NY) to form a new residential building lot fronting Plewes Road.

Retain - PART 3

63 Maniza Road

PART 3 has an existing frontage of 12.19 m and a proposed lot area of 464.43 m². The existing dwelling would remain. No variances are requested.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

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- 1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division,

Finance Department.

- 2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
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PLAN 66R-
REGISTERED AND DEPOSITED

DATE: _____

JACZEJ WALCZAK
ONTARIO LAND SURVEYOR

1. I REQUIRE THIS PLAN TO BE REGISTERED UNDER THE LAND TITLES ACT

DATE: _____

2. I REQUIRE THIS PLAN TO BE REGISTERED UNDER THE LAND TITLES ACT

DATE: _____

3. I REQUIRE THIS PLAN TO BE REGISTERED UNDER THE LAND TITLES ACT

DATE: _____

4. I REQUIRE THIS PLAN TO BE REGISTERED UNDER THE LAND TITLES ACT

DATE: _____

5. I REQUIRE THIS PLAN TO BE REGISTERED UNDER THE LAND TITLES ACT

DATE: _____

6. I REQUIRE THIS PLAN TO BE REGISTERED UNDER THE LAND TITLES ACT

DATE: _____

SCHEDULE

PART	ALL OF LOT	PLAN	ALL OF P.I.N.	AREA
1		10233-0495	10233-0495	462.53sqm
2		10233-0496	10233-0496	92.50sqm
3	145	1764	10233-0496	464.43sqm
4			204.07sqm	
5			603.88sqm	
6			193.21sqm	

PLAN OF SURVEY OF
LOT 145
REGISTERED PLAN 1764
CITY OF TORONTO
Formerly in The City of North York
GTA SURVEYING INC.

SCALE 1:1,250

METRIC
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- DENOTES SURVEY MONUMENT SET
- SURVEY MONUMENT FOUND
- SURVEY MONUMENT LOST
- SURVEY MONUMENT RE-ESTABLISHED
- MEASURED
- STANDARD IRON BAR
- IRON BAR
- D
- INSTRUMENT No. N7744710
- INSTRUMENT No. N7755905
- INSTRUMENT No. N7122774
- PLAN BA-742
- PLAN BA-748
- PLAN BY HAROLD WHEELER
- COORDINATES U.T.M. 1984
- PLAN BY M.B. WONG, O.L.S.
- DATED JULY 19, 1980
- PLAN BY M.B. WONG, O.L.S.
- DATED JANUARY 8, 1986
- REVISION NO. 1
- SURVEYING IN O.L.S.
- PROPERTY IDENTIFIER NUMBER
- P.I.N.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

- THE SURVEY HAS BEEN CONDUCTED AND IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE UNDER THEREOF.
- THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____, 2008.

THIS DRAFT REVISIONS PLAN WAS PROVIDED TO CLIENT ON APRIL 7, 2017

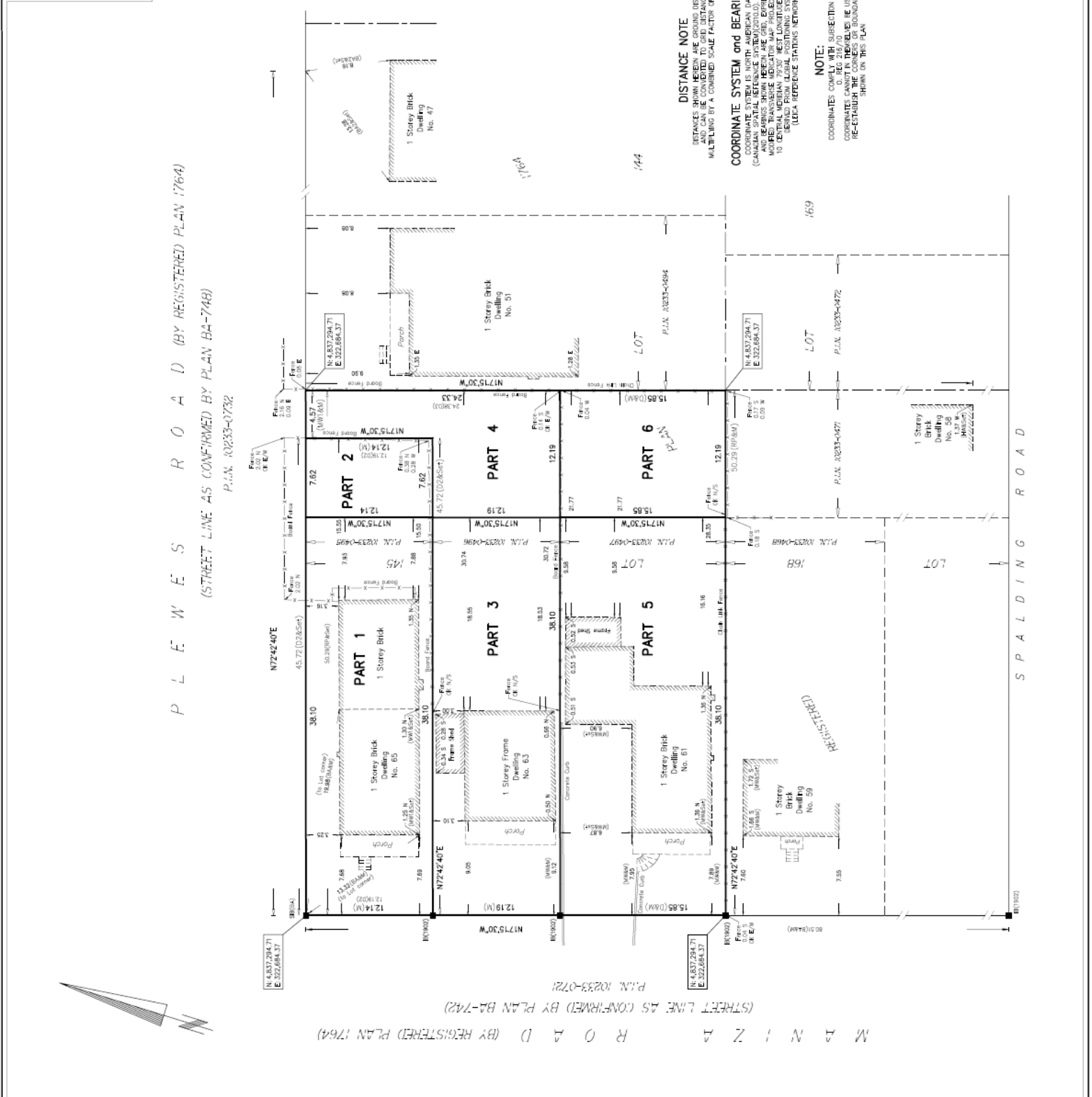
DATE: _____

JACZEJ WALCZAK
ONTARIO LAND SURVEYOR

GTA
Greater Toronto Acres
SURVEYING INC.

7003 Steeles Ave. West, Unit 12, Toronto ON M9W 0A2
Tel: (416) 678-0572
E-MAIL: jw@gtasurveying.ca

DRAWN: M.C. | CHECKED: P.W. | PROJECT: 17096



P L E W E S R O A D (BY REGISTERED PLAN 1764)
 (STREET LINE AS CONFIRMED BY PLAN BA-748)
 P.I.N. 10233-0732

M A N I Z A R O A D (BY REGISTERED PLAN 1764)
 (STREET LINE AS CONFIRMED BY PLAN BA-742)
 P.I.N. 10233-0721

SIGNATURE PAGE

File Number:	B0050/17NY	Zoning	R6/RD (f12.0; a370) (x1463) (ZR)
Owner(s):	JASON CAMPITELLI	Ward:	York Centre (09)
Agent:	WESTON CONSULTING	Heritage:	Not Applicable
Property Address:	63 MANIZA RD	Community:	North York
Legal Description:	PLAN 1764 PT LOT 145		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL: Wednesday, December 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
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Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0724/17NY	Zoning	R6/RD (f12.0; a370) (x1463) (ZR)
Owner(s):	AHMAD NASSRI IBRAHIM NASSRI	Ward:	York Centre (09)
Agent:	WESTON CONSULTING	Heritage:	Not Applicable
Property Address:	65 MANIZA RD	Community:	North York
Legal Description:	PLAN 1764 N PT LOT 145		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain the existing dwelling. The lot size will be reduced by a series of lot addition applications (severing the rear portions of 65, 63 and 61 Maniza Road) to create a new residential building lot fronting Plewes Road.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 35 % of the lot area.
The proposed lot coverage is 37.2 % of the lot area.
- 2. Chapter 10.20.40.70.(2), Zoning By-law No. 569-2013**
A) The required minimum rear yard setback is 9.52 m.
The proposed rear yard setback is 7.88 m.
- 3. Section 14-A(6), Zoning By-law No. 7625**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 37.2% of the lot area.
- 4. Section 14-A(5)(b), Zoning By-law No. 7625**
The minimum required rear yard setback is 9.5 m.
The proposed rear yard setback is 7.88 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0724/17NY	Zoning	R6/RD (f12.0; a370) (x1463) (ZR)
Owner:	AHMAD NASSRI IBRAHIM NASSRI	Ward:	York Centre (09)
Agent:	WESTON CONSULTING	Heritage:	Not Applicable
Property Address:	65 MANIZA RD	Community:	North York
Legal Description:	PLAN 1764 N PT LOT 145		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, November 9, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0053/17NY	Zoning	R6/RM1(site specific)
Owner(s):	2406861 ONTARIO LIMITED	Ward:	Willowdale (23)
Agent:	ROBERT MILLWARD	Heritage:	Not Applicable
Property Address:	2966 BAYVIEW AVE	Community:	North York
Legal Description:	PLAN 1609 PT LOT 347		

Notice was given and the application considered on Thursday, November 9, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

The purpose of the application is to sever a portion of the property to create a new residential building lot. The site is the subject of recent Rezoning and Site Plan Approval applications (File Nos. 15 139695 NNY 23 OZ and 15 139702 NNY 23 SA, respectively), to permit the redevelopment of the properties with five attached townhouses facing Bayview Avenue and one single detached dwelling facing Hillcrest Avenue,

Conveyed - Part 7

400 Hillcrest Avenue

PART 7 has a frontage of 12.05 m and a lot area of 324 m². The severance of Part 7 would allow for the separate construction of a single detached dwelling on the newly created lot,

Retained - Parts 1-6

2966 Bayview Avenue

PARTS 1-6 have a frontage of 27.13 m. These lands will accommodate the proposed townhouse development. The retained portions will be subject to future planning applications for Part Lot Control and Draft Plan of Condominium.

PART 8 - to be dedicated to the City for road widening purpose.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by

Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of the this Decision:

- 1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- 2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- 3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- 4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- 5) The applicant to satisfy the requirements of the Engineering and Construction Services Division;

The owner shall convey to the City, at nominal cost, such lands to be free and clear of all encumbrances, save and except for utility poles and subject to a right-of-way for access purposes in favour of the Granter until such times as said lands have been laid out and dedicated for public highway purposes:

- a) a 6.0 metre radius corner rounding at the corner of Hillcrest Avenue/Bayview Avenue (NB. - This conveyance has also been requested in site plan comments)

Deeds for these lands, in a satisfactory form, shall be deposited with the City Solicitor and registered by the City prior to the stamping of the deeds for severance.

A draft Reference Plan of Survey shall be submitted to the Executive Director of Engineering and Construction Services for review and approval, prior to depositing in the Land Registry Office, in metric units and integrated with the Ontario Co-ordinate System, showing as separate PARTS thereof the lands to be conveyed to the City and the remainder of the site including any appurtenant rights-of-way;

The owner shall pay all costs for registration and preparation of reference plan(s).

- 6) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SCHEDULE		ALL PIN
PART	PART OF LOT	REGISTERED PLAN
1	348	10065-0245 (L1)
2	347 AND 348	
3	347	
4	347	
5	347 AND 348	
6	347 AND 348	
7	348	
8	348	

PLAN 66R-
REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: _____
REPRESENTATIVE FOR THE LAND REGISTRY FOR THE LAND TITLES ONTARIO LAND SURVEYOR (No. 68)

PLAN OF SURVEY OF
LOTS 347 AND 348
REGISTERED PLAN 1609
CITY OF TORONTO

SCALE 1 : 150
0 5 10 metres
J.D. BARNES LIMITED
METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRIC UNITS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES
BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B. DISTANCES ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B. DISTANCES ARE GRID AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999794.
APPLIED TO BEARINGS ON TRIANGLE.
FOR BEARING COMPARISONS, A ROTATION OF 010540° COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON TRIANGLE.
FOR BEARING COMPARISONS, A ROTATION OF 010230° COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON TRIANGLE.

INTEGRATION DATA 1
OBSERVED REFERENCE POINTS (ORP): UTM ZONE 17, NAD83 (CGRS) (2011.0).
COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF OREG 216/10.
ORP (A) 629 604.95 4 847 879.54
ORP (B) 629 443.65 4 847 826.89
ORP (C) 629 600.03 4 847 906.21

INTEGRATION DATA 2
OBSERVED REFERENCE POINTS (ORP): UTM ZONE 10, NAD83 (CGRS) (2011.0).
COORDINATES TO URBAN ACCURACY PER SECTION 14 (2) OF OREG 216/10.
ORP (D) 331 640.23 4 848 079.83
ORP (E) 315 620.73 4 848 029.41
ORP (F) 315 662.95 4 848 106.59

LEGEND
■ DENOTES SURVEY MONUMENT FOUND
□ DENOTES SURVEY MONUMENT SET
SB DENOTES SHORT STANDARD IRON BAR
WB DENOTES WOODEN BENCH
WIT DENOTES WITNESS
ASB DENOTES ALUMINUM STAKE
MTR DENOTES MINISTRY OF TRANSPORTATION REGISTERED PLAN 1609
P1 DENOTES REGISTERED PLAN 1609
P2 DENOTES REGISTERED PLAN 1609
P3 DENOTES REGISTERED PLAN 1609
P4 DENOTES REGISTERED PLAN 1609
P5 DENOTES REGISTERED PLAN 1609
P6 DENOTES REGISTERED PLAN 1609
P7 DENOTES REGISTERED PLAN 1609
P8 DENOTES REGISTERED PLAN 1609



PLAN 66R-
REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.
DATE: _____
REPRESENTATIVE FOR THE LAND REGISTRY FOR THE LAND TITLES ONTARIO LAND SURVEYOR (No. 68)

PLAN OF SURVEY OF
LOTS 347 AND 348
REGISTERED PLAN 1609
CITY OF TORONTO

SCALE 1 : 150
0 5 10 metres
J.D. BARNES LIMITED
METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRIC UNITS AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

NOTES
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P5 DENOTES REGISTERED PLAN 1609
P6 DENOTES REGISTERED PLAN 1609
P7 DENOTES REGISTERED PLAN 1609
P8 DENOTES REGISTERED PLAN 1609



J.D. BARNES SURVEYING
LAND INFORMATION SPECIALISTS
LIMITED MAPPING
1111 BAYVIEW AVE. SUITE 200
TORONTO, ONTARIO M2W 1A7
TEL: (416) 362-5737 FAX: (416) 362-5738
WWW.JDBARNES.COM

DATE: JULY 27, 2017
DRAWN BY: J.A./J.E.
CHECKED BY: M.N.
REFERENCE NO.: 16-22-557-01
FILE: S:\16-22-557-01\1609\16-22-557-01.DWG
DATE: 06/27/2017
PLOTTER: 17171/017

SURVEYOR'S CERTIFICATE
I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYORS ACT, THE SURVEYORS REGULATION AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON XX, 2016.
MARCUS NOUMENS
ONTARIO LAND SURVEYOR

SIGNATURE PAGE

File Number:	B0053/17NY	Zoning	R6/RM1(site specific)
Owner(s):	2406861 ONTARIO LIMITED	Ward:	Willowdale (23)
Agent:	ROBERT MILLWARD	Heritage:	Not Applicable
Property Address:	2966 BAYVIEW AVE	Community:	North York
Legal Description:	PLAN 1609 PT LOT 347		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL: Wednesday, December 6, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0802/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner(s):	MELANIE NG-WINHOLD SCOTT WINHOLD	Ward:	Willowdale (23)
Agent:	RE PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	35 FRANKLIN AVE	Community:	North York
Legal Description:	PLAN M412 LOT 256		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey rear addition and deck to the existing two-storey dwelling. The existing deck would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.50.10.(3), By-law No. 569-2013**
The minimum required rear yard soft landscaping area is 50%.
The proposed rear yard soft landscaping area is 36.16%.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 37.97% of the lot area.
- 3. Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.
The proposed eaves project 0.305m and are 0.12m from the east lot line.
- 4. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setbacks are 1.5m.
The proposed east side yard setback is 0.425m
- 5. Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setbacks are 1.5m.
The proposed west side yard setback is 1.378m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The driveway be constructed of permeable pavers; and

That the lot coverage does not exceed 25.60% for the existing dwelling and proposed addition, and that the additional 12.37% be allocated to the existing carport.

SIGNATURE PAGE

File Number:	A0802/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner:	MELANIE NG-WINHOLD SCOTT WINHOLD	Ward:	Willowdale (23)
Agent:	RE PLACEMENT DESIGN	Heritage:	Not Applicable
Property Address:	35 FRANKLIN AVE	Community:	North York
Legal Description:	PLAN M412 LOT 256		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0803/17NY	Zoning:	RD/R7(16) [ZZC]
Owner(s):	SHARON LEE ANDREW PUSHALIK	Ward:	Eglinton-Lawrence (16)
Agent:	ABBOTT DESIGN LTD	Heritage:	Not Applicable
Property Address:	8 HADDINGTON AVE	Community:	North York
Legal Description:	PLAN 2523 W PT LOT 14		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey addition to the rear of the existing dwelling, in conjunction with other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.10.(3), By-law No. 569-2013

The maximum number of storeys permitted is two (2).
The proposed number of storeys is three (3).

2. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.20m.
The existing and proposed west side yard setback is 0.91m.

3. Chapter 200.5.10.1(1), By-law No. 569-2013

The required minimum number of parking space(s) is one (1) space.
The proposed number of parking space(s) is zero (0).

4. Section 14-B(5)b, By-law No. 7625

The minimum required side yard setback is 1.20m.
The existing and proposed west side yard setback is 0.91m.

5. Section 14-B(5)c, By-law No. 7625

The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is 8.67m.

6. Section 14-B(8), By-law No. 7625

The maximum number of storeys permitted is two (2).

The proposed number of storeys is three (3).

7. Section 6A(2)a, By-law No. 7625

The required minimum number of parking space(s) is two (2) space.

The proposed number of parking space(s) is zero (0).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The property being developed substantially in accordance with the front and rear elevations, as well as the site plan attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

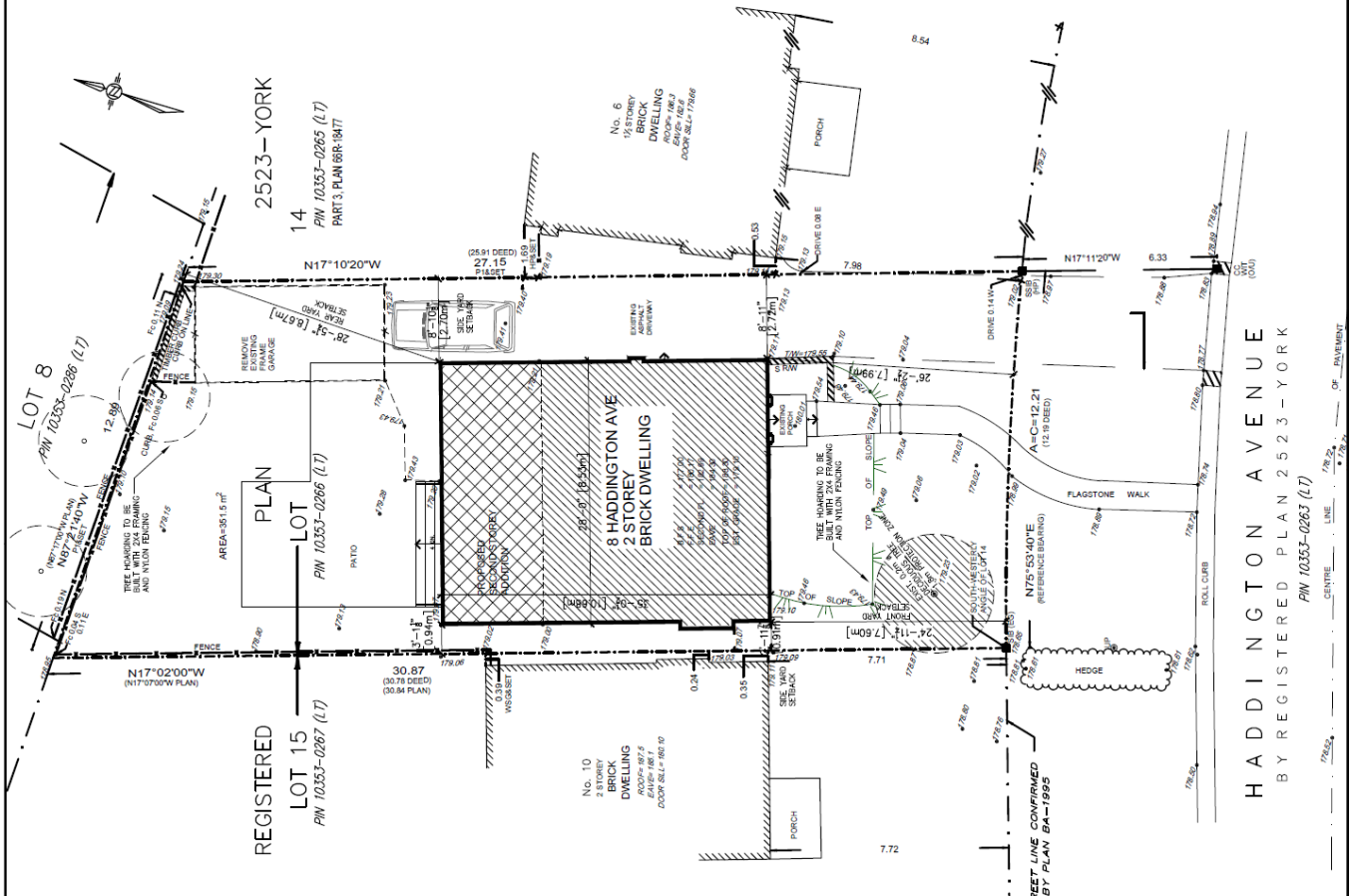
Review No:17_210019_ZZC_00_ZR

INFORMATION TAKEN FROM:
 SURVEYOR'S REAL PROPERTY REPORT PART 1:
 PLAN OF PART OF LOT 14
 REGISTERED PLAN 2523 - YORK
 CITY OF TORONTO
 (FORMERLY CITY OF NORTH YORK)
 BY: ANSAN PILLER CORPORATION LTD., O.L.S.
 DATE: OCTOBER 13, 2015
 8 HADDINGTON AVENUE,
 TORONTO, ON.

ZONING CLASSIFICATION	RD (R.0)(R275)
LOT AREA	METRIC IMPERIAL
MIN. LOT FRONTAGE ALLOWABLE	0.00 19'-0"
EXISTING LOT FRONTAGE	12.21 40'-1 1/2"
EXISTING GFA	
EXISTING FIRST FLOOR AREA	79.96 850.00
EXISTING SECOND FLOOR AREA	58.32 630.00
TOTAL EXISTING GFA	114.59 1230.00
EXISTING F.S. AS % OF LOT AREA	46.44%
PROPOSED GFA	
EXISTING FIRST FLOOR AREA	91.60 986.00
EXISTING SECOND FLOOR AREA	91.60 986.00
NEW THIRD FLOOR AREA	35.58 383.00
TOTAL PROPOSED GFA	218.78 2,355.00
PROPOSED F.S. AS % OF LOT AREA	62.24%
MAXIMUM ALLOWABLE FSI	0.60
EXISTING DWELLING BUILT BEFORE 1953	FSI 0.69
LOT COVERAGE EXISTING	
EXISTING FIRST FLOOR AREA	79.96 850.00
GARAGE	19.25 210.20
TOTAL EXISTING COVERAGE	104.07 1120.20
LOT COVERAGE PROPOSED	
PROPOSED FIRST FLOOR AREA	91.60 986.00
TOTAL PROPOSED COVERAGE	91.60 986.00
PROPOSED COVERAGE	26.02%
ALLOWABLE COVERAGE	35%
BUILDING LENGTH	17.00 55'-9"
PROPOSED BUILDING LENGTH	35'-1/2"
BUILDING HEIGHT TO TOP OF ROOF	
MAX. BUILDING HEIGHT	10 32'-9 1/2"
EXISTING BUILDING HEIGHT	8.51 27'-5"
FRONT YARD SET BACK	9.19 30'-2"
MIN. REAR	6.0 19'-8"
EXIST. FRONT YARD SET BACK	7.6 24'-11 1/4"
PROPOSED FRONT YARD SET BACK	7.6 24'-11 1/4"
SIDE YARD SETBACK WEST SIDE	
MIN. SIDE	1.20 3'-11 1/4"
EXISTING SIDE YARD SETBACK	0.91 2'-11 7/8"
PROPOSED SIDE YARD SETBACK	0.91 2'-11 7/8"
SIDE YARD SETBACK EAST SIDE	
MIN. SIDE	1.20 3'-11 1/4"
EXISTING SIDE YARD SETBACK	0.91 2'-11 7/8"
PROPOSED SIDE YARD SETBACK	0.91 2'-11 7/8"
REAR YARD SETBACK	
MIN. REAR	9.50 31'-6"
EXISTING REAR YARD SETBACK	8.67 28'-5 1/4"
PROPOSED REAR YARD SETBACK	8.67 28'-5 1/4"
PARKING	
MIN. PARKING SPACES	2
PARKING SPACES PROVIDED	1

LEGEND

- EXISTING GRADE ELEVATION
- EXISTING BUILDING
- NEW ADDITION/RENOVATION



CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CHECK BEFORE PROCEEDING WITH WORK. LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ENGINEER AND WILL NOT BE REPRODUCED OR COPIED WITHOUT THE ENGINEER'S WRITTEN CONSENT. DRAWINGS NOT TO BE SCALED.

APPROVED FOR THE ARCHITECTURAL AND ENGINEERING WORKS BY: [Signature] DATE: [Date]

FOR THE ARCHITECTURAL AND ENGINEERING WORKS BY: [Signature] DATE: [Date]

FOR THE ARCHITECTURAL AND ENGINEERING WORKS BY: [Signature] DATE: [Date]

FOR THE ARCHITECTURAL AND ENGINEERING WORKS BY: [Signature] DATE: [Date]

FOR THE ARCHITECTURAL AND ENGINEERING WORKS BY: [Signature] DATE: [Date]

FOR THE ARCHITECTURAL AND ENGINEERING WORKS BY: [Signature] DATE: [Date]

FOR THE ARCHITECTURAL AND ENGINEERING WORKS BY: [Signature] DATE: [Date]

FOR THE ARCHITECTURAL AND ENGINEERING WORKS BY: [Signature] DATE: [Date]

FOR THE ARCHITECTURAL AND ENGINEERING WORKS BY: [Signature] DATE: [Date]



PROJECT TITLE: PUSHALIK RESIDENCE
 8 HADDINGTON AVENUE
 TORONTO, ON

SHEET TITLE: SITE PLAN

DRAWN BY: [Name] DATE: [Date]

CHECKED BY: [Name] DATE: [Date]

SCALE: 1/8"=1'-0"

PROJECT NO.: XXXX

DRAWING NO.: A1

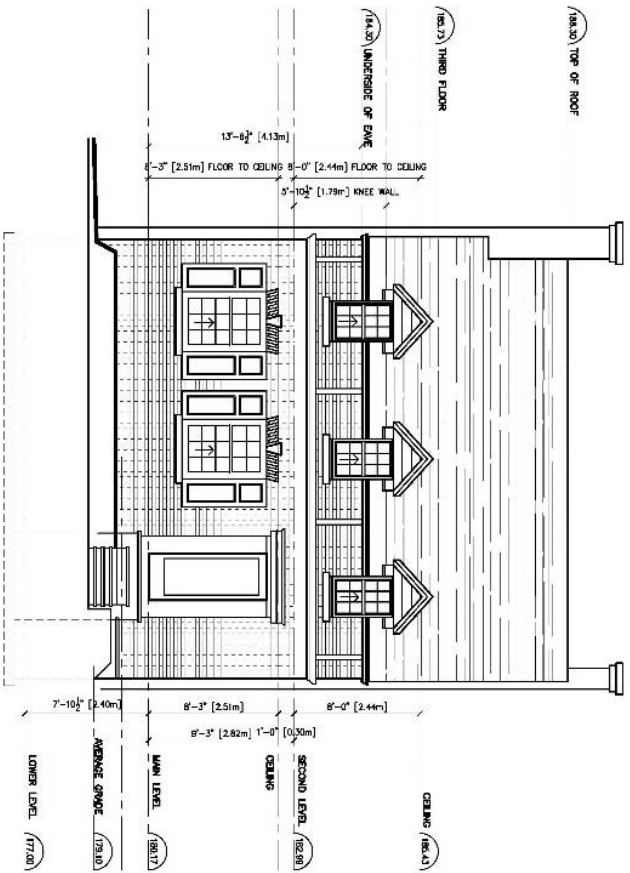


FIGURE 2A:
EXISTING FRONT ELEVATION

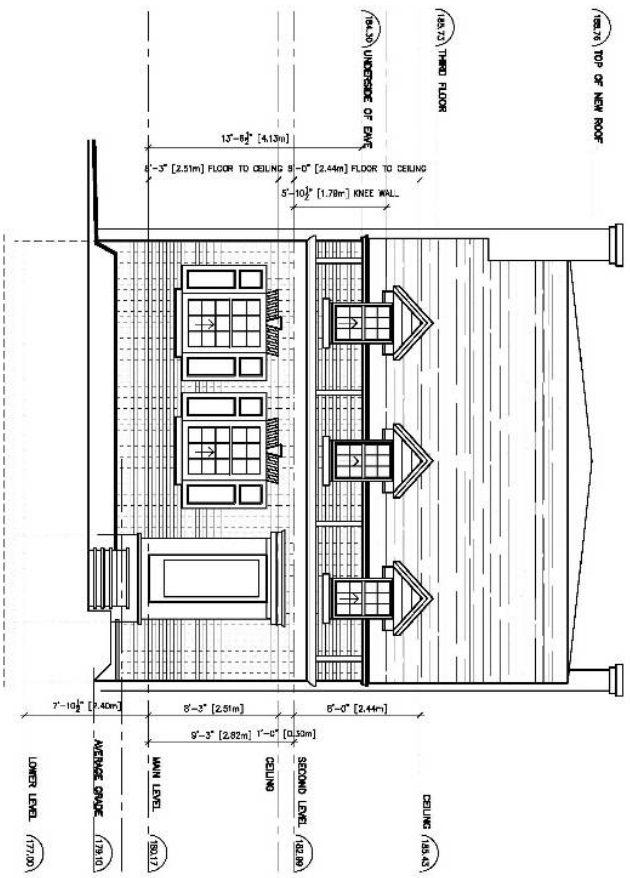


FIGURE 2B:
PROPOSED FRONT ELEVATION

CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE JOB SITE BEFORE PROCEEDING WITH WORK. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE DESIGNER AND SHALL BE PROTECTED BY PATENT RIGHTS. DRAWINGS NOT TO BE COPIED.

DESIGNED BY: [Signature]
DATE: 04/23/17
PROJECT NO: XXXXX
DRAWING NO: A6

NO.	DATE	DESCRIPTION
1	04/23/17	ISSUED FOR PERMIT
2	05/02/17	REVISIONS
3	05/02/17	REVISIONS
4	05/02/17	REVISIONS
5	05/02/17	REVISIONS
6	05/02/17	REVISIONS
7	05/02/17	REVISIONS
8	05/02/17	REVISIONS
9	05/02/17	REVISIONS
10	05/02/17	REVISIONS

abbott
ARCHITECTURE INC.

ARCHITECT DESIGN LTD.
1111 BAYVIEW AVE. SUITE 100
SCARBOROUGH, ONTARIO M1B 2Y7
TEL: (416) 291-1111
WWW.ABBOTTARCHITECTURE.COM

PROJECT TITLE	PUSHALIK RESIDENCE
ADDRESS	8 HADDINGTON AVENUE SCARBOROUGH, ON
SHEET TITLE	SOUTH ELEVATION COMPARISON
DESIGNED BY	DATE
09/	04/23/17
CHECKED BY	DATE
B.A.	
SCALE	TITLE
1/8"=1'-0"	XXXXXX
PROJECT NO.	DRAWING NO.
XXXX	A6

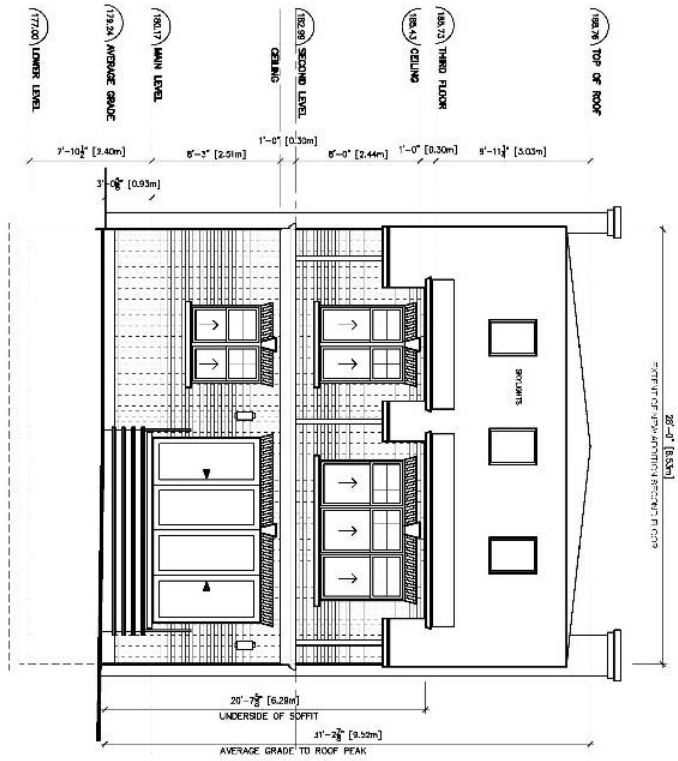


FIGURE 3A:
PROPOSED REAR ELEVATION
WITH LOFT

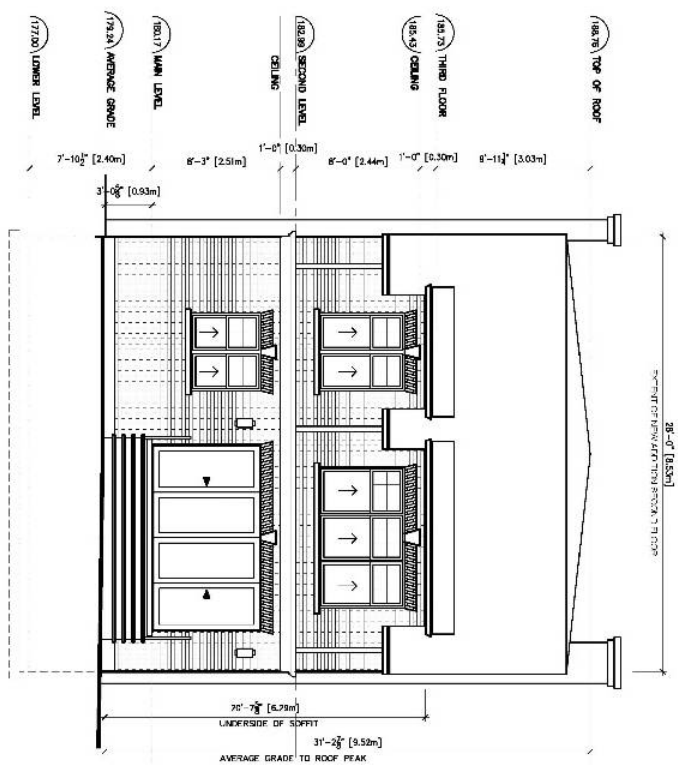


FIGURE 3B:
PROPOSED REAR ELEVATION
WITHOUT LOFT

CONTRACTOR SHALL VERIFY AND VERIFY ALL MATERIALS AND METHODS OF CONSTRUCTION ON THE SITE BEFORE ANY CONSTRUCTION BEGINS. LATER APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF CHICAGO. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CHICAGO. DIMENSIONS NOT TO BE SCALED.

REVISIONS

NO.	DATE	DESCRIPTION
01	10/01/17	ISSUED FOR R.F.I.
02	10/02/17	ISSUED FOR R.F.I.
03	10/03/17	ISSUED FOR R.F.I.
04	10/04/17	ISSUED FOR R.F.I.
05	10/05/17	ISSUED FOR R.F.I.
06	10/06/17	ISSUED FOR R.F.I.
07	10/07/17	ISSUED FOR R.F.I.
08	10/08/17	ISSUED FOR R.F.I.
09	10/09/17	ISSUED FOR R.F.I.
10	10/10/17	ISSUED FOR R.F.I.
11	10/11/17	ISSUED FOR R.F.I.
12	10/12/17	ISSUED FOR R.F.I.
13	10/13/17	ISSUED FOR R.F.I.
14	10/14/17	ISSUED FOR R.F.I.
15	10/15/17	ISSUED FOR R.F.I.
16	10/16/17	ISSUED FOR R.F.I.
17	10/17/17	ISSUED FOR R.F.I.
18	10/18/17	ISSUED FOR R.F.I.
19	10/19/17	ISSUED FOR R.F.I.
20	10/20/17	ISSUED FOR R.F.I.
21	10/21/17	ISSUED FOR R.F.I.
22	10/22/17	ISSUED FOR R.F.I.
23	10/23/17	ISSUED FOR R.F.I.
24	10/24/17	ISSUED FOR R.F.I.
25	10/25/17	ISSUED FOR R.F.I.
26	10/26/17	ISSUED FOR R.F.I.
27	10/27/17	ISSUED FOR R.F.I.
28	10/28/17	ISSUED FOR R.F.I.
29	10/29/17	ISSUED FOR R.F.I.
30	10/30/17	ISSUED FOR R.F.I.
31	10/31/17	ISSUED FOR R.F.I.
32	11/01/17	ISSUED FOR R.F.I.
33	11/02/17	ISSUED FOR R.F.I.
34	11/03/17	ISSUED FOR R.F.I.
35	11/04/17	ISSUED FOR R.F.I.
36	11/05/17	ISSUED FOR R.F.I.
37	11/06/17	ISSUED FOR R.F.I.
38	11/07/17	ISSUED FOR R.F.I.
39	11/08/17	ISSUED FOR R.F.I.
40	11/09/17	ISSUED FOR R.F.I.
41	11/10/17	ISSUED FOR R.F.I.
42	11/11/17	ISSUED FOR R.F.I.
43	11/12/17	ISSUED FOR R.F.I.
44	11/13/17	ISSUED FOR R.F.I.
45	11/14/17	ISSUED FOR R.F.I.
46	11/15/17	ISSUED FOR R.F.I.
47	11/16/17	ISSUED FOR R.F.I.
48	11/17/17	ISSUED FOR R.F.I.
49	11/18/17	ISSUED FOR R.F.I.
50	11/19/17	ISSUED FOR R.F.I.
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52	11/21/17	ISSUED FOR R.F.I.
53	11/22/17	ISSUED FOR R.F.I.
54	11/23/17	ISSUED FOR R.F.I.
55	11/24/17	ISSUED FOR R.F.I.
56	11/25/17	ISSUED FOR R.F.I.
57	11/26/17	ISSUED FOR R.F.I.
58	11/27/17	ISSUED FOR R.F.I.
59	11/28/17	ISSUED FOR R.F.I.
60	11/29/17	ISSUED FOR R.F.I.
61	11/30/17	ISSUED FOR R.F.I.
62	12/01/17	ISSUED FOR R.F.I.
63	12/02/17	ISSUED FOR R.F.I.
64	12/03/17	ISSUED FOR R.F.I.
65	12/04/17	ISSUED FOR R.F.I.
66	12/05/17	ISSUED FOR R.F.I.
67	12/06/17	ISSUED FOR R.F.I.
68	12/07/17	ISSUED FOR R.F.I.
69	12/08/17	ISSUED FOR R.F.I.
70	12/09/17	ISSUED FOR R.F.I.
71	12/10/17	ISSUED FOR R.F.I.
72	12/11/17	ISSUED FOR R.F.I.
73	12/12/17	ISSUED FOR R.F.I.
74	12/13/17	ISSUED FOR R.F.I.
75	12/14/17	ISSUED FOR R.F.I.
76	12/15/17	ISSUED FOR R.F.I.
77	12/16/17	ISSUED FOR R.F.I.
78	12/17/17	ISSUED FOR R.F.I.
79	12/18/17	ISSUED FOR R.F.I.
80	12/19/17	ISSUED FOR R.F.I.
81	12/20/17	ISSUED FOR R.F.I.
82	12/21/17	ISSUED FOR R.F.I.
83	12/22/17	ISSUED FOR R.F.I.
84	12/23/17	ISSUED FOR R.F.I.
85	12/24/17	ISSUED FOR R.F.I.
86	12/25/17	ISSUED FOR R.F.I.
87	12/26/17	ISSUED FOR R.F.I.
88	12/27/17	ISSUED FOR R.F.I.
89	12/28/17	ISSUED FOR R.F.I.
90	12/29/17	ISSUED FOR R.F.I.
91	12/30/17	ISSUED FOR R.F.I.
92	12/31/17	ISSUED FOR R.F.I.
93	1/01/18	ISSUED FOR R.F.I.
94	1/02/18	ISSUED FOR R.F.I.
95	1/03/18	ISSUED FOR R.F.I.
96	1/04/18	ISSUED FOR R.F.I.
97	1/05/18	ISSUED FOR R.F.I.
98	1/06/18	ISSUED FOR R.F.I.
99	1/07/18	ISSUED FOR R.F.I.
100	1/08/18	ISSUED FOR R.F.I.

abbott
ARCHITECTURE

ROBERT BERON, LTD.
100 N. LA SALLE ST.
CHICAGO, IL 60601

PROJECT TITLE
PUSHALKIN RESIDENCE

8 MADISON AVENUE
TORONTO, ON

SHEET TITLE
NORTH ELEVATION
COMPARISON

DESIGNER	DATE
SP	July 31, 2017
CHECKED BY	DATE
BA	
SCALE	FILE
1/8"=1'-0"	XXXXXX
PROJECT NO.	DRAWING NO.
XXXX	A7

SIGNATURE PAGE

File Number:	A0803/17NY	Zoning	RD/R7(16) [ZZC]
Owner:	SHARON LEE ANDREW PUSHALIK	Ward:	Eglinton-Lawrence (16)
Agent:	ABBOTT DESIGN LTD	Heritage:	Not Applicable
Property Address:	8 HADDINGTON AVE	Community:	North York
Legal Description:	PLAN 2523 W PT LOT 14		

Bruce Mullock (signed)

Nazila Atarodi (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0805/17NY	Zoning	RM (f12.0; u2; d0.8) x252/ R2[ZZC]
Owner(s):	PETER PUZZO	Ward:	Eglinton-Lawrence (15)
Agent:	AJT DESIGN	Heritage:	Not Applicable
Property Address:	76 ALAMEDA AVE	Community:	York
Legal Description:	PLAN 1586 LOT 74 PT LOT 73		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second and third floor addition above the existing one-storey dwelling, including a two-storey rear addition. The existing one-storey rear addition would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0m² of the first floor must be within 4.0m of the front main wall.
The area of the proposed first floor within 4.0m of the front wall is 9.0m².
- 2. Chapter 10.5.50.10.(1), By-law No. 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is **50.0%**.
- 3. Chapter 10.80.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 8.5m.
The proposed height of the side exterior main walls facing a side lot line is 10.92m.
- 4. Chapter 10.80.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.8 times the area of the lot.
The proposed Floor Space Index is **0.84** times the area of the lot.
- 5. Chapter 10.80.40.70.(3), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0m²
The proposed area of each platform at or above the second storey is **8.00m²** (front) and **8.00m²** (rear).

6. **Chapter 10.80.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.2m
The proposed east side yard setback is **0.50m**
7. **Chapter 10.80.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.2m
The proposed west side yard setback is 1.07m
8. **Chapter 200.5.1.10(2), By-law No. 569-2013**
The minimum required parking space must have a minimum width of 3.2m.
The proposed parking space is 3.0m in width.
9. **Section 3.2.1(a)(ii), By-law No. 1-83**
The minimum side yard setback is 1.2m.
The proposed west side yard setback is 1.07m.
10. **Section 3. (a), By-law No. 1-83**
The maximum permitted floor space index is 0.8 times the lot area.
The proposed floor space index is 0.98 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed driveway be constructed with permeable pavers;
- 2) The proposal be developed substantially in accordance with the north elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, November 1,2017;
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 3) The proposal maintain the elevation of the existing basement; and
- 4) The applicant is to provide permanent opaque screening or fencing along the north and south edges of the platforms at the top storey with a minimum height of 1.5 metres from the floor.

SIGNATURE PAGE

File Number:	A0805/17NY	Zoning	RM (f12.0; u2; d0.8) x252/ R2[ZZC]
Owner:	PETER PUZZO	Ward:	Eglinton-Lawrence (15)
Agent:	AJT DESIGN	Heritage:	Not Applicable
Property Address:	76 ALAMEDA AVE	Community:	York
Legal Description:	PLAN 1586 LOT 74 PT LOT 73		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0806/17NY	Zoning	RD/R5 [ZZC]
Owner(s):	DINO GARDIMAN	Ward:	York Centre (09)
Agent:	JUST DRAFTING LTD	Heritage:	Not Applicable
Property Address:	18 TUMPANE ST	Community:	North York
Legal Description:	PLAN 3732 LOT 68		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing dwelling, in conjunction with a front and rear two-storey addition and other interior and exterior alterations. The applicant is also proposing to construct a new detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed south side yard setback is 1.18m.

2. Chapter 10.5.100.1.(1), By-law No. 569-2013

The maximum permitted driveway width is 6.00m.
The existing driveway width is 6.20m.

3. Chapter 10.5.40.50(2), By-law No. 569-3013

A platform without main walls, such as a deck, porch or balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks for the zone; 1.80m
The proposed rear deck is setback 1.22m from the south side lot line.

4. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 5.62m.
The proposed front yard setback is 5.30m.

5. Chapter 10.5.60.40.(2), By-law No. 569-2013

The maximum permitted height of an ancillary building or structure is 4.00m.
The proposed height of the ancillary building (detached garage) is 5.64m.

6. Section 14.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.50m.

The proposed front yard setback is 5.30m.

7. Section 6(23)(a)(iv), By-law No. 7625

The maximum height of an accessory building shall be 3.70m from the average grade to the mid-point of the roof.

The proposed height of the detached garage is 4.19m.

8. Section 14.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed south side yard setback is 1.18m.

9. Section 6(24), By-law No. 7625

Unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building; 1.80m

The proposed rear deck is setback 1.22m from the south side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed south side yard setback is 1.18m.

2. Chapter 10.5.100.1.(1), By-law No. 569-2013

The maximum permitted driveway width is 6.00m.

The existing driveway width is 6.20m.

3. Chapter 10.5.40.50(2), By-law No. 569-3013

A platform without main walls, such as a deck, porch or balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks for the zone; 1.80m

The proposed rear deck is setback 1.22m from the south side lot line.

4. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 5.62m.

The proposed front yard setback is 5.30m.

6. Section 14.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.50m.

The proposed front yard setback is 5.30m.

7. Section 6(23)(a)(iv), By-law No. 7625

The maximum height of an accessory building shall be 3.70m from the average grade to the mid-point of the roof.

The proposed height of the detached garage is 4.19m.

8. Section 14.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed south side yard setback is 1.18m.

9. Section 6(24), By-law No. 7625

Unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building; 1.80m

The proposed rear deck is setback 1.22m from the south side lot line.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

5. Chapter 10.5.60.40.(2), By-law No. 569-2013

The maximum permitted height of an ancillary building or structure is 4.00m.

The proposed height of the ancillary building (detached garage) is **4.70m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The roof of the proposed detached garage have a slope of at least 1.0 vertical units for every 4.0 horizontal units for at least 50% of the total horizontal roof area; and
- 2) That the detached garage is to not include any habitable space.

SIGNATURE PAGE

File Number: A0806/17NY
Owner: DINO GARDIMAN
Agent: JUST DRAFTING LTD
Property Address: **18 TUMPANE ST**
Legal Description: PLAN 3732 LOT 68

Zoning: RD/R5 [ZZC]
Ward: York Centre (09)
Heritage: Not Applicable
Community: North York

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0808/17NY	Zoning	RM (f12.0; u2; d0.8) x252/R2[ZZC]
Owner(s):	ANTON VIMALATHAS ANTHONIPILLAI	Ward:	Eglinton-Lawrence (15)
Agent:	EKP DESIGNS INC	Heritage:	Not Applicable
Property Address:	422 NORTHCLIFFE BLVD	Community:	York
Legal Description:	PLAN M430 S PT LOT 36 AND PT LOT 37		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.40.20.(1), By-law No. 569-2013**
The permitted maximum building length is 17.0m
The proposed building length is 19.99m.
- 2. Chapter 10.80.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback for a detached house is 1.2m.
The proposed South side yard setback is 0.51m.
- 3. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0m² of the first floor must be within 4.0m of the front main wall.
The proposed area of the first floor within 4.0m of the front wall is 1.95m².
- 4. Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.
The proposed eaves project are 0.21m from the South lot line.
- 5. Section 3. (a), By-law No. 1-83**
The maximum permitted floor space index is 0.8.
The proposed floor space index is 1.06.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

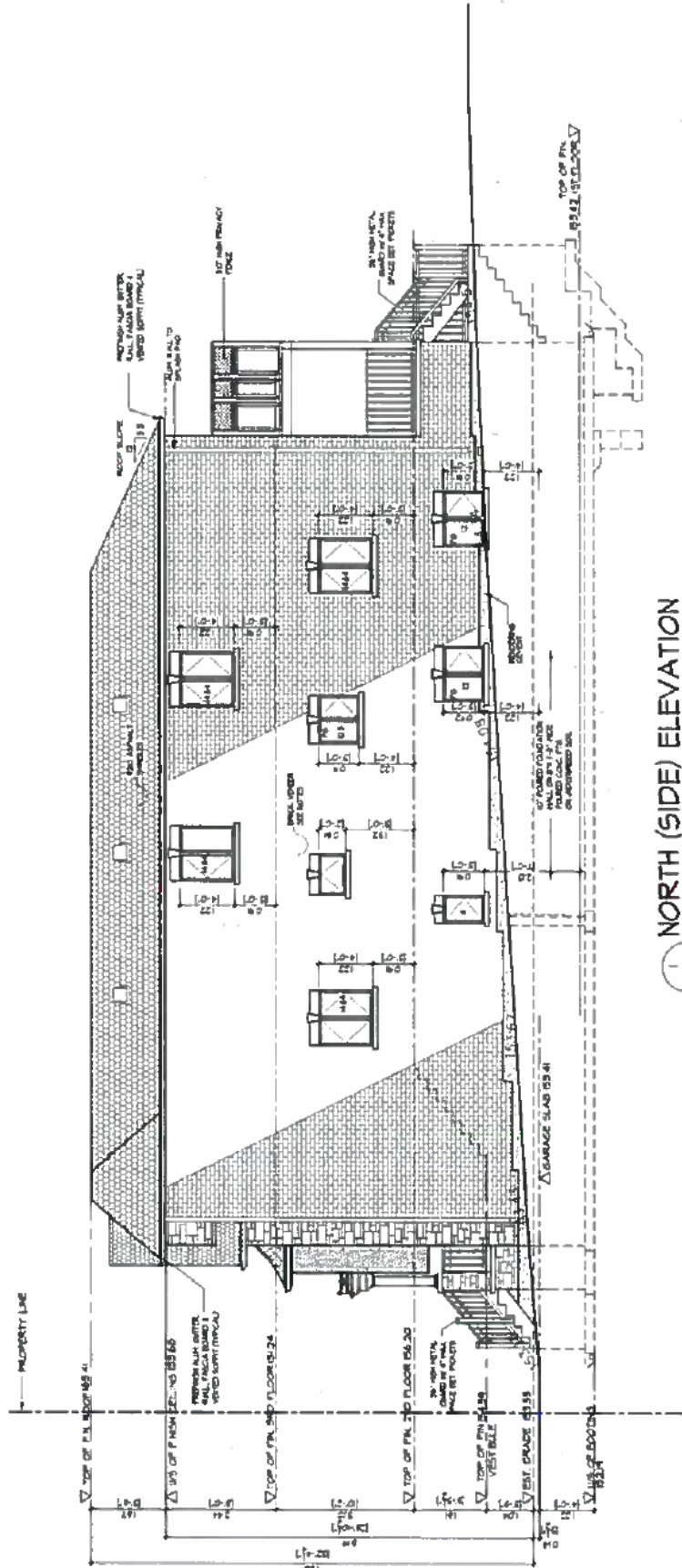
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the north elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, October 27, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized; and
- 2) **The requirements of the Parks and Recreation, Urban Forestry Division;**
 - i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.



HALL AREA = 1504.58 SQ FT
 7% OF WALL AREA = 105.32 SQ FT
 PROPOSED OPENINGS = 102.08 SQ FT

1 NORTH (SIDE) ELEVATION
 SCALE : 1/8" = 1'-0"

RECEIVED
 OCT 27 2017
 Toronto City Planning
 North York District

EKP DESIGNS INC.
 537 ROGERS ROAD
 TORONTO, ONTARIO
 M6E-1G9
 TEL: No. 416-658-5737
 CELL No. 416-723-6983
 EMAIL: ekpsigns@outlook.com

No.	REVISONS	DATE

PROJECT: 3 STOREY DETACHED DWELLING
 422 HORTONVILLE ROAD
 CITY OF TORONTO

DRAWING NAME: North (SIDE) ELEVATION

DESIGNED BY: EKP
 CHECKED BY: EKP
 DATE: JUNE 2017
 APPROVED BY: AB

QUALIFIER INFORMATION: EKP
 REGISTERED PROFESSIONAL ENGINEER
 2007-2011
 2017
 2017
 2017

PREPARED BY: EKP
 2017

NOT TO SCALE. ALL DIMENSIONS SHOWN ON THIS DRAWING ARE TO BE CONSIDERED AS APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE AND MUST NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY VARIATIONS FROM THE DRAWING IS NOT TO SCALE. ACCURACY OF SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. REFER INFORMATION SHOWN ON THE DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE AN OFFER OF ANY PROFESSIONAL SERVICE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE AND MUST NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY VARIATIONS FROM THE DRAWING IS NOT TO SCALE. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR FROM THE DRAWING. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY VARIATIONS FROM THE DRAWING IS NOT TO SCALE.

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SIGNATURE PAGE

File Number:	A0808/17NY	Zoning	RM (f12.0; u2; d0.8) x252/R2[ZZC]
Owner:	ANTON VIMALATHAS ANTHONIPILLAI	Ward:	Eglinton-Lawrence (15)
Agent:	EKP DESIGNS INC	Heritage:	Not Applicable
Property Address:	422 NORTHCLIFFE BLVD	Community:	York
Legal Description:	PLAN M430 S PT LOT 36 AND PT LOT 37		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0809/17NY	Zoning	RD/R4 [ZCC]
Owner(s):	MARINA VIEGAS RAMNATH SHETTY	Ward:	Willowdale (23)
Agent:	RAMNATH SHETTY	Heritage:	Not Applicable
Property Address:	459 HOUNSLOW AVE	Community:	North York
Legal Description:	PLAN 2057 PT LOT 139		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 31.70% of the lot area.

2. Chapter 10.20.40.10.(6), By-law No. 569-2013

The maximum permitted finished first floor height is 1.20m.

The proposed finished first floor height is 1.23m.

3. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.66m.

4. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 19.34m.

5. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck projects 3.35m from the rear wall and is 51.30% of the width of the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the east and west side elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, October 30, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on this drawing. Refer to the appropriate engineering drawings before proceeding with work.

Contractor shall check all dimensions on the work and report any discrepancies to the designer before proceeding. Construction must conform to applicable Codes, Requirements and By-laws of Authority having jurisdiction.

This drawing is not to be scaled.

This drawing is not to be used for Construction unless signed by the Designer.

Issued for Construction:
 Signature: _____
 Date: _____

M Con Design Build Inc. ©

THE UNDERSIGNED HAS REVIEWED AND ACCEPTS RESPONSIBILITY FOR THE DESIGN. THE DESIGNER'S DESIGN SHALL MEET ALL REQUIREMENTS SET OUT IN O.B.C. TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER DIVISION C3.3.2.5.1 OF 2006 O.B.C. (R2.17.3.1, THE 1997 O.B.C.)

DESIGNER: MAUREZA ZADRAO
 BCIN: 41887

FIRM NAME: M CON DESIGN BUILD INC.
 BCIN: 47215

REGISTRATION INFORMATION REQUIRED UNDER DIVISION C-3.3.4.1 OF 2006 O.B.C. (R2.17.3.1, THE 1997 O.B.C.)

M CON
 M CON DESIGN BUILD INC.
 7711 Yonge Street Toronto ON unit 202
 T: (647) 947-1033 F: (647) 947-2528
 Email: or@mcondesignbuild.com
 www.mcondesignbuild.com

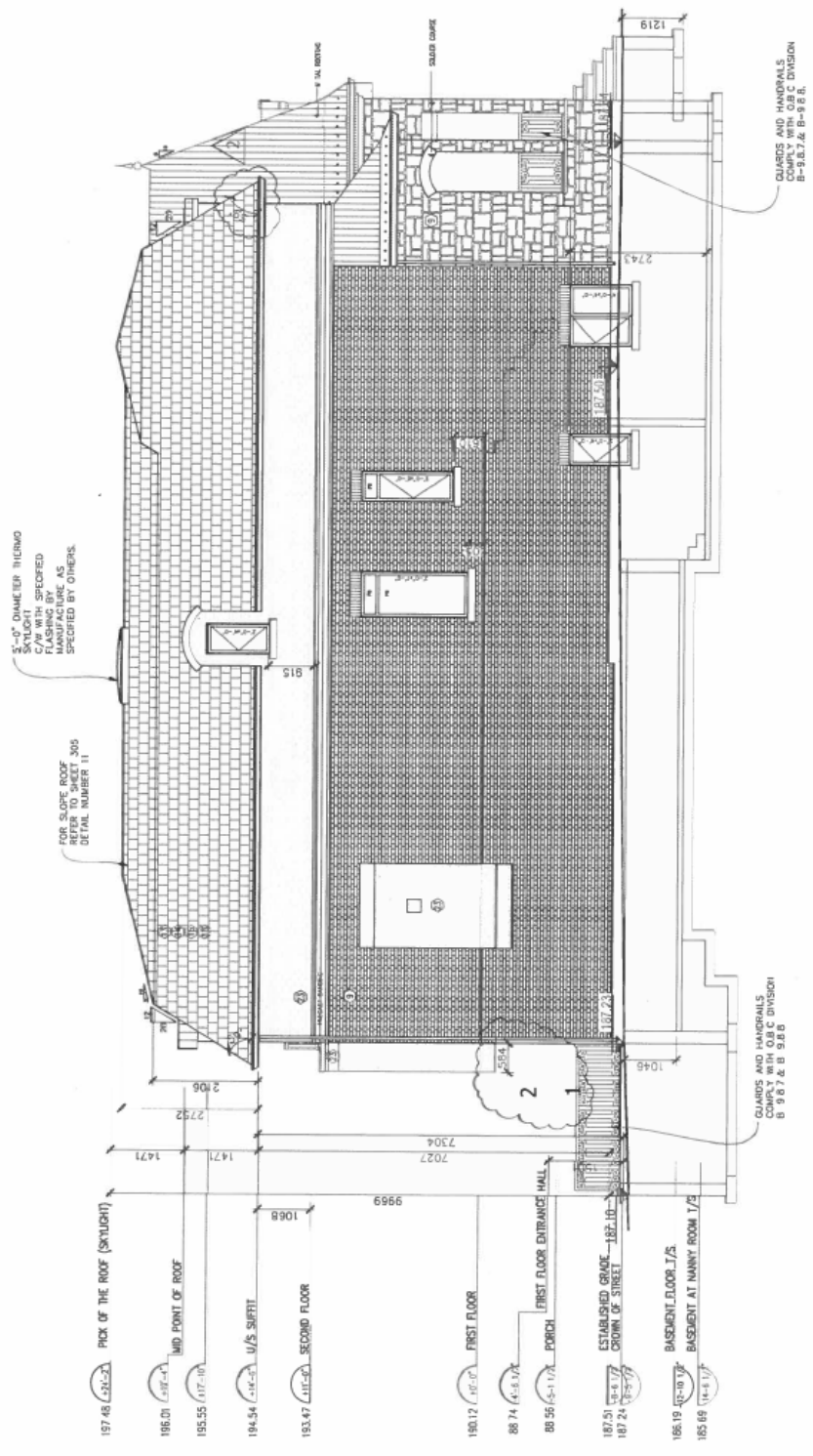
Project: 459 HOUNSLOW AVE
 TORONTO ONTARIO

Drawing Title: EAST ELEVATION

No.	Revision	Date
2	Revised	09/27/17
1	Permit	19/01/17
3	Client review and approval	24/03/17
2	Client review and approval	24/02/17
1	Issued For	19/01/17

Scale: 1:100
 Drawn by: RZ
 Checked by: AZ
 File No.: 101-17
 Date: _____

Drawing No: A203



RECEIVED
 OCT 30 2017
 Toronto City Planning
 North York District

1 East Elevation
 Scale: 1:100

The Designer is not responsible for the accuracy of survey, structural, mechanical, electrical, etc. engineering information shown on the drawing. Refer to the appropriate engineering drawings before proceeding with work.

Contractor shall check all dimensions on the work and report any discrepancies to the designer before proceeding. Construction must conform to applicable Codes, Requirements and By-laws of Authority having jurisdiction.

This drawing is not to be scaled.

This drawing is not to be used for Construction unless signed by the Designer.

Issued for Construction
 Signature _____
 Date _____
 M Con Design Build Inc. ©

THE UNDERSIGNED HAS REVIEWED AND TAKEN INTO ACCOUNT THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN O.B.C. TO BE A DESIGNER. QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS FOR A PROFESSIONAL CORPORATION OF 2006 O.B.C. (OR 2.17.5.1. THE 1997 O.B.C.).

DESIGNER
 AHMADREZA ZADRAD
 BCIN - 41887

FIRM NAME: M CON DESIGN BUILD INC.
 BCIN - 47215
 REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS FOR A PROFESSIONAL CORPORATION OF 2006 O.B.C. (OR 2.17.5.1. THE 1997 O.B.C.)

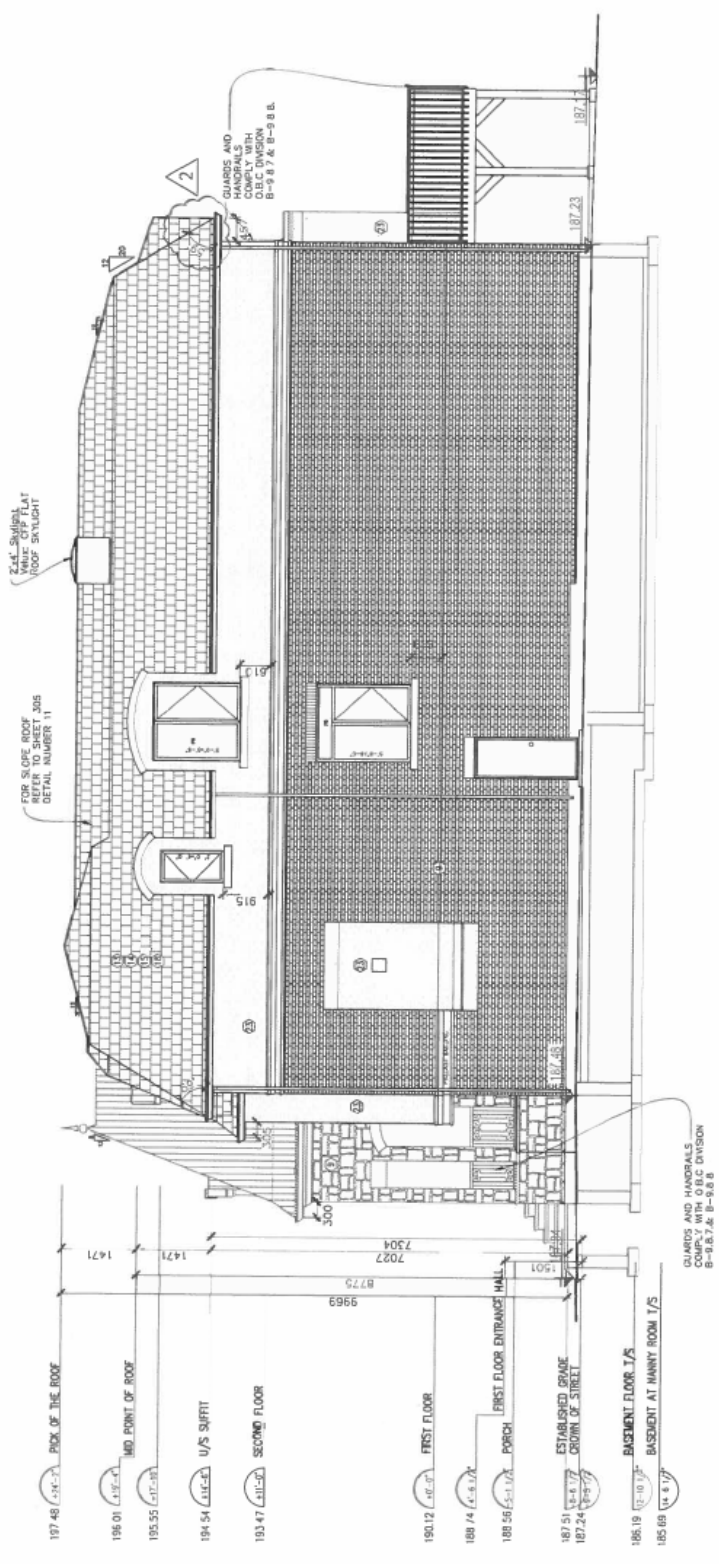
MCON
 M CON DESIGN BUILD INC.
 7711 Yonge Street, Suite 101, Unit 102
 Toronto, Ontario M2H 2S6
 Tel: (416) 947-8033 F: (416) 947-2266
 Email: mcondesignbuild.com
 www.mcondevelopers.com

Project
 459 HOUNSLOW AVE
 TORONTO ONTARIO

Drawing Title
 WEST ELEVATION

No.	Revision	Date
1	201610	2017
2		
3		
4		
5		
6		
7		
8		
9		
10		

Scale 1:100
 Drawing No. A202
 Drawn by RZ
 Checked by AZ
 File No. 10-17
 Date



1 West Elevation
 Scale: 1:100

RECEIVED
 OCT 30 2017
 Toronto City Planning
 North York District

SIGNATURE PAGE

File Number:	A0809/17NY	Zoning	RD/R4 [ZCC]
Owner:	MARINA VIEGAS RAMNATH SHETTY	Ward:	Willowdale (23)
Agent:	RAMNATH SHETTY	Heritage:	Not Applicable
Property Address:	459 HOUNSLOW AVE	Community:	North York
Legal Description:	PLAN 2057 PT LOT 139		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0810/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	JIANPING WANG	Ward:	Willowdale (23)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	390 WILLOWDALE AVE	Community:	North York
Legal Description:	PLAN 2633 LOT 28		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor must be within 4.0 m of the front wall.
There is 7.92 m² proposed within 4 m of the front main wall.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the north side exterior main wall facing a side lot line is 8.12 m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the south side exterior main wall facing a side lot line is **8.20 m**.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.0% of the lot area.
- Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building may encroach into a required building setback if the stairs are no wider than 2.0 m.
The proposed stairs are 2.34 m wide.
- Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed south side yard setback is 1.52 m

7. **Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed north side yard setback is 1.52 m
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed south side yard setback is 1.52 m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed north side yard setback is 1.52 m.
10. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 8.97 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor must be within 4.0 m of the front wall.
There is 7.92 m² proposed within 4 m of the front main wall.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the north side exterior main wall facing a side lot line is 8.12 m.
3. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the south side exterior main wall facing a side lot line is **8.20 m**.
4. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32.0% of the lot area.
5. **Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building may encroach into a required building setback if the stairs are no wider than 2.0 m.
The proposed stairs are 2.34 m wide.
10. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 8.97 m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

6. **Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed south side yard setback is 1.52 m **for the front 6.35m garage portion only.**
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed south side yard setback is 1.52 m **for the front 6.35m garage portion only.**

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

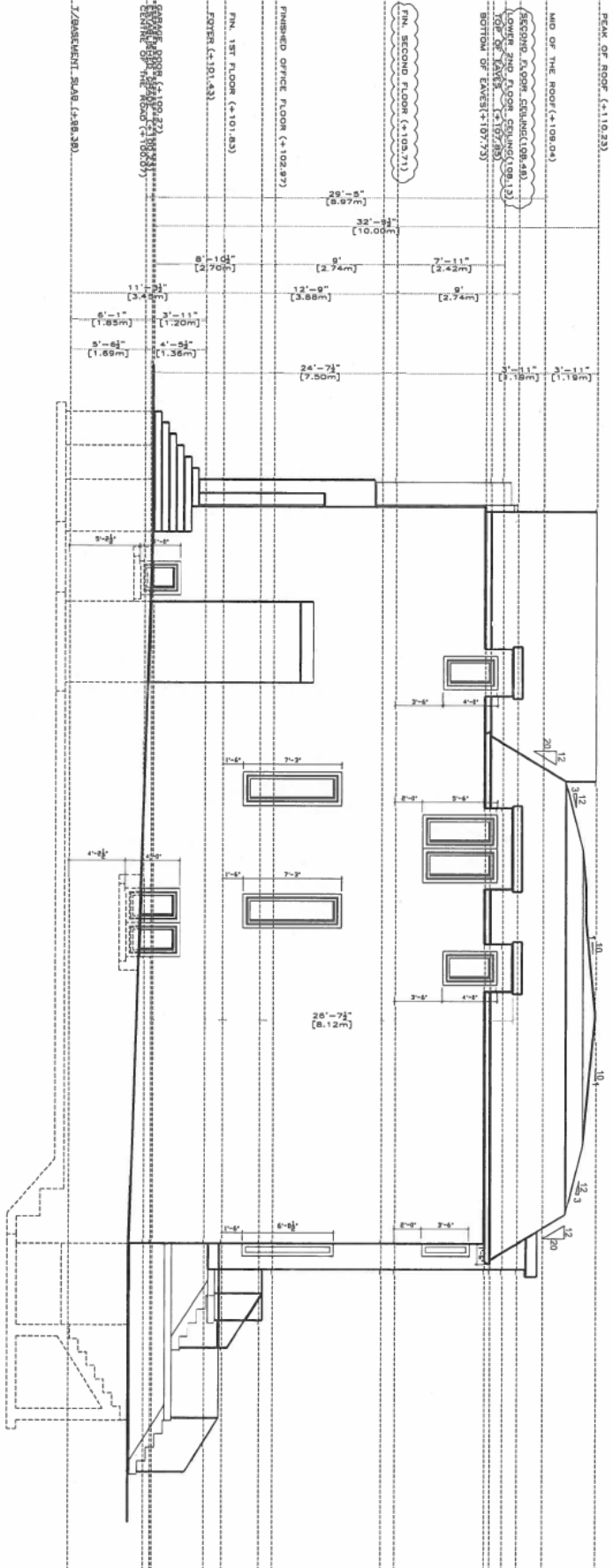
7. **Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed north side yard setback is 1.52 m
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed north side yard setback is 1.52 m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

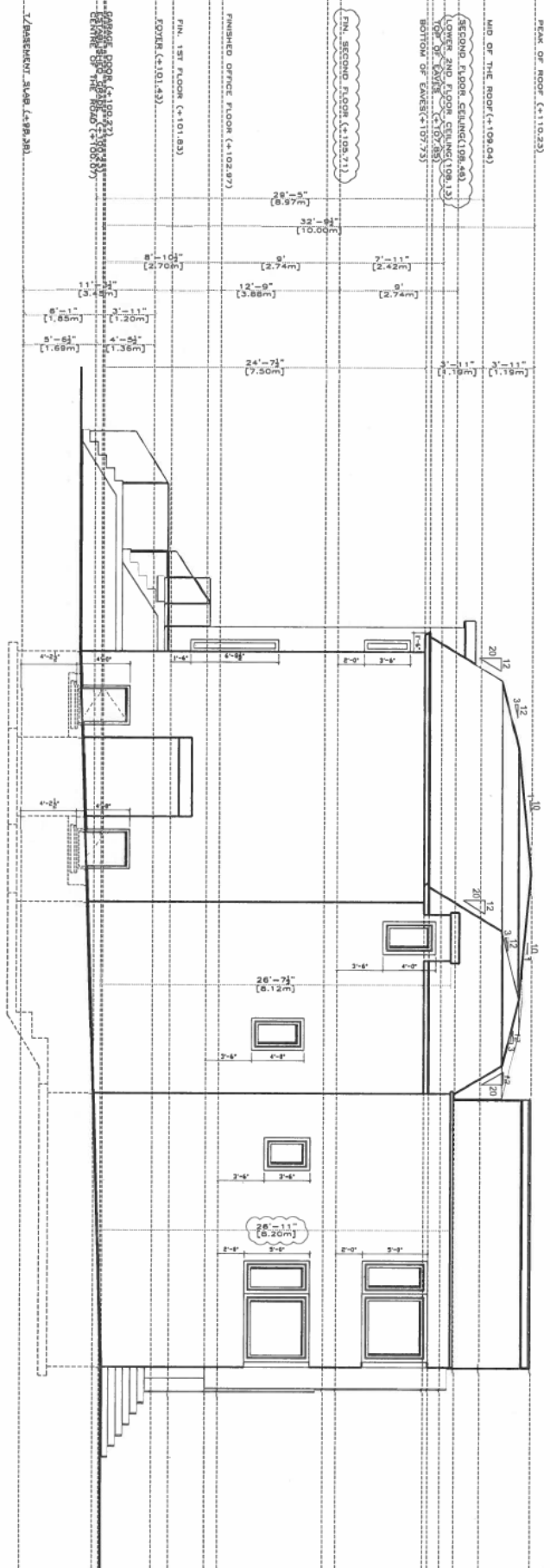
This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the north and south side elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, October 30, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



RECEIVED
 OCT 31 2017
 Toronto City Planning
 North York District

NO.	ISSUED FOR	DATE
1	ZONING	15.08.2017
2	CDA	31.08.2017
3	CDA	31.10.2017



RECEIVED

JUL 30 2017

Toronto City Planning
North York District

NO	REVISION FOR	DATE
1	ZONING	14.06.2017
2	COA	21.08.2017
3	COA	31.10.2017

SIGNATURE PAGE

File Number:	A0810/17NY	Zoning	RD / R4 (ZZC)
Owner:	JIANPING WANG	Ward:	Willowdale (23)
Agent:	MEHRAN HEYDARI	Heritage:	Not Applicable
Property Address:	390 WILLOWDALE AVE	Community:	North York
Legal Description:	PLAN 2633 LOT 28		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, November 9, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0812/17NY	Zoning	R4 [BLD]
Owner(s):	RONALD BATT LESLIE BATT	Ward:	Willowdale (23)
Agent:	LESLIE BATT	Heritage:	Not Applicable
Property Address:	15 FLEETWELL CRT	Community:	North York
Legal Description:	PLAN 5095 LOT 170		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the construction of a new canopy to the rear of the existing dwelling. The existing canopy would be removed.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6(9)(i), By-law No. 7625

Canopies shall be permitted to project into the rear yard a distance of not more than 1.80m from the wall. The proposed canopy projects 4.11m into the rear yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0812/17NY	Zoning	R4 [BLD]
Owner:	RONALD BATT LESLIE BATT	Ward:	Willowdale (23)
Agent:	LESLIE BATT	Heritage:	Not Applicable
Property Address:	15 FLEETWELL CRT	Community:	North York
Legal Description:	PLAN 5095 LOT 170		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0815/17NY	Zoning	R6 [BLD]
Owner(s):	ZHOUMAO YU	Ward:	Willowdale (23)
Agent:	LIHANG WANG	Heritage:	Not Applicable
Property Address:	216 HARLANDALE AVE	Community:	North York
Legal Description:	PLAN M389 LOT 169		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a deck at the rear of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck projects 5.18m from the rear wall and exceeds 1.00m in height.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the western edge of the proposed rear deck; with a minimum height of 1.5 metres from the floor of the deck

SIGNATURE PAGE

File Number:	A0815/17NY	Zoning	R6 [BLD]
Owner:	ZHOUMAO YU	Ward:	Willowdale (23)
Agent:	LIHANG WANG	Heritage:	Not Applicable
Property Address:	216 HARLANDALE AVE	Community:	North York
Legal Description:	PLAN M389 LOT 169		

Nadini Sankar (signed)

Nazila Atarodi (signed)

Isaac Lallouz (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0817/17NY	Zoning	RM (f12.0; u2; d0.8) (x252)
Owner(s):	DONIKA CANE ENDRIT CANE	Ward:	Eglinton-Lawrence (15)
Agent:	MARIO SILVA	Heritage:	Not Applicable
Property Address:	177 BELGRAVIA AVE	Community:	North York
Legal Description:	PLAN 1663 W PT LOT 144		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To rebuild the front entrance of the existing one-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.60.(1), By-law No. 569-2013

A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5m if it is no closer to a side lot line than the required side yard setback.

The proposed platform encroaches 3.19m into the required front yard setback.

2. Chapter 10.5.40.60.(3), By-law No. 569-2013

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6m.

The proposed stairs are 0m from the front lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0817/17NY	Zoning	RM (f12.0; u2; d0.8) (x252)
Owner:	DONIKA CANE ENDRIT CANE	Ward:	Eglinton-Lawrence (15)
Agent:	MARIO SILVA	Heritage:	Not Applicable
Property Address:	177 BELGRAVIA AVE	Community:	North York
Legal Description:	PLAN 1663 W PT LOT 144		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

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Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0818/17NY	Zoning	RD/R4 [WAV]
Owner(s):	HAMID REZA YAHYAEE HAMID YAHEE	Ward:	Willowdale (23)
Agent:	MANARCH DESIGN	Heritage:	Not Applicable
Property Address:	74 CAINES AVE	Community:	North York
Legal Description:	PLAN 3323 W PT LOT 35		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the dwelling currently under construction.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

Chapter 10.5.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 7.67m.

The proposed front yard setback is 6.70m (as built).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0818/17NY	Zoning	RD/R4 [WAV]
Owner:	HAMID REZA YAHYAEE HAMID YAHEE	Ward:	Willowdale (23)
Agent:	MANARCH DESIGN	Heritage:	Not Applicable
Property Address:	74 CAINES AVE	Community:	North York
Legal Description:	PLAN 3323 W PT LOT 35		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0819/17NY	Zoning	RD / R1 (ZZC)
Owner(s):	DEBBIE RIZAS	Ward:	Don Valley West (25)
Agent:	LINDY CONSULTING LIMITED	Heritage:	Not Applicable
Property Address:	91 DAWLISH AVE	Community:	Toronto
Legal Description:	PLAN 1485 LOT 18		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To constructed a new rear addition and decks to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.5 m
The proposed and existing side yard setback is 1.09 m.
- 2. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.35 times the area of the lot.
The proposed floor space index is 0.50 m.
- 3. Chapter 10.20.40.50.(1), By-law No. 569-2013**
The maximum permitted area of each platform at or above the second storey is 4.0 m².
The proposed area of each platform at or above the second storey is **7.00m²**.
- 4. Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.35 times the area of the lot.
The proposed gross floor area is 0.50 times the area of the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0819/17NY	Zoning	RD / R1 (ZZC)
Owner:	DEBBIE RIZAS	Ward:	Don Valley West (25)
Agent:	LINDY CONSULTING LIMITED	Heritage:	Not Applicable
Property Address:	91 DAWLISH AVE	Community:	Toronto
Legal Description:	PLAN 1485 LOT 18		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0820/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner(s):	RATTAN SINGH DHANOYA JASKIRAT KAUR DHANOYA	Ward:	Willowdale (23)
Agent:	ESCALA DESIGNS INC	Heritage:	Not Applicable
Property Address:	288 CHURCHILL AVE	Community:	North York
Legal Description:	PLAN 3186 E 12		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey dwelling and a two-storey front addition. The existing porch would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 8.36m.
The proposed front yard setback is 7.848m.
- 2. Chapter 10.5.50.10.(1), By-law No. 569-2013**
The minimum required front yard landscaping area is 60%.
The proposed front yard landscaping area is 52.14%.
- 3. Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8m.
The existing and proposed west side yard setback is 1.341m.
- 4. Section 13.2.3(b), By-law No. 7625**
The required minimum side yard setback is 1.8m.
The existing and proposed west side yard setback is 1.341m.
- 5. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.144 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The driveway be constructed of permeable pavers.

SIGNATURE PAGE

File Number:	A0820/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner:	RATTAN SINGH DHANOYA JASKIRAT KAUR DHANOYA	Ward:	Willowdale (23)
Agent:	ESCALA DESIGNS INC	Heritage:	Not Applicable
Property Address:	288 CHURCHILL AVE	Community:	North York
Legal Description:	PLAN 3186 E 12		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0821/17NY	Zoning	RD / R1B (WAVIER)
Owner(s):	YVETTE GHO STEPHEN LEE	Ward:	Don Valley West (26)
Agent:	MANARCH DESIGN	Heritage:	Not Applicable
Property Address:	28 SOUTHVALE DR	Community:	East York
Legal Description:	PLAN 2120 PT LOT 766 PT LOT 767		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² must be within the first 4.0 m of the front main wall.
There is 7.09 m² of the first floor within 4.0 m of the front main wall.
- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted height of a building is 8.5 m
The proposed building height is **8.85 m**.
- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.737 times the area of the lot.
- Chapter 10.50.80.40.(2), By-law No. 569-2013**
For a detached house where an individual private driveway leads directly to the dwelling unit, the elevation of the lowest point of vehicle entrance in a main wall of the building must be higher than the elevation of the centreline of the driveway at the point where it intersects a lot line abutting a street; 100.24
The proposed elevation of the lowest point of a vehicle entrance in a main wall of the building is 99.83.
- Chapter 10.5.40.50.(2), By-law No. 569-2013**
The minimum required side lot line setback is 1.2 m.
The proposed north side yard setback is 0.72 m.

6. **Chapter 10.5.40.50.(2), By-law No. 569-2013**
The minimum required side lot line setback is 1.2 m.
The proposed south side yard setback is 0.91 m.
7. **Chapter 10.50.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback 2.5 m it is no closer to a side lot line than the required side yard setback.
The proposed porch encroaches 0.3 m into the required front yard setback and is 0.29 m closer to the side lot line than the required setback.
8. **Section 6.3.3, By-law No. 1916**
The maximum permitted building height is 8.5 m.
The proposed building height is **8.85 m**.
9. **Section 6.3.3, By-law No. 1916**
The maximum permitted floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.737 times the area of the lot.
10. **Section 6.3.3, By-law No. 1916**
The minimum required north side yard setback is 0.9 m
The proposed north side yard setback is 0.72 m.
11. **Section 6.1.2, By-law No. 1916**
Garages located below finished grade are prohibited in detached dwellings.
The proposed garage is located below finished grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

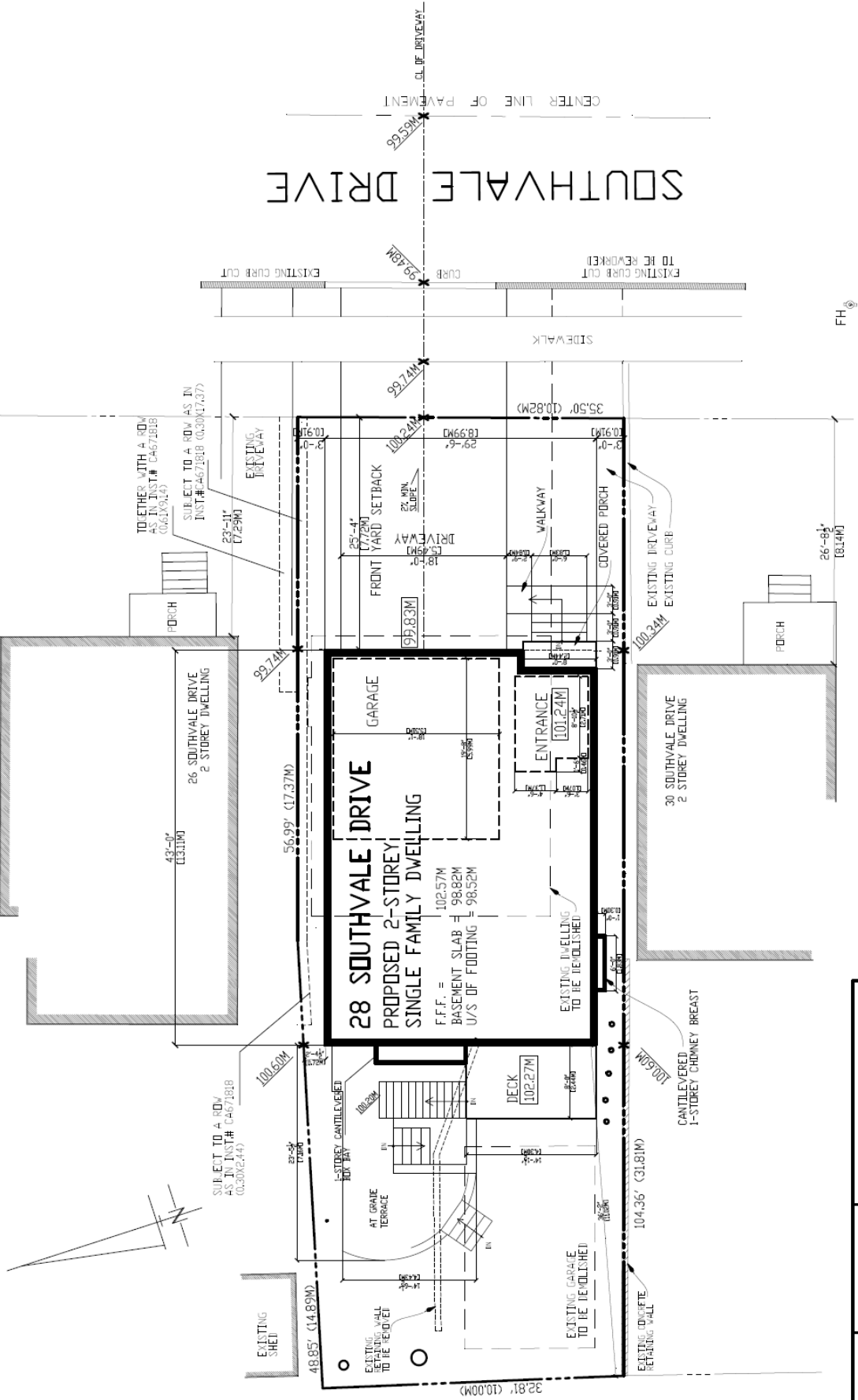
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposed driveway be constructed with permeable pavers;
- 2) The driveway maintains a positive slope (2% minimum) from the street to the entry of the integral garage; and
- 3) The property being developed substantially in accordance with the site plan attached to this decision, dated October 6, 2017, attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



SOUTHVALE DRIVE

CENTER LINE OF PAVEMENT

MD ManArch Design
 1 Timberwood Stone Way
 Suite 1010
 Irvine, CA 92614
 Phone: (949) 454-2828
 Website: manarch.com
 Email: md@manarch.com

Project Name and Address
 PROPOSED RESIDENCE AT
 28 SOUTHVALE DRIVE
 LEASIDE

Drawing	SITE PLAN
Date	OCT 6 2017
Scale	3/32" = 1'-0"
Name	REVISED & REISSUED FOR EDGING & CHA

Site Plan
 Date: OCT 6 2017
 Scale: 3/32" = 1'-0"
 Name: REVISED & REISSUED FOR EDGING & CHA

Form Name and Address
 ManArch Design
 1 Timberwood Stone Way
 Suite 1010
 Irvine, CA 92614
 Phone: (949) 454-2828
 Website: manarch.com
 Email: md@manarch.com

SIGNATURE PAGE

File Number:	A0821/17NY	Zoning	RD / R1B (WAVIER)
Owner:	YVETTE GHO STEPHEN LEE	Ward:	Don Valley West (26)
Agent:	MANARCH DESIGN	Heritage:	Not Applicable
Property Address:	28 SOUTHVALE DR	Community:	East York
Legal Description:	PLAN 2120 PT LOT 766 PT LOT 767		

Bruce Mullock (signed)

Derek Lett (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, November 16, 2017

LAST DATE OF APPEAL:
Wednesday, November 29, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, November 9, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0822/17NY	Zoning	RD / R1 (ZZC)
Owner(s):	CHUNG-MAN LAM JAY JEFFREY HOWARD MOSS	Ward:	Eglinton-Lawrence (16)
Agent:	AMIR HAJIMOHAMMAD	Heritage:	Not Applicable
Property Address:	370 GLENCAIRN AVE	Community:	Toronto
Legal Description:	PLAN M87 PT LOT 69		

Notice was given and a Public Hearing was held on Thursday, November 9, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
The required minimum area of the first floor within 4.0 m of the front main wall is 10 m².
The proposed area of the first floor within 4.0 m of the front main wall is 0 m².
- Chapter 10.50.100.1(1), By-law No. 569-2013**
The maximum permitted driveway width is 4.1 m
The proposed driveway width is 4.4 m.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0 m.
The proposed building length is **17.50 m**.
- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted floor space index is 0.35 times the area of the lot.
The proposed floor space index is **0.52** times the area of the lot.
- Section 6(3) Part I 1, By-law no. 438-86**
The maximum permitted gross floor area is 0.35 times the area of the lot.
The proposed gross floor area is **0.52** times the area of the lot.

6. Section 6(3) Part IV 3(II), By-law no. 438-86

An integral garage is not permitted in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line.

The proposed integral garage is below grade.

7. Section 6(3) Part IV 4(II), By-law no. 438-86

A driveway located between the front lot line, projecting to the side lot line, and any wall facing the front lot line is required not to exceed a width of 4.13 m.

The proposed driveway is 4.4 m wide.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the eastern edge of the rear platform with a minimum height of 1.5 metres from the floor;
- 2) The driveway maintains a positive slope from the street to the entry garage; and
- 3) **The requirements of the Parks and Recreation, Urban Forestry Division;**
 - i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf. Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.
 - ii) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0822/17NY	Zoning	RD / R1 (ZZC)
Owner:	CHUNG-MAN LAM JAY JEFFREY HOWARD MOSS	Ward:	Eglinton-Lawrence (16)
Agent:	AMIR HAJIMOHAMMAD	Heritage:	Not Applicable
Property Address:	370 GLENCAIRN AVE	Community:	Toronto
Legal Description:	PLAN M87 PT LOT 69		

Bruce Mullock (signed)

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