

Thursday, October 26, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0031/17NY	Zoning	R4 (WAIVER)
Owner(s):	FARIBORZ CHEGINI ZAHARA CHEGINI	Ward:	Willowdale (23)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	351 HOLLYWOOD AVE	Community:	North York
Legal Description:	PLAN 1801 LOT 126 LOT 127 PT LOT 128		

Notice was given and the application considered on Thursday, October 26, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two (2) undersized residential lots. A consent was previously refused on this property.

Retained - Part 1

Address to be assigned

The lot frontage is 9.14 m and the lot area is 349.4 m². A new two-storey dwelling with an integral garage will be constructed which will require variances to the Zoning By-law, as outlined in application Number A0380/17NY.

Conveyed - Part 2

Address to be assigned

The lot frontage is 9.14 m and the lot area is 350.1 m². A new two-storey dwelling with an integral garage will be constructed which will require variances to the Zoning By-law, as outlined in application Number A0381/17NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.

- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

DATE : _____, 2013 DATE : _____, 2012

S.M. YADOLLAHI
ONTARIO LAND SURVEYOR
REPRESENTATIVE FOR THE LAND
REGISTRAR LAND TITLES DIVISION OF
TORONTO REGISTRY OFFICE (No.66)

Metric
DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

PLAN OF SURVEY OF
LOTS 126 & 127 and
PART OF LOT 128,
REGISTERED PLAN 1801
CITY OF TORONTO
FORMERLY CITY OF NORTH YORK

SCALE 1:250
0 1 2 3 4 5 10 20 metres

ertl surveyors 2013
Ontario Land Surveyors

Schedule

PART	LOT	REGISTERED PLAN	P.I.N.	AREA
1	LOT 126	1801	ALL OF 10066-0021(LT)	349.4m ²
2	LOT 127 & PART OF LOT 128			350.1m ²

Surveyor's Certificate

I CERTIFY THAT :
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT
AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON _____, 2013

S.M. YADOLLAHI
Ontario Land Surveyor

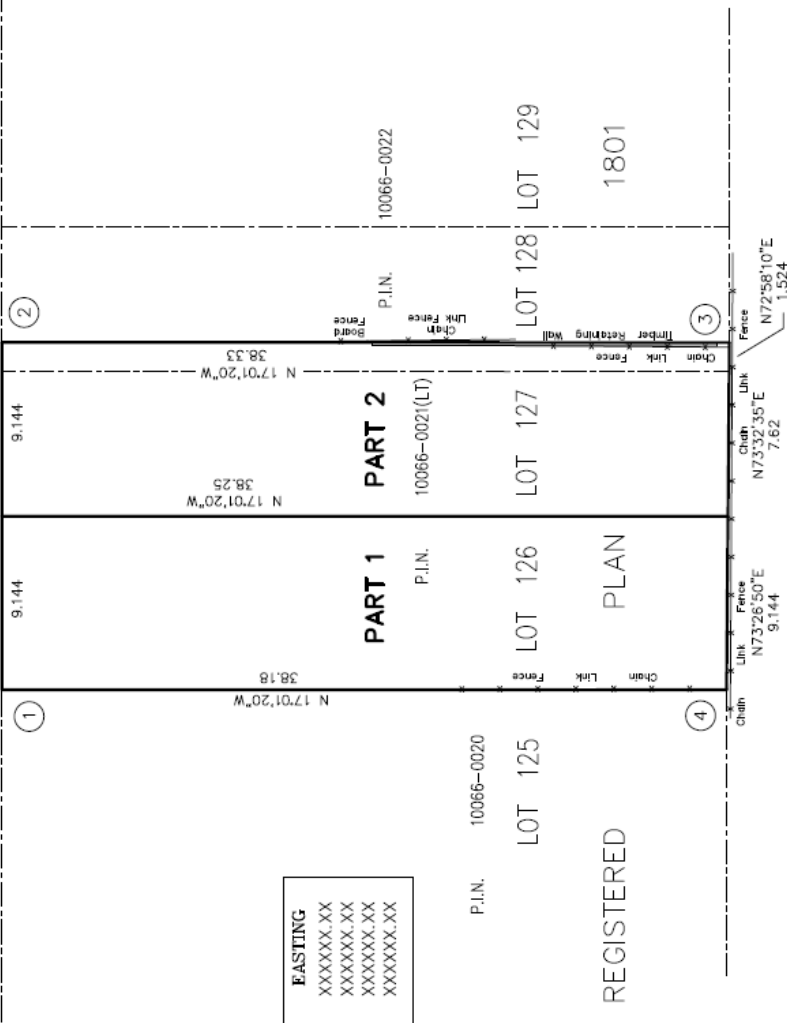


1234 REID STREET, UNIT 10, RICHMOND HILL L4B 1C1
TELEPHONE (905) 731-7834 FAX (905) 731-7852 EMAIL info@ertl-sls.com
DRAWING : 13-12R-PLAN.DWG PROJECT : 13-12

HOLLYWOOD AVENUE

P.I.N. 10067-0182

N72°58'10"E
18.29



CO-ORDINATES

POINT	NORTHING	EASTING
1	XXXXXXXXXX	XXXXXXXXXX
2	XXXXXXXXXX	XXXXXXXXXX
3	XXXXXXXXXX	XXXXXXXXXX
4	XXXXXXXXXX	XXXXXXXXXX

P.I.N. 10066-0020

REGISTERED

PART OF LOT 16, CONCESSION 1, EAST OF YONGE STREET

P.I.N. 10066-0029

Integration

DISTANCES SHOWN ON THIS PLAN ARE GROUND (UNLESS OTHERWISE NOTED)
AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED
SCALE FACTOR OF 0.99990062
BEARINGS ARE MTM GRID, DERIVED FROM GPS OBSERVATIONS ON SPECIFIED
CONTROL POINTS XXXXXXXXXX AND XXXXXXXXXX AND ARE REFERRED TO
THE CENTRAL MERIDIAN OF MTM ZONE 10 (79°30' WEST LONGITUDE)
NAD 83 (CSRS)
COORDINATES ARE MTM ZONE 10, NAD 83 (CSRS) TO URBAN ACCURACY
PER SEC. 14 (2) OF O.R.C. 216/70 AND CANNOT, IN THEMSELVES,
BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.
POINT ID NORTHING EASTING
SCP 02019670316 X.XXX.XXX.XXX XXX.XXX.XXX
SCP 02019680269 X.XXX.XXX.XX XXX.XXX.XXX

SIGNATURE PAGE

File Number:	B0031/17NY	Zoning	R4 (WAIVER)
Owner(s):	FARIBORZ CHEGINI	Ward:	Willowdale (23)
	ZAHARA CHEGINI		
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	351 HOLLYWOOD AVE	Community:	North York
Legal Description:	PLAN 1801 LOT 126 LOT 127 PT LOT 128		

Beth Levy (signed)

Denise Graham (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL: Wednesday, November 22, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0380/17NY	Zoning	R4 (WAIVER)
Owner(s):	FARIBORZ CHEGINI ZAHARA CHEGINI	Ward:	Willowdale (23)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	351 HOLLYWOOD AVE (PART 1)	Community:	North York
Legal Description:	PLAN 1801 LOT 126 LOT 127 PT LOT 128		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40, By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- Chapter 10.20.40.70 & Exception RD5, By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.2 m.
- Chapter 10.20.40.70 & Exception RD5, By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.
- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of first floor must be within 4.0 m of the front main wall.
The proposed first floor within 4 m of the main front wall is 3.3 m².
- Chapter 10.5.40.60.(1), By-law No. 569-2013**
The minimum required front porch side yard setback is 1.8 m.
The proposed front porch east side yard setback is 1.2 m.
- Chapter 10.20.30.20, By-law No. 569-2013**
The minimum required lot frontage is 15 m.

The proposed lot frontage is 9.14 m.

7. **Chapter 10.20.30.10, By-law No. 569-2013**
The minimum required lot area is 550 m².
The proposed lot area is 349.4 m².
8. **Section 13.2.1 & 6(8), By-law No. 7625**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 9.14 m.
9. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 350.1 m².
10. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
11. **Section 13.2.3 & 13.2.3A, By-law No. 7625**
The minimum required side yard setback is 1.5 m.
The proposed east side yard setback is 1.2 m.
12. **Section 13.2.3 & 13.2.3A, By-law No. 7625**
The minimum required side yard setback is 1.5 m.
The proposed west side yard setback is 1.2 m.
13. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0380/17NY	Zoning	R4 (WAIVER)
Owner:	FARIBORZ CHEGINI	Ward:	Willowdale (23)
	ZAHARA CHEGINI		
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	351 HOLLYWOOD AVE	Community:	North York
	(PART 1)		
Legal Description:	PLAN 1801 LOT 126 LOT 127 PT LOT 128		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0381/17NY	Zoning	R4
Owner(s):	FARIBORZ CHEGINI ZAHARA CHEGINI	Ward:	Willowdale (23)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	351 HOLLYWOOD AVE (Part2)	Community:	North York
Legal Description:	PLAN 1801 LOT 126 LOT 127 PT LOT 128		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40, By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- Chapter 10.20.40.70 & Exception RD5, By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.2 m.
- Chapter 10.20.40.70 & Exception RD5, By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.
- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of first floor must be within 4.0 m of the front main wall.
The proposed first floor within 4 m of the main front wall is 3.3 m².
- Chapter 10.5.40.60.(1), By-law No. 569-2013**
The minimum required front porch side yard setback is 1.8 m.
The proposed front porch east side yard setback is 1.2 m.

6. **Chapter 10.20.30.20, By-law No. 569-2013**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 9.14 m.
7. **Chapter 10.20.30.10, By-law No. 569-2013**
The minimum required lot area is 550 m².
The proposed lot area is 349.4 m².
8. **Section 13.2.1 & 6(8), By-law No. 7625**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 9.14 m.
9. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 350.1 m².
10. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
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The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0381/17NY	Zoning	R4
Owner:	FARIBORZ CHEGINI	Ward:	Willowdale (23)
	ZAHARA CHEGINI		
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	351 HOLLYWOOD AVE	Community:	North York
	(Part2)		
Legal Description:	PLAN 1801 LOT 126 LOT 127 PT LOT 128		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, October 26, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0044/17NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	XIZHU HE	Ward:	York Centre (10)
Agent:	2431561 ONTARIO INC	Heritage:	Not Applicable
Property Address:	160 WATERLOO AVE	Community:	North York
Legal Description:	PLAN 1899 E PT LOT 237		

Notice was given and the application considered on Thursday, October 26, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Conveyed - Part 1

Address to be assigned

The frontage is 13.61m and the lot area is 477.2m². The property will be redeveloped as the site of a new detached residential dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0604/17NY.

Retained - Part 2

Address to be assigned

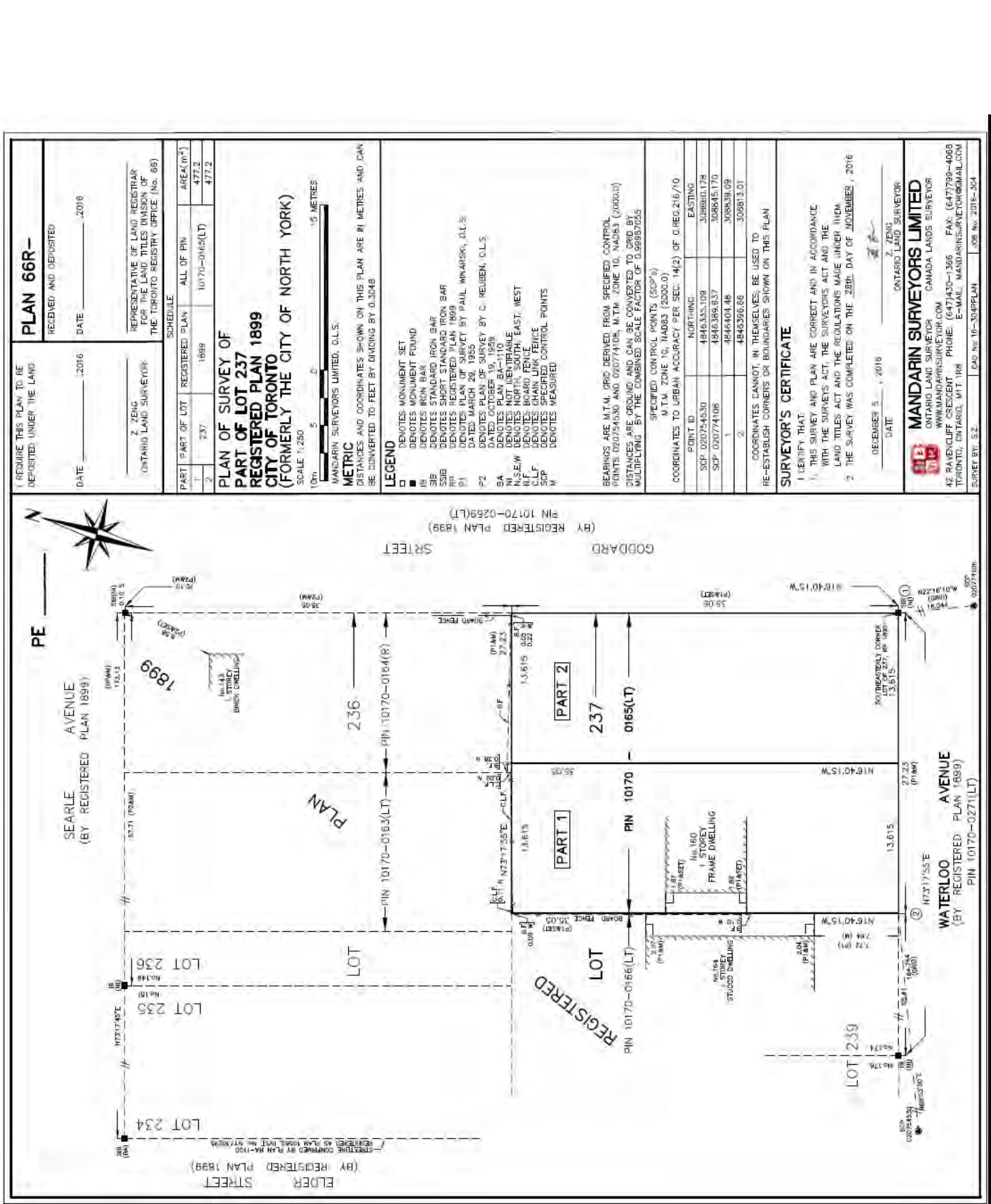
The frontage is 13.61m and the lot area is 477.2m². The property will be redeveloped as the site of a new detached residential dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A0603/17NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

- 1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- 2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- 3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- 4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- 5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



SIGNATURE PAGE

File Number:	B0044/17NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	XIZHU HE	Ward:	York Centre (10)
Agent:	2431561 ONTARIO INC	Heritage:	Not Applicable
Property Address:	160 WATERLOO AVE	Community:	North York
Legal Description:	PLAN 1899 E PT LOT 237		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0603/17NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	XIZHU HE	Ward:	York Centre (10)
Agent:	2431561 ONTARIO INC	Heritage:	Not Applicable
Property Address:	160 WATERLOO AVE (PART 2)	Community:	North York
Legal Description:	PLAN 1899 E PT LOT 237		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.30.10.(1), Zoning By-law No. 569-2013**
A) The required minimum lot area is 550 m².
The proposed lot area is 477.2 m².
- 2. Chapter 10.10.30.20, Zoning By-law No. 569-2013**
The minimum lot frontage is 15 m.
The proposed lot frontage is 13.16 m.
- 3. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30 % of the lot area.
The proposed lot coverage is 31.71 % of the lot area.
- 4. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 8.45 m.
- 5. Chapter 10.20.40.70.(4), Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.8 m where the required minimum frontage is 12.0 m to less than 18.0 m.
The proposed west side yard setback is 1.22 m.

6. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 477.2 m²,
7. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 13.61 m.
8. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required west side yard setback is 1.8 m.
The proposed west side yard setback is 1.22 m.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required east side yard setback is 1.8 m.
The proposed east side yard setback is 1.28 m.
10. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.1 m.
11. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.
12. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30 % of the lot area.
The proposed lot coverage is 31.71 % of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0603/17NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner:	XIZHU HE	Ward:	York Centre (10)
Agent:	2431561 ONTARIO INC	Heritage:	Not Applicable
Property Address:	160 WATERLOO AVE (PART 2)	Community:	North York
Legal Description:	PLAN 1899 E PT LOT 237		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0604/17NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	XIZHU HE	Ward:	York Centre (10)
Agent:	2431561 ONTARIO INC	Heritage:	Not Applicable
Property Address:	160 WATERLOO AVE (PART 1)	Community:	North York
Legal Description:	PLAN 1899 E PT LOT 237		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 8.39 m.
2. **Chapter 10.20.40.70.(4), Zoning By-law No. 569-2013**
The required minimum side yard setback is 1.8 m where the required minimum frontage is 12.0 m to less than 18.0 m.
The proposed east side yard setback is 1.22 m.
3. **Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30 % of the lot area.
The proposed lot coverage is 31.17 % of the lot area.
4. **Chapter 10.10.30.10.(1), Zoning By-law No. 569-2013**
A) The required minimum lot area is 550 m².
The proposed lot area is 477.2 m².
5. **Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
A) The required minimum lot frontage is 15 m.
The proposed lot frontage is 13.61 m.

6. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 13.61 m.
7. **Section 13.2.4, Zoning By-law No. 7625**
The maximum permitted lot coverage is 30 % of the lot area.
The proposed lot coverage is 31.17 % of the lot area.
8. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.1 m.
9. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required east side yard setback is 1.8 m.
The proposed east side yard setback is 1.22 m.
10. **Section 6 (7), Zoning By-law No. 7625**
The maximum front excavated deck and canopy projection is 2.1m.
The proposed is 2.85m.
11. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 477.2 m².
12. **Section 6(8), Zoning By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0604/17NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner:	XIZHU HE	Ward:	York Centre (10)
Agent:	2431561 ONTARIO INC	Heritage:	Not Applicable
Property Address:	160 WATERLOO AVE (PART 1)	Community:	North York
Legal Description:	PLAN 1899 E PT LOT 237		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, October 26, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0047/17NY	Zoning	RD (x5)/R4[ZZC]
Owner(s):	NAMITA SHARMA RONIT SHARMA	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	106 POYNTZ AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 806 TO 807		

Notice was given and the application considered on Thursday, October 26, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Conveyed - Part 2

The frontage is 7.64m and the lot area is 255.8m². The lot will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning by-law(s) as outlined in application A0673/17NY.

Retained - Part 1

The frontage is 7.64m and the lot area is 255.7m². The lot will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning by-law(s) as outlined in application A0672/17NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

Plan 06R-
RECEIVED AND REPORTED :

DATE _____, 2017

DATE: _____ 201/

AGENTS OF THE LAND
REGISTERED FOR THE LAND
TITLES DIVISION OF THE TORONTO
LAND REGISTRY OFFICE (N.B. 660)

MICHELE PEARSON
DISTRICT LAYED SURVEYOR

Schedule				
PART	ALL OF LOT	SEVERED PLAN	ALL OF PM	AREAS(SQ)
1	LOT 866	1-90	10163-0122	254.5
2	LOT 807			255.7

PLAN OF SURVEY OF
LOTS 806 AND 807
REGISTERED PLAN 1743
CITY OF TORONTO
(FORMERLY CITY OF NORTH YORK)

Bearing Note

DISTANCES SHOWN ON THE PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE USED TO COMPUTE AIR DISTANCES BY MULTIPLYING BY A CORRECTION SCALE FACTOR OF 0.99990775.

Integration Data

COORDINATE VALUES ARE TO GROUND ACCURACY IN ACCORDANCE WITH SECTION 1.02 OF ORDER CONTRACT AND CHAINING. IF THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OF BOUNDARIES SHOWN ON THIS PLAN.

POINT ID	NORTHING	EASTING
OFF A	4846254.78	3115761.12
OFF B	4846256.83	3115841.56
OFF C	4846257.33	3115761.16
OFF D	4846259.27	3116081.88

Legend

[illegible]

Surveyor's Certificate

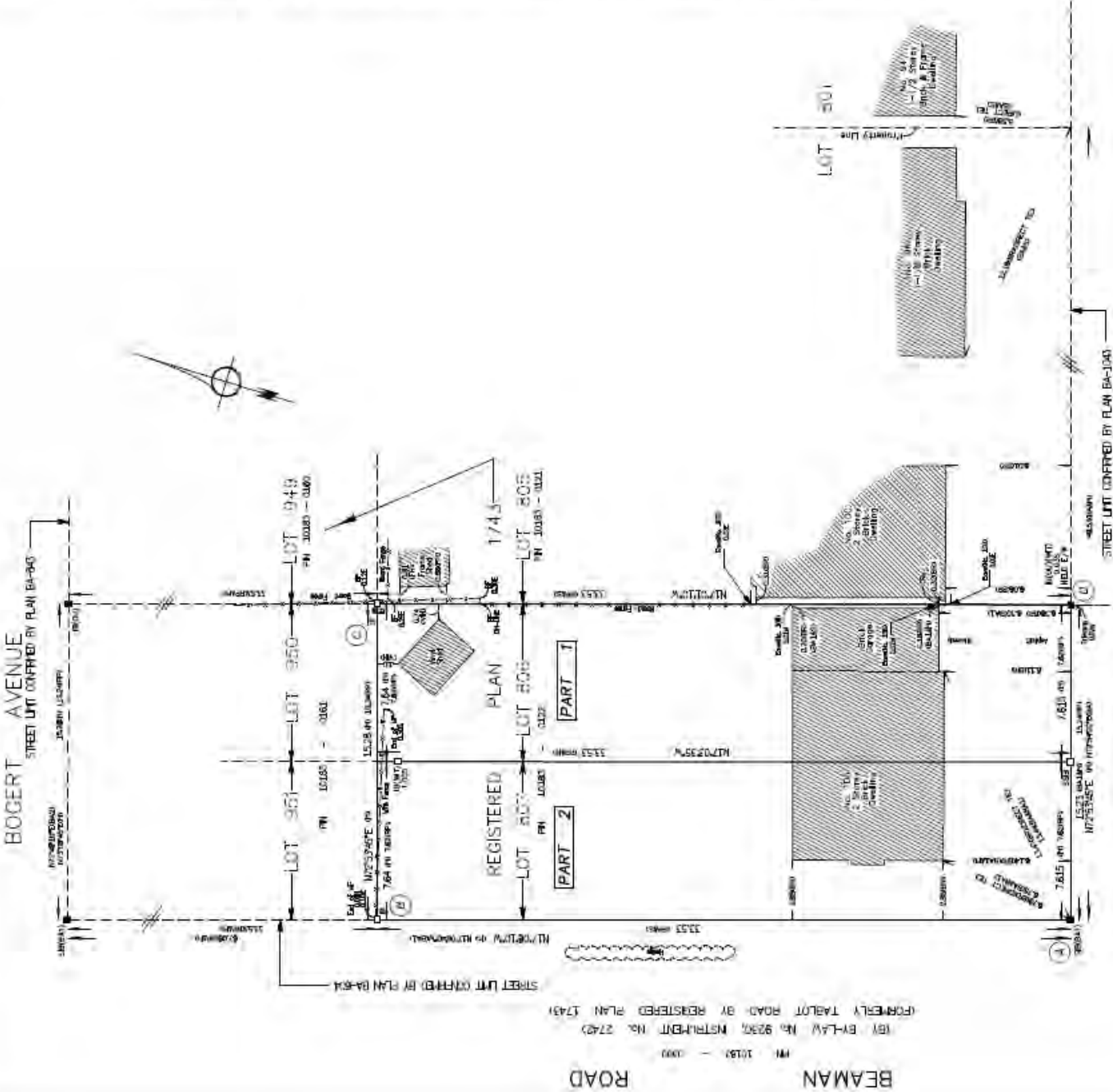
1. THE SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYOR'S ACT, THE LAND TITLES ACT AND THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____, 2011.

January 20, 2017

Alitude Feignon
New York and Chicago

10001 AVE STREET, SECOND FLOOR, HAWAII OFFICE, LOS ANGELES TEL. (213) 907-1250 E. info@pearson.com or pearson.com/usa/usa.html	Pearson	10001 AVE STREET, SECOND FLOOR, HAWAII OFFICE, LOS ANGELES TEL. (213) 907-1250 E. info@pearson.com or pearson.com/usa/usa.html
DEVELOPER: LUCY-PORTER/AVANCE/LOU-ROUVE SALE BY: JH. CHANON BY: JH.	PROJECT: 1113	DEVELOPER: JH.

POYNTZ AVENUE
PH 40195 - 0397
DEDICATED BY REGISTERED PLAN 17455

SIGNATURE PAGE

File Number:	B0047/17NY	Zoning	RD (x5)/R4[ZZC]
Owner(s):	NAMITA SHARMA RONIT SHARMA	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	106 POYNTZ AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 806 TO 807		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL: Wednesday, November 22, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0672/17NY	Zoning	RD (x5)/R4[ZZC]
Owner(s):	NAMITA SHARMA RONIT SHARMA	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	106A POYNTZ AVE - PART 1	Community:	North York
Legal Description:	PLAN 1743 LOT 806 TO 807		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.6.10(5), By-law No. 569-2013

The minimum side yard setback is 1.8m

The proposed west side yard setback is 0.59m

2. Chapter 900.6.10(5), By-law No. 569-2013

The minimum side yard setback is 1.8m

The proposed east side yard setback is 1.2m

3. Chapter 10.5.100.1(1), By-law No. 569-2013

The minimum required driveway width is 6m.

The proposed driveway width is 3.51m and the width of the parking space behind the front main wall is 3.3m.

4. Chapter 10.5.40.50.(2), By-law No. 569-2013

In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3m of a building, must comply with the required minimum building setback is 1.8m.

The proposed front porch and rear deck is setback from the west side lot line by 0.59m.

5. Chapter 10.5.40.10.(5), By-law No. 569-2013

An area of 10m² of the first floor must be within 4m of the front main wall.

The proposed is 3m² of the first floor (sunken foyer) is within 4m of the front main wall.

6. Chapter 10.20.30.10.(1), By-law No. 569-2013

The required minimum lot area is 550m²

The proposed lot area is 255.8m².

7. Chapter 10.20.30.20.(1), By-law No. 569-2013

The required minimum lot frontage is 15m.

The proposed lot frontage is 7.615m.

8. Chapter 10.20.40.10.(2), By-law No. 569-2013

The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.

The proposed height of the side exterior main walls facing a side lot line is 8.47m.

9. Chapter 10.20.30.40.(1), By-law No. 569-2013

The permitted maximum lot coverage is 30% of the lot area.

The proposed lot coverage is 32% of the lot area.

10. Chapter 10.5.40.60.(1), By-law No. 569-2013

A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback by 2.5m if it is no closer to a side lot line than the required side yard setback.

The proposed platform encroaches 1.22m into the required front yard setback and is setback from the west side lot line by 0.59m whereas the required setback is 1.8m.

11. Chapter 10.5.40.60.(2), By-law No. 569-2013

A canopy, awning or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering.

The proposed canopy above the platform is setback 0.59m from the west side lot line whereas the required setback is 1.8m.

12. Chapter 10.5.40.60.(3), By-law No. 569-2013

Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no closer to a lot line than 0.6m.

The proposed rear deck stairs are setback 0.59m from the west side lot line.

13. Chapter 10.5.40.60.(7), By-law No. 569-2013

Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.

The proposed eaves project 0.305m and are 0.28m from the west side lot line.

14. Section 13.2.1, By-law No. 7625

The minimum required lot frontage is 15m

The proposed lot frontage is 7.615m

15. Section 13.2.2, By-law No. 7625

The minimum required lot area is 550m².

The proposed lot area is 255.8m²

16. Section 13.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.5m.

The proposed front yard setback is 6.01m.

17. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.5m.

The proposed west side yard setback is 0.59m

18. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.5m.

The proposed east side yard setback is 1.2m.

19. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.8m

The proposed building height is 9.38m

20. Section 6(30)a, By-law No. 7625

The maximum finished first floor height is 1.5m.

The proposed finished first floor height is 1.57m.

21. Section 6(8), By-law No. 7625

The minimum required lot width is 15m

The proposed lot width is 7.615m

22. Section 6(24)(d), By-law No. 7625

In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building.

The proposed rear deck is setback 0.59m from the west side lot line, whereas the required side yard setback is 1.5m.

23. Section 6(9)(f), By-law No. 7625

Porches and decks, either excavated or unexcavated, and canopies shall be permitted to project into the minimum front yard setback not more than 2.1m but no closer to the side lot line than the minimum side yard setback for the main building is 1.5m.

The proposed front porch and canopy above projects 1.22m and is setback from the west side lot line by 0.59 m.

24. Section 6(f)(c), By-law No. 7625

Exterior stairs shall be permitted to project into one minimum side yard setback only, not more than 1.6m, but no closer to than 0.6m from any side lot line.

The rear deck stairs is setback from the west side lot line by 0.59m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0672/17NY	Zoning	RD (x5)/R4[ZZC]
Owner:	NAMITA SHARMA	Ward:	Willowdale (23)
	RONIT SHARMA		
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	106A POYNTZ AVE - PART 1	Community:	North York
Legal Description:	PLAN 1743 LOT 806 TO 807		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

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To appeal this decision to the OMB you need the following:

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0673/17NY	Zoning	RD (x5)/R4[ZZC]
Owner(s):	NAMITA SHARMA RONIT SHARMA	Ward:	Willowdale (23)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	106B POYNTZ AVE – PART 2	Community:	North York
Legal Description:	PLAN 1743 LOT 806 TO 807		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.6.10(5), By-law No. 569-2013

The minimum side yard setback is 1.8m

The proposed west side yard setback is 1.2m

2. Chapter 900.6.10(5), By-law No. 569-2013

The minimum side yard setback is 1.8m

The proposed east side yard setback is 0.295m

3. Chapter 10.5.100.1(1), By-law No. 569-2013

The minimum required driveway width is 6m.

The proposed driveway width is 4.39m and the width of the parking space behind the front main wall is 3.3m

4. Chapter 10.5.40.10.(5), By-law No. 569-2013

An area of 10m² of the first floor must be within 4m of the front main wall.

The proposed is 3m² of the first floor (sunken foyer) is within 4m of the front main wall.

5. Chapter 10.5.40.50.(2), By-law No. 569-2013

In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3m of a building, must comply with the required minimum building setback is 1.8m.

The proposed front porch and rear deck is setback from the west side lot line by 1.2m.

6. Chapter 10.20.30.10.(1), By-law No. 569-2013

The required minimum lot area is 550m²

The proposed lot area is 255.7m².

7. Chapter 10.20.30.20.(1), By-law No. 569-2013

The required minimum lot frontage is 15m.

The proposed lot frontage is 7.615m.

8. Chapter 10.20.30.40.(1), By-law No. 569-2013

The permitted maximum lot coverage is 30% of the lot area.

The proposed lot coverage is 32% of the lot area.

9. Chapter 10.20.40.10.(2), By-law No. 569-2013

The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.

The proposed height of the side exterior main walls facing a side lot line is 8.13m.

10. Chapter 10.5.80.40.(3), By-law No. 569-2013

Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street. The proposed vehicle access to a parking space is from Poyntz Avenue and not from the flanking street (Beaman Road).

11. Chapter 10.5.40.60.(1), By-law No. 569-2013

A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required front yard setback by 2.5m if it is no closer to a side lot line than the required side yard setback of 1.8m.

The proposed platform encroaches 1.22m into the required front yard setback and is setback from the west side lot line by 1.2m.

12. Chapter 10.5.40.60.(2), By-law No. 569-2013

A canopy, awning or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering of 1.8m.

The proposed canopy above the platform is setback 1.2m from the west side lot line.

13. Chapter 10.5.40.60.(7), By-law No. 569-2013

Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.

The proposed eaves project 0.305m and are 0.29m from the east side lot line.

14. Section 13.2.1, By-law No. 7625

The minimum required lot frontage is 15m

The proposed lot frontage is 7.615m

15. Section 13.2.2, By-law No. 7625

The minimum required lot area is 550m².

The proposed lot area is 255.7m²

16. Section 13.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.5m.

The proposed front yard setback is 6.01m.

17. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.5m.

The proposed west side yard setback is 1.2m

18. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.5m.

The proposed east side yard setback is 0.295m.

19. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.8m

The proposed building height is 9.69m

20. Section 6(30)a, By-law No. 7625

The maximum finished first floor height is 1.5m.

The proposed finished first floor height is 2.23m.

21. Section 6(8), By-law No. 7625

The minimum required lot width is 15m

The proposed lot width is 7.615m

22. Section 6A(2)a, By-law No. 7625

The minimum required number of parking spaces is 2.

The proposed number of parking spaces is 1.

23. Section 6(24)(d), By-law No. 7625

In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building of 1.5m.

The proposed rear deck is setback 1.2m from the west side lot line.

24. Section 6(9)(f), By-law No. 7625

Porches and decks, either excavated or unexcavated, and canopies shall be permitted to project into the minimum front yard setback not more than 2.1m but no closer to the side lot line than the minimum side yard setback for the main building is 1.5m.

The proposed front porch and canopy above projects 1.22m and is setback from the west side lot line by 1.2m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0673/17NY	Zoning	RD (x5)/R4[ZZC]
Owner:	NAMITA SHARMA	Ward:	Willowdale (23)
	RONIT SHARMA		
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	106B POYNTZ AVE – PART 2	Community:	North York
Legal Description:	PLAN 1743 LOT 806 TO 807		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0737/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	RACHEL KERSHEN- GOLDBERG GUY GOLDBERG	Ward:	Eglinton-Lawrence (16)
Agent:	MANARCH DESIGN	Heritage:	Not Applicable
Property Address:	567 OLD ORCHARD GRV	Community:	North York
Legal Description:	PLAN 1749 LOT 149		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all rear exterior main walls is 7.5 m.
The proposed height of the front and rear exterior main walls is 7.75 m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length is 17.0 m.
The proposed building length is 19.81 m.
- 3. Chapter 10.5.40.70.(1), By-law No. 569-2013**
The minimum required front yard setback is 7.57 m.
The proposed front yard setback is 6.65 m.
- 4. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.22 m.
- 5. Chapter 900.3.10.(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.52 m.

6. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32.1% of the lot area.
7. **Chapter 10.5.40.50.(2), By-law No. 569-2013**
The rear yard terrace required side yard setback is 1.8 m.
The proposed rear yard terrace side yard setback is 1.52 m.
8. **Chapter 10.5.40.60.(1), By-law No. 569-2013**
The required front porch side yard setback is 1.8 m.
The proposed front porch side yard setback is 1.52 m.
9. **Chapter 10.5.40.60.(2), By-law No. 569-2013**
The canopy over the rear terrace side yard setback required is 1.8 m.
The canopy over the rear terrace proposed side yard setback is 1.52 m.
10. **Chapter 10.5.40.60.(2), By-law No. 569-2013**
The canopy over the front porch side yard setback required is 1.8 m.
The canopy over the front porch proposed side yard setback is 1.22 m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m for sloped roofs.
The proposed building height is 9.15 m.
12. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 21.22 m.
13. **Section 13.2.3.(b), By-law No. 7625**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is 1.22 m.
14. **Section 13.2.3.(b), By-law No. 7625**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.52 m.
15. **Section 6(24)(d), By-law No. 7625**
The rear terrace required side yard setback is 1.8 m.
The proposed rear terrace side yard setback is 1.52 m.
16. **Section 6(9)(f), By-law No. 7625**
The front porch and canopy required side yard setback is 1.8 m.
The proposed front porch and canopy side yard setback is 1.52 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.

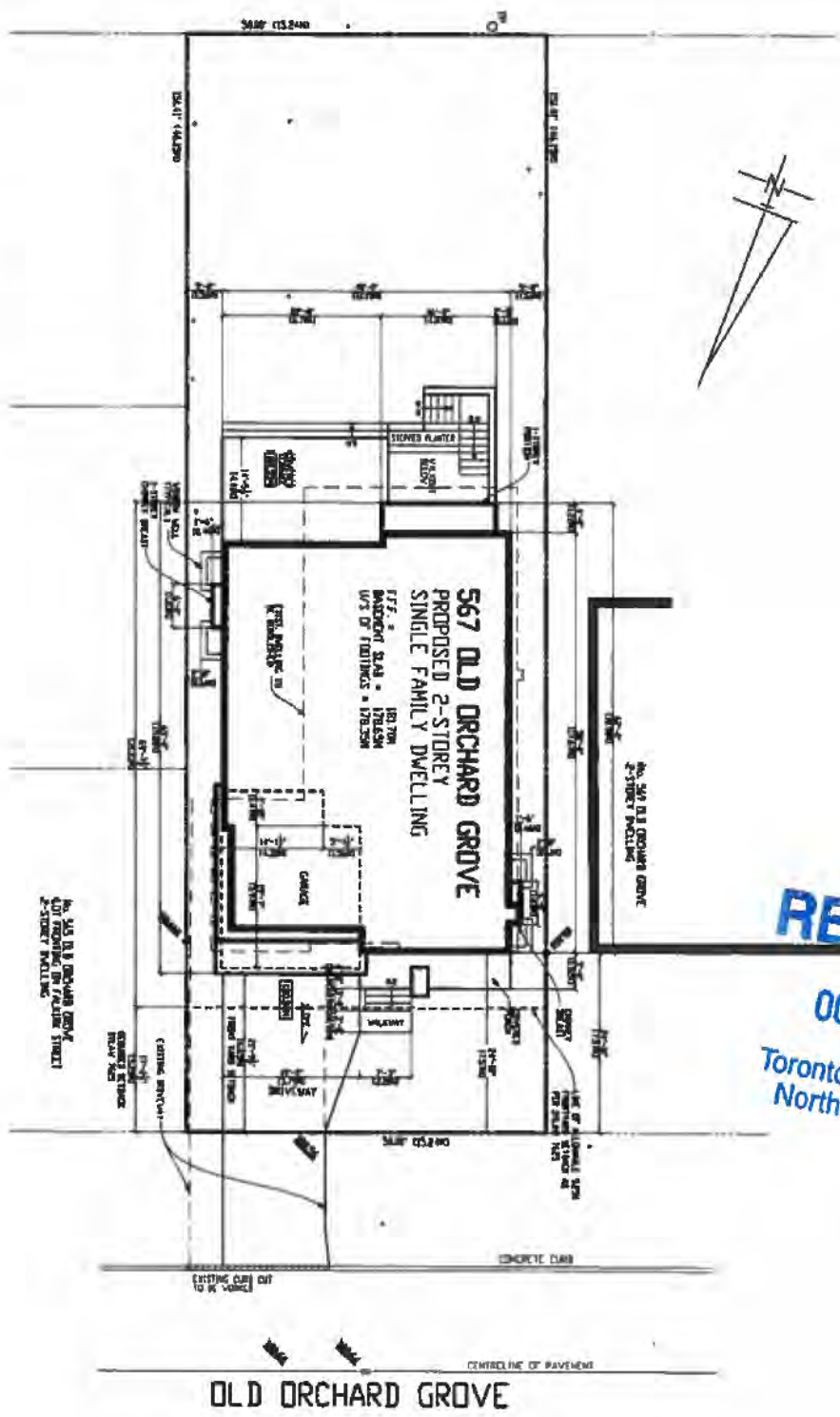
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.
- 2) The proposal be developed substantially in accordance with the site plan, north and east elevations submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, October 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

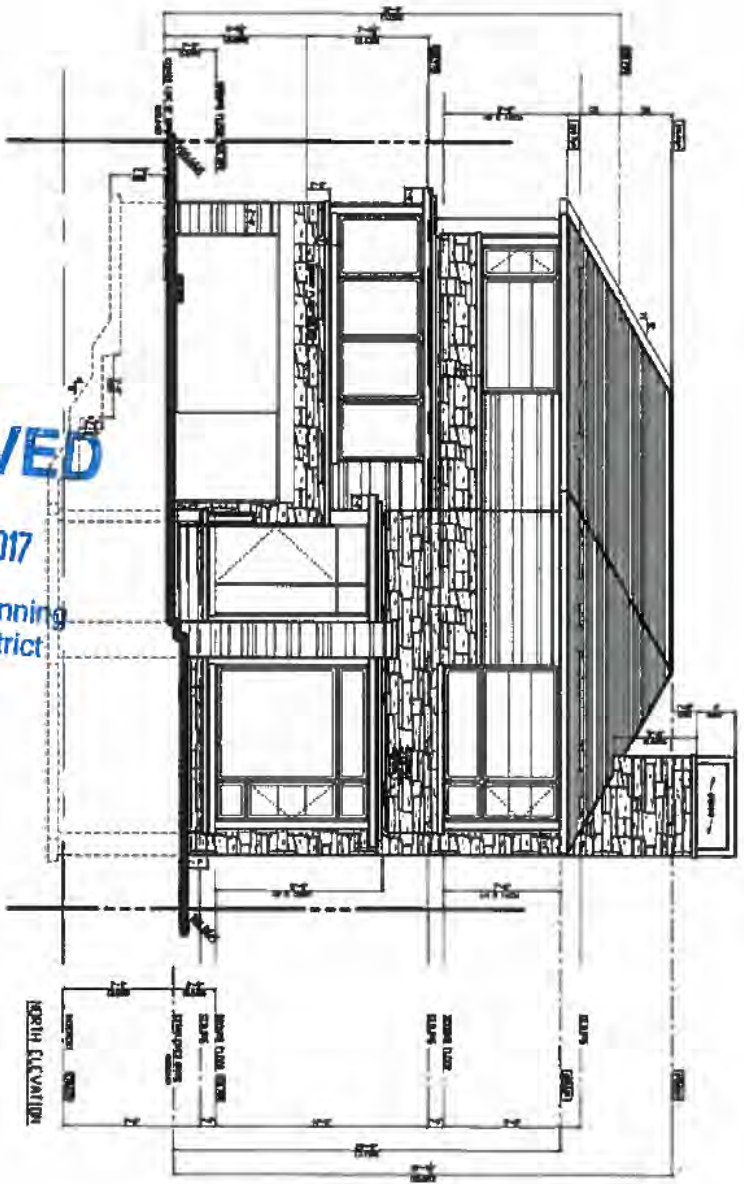
MD Monrich Design 1. Landscape Design Toronto, Ont. M4M 1A7 Tel: (416) 461-1000 Fax: (416) 461-1001 Email: info@monrichdesign.com	
Project Name and Address GOLDBERG RESIDENCE 567 OLD ORCHARD GROVE NORTH YORK	Date JULY 28 2017 Scale 1/4" = 1'-0" Notes See S.D. & ZONING REVIEW



RECEIVED
 OCT 13 2017
 Toronto City Planning
 North York District

MD MonRich Design 1000 Sheppard Ave. E. Suite 200 Scarborough, ON M1S 1T5 Tel: (416) 291-1828 Fax: (416) 291-1828 Email: info@monrichdesign.com		Project Name and Address: GOLDBERG RESIDENCE 567 D.L.D. DRUMMOND DRIVE NORTH YORK
Drawing: NORTH ELEVATION	Date: Aug. 7 28 2017	Project Name and Address: GOLDBERG RESIDENCE 567 D.L.D. DRUMMOND DRIVE NORTH YORK
Scale: 1/8" = 1' - 0"	Notes: CLASH & 2 DRAWING SET	

RECEIVED
 OCT 13 2017
 Toronto City Planning
 North York District



Plan, Section and Elevation

MHD Manrich Design

A Licensed Professional Architect
No. 10192-01-1-000
No. 10192-01-1-000
No. 10192-01-1-000
No. 10192-01-1-000

Building
EAST ELEVATION

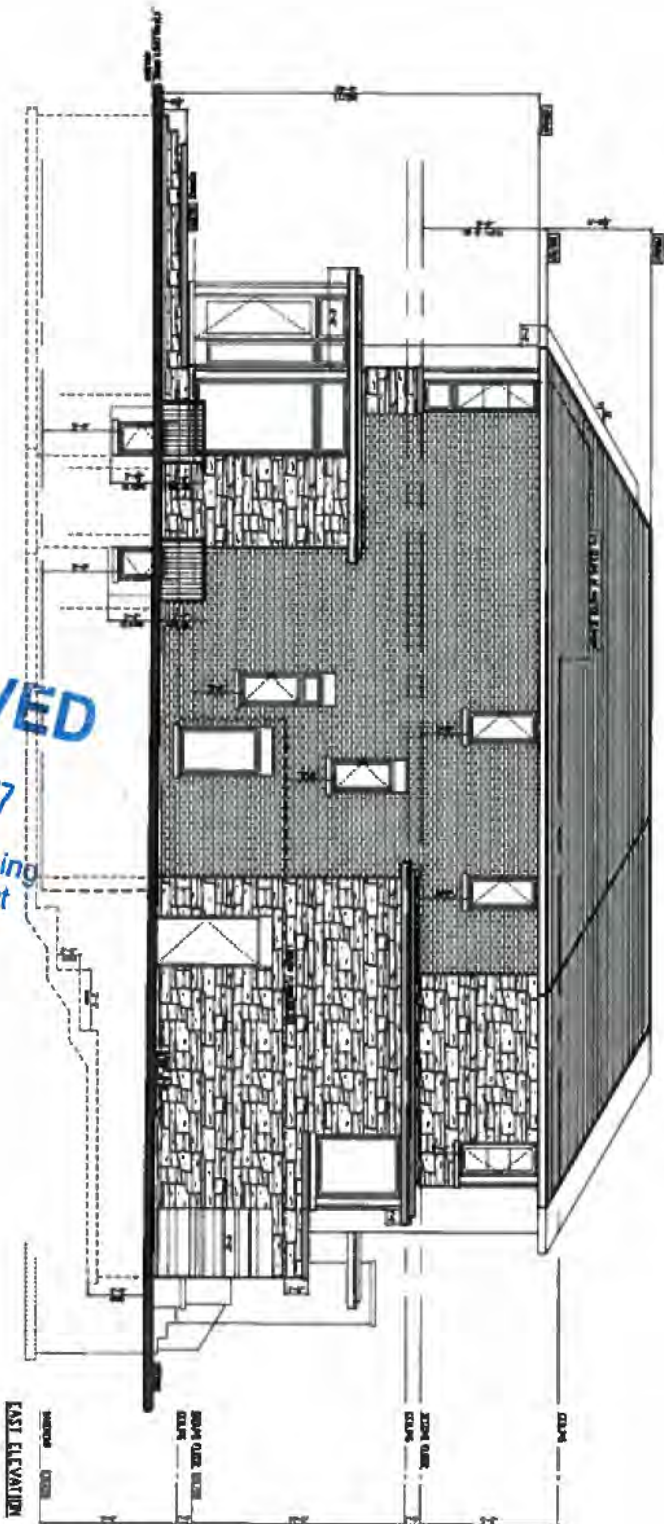
Date
JAN. 28 2017

Scale
1/8" = 1' - 0"

Sheet
EAST & SIDEWALK VIEW

Project, Name and Address

GOLDBERG RESIDENCE
567 OLD ORCHARD GROVE
NORTH YORK



RECEIVED

OCT 13 2017

Toronto City Planning
North York District

SIGNATURE PAGE

File Number:	A0737/17NY	Zoning	RD / R4 (ZZC)
Owner:	RACHEL KERSHEN- GOLDBERG	Ward:	Eglinton-Lawrence (16)
Agent:	GUY GOLDBERG	Heritage:	Not Applicable
Property Address:	MANARCH DESIGN	Community:	North York
Legal Description:	567 OLD ORCHARD GRV PLAN 1749 LOT 149		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0740/17NY	Zoning	RD / R3 (ZZC)
Owner(s):	BRIAN JEFFREY NOVAK KRISTIN NOVAK	Ward:	Eglinton-Lawrence (16)
Agent:	KRISTIN NOVAK	Heritage:	Not Applicable
Property Address:	24 ARMOUR BLVD	Community:	North York
Legal Description:	PLAN 2571 LOT 704		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second storey addition over the existing garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(2), By-law No. 569-2013**
The required minimum rear yard setback is 7.5 m.
The existing and proposed rear yard setback is 6.59 m.
- 2. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The existing and proposed side yard setback is 0.727 m.
- 3. Section 12.2, By-law No. 7625**
The minimum required lot frontage is 18 m.
The existing lot frontage is 15.25 m.
- 4. Section 12.3, By-law No. 7625**
The minimum required lot area is 690 m².
The existing lot area is 365.3 m².
- 5. Section 12.4(b), By-law No. 7625**
The minimum required west side yard setback is 1.8 m.
The existing and proposed west side yard setback is 0.727.
- 6. Section 12.4(c), By-law No. 7625**
The minimum required rear yard setback is 9.5 m.
The existing and proposed rear yard setback is 6.59 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0740/17NY	Zoning	RD / R3 (ZZC)
Owner:	BRIAN JEFFREY NOVAK	Ward:	Eglinton-Lawrence (16)
	KRISTIN NOVAK		
Agent:	KRISTIN NOVAK	Heritage:	Not Applicable
Property Address:	24 ARMOUR BLVD	Community:	North York
Legal Description:	PLAN 2571 LOT 704		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0741/17NY	Zoning	RM6[WAV]
Owner(s):	EMERALD CITY DEVELOPMENTS IV INC	Ward:	Don Valley East (33)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	52 FOREST MANOR RD	Community:	North York
Legal Description:			

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal for a parking variance to permit a reduction in parking space dimensions for 24 spaces for a 13 storey condo development.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. By-law 342-2015(OMB), Section 2(rr)(i)**
The minimum length of a parking space is 5.6m in length.
The new 13-storey building (Building B1) will have 24 parking spaces with a minimum length of 5.31m
- 2. By-law 342-2015(OMB), Section 2(rr)(i)**
The minimum width of a parking space that is obstructed on one side is 2.9m.
The new 13-storey building (Building B1) will have 1 parking space that is obstructed on one side with a minimum width of 2.68m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) Transportation requires the approval to be subject to the following;

- i) Include appropriate signage such as – "Low Hanging Pipe" and or "Forward in only" to be located in the appropriate parking areas;
- ii) The applicant complete the recommendations as set out in the WSP Review dated October 4, 2017 including pipe protection and small car designation; and
- iii) A bright paint scheme be applied to low hanging pipes to highlight their presence.
- iv) Appropriate clauses must be included in all offers of purchase and sale, advising the owners of the "Small-Car" parking spaces of their respective dimensions and that they are only intended for the use of compact vehicles.

SIGNATURE PAGE

File Number:	A0741/17NY	Zoning	RM6[WAV]
Owner:	EMERALD CITY DEVELOPMENTS IV INC	Ward:	Don Valley East (33)
Agent:	BOUSFIELDS INC	Heritage:	Not Applicable
Property Address:	52 FOREST MANOR RD	Community:	North York
Legal Description:			

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0743/17NY	Zoning	RD / R5 (ZZC)
Owner(s):	ABDUL HANNAN RATAN	Ward:	Don Valley West (25)
Agent:	DREW LASZLO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	10 JOCELYN CRES	Community:	North York
Legal Description:	PLAN 4332 L 86		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10 m² of the first floor must be within 4 m of the front main wall.
0 m² of the first floor is within 4 m of the front main wall.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 25% of the lot area.
The proposed lot coverage is 29.49% of the lot area.
- Chapter 14.2.3, By-law No. 7625**
The minimum rear yard setback is 9.5 m.
The proposed rear yard setback is 9.19 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10 m² of the first floor must be within 4 m of the front main wall.
0 m² of the first floor is within 4 m of the front main wall.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The permitted maximum lot coverage is 25% of the lot area.

The proposed lot coverage is **27.50%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. Chapter 14.2.3, By-law No. 7625

The minimum rear yard setback is 9.5 m.

The proposed rear yard setback is 9.19 m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0743/17NY	Zoning	RD / R5 (ZZC)
Owner:	ABDUL HANNAN RATAN	Ward:	Don Valley West (25)
Agent:	DREW LASZLO ARCHITECT INC	Heritage:	Not Applicable
Property Address:	10 JOCELYN CRES	Community:	North York
Legal Description:	PLAN 4332 L 86		

Beth Levy (signed)

Denise Graham (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0746/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner(s):	HIEH THI NGUYEN DAVID WEI-IP LOH	Ward:	Don Valley West (25)
Agent:	KHALMUR BLDG PRODUCTIONS INC	Heritage:	Designated
Property Address:	37 BLYTHWOOD RD	Community:	Toronto
Legal Description:	PLAN 604E LOT 2 PT LOTS 3 AND 4		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6(3) Part II 7(II)A, By-law No. 438-86

The minimum required setback for an accessory structure to an adjacent residential building is 4.50m.
The proposed setback to the adjacent building is 1.75m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0746/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner:	HIEN THI NGUYEN DAVID WEI-IP LOH	Ward:	Don Valley West (25)
Agent:	KHALMUR BLDG PRODUCTIONS INC	Heritage:	Designated
Property Address:	37 BLYTHWOOD RD	Community:	Toronto
Legal Description:	PLAN 604E LOT 2 PT LOTS 3 AND 4		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0747/17NY	Zoning	CR / MCR (ZZC)
Owner(s):	GABRIEL PROPERTIES (2006) INC EGLINTON GRAND	Ward:	Eglinton-Lawrence (16)
Agent:	PLANNING AND PERMIT SERVICES INC	Heritage:	Designated
Property Address:	400 EGLINTON AVE W	Community:	Toronto
Legal Description:	PLAN M256 BLK A PT LOT 4 PLAN M256 BLK B PT LOTS 1&2		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain an existing one storey storage addition at the rear of the property.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 40.10.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 7.5 m.
The proposed rear yard setback is 0.1 m.
- Chapter 900.11.10(2293), By-law No. 569-2013**
No person shall erect or use a building or structure, unless the building or structure is at least 6.1 m from a lot in an R district.
The proposed addition is 0.1 m from an R district.
- Chapter 900.11.10(2293), By-law No. 569-2013**
No person shall erect or use a building or structure on a lot where a portion of the building or structure projects beyond a 60 degree angular plane.
The proposed addition projects beyond 60 degree angular plane.
- Section 12(2)119(iv), By-law No. 438-86**
No person shall erect or use a building or structure on a lot where a portion of the building or structure projects beyond a 60 degree angular plane.
The proposed addition projects beyond 60 degree angular plane.

5. Section 12(2)119(ii), By-law No. 438-86

No person shall erect or use a building or structure, unless the building or structure is at least 6.1 m from a lot in an R district.

The proposed addition is 0.1 m from an R district.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

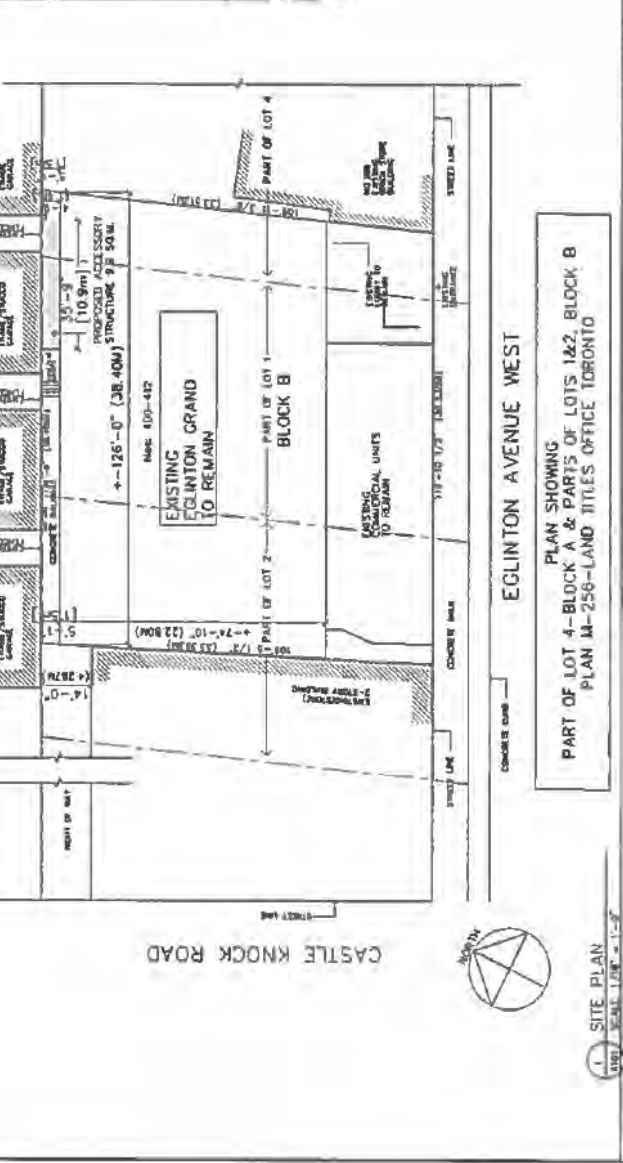
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the floor plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, October 13, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

1

[illegible][illegible]

SIGNATURE PAGE

File Number:	A0747/17NY	Zoning	CR / MCR (ZZC)
Owner:	GABRIEL PROPERTIES (2006) INC	Ward:	Eglinton-Lawrence (16)
Agent:	EGLINTON GRAND PLANNING AND PERMIT SERVICES INC	Heritage:	Designated
Property Address:	400 EGLINTON AVE W	Community:	Toronto
Legal Description:	PLAN M256 BLK A PT LOT 4 PLAN M256 BLK B PT LOTS 1&2		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0748/17NY	Zoning	R1Z0.35/RD[ZCC]
Owner(s):	SUZANE COLIE JOSEF HREBIK	Ward:	Don Valley West (25)
Agent:	MEMAR CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	9 BLYTHWOOD CRES	Community:	Toronto
Legal Description:	PLAN 639E PT LOTS 37 & 38		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition to the existing three-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.35 times the area of the lot.
The proposed floor space index is 0.683 times the area of the lot.
- Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9m provided that they are no closer than 0.30m to a lot line. The proposed eaves project 0.46m and are 0.06m from the South lot line.
- Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth is 0.9m.
The proposed South side lot line setback is 0.56m.
- Section 6(3) Part I 1, By-law No. 438-86**
The permitted maximum Gross Floor Area is 0.35 times the area of the lot.
The proposed Gross Floor Area is 0.683 times the area of the lot.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0748/17NY	Zoning	R1Z0.35/RD[ZZC]
Owner:	SUZANE COLIE JOSEF HREBIK	Ward:	Don Valley West (25)
Agent:	MEMAR CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	9 BLYTHWOOD CRES	Community:	Toronto
Legal Description:	PLAN 639E PT LOTS 37 & 38		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0749/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	SARA KASHANCHI	Ward:	Don Valley West (25)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	187 LORD SEATON RD	Community:	North York
Legal Description:	PLAN 4102 LOT 1		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.100.1(1)(C), By-law No. 569-2013

The maximum permitted driveway width is 6.00m.

The proposed driveway width is 8.99m.

2. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 6.92m.

The proposed front yard setback is 6.36m.

3. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.50m.

4. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.50m.

5. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 17.32m.

6. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 9.05m **for 44.00% for the east wall and 30.00% for the west wall.**

7. Chapter 10.20.40.50.(1), By-law No. 569-2013

The maximum permitted area of each platform at or above the second storey is 4.00m².
The proposed platform at or above the second storey is **6.00m²**.

8. Chapter 10.5.40.60.(3), By-law No. 569-2013

Exterior stairs may encroach into a required setback provided they are no wider than 2.00m.
The proposed front stairs are 2.74m wide.

9. Chapter 10.5.50.10.(1), By-law No. 569-2013

The minimum required front yard landscaping is 60.00%.
The proposed front yard landscaping is **57.30%**.

10. Chapter 10.5.80.40.(1), By-law No. 569-2013

The maximum permitted combined width of all vehicle entrances through the front main wall of the residential building is 6.00m.
The proposed combined width of all vehicle entrances through the front main wall is 8.54m.

11. Chapter 10.20.40.10.(6), By-law No. 569-2013

The maximum permitted finished first floor height is 1.20m.
The proposed finished first floor height is 1.57m.

12. Section 13.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.50m.
The proposed front yard setback is 6.36m.

13. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.

14. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.50m.

15. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.
The proposed building length is 17.32m.

16. Section 6A(5)a, By-law No. 7625

The maximum permitted driveway width is 6.00m.
The proposed driveway width is 8.99m.

17. Section 13.2.6A, By-law No. 7625

The maximum permitted balcony area is 3.80m².
The proposed balcony area is **6.00m²**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.5.100.1(1)(C), By-law No. 569-2013

The maximum permitted driveway width is 6.00m.

The proposed driveway width is 8.99m.

2. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 6.92m.

The proposed front yard setback is 6.36m.

5. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 17.32m.

6. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 9.05m **for 44.00% for the east wall and 30.00% for the west wall.**

7. Chapter 10.20.40.50.(1), By-law No. 569-2013

The maximum permitted area of each platform at or above the second storey is 4.00m².

The proposed platform at or above the second storey is **6.00m²**.

8. Chapter 10.5.40.60.(3), By-law No. 569-2013

Exterior stairs may encroach into a required setback provided they are no wider than 2.00m.

The proposed front stairs are 2.74m wide.

9. Chapter 10.5.50.10(1), By-law No. 569-2013

The minimum required front yard landscaping is 60.00%.

The proposed front yard landscaping is **57.30%**.

10. Chapter 10.5.80.40.(1), By-law No. 569-2013

The maximum permitted combined width of all vehicle entrances through the front main wall of the residential building is 6.00m.

The proposed combined width of all vehicle entrances through the front main wall is 8.54m.

11. Chapter 10.20.40.10.(6), By-law No. 569-2013

The maximum permitted finished first floor height is 1.20m.

The proposed finished first floor height is 1.57m.

12. Section 13.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.50m.

The proposed front yard setback is 6.36m.

15. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 17.32m.

16. Section 6A(5)a, By-law No. 7625

The maximum permitted driveway width is 6.00m.

The proposed driveway width is 8.99m.

17. Section 13.2.6A, By-law No. 7625

The maximum permitted balcony area is 3.80m².

The proposed balcony area is **6.00m²**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.50m.

4. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.50m.

13. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.50m.

14. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.50m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1) The applicant to satisfy the requirements of the Transportation Services Division:

- i) The driveway must be reduced to 6.0m in width in the public right-of-way.**

SIGNATURE PAGE

File Number:	A0749/17NY	Zoning	RD/R4 [ZZC]
Owner:	SARA KASHANCHI	Ward:	Don Valley West (25)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	187 LORD SEATON RD	Community:	North York
Legal Description:	PLAN 4102 LOT 1		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0750/17NY	Zoning	RD / R5 (ZZC)
Owner(s):	JESSICA KADASHEV	Ward:	Eglinton-Lawrence (15)
	JESSICA KADASHEV		
Agent:	JESSICA KADASHEV	Heritage:	Not Applicable
Property Address:	10 SULTANA AVE	Community:	North York
Legal Description:	PLAN 1692 PT LOT 41		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(4), By-law No. 569-2013**
The permitted maximum height is 7.2 m.
The proposed height is 8.88 m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0 m.
The proposed building length is 18.21 m.
- 3. Chapter 900.5, By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is 1.22 m.
- 4. Chapter 900.5, By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.22 m.
- 5. Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted height of the first floor above established grade is 1.2 m.
The proposed height of the first floor above established grade is 1.28 m.
- 6. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0 m.
The proposed building depth is 19.39 m.

7. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 33.2% of the lot area.
8. **Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor height higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5 m if it is no closer to a side lot line than 1.80 m.
The proposed platform is 1.22 m from the east side lot line.
9. **Section 14.2.6, By-law No. 7625**
The maximum permitted building height is 8.0 m.
The proposed building height is 9.32 m.
10. **Section 14.2.5A, By-law No. 7625**
The maximum permitted building length is 16.80 m.
The proposed building length is 18.21 m.
11. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80 m.
The proposed east side yard setback is 1.22 m.
12. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.80 m.
The proposed west side yard setback is 1.22 m.
13. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.72 m.
14. **Section 14.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 33.2% of the lot area.
15. **Section 6(24)(d)(ii)(A), By-law No. 7625**
Unexcavated parches and decks shall be permitted to encroach in the rear yard setback but no closer to a side lot line than the required 1.80 m.
The proposed deck is 1.22 m from the east side lot line.
16. **Section 14.2.1, By-law No. 7625**
The minimum required lot frontage is 15.0 m.
The existing lot frontage is 10.06 m.
17. **Section 14.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The existing lot area is 404.67 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be constructed substantially in accordance with the proposed site plan and east elevation submitted to the Committee of Adjustment, date stamped received by the City Planning Division on October 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

A-7

SIGNATURE PAGE

File Number: A0750/17NY
Owner: JESSICA KADASHEV
JESSICA KADASHEV
Agent: JESSICA KADASHEV
Property Address: **10 SULTANA AVE**
Legal Description: PLAN 1692 PT LOT 41

Zoning: RD / R5 (ZZC)
Ward: Eglinton-Lawrence (15)
Heritage: Not Applicable
Community: North York

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0751/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZR]
Owner(s):	IMPERIAL PARK DEVELOPMENTS LTD.	Ward:	Willowdale (24)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	908 WILLOWDALE AVE	Community:	North York
Legal Description:	PLAN 5345 LOT 81		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0m
The proposed stairs are 2.31m wide.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.26m **for no more than 45.00% of the south wall and no more than 25.00% of the north wall.**
- Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8m.
The proposed North side yard setback is 1.52m
- Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8m.
The proposed South side yard setback is 1.52m.

6. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed North side yard setback is 1.52m.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed south side yard setback is 1.52m.
8. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.28m.
9. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.67m.
10. **Section 6(24), By-law No. 7625**
The minimum required North side yard setback for the rear deck is 1.8m.
The proposed North side yard setback for the rear deck is 1.52m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0751/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZR]
Owner:	IMPERIAL PARK DEVELOPMENTS LTD.	Ward:	Willowdale (24)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	908 WILLOWDALE AVE	Community:	North York
Legal Description:	PLAN 5345 LOT 81		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0752/17NY	Zoning	RD/R5 [ZZC]
Owner(s):	STHYS MARK RUIZ MARIA JOAO CAPELA	Ward:	Eglinton-Lawrence (15)
Agent:	NICK ROTUNDO	Heritage:	Not Applicable
Property Address:	50 MCADAM AVE	Community:	North York
Legal Description:	PLAN 3155 LOT 75		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one-storey addition to the rear of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 17.02m.

2. Chapter 10.5.40.60.(7), By-law No. 569-2013

Roof eaves may project a maximum of 0.90m provided that they are no closer than 0.30m to a lot line.

The proposed eaves project 1.21m into the east side yard setback.

3. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.37m.

4. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.00m.

5. Section 14.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 17.02m.

6. Section 14.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.37m.

7. Section 14.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.00m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0752/17NY	Zoning	RD/R5 [ZZC]
Owner:	STHYS MARK RUIZ MARIA JOAO CAPELA	Ward:	Eglinton-Lawrence (15)
Agent:	NICK ROTUNDO	Heritage:	Not Applicable
Property Address:	50 MCADAM AVE	Community:	North York
Legal Description:	PLAN 3155 LOT 75		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0753/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	ERI KIKUCHI HIROSHI KIKUCHI	Ward:	Willowdale (23)
Agent:	SYNTHESIS HOMES INC	Heritage:	Not Applicable
Property Address:	59 CRAIGMORE CRES	Community:	North York
Legal Description:	PLAN 3596 LOT 84		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third storey addition to the existing dwelling and to add a three storey addition to the rear and side of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.5.40.10(5), By-law No. 569-2013**
An area of 10 m² of the first floor must be within 4 m of the front main wall.
0 m² is within 4 m for the front main wall.
2. **Chapter 10.5.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 4.36 m.
The proposed front yard setback is 4.3 m.
3. **Chapter 900.3.10(5) and 10.5.40.50.(2), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 0.76 m to the dwelling.
4. **Chapter 900.3.10(5) and 10.5.40.50.(2), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is **0.38 m** to the canopy.
5. **Chapter 10.20.40.10.(3), By-law No. 569-2013**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.

6. **Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The proposed eaves project **0.46 m** and portions would be **0.32 m** from the lot line.
7. **Chapter 10.5.40.60.(2), By-law No. 569-2013**
A canopy, awning or similar structure not covering a platform may encroach in a side yard a maximum of 1.5 m, if it is no closer to the side lot line than 0.3 m.
The proposed canopy encroaches 1.1 m and is **0.38 m** from the east lot line.
8. **Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5 m.
The proposed front yard setback is 4.3 m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 0.76 m.
10. **Section 13.2.6, By-law No. 7625**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.
11. **Section 6(9)(j), By-law No. 7625**
Canopies 2.3 m² or less in area shall be permitted to project into one minimum side yard setback no more than 1.6 m but no closer than 0.6 m from an side lot line.
The proposed canopy in the east side yard has an area of 1.9 m² and is located **0.38 m** for the east side lot line.
12. **Section 6(24)(c), By-law No. 7625**
Unexcavated porches and decks shall not exceed 1 m in height. Notwithstanding, the first 2.1 m of an unexcavated porch or deck shall not exceed the height of the first floor joists.
The rear deck exceeds 1 m in height and projects for 3.66 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0753/17NY	Zoning	RD / R4 (ZZC)
Owner:	ERI KIKUCHI	Ward:	Willowdale (23)
	HIROSHI KIKUCHI		
Agent:	SYNTHESIS HOMES INC	Heritage:	Not Applicable
Property Address:	59 CRAIGMORE CRES	Community:	North York
Legal Description:	PLAN 3596 LOT 84		

Beth Levy (signed)

Rick Ross (signed)

Giacomo Tonon (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0754/17NY	Zoning	RD(f15;a550)(x5)/R4[ZR]
Owner(s):	ZAHRA IZADIAN	Ward:	Willowdale (23)
Agent:	ALI GOUDARZI	Heritage:	Not Applicable
Property Address:	82 HOLLYWOOD AVE	Community:	North York
Legal Description:	PLAN 1801 LOT 279 PT LOTS 278 & 280 64R10386 PART 1		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed west side yard setback is 1.52m.
- 2. Chapter 10.5.40.50(2), By-law No. 569-2013**
In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3m of a building, must comply with the required minimum building setbacks for the zone 1.8m
The proposed rear deck west side yard setback is 1.52m.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 7.8m.
- 4. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 31.6% of the lot area.
- 5. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

6. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.75m.

The proposed west side yard setback is 1.52m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

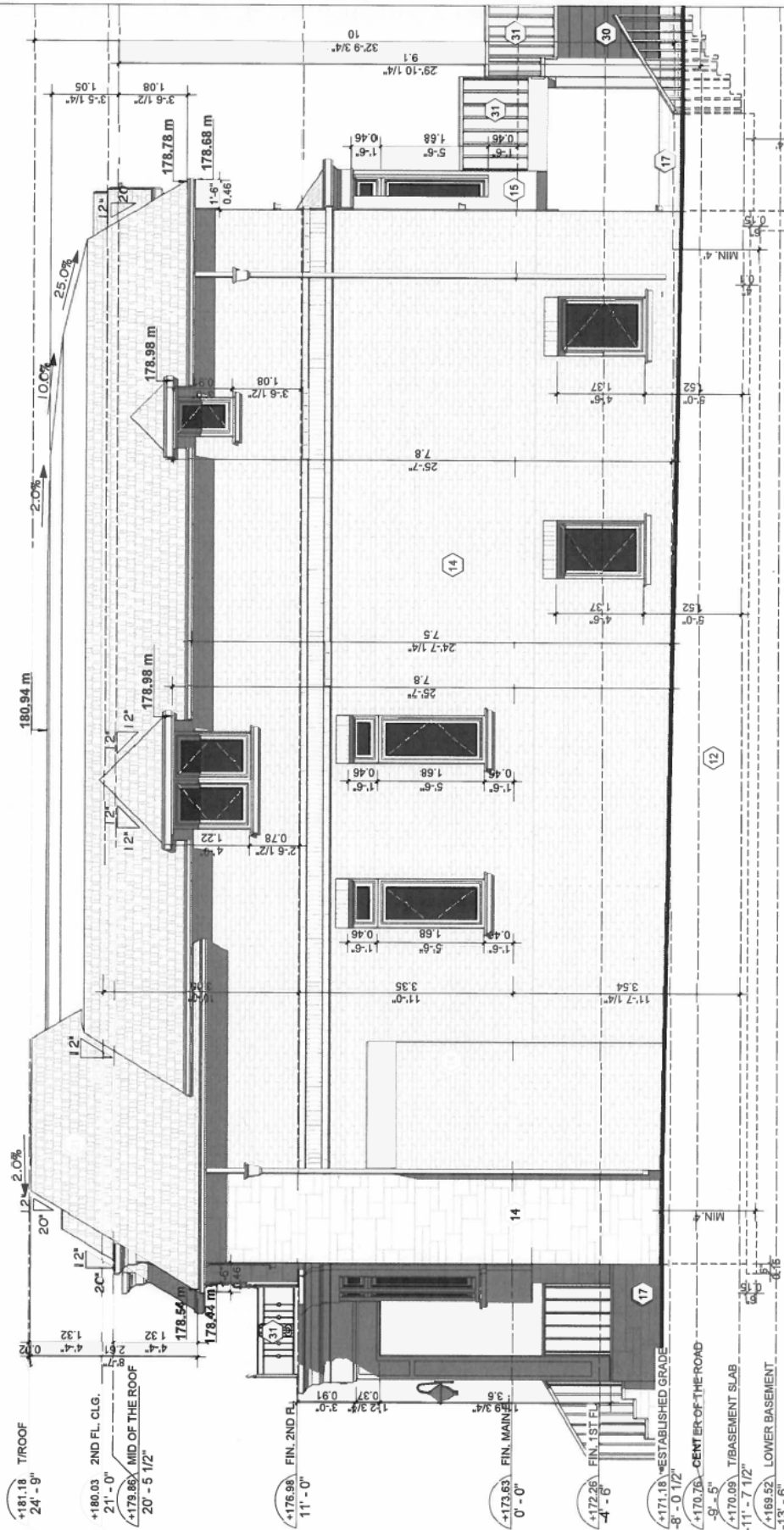
This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i)Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

- 2) The proposal be developed substantially in accordance with the east and west side elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, October 16, 2017.**

GLAZED AREAS:
 1. AREA OF EXPOSED BUILDING FACE: 1360.34 SQ.FT.
 2. PROPOSED GLAZED AREA: 91.75 SQ.FT. (6.68%)



RECEIVED

OCT 16 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

designed by:

ALI SHAKERI

T.416.8165651 F.416.2508900

ARCICA INC.

325 SHEPPARD AVENUE EAST,
 M2N 3B4
 TORONTO, ONTARIO, CANADA

project:

82 HOLLYWOOD AVE.

drawing:

SIDE
 ELEVATION(EAST)

scale:

3/16" = 1'-0"

page:

A 9

revisions:

AUGUST 3, 2017- ISSUED FOR COA

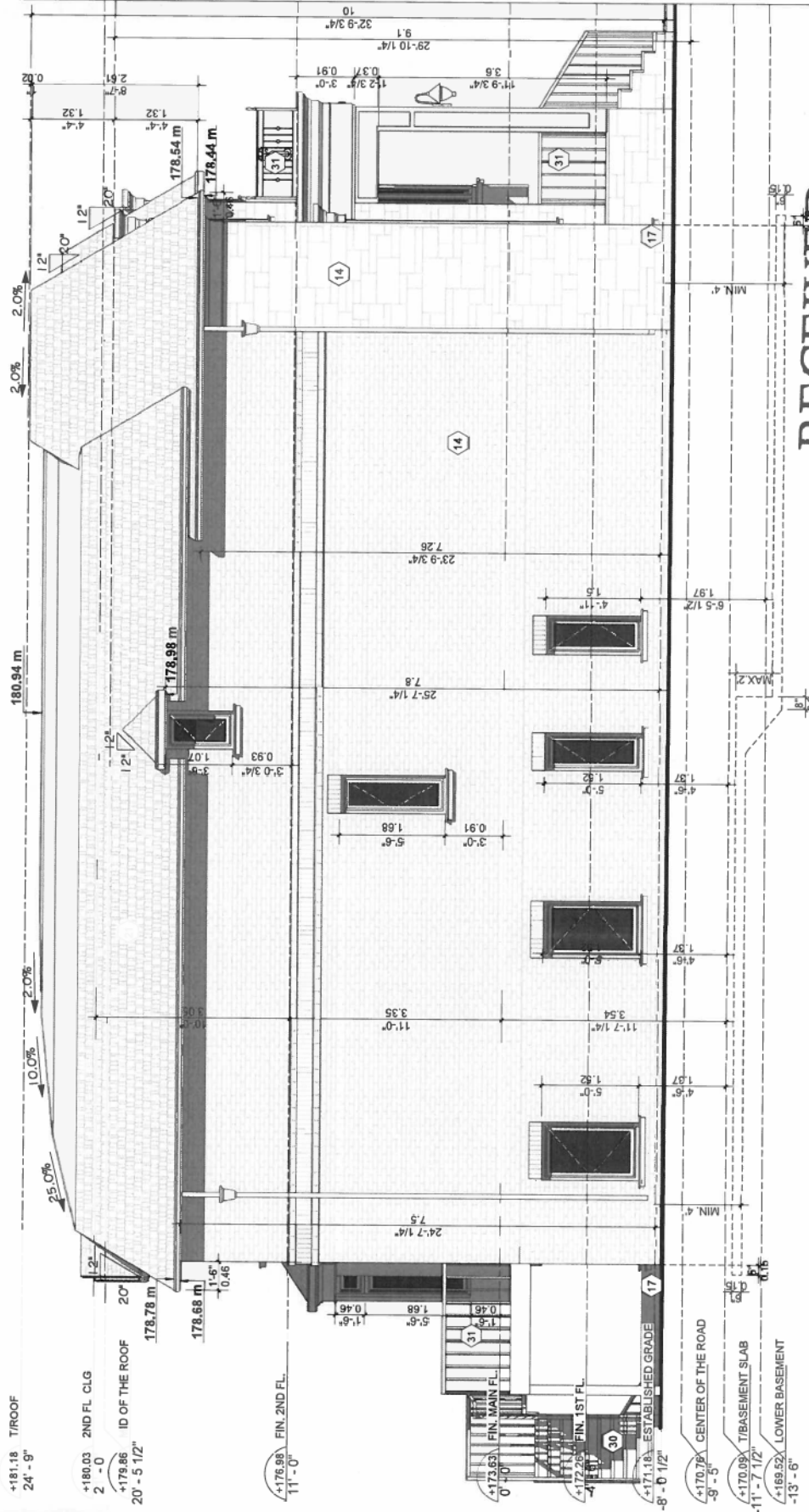
THIS UNDERSIGNED
 RESPONSIBILITY FOR
 THE QUALIFICATION
 REQUIREMENTS SET
 BY A DESIGNER
 Ali Shakeri
 BCIN#24574
 F&A Associates
 BCIN#30998

+171.18' FIN. 2ND FL.
 11'-0"
 +173.63' FIN. 1ST FL.
 0'-0"
 +172.25' FIN. 1ST FL.
 4'-6"
 +171.18' FIN. 1ST FL.
 8'-0 1/2"
 +170.75' FIN. 1ST FL.
 8'-5"
 +170.09' FIN. 1ST FL.
 11'-7 1/2"
 +169.52' FIN. 1ST FL.
 13'-6"

1. ALL WORK SHALL BE CARRIED OUT IN
 STRICT ACCORDANCE WITH THE
 REQUIREMENTS OF THE LATEST REVISION OF THE
 ONTARIO BUILDING CODE.
 2. VERIFY ALL DIMENSIONS PRIOR TO
 CONSTRUCTION.
 3. DO NOT SCALE DRAWINGS.
 4. ALL DIMENSIONS AND INFORMATION SHALL BE
 CHECKED AND VERIFIED ON THE JOB AND ANY
 VARIANCES OR DISCREPANCIES MUST BE
 REPORTED TO F&A ASSOCIATES BY PHONE AND
 SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO
 COMMENCEMENT OF THE WORK.
 5. USE ONLY LATEST REVISED DRAWINGS OF
 THOSE THAT ARE MARKED "ISSUED FOR
 CONSTRUCTION".
 6. ALL STRUCTURAL DESIGN MUST BE REVIEWED
 AND APPROVED BY CERTIFIED
 STRUCTURAL ENGINEER PRIOR TO
 CONSTRUCTION.

GLAZED AREAS:

1. AREA OF EXPOSED BUILDING FACE: 1395.96 SQ.FT.
2. PROPOSED GLAZED AREA: 70.02 SQ.FT. (5.05%)



RECEIVED

OCT 16 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

designed by:

ALI SHAKERI

T. 416.816.6511 F. 416.250.8900

ARCICA INC.

326 SHEPPARD AVENUE EAST,
M2N 3B4
TORONTO, ONTARIO, CANADA

project:

82 HOLLYWOOD AVE.

drawing:

SIDE
ELEVATION(WEST)

scale:

3/16" = 1'-0"

page:

A 08

revisions:

AUGUST 9, 2017- ISSUED FOR COA

THIS UNDERSIGNED HAS REVIEWED & TAKES
RESPONSIBILITY FOR THIS DESIGN, & HAS
THE QUALIFICATIONS & MEETS THE
REQUIREMENTS SET OUT IN THE O.B.C. TO
BE A DESIGNER
Ali Shakeri
BCIN#24574
F&A Associates Ltd.
BCIN#30992

1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
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SIGNATURE PAGE

File Number:	A0754/17NY	Zoning	RD(f15;a550)(x5)/R4[ZR]
Owner:	ZAHRA IZADIAN	Ward:	Willowdale (23)
Agent:	ALI GOUDARZI	Heritage:	Not Applicable
Property Address:	82 HOLLYWOOD AVE	Community:	North York
Legal Description:	PLAN 1801 LOT 279 PT LOTS 278 & 280 64R10386 PART 1		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

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- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0755/17NY	Zoning	RD/R1B [BLD]
Owner(s):	AREZOU PAKNEJAD	Ward:	Don Valley West (26)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	31 RYKERT CRES	Community:	East York
Legal Description:	PLAN M597 LOT 17		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey addition to the existing dwelling, in conjunction with other interior and exterior alterations. The applicant is also proposing to construct a new detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 18.11m.

2. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 7.68m.

The proposed front yard setback is 6.55m.

3. Chapter 10.20.40.70.(6), By-law No. 569-2013

The minimum required north side yard setback is 3.00m for a corner lot where the required lot frontage is 12.00m or more and where there is an adjacent lot fronting on the street abutting the side lot line.

The proposed north side yard setback is 1.22m.

4. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 35.20% of the lot area.

5. Section 5.7J, By-law No. 1916

Steps or stairs required for access to the first storey of a permitted building may encroach into any yard, such stairs shall be setback a minimum of 1.50m from any lot line adjacent to a street.

The proposed stairs are 1.22m to the lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the site plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division October 17, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



SITE DATA	
ZONING	RD(112.0370) (d08)
LOT #	17
PLAN #	M-579
LOT AREA	486.15 S.M. 5232.90 S.F.

A R E A	EXISTING	PROPOSED
LOT COVERAGE	-	171.15 S.M. 1842.22 S.F. (35.2%)
GFA	-	281.69 S.M. 3139.74 S.F.
NO. OF STORIES HEIGHT	-	2 STORIES AS SHOWN

BRICK WELLING

REAR YARD AREA=	2399.93 S.F.
HARD LANDSCAPING AREA=	1187.77 S.F.
SOFT LANDSCAPING AREA=	1212.16 S.F.
(50.51%)	

SIDE YARD AREA ^{ADA} =	449.66 S.F.
HARD LANDSCAPING AREA=	160.24 S.F.
SOFT LANDSCAPING AREA=	289.42 S.F.
(64.36%)	

EXISTING EXT. WALL TO BE RETAINED

RECEIVED

OCT 17 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

designed by:

ALI SHAKERI

ARCICA INC.

1416 BISSSET F.A. 100 200000

320 SHEPPARD AVENUE EAST, WILM 300
TORONTO, ONTARIO, CANADA.

31 RYKERT CRESCENT	SITE PLAN	1/16"=1'	A1
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1 ALL WORK BE COMPLETED IN
STRICT ACCORDANCE WITH THE RELEVANT
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SIGNATURE PAGE

File Number: A0755/17NY
Owner: AREZOU PAKNEJAD
Agent: ALI SHAKERI
Property Address: **31 RYKERT CRES**
Legal Description: PLAN M597 LOT 17

Zoning: RD/R1B [BLD]
Ward: Don Valley West (26)
Heritage: Not Applicable
Community: East York

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
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- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0756/17NY	Zoning	RD / R5 (BLD)
Owner(s):	PINGBO XU	Ward:	Don Valley West (25)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	5 HEMFORD CRES	Community:	North York
Legal Description:	PLAN 4332 L 364		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new deck to the rear of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 6(24)(c), By-law No. 7625

Unexcavated porches and decks shall not exceed 1 m in height. Notwithstanding the first 2.1 m of an unexcavated porch or deck shall exceed the height of the first storey floor joists.
The rear deck exceeds 1 m in height and projects for 3.05 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the northern edge of the proposed rear deck with a minimum height of 1.50m from the floor of the deck.**

SIGNATURE PAGE

File Number:	A0756/17NY	Zoning	RD / R5 (BLD)
Owner:	PINGBO XU	Ward:	Don Valley West (25)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	5 HEMFORD CRES	Community:	North York
Legal Description:	PLAN 4332 L 364		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

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North York Panel

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0757/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner(s):	JAROSLAW MALISZEWSKI EWELINA MALISZEWSKI- CYNA	Ward:	Willowdale (23)
Agent:	ZERO DEGREE STUDIO	Heritage:	Not Applicable
Property Address:	183 NORTON AVE	Community:	North York
Legal Description:	PLAN 2633 PT LOT 98		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.50.(2), By-law No. 569-2013**
A platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3m of a building, must comply with the required minimum building setback is 3.0m.
The proposed east side yard setback to the rear deck is 1.2m.
- 2. Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from a fronting street.
- 3. Chapter 10.5.100.1, By-law No. 569-2013**
The maximum permitted driveway width is the cumulative width of side-by-side parking spaces behind the front main wall is 5.3m.
The proposed driveway width is 5.85m.
- 4. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.

5. **Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first storey of the building above established grade may encroach 2.5m into the required front yard setback if it is no closer to a side lot line than the required side yard setback.
The proposed platform encroaches 1.37m into the required front yard setback and is 1.34m closer to the side lot line than the required east side yard setback.
6. **Chapter 10.20.40.70.(6), By-law No. 569-2013**
The required minimum east side yard setback is 3.0m for a corner lot where the required lot frontage is 12.0m or more, and where there is an adjacent lot fronting on the street abutting the side lot line.
The proposed east side yard setback is 1.2m.
7. **Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum west side yard setbacks is 1.8m.
The proposed west side yard setback is 1.5m.
8. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15m.
The proposed lot frontage is 12.80m.
9. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 472.38 m².
10. **Section 13.2.3, By-law No. 7625**
The minimum required west side yard setback is 1.58m.
The proposed west side yard setback is 1.5m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.27m.
12. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.53m.
13. **Section 6(8), By-law No. 7625**
The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed is 15m.
The proposed lot width is 12.80m.
14. **Section 6(24)(d), By-law No. 7625**
In the rear yard, unexcavated porches and decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building is east side yard setback of 3.0m.
The proposed east side yard setback to the rear deck is 1.2m.
15. **Section 13.2.3(b), By-law No. 7625**
For a reversed corner lot, the minimum east side yard setback abutting the street shall be 3.0m.
The proposed east side yard setback is 1.2m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0757/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner:	JAROSLAW MALISZEWSKI EWELINA MALISZEWSKI- CYNA	Ward:	Willowdale (23)
Agent:	ZERO DEGREE STUDIO	Heritage:	Not Applicable
Property Address:	183 NORTON AVE	Community:	North York
Legal Description:	PLAN 2633 PT LOT 98		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0725/17NY	Zoning	RD/R7(16) [ZZC]
Owner(s):	AHMAD GHOLIZADEH	Ward:	Eglinton-Lawrence (16)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	150 BROOKE AVE	Community:	North York
Legal Description:	PLAN 2529 E PT LOT 95		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.50.(2), By-law No. 569-2013

A platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks for the zone.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.31m.

3. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.
The proposed building length is 17.98m.

4. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 0.90m.
The proposed west side yard setback is 0.61m.

5. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.
The proposed lot coverage is 36.60% of the lot area.

6. Section 14-B(5)b, By-law No. 7625

The minimum required side yard setback is 1.20m.
The proposed west side yard setback is 0.61m.

7. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.80m.

8. Section 14-B(9), By-law No. 7625

The maximum permitted building length is 15.30m.

The proposed building length is 17.98m.

9. Section 14-B(8), By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.19m.

10. Section 14-B(5)b, By-law No. 7625

The minimum required side yard setback is 1.20m.

The proposed east side yard setback is 0.91m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the east and west elevations submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, October 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) The applicant is to provide permanent opaque screening or fencing along the eastern edge of the proposed rear deck; with a minimum height of 1.5 metres from the floor of the deck.

WEST ELEVATION

$$N(\mathcal{G}) \perp_{\mathcal{G}} \mathcal{G} \text{ and } N(\mathcal{G}) \perp_{\mathcal{G}} \mathcal{G}^{\perp}$$

RECEIVED

OCT 13 2017

Toronto City Planning
North York District

SCALE

50 BROOKS W

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16-319-602-0



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THIS DRAWING AND THE PROJECT OF HEREIN IS NOT TO BE USED FOR ANY OTHER PROJECTS IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT'S FIRM.

09

EAST ELEVATION

150 BROOKS AVE

SCALE



06-218-0000

DATE

JULY 27, 2017

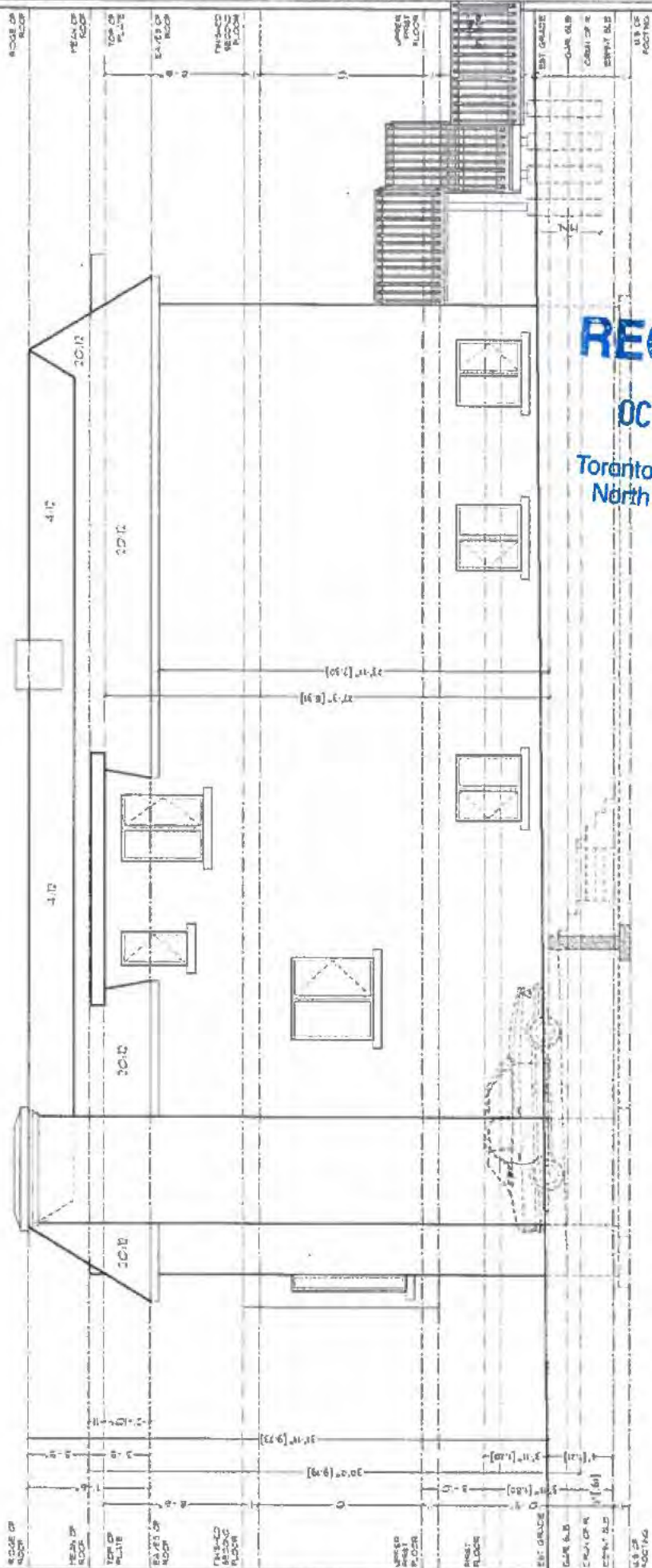
DATE

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OCT 13 2017

Toronto City Planning
North York District



SIGNATURE PAGE

File Number: A0725/17NY
Owner: AHMAD GHOLIZADEH
Agent: HOMELAND
Property Address: **150 BROOKE AVE**
Legal Description: PLAN 2529 E PT LOT 95

Zoning: RD/R7(16) [ZZC]
Ward: Eglinton-Lawrence (16)
Heritage: Not Applicable
Community: North York

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0731/17NY	Zoning	RD/RM3 [ZZC]
Owner(s):	ALI JALALZADEH	Ward:	Eglinton-Lawrence (16)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	396 CORTLEIGH BLVD PART 2	Community:	North York
Legal Description:	PLAN 1611 PT BLK A PT LOT 151		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey, semi-detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

The minimum required front vestibule size is 10.00m².

The proposed front vestibule size is 3.80m².

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 36.68% of the lot area.

3. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.01m.

4. Chapter 10.80.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.50m.

The proposed west side yard setback is 1.22m.

5. Chapter 10.80.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 17.73m.

6. Section 17(3)(a), 17(4)(a), By-law No. 7625

The minimum required lot area is 300.00m².

The proposed lot area is 292.82m².

7. Section 17(3)(d), 17(4)(d), By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 36.68% of the lot area.

8. Section 17(3)(i), 17(4)(c)(i), By-law No. 7625

The minimum required front yard setback is 7.50m.
The proposed front yard setback is 5.76m.

9. Section 17(3)(e), 17(4)(e), By-law No. 7625

The maximum permitted building height is 9.20m.
The proposed building height is 9.70m.

10. Section 17(3)(e), 17(4)(e), By-law No. 7625

The maximum number of storeys permitted is two (2).
The proposed number of storeys is three (3).

11. Section 6(9), By-law No. 7625

The maximum permitted canopy in the side yard is 2.30m².
The proposed canopy is 7.10m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

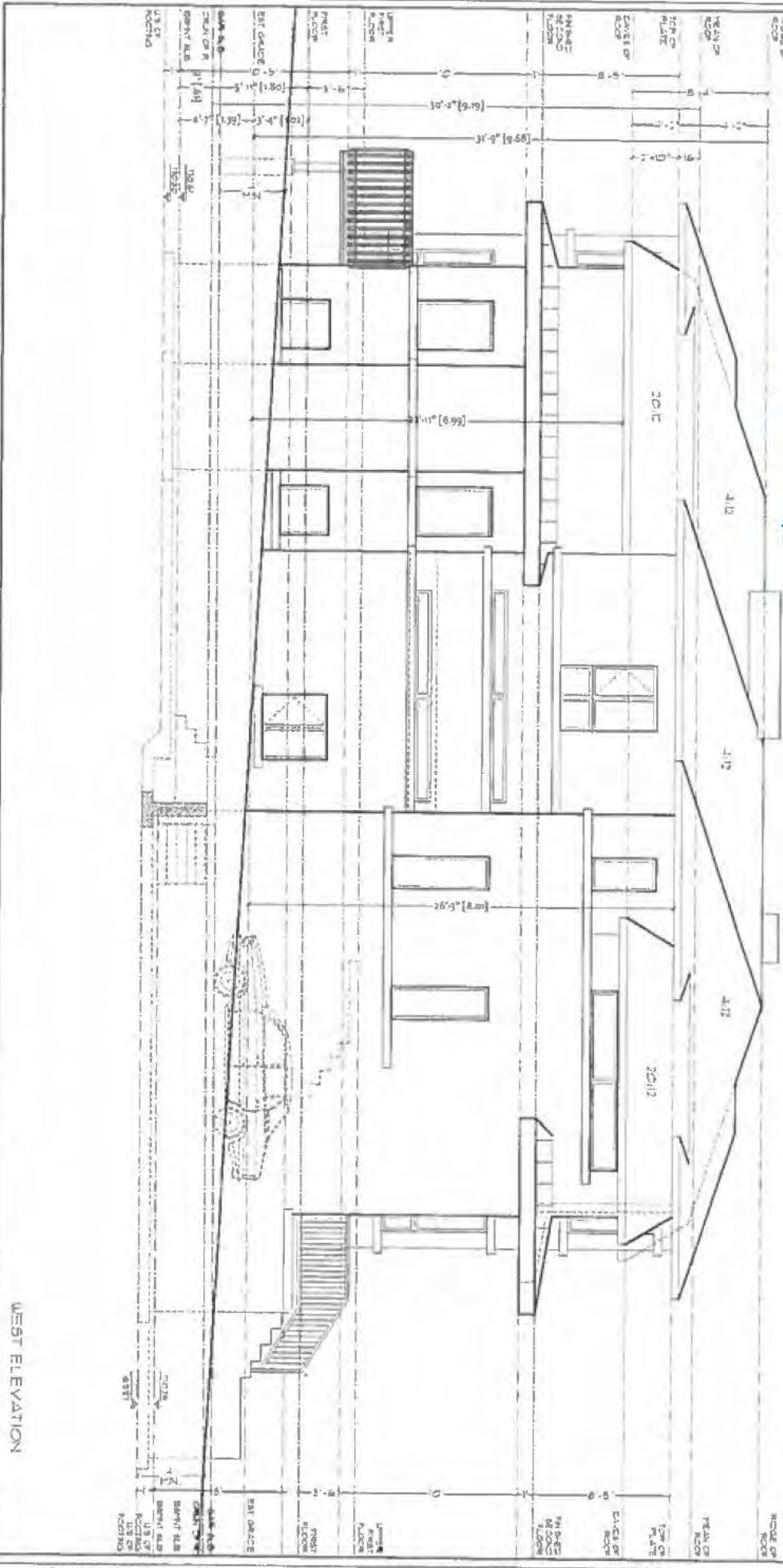
This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the west and east elevations submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, October 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

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Toronto City Planning
North York District



DATE	JAN 19 2011
PROJECT	326 CORLEIGH BLVD
SCALE	1/8" = 1'-0"
07	

OCT 13 2017
Toronto City Planning
North York District

OCT 13 2017

Toronto City Planning
North York District

EAST ELEVATION

DATE	1970
DESIGN	1000
SCALE	1/2" = 1'-0"
PROJECT	1000
TITLE	1000

THESE DRAWINGS ARE THE PROPERTY OF "HOTELAND" AND ANY REPRODUCTION OR USE FOR OTHER PROJECTS IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE DESIGNER IS PROHIBITED.

SIGNATURE PAGE

File Number:	A0731/17NY	Zoning	RD/RM3 [ZZC]
Owner:	ALI JALALZADEH	Ward:	Eglinton-Lawrence (16)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	396 CORTLEIGH BLVD	Community:	North York
	PART 2		
Legal Description:	PLAN 1611 PT BLK A PT LOT 151		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0732/17NY	Zoning	RD/RM3 [ZZC]
Owner(s):	ALI JALALZADEH	Ward:	Eglinton-Lawrence (16)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	396 CORTLEIGH BLVD PART 1	Community:	North York
Legal Description:	PLAN 1611 PT BLK A PT LOT 151		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey, semi-detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

The minimum required front vestibule size is 10.00m².

The proposed front vestibule size is 3.80m².

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 36.55% of the lot area.

3. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.15m.

4. Chapter 10.80.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 17.73m.

5. Chapter 10.80.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.50m.

The proposed east side yard setback is 1.22m.

6. Section 17(3)(a), 17(4)(a), By-law No. 7625

The minimum required lot area is 300.00m².

The proposed lot area is 293.56m².

7. Section 17(3)(d), 17(4)(d), By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 36.55% of the lot area.

8. Section 17(3)(e), 17(4)(e), By-law No. 7625

The maximum permitted building height is 9.20m.
The proposed building height is 9.70m.

9. Section 17(3)(e), 17(4)(e), By-law No. 7625

The maximum number of storeys permitted is two (2).
The proposed number of storeys is three (3).

10. Section 17(3)(c)(i), 17(4)(c)(i), By-law No. 7625

The minimum required front yard setback is 7.50m.
The proposed front yard setback is 5.76m.

11. Section 6(9), By-law No. 7625

The maximum permitted canopy in the side yard is 2.30m².
The proposed canopy is 7.10m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

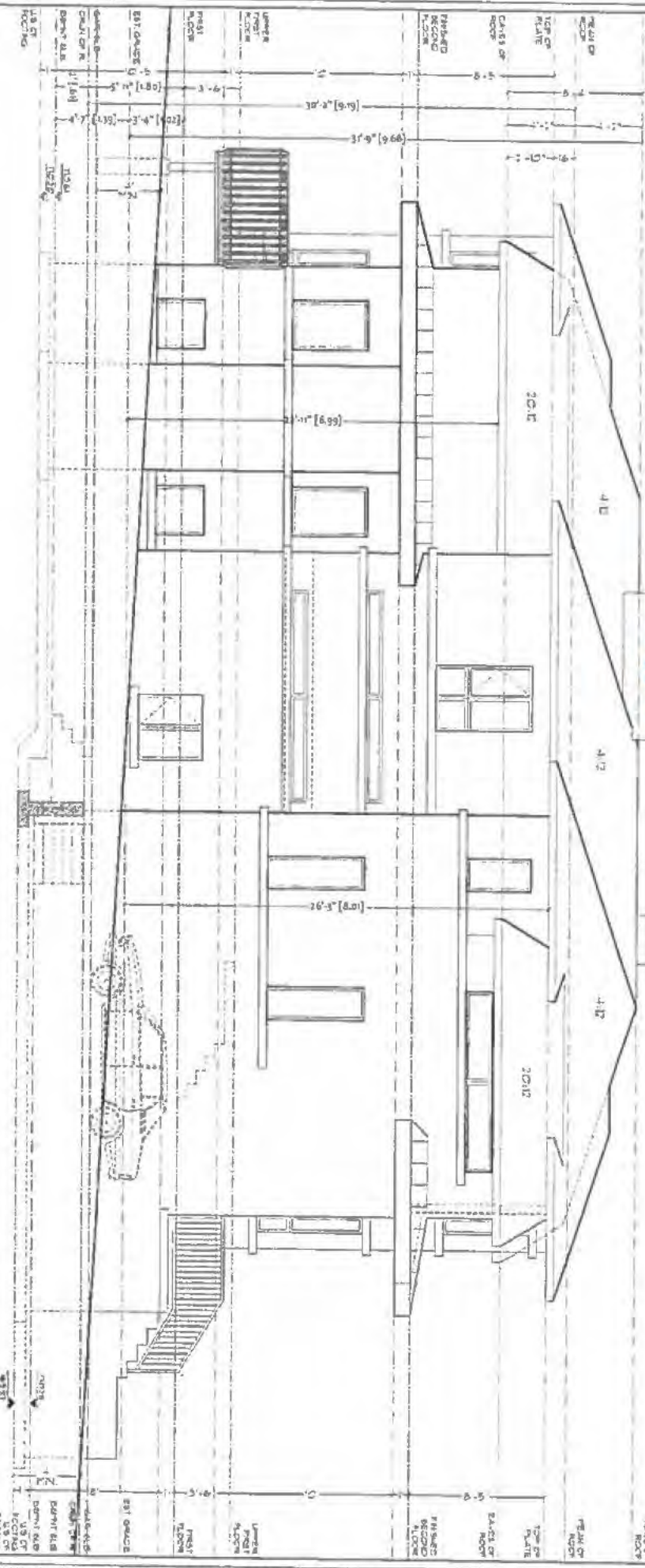
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the west and east elevations submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, October 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



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OCT 13 2017
Toronto City Planning
North York District



WEST ELEVATION

OWNER	DATE	DESIGN	PROJECT	SCALE	DATE	REVISION	07
3. F. K. K. K. K.	JUN 19, 2011	HOME AND	356 GORTLEIGH BLVD.	2/16/10	11	LEFT ELEVATION	

SIGNATURE PAGE

File Number:	A0732/17NY	Zoning	RD/RM3 [ZZC]
Owner:	ALI JALALZADEH	Ward:	Eglinton-Lawrence (16)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	396 CORTLEIGH BLVD	Community:	North York
	PART 1		
Legal Description:	PLAN 1611 PT BLK A PT LOT 151		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0758/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	TARANEH FEYZBAKHSHWAGHEF MOHAMMAD SAEED MIRFAKHRAEI	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	408 CONNAUGHT AVE	Community:	North York
Legal Description:	PLAN 1880 LOT 368		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.35m **for no more than 30.00% of the east wall and no more than 37.00% of the west wall**.

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

3. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.52m.

4. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.52m.

5. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.52m.

6. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.52m.

7. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.64m.

8. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.25m.

9. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m.

The proposed rear deck projects 2.59m from the rear wall.

10. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 16.99m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The requirements of the Parks and Recreation, Urban Forestry Division;

- i) **The applicant shall submit an application for permit to injure or remove private trees to Urban Forestry, as per City of Toronto Municipal Code Chapter 813, Article III**

SIGNATURE PAGE

File Number:	A0758/17NY	Zoning	RD/R4 [ZZC]
Owner:	TARANEH FEYZBAKHSHWAGHEF MOHAMMAD SAEED MIRFAKHRAEI	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	408 CONNAUGHT AVE	Community:	North York
Legal Description:	PLAN 1880 LOT 368		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0759/17NY	Zoning	RD/R1 (WAIVER)
Owner(s):	WILLIA Z SCAINI	Ward:	Eglinton-Lawrence (16)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	550 CASTLEFIELD AVE	Community:	Toronto
Legal Description:	PLAN M25 PT LOT 218		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.40, By-law No. 569-2013**
The maximum permitted floor space index is 0.6 times the lot area.
The proposed floor space index is 0.69 times the lot area.
- 2. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
3.57 m² of the proposed first floor is within 4.0 m of the front main wall.
- 3. Chapter 10.20.40.10.(6), By-law No. 569-2013**
The maximum permitted height of the first floor is 1.2 m above established grade.
The proposed first floor is 1.4 m above established grade.
- 4. Chapter 10.20.40.10.(4), By-law No. 569-2013**
The maximum permitted building height is 7.2 m.
The proposed building height is 9 m.
- 5. Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.6 times the area of the lot.
The proposed gross floor area is 0.69 times the area of the lot.
- 6. Section 6(3) Part II 8, By-law No. 438-86**
The maximum permitted height of a rear platform is 1.2 m above adjacent grade.
The proposed rear platform is 3.16 m above grade.

7. Section 4(2)(a), By-law No. 438-86

The maximum permitted building height is 9 m.

The proposed building height is 9.39 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

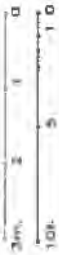
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the main floor plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, October 13, 2017.

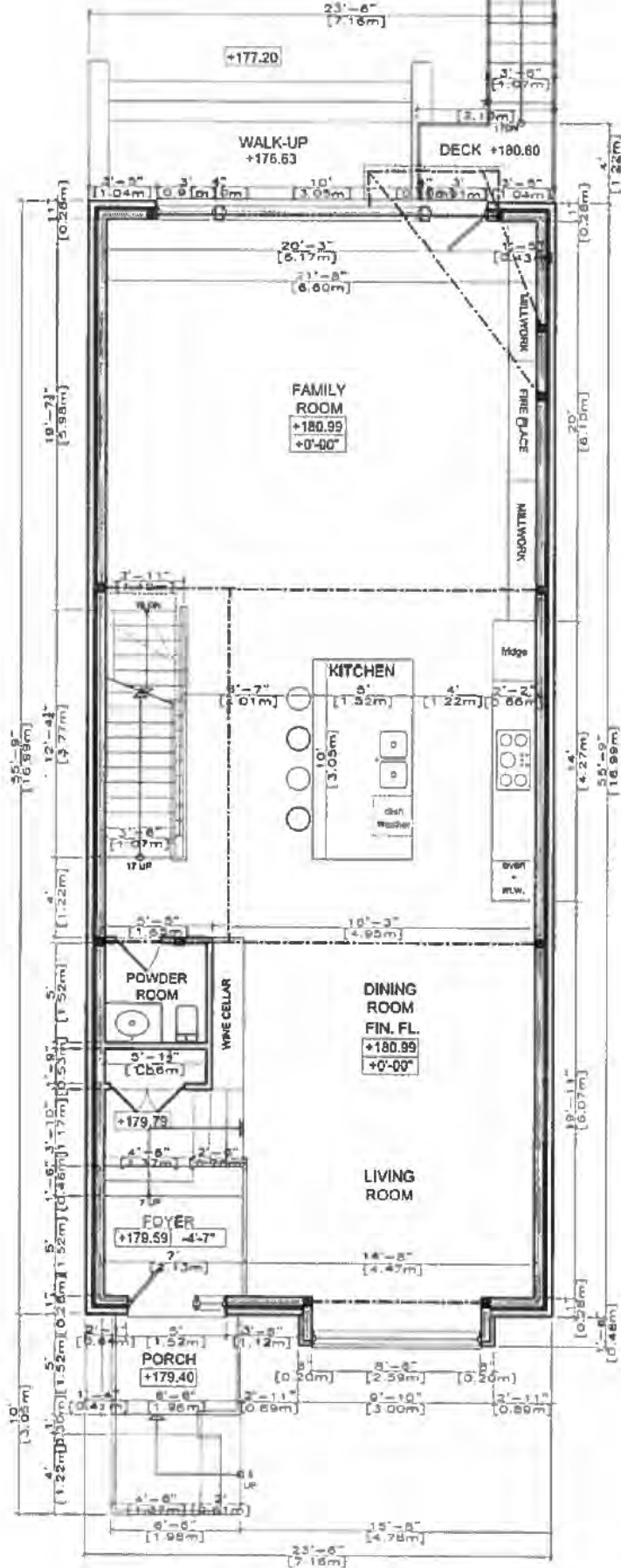
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

NOTE:
ALL INTERIOR
WALL DIMENSIONS
SHOW FACE OF
STUDS



ARCICA INC.
330 SHEPPARD AVENUE EAST,
SUITE 304
TORONTO, ONTARIO, CANADA
ALI SHAKERI
T 416 516-6551 F 416 230-9800

1. ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
2. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
3. DO NOT SCALE DRAWINGS.
4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO F&A ASSOCIATES BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.
5. USE ONLY LATEST REVISED DRAWINGS OF THOSE THAT ARE MARKED "ISSUED FOR CONSTRUCTION".
6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.



RECEIVED
OCT 13 2017
Toronto City Planning
North York District

550 CASTLEFIELD AVENUE

MAIN FLOOR PLAN

3/16"=1'

A3

revisions:
AUG 08, 2017 - ISSUED FOR COA1

THE UNDERSIGNED HAS REVIEWED & TAKES RESPONSIBILITY FOR THIS DESIGN, & HAS THE QUALIFICATIONS & MEETS THE REQUIREMENTS SET OUT IN THE O.B.C. TO BE A DESIGNER
Ali Shakeri F&A Associates Ltd.
BCIN-24574 BCIN-30860

Ali Shakeri

SIGNATURE PAGE

File Number:	A0759/17NY	Zoning	RD/R1 (WAIVER)
Owner:	WILLIA Z SCAINI	Ward:	Eglinton-Lawrence (16)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	550 CASTLEFIELD AVE	Community:	Toronto
Legal Description:	PLAN M25 PT LOT 218		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0760/17NY	Zoning	RD/R6[ZZC]
Owner(s):	MOGHTADA AHMADINIA KHORRAM MARYAM FARSAD	Ward:	Willowdale (23)
Agent:	MARYAM FARSAD	Heritage:	Not Applicable
Property Address:	18 EASTON RD	Community:	North York
Legal Description:	PLAN 3831 LOT 7		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.98% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.59m along the east side lot line and 8.28m along the west side lot line.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.28m along the west side lot line.
- 4. Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.18m.
- 5. Section 6A(2)a, By-law No. 7625**
The minimum required number of parking spaces is 2.
The proposed number of parking spaces is 1.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the north and south (side) elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, October 16, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. DO NOT SCALE DRAWINGS.
3. REPORT ALL DISCREPANCIES OF ERRORS, OMISSIONS AND INCONSISTENCIES TO THE DESIGNER OF RECORD IMMEDIATELY UPON DISCOVERY.
4. USE ONLY LATEST REVISED DRAWINGS OF THOSE PROVIDED BY THE DESIGNER OF RECORD FOR CONSTRUCTION.
5. THE DRAWINGS ARE THE PROPERTY OF SAHAB HOMES INC. AND MUST BE RETURNED TO THE PROJECT. ANY UNAUTHORIZED USE IS PROHIBITED.

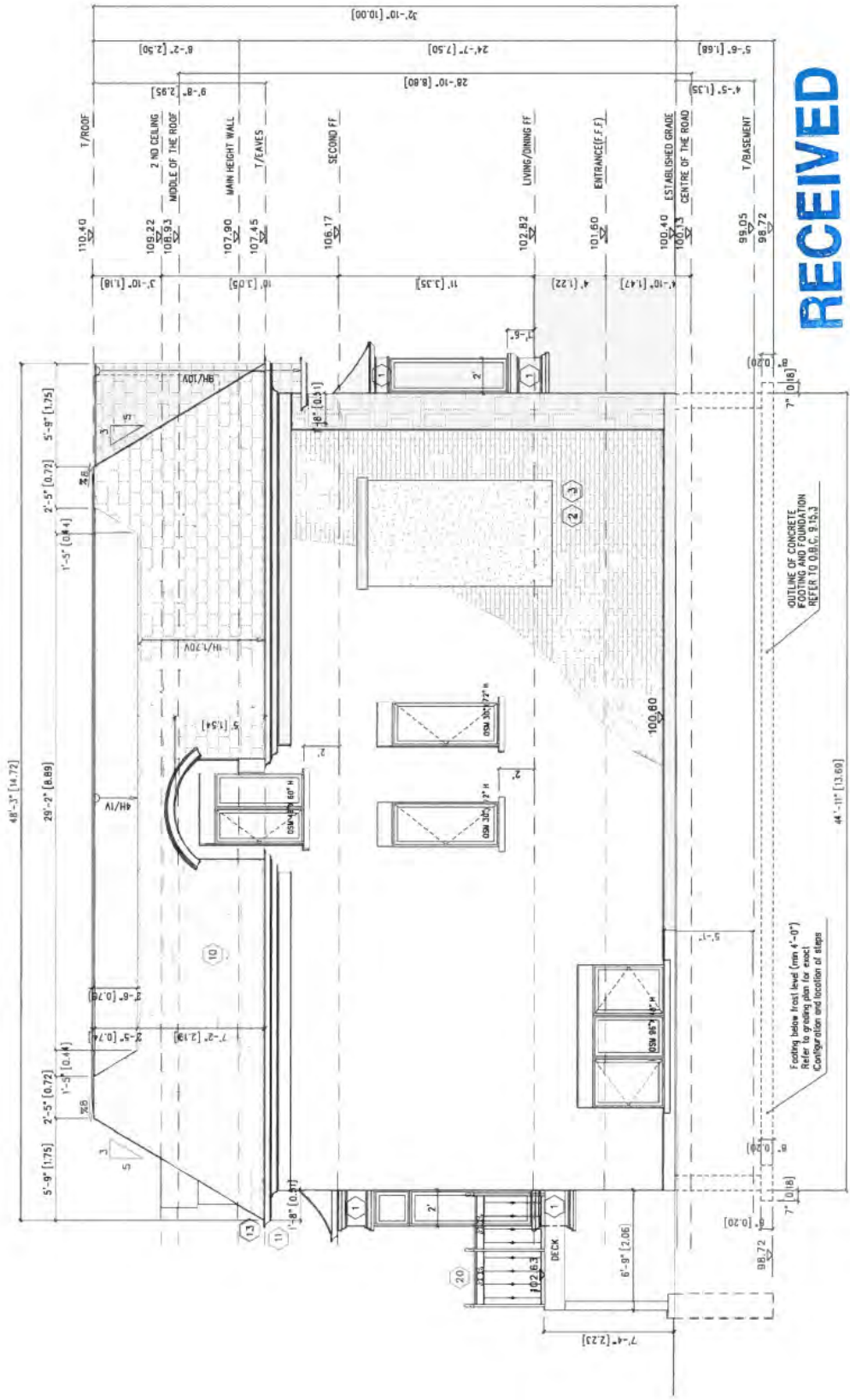


PRIVATE RESIDENCE
18 EASTON RD
CITY OF TORONTO, ON

EAST ELEVATION

DRAWN BY: Sherrin Barron-Babbonchi
SCALE: 3/16" = 1'
DATE: JUNE, 2017

A-7



RECEIVED

OCT 16 2017
Toronto City Planning
North York District

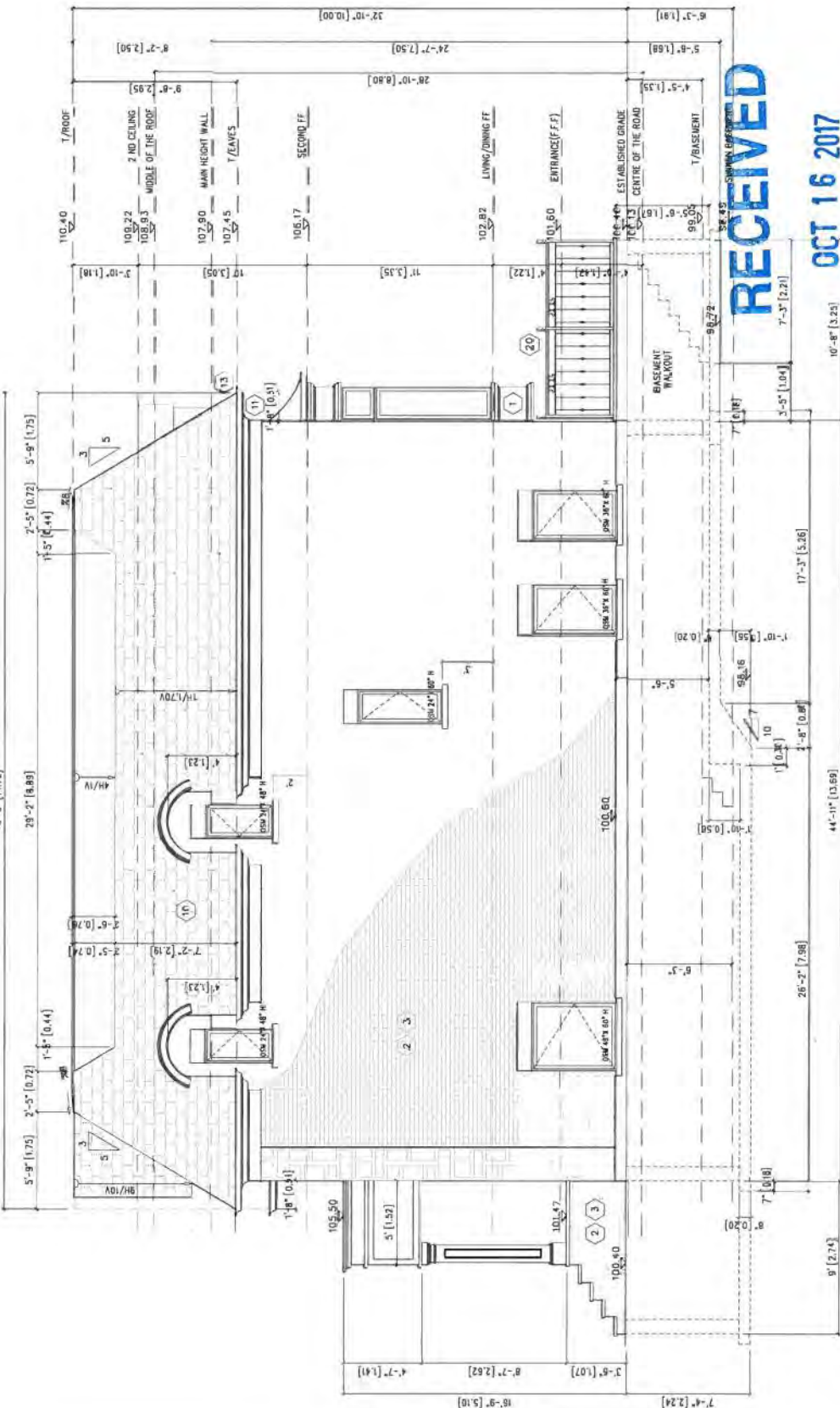
EAST (SIDE) ELEVATION

EAST ELEVATION



NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. REPORT ALL DISCREPANCIES OF FINISHES, QUANTITIES OR DISCREPANCIES TO THE ARCHITECT OR DESIGNER.
4. USE ONLY LATEST REVISED DIMENSIONS OF THOSE FINISHES AND MATERIALS SPECIFIED IN THE CONTRACT.
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WEST (SIDE) ELEVATION

Toronto City Planning
North York District

WEST ELEVATION



PRIVATE RESIDENCE
18 EASTON RD
CITY OF TORONTO, ON

WEST ELEVATION

DRAWN BY: Shireen Farzeen Shireen

SCALE: 3/8" = 1'

DATE: JUNE, 2017

A-8

SIGNATURE PAGE

File Number:	A0760/17NY	Zoning	RD/R6[ZZC]
Owner:	MOGHTADA AHMADINIA KHORRAM MARYAM FARSAD	Ward:	Willowdale (23)
Agent:	MARYAM FARSAD	Heritage:	Not Applicable
Property Address:	18 EASTON RD	Community:	North York
Legal Description:	PLAN 3831 LOT 7		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0761/17NY	Zoning	C1 [ZZC]
Owner(s):	CHANG KI MIN LOUISA LAI LAI CHONG	Ward:	Willowdale (23)
Agent:	TRAN DIEU & ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	4895 YONGE ST	Community:	North York
Legal Description:	CON 1 EY PT LOT 16		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit deficient parking with respect to a proposed restaurant within the existing commercial building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6A(2)a, By-law No. 7625

The minimum required number of parking space is 14.

The proposed number of parking spaces is 2.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0761/17NY	Zoning	C1 [ZZC]
Owner:	CHANG KI MIN	Ward:	Willowdale (23)
	LOUISA LAI LAI CHONG		
Agent:	TRAN DIEU & ASSOCIATES	Heritage:	Not Applicable
	INC		
Property Address:	4895 YONGE ST	Community:	North York
Legal Description:	CON 1 EY PT LOT 16		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0763/17NY	Zoning	RD (f9; a275)/R7[ZR]
Owner(s):	KAMLESH KUMAR VIRENDER KUMAR	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	356 BROADWAY AVE	Community:	North York
Legal Description:	PLAN M374 E PT LOT 48		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.0m² of the first floor must be within 4.0m of the front main wall.
The proposed is 0m².

2. Chapter 10.5.50.10.(1), By-law No. 569-2013

The minimum required of the front yard must be landscaping of 50%.
The proposed front yard landscaping area is 39.8%.

3. Chapter 10.5.80.40.(1), By-law No. 569-2013

The maximum permitted combined width of all vehicle entrances through the front main wall of the residential building is 6.0m.
The proposed combined width of all vehicle entrances through the front main wall is 6.3m.

4. Chapter 10.20.30.40.(1), By-law No. 569-2013

The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 40.1% of the lot area.

5. Chapter 10.20.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 10m.
The proposed building height is 10.24m.

6. Chapter 10.20.40.10.(2), By-law No. 569-2013

The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.

The proposed height of the side exterior main walls facing a side lot line is 9.23m.

7. Chapter 10.20.40.70.(1), By-law No. 569-2013

The minimum required front yard setback is 7.66m.

The proposed front yard setback is 6.0m.

8. Section 14-B(5)(6), By-law No. 7625

The minimum required East side yard setback is 1.2m.

The proposed East side yard setback is 0.47m.

9. Section 14-B(5)(6), By-law No. 7625

The minimum required West side yard setback is 1.2m.

The proposed West side yard setback is **0.91m**.

10. Section 14-B(5)c, By-law No. 7625

The minimum required rear yard setback is 9.5m.

The proposed rear yard setback is 8.22m.

11. Section 14-B(8), By-law No. 7625

The maximum permitted building height is 8.8m.

The proposed building height is 9.8m.

12. Section 14-B(9), By-law No. 7625

The maximum permitted building length is 15.3m.

The proposed building length is 16.26m.

13. Section 6(9)(c), By-law No. 7625

For R and RM one, exterior stairways, wheelchair ramps, and porches and decks 2.3m² or less in area, shall be permitted to project into one minimum side yard setback, not more than 1.6m, but not closer than 0.6m from any side lot line.

Proposed excavated porch has 4.8m² and is located 1.86m from the wall.

14. Section 6(30)a, By-law No. 7625

The maximum finished first floor height is 1.5m.

The proposed finished first floor height is 1.86m.

15. Section 6(24), By-law No. 7625

Decks which are greater than 1m in height above all points of the adjacent ground are limited to projecting 2.1m from the wall and are not to be greater than 50% of the width of the building at the building's widest point.

The proposed deck projects 2.74m and is 44.7% of the width of the building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0763/17NY	Zoning	RD (f9; a275)/R7[ZR]
Owner:	KAMLESH KUMAR VIRENDER KUMAR	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	356 BROADWAY AVE	Community:	North York
Legal Description:	PLAN M374 E PT LOT 48		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0765/17NY	Zoning	
Owner(s):	FARHAD FARAHANI	Ward:	Willowdale (23)
Agent:	FARHAD FARAHANI	Heritage:	Not Applicable
Property Address:	175 FLORENCE AVE	Community:	
Legal Description:	PLAN 1743 W PT LOT 533 EPT 534		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor area must be within 4 m of the front main wall.
4.74 m² of the first floor area is within 4 m of the front main wall.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls is **8.53 m**.
- 4. Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.3 m.
The proposed building length is 15.68 m.
- 5. Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is **9.30 m**.
- 6. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.65 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

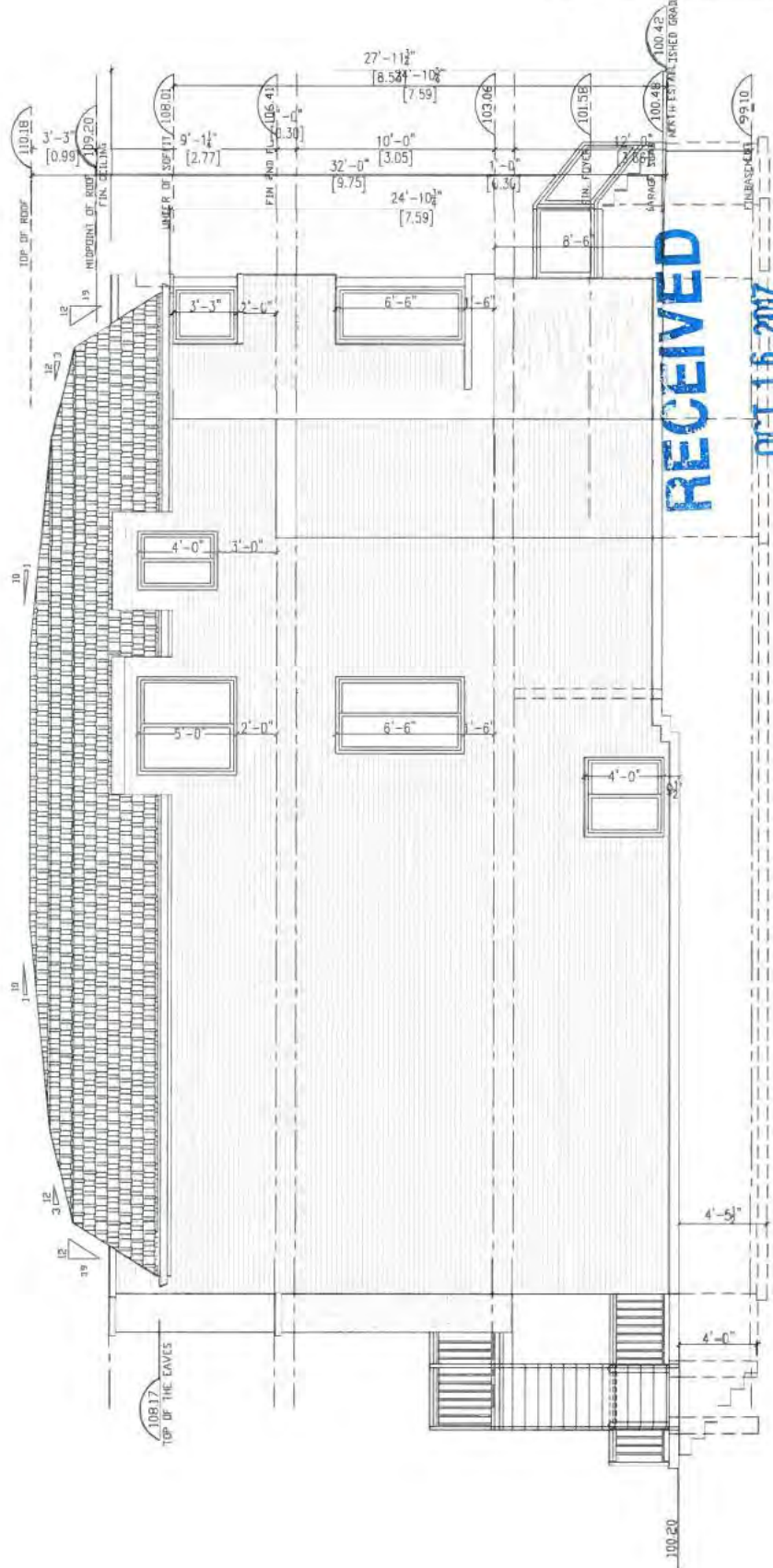
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

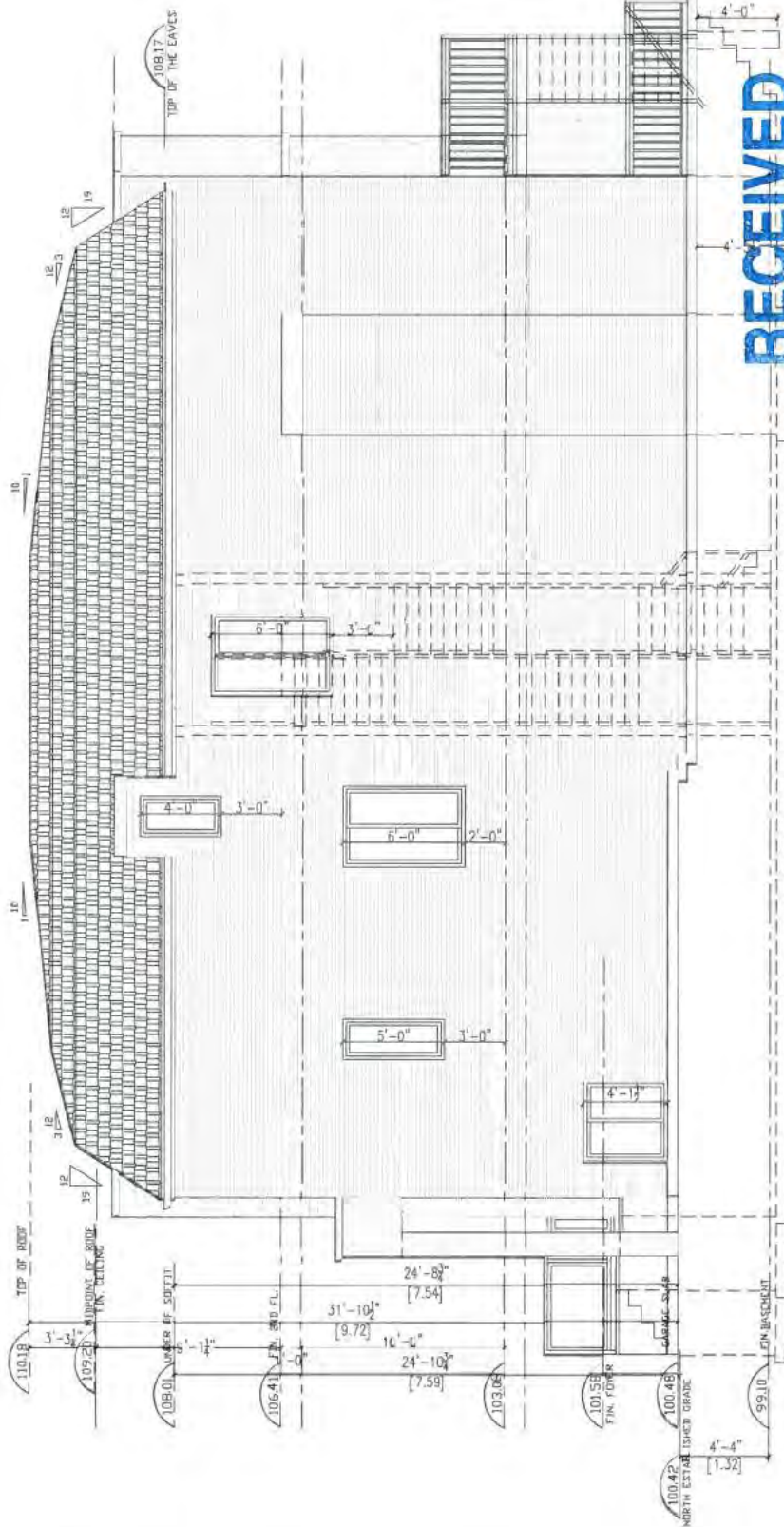
- 1) The proposal be developed substantially in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, October 16, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



EAST ELEVATION
 TOTAL WALL AREA: 126.44 m² / 1361.04 sq.ft.
 TOTAL OPENING AREA: 8.85 m² / 95.22 sq.ft.
 OPENINGS TO TOTAL WALL AREA: 7.0 %
 PERMITTED (CODE) OPENING TO TOTAL WALL AREA: 7.0 % = 8.85 m² / 95.27 sq.ft.

NO.	ISSUE/REVISION	DATE
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Toronto City Planning
North York District



WEST ELEVATION

TOTAL WALL AREA: 122.58 m² / 1319.18 sq.ft.
 TOTAL OPENING AREA: 6.90 m² / 74.23sq.ft.
 OPENINGS TO TOTAL WALL AREA: 5.63 %
 PERMITTED (CODE) OPENING TO TOTAL WALL AREA: 7.0 % = 8.54 m²/91.90 sq.ft.

RECEIVED

OCT 16 2017

**Toronto City Planning
 North York District**

NO.	ISSUE / REVISION	DATE
1	1. PREPARED FOR THE ARCHITECT BY THE ENGINEER. 2. THE ENGINEER HAS REVIEWED THE DRAWING AND CONFIRMS THAT THE WORKING AS SHOWN IS IN ACCORDANCE WITH THE CITY OF TORONTO'S BUILDING CODE. 3. THE ENGINEER HAS REVIEWED THE DRAWING AND CONFIRMS THAT THE WORKING AS SHOWN IS IN ACCORDANCE WITH THE CITY OF TORONTO'S BUILDING CODE.	
BATTAGLIA ARCHITECT INC.		
175 FLORENCE AVE. TORONTO, ONT.		
PROJECT		
2 STOREY RESIDENCE		
175 FLORENCE AVE.		
TORONTO, ONT.		
DRAWING		
SIDE (WEST) ELEVATION		
DATE	10 OCT 16, 2017	
DESIGN	3/16/17-17	
DRAWN BY	JHE	
PROJECT NO.	17175	
DRAWING NO.	09	

SIGNATURE PAGE

File Number:	A0765/17NY	Zoning	
Owner:	FARHAD FARAHANI	Ward:	Willowdale (23)
Agent:	FARHAD FARAHANI	Heritage:	Not Applicable
Property Address:	175 FLORENCE AVE	Community:	
Legal Description:	PLAN 1743 W PT LOT 533 EPT 534		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0768/17NY	Zoning	RD(x5)/R4[WAV]
Owner(s):	MIAH KIM SANGHEE LEE	Ward:	Willowdale (23)
Agent:	ROCKIM DESIGN INC	Heritage:	Not Applicable
Property Address:	56 DALLAS RD	Community:	North York
Legal Description:	PLAN 4407 LOT 14		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing dwelling and garage, including a two-storey front addition.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.50, By-law No. 569-2013

A platform without main walls, such as a deck, porch, balcony or similar structure, which is not encroaching as permitted, and attached to or within 0.3m of a building, must comply with the required minimum building setbacks for the zone is 1.8m.

The proposed rear yard platform is 1.54m from the east side lot line.

2. Chapter 10.20.40.20.(1), By-law No. 569-2013

The permitted maximum building length for a detached house is 17.0m.

The proposed building length is **19.25m**.

3. Chapter 10.20.40.30.(1), By-law No. 569-2013

The maximum permitted building depth is 19.0m

The proposed building depth is **19.7m**.

4. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30% of the lot area.

The proposed lot coverage is 30.3% of the lot area.

5. Chapter 900.3.10, By-law No. 569-2013

The minimum required side yard setback is 1.8m.

The proposed east side yard setback is 1.4m.

6. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.4m.

7. Section 13.2.3(b), By-law No. 7625

The maximum permitted building length is 16.8m.
The proposed building length is **22.04m**.

8. Section 6(30)a, By-law No. 7625

The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.52 m.

9. Section 6(24)(d)(ii)(A), By-law No. 7625

In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building is 1.8m.
The proposed unexcavated deck in the rear yard is 1.54m from the east side lot line.

10. Section 6(9)(f), By-law No. 7625

Porches and canopies shall be permitted to project into the minimum front yard setback not more than 2.1m but no closer to a side lot line than the minimum side yard setback for the main building is 1.8m.
The proposed porch and canopy project 2.39m.

11. Section 13.2.5A, By-law No. 7625

Any canopies projecting 2.1m or less beyond the front wall of the building shall be excluded in determining the length of the dwelling.
The proposed canopy projects 2.39m from the front wall of the building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0768/17NY	Zoning	RD(x5)/R4[WAV]
Owner:	MIAH KIM SANGHEE LEE	Ward:	Willowdale (23)
Agent:	ROCKIM DESIGN INC	Heritage:	Not Applicable
Property Address:	56 DALLAS RD	Community:	North York
Legal Description:	PLAN 4407 LOT 14		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0769/17NY	Zoning	R/R2 Z0.6 [ZZC]
Owner(s):	MARC ISAACS	Ward:	Eglinton-Lawrence (16)
Agent:	ABBOTT DESIGN	Heritage:	Not Applicable
Property Address:	324 DELORAINE AVE	Community:	Toronto
Legal Description:	PLAN 1706 PT LOT 31		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 10.00m.

The proposed building height is 10.48m.

2. Chapter 10.10.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 9.57m.

3. Chapter 10.10.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.60 times the lot area.

The proposed floor space index is **0.80** times the lot area.

4. Chapter 10.10.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 0.90m.

The proposed east side yard setback is **0.62m**.

5. Chapter 200.5.10.1.(1), By-law No. 569-2013

The required minimum number of parking space(s) for the detached house is 1 space.

The proposal will have 0 spaces.

6. Section 4(2), By-law No. 438-86

The maximum permitted building height is 10.00m.

The proposed building height is 10.57m.

7. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.60 times the lot area.

The proposed gross floor area is **0.80** times the lot area.

8. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum required side yard setback is 0.90m.

The proposed east side yard setback is **0.62m**.

9. Section 4(4), By-law No. 438-86

The required minimum number of parking spaces is 1.

The proposed number of parking spaces is 0.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

2) The proposal be constructed substantially in accordance with the proposed east and west elevations to the Committee of Adjustment, date stamped received by Planning Division on October 13, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

Toronto City Planning
North York District

[illegible]

SIDE (EAST) ELEVATION

PROPOSED RESIDENCE

234 LINDSEY AVE.
TOWNSHIP, OH

EAST ELEVATION

PROPOSED RESIDENCE

234 LINDSEY AVE.
TOWNSHIP, OH

EAST ELEVATION

PROPOSED RESIDENCE

234 LINDSEY AVE.
TOWNSHIP, OH

EAST ELEVATION

[illegible]

abbott
LABORATORY DIAGNOSTICS

ABBOTT LABORATORIES
500 N. LAKE AVENUE
COSTA MESA, CA 92626
TEL: 714/446-1000
FAX: 714/446-1001

PROPOSED RESIDENCE

334 DUFF CUNNING AVE.,
TORONTO, ON

WEST ELEVATION

[illegible]

XXX	89
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SIDE (WEST) ELEVATION

SIGNATURE PAGE

File Number:	A0769/17NY	Zoning	R/R2 Z0.6 [ZZC]
Owner:	MARC ISAACS	Ward:	Eglinton-Lawrence (16)
Agent:	ABBOTT DESIGN	Heritage:	Not Applicable
Property Address:	324 DELORAINE AVE	Community:	Toronto
Legal Description:	PLAN 1706 PT LOT 31		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0770/17NY	Zoning	RD / R4 (BLD)
Owner(s):	XIAO YAN LIU ZHU JIA CHEN	Ward:	Willowdale (23)
Agent:	PROMOUNT CONSULTANTS LTD	Heritage:	Not Applicable
Property Address:	230 BYNG AVE	Community:	North York
Legal Description:	PLAN 2399 PT LOT 144		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain an existing rear deck on existing single family detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 35.3% of the lot area.
- 2. Section 6(24)(a), By-law No. 7625**
All unexcavated porches or decks, attached to or detached from the main building, and located in the side and rear yard, shall not occupy more than 5% of the lot area or 56 m², whichever is lesser.
The proposed deck occupies 7.5% of the lot area.
- 3. Section 6(24)(c), By-law No. 7625**
The first 2.1 m of an unexcavated porch or deck above 1 m in height and projecting from the rear or side wall of the main building, shall not exceed the height of the first storey floor joists; and be wider than one-half the width of the dwelling at the dwelling's widest point.
The proposed rear deck above 1 m in height projects 7.01 m from the wall, and is wider than one-half the width of the dwelling (86%).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along the western edge of the proposed rear deck; with a minimum height of 1.50m from the floor of the deck.
- 2) That 7.50% of the lot coverage be allocated to the rear deck and 27.80% be allocated to the dwelling.

SIGNATURE PAGE

File Number:	A0770/17NY	Zoning	RD / R4 (BLD)
Owner:	XIAO YAN LIU	Ward:	Willowdale (23)
	ZHU JIA CHEN		
Agent:	PROMOUNT CONSULTANTS LTD	Heritage:	Not Applicable
Property Address:	230 BYNG AVE	Community:	North York
Legal Description:	PLAN 2399 PT LOT 144		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0772/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner(s):	CHRISTINA HADDAD RAPHAEL HADDAD	Ward:	Eglinton-Lawrence (16)
Agent:	SUSTAINABLE TO	Heritage:	Not Applicable
Property Address:	214 GLENGROVE AVE W	Community:	Toronto
Legal Description:	PLAN M299 PT LOT 6		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey addition to the rear of the existing dwelling. The existing rear addition would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 17.57m.

2. Chapter 10.20.40.50.(1), By-law No. 569-2013

The maximum permitted area of each platform at or above the second storey is 4.00m².

The proposed rear platform at or above the second storey is 7.11m².

3. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.35 times the lot area.

The proposed floor space index is 0.4344 times the lot area.

4. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.

The proposed west side yard setback is 1.14m for the portion of the dwelling exceeding 17.00m in depth.

5. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.

The proposed east side yard setback is 2.05m for the portion of the dwelling exceeding 17.00m in depth.

6. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.35 times the lot area.

The proposed gross floor area is 0.4344 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The applicant is to provide permanent opaque screening or fencing along both edges of the proposed rear deck; with a minimum height of 1.50m from the floor of the deck.

SIGNATURE PAGE

File Number:	A0772/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner:	CHRISTINA HADDAD RAPHAEL HADDAD	Ward:	Eglinton-Lawrence (16)
Agent:	SUSTAINABLE TO	Heritage:	Not Applicable
Property Address:	214 GLENGROVE AVE W	Community:	Toronto
Legal Description:	PLAN M299 PT LOT 6		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0773/17NY	Zoning	RD / R4 (WAIVER)
Owner(s):	SEYED ALI ASTANEH	Ward:	Willowdale (24)
	SEYED ALI ASTANEH		
Agent:	URBANSCAPE ARCHITECTS	Heritage:	Not Applicable
	INC		
Property Address:	20 RAVENSCROFT CRCL	Community:	North York
Legal Description:	PLAN M677 L 151		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 30.5% of the lot area.
2. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.52 m.
3. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the west side exterior main wall is 8.39 m.
4. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The existing lot area is 530 m².
5. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15 m.
The existing lot frontage is 14.68 m.
6. **Section 6(8), By-law No. 7625**

The minimum required lot width shall not be less than the lot frontage requirement for the zone in which the building is to be constructed.

7. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.0% of the lot area.

The proposed lot coverage is 30.5% of the lot area.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.8 m.

The proposed east side yard setback is 1.52 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

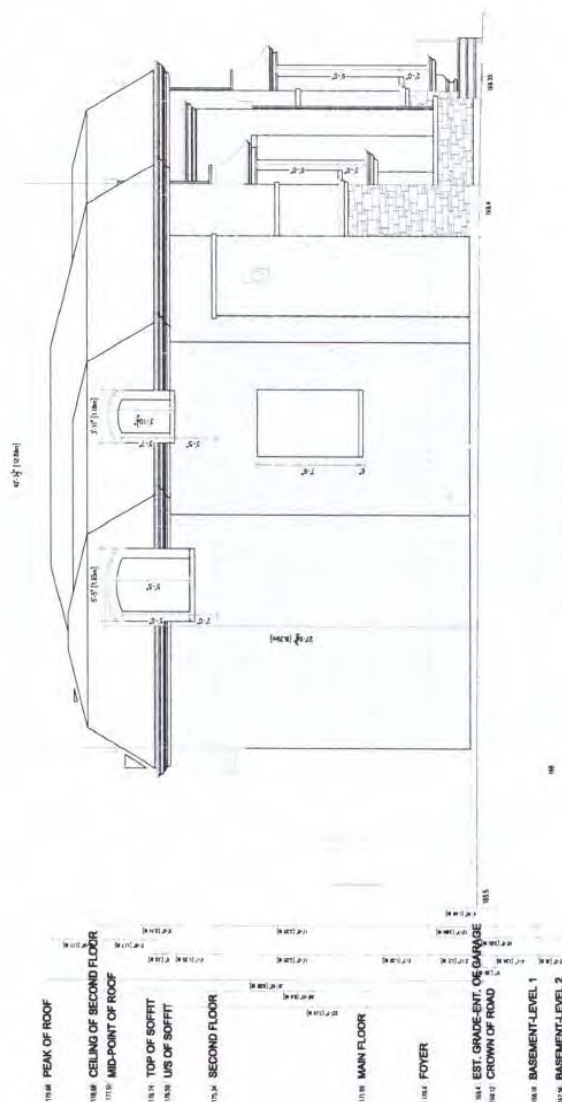
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1. The proposed bathroom window on the west side elevation be frosted.
2. The proposed deck and stairs on the west side would provide opaque screening of 1.5m in height.
3. The proposal developed in accordance with the Side Elevation (west) drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning, October 17, 2017 attached to this decision. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



THIS DRAWING IS THE PROPERTY OF URBANSCAPE ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF URBANSCAPE ARCHITECTS.

DATE: 04.12.17
 DRAWN BY: J. J. J.
 CHECKED BY: J. J. J.
 APPROVED BY: J. J. J.
 URBANSCAPE ARCHITECTS

RECEIVED

OCT 17 2017

Toronto City Planning
 North York District

FILE NO.	PROJECT NO.	PROJECT NAME	PROJECT ADDRESS	PROJECT CITY	PROJECT PROVINCE	PROJECT COUNTRY
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<p>DATE: 04.12.17 DRAWN BY: J. J. J. CHECKED BY: J. J. J. APPROVED BY: J. J. J. URBANSCAPE ARCHITECTS</p>						
<p>URBANSAPPE 1800A Avenue Road, Toronto, ON M6M 3Z1 phone: 416.800.0071 info@urbanscape.ca www.urbanscape.ca</p>						



A2-2

URBANSAPPE

1800A Avenue Road, Toronto, ON M6M 3Z1
 phone: 416.800.0071
 info@urbanscape.ca www.urbanscape.ca

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SIGNATURE PAGE

File Number:	A0773/17NY	Zoning	RD / R4 (WAIVER)
Owner:	SEYED ALI ASTANEH	Ward:	Willowdale (24)
	SEYED ALI ASTANEH		
Agent:	URBANSCAPE ARCHITECTS	Heritage:	Not Applicable
	INC		
Property Address:	20 RAVENSCROFT CRCL	Community:	North York
Legal Description:	PLAN M677 L 151		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0774/17NY	Zoning	RD (f18.0; a690)/R3(19)[ZZC]
Owner(s):	ANNE MARGARET STEPHENSON THOMAS RODNEY FRANK	Ward:	Eglinton-Lawrence (16)
Agent:	AMANDA LEVEY ARCHITECT	Heritage:	Not Applicable
Property Address:	12 APSLEY RD	Community:	North York
Legal Description:	PLAN 2391 PT LOTS 102 & 103		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey addition at the rear, including a new deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The existing and proposed west side yard setback is 0.48m.
2. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The existing and proposed west side yard setback is 0.48m.
3. **Section 12.7, By-law No. 7625**
The maximum permitted building height is 8.0 m.
The proposed building height is 8.32 m.
4. **Section 6(24)(a), By-law No. 7625**
All unexcavated porches or decks, attached to or detached from the main building, and located in the rear yard, shall not occupy more than 5% of the lot area.
The proposed deck occupies 6.7% of the lot area.

5. Section 6(24)(c), By-law No. 7625

Decks which are greater than 1m in height above all points of the adjacent ground are limited to projecting 2.1m from the wall and are not to be greater than 50% of the width of the building at the building's widest point.

The proposed rear deck projects 3.66 m and is 92.1% of the width of the building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

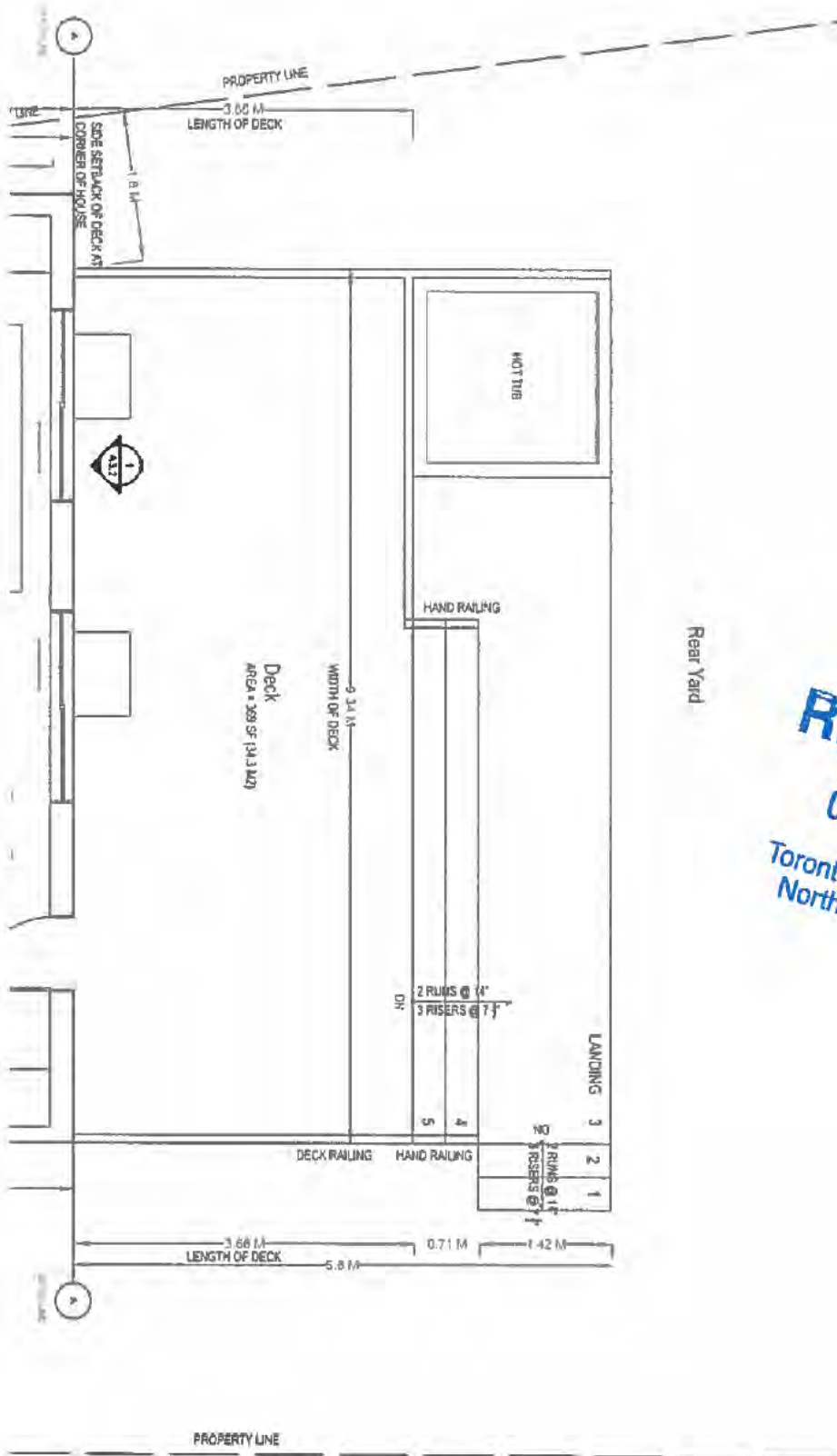
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for permit to injure or remove privately owned trees.

- 2) The proposal be developed substantially in accordance with the site plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, October 13, 2017.**
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



Rear Yard

RECEIVED
 OCT 13 2017
 Toronto City Planning
 North York District

①

<p>DECK PLAN</p> <p>scale: 1/50 date: AUG 22 2017 drawn by: AL</p> <p>A2.2</p>	<p>ASANA LEEV ARCHITECTS</p> <p>ONTARIO ASSOCIATION OF ARCHITECTS LICENCE 7885</p>	<p>12 Apsley Road Toronto ON PROPOSED RENOVATION & ADDITION</p>
--	--	--

SIGNATURE PAGE

File Number:	A0774/17NY	Zoning	RD (f18.0; a690)/R3(19)[ZZC]
Owner:	ANNE MARGARET STEPHENSON	Ward:	Eglinton-Lawrence (16)
Agent:	THOMAS RODNEY FRANK AMANDA LEVEY ARCHITECT	Heritage:	Not Applicable
Property Address:	12 APSLEY RD	Community:	North York
Legal Description:	PLAN 2391 PT LOTS 102 & 103		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0777/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	LEYBA VERBALOVAS SVETLANA VERBALOVAS	Ward:	Willowdale (23)
Agent:	IN TECH HOUSE DESIGN CORP	Heritage:	Not Applicable
Property Address:	117 PECKHAM AVE	Community:	North York
Legal Description:	PLAN 8229 LOT 1		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing dwelling, in conjunction with other interior and exterior alterations.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.24m.

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.22m.

3. Chapter 10.5.40.50.(2), By-law No. 569-2013

A platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks for the zone; 1.80m.
The proposed rear deck is setback 1.22m from the east side lot line.

4. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.
The proposed building length is 17.99m.

5. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The existing and proposed lot coverage is 32.10% of the lot area.

6. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 7.975m.

The proposed front yard setback is 7.91m.

7. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.24m.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.22m.

9. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 18.73m.

10. Section 6(24)(d), By-law No. 7625

Unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building; 1.80m.

The proposed rear deck is setback 1.22m from the east side lot line.

11. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck is 61.90% of the width of the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0777/17NY	Zoning	RD/R4 [ZZC]
Owner:	LEYBA VERBALOVAS SVETLANA VERBALOVAS	Ward:	Willowdale (23)
Agent:	IN TECH HOUSE DESIGN CORP	Heritage:	Not Applicable
Property Address:	117 PECKHAM AVE	Community:	North York
Legal Description:	PLAN 8229 LOT 1		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0842/17NY	Zoning	R4/RD[ZR]
Owner(s):	RAYMOND CARRAGHER MARY ELLEN BARDOUNIOTIS	Ward:	Don Valley East (34)
Agent:	MARY ELLEN BARDOUNIOTIS	Heritage:	Not Applicable
Property Address:	10 YEWFIELD CRES	Community:	North York
Legal Description:	PLAN 4760 LOT 850		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey addition on the north portion of the dwelling. The new addition will be an integral garage, Powder room (ground floor) and Study/storage room (second floor)

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 25% of the lot area.
The proposed lot coverage is 32% of the lot area.
2. **Chapter 10.20.40.70.(4), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 1.12m.
3. **Chapter 200.5.1.10(3), By-law No. 569-2013**
The permitted minimum width of a parking space(s) is 3.2m
The proposed parking space(s) will have a width of 2.97m.
4. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 25% of the lot area.
The proposed lot coverage is 30.6% of the lot area.
5. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 1.12m.

6. Section 6A(3), By-law No. 7625

The minimum required parking space size is 3.21m x 5.6m.

The proposed parking space size is 2.97m x 5.33m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0842/17NY	Zoning	R4/RD[ZR]
Owner:	RAYMOND CARRAGHER	Ward:	Don Valley East (34)
	MARY ELLEN		
	BARDOUNIOTIS		
Agent:	MARY ELLEN	Heritage:	Not Applicable
	BARDOUNIOTIS		
Property Address:	10 YEWFIELD CRES	Community:	North York
Legal Description:	PLAN 4760 LOT 850		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL: Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

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- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0866/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	SARAH KOVAL JOSEPH KOVAL	Ward:	Eglinton-Lawrence (15)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	152 HILLMOUNT AVE	Community:	North York
Legal Description:	PLAN 1766 LOT 53		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
The minimum of 10 m² of the first floor area must be within 4 m of the front main wall.
There is 0 m² proposed within 4 m of the front main wall.
2. **Chapter 10.10.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building or structure is 10.0 m.
The proposed height of the structure is **10.50 m**.
3. **Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0 m.
The proposed building depth is 23.47 m.
4. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length is 17.0 m.
The proposed building length is 23.47 m.
5. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.22 m.
6. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.24 m.

7. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 40.0% of the lot area (**35.50% be allocated to the dwelling and 4.50% for the excavated deck**).
8. **Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the street on which the lot fronts.
9. **Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required side yard setback a maximum of 1.5 m, if the is no closer to the side lot line than 0.3 m.
The proposed platform encroaches 1.68 m into the required side yard wetback and is 0.02 m from the side lot line.
10. **Chapter 10.5.40.60.(2), By-law No. 569-2013**
A canopy, awning or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering.
The proposed canopy encroaches 1.57 m into the required side yard setback and is 0.13 m from the side lot line.
11. **Chapter 10.5.40.60.(3)(A)(ii), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0 m.
The proposed stairs are 2.57 m wide.
12. **Chapter 10.5.40.60.(3)(A)(iii), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building may encroach into a required building setback if the stairs are no closer to a lot line than 0.6 m.
The proposed stairs are 0 m from the east lot line.
13. **Chapter 10.10.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all front exterior main walls is 7.5 m for no less than 60% of th total width.
The proposed height of the front exterior main wall is 7.5 m for 48.5% of the total width.
14. **Chapter 10.10.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all front exterior main walls is 7.5 m for no less than 60% of th total width.
The proposed height of the rear exterior main wall is 7.5 m for 56.6% of the total width.
15. **Section 13.2.6, By-law No 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.85.
16. **Section 13.2.5A, By-law No 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 23.47 m.
17. **Section 13.2.3(a), By-law No 7625**
The minimum required front yard setback is 7.5 m (+/- 1 m).
The proposed front yard setback is 6.15 m.
18. **Section 13.2.3(b), By-law No 7625**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.22 m.
19. **Section 13.2.3(b), By-law No 7625**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.24 m.

20. **Section 6(30), By-law No 7625**
The maximum finished first floor height is 1.5 m.
The proposed first floor height is 2.05 m.
21. **Section 6(9)(c), By-law No 7625**
The maximum permitted projection of a porch in the side yard is 1.6 m from the wall, no closer than 0.6 m from any side lot line and maximum 2.3 m² in area.
The east side porch projects 1.68 m, is 0.02 m from the side lot line and has an area of 6.5 m².
22. **Section 6(9)(j), By-law No 7625**
Canopies 2.3 m² or less in area shall be permitted to project into a minimum side yard setback not more than 1.6 m, but no closer than 0.6 m from an side lot line.
The east side canopy area is 4.9 m² and projects 1.57 m, and is 0.13 m from the side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s).
A Contractor's Agreement to Perform Work on City-owned Trees will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.
Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

ii) Submission of a complete application for permit to injure or remove privately owned trees.

- 2) The proposal be constructed substantially in accordance with the proposed north and east elevations submitted to the Committee of Adjustment, date stamped received by the City Planning Division on October 17, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 3) The applicant is to provide opaque screening or fencing along the western edge of the proposed rear terrace with a minimum height of 1.5 metres from the floor of the rear terrace.

SCALE: 1/8" = 1'-0"

Toronto City Planning
North York District

1705 - DESIGN 12 - COA EMPTY
AUGUST 8, 2017

152 HILLMOUNT AVE.
NORTH YORK, ONTARIO
PROJECT # 17-05



1705 - DESIGN 12 - CDA EMPTY
AUGUST 8, 2017

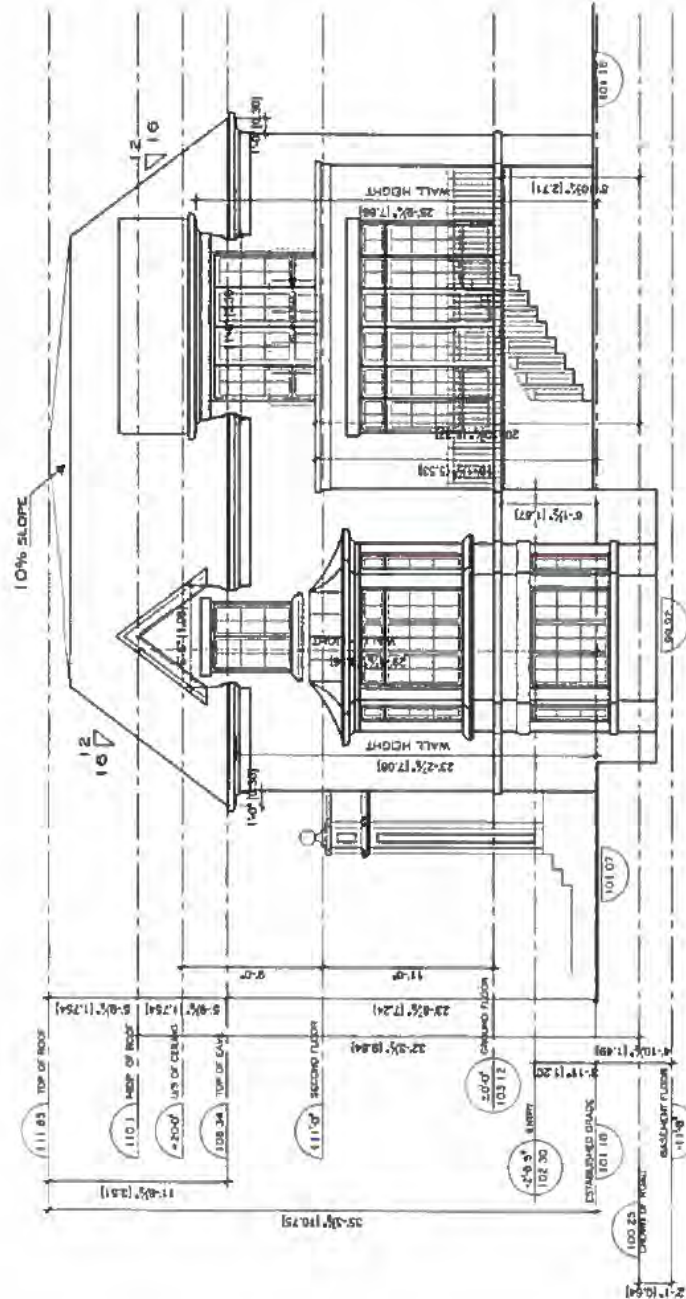
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OCT 17 2017

Toronto City Planning
North York District

NORTH ELEVATION

SCALE: 1/8" = 1'-0"



SIGNATURE PAGE

File Number:	A0866/17NY	Zoning	RD / R4 (ZZC)
Owner:	SARAH KOVAL JOSEPH KOVAL	Ward:	Eglinton-Lawrence (15)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	152 HILLMOUNT AVE	Community:	North York
Legal Description:	PLAN 1766 LOT 53		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, October 26, 2017

NOTICE OF DECISION**CONSENT****(Section 53 of the Planning Act)**

File Number:	B0096/16NY	Zoning	RM/RM2 [WAV]
Owner(s):	TANY DINARDO SANDRA DI NARDO	Ward:	Don Valley West (25)
Agent:	ARMANDO BARBINI PLANNING & PERMIT SERVICES	Heritage:	Not Applicable
Property Address:	311-313 WOODSWORTH RD	Community:	North York
Legal Description:	PLAN 5871 LOT 113		

Notice was given and the application considered on Thursday, October 26, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Conveyed - Part 1

Address to be assigned

The lot frontage is 12.27m and has a lot area of 376.86m².

The property will be redeveloped as the site of a new semi-detached dwelling, requiring variances to the Zoning By-law(s), as outlined in application # A1126/16NY.

Retained - Part 2

Address to be assigned

The lot frontage is 12.27m and has a lot area of 376.86m².

The property will be redeveloped as the site of a new semi-detached dwelling, requiring variances to the Zoning By-law(s), as outlined in application # A1127/16NY.

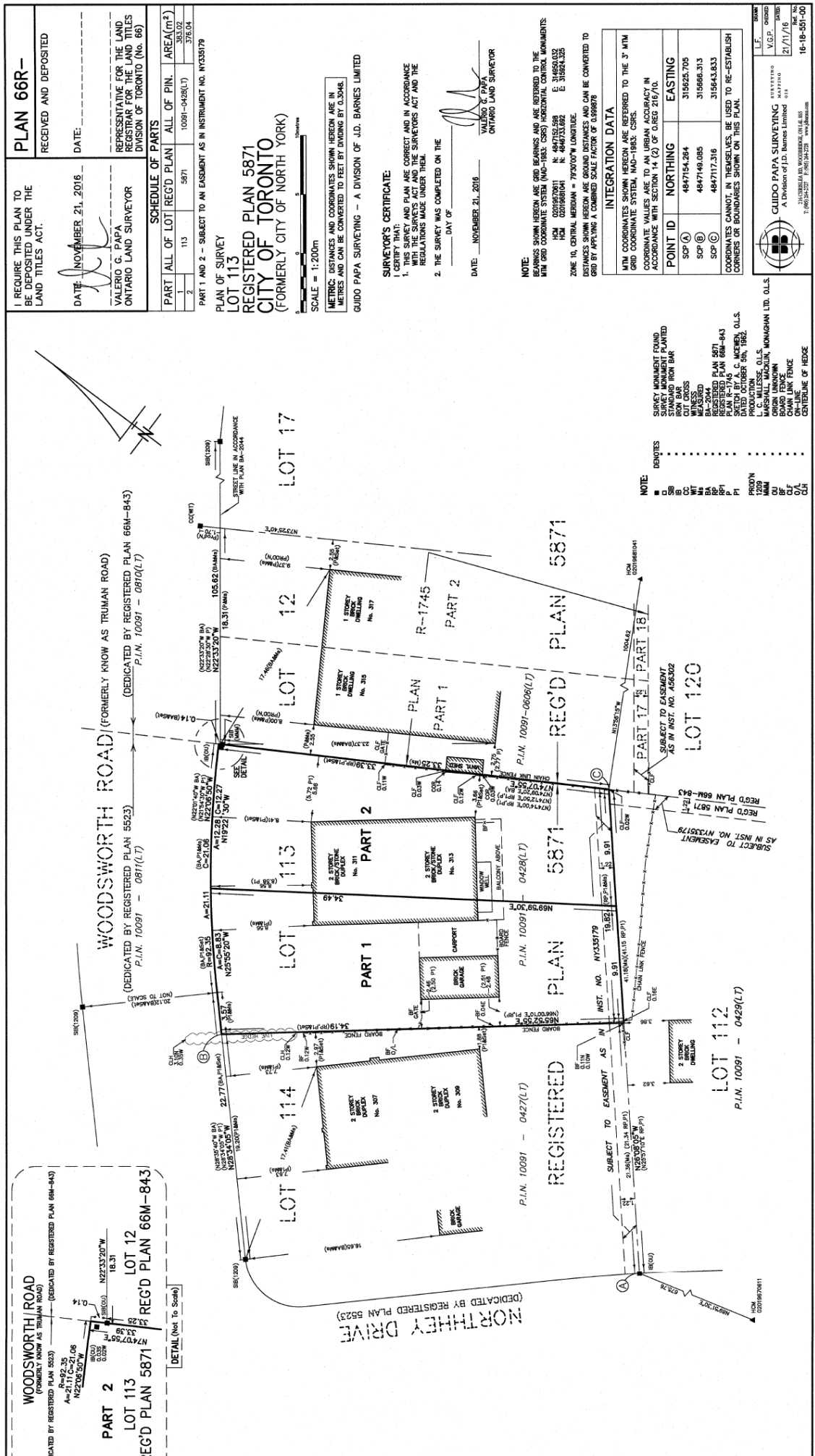
The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE

YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.



PLAN 66R-
RECEIVED AND DEPOSITED

DATE: NOVEMBER 21, 2016

REPRESENTATIVE FOR THE LAND
REGISTRAR FOR THE LAND TITLES
DIVISION OF TORONTO (No. 66)

VALERIO G. PAPA
ONTARIO LAND SURVEYOR

SCHEDULE OF PARTS

PART	ALL OF LOT REG'D PLAN	ALL OF PIN.	AREA(m ²)
1	113	5871	10091-0428(LT)
2	113	5871	353.02
3	113	5871	376.04

PART 1 AND 2 - SUBJECT TO AN EASEMENT AS IN INSTRUMENT NO. N1335179

PLAN OF SURVEY
LOT 113
REGISTERED PLAN 5871
CITY OF TORONTO
(FORMERLY CITY OF NORTH YORK)

SCALE = 1:200m

METRIC: DISTANCES AND COORDINATES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

GUIDO PAPA SURVEYING - A DIVISION OF J.D. BARNES LIMITED

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:

- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT AND THE REGULATIONS MADE UNDER THEM.
- THE SURVEY WAS COMPLETED ON THE _____ DAY OF _____, 2016.

DATE: NOVEMBER 21, 2016

VALERIO G. PAPA
ONTARIO LAND SURVEYOR

NOTE:

BEARINGS SHOWN HEREON ARE GRID BEARINGS AND ARE REFERRED TO THE
NAD 83 COORDINATE SYSTEM (NAD-83) HORIZONTAL CONTROL MONUMENTS:
NAD 83 MONUMENT NO. 10091-0428(LT) E. 315624.305
NAD 83 MONUMENT NO. 10091-0428(LT) E. 315624.305
NAD 83 MONUMENT NO. 10091-0428(LT) E. 315624.305

ZONE 18, CENTRAL MERIDIAN = 79°30'00" W LONGITUDE

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID BY APPLYING A CORRECTION SCALE FACTOR OF 0.999978

INTEGRATION DATA

THE COORDINATES SHOWN HEREON ARE REFERRED TO THE NAD 83 COORDINATE SYSTEM (NAD-83) HORIZONTAL CONTROL MONUMENTS:
NAD 83 MONUMENT NO. 10091-0428(LT) E. 315624.305
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NAD 83 MONUMENT NO. 10091-0428(LT) E. 315624.305

COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH SECTION 14 (2) OF OREG 216/10.

POINT ID	NORTHING	EASTING
SCP (A)	4847154.284	315625.705
SCP (B)	4847149.085	315666.313
SCP (C)	4847117.316	315643.833

COORDINATES CANNOT BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

GUIDO PAPA SURVEYING
A DIVISION OF J.D. BARNES LIMITED
1111 SHEPPARD AVENUE EAST, SUITE 101
TORONTO, ONTARIO M2X 1L3
TEL: (416) 491-1111
FAX: (416) 491-1112
WWW.GUIDOPAPASURVEYING.COM

DATE: 21/11/16
NO. 16-18-551-00

NOTE:

■ D. DOTS
■ S. SURVEY MONUMENT FOUND
■ B. SURVEY MONUMENT PLANTED
■ C. CHAIN LINK FENCE
■ M. METAL MARKER
■ W. WOODEN MARKER
■ P. PILE
■ F. FENCE
■ L. L.C. MILEAGE, O.L.S.
■ M. MARSHALL, MAXLIN, MORGAN LTD. O.L.S.
■ S. SOUTH
■ N. NORTH
■ E. EAST
■ W. WEST
■ C. CHAIN LINK FENCE
■ F. FENCE
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■ L. L.C. MILEAGE, O.L.S.

NOTE:

■ D. DOTS
■ S. SURVEY MONUMENT FOUND
■ B. SURVEY MONUMENT PLANTED
■ C. CHAIN LINK FENCE
■ M. METAL MARKER
■ W. WOODEN MARKER
■ P. PILE
■ F. FENCE
■ L. L.C. MILEAGE, O.L.S.
■ M. MARSHALL, MAXLIN, MORGAN LTD. O.L.S.
■ S. SOUTH
■ N. NORTH
■ E. EAST
■ W. WEST
■ C. CHAIN LINK FENCE
■ F. FENCE
■ L. L.C. MILEAGE, O.L.S.

SIGNATURE PAGE

File Number:	B0096/16NY	Zoning	RM/RM2 [WAV]
Owner(s):	TANY DINARDO SANDRA DI NARDO	Ward:	Don Valley West (25)
Agent:	ARMANDO BARBINI PLANNING & PERMIT SERVICES	Heritage:	Not Applicable
Property Address:	311-313 WOODSWORTH RD	Community:	North York
Legal Description:	PLAN 5871 LOT 113		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL: Wednesday, November 22, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1126/16NY	Zoning	RM/RM2 [ZZC]
Owner(s):	TANY DI NARDO SANDRA DI NARDO	Ward:	Don Valley West (25)
Agent:	ARMANDO BARBINI PLANNING & PERMIT SERVICES	Heritage:	Not Applicable
Property Address:	311-313 WOODSWORTH RD (PART 1)	Community:	North York
Legal Description:	PLAN 5871 LOT 113		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling with an integral garage. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.80.30.10.(1), By-law No. 569-2013

The minimum required lot area is 665.00m².

The proposed lot area is 376.86m².

2. Chapter 10.80.30.20.(1), By-law No. 569-2013

The minimum required lot frontage is 18.00m.

The proposed lot frontage is 12.27m.

3. Chapter 10.80.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 35.50% of the lot area.

4. Chapter 10.80.40.70.(1), By-law No. 569-2013

The minimum required side yard setback is 1.20m.

The proposed south side yard setback is 0.60m.

5. Section 13.2.2, By-law No. 7625

The minimum required lot area is 550.00m².

The proposed lot area is 376.86m².

6. Section 13.2.1, By-law No. 7625

The minimum required lot frontage is 15.00m.

The proposed lot frontage is 12.27m.

7. Section 6(8), By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed; in this case 15.00m.

The proposed lot width is 12.27m.

8. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 35.50% of the lot area.

9. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.53m.

The proposed north side yard setback is 1.40m.

10. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.53m.

The proposed south side yard setback is 0.60m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s).

A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at

www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A1126/16NY	Zoning	RM/RM2 [ZZC]
Owner:	TANY DI NARDO SANDRA DI NARDO	Ward:	Don Valley West (25)
Agent:	ARMANDO BARBINI PLANNING & PERMIT SERVICES	Heritage:	Not Applicable
Property Address:	311-313 WOODSWORTH RD (PART 1)	Community:	North York
Legal Description:	PLAN 5871 LOT 113		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown above.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1127/16NY	Zoning	RM/RM2 [WAV]
Owner(s):	TANY DI NARDO	Ward:	Don Valley West (25)
	SANDRA DI NARDO		
Agent:	ARMANDO BARBINI	Heritage:	Not Applicable
	PLANNING & PERMIT		
	SERVICES		
Property Address:	311-313 WOODSWORTH RD	Community:	North York
	(PART 2)		
Legal Description:	PLAN 5871 LOT 113		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey, semi-detached dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.80.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 35.50% of the lot area.

2. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 35.50% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at

www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A1127/16NY	Zoning	RM/RM2 [WAV]
Owner:	TANY DI NARDO SANDRA DI NARDO	Ward:	Don Valley West (25)
Agent:	ARMANDO BARBINI PLANNING & PERMIT SERVICES	Heritage:	Not Applicable
Property Address:	311-313 WOODSWORTH RD (PART 2)	Community:	North York
Legal Description:	PLAN 5871 LOT 113		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Thursday, October 26, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0208/17NY	Zoning	RM / RM5 (ZR)
Owner(s):	VIRGINIA DE FATIMA MANO JOSE JOAQUIM F MANO	Ward:	Eglinton-Lawrence (15)
Agent:	ESCALA DESIGNS INC	Heritage:	Not Applicable
Property Address:	4 ELWAY CRT	Community:	North York
Legal Description:	PLAN M790 LOT 26		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a garage addition to the existing detached garage. This file was previously deferred from Thursday, May 18, 2017

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 44.37% of the lot area.
- 2. Chapter 10.5.60.50.(2), By-law No. 569-2013**
The maximum total floor area of all ancillary building or structures on a lot is 40.0 m².
The proposed total floor area of all ancillary buildings is 54.19 m².
- 3. Chapter 10.5.60.70.(1), By-law No. 569-2013**
The total area on a lot covered by ancillary buildings or structures may not exceed 10% of the lot area.
The proposed ancillary buildings or structures cover 16.68% of the lot area.
- 4. Chapter 10.5.50.10.(3), By-law No. 569-2013**
A lot with a residential building other than an apartment building, must have a minimum of 50% of the rear yard for soft landscaping, if the frontage is greater than 6.0 m.
The proposed rear yard landscaping area is 0%.
- 5. Section 20.2.2, By-law No. 7625**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 44.37% of the lot area.
- 6. Section 6(23)(ii), By-law No. 7625**

Accessory buildings in RM zones shall not occupy more than 10% of the lot area.
The proposed accessory building occupies 16.68% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0208/17NY	Zoning	RM / RM5 (ZR)
Owner:	VIRGINIA DE FATIMA MANO JOSE JOAQUIM F MANO	Ward:	Eglinton-Lawrence (15)
Agent:	ESCALA DESIGNS INC	Heritage:	Not Applicable
Property Address:	4 ELWAY CRT	Community:	North York
Legal Description:	PLAN M790 LOT 26		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0055/17NY	Zoning	R2/RD(f21;a975)(x70) [ZZC]
Owner(s):	SPYRIDOULA SALLY ISCHIROPOULOS IOANNIS JOHN ISCHIROPOULOS	Ward:	Don Valley East (34)
Agent:	IOANNIS JOHN ISCHIROPOULOS	Heritage:	Not Applicable
Property Address:	118 LAURENTIDE DR	Community:	North York
Legal Description:	PLAN 5112 LOT 7		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new second storey addition above the existing one-storey portion, a new two-storey addition at the rear and north side of the existing dwelling, and a front porch and rear balcony. Also proposed is a new cabana in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.3.10(70), By-law No. 569-2013

The minimum required side yard setback is 2.40m.

The proposed north side yard setback is 1.80m.

2. Chapter 10.5.100.1.(1)(C), By-law No. 569-2013

For a detached house, a driveway that is located in or passes through the front yard may be a maximum of 6.00m wide.

The proposed driveway is 9.23m wide.

3. Section 11.2.4(b), By-law No. 7625

The minimum required side yard setback is 2.40m.

The proposed north side yard setback is 1.80m.

4. Section 11.2.6, By-law No. 7625

The maximum permitted building height is 9.50m.

The proposed building height is 11.85m.

5. Section 6A(5)(a)(ii), By-law No. 7625

A driveway that is located in or passes through the front yard may be a maximum of 6.00m wide.
The proposed driveway is 9.23m wide.

6. Section 6(9)(f), By-law No. 7625

Porches and decks, either excavated or unexcavated, shall be permitted to project into the minimum front yard setback not more than 2.10m and no closer to the side lot line than the minimum side yard setback for the main building.

The proposed front porch projects 3.57m and is 1.80m from the side lot line.

7. Section 6(9)(i), By-law No. 7625

Canopies shall be permitted to project into the minimum rear yard setback a distance of not more than 1.80m.
The proposed canopy projects 2.40m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) The applicant shall submit the necessary application for permits to injure or remove private trees to Urban Forestry, City of Toronto Municipal Code Chapter 813, Article III.

SIGNATURE PAGE

File Number:	A0055/17NY	Zoning	R2/RD(f21;a975)(x70) [ZZC]
Owner:	SPYRIDOULA SALLY ISCHIROPOULOS IOANNIS JOHN ISCHIROPOULOS	Ward:	Don Valley East (34)
Agent:	IOANNIS JOHN ISCHIROPOULOS	Heritage:	Not Applicable
Property Address:	118 LAURENTIDE DR	Community:	North York
Legal Description:	PLAN 5112 LOT 7		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, October 26, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0088/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	QUALITY BRAND BUILDING CORP.	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	131 HOLMES AVE	Community:	North York
Legal Description:	PLAN 2399 W PT LOT 128		

Notice was given and the application considered on Thursday, October 26, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots. This application was previously deferred from the Committee of Adjustment hearing of June 8, 2017.

Conveyed - PART 2

Address to be assigned

The frontage is 10.375m and the lot area is 505.16m². The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A1005/16NY.

Retained - PART 1

Address to be assigned

The frontage is 10.375m and the lot area is 505.16m². The property will be redeveloped as the site of a new detached dwelling requiring variances to the applicable zoning By-law(s) as outlined in application A1004/16NY.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE

YEAR of the date of the this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca
- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

SIGNATURE PAGE

File Number:	B0088/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	QUALITY BRAND BUILDING CORP.	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	131 HOLMES AVE	Community:	North York
Legal Description:	PLAN 2399 W PT LOT 128		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL: Wednesday, November 22, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1004/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	QUALITY BRAND BUILDING CORP. QUALITY BRAND BUILDING CORP	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	131 HOLMES AVE (PART 1)	Community:	North York
Legal Description:	PLAN 2399 W PT LOT 128		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.20.40.70 (3) - (5) Exception RD 5, Zoning By-law No. 569-2013**
The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections - Site Specific Provisions:
(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The east side yard setback is 1.22 m.
2. **Chapter 10.20.40.70 (3) - (5) Exception RD 5, Zoning By-law No. 569-2013**
The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections - Site Specific Provisions:
(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The west side yard setback is 1.22 m.
3. **Chapter 10.5.40.10, Zoning By-law No. 569-2013**
(5) A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
8.56 m² within 4m of the front main wall is proposed.

4. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
A) The required minimum lot area is 550 m².
The proposed lot area is 505.16 m².
5. **Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
A) The required minimum lot frontage is 15.0 m.
The proposed lot frontage is 10.375 m.
6. **Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 18.28 m.
7. **Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**
(B) On a lot with a detached house, semi-detached house, duplex, triplex, fourplex or townhouse, with a lot frontage of 6.0 m to less than 15.0 m, or a townhouse dwelling unit at least 6.0 m wide, a minimum of 50 % of the front yard must be landscaping: 38.87 m².
The proposed front yard landscaping area is 49.96 %: 35.84 m².
8. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the west side exterior main wall facing a side lot line is 7.95 m.
9. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15.0 m.
The proposed lot frontage is 10.375 m.
10. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 505.16 m².
11. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required East side yard setback is 1.5m.
The proposed east side yard setback is 1.22m.
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.5m.
The proposed west side yard setback is 1.22m.
13. **Section 13.2.5A, Zoning By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 18.28 m.
14. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.30 m.
15. **Section 6(30)a, Zoning By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.51m.

16. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A1004/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner:	QUALITY BRAND BUILDING CORP. QUALITY BRAND BUILDING CORP	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	131 HOLMES AVE (PART 1)	Community:	North York
Legal Description:	PLAN 2399 W PT LOT 128		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1005/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner(s):	QUALITY BRAND BUILDING CORP. QUALITY BRAND BUILDING CORP	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	131 HOLMES AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2399 W PT LOT 128		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10, Zoning By-law No. 569-2013**
(5) A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
8.72 m² are provided within 4 m of the main front wall.
- 2. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013**
The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections: Site Specific Provisions:
(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The east side yard setback is 1.22 m.
- 3. Chapter 10.20.40.70 (3), (5) Exception RD 5, Zoning By-law No. 569-2013**
The lands, or a portion thereof as noted below, are subject to the following Site Specific Provisions, Prevailing By-laws and Prevailing Sections: Site Specific Provisions:
(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The west side yard setback is 1.22 m.

4. **Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013**
A) The required minimum lot area is 550 m².
The proposed lot area is 505.16 m².
5. **Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013**
A) The required minimum lot frontage is 15.0 m.
The proposed lot frontage is 10.375 m.
6. **Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 18.28 m.
7. **Chapter 10.5.100.1.(1), Zoning By-law No. 569-2013**
(A) For a detached house, semi-detached house, or duplex, and for an individual townhouse dwelling unit if an individual private driveway leads directly to the dwelling unit, a driveway that is located in or passes through the front yard must be a minimum of 2.0 m wide.
The proposed driveway is 5.1 m wide, however there is a tree adjacent to the driveway.
8. **Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**
(B) On a lot with a detached house, semi-detached house, duplex, triplex, fourplex or townhouse, with a lot frontage of 6.0 m to less than 15.0 m, or a townhouse dwelling unit at least 6.0 m wide, a minimum of 50 % of the front yard must be landscaping: 35.8 m².
The proposed front yard landscaping area is 47.3 %: 33.87 m².
9. **Chapter 10.40.40.10.(2), Zoning By-law No. 569-2013**
B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the west side exterior main wall facing a side lot line is 7.82 m.
10. **Section 13.2.1, Zoning By-law No. 7625**
The minimum required lot frontage is 15.0 m.
The proposed lot frontage is 10.375 m.
11. **Section 13.2.2, Zoning By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 505.16 m².
12. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required east side yard setback is 1.8m.
The proposed east side yard setback is 1.22m.
13. **Section 13.2.3(b), Zoning By-law No. 7625**
The minimum required West side yard setback is 1.8 m.
The proposed west side yard setback is 1.22 m.
14. **Section 13.2.5A, Zoning By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 18.28 m.
15. **Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.03 m.

16. Section 6(30)a, Zoning By-law No. 7625

The maximum finished first floor height is 1.5 m.

The proposed finished first floor height is 1.67 m.

17. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A1005/16NY	Zoning	R4/RD (f15.0; a550) (x5)(ZR)
Owner:	QUALITY BRAND BUILDING CORP. QUALITY BRAND BUILDING CORP	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	131 HOLMES AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2399 W PT LOT 128		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0648/17NY	Zoning	R / R1 (ZZC)
Owner(s):	CARLA GLICK ARI GLICK	Ward:	Eglinton-Lawrence (16)
Agent:	CASALDOM ARCHITECT	Heritage:	Not Applicable
Property Address:	165 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN M25 PT LOT 45		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 900.2.10(949)A, By-law No. 569-2013**
The permitted maximum building depth for a detached house is 14.0 m.
The proposed building depth is 18.39 m.
- Chapter 10.10.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.71 times the area of the lot.
- Chapter 10.10.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback for a detached house is 0.9 m.
The proposed east side yard setback is 0.51 m.
- Chapter 10.10.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback for a detached house is 0.9 m.
The proposed west side yard setback is 0.61 m.
- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0 m² of first floor must be within 4.0 m of the front main wall.
The proposed area of the first floor within 4.0 m of the front wall is 0 m².
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.0 m.
The proposed height of the side exterior main walls facing a side lot line is 8.097 m.

7. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.6 times the area of the lot.
The proposed gross floor area is 0.71 times the area of the lot.
8. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum side yard setback is 7.5 m for the portion of the building that exceeds 17.0 m in depth.
The proposed east side yard setback is 0.51 m.
9. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum side yard setback is 7.5 m for the portion of the building that exceeds 17.0 m in depth.
The proposed west side yard setback is 0.61 m.
10. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum side yard setback is 0.9 m for the portion of the building not exceeding 17.0 m in depth.
The proposed east side yard setback is 0.51 m.
11. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum side yard setback is 0.9 m for the portion of the building not exceeding 17.0 m in depth.
The proposed west side yard setback is 0.45 m.
12. **Section 12(2)112, By-law No. 438-86**
The maximum permitted building depth is 14.0 m.
The proposed building depth is 21.49 m.
13. **Section 6(3) Part III 3(d)I(D), By-law No. 438-86**
The minimum required front yard soft landscaping is 75%.
The proposed front yard soft landscaping is 55%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0648/17NY	Zoning	R / R1 (ZZC)
Owner:	CARLA GLICK ARI GLICK	Ward:	Eglinton-Lawrence (16)
Agent:	CASALDOM ARCHITECT	Heritage:	Not Applicable
Property Address:	165 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN M25 PT LOT 45		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, October 26, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1002/16NY	Zoning	RD/R 1 Z0.35[ZONING]
Owner(s):	JANE RACHEL SHANTZ	Ward:	Eglinton-Lawrence (16)
Agent:	DAVID SMALL DESIGNS	Heritage:	Not Applicable
Property Address:	92 GLENVIEW AVE	Community:	Toronto
Legal Description:	PLAN M401 PT LOT 88		

Notice was given and a Public Hearing was held on Thursday, October 26, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.40.(1), By-law No. 569-2013**
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.
The proposed Gross Floor Area is 0.412 times the area of the lot.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m
The proposed height of the side exterior main walls facing a side lot line is 9.45m.
- 3. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building or structure is 10m
The proposed height of the (building/structure) is 10.6m.
- 4. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.
The proposed Gross Floor Area is 0.4289 times the area of the lot.
- 5. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The required minimum front yard setback is 3.49m
The proposed front yard setback is 2.81m.
- 6. Chapter 5.10.40.70.(6), By-law No. 569-2013**
If the Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot, a building or structure on that lot must be set back a minimum of 10m from that shoreline hazard limit or stable top-of-bank.

The proposed building is set back 0m from that shoreline hazard limit or stable top-of-bank.

7. Section 6(3) Part II 2(II), By-law No. 438-86

The minimum required front lot line setback is 3.46m.

The proposed front lot line setback is 2.81m.

8. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted Gross Floor Area is 0.35 times the area of the lot.

The proposed Gross Floor Area is 0.4289 times the area of the lot.

9. Section 4(2), By-law No. 438-86

The maximum permitted building height is 10.0m.

The proposed building height is 11.5m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

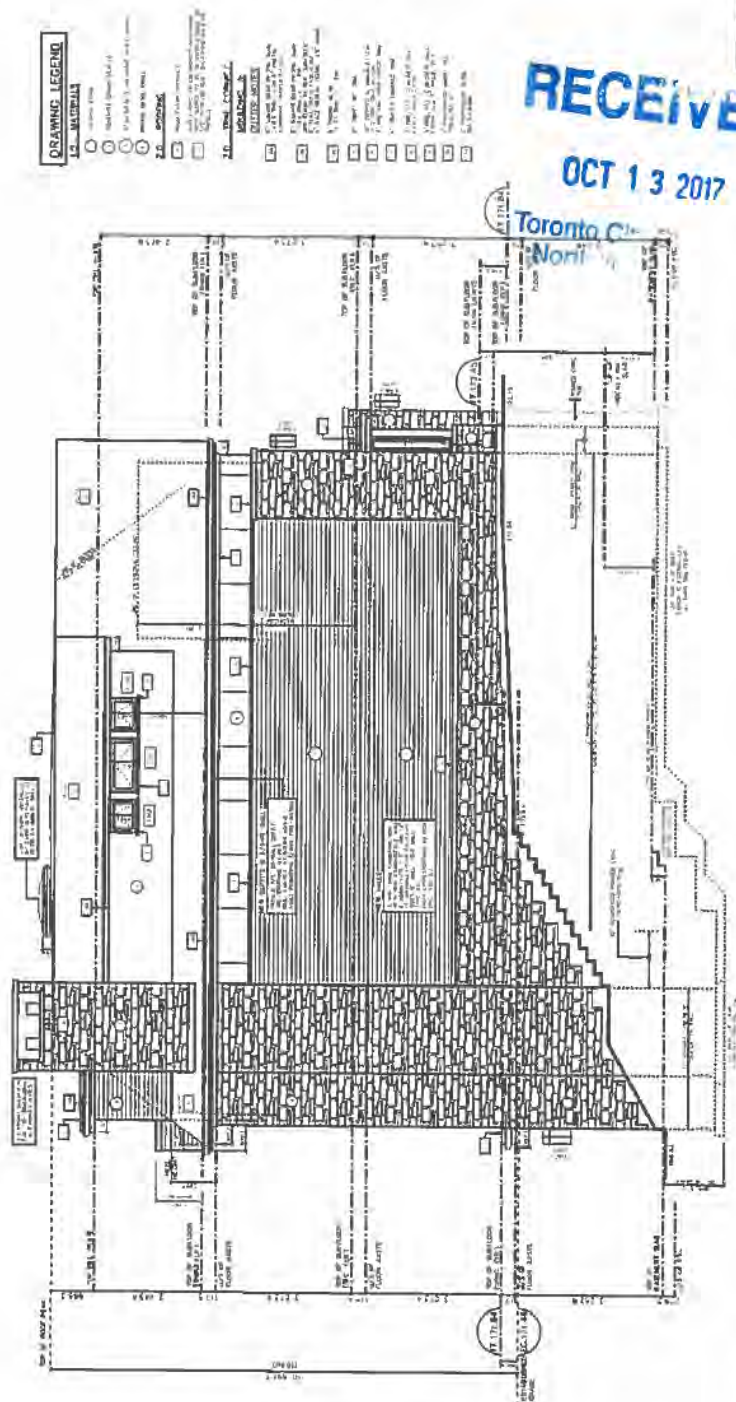
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

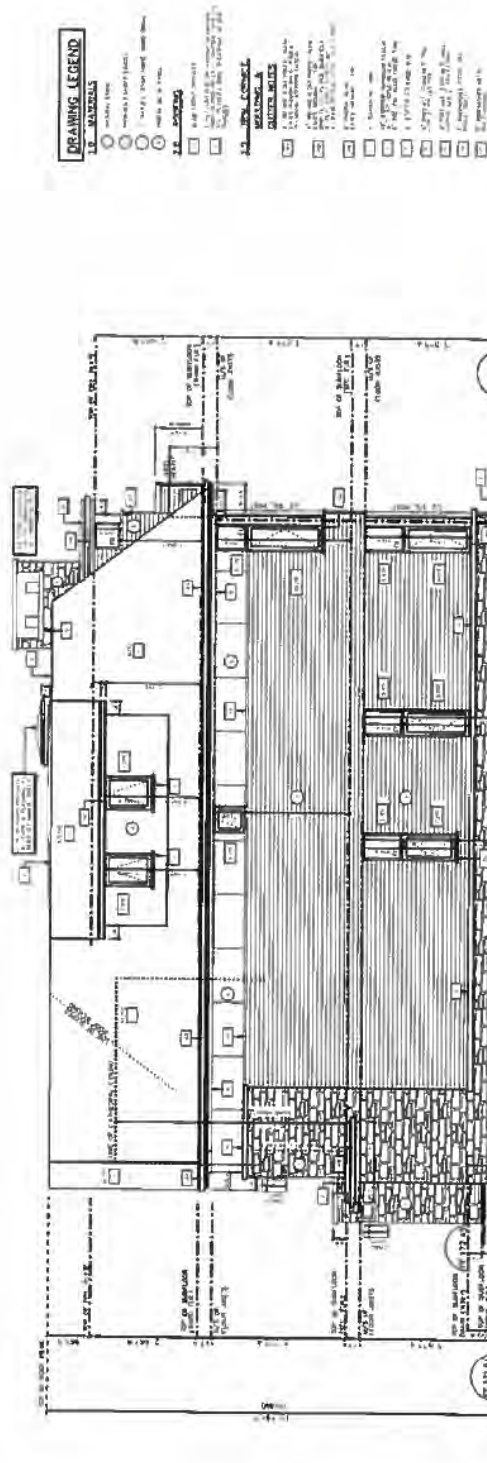
1. The proposal be developed substantially in accordance with the left-side and right-side elevations submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, October 13, 2017. *Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.*



DAVID
SMALL
DESIGNS
LLC

RECEIVED

OCT 13 2



RECEIVED

OCT 13 2017

Toronto City Planning
North York District

Right-Side Elevation

**DAVID
SMALL
DESIGNS**
COM

92 Glenview Avenue

Glenview Av, Region of York

1440 Huronario Street, Suite 200, Mississauga, ON L5G 3H4

PH 905.271.9100

FX 905.271.9109

SCALE: 1/8"=1'-0"

AUGUST 29, 2017

SIGNATURE PAGE

File Number:	A1002/16NY	Zoning	RD/R 1 Z0.35[ZONING]
Owner:	JANE RACHEL SHANTZ	Ward:	Eglinton-Lawrence (16)
Agent:	DAVID SMALL DESIGNS	Heritage:	Not Applicable
Property Address:	92 GLENVIEW AVE	Community:	Toronto
Legal Description:	PLAN M401 PT LOT 88		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

DATE DECISION MAILED ON: Thursday, November 2, 2017

LAST DATE OF APPEAL:
Wednesday, November 15, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.