

Thursday, November 23, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0056/17NY	Zoning	R4/RD (x5)(ZR)
Owner(s):	MARIANA BOCKAROVA	Ward:	Willowdale (23)
Agent:	MARIANA BOCKAROVA	Heritage:	Not Applicable
Property Address:	14 GRANTBROOK ST	Community:	North York
Legal Description:	PLAN 4120 LOT 175		

Notice was given and the application considered on Thursday, November 23, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized residential lots.

Conveyed - PART 2

PART 2 - The proposed lot frontage is 9.14 m and the proposed lot area is 375.5 m². A new detached residential dwelling is proposed requiring variances to the applicable zoning by-law(s) as outlined in file A0852/17NY.

Retained - PART 1

PART 1 - The proposed lot frontage is 9.14 m and the proposed lot area is 385.8 m². A new detached residential dwelling is proposed requiring variances to the applicable zoning by-law(s) as outlined in file A0851/17NY.

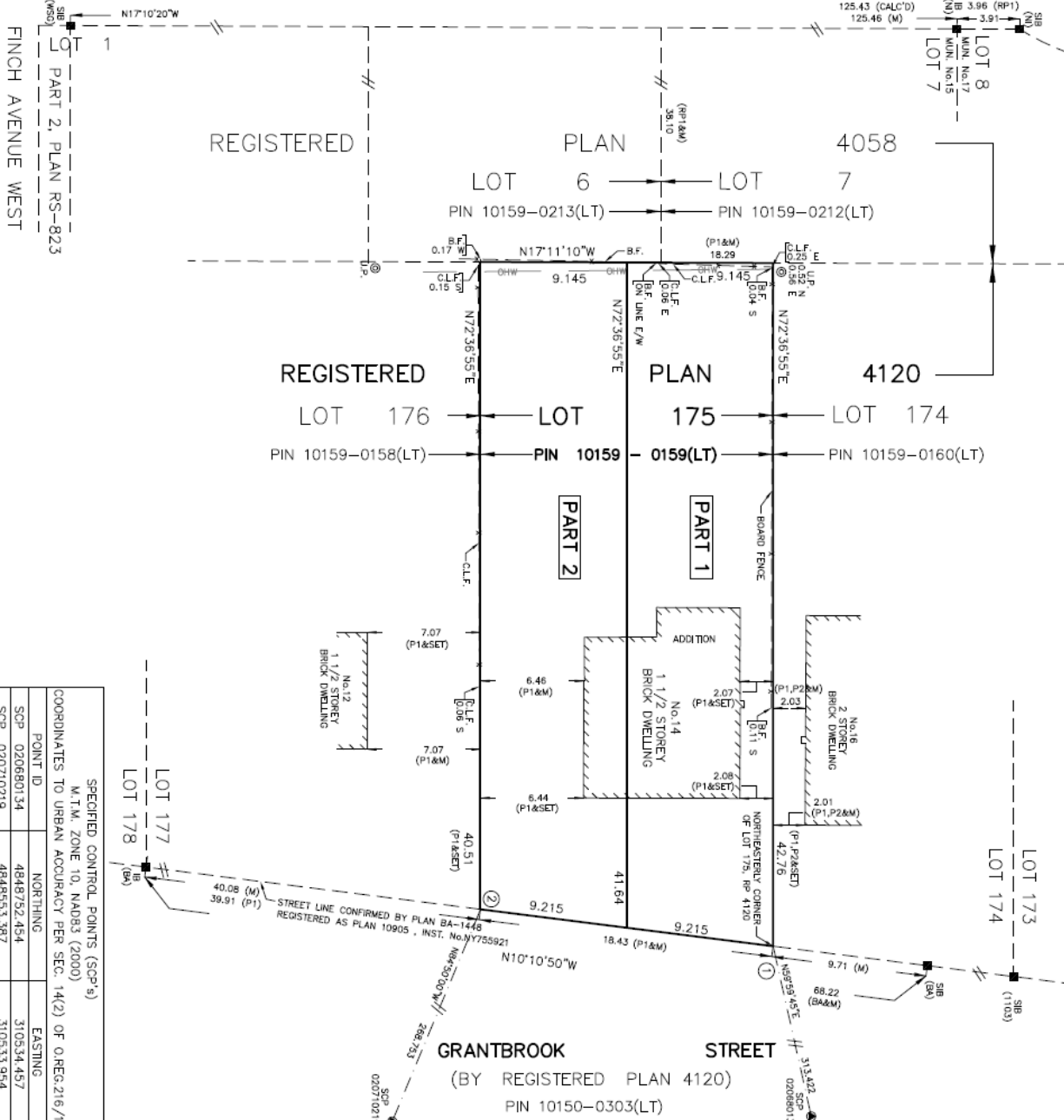
The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

GLENBOROUGH PARK CRESCENT
(BY REGISTERED PLAN 4058)



SPECIFIED CONTROL POINTS (SCP's)
M.T.M. ZONE 10, NAD83 (2000)
COORDINATES TO URBAN ACCURACY PER SEC. 14(2) OF O.R.S. 216/10

POINT ID	NORTHING	EASTING
SCP 020680134	4848752.454	310534.457
SCP 020710219	4848553.387	310533.954
1	4848595.73	310283.04
2	4848577.59	310286.29

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN

PE

GRANTBROOK STREET
(BY REGISTERED PLAN 4120)
PIN 10150-0303(LT)

I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND

PLAN 66R-

DATE: 2017 RECEIVED AND DEPOSITED DATE: 2017

Z. ZENG
ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF
THE TORONTO REGISTRY OFFICE (No. 66)

PART	ALL OF LOT	REGISTERED PLAN	ALL OF PIN	AREA(m ²)
1	175	4120	10159-0159(LT)	385.8
2				375.5

**PLAN OF SURVEY OF
LOT 175
REGISTERED PLAN 4120
CITY OF TORONTO
(FORMERLY CITY OF NORTH YORK)**

SCALE 1:250



MANDARIN SURVEYORS LIMITED, O.L.S.
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

LEGEND

- DENOTES MONUMENT SET
- IB DENOTES IRON BAR
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- WIT DENOTES WITNESS
- WIT DENOTES REGISTERED PLAN 4120
- RP1 DENOTES REGISTERED PLAN 4058
- P1 DENOTES PLAN OF SURVEY BY UNWIN MURPHY & ESTEN, O.L.S. DATED JUNE 20, 1952
- P2 DENOTES PLAN OF SURVEY BY UNWIN MURPHY & ESTEN, O.L.S. DATED MAY 5, 1952
- P3 DENOTES PLAN OF SURVEY BY PETER PAYLUN, O.L.S. DATED APRIL 23, 1981
- P4 DENOTES PLAN RS-823
- BA DENOTES PETER PAYLUN, O.L.S.
- 1103 DENOTES PETER PAYLUN, O.L.S.
- WS6 DENOTES W.S. GIBSON, O.L.S.
- NS6 DENOTES NORTH SOUTHERN, O.L.S.
- NS/EW DENOTES NORTH SOUTHERN, EAST, WEST
- B.F. DENOTES BOARD FENCE
- CL.F. DENOTES CHAIN LINK FENCE
- SCP DENOTES SPECIFIED CONTROL POINTS
- M DENOTES MEASURED
- CALCD DENOTES CALCULATED BY RP1 & P4

NOTES

BEARINGS ARE M.T.M. GRID DERIVED FROM SPECIFIED CONTROL POINTS 020680134 AND 020710219, M.T.M. ZONE 10, NAD83(2000) DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.99987115

SURVEYOR'S CERTIFICATE

1. I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 24th DAY OF APRIL, 2017

SEPTEMBER 20, 2017 DATE: 2017

MANDARIN SURVEYORS LIMITED
ONTARIO LAND SURVEYOR
CANADA LANDS SURVEYOR
WWW.MANDARINSURVEYOR.COM
42 RAVENCLIFF CRESCENT PHONE: (647)430-1366 FAX: (647)799-4068
TORONTO, ONTARIO, M1T 1R8 E-MAIL: MANDARINSURVEYOR@GMAIL.COM
SURVEY BY: S.Z. CAD No: 17-0968RP PLAN JOB No: 2017-086

SIGNATURE PAGE

File Number:	B0056/17NY	Zoning	R4/RD (x5)(ZR)
Owner(s):	MARIANA BOCKAROVA	Ward:	Willowdale (23)
Agent:	MARIANA BOCKAROVA	Heritage:	Not Applicable
Property Address:	14 GRANTBROOK ST	Community:	North York
Legal Description:	PLAN 4120 LOT 175		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0851/17NY	Zoning	R4/RD (x5)(ZR)
Owner(s):	MARIANA BOCKAROVA	Ward:	Willowdale (23)
Agent:	MARIANA BOCKAROVA	Heritage:	Not Applicable
Property Address:	14 GRANTBROOK ST (PART 1)	Community:	North York
Legal Description:	PLAN 4120 LOT 175		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.50, Zoning By-law No. 569-2013

A platform without main walls, such as a deck, porch, balcony or similar structure, which is not encroaching as permitted, and attached to or within 0.3 m of a building, must comply with the required minimum building setbacks for the zone.

The proposed front yard platform is 0.69 m from the south side lot line where 1.8 m is required.

2. Chapter 10.5.40.50, Zoning By-law No. 569-2013

A platform without main walls, such as a deck, porch, balcony or similar structure, which is not encroaching as permitted, and attached to or within 0.3 m of a building, must comply with the required minimum building setbacks for the zone.

The proposed rear yard platform is 0.46 m from the south side lot line, whereas 1.8 m is required.

3. Chapter 10.5.40.10 (5), By-law: 1676-2013, Zoning By-law No. 569-2013

A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.

Proposed 7.64 m² of the first floor is within 4.0 m of the front main wall.

4. Chapter 10.20.40.30.(1), Zoning By-law No. 569-2013

The permitted maximum building depth for a detached house is 19.0 m.

The proposed building depth is 20.89 m.

5. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

A) The required minimum lot area is 550 m².

The proposed lot area is 385.88 m².

6. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15.0 m.
The proposed lot frontage is 9.14 m.

7. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 30 % of the lot area.
The proposed lot coverage is 31 % of the lot area.

8. Chapter 10.5.40.60.(3), Zoning By-law No. 569-2013

(A)(ii) Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0 m.
The proposed stairs at the front are 2.11 m wide.

9. Chapter 900.3.10, (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed south side yard setback is 0.46 m.

10. Chapter 900.3.10, (5) Exception RD 5, Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed north side yard setback is 1.22 m.

11. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550 m².
The proposed lot area is 385.88 m².

12. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15.0 m.
The proposed lot frontage is 9.215 m.

13. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed: 15.0 m.
The proposed lot width is 9.14 m.

14. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.5 m.
The proposed south side yard setback is 0.46 m.

15. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.5 m.
The proposed north side yard setback is 1.22 m.

16. Section 13.2.5A, Zoning By-law No. 7625

The maximum permitted building length is 16.8 m.
The proposed building length 21.19 m.

17. Section 6 (24)(d)(ii)(A), Zoning By-law No. 7625

In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building.
The proposed unexcavated deck in the rear yard is 0.46 metres from the south side lot line, whereas 1.5 m for each is required.

18. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8 m.

The proposed building height is 8.92 m.

19. Section 6(9)(f), Zoning By-law No. 7625

Porches and canopies shall be permitted to project into the minimum front yard setback not more than 2.1 m but no closer to a side lot line than the minimum side yard setback for the main building: 1.5 m.

The proposed porch AND canopy are 0.69 m from the south side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0851/17NY	Zoning	R4/RD (x5)(ZR)
Owner:	MARIANA BOCKAROVA	Ward:	Willowdale (23)
Agent:	MARIANA BOCKAROVA	Heritage:	Not Applicable
Property Address:	14 GRANTBROOK ST (PART 1)	Community:	North York
Legal Description:	PLAN 4120 LOT 175		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0852/17NY	Zoning	R4/RD (x5)(ZR)
Owner(s):	MARIANA BOCKAROVA	Ward:	Willowdale (23)
Agent:	MARIANA BOCKAROVA	Heritage:	Not Applicable
Property Address:	14 GRANTBROOK ST (PART 2)	Community:	North York
Legal Description:	PLAN 4120 LOT 175		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.50, Zoning By-law No. 569-2013

A platform without main walls, such as a deck, porch, balcony or similar structure, which is not encroaching as permitted, and attached to or within 0.3 m of a building, must comply with the required minimum building setbacks for the zone.

The proposed front yard platform is 0.69 m from the north side lot line where 1.8 m is required.

2. Chapter 10.5.40.50, Zoning By-law No. 569-2013

A platform without main walls, such as a deck, porch, balcony or similar structure, which is not encroaching as permitted, and attached to or within 0.3 m of a building, must comply with the required minimum building setbacks for the zone.

The proposed rear yard platform is 0.46 m from the north side lot line, whereas 1.8 m is required.

3. Chapter 10.5.40.10, By-law: 1676-2013, Zoning By-law No. 569-2013

(5) A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.

Proposed 7.64 m² of the first floor is within 4.0 m of the front main wall.

4. Chapter 10.20.40.30.(1), Zoning By-law No. 569-2013

The permitted maximum building depth for a detached house is 19.0 m.

The proposed building depth is 20.89 m.

5. Chapter 10.20.30.10.(1), Zoning By-law No. 569-2013

A) The required minimum lot area is 550 m².

The proposed lot area is 375.6 m².

6. Chapter 10.20.30.20.(1), Zoning By-law No. 569-2013

A) The required minimum lot frontage is 15.0 m.
The proposed lot frontage is 9.14 m.

7. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum lot coverage is 30 % of the lot area.
The proposed lot coverage is 31.82 % of the lot area.

8. Chapter 900.3.10 (5), Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed north side yard setback is 0.46 m.

9. Chapter 900.3.10 (5), Zoning By-law No. 569-2013

(A) Despite regulation 10.20.40.70 (3), the minimum side yard setback is 1.8 m.
The proposed south side yard setback is 1.22 m.

10. Section 13.2.2, Zoning By-law No. 7625

The minimum required lot area is 550 m².
The proposed lot area is 375.6 m²

11. Section 6(8), Zoning By-law No. 7625

The minimum lot width is not to be less than the lot frontage for the zone in which the building is to be constructed:
15.0 m.
The proposed lot width is 9.14 m.

12. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.5 m.
The proposed north side yard setback is 0.46 m.

13. Section 13.2.3(b), Zoning By-law No. 7625

The minimum required side yard setback is 1.5 m.
The proposed south side yard setback is 1.22 m.

14. Section 13.2.5A, Zoning By-law No. 7625

The maximum permitted building length is 16.8 m.
The proposed building length is 21.19 m.

15. Section 6 (24)(d)(ii)(A), Zoning By-law No. 7625

In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building.
The proposed unexcavated deck in the rear yard is 0.46 m from the north side lot line, whereas 1.5 m for each is required.

16. Section 13.2.1, Zoning By-law No. 7625

The minimum required lot frontage is 15.0 m.
The proposed lot frontage is 9.215 m.

17. Section 13.2.6, Zoning By-law No. 7625

The maximum permitted building height is 8.8 m.
The proposed building height is 8.93 m.

18. Section 6(9)(f), Zoning By-law No. 7625

Porches and canopies shall be permitted to project into the minimum front yard setback not more than 2.1 m but no closer to a side lot line than the minimum side yard setback for the main building: 1.5 m.

The proposed porch AND canopy are 0.69 m from the north side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0852/17NY	Zoning	R4/RD (x5)(ZR)
Owner:	MARIANA BOCKAROVA	Ward:	Willowdale (23)
Agent:	MARIANA BOCKAROVA	Heritage:	Not Applicable
Property Address:	14 GRANTBROOK ST (PART 2)	Community:	North York
Legal Description:	PLAN 4120 LOT 175		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

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North York Panel

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Thursday, November 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0835/17NY	Zoning	RD/R6(20) [WAV]
Owner(s):	JANET CHONG GEORGE SO	Ward:	Eglinton-Lawrence (16)
Agent:	DKSTUDIO HOLDINGS INC.	Heritage:	Not Applicable
Property Address:	15 MCGILLIVRAY AVE	Community:	North York
Legal Description:	PLAN 1669 WPT		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.10.(3), By-law No. 569-2013

The maximum number of storeys permitted is two (2).

The proposed number of storeys is three (3).

2. Chapter 10.20.40.50.(1)(A), By-law No. 569-2013

There may be no more than four platforms, and no more than one on each of the front, rear and each side of the detached house.

The proposal is for two (2) platforms at the front of the house, one at the entry level and one at the third storey level.

3. Chapter 10.20.40.50.(1)(B), By-law No. 569-2013

The maximum permitted area of each platform at or above the second storey is 4.00m².

The proposed area of the platform at the second story on the south side of the building is 22.40m².

The proposed area of the porch at the entry level on the front (north) side of the building is 9.00m².

4. Chapter 10.20.40.10.(4)(A), By-law No. 569-2013

The maximum permitted height for a detached house is 7.20m.

The proposed height is 9.34m to the top of the skylight and 9.19m to the top of the roof.

5. Section 14A-(8)(A), By-law No. 7625

The maximum number of storeys permitted is two (2).

The proposed number of storeys is three (3).

6. Section 14-A(8), By-law No. 7625

The maximum permitted height for a detached house is 8.00m.

The proposed height is 9.80m to the top of the skylight and 9.65m to the top of the roof.

7. Section 14-A(10), By-law No. 7625

The maximum permitted balcony area is 3.80m².

The proposed area of the platform at the second story on the south side of the building is 22.40m².

The proposed area of the porch at the entry on the north side of the building is 9.00m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

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Owner:	JANET CHONG GEORGE SO	Ward:	Eglinton-Lawrence (16)
Agent:	DKSTUDIO HOLDINGS INC.	Heritage:	Not Applicable
Property Address:	15 MCGILLIVRAY AVE	Community:	North York
Legal Description:	PLAN 1669 WPT		

Wayne McEachern (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

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CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, November 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0905/17NY	Zoning	RM/R2 [ZZC]
Owner(s):	PAUL KRZYZANOWSKI MELISSA KRZYZANOWSKI	Ward:	Eglinton-Lawrence (15)
Agent:	DEBORAH MESHER	Heritage:	Not Applicable
Property Address:	172 CEDRIC AVE	Community:	York
Legal Description:	PLAN 1666 LOT 50		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a three storey addition to the rear of the existing dwelling in conjunction with a third storey addition over the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.50.10(1), By-law No. 569-2013

The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is 34.40%.

2. Chapter 10.80.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 11.00m.
The proposed building height is 11.33m.

3. Chapter 10.80.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 10.67m.

4. Chapter 10.80.40.10.(6), By-law No. 569-2013

The maximum permitted finished first floor height is 1.20m.
The proposed finished first floor height is 1.23m.

5. Chapter 10.80.40.50.(1), By-law No. 569-2013

The maximum permitted area of each platform at or above the second storey is 4.00m².
The proposed platform at the rear of the dwelling, at or above the second storey is 7.94m².
The proposed platform at the front of the dwelling, at or above the second storey is **8.24m²**.

6. Chapter 10.5.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 4.00m.

The proposed front yard setback is 3.06m.

7. Chapter 10.5.80.10.(3), By-law No. 569-2013

A parking space may not be located in a front yard or a side yard abutting a street.

The proposed parking spot is located in a front yard.

8. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.80 times the lot area.

The proposed floor space index is 0.87 times the lot area.

9. Chapter 200.5.10.1.(1), By-law No. 569-2013

The required minimum number of parking space(s) for the detached house and secondary suite is two (2) spaces.

The proposal will have one (1) space.

10. Section 3.(a), By-law No. 1-83

The minimum side yard setback is 0.50m on one side and 1.20m on the other.

The proposed side yard setback is 0.16m on one side and 1.52m on the other.

11. Section 3.(a), By-law No. 1-83

The maximum permitted building height is 11.00m.

The proposed building height is 11.47m.

12. Section 3.2.1(v)D(1), By-law No. 1-83

The bylaw requires a minimum of two (2) parking spaces to be located on the lot for each dwelling unit.

The proposed number of parking spaces is one (1).

13. Section 3.(a), By-law No. 1-83

The maximum permitted floor space index is 0.80 times the lot area.

The proposed floor space index is 0.87 times the lot area.

14. Section 4(a), By-law No. 1-83

The bylaw requires a parking space to be located behind the front wall of the dwelling.

The proposed parking space is located within the front yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

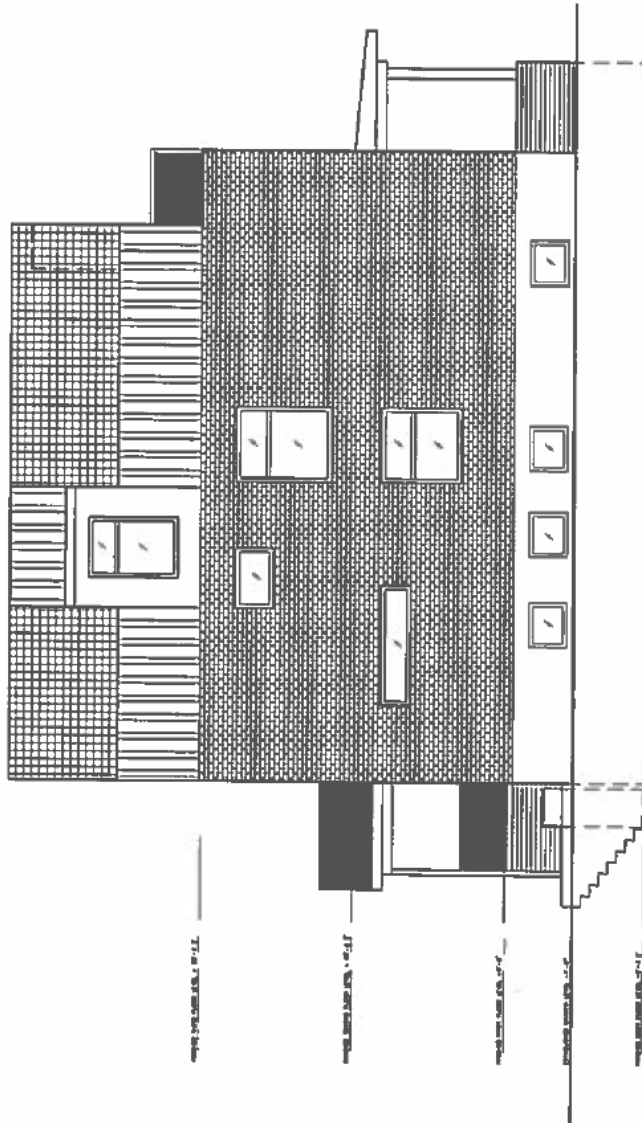
This decision is subject to the following condition(s):

- 1) The front yard parking space be constructed with permeable pavers;

- 2) The proposal be developed substantially in accordance with the south and north elevations submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, November 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.; and
- 3) The applicant is to provide permanent opaque screening or fencing along the north edge of the proposed rear platform with a minimum height of 1.5 metres from the floor.

VARIANCES REQUESTED:

- DENSITY ALLOWED = 0.8
- DENSITY PROPOSED = 0.87
- FRONT YARD LANDSCAPING REQUIRED 75%
- FRONT YARD LANDSCAPING PROPOSED 34%
- MAX HEIGHT ALLOWED = 11M
- PROPOSED MAX HEIGHT = 11.47M
- SIDEWALL HEIGHT ALLOWED = 0.5M
- SIDEWALL HEIGHT PROPOSED = 10.67M
- FIRST FLOOR HEIGHT FROM GRADE ALLOWED = 1.2M
- FIRST FLOOR HEIGHT PROPOSED = 1.23M
- AREA OF BALCONIES ABOVE FIRST FLOOR ALLOWED = 450M²
- AREA OF BALCONIES PROPOSED = 7,950M² + 11,485M²
- FRONTYARD SETBACK ALLOWED = 4M
- FRONTYARD SETBACK PROPOSED = 3M
- SIDEYARD SETBACK ALLOWED = 0.5M
- SIDEYARD SETBACK PROPOSED = 0.16M
- PARKING REQUIRED = 2
- PARKING PROPOSED = 1
- LEGALIZE FRONTYARD PARKING PAD



SIDE ELEVATION (SOUTH)

RECEIVED
 NOV 13 2017
 Toronto City Planning
 North York District



DESIGNED BY: DRÖLE HOUSE
 100 BAYVIEW AVE. #100
 SCARBOROUGH, ON M1B 2Y1
 TEL: (416) 291-1111
 WWW.DROLEHOUSE.COM

DATE: 09/05/17
 DRAWN BY: C. G. A.
 CHECKED BY: C. G. A.

**RENOVATION
 AND ADDITION**

172 CEDRIC AVE.,
 TORONTO, ON

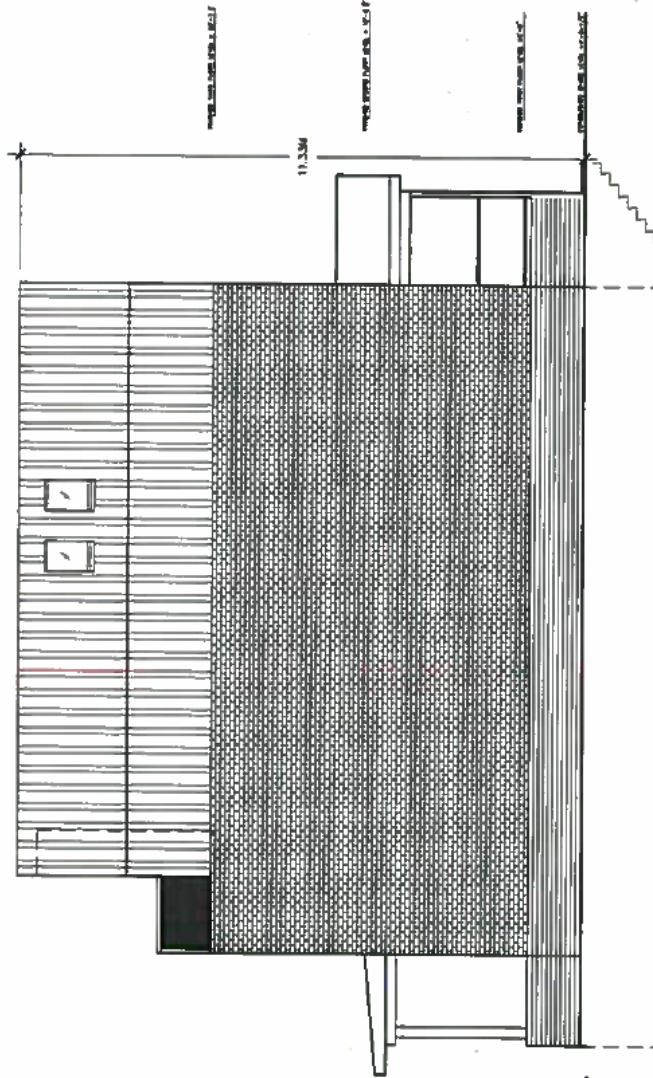
**SOUTH
 ELEVATION**

date: OCT. 11, 2017
 scale: 1:100

A6

VARIANCES REQUESTED:

DENSITY ALLOWED = 0.8
 DENSITY PROPOSED = 0.87
 FRONT YARD LANDSCAPING REQUIRED 75%
 FRONT YARD LANDSCAPING PROPOSED 51%
 MAX HEIGHT ALLOWED = 11M
 PROPOSED MAX HEIGHT = 11.47M
 SIDEWALL HEIGHT ALLOWED = 8.5M
 SIDEWALL HEIGHT PROPOSED = 10.67M
 FIRST FLOOR HEIGHT FROM GRADE ALLOWED = 1.2M
 FIRST FLOOR HEIGHT PROPOSED = 1.25M
 AREA OF BALCONIES ABOVE FIRST FLOOR ALLOWED = 450M
 AREA OF BALCONIES PROPOSED = 7,845.50M²+14,485.0M²
 FRONTYARD SETBACK ALLOWED = 4M
 FRONTYARD SETBACK PROPOSED = 3M
 SIDEYARD SETBACK ALLOWED = 0.5M
 SIDEYARD SETBACK PROPOSED = 0.16M
 PARKING REQUIRED = 3
 PARKING PROPOSED = 1
 LEGALIZE FRONTYARD PARKING PAD



SIDE ELEVATION (NORTH)

RECEIVED
 NOV 13 2017
 Toronto City Planning
 North York District

FOR THE CITY OF TORONTO
 PLANNING DEPARTMENT
 100 KING STREET WEST
 TORONTO, ONTARIO M5X 1C4

THE FOLLOWING PUBLIC NOTICE IS HEREBY
 GIVEN: I, the undersigned, being a duly
 qualified and licensed architect, do hereby
 certify that the above is a true and correct
 copy of the original drawing as submitted
 to me by the applicant for the above
 described project.

[Signature]
 ARCHITECT
 100 KING STREET WEST
 TORONTO, ONTARIO M5X 1C4

DATE	ISSUED FOR
DATE LATE	QUANTITY SURVEYING
DATE N/A	C O P A

**RENOVATION
AND ADDITION**

172 CEDRIC AVE,
TORONTO, ON

**NORTH
ELEVATION**

date - OCT. 11, 2017
 scale: 1:100

A8

SIGNATURE PAGE

File Number:	A0905/17NY	Zoning	RM/R2 [ZZC]
Owner:	PAUL KRZYZANOWSKI MELISSA KRZYZANOWSKI	Ward:	Eglinton-Lawrence (15)
Agent:	DEBORAH MESHER	Heritage:	Not Applicable
Property Address:	172 CEDRIC AVE	Community:	York
Legal Description:	PLAN 1666 LOT 50		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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Thursday, November 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0908/17NY	Zoning	R/R1S Z0.6 [ZZC]
Owner(s):	ZAHRA RAEISZADEH	Ward:	Eglinton-Lawrence (16)
Agent:	ECO-ELEGANT INC	Heritage:	Not Applicable
Property Address:	206 CRAIGHURST AVE	Community:	Toronto
Legal Description:	PLAN M53 PT LOT 19		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 3.85m² within 4.00m of the main front wall.

2. Chapter 10.10.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is **8.738m**.

3. Chapter 10.10.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.60 times the lot area.
The proposed floor space index is 0.61 times the lot area.

4. Chapter 10.5.50.10.(1), By-law No. 569-2013

The minimum required front yard landscaping is 50.00%.
The proposed front yard landscaping is 42.40%.

5. Chapter 10.5.50.10(1), By-law No. 569-2013

The minimum required front yard soft landscaping is 75.00%.
The proposed front yard soft landscaping is 72.40%.

6. Exception 949, By-law No. 569-2013

The maximum permitted building length is 14.00m.
The proposed building length is **16.62m**.

7. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.60 times the lot area.

The proposed gross floor area is 0.61 times the lot area.

8. Section 12(2)(112), By-law No. 438-86

No building shall be erected that extends further back than 14.00m from the main front wall.

The proposed building extends **16.62m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Permeable materials are to be used for the proposed driveway.

SIGNATURE PAGE

File Number:	A0908/17NY	Zoning	R/R1S Z0.6 [ZZC]
Owner:	ZAHRA RAEISZADEH	Ward:	Eglinton-Lawrence (16)
Agent:	ECO-ELEGANT INC	Heritage:	Not Applicable
Property Address:	206 CRAIGHURST AVE	Community:	Toronto
Legal Description:	PLAN M53 PT LOT 19		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0909/17NY	Zoning	RM / R2 (ZZC)
Owner(s):	ANDREW DRAPER ANDREW DRAPER	Ward:	Eglinton-Lawrence (15)
Agent:	MXL ENGINEERING AND ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	423 GLENHOLME AVE	Community:	York
Legal Description:	PLAN 1785 LOT 42		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over a portion the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The proposed eaves are 0.17 m from the north lot line.
- 2. Chapter 10.50.80.10.(3), By-law No. 569-2013**
A parking space may not be located in a front yard or side yard abutting a street.
The proposed parking spot is located in a front yard.
- 3. Chapter 10.80.40.20.(1), By-law No. 569-2013**
The permitted maximum building length is 17.0 m.
The proposed building length is 17.58 m.
- 4. Chapter 10.80.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.80 times the area of the lot.
The proposed floor space index is 0.85 times the area of the lot.
- 5. Chapter 10.50.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 5.31 m.
The proposed front yard setback is 3.44 m.

6. **Chapter 10.50.50.10.(1), By-law No. 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 62%,
7. **Chapter 200.5.1.10.(2), By-law No. 569-2013**
The minimum required parking space must have a minimum length of 5.6 m.
The proposed parking space will have a length of 2.7 m.
8. **Section 3.2.1(a)(i), By-law No. 1-83**
A parking space shall be a minimum of 2.6 m wide and 5.6 m long.
The proposed parking space is 2.6 m wide and 2.7 m long.
9. **Section 3.2.1(d)(2), By-law No. 1-83**
No vehicle shall be parked; closer than 1.5 m to any portion of any wall of any residential building containing any window in the second or higher floor, measured perpendicular to such portion of wall, unless such parking is arranged so as not to obstruct direct access to and from at least one window on the second and any higher floor of such building, in which case no motor vehicle shall be parked closer than 0.9 m to such portion of wall, measured perpendicular to such portion of wall.
The proposed parking space will be located 0.55 m from a wall that contains a second or higher floor window.
10. **Section 3. (b), By-law No. 1-83**
The minimum front yard setback is 4.31 m.
The proposed front yard setback is 3.44 m.
11. **Section 3. (a), By-law No. 1-83**
The minimum side yard setback is 0.5 m on one side and 1.2 m on the next.
The proposed side yard setback is 0.38 m on the north and 0.79 m on the south.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.50.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The proposed eaves are 0.17 m from the north lot line.
2. **Chapter 10.50.80.10.(3), By-law No. 569-2013**
A parking space may not be located in a front yard or side yard abutting a street.
The proposed parking spot is located in a front yard.
3. **Chapter 10.80.40.20.(1), By-law No. 569-2013**
The permitted maximum building length is 17.0 m.
The proposed building length is 17.58 m.
4. **Chapter 10.80.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.80 times the area of the lot.
The proposed floor space index is 0.85 times the area of the lot.

6. **Chapter 10.50.50.10.(1), By-law No. 569-2013**
A minimum of 75% of the required front yard landscaping must be soft landscaping.
The proposed front yard soft landscaping area is 62%,
7. **Chapter 200.5.1.10.(2), By-law No. 569-2013**
The minimum required parking space must have a minimum length of 5.6 m.
The proposed parking space will have a length of 2.7 m.
8. **Section 3.2.1(a)(i), By-law No. 1-83**
A parking space shall be a minimum of 2.6 m wide and 5.6 m long.
The proposed parking space is 2.6 m wide and 2.7 m long.
9. **Section 3.2.1(d)(2), By-law No. 1-83**
No vehicle shall be parked; closer than 1.5 m to any portion of any wall of any residential building containing any window in the second or higher floor, measured perpendicular to such portion of wall, unless such parking is arranged so as not to obstruct direct access to and from at least one window on the second and any higher floor of such building, in which case no motor vehicle shall be parked closer than 0.9 m to such portion of wall, measured perpendicular to such portion of wall.
The proposed parking space will be located 0.55 m from a wall that contains a second or higher floor window.
11. **Section 3. (a), By-law No. 1-83**
The minimum side yard setback is 0.5 m on one side and 1.2 m on the next.
The proposed side yard setback is 0.38 m on the north and 0.79 m on the south.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

5. **Chapter 10.50.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 5.31 m.
The proposed front yard setback is 3.44 m **for the second storey only.**
10. **Section 3. (b), By-law No. 1-83**
The minimum front yard setback is 4.31 m.
The proposed front yard setback is 3.44 m **for the second storey only.**

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Permeable materials are to be used for the proposed parking pad.

SIGNATURE PAGE

File Number:	A0909/17NY	Zoning	RM / R2 (ZZC)
Owner:	ANDREW DRAPER ANDREW DRAPER	Ward:	Eglinton-Lawrence (15)
Agent:	MXL ENGINEERING AND ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	423 GLENHOLME AVE	Community:	York
Legal Description:	PLAN 1785 LOT 42		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, November 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0910/17NY	Zoning	RD(f15;a550)(x5)/R5[ZZC]
Owner(s):	ANGEL HA TU TANG STANLEY GOW	Ward:	Eglinton-Lawrence (15)
Agent:	SPACE ARCHITECTS	Heritage:	Not Applicable
Property Address:	733 GLENGROVE AVE	Community:	North York
Legal Description:	PLAN 3761 LOT 106		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.70.(1)(B), By-law No. 569-2013

The required minimum front yard setback is the average of the front yard setbacks of those buildings on the abutting lots 6.06m.

The proposed front yard setback is 6.05m.

2. Chapter 900.3.10(5), By-law No. 569-2013

The minimum required side yard setback is 1.8m.

The proposed east side yard setback is 1.18m.

3. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.0m² of the first floor must be within 4.0m of the front main wall.

The proposed mudroom is approximately 5.3m² and is not within 4m of the front wall.

4. Chapter 10.5.30.40.(2), By-law No. 569-2013

In the Residential Zone category, any part of a platform without main walls, such as a deck, porch, balcony or similar structure that does not encroach into a required minimum building setback is not included in the calculation of lot coverage, if it is attached to or less than 0.3m from a building and the lot area covered by these structures is no more than 5% of the lot area.

The proposed rear deck covers 7.26% of the lot area.

5. Section 14.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.5m

The proposed front yard setback is 6.05m.

6. **Section 14.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 17m.
7. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.18m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.70.(1)(B), By-law No. 569-2013**
The required minimum front yard setback is the average of the front yard setbacks of those buildings on the abutting lots 6.06m.
The proposed front yard setback is 6.05m.
3. **Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0m² of the first floor must be within 4.0m of the front main wall.
The proposed mudroom is approximately 5.3m² and is not within 4m of the front wall.
4. **Chapter 10.5.30.40.(2), By-law No. 569-2013**
In the Residential Zone category, any part of a platform without main walls, such as a deck, porch, balcony or similar structure that does not encroach into a required minimum building setback is not included in the calculation of lot coverage, if it is attached to or less than 0.3m from a building and the lot area covered by these structures is no more than 5% of the lot area.
The proposed rear deck covers 7.26% of the lot area.
5. **Section 14.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5m
The proposed front yard setback is 6.05m.
6. **Section 14.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 17m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed east side yard setback is 1.18m.

7. Section 14.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.8m.

The proposed east side yard setback is 1.18m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0910/17NY	Zoning	RD(f15;a550)(x5)/R5[ZZC]
Owner:	ANGEL HA TU TANG STANLEY GOW	Ward:	Eglinton-Lawrence (15)
Agent:	SPACE ARCHITECTS	Heritage:	Not Applicable
Property Address:	733 GLENGROVE AVE	Community:	North York
Legal Description:	PLAN 3761 LOT 106		

Rick Ross (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
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To appeal this decision to the OMB you need the following:

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0911/17NY	Zoning	C1 [ZZC]
Owner(s):	2291979 ONTARIO INC	Ward:	Willowdale (23)
Agent:	ARK GROUP CONSTRUCTION	Heritage:	Not Applicable
Property Address:	5330-5334 YONGE ST	Community:	North York
Legal Description:	PLAN 3163 PT LOT 44		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a restaurant within the second storey of the existing commercial building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6A(2)a, By-law No. 7625

The total number of parking spaces required for the building is 69. The proposed restaurant requires 44 parking spaces and the existing first floor unit requires 25 parking spaces based on uses provided.

The existing number of parking spaces is 16, including 1 accessible space.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0911/17NY	Zoning	C1 [ZZC]
Owner:	2291979 ONTARIO INC	Ward:	Willowdale (23)
Agent:	ARK GROUP CONSTRUCTION	Heritage:	Not Applicable
Property Address:	5330-5334 YONGE ST	Community:	North York
Legal Description:	PLAN 3163 PT LOT 44		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, November 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0912/17NY	Zoning	
Owner(s):	KIMBERLEY ANN ROUTLEDGE PATRICK THOMAS ROUTLEDGE	Ward:	Don Valley West (26)
Agent:	CHARLES LINSEY & ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	141 PARKHURST BLVD	Community:	
Legal Description:	PLAN 2120 PT LOT 14		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey addition to the rear of the existing dwelling

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 36% of the lot area.
- 2. Chapter 10.5.60.30.(1), By-law No. 569-2013**
An ancillary building or structure with a height greater than 2.5 m, or a gross floor area greater than 10 m², must be at least 1.8 m from a residential building on the same lot.
The proposed ancillary building or structure is 1.04 m from a residential building on the same lot.
- 3. Chapter 10.5.60.50.(3), By-law No. 569-2013**
The maximum floor area of an ancillary building located less than 1.8 m from a residential building on the lot is 10.0 m².
The proposed floor area of the ancillary building is 16.47 m².
- 4. Chapter 10.5.60.40.(2), By-law No. 569-2013**
The maximum height of an ancillary building or structure if the ancillary building or structure is less than 1.8 m from the residential building on the lot, is 2.5 m.
The proposed height of the ancillary structure is 3.3 m.

5. Section 6.1.3.(1)(a), By-law No. 1916

The minimum driveway width accessing a required parking space is 2.6 m.

The proposed driveway width is 2.08 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0912/17NY	Zoning	
Owner:	KIMBERLEY ANN ROUTLEDGE PATRICK THOMAS ROUTLEDGE	Ward:	Don Valley West (26)
Agent:	CHARLES LINSEY & ASSOCIATES LTD	Heritage:	Not Applicable
Property Address:	141 PARKHURST BLVD	Community:	
Legal Description:	PLAN 2120 PT LOT 14		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, November 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0913/17NY	Zoning	RD(x5)/R4[ZZC]
Owner(s):	JAMSHID HAJIZADEH	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	92 PLEASANT AVE	Community:	North York
Legal Description:	PLAN 2366 LOT 485		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 31.73% of the lot area.
- 2. Chapter 10.5.40.60.(5), By-law No. 569-2013**
A chimney breast, on a building, may encroach into a minimum required building setback a maximum of 0.6m.
The proposed chimney breasts encroach 0.74m into the minimum required east and west building setback.
- 3. Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may encroach into a required minimum building setback a maximum of 0.9m provided that they are no closer than 0.30m to a lot line.
The proposed eaves encroach 2.19m into the required minimum front building setback.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing the east and west side lot line is 7.68m.
- 5. Chapter 900.3.10, By-law No. 569-2013**
The minimum side yard setback is 1.8m
The proposed east side yard setback is 1.52m

6. **Chapter 900.3.10, By-law No. 569-2013**
The minimum side yard setback is 1.8m
The proposed west side yard setback is 1.52m.
7. **Section 13.2.3(b), By-law No. 7625**
The minimum side yard setback is 1.8m
The proposed east side yard setback is 1.52m
8. **Section 13.2.3(b), By-law No. 7625**
The minimum side yard setback is 1.8m
The proposed west side yard setback is 1.52m.
9. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.4m.
10. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.79m.
11. **Section 13.2.5A, By-law No. 7625**
Any bay window projecting 0.6 m or less beyond the front or rear wall of the building shall be excluded in determining the length of the dwelling, provided that the maximum cumulative width of the bay windows is 50% of the width of the wall.
The proposed bay windows project from the front wall of the building and have a cumulative width of 56.95%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

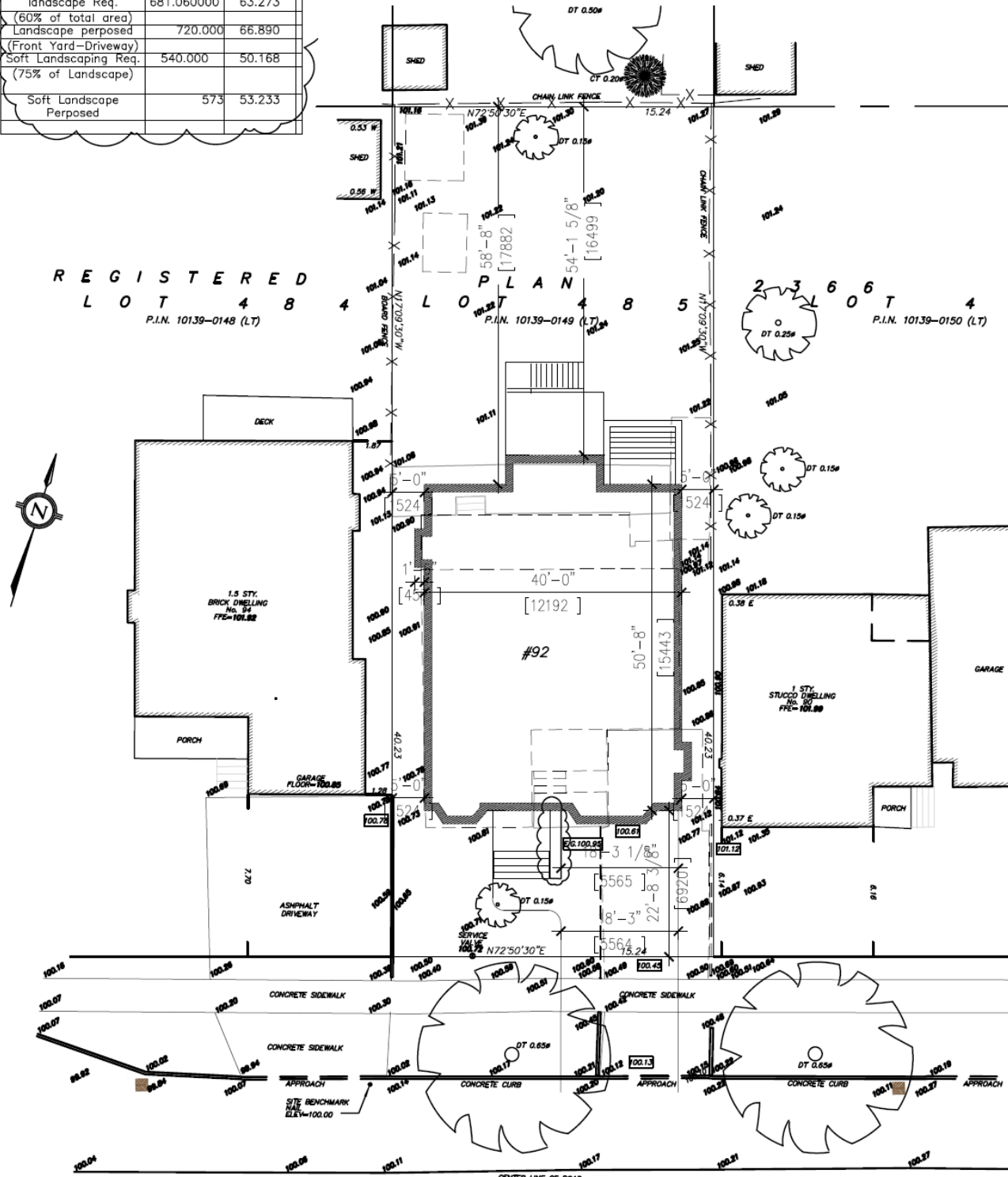
This decision is subject to the following condition(s):

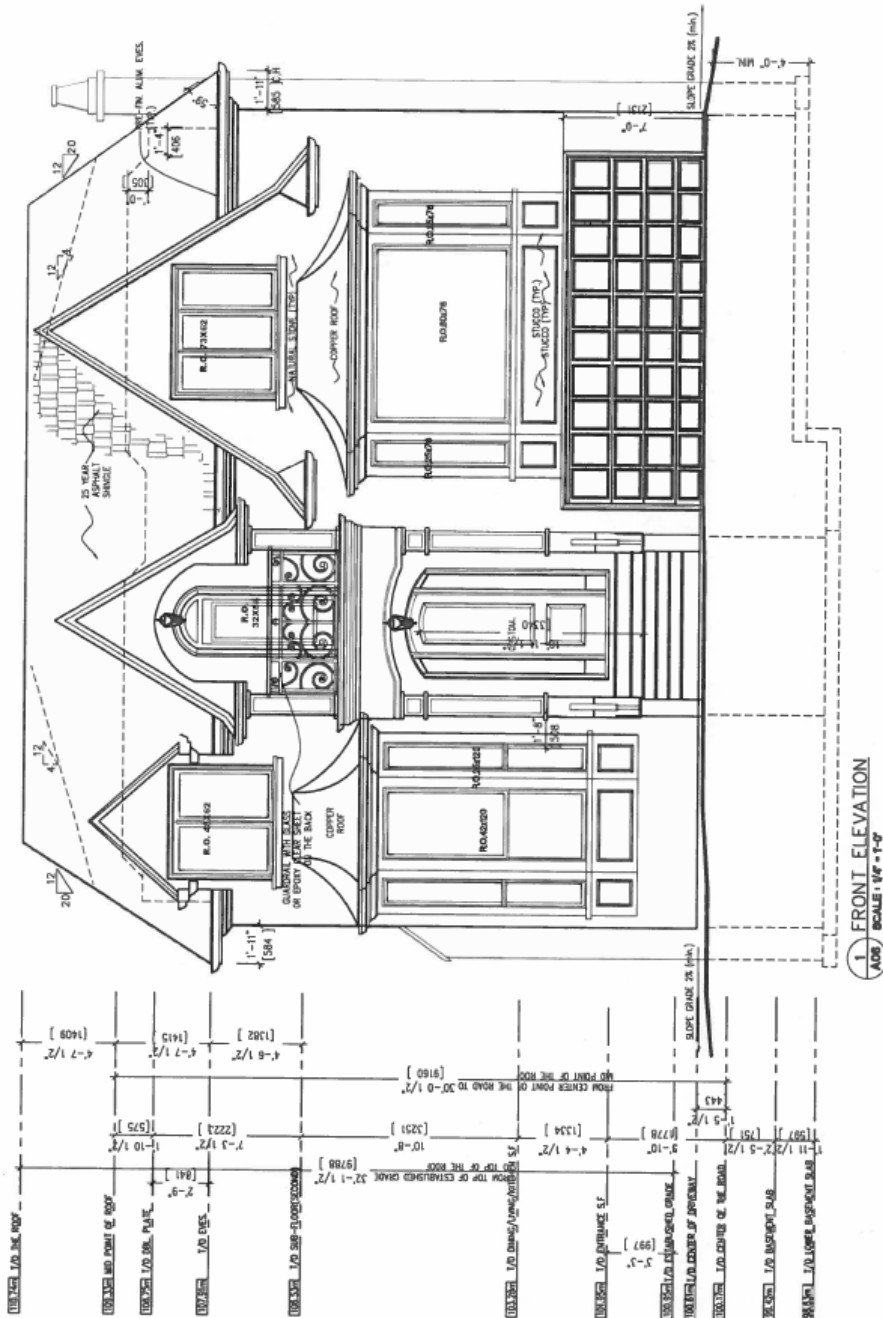
- 1) The proposal be developed substantially in accordance with the front and rear elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, November 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) The proposal be developed substantially in accordance with the side elevations attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

0 5 10 metres

NOTE:
FOR MORE INFO. RE. TO: SURVEY

Proposed New House GFA CALCULATION		
	sqf	sqm
Lot Area	6600.000	613.160064
G.F.A		
First Floor	2104.000	195.468
Second Floor	2104.000	195.467996
Total GFA	4208.000	390.936
Basement	1191.300	110.675
Lot Coverage(30%)		
Allowable Lot Coverage	1980.000000	183.948019
Proposed Lot Covered	2104.000	195.468
Lot Covered %	31.879	
Front Yard Landscaping Calculation		
Front Yard Area	1135.100	105.454
Driveway Area	415.100	38.564
landscape Req.	681.060000	63.273
(60% of total area)		
Landscape perposed	720.000	66.890
(Front Yard-Driveway)		
Soft Landscaping Req.	540.000	50.168
(75% of Landscape)		
Soft Landscape Perposed	573	53.233





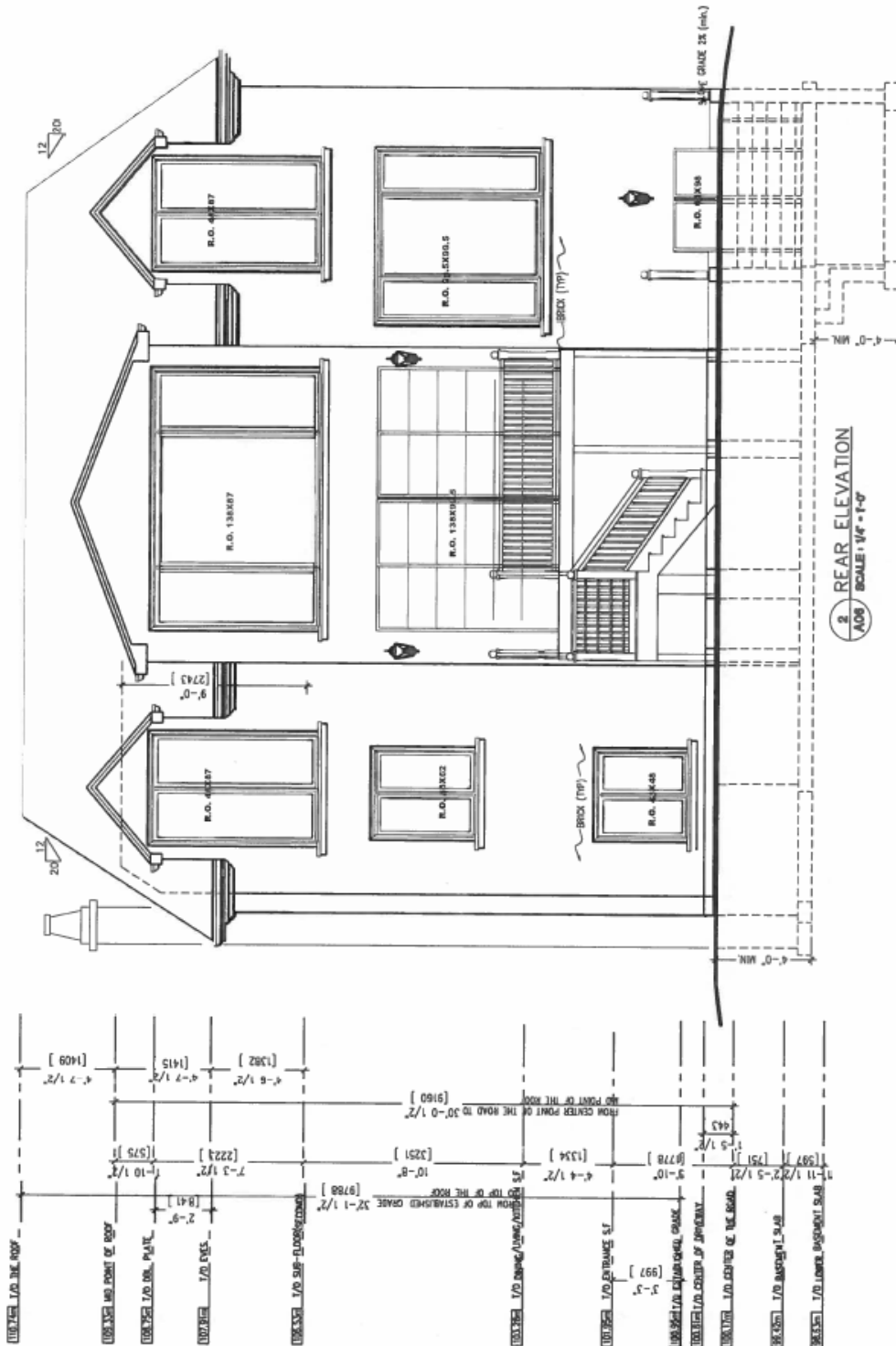
RECEIVED

NOV 13 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

SCALE 1.25

FRONT ELEVATION



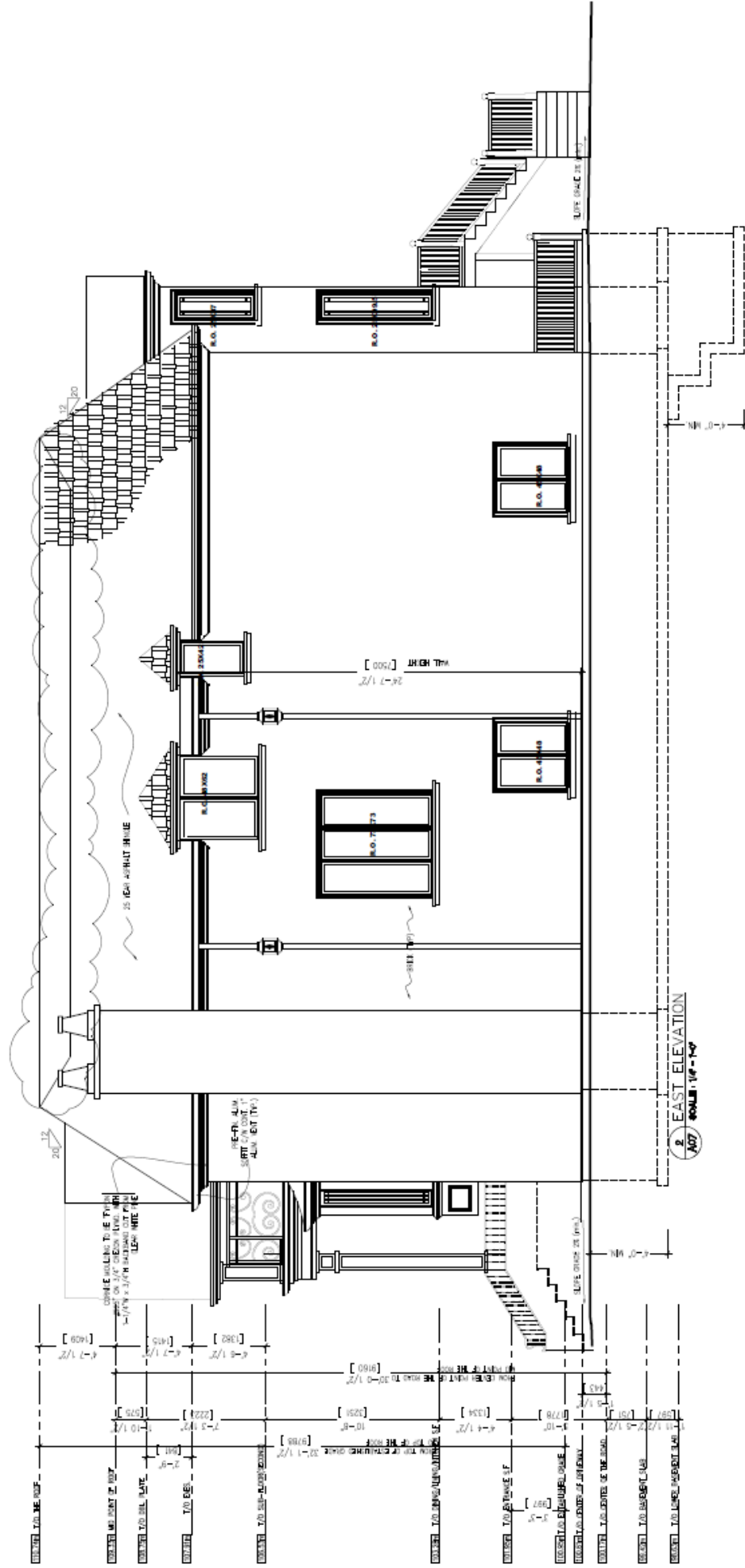
RECEIVED

NOV 13 2017

CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE



A06



EAST ELEVATION

SCALE 1:75

A09

SIGNATURE PAGE

File Number:	A0913/17NY	Zoning	RD(x5)/R4[ZZC]
Owner:	JAMSHID HAJIZADEH	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	92 PLEASANT AVE	Community:	North York
Legal Description:	PLAN 2366 LOT 485		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0914/17NY	Zoning	R/R2 Z0.6 [ZZC]
Owner(s):	BENJAMIN GRYS	Ward:	Eglinton-Lawrence (16)
Agent:	PAUL DA CUNHA ARCHITECT	Heritage:	Not Applicable
Property Address:	75 BURNABY BLVD	Community:	Toronto
Legal Description:	PLAN M512 PT LOTS 92 AND 93 RP 66R16671 PARTS 4 TO 6		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the construction of a new deck and balcony to the rear of the existing semi-detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.50.10.(3), By-law No. 569-2013

The minimum required rear yard soft landscaping is 25.00% of the rear yard area.

The proposed rear yard soft landscaping area is 0.00m²

2. Section 6(3) Part II 8 K, By-law No. 438-86

The by-law limits the projection of a balcony to a maximum of 1.50m from the rear wall.

The proposed balcony projects 2.33m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
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- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0914/17NY	Zoning	R/R2 Z0.6 [ZZC]
Owner:	BENJAMIN GRYS	Ward:	Eglinton-Lawrence (16)
Agent:	PAUL DA CUNHA ARCHITECT	Heritage:	Not Applicable
Property Address:	75 BURNABY BLVD	Community:	Toronto
Legal Description:	PLAN M512 PT LOTS 92 AND 93 RP 66R16671 PARTS 4 TO 6		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

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- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0915/17NY	Zoning	R/R2 Z0.6 [ZZC]
Owner(s):	BENJAMIN GRYS	Ward:	Eglinton-Lawrence (16)
Agent:	PAUL DA CUNHA ARCHITECT	Heritage:	Not Applicable
Property Address:	77 BURNABY BLVD	Community:	Toronto
Legal Description:	PLAN M512 PT LOT 93 S BURNABY BLVD RP 66R16671 PARTS 1 TO 3 PCL 3289K << STRUCTURE ADDRESS FOR 75 BURNABY BLVD		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the construction of a new deck and balcony to the rear of the existing semi-detached dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.50.10.(3), By-law No. 569-2013

The minimum required rear yard soft landscaping is 25.00% of the rear yard area.
The proposed rear yard soft landscaping area is 0.00m²

2. Section 6(3) Part II 8 K, By-law No. 438-86

The by-law limits the projection of a balcony to a maximum of 1.50m from the rear wall.
The proposed balcony projects 2.33m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0915/17NY	Zoning	R/R2 Z0.6 [ZZC]
Owner:	BENJAMIN GRYS	Ward:	Eglinton-Lawrence (16)
Agent:	PAUL DA CUNHA ARCHITECT	Heritage:	Not Applicable
Property Address:	77 BURNABY BLVD	Community:	Toronto
Legal Description:	PLAN M512 PT LOT 93 S BURNABY BLVD RP 66R16671 PARTS 1 TO 3 PCL 3289K << STRUCTURE ADDRESS FOR 75 BURNABY BLVD		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
- ☐ Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0918/17NY	Zoning	RD / R1 (ZZC)
Owner(s):	ANDY NASR	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Designated
Property Address:	79 BLYTHWOOD RD	Community:	Toronto
Legal Description:	PLAN 639E BLK A PT LOT 18 PT LOT 19 RP 63R226 PART 27		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey addition, and new front porch to existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.35 times the area of the lot.
The proposed floor space index is 0.46 times the area of the lot.
- Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 6.24 m.
The proposed front yard setback is 6.18 m.
- Section 6(3) Part I 1, By-law No. 438-86**
The permitted maximum gross floor area is 0.35 times the area of the lot.
The proposed gross floor area is 0.46 times the area of the lot.
- Section 6(3) Part II 2(II), By-law No. 438-86**
A building on an inside lot is required to have a minimum front lot line setback of 6.24 m.
The proposed front lot line setback is 6.18 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0918/17NY	Zoning	RD / R1 (ZZC)
Owner:	ANDY NASR	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Designated
Property Address:	79 BLYTHWOOD RD	Community:	Toronto
Legal Description:	PLAN 639E BLK A PT LOT 18 PT LOT 19 RP 63R226 PART 27		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0921/17NY	Zoning	RD(f15;a550)(x5)/R4[ZZC]
Owner(s):	2563215 ONTARIO INC 2563215 ONTARIO INC	Ward:	Willowdale (24)
Agent:	ALI ASADI NIK	Heritage:	Not Applicable
Property Address:	16 GLENELIA AVE	Community:	North York
Legal Description:	PLAN 4577 LOT 10		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 6.0m.
The proposed front yard setback is **5.55m**.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 31.99% of the lot area.
- 3. Chapter 10.5.100.1(1), By-law No. 569-2013**
The maximum permitted driveway width is 6m.
The proposed driveway width is 7.94m.
- 4. Section 6(a)(5), By-law No. 7625**
The maximum permitted driveway width is 6m.
The proposed driveway width is 7.94m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

That the proposed driveway is not to exceed 6.00m in width, within the public boulevard.

SIGNATURE PAGE

File Number:	A0921/17NY	Zoning	RD(f15;a550)(x5)/R4[ZZC]
Owner:	2563215 ONTARIO INC	Ward:	Willowdale (24)
	2563215 ONTARIO INC		
Agent:	ALI ASADI NIK	Heritage:	Not Applicable
Property Address:	16 GLENELIA AVE	Community:	North York
Legal Description:	PLAN 4577 LOT 10		

Beth Levy (signed)

Denise Graham (signed)

Wayne McEachern (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0924/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	JAMES NOBLE	Ward:	Don Valley East (34)
	JAMES NOBLE		
Agent:	ABBOTT DESIGN	Heritage:	Not Applicable
Property Address:	24 SWIFDALE PL	Community:	North York
Legal Description:	PLAN 4760 LOT 901		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0 m.
The proposed building length is 21.75 m.
- 2. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth is 19.0 m.
The proposed building depth is 26.4 m.
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 25% of the lot area.
The proposed lot coverage is 27.21% of the lot area.
- 4. Chapter 10.5.60.20.(3), By-law No. 569-2013**
The minimum side yard setback required for the ancillary building is 1.8 m.
The proposed side yard setback for the ancillary building is 0.3 m.
- 5. Section 3.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 25.4 m.
- 6. Section 6(9)(f), By-law No. 7625**
Porches, decks and canopies are permitted to project a maximum of 2.1 m.
The proposed front porch projects 3.05 m.

7. Section 6(9)(f), By-law No. 7625

Porches, decks and canopies are permitted to project a maximum of 2.1 m.
The proposed front canopy projects 3.35 m.

8. Section 6(23), By-law No. 7625

The required setback for a shed in the side yard is 1.8 m.
The proposed shed setback is 0.3 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the site plan drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, November 14, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED

NOV 14 2017

Toronto City Planning
North York District

NO.	DATE	DESCRIPTION
1	10/11/17	PRELIMINARY
2	10/11/17	REVISIONS
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CHECKED BY: [Signature]
APPROVED BY: [Signature]

SWIFDALE PLACE
BY REGISTERED PLAN 4760-YORK
PW 10115-0620 (L1)

SITE PLAN

3/64" = 1'-0"

1

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF TORONTO'S STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. ALL MATERIALS AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CITY OF TORONTO'S STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. CHANGES MUST BE APPROVED BY THE ENGINEER.

REVISIONS

NO.	DATE	DESCRIPTION
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abbott
ARCHITECTS

PROPOSED RESIDENCE
24 SWIFDALE PLACE
TORONTO, ON
SHEET 1/2
SITE PLAN

DATE: 10/11/17
CHECKED BY: [Signature]
DRAWN BY: [Signature]
PROJECT NO.: 0001
SHEET NO.: 1/2

SIGNATURE PAGE

File Number:	A0924/17NY	Zoning	RD / R4 (ZZC)
Owner:	JAMES NOBLE	Ward:	Don Valley East (34)
	JAMES NOBLE		
Agent:	ABBOTT DESIGN	Heritage:	Not Applicable
Property Address:	24 SWIFDALE PL	Community:	North York
Legal Description:	PLAN 4760 LOT 901		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

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Manager & Deputy Secretary Treasurer
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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0925/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner(s):	LAURA WILSON ROBERT ALLAN WILSON	Ward:	Willowdale (23)
Agent:	JORDON PARRY	Heritage:	Not Applicable
Property Address:	62 WENTWORTH AVE	Community:	North York
Legal Description:	PLAN 2069 WPT EPT 15		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new covered porch at the rear of the dwelling including a new deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 18.06m.
- 2. Chapter 10.20.40.30(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 19.61m.
- 3. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m.
The proposed building length is 18.06m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the site plan drawing submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, November 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

FS(FLOOR SPACE INDEX):

107.74 304.4
0.05

0.27

DRAWN BY: J.P.	DATE: AUG. 8, 1997	DRAWINGS PREPARED BY: JORDON PARRY
CHECKED BY: J.P.	DATE: AUG. 8, 1997	BCIN 39243
SCALE: 1:400		
PROJECT NO: 17-0004	DRAWING TITLE: SITE PLAN	DRAWING NO: A1

SIGNATURE PAGE

File Number:	A0925/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner:	LAURA WILSON ROBERT ALLAN WILSON	Ward:	Willowdale (23)
Agent:	JORDON PARRY	Heritage:	Not Applicable
Property Address:	62 WENTWORTH AVE	Community:	North York
Legal Description:	PLAN 2069 WPT EPT 15		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0926/17NY	Zoning	RD(f15.0; a550)x5/R4[ZZC]
Owner(s):	ANDREW MARCUS ANDREW MARCUS	Ward:	Willowdale (24)
Agent:	MEMAR CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	20 CARMEL CRT	Community:	North York
Legal Description:	PLAN 9373 LOT 45		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m
The proposed height of the side exterior main walls facing a side lot line is 7.73m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 17.39m.
- 3. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8m
The proposed building length is 17.39m
- 4. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5m
The proposed finished first floor height is 2.21m
- 5. Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m
The proposed building height is 10.27m

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0926/17NY	Zoning	RD(f15.0; a550)x5/R4[ZZC]
Owner:	ANDREW MARCUS ANDREW MARCUS	Ward:	Willowdale (24)
Agent:	MEMAR CONSULTANTS INC	Heritage:	Not Applicable
Property Address:	20 CARMEL CRT	Community:	North York
Legal Description:	PLAN 9373 LOT 45		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, November 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0927/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner(s):	FARSHID GAZERANCHI NILOUFAR BOZORGNIA	Ward:	Don Valley West (25)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	26 BUCKINGHAM AVE	Community:	Toronto
Legal Description:	PLAN 1534 LOT 882		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a one-storey addition (attached garage) to the west side of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.35 times the lot area.

The proposed floor space index is 0.368 times the lot area.

2. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.50m.

The proposed west side yard setback is 0.47m.

3. Chapter 10.5.40.60.(7), By-law No. 569-2013

Roof eaves may project a maximum of 0.90m provided that they are no closer than 0.30m to a lot line.

The proposed eaves project 1.18m into the west side yard setback and are 0.32m from the west lot line.

4. Chapter 10.5.100.1.(1), By-law No. 569-2013

For a detached house in the Residential Zone category, the maximum driveway width permitted for lots with a lot frontage of 6.0 metres to 23.0 metres inclusive, is the lesser of 6 metres or the width of the side-by-side parking spaces behind the front main wall; the width of the side-by-side parking spaces behind the front main wall is 2.98m.

The proposed driveway width is 3.72 metres.

5. Chapter 200.5.1.10.(2), By-law No. 569-2013

The minimum required parking space must have minimum required dimensions of 3.20m in width and 5.60m in length.

The proposed parking space is 2.98m in width.

6. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.35 times the lot area..

The proposed gross floor area is 0.366 times the lot area.

7. Section 4(17), By-law No. 438-86

The minimum required parking space must have minimum required dimensions of 3.20m in width.

The proposed parking space is 2.98m in width.

8. Section 6(3) Part II 3.B(II), By-law No. 438-86

The minimum required side yard setback is 0.90m.

The proposed west side yard setback is 0.47m.

9. Section 6(3) Part IV 4(ii), By-law No. 438-86

The maximum driveway width permitted for lots with a lot frontage of 6.0 metres to 23.0 metres inclusive, is the lesser of 6 metres or the width of the side-by-side parking spaces behind the front main wall; the width of the side-by-side parking spaces behind the front main wall is 2.98m.

The proposed driveway width is 3.72 metres.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposed attached garage is to remain one-storey.

SIGNATURE PAGE

File Number:	A0927/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner:	FARSHID GAZERANCHI NILOUFAR BOZORGNIA	Ward:	Don Valley West (25)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	26 BUCKINGHAM AVE	Community:	Toronto
Legal Description:	PLAN 1534 LOT 882		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, November 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0928/17NY	Zoning	RD / R6 (ZPR)
Owner(s):	LARRY HARGROVE ANNA SCHAERF	Ward:	Eglinton-Lawrence (16)
Agent:	LAPOINTE ARCHITECTS	Heritage:	Not Applicable
Property Address:	403 LAWRENCE AVE W	Community:	North York
Legal Description:	PLAN 1786 PT LOT 65		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To legalize and maintain an existing multi unit dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.80.10.(3), By-law No. 569-2013**
A parking space may not be located in a front yard or side yard abutting a street.
The proposed parking spots are located in a front yard.
- 2. Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m².
The proposed area of the front platform at or above the second story is 10.06 m².
- 3. Chapter 150.10.20.1.(2), By-law No. 569-2013**
A secondary suite is a permitted use provided that it is within a detached or semi detached dwelling, each unit may have a maximum of one secondary suite.
The proposed number of secondary suites is 3.
- 4. Chapter 150.10.40.10.(1), By-law No. 569-2013**
A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of a secondary suite.
The entire building will not be constructed more than 5 years prior to the proposed introduction of the secondary suite, as additions and/or alterations are con-currently proposed.
- 5. Chapter 150.10.40.1.(3), By-law No. 569-2013**
A secondary suite is a permitted use provided that an addition or exterior alteration to a building to accommodate a secondary suite does not alter or add to a main wall or roof that faces a street.
The proposed addition/exterior alteration alters a main wall that faces a street.

6. **Chapter 200.50.10.1.(1), By-law No. 569-2013**
The required minimum number of parking spaces is 4 spaces.
The proposal will have 3 spaces.
7. **Section 14-A(10), By-law No. 7625**
The maximum permitted balcony area is 3.8 m².
The proposed balcony area is 10.06 m².
8. **Section 6A(2)a, By-law No. 7625**
The minimum required number of parking spaces is 4
The proposed number of parking spaces is 3.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

Permeable pavers are to used for the parking area in the front yard.

SIGNATURE PAGE

File Number:	A0928/17NY	Zoning	RD / R6 (ZPR)
Owner:	LARRY HARGROVE ANNA SCHAERF	Ward:	Eglinton-Lawrence (16)
Agent:	LAPOINTE ARCHITECTS	Heritage:	Not Applicable
Property Address:	403 LAWRENCE AVE W	Community:	North York
Legal Description:	PLAN 1786 PT LOT 65		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0930/17NY	Zoning	RD (f15.0; a550) (x5)/R4 [ZZC]
Owner(s):	MOSE CIKUREL	Ward:	Willowdale (23)
Agent:	MURAT OZGUR	Heritage:	Not Applicable
Property Address:	337 MOORE PARK AVE	Community:	North York
Legal Description:	PLAN 5350 LOT 17		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. **Chapter 10.5.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 8.605m
The proposed front yard setback is 7.85m.
2. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 31% of the lot area.
3. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m
The proposed height of the west side exterior main walls facing a side lot line is 7.99m.
4. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m
The proposed height of the east side exterior main walls facing a side lot line is **8.23m**.
5. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is **9.10m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.5.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 8.605m
The proposed front yard setback is 7.85m.
2. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 31% of the lot area.
5. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is **9.10m**.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

3. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m
The proposed height of the west side exterior main walls facing a side lot line is 7.99m **for 6% of the width of the wall and 7.50m for the remainder of the wall.**
4. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m
The proposed height of the east side exterior main walls facing a side lot line is **8.23m for 21% of the width of the wall and 7.50m for the remainder of the wall.**

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0930/17NY	Zoning	RD (f15.0; a550) (x5)/R4 [ZZC]
Owner:	MOSE CIKUREL	Ward:	Willowdale (23)
Agent:	MURAT OZGUR	Heritage:	Not Applicable
Property Address:	337 MOORE PARK AVE	Community:	North York
Legal Description:	PLAN 5350 LOT 17		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

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Manager & Deputy Secretary Treasurer
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- ☐ a completed OMB Appellant Form (A1) in **paper format**
- ☐ \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, November 23, 2017

NOTICE OF DECISION

CONSENT

(Section 53 of the Planning Act)

File Number:	B0010/17NY	Zoning	R / R1S (ZZC)
Owner(s):	YASSER PHILOBES	Ward:	Eglinton-Lawrence (16)
Agent:	ARMANDO BARBINI	Heritage:	Not Applicable
	PLANNING & PERMIT SERVICES		
Property Address:	116 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN M25 PT LOTS 27 & 28		

Notice was given and the application considered on Thursday, November 23, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized lots. This file was previously deferred on July 19, 2017

CONVEYED - PART 1

Part 1 has a lot frontage of 6.87 m and a lot area of 276.3 m². The lot will be redeveloped with a new detached dwelling.

RETAINED - PART 2

Part 2 has a lot frontage of 6.87 m and a lot area of 276.4 m². The lot will be redeveloped with a new detached dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

DATE :

DATE :

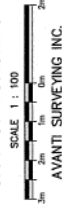
CHRIS BERESNIEWICZ
ONTARIO LAND SURVEYOR

REPRESENTATIVE FOR THE LAND REGISTRAR
FOR THE LAND TITLES DIVISION OF THE
TORONTO REGISTRY OFFICE. (No.66)

SCHEDULE

PART	PART OF LOT	PLAN	ALL OF P.I.N.	AREA
1	28	M-25	P.I.N. 21159-0330	276.4 m ²
2	27 and 28			276.3 m ²

PLAN OF SURVEY OF
Part of LOTS 27 and 28
REGISTERED PLAN M-25
CITY of TORONTO



METRIC

DISTANCES AND CO-ORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

LEGEND

<input type="checkbox"/>	DENOTES	SURVEY MONUMENT SET
RP	--	REGISTERED PLAN M-25
RP2	--	REGISTERED PLAN M-53
N.S.E.W.	--	NORTH, SOUTH, EAST, WEST
M	--	MEASURED
IB	--	IRON BAR
CC	--	CUT CROSS
WT	--	WITNESS
P.L.N.	--	PROPERTY IDENTIFIER NUMBER
K	--	PLAN BY KROMAR SURVEY

BEARING NOTE

BEARINGS ARE MTM GRID DERIVED FROM SPECIFIED
CONTROL POINTS 02019720078 AND 02219740662, MTM
ZONE 10, NAD83 (CSRS)

SPECIFIED CONTROL POINTS (SOPs): MTM ZONE 10, NAD 83 (CSRS) COORDINATES TO URBAN ACCURACY PER

SECTION 14(2) OF O.REG. 216/10

SCP 02019720078	4840950.41	311961.03
SCP 02219740662	4841230.91	312907.18

COORDINATES CANNOT, IN THEMSELVES, BE USED TO
RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON
THIS PLAN

DISTANCE NOTE

DISTANCE NO. 1

DISTANCES SHOWN HEREON ARE GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.99998007.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 22nd DAY OF JANUARY, 2017.

DATE JANUARY 25, 2017

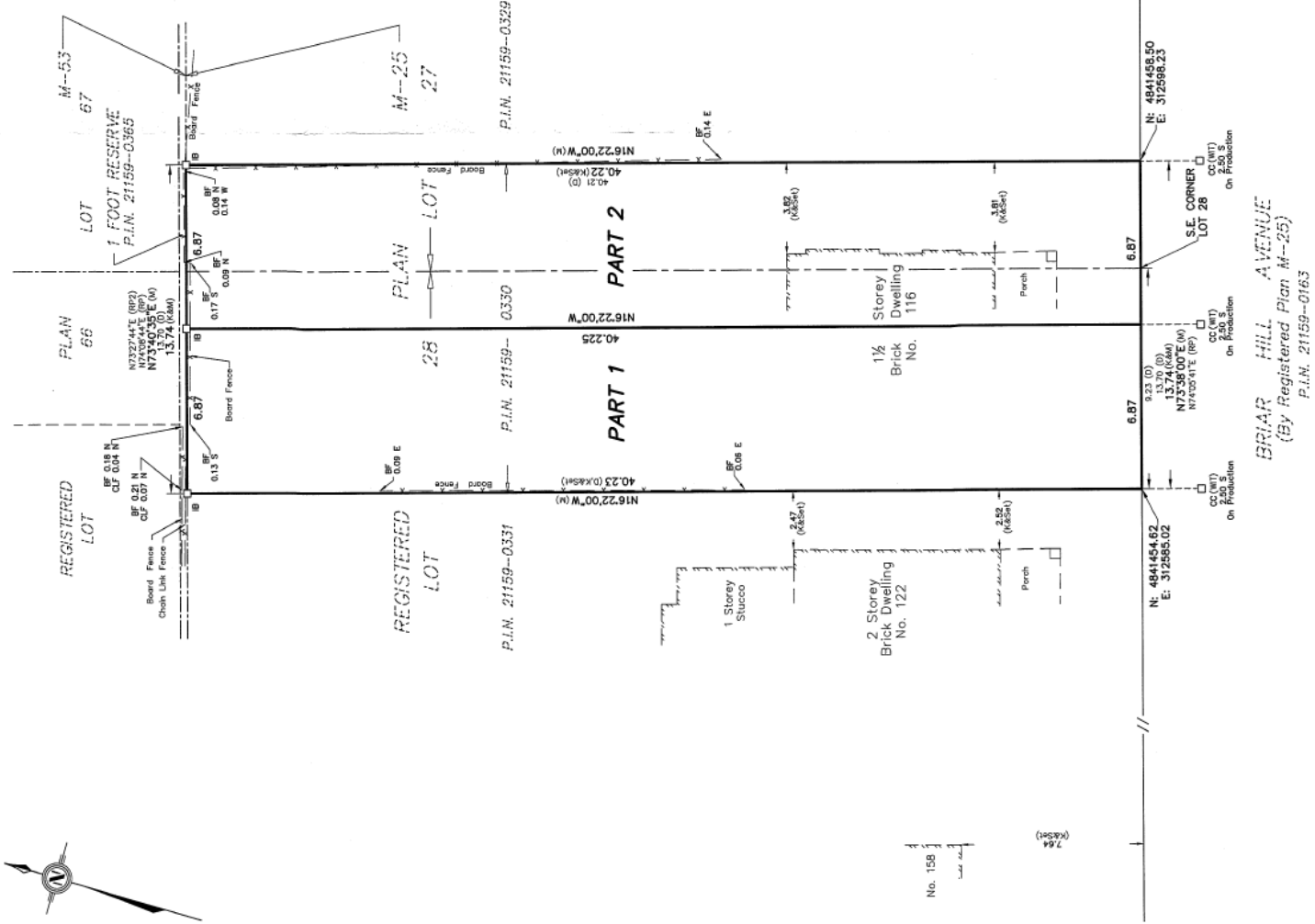
CHRIS BERESNIEWICZ
ONTARIO LAND SURVEYOR

Avanti

SURVEYING INC.
310 North Queen St., Unit 102, Toronto ON M9C-5K4
Tel: (416) 231-1174 - Fax: (416) 621-3360
E-MAIL : info@avantisurveying.com

DRAWN: R.M.

DRAWN: RJM	CHECKED: R.S./C.B.	PROJECT 16-433
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SIGNATURE PAGE

File Number:	B0010/17NY	Zoning	R / R1S (ZZC)
Owner(s):	YASSER PHILOBES	Ward:	Eglinton-Lawrence (16)
Agent:	ARMANDO BARBINI PLANNING & PERMIT SERVICES	Heritage:	Not Applicable
Property Address:	116 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN M25 PT LOTS 27 & 28		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 20, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, November 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0149/17NY	Zoning	R / R1S (ZZC)
Owner(s):	YASSER PHILOBES	Ward:	Eglinton-Lawrence (16)
Agent:	ARMANDO BARBINI PLANNING & PERMIT SERVICES	Heritage:	Not Applicable
Property Address:	116 BRIAR HILL AVE (PART 1)	Community:	Toronto
Legal Description:	PLAN M25 PT LOTS 27 & 28		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.40.(1), By-law No. 569-2013**
The required minimum lot frontage is 7.50 m
The proposed lot frontage is 6.87 m.
- Chapter 10.10.80.40.(1), By-law No. 569-2013**
Vehicle entrances through the front main wall of the building are permitted provided the lot has a minimum frontage of 7.6 m
The proposed lot frontage is 6.87 m.
- Chapter 10.10.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 5.12 m.
The proposed front yard setback is 4.85 m.
- Chapter 10.10.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback for a detached house which contains a window opening is 0.9 m
The proposed west side yard setback is 0.40 m.
- Chapter 10.10.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.70 times the area of the lot.

6. **Chapter 900.2.10, By-law No. 569-2013**
The maximum building length is 14.0 m.
The proposed building length is 16.74 m.
7. **Chapter 10.50.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided they are no closer than 0.30 m to a lot line.
The proposed eaves are **0.20m** from the west lot line.
8. **Chapter 10.50.40.50, By-law No. 569-2013**
A platform without main walls, such as a deck attached to or within 0.3 m of a building, must comply with the required minimum building setbacks for the zones; 0.9 m.
The proposed west side yard setback for the rear deck and balcony is 0.40 m.
9. **Section 12(2)112, By-law 438-86**
No person shall, within the area hereinafter described (The area designated R1Z Z0.6 lying to the north of Roselawn Ave and west of 909-88 Yonge Street), erect a building part of which extends further back than 14 m from the main front wall of the building.
The proposed building extends 18.11 m, including the rear balcony, from the main front wall of the building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0149/17NY	Zoning	R / R1S (ZZC)
Owner:	YASSER PHILOBES	Ward:	Eglinton-Lawrence (16)
Agent:	ARMANDO BARBINI PLANNING & PERMIT SERVICES	Heritage:	Not Applicable
Property Address:	116 BRIAR HILL AVE (PART 1)	Community:	Toronto
Legal Description:	PLAN M25 PT LOTS 27 & 28		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0150/17NY	Zoning	R / R1S (ZZC)
Owner(s):	YASSER PHILOBES	Ward:	Eglinton-Lawrence (16)
Agent:	ARMANDO BARBINI PLANNING & PERMIT SERVICES	Heritage:	Not Applicable
Property Address:	116 BRIAR HILL AVE (PART 2)	Community:	Toronto
Legal Description:	PLAN M25 PT LOTS 27 & 28		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.10.40.40.(1), By-law No. 569-2013**
The required minimum lot frontage is 7.50 m
The proposed lot frontage is 6.87 m.
- Chapter 10.10.80.40.(1), By-law No. 569-2013**
Vehicle entrances through the front main wall of the building are permitted provided the lot has a minimum frontage of 7.6 m
The proposed lot frontage is 6.87 m.
- Chapter 900.2.10, By-law No. 569-2013**
The maximum permitted building length is 14.0 m.
The proposed building length is 16.74 m.
- Chapter 10.10.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is **0.70** times the area of the lot.
- Chapter 10.10.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 0.9 m
The proposed east side yard setback is 0.40 m.

6. Chapter 10.50.40.60.(7), By-law No. 569-2013

Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The proposed eaves are **0.20 m** for the east lot line.

7. Section 12(2)112, By-law 438-86

No person shall, within the area hereinafter described (The area designated R1Z Z0.6 lying to the north of Roselawn Ave and west of 909-88 Yonge Street), erect a building part of which extends further back than 14 m from the main front wall of the building.

The proposed building extends 18.11 m, including the rear balcony, from the main front wall of the building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0150/17NY	Zoning	R / R1S (ZZC)
Owner:	YASSER PHILOBES	Ward:	Eglinton-Lawrence (16)
Agent:	ARMANDO BARBINI PLANNING & PERMIT SERVICES	Heritage:	Not Applicable
Property Address:	116 BRIAR HILL AVE (PART 2)	Community:	Toronto
Legal Description:	PLAN M25 PT LOTS 27 & 28		

Beth Levy (signed)

Wayne McEachern (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0670/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	YAOHUAN WANG WAI-BEN LOUIE	Ward:	Willowdale (23)
Agent:	WAI-BEN LOUIE	Heritage:	Not Applicable
Property Address:	291 BETTY ANN DR	Community:	North York
Legal Description:	PLAN 4589 LOT 46		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 9.17m.

The proposed front yard setback is 8.80m.

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.54m.

3. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.53m.

4. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **31.90%** of the lot area.

5. Chapter 10.20.40.50.(1), By-law No. 569-2013

The maximum permitted area of each platform at or above the second storey is 4.00m².

The proposed platform at or above the second storey is 6.02m².

6. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is **18.78m**.

7. Section 9(6)b, By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.54m.

8. Section 9(6)b, By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.53m.

9. Section 13.2.6A, By-law No. 7625

The maximum permitted balcony area is 3.80m².

The proposed balcony area is 6.02m².

10. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is **18.78m**.

11. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck projects **3.00m** from the rear wall, is 1.17m in height and is **6.00m** wide.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 9.17m.

The proposed front yard setback is 8.80m.

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.54m.

3. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.53m.

4. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **31.90%** of the lot area.

5. Chapter 10.20.40.50.(1), By-law No. 569-2013

The maximum permitted area of each platform at or above the second storey is 4.00m².

The proposed platform at or above the second storey is 6.02m².

6. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is **18.78m**.

7. Section 9(6)b, By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.54m.

8. Section 9(6)b, By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.53m.

9. Section 13.2.6A, By-law No. 7625

The maximum permitted balcony area is 3.80m².

The proposed balcony area is 6.02m².

10. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is **18.78m**.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

11. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck projects **2.10m** from the rear wall, is 1.17m in height and is **6.00m** wide.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0670/17NY	Zoning	RD/R4 [ZZC]
Owner:	YAOHUAN WANG	Ward:	Willowdale (23)
	WAI-BEN LOUIE		
Agent:	WAI-BEN LOUIE	Heritage:	Not Applicable
Property Address:	291 BETTY ANN DR	Community:	North York
Legal Description:	PLAN 4589 LOT 46		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- ☐ Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0465/17NY	Zoning	RD / R7 (ZR)
Owner(s):	IAN MURRAY FRASER	Ward:	Don Valley West (25)
Agent:	Peter Higgins Architect Inc.	Heritage:	Not Applicable
Property Address:	9 MCBAIN AVE	Community:	North York
Legal Description:	PLAN M374 PT LOT 154		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.40.10.(5), By-law No. 569-2013**
A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
The first floor area within the first 4 m of the front main wall is 2.3 m².
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 38.55% of the lot area.
- 3. Section 14-B(5)(b), By-law No. 7625**
The minimum required side yard setback is 1.2 m.
The proposed north side yard setback is 0.91 m.
- 4. Section 14-B(5)(b), By-law No. 7625**
The minimum required side yard setback is 1.2 m.
The proposed south side yard setback is 0.91 m.
- 5. Section 14-B(8), By-law No. 7625**
The maximum permitted number of storeys is 2
The proposed number of storeys is 3.
- 6. Section 14-B(9), By-law No. 7625**
The maximum permitted building length is 15.3 m
The proposed building length is 18.82 m.

7. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 2.3 m.
8. **Section 14-B(10) By-law No. 7625**
The maximum permitted balcony area is 3.8 m².
The proposed front balcony area is 5.59 m².
9. **Section 14-B(8) By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.95 m.
10. **Section 14-B(5)c By-law No. 7625**
The minimum required rear yard setback is 9.5 m.
The proposed rear yard setback is 8.09 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

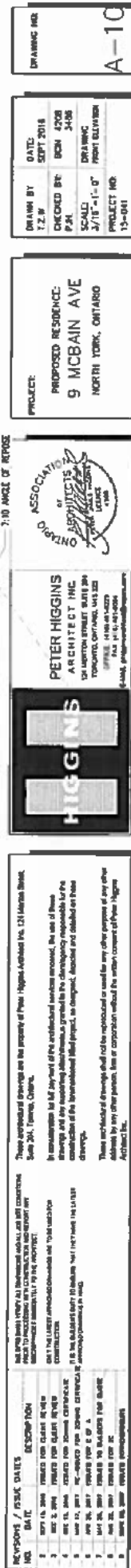
It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the front elevation drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, November 14, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

Toronto City Planning
North York District



SIGNATURE PAGE

File Number:	A0465/17NY	Zoning	RD / R7 (ZR)
Owner:	IAN MURRAY FRASER	Ward:	Don Valley West (25)
Agent:	Peter Higgins Architect Inc.	Heritage:	Not Applicable
Property Address:	9 MCBAIN AVE	Community:	North York
Legal Description:	PLAN M374 PT LOT 154		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- ☐ a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- ☐ \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- ☐ a completed OMB Appellant Form (A1) in **paper format**
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Thursday, November 23, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0680/17NY	Zoning	R / R1S (ZPR)
Owner(s):	CHUNG-LU WU	Ward:	Eglinton-Lawrence (16)
Agent:	BATTAGLIA ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	62 CRAIGHURST AVE	Community:	Toronto
Legal Description:	PLAN M53 PT LOT 7		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one storey addition to the rear and to enclose the existing front porch.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.10.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.7609 times the area of the lot.
- 2. Section 6(3) Part I 1, By-law No. 438-86**
The permitted maximum floor space index is 0.6 times the area of the lot.
The proposed floor space index is 0.7609 times the area of the lot.
- 3. Section 6(3) Part II 3.B(II), By-law No. 438-86**
A minimum side lot line setback of 0.9 m is required for the portion of the building not exceeding 17.0 m in depth, where the side wall contains opening.
The proposed west side lot line setback is 0.535 m.
- 4. Section 6(3) Part II 3.B(II), By-law No. 438-86**
A minimum side lot line setback of 0.9 m is required for the portion of the building not exceeding 17.0 m in depth, where the side wall contains opening.
The proposed east side lot line setback is 0 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0680/17NY	Zoning	R / R1S (ZPR)
Owner:	CHUNG-LU WU	Ward:	Eglinton-Lawrence (16)
Agent:	BATTAGLIA ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	62 CRAIGHURST AVE	Community:	Toronto
Legal Description:	PLAN M53 PT LOT 7		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Thursday, November 23, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0605/17NY	Zoning	RM / R2 (ZZC)
Owner(s):	SZE-WAI YU	Ward:	Eglinton-Lawrence (15)
Agent:	SZE-WAI YU	Heritage:	Not Applicable
Property Address:	614 LAUDER AVE	Community:	York
Legal Description:	PLAN 1969 N PT LOT 1		

Notice was given and a Public Hearing was held on Thursday, November 23, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.80.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 8.5 m.
The proposed height of the side exterior main walls facing a side lot line is 8.72 m.
- 2. Chapter 10.80.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.8 times the area of the lot.
The proposed floor space index is **1.00** times the area of the lot.
- 3. Chapter 10.80.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback for a detached house is 1.2 m
The proposed **north** side yard setback is 0.69 m.
- 4. Chapter 10.80.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback for a detached house is 1.2 m
The proposed **south** side yard setback is **0.70m**.
- 5. Section 3. (a), By-law No 1-83**
The minimum side yard setback is 1.2 m.
The proposed **north** side yard setback is 0.69 m.
- 6. Section 3. (a), By-law No 1-83**
The maximum floor space index is 0.8.
The proposed floor space index is **1.00**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i)Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0605/17NY	Zoning	RM / R2 (ZZC)
Owner:	SZE-WAI YU	Ward:	Eglinton-Lawrence (15)
Agent:	SZE-WAI YU	Heritage:	Not Applicable
Property Address:	614 LAUDER AVE	Community:	York
Legal Description:	PLAN 1969 N PT LOT 1		

Beth Levy (signed)

Denise Graham (signed)

Giacomo Tonon (signed)

Rick Ross (signed)

Wayne McEachern (signed)

DATE DECISION MAILED ON: Thursday, November 30, 2017

LAST DATE OF APPEAL: Wednesday, December 13, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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