

Thursday, December 7, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0061/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	NAHID MOUGOUEI MAHDIYAR MOUGOUEI	Ward:	Willowdale (23)
Agent:	GREGORY DESIGN GROUP	Heritage:	Not Applicable
Property Address:	176 HENDON AVE	Community:	North York
Legal Description:	PLAN 2056 WPT EPT 41		

Notice was given and the application considered on Thursday, December 7, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever the property into two undersized lots.

CONVEYED - Part 1

Part 1 has a lot frontage of 10.98 m and an area of 435.09 m². The lot will be redeveloped with a new detached dwelling with integral garage.

RETAINED - Part 2

Part 2 has a lot frontage of 10.98 m and an area of 435.09 m². The lot will be redeveloped with a new detached dwelling with integral garage.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Approved on Condition

The Committee has considered the provisions of Section 51(24) of the Planning Act and is satisfied that a plan of subdivision is not necessary. The Committee therefore consents to the creation of new lots as shown on the plan attached to this decision on the condition that before a Certificate of Consent is issued, as required by Section 53(42) of the Planning Act, the applicant is to file the following with the Committee office within ONE YEAR of the date of this Decision:

- (1) Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
- (2) Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey

shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contacts: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca, or his designates, Elizabeth Machynia, at 416-338-5029; emachyni@toronto.ca, John Fligg at 416-338-5031; jfligg@toronto.ca

- (3) **Two copies of the registered reference plan of survey** integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services. Contact: John House, Supervisor, Land and Property Surveys, at 416-392-8338; jhouse@toronto.ca
- (4) **Three copies of the registered reference plan of survey** satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
- (5) Within **ONE YEAR** of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer, the Certificate of Official, Form 2 or 4, O. Reg. 197/96, referencing either subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as it pertains to the conveyed land and/or consent transaction.

PLAN 65R-

REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE LAND TITLES ACT.

RECEIVED AND DEPOSITED :
DATE: _____ 2016

DATE: NOVEMBER 17, 2016

REPRESENTATIVE FOR LAND REGISTER FOR THE LAND TITLES DIVISION OF THE YORK REGION IDEALTY OFFICE (No. 65)

A. ARIELSHHID, O.L.S.

**PLAN OF SURVEY OF
PLAN OF PART OF LOT 41
REGISTERED PLAN 2056
CITY OF TORONTO
(REGIONAL MUNICIPALITY OF NORTH YORK)**

SCALE - 1 : 200

MITSCHE & AZIZ INC., O.L.S.
METRIC DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING SHOWN HEREON ARE GRID DERIVED FROM OBSERVED REFERENCE POINTS (CORS 83) IN THE NETWORK OBSERVATIONS, UTM ZONE 17, NAD 83 (CORS 83) (EPOCH 2010.00)

INTEGRATION DATA

OBSERVED REFERENCE POINTS (ORP'S) DERIVED FROM GPS OBSERVATIONS USING THE SAKKA GPS NETWORK SERVICE AND ARE REFERRED TO UTM ZONE 17, NAD 83 (CORS 83) (EPOCH 2010.00) COORDINATE VALUES ARE TO URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) OF OREG 216.10 AND CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

POINT ID	NORTHING	EASTING
ORP A	4858908.38	639308.68
ORP B	4858865.81	639316.43
ORP C	4858909.23	639378.98
ORP D	4858986.78	639410.54

DISTANCE SHOWN ON THE PLAN ARE ADJUSTED GROUND DISTANCE AND CAN BE USED TO COMPUTE GRID DISTANCE BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.9997602

SCHEDULE

PART	LOT	REGISTERED PLAN	ALL OF PIN	AREA
1	PART OF LOT 41	2056	10150-0183 (LT)	435.09 m ²
2	PART OF LOT 41			435.09 m ²

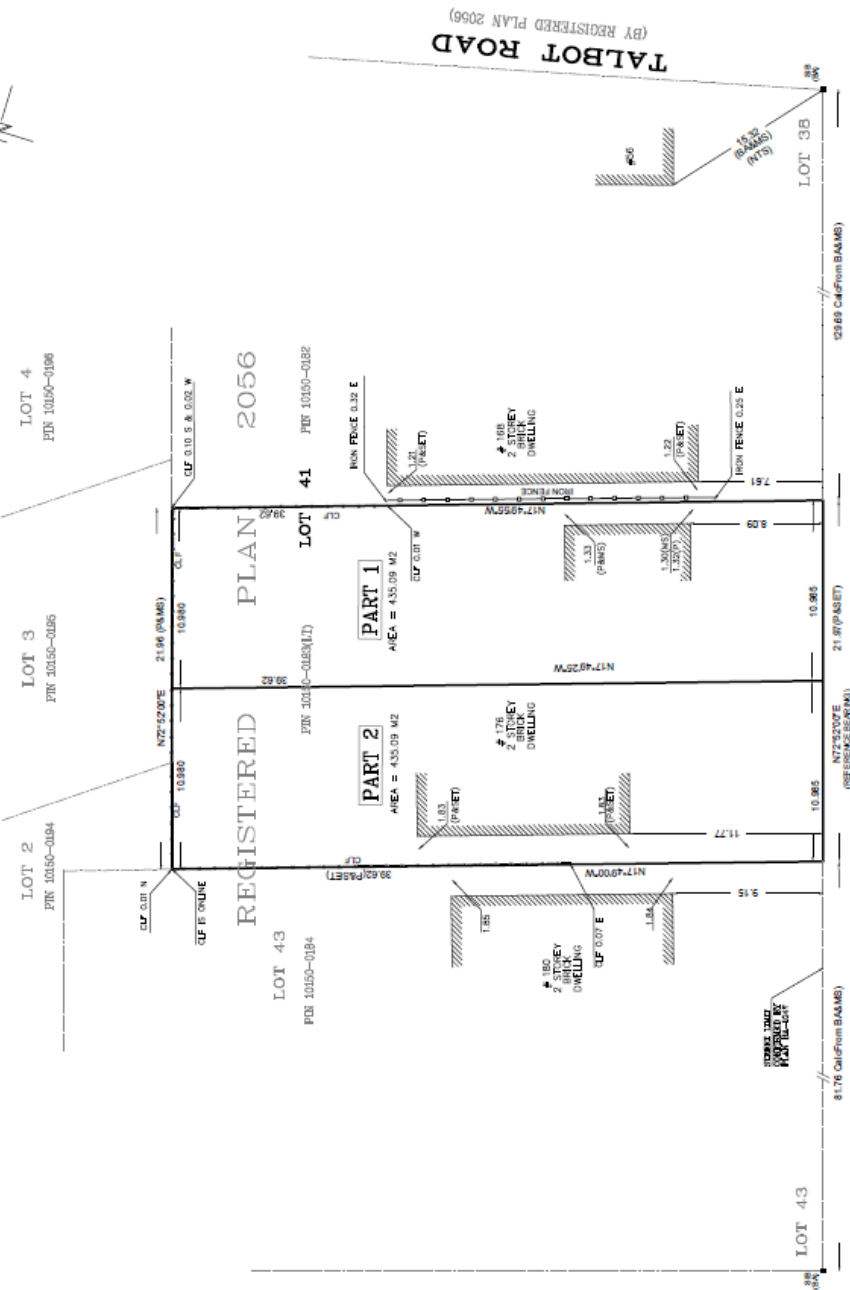
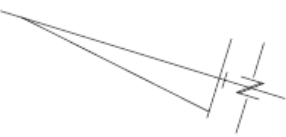
SURVEYOR'S CERTIFICATE

I CERTIFY THAT
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEY ACT, THE SURVEYORS ACT, THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 17th DAY OF NOV. 2016

DATE: 17 NOV., 2016
A. ARIELSHHID
ONTARIO LAND SURVEYOR

MITSCHE & AZIZ INC.
ON TARIO LAND SURVEYORS
120 NEWARK ROAD- #31, RICHMOND HILL, ONT. L4C-9S7
Tel: (905) 237-8224 Fax: (416) 477-5465
Website: M-Azizsurveyors.ca
E-Mail: aziz@m-a-zizsurveyors.ca

PROJECT NUMBER	16-446
DRAWN BY	KU
CHECKED BY	A.A



HENDON AVENUE
(BY REGISTERED PLAN 2056)

ALMONT ROAD
(BY PLAN BA-1047)

- LEGEND:**
- SURVEY MONUMENT FOUND
 - SURVEY MONUMENT SET
 - SB STANDARD BORN BAR
 - N.E.S.W. NORTH EAST SOUTH WEST
 - IRF IRON ROD
 - W.F. WIRE FENCE
 - RP REGISTERED PLAN 2056
 - P PLAN 64R-5737
 - BA PLAN BA-1047
- NOTES:**
- IRON BAR
 - MAHICLE
 - IRF IRON ROD
 - ORF ORIGIN UNKNOWN
 - MEASURED
 - REDDWOOD TREE
 - CONFERIOUS TREE
 - SCISSOR TREE TRUNK
 - CONFERIOUS TREE TRUNK
- IB DENOTES:**
- IR IRON ROD
 - PH PHOTO
 - CU CURB
 - MS MEASURED
 - OT OAK TREE
 - CT CYPRESS TREE

SIGNATURE PAGE

File Number:	B0061/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	NAHID MOUGOUEI MAHDIYAR MOUGOUEI	Ward:	Willowdale (23)
Agent:	GREGORY DESIGN GROUP	Heritage:	Not Applicable
Property Address:	176 HENDON AVE	Community:	North York
Legal Description:	PLAN 2056 WPT EPT 41		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL: Wednesday, January 3, 2018

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0902/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	NAHID MOUGOUEI MAHDIYAR MOUGOUEI	Ward:	Willowdale (23)
Agent:	GREGORY DESIGN GROUP	Heritage:	Not Applicable
Property Address:	176 HENDON AVE (PART 1)	Community:	North York
Legal Description:	PLAN 2056 WPT EPT 41		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.40.10(5), By-law No. 569-2013**
An area of 10 m² of the first floor must be within 4 m of the front main wall.
6.5 m² of the first floor is within 4 m of the front main wall.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted main wall height is 7.5 m.
The proposed main wall height is 8.16 m.
- 3. Chapter 10.50.40.50.(2), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.
- 4. Chapter 10.50.40.50.(2), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.2 m.
- 5. Chapter 10.50.40.50.(2), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 0.91 m for a portion of the garage only.
- 6. Chapter 10.20.30.10.(1), By-law No. 569-2013**
The minimum required lot area is 550 m².
The proposed lot area is 435.09 m².

7. **Chapter 10.20.30.20.(1), By-law No. 569-2013**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 10.98 m.
8. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 30.42% of the lot area.
9. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 435.09 m².
10. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 10.98 m.
11. **Section 13.2.3, By-law No. 7625**
The minimum required side yard setback is 1.5 m.
The proposed east side yard setback is 1.2 m.
12. **Section 13.2.3, By-law No. 7625**
The minimum required side yard setback is 1.5 m.
The proposed east side yard setback is 0.91 m for a portion of the garage only.
13. **Section 13.2.3, By-law No. 7625**
The minimum required side yard setback is 1.5 m.
The proposed west side yard setback is 1.2 m.
14. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.51 m.
15. **Section 13.2.6, By-law No. 7625**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.
16. **Section 13.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.8 m².
The proposed balcony area is 6.6 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0902/17NY	Zoning	RD / R4 (ZZC)
Owner:	NAHID MOUGOUEI MAHDIYAR MOUGOUEI	Ward:	Willowdale (23)
Agent:	GREGORY DESIGN GROUP	Heritage:	Not Applicable
Property Address:	176 HENDON AVE (PART 1)	Community:	North York
Legal Description:	PLAN 2056 WPT EPT 41		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0903/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	NAHID MOUGOUEI MAHDIYAR MOUGOUEI	Ward:	Willowdale (23)
Agent:	GREGORY DESIGN GROUP	Heritage:	Not Applicable
Property Address:	176 HENDON AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2056 WPT EPT 41		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.40.10(5), By-law No. 569-2013**
An area of 10 m² of the first floor must be within 4 m of the front main wall.
6.5 m² of the first floor is within 4 m of the front main wall.
- 2. Chapter 10.20.30.10.(1), By-law No. 569-2013**
The minimum required lot area is 550 m².
The proposed lot area is 435.09 m².
- 3. Chapter 10.20.30.20.(1), By-law No. 569-2013**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 10.98 m.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted main wall height is 7.5 m.
The proposed main wall height is 8.36 m.
- 5. Chapter 10.50.40.50.(2), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.2 m.
- 6. Chapter 10.50.40.50.(2), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.2 m.

7. **Chapter 10.50.40.50.(2), By-law No. 569-2013**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 0.91 m for a portion of the garage only.
8. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 30.42% of the lot area.
9. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550 m².
The proposed lot area is 435.09 m².
10. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage is 15 m.
The proposed lot frontage is 10.98 m.
11. **Section 13.2.3, By-law No. 7625**
The minimum required side yard setback is 1.5 m.
The proposed east side yard setback is 1.2 m.
12. **Section 13.2.3, By-law No. 7625**
The minimum required side yard setback is 1.5 m.
The proposed west side yard setback is 0.91 m for a portion of the garage only.
13. **Section 13.2.3, By-law No. 7625**
The minimum required side yard setback is 1.5 m.
The proposed west side yard setback is 1.2 m.
14. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.63 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0903/17NY	Zoning	RD / R4 (ZZC)
Owner:	NAHID MOUGOUEI MAHDIYAR MOUGOUEI	Ward:	Willowdale (23)
Agent:	GREGORY DESIGN GROUP	Heritage:	Not Applicable
Property Address:	176 HENDON AVE (PART 2)	Community:	North York
Legal Description:	PLAN 2056 WPT EPT 41		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0814/17NY	Zoning	RD (f10.5; d0.35) (x1413)/R1 Z0.35[ZZC]
Owner(s):	LAUREN CONNOLLY JAMES ANTHONY CONNOLLY	Ward:	Eglinton-Lawrence (16)
Agent:	CUNHA DESIGN CONSULTANTS LTD	Heritage:	Not Applicable
Property Address:	129 GLENGROVE AVE W	Community:	Toronto
Legal Description:	PLAN M87 PT LOT 125		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third floor addition above the two-storey dwelling within the existing roof-line.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.40.(1), By-law No. 569-2013

The permitted maximum floor space index is 0.35 times the area of the lot.
The proposed floor space index is 0.7039 times the area of the lot (269.75 m²).

2. Section 6(3) Part I 1, By-law No. 438-86

The permitted maximum Gross Floor Area is 0.35 times the area of the lot.
The proposed residential gross floor area of the building is 0.7039 time the lot area (269.27 m²).

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at

www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0814/17NY	Zoning	RD (f10.5; d0.35) (x1413)/R1 Z0.35[ZZC]
Owner:	LAUREN CONNOLLY JAMES ANTHONY CONNOLLY	Ward:	Eglinton-Lawrence (16)
Agent:	CUNHA DESIGN CONSULTANTS LTD	Heritage:	Not Applicable
Property Address:	129 GLENGROVE AVE W	Community:	Toronto
Legal Description:	PLAN M87 PT LOT 125		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0893/17NY	Zoning	RM6 (WAIVER)
Owner(s):	ALIT DON VALLEY PROPERTY INC ALIT DON VALLEY PROPERTY INC	Ward:	Don Valley East (34)
Agent:	ALIT DON VALLEY PROPERTY INC	Heritage:	Not Applicable
Property Address:	1213 YORK MILLS RD	Community:	North York
Legal Description:	PLAN 6325 BLK A INCLUDES 101-113 VALLEY WOODS RD		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To amend the site specific by No. 992-2012 to construct two new multi level residential towers.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. By-law 992-2012 s.(3)(h) – Gross Floor Area**
The maximum permitted gross floor area for Building D is 25,458 square m.
The proposed gross floor area for Building D is 26,800 square m.
- 2. By-law 992-2012 s.(3)(h) – Gross Floor Area**
The maximum permitted gross floor area for Building E is 12,998 square m.
The proposed gross floor area for Building E is 13,700 square m.
- 3. By-law 992-2012 s.(3)(j)(i) – Building Height**
The maximum permitted building height of a portion of the base element of Building D is 2 storeys and 8.0 m as set out on Schedule RM6(201)(B).
The proposed building height of a portion of the base element of Building D as set out on the revised Schedule RM6(201)(B) is 3 storeys and 11.0 m, excluding parapets, balcony guards and balcony divider screens.
- 4. By-law 992-2012 s.(3)(j)(i) – Building Height**
The maximum permitted building height of a portion the mid-rise element of Building D is 12 storeys and 39.0 m as set out on Schedule RM6(201)(B).
The proposed building height of a portion of the mid-rise element of Building D as set out on the revised Schedule RM6(201)(B) is 13 storeys and 41.0 m, excluding parapets, balcony guards and balcony divider screens.

5. **By-law 992-2012 s.(3)(j)(ii)(B) – Building Height**
A penthouse or other roof structure which is used only as an ornament or to house the mechanical equipment of the building shall not exceed a height of 5 m.
For Building D and Building E as set out on the revised Schedule RM6(201)(B), a penthouse or other roof structure which is used only as an ornament or to house the mechanical equipment of the building shall not exceed a height of 6 m.

6. **By-law 992-2012 s.(3)(k)(i) – Building Envelopes**
The maximum above ground building envelope excluding parking garages and mechanical structures shall be as set out on Schedule RM6(201)(B).
The maximum above ground building envelope for Building D and Building E shall be as set out on the revised Schedule RM6(201)(B) excluding parking garages, mechanical and electrical structures, storage lockers, and bicycle storage located on the ground level.

7. **By-law 992-2012 s.(3)(k)(iii) – Building Envelopes**
No buildings except for permitted projections shall be permitted beyond the building envelopes as set out on Schedule RM6(201)(B).
Balconies on the North and West main walls of Level 2, Level 3, and Level 4 of Building D as set out on the revised Schedule RM6(201)(B) may project up to a maximum of 1.9 m beyond the building envelope. The canopy projecting from the North main wall of Level 2 of Building D may project up to a maximum of 3.6 m beyond the building envelope.

8. **By-law 992-2012 s.(3)(m)(ii) – Distance Between Buildings**
The minimum distance between above grade portions of Buildings A, B, C, D, E, F, G and H shall be as set out on Schedules RM6(201)(B) and RM6(201)C.
The required switch gear rooms may be located within the minimum distance between above grade portions of Building D and Building E as set out on the revised Schedule RM6(201)(B).

9. **By-law 992-2012 s.(3)(q)(i) – Yard Setbacks**
The minimum yard setbacks for all buildings and structures shall be as set out on Schedules RM6(201)(B) and RM6(201)C.
The ground floor of Building D may project a maximum of 3.6 m into the front yard setback as shown on the revised Schedule RM6(201)(B). The ground floor of Building E may project a maximum of 6.6 m into the front yard setback as shown on the revised Schedule RM6(201)(B).

10. **By-law 992-2012 s.(3)(s) – Parking Requirements**
A minimum of 90 visitor parking spaces are required for Building D and Building E as shown on Schedule RM6(201)(B).
A minimum of 67 visitor parking spaces are proposed for Building D and Building E as shown on the revised Schedule RM6(201)(B).

11. **By-law 992-2012 s.(3)(x) - Other**
Excluding Parcel D, no person shall use any land or erect or use any building or structure unless the following municipal services are provided to the lot line and the following provisions are complied with: all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and all water mains and sanitary sewers, and appropriate appurtenances have been installed and are operational.
Excluding Parcel D, prior to the issuance of the first above-grade building permit the following municipal services must be provided to the lot line and the following provisions are complied with: all new public roads have been constructed to a minimum of base curb and base asphalt and are connected to an existing public highway; and all water mains and sanitary sewers, and appropriate appurtenances have been installed and are operational.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) Prior to the issuance of any above grade building permit, or at a later date at the discretion of the Chief Planner and Executive Director, City Planning, the owner shall enter into and register, an agreement pursuant to Section 45(9) of the Planning Act, satisfactory to the City Solicitor in consultation with City Planning Staff, securing:
 - a) Prior to Condominium registration of the first building of the northern portion of the development along York Mills Road, the following Transportation Demand Management measures be implemented:
 - i) Provide a cash contribution of \$50,000 to the Toronto Bike Share program for one bike share station (10 bicycles) to be located in a publicly accessible space;
 - ii) Provide two bicycle parking spaces at the main building entrances on York Mills Road and the new public road;
 - iii) Provide at least five parking spaces with an electrical vehicle charging facility;
 - iv) Provide a transportation information package with area information as part of the unit sale package;
 - v) Provide car-share, rideshare/taxi and additional quick delivery space signage on York Mills Road directing users to the space provided on the new public street;
 - vi) Provide two bicycle repair stations within the bike parking facilities one at-grade and one underground; and
 - vii) Provide a digital display facility in a publicly accessible and visible **location.**

SIGNATURE PAGE

File Number:	A0893/17NY	Zoning	RM6 (WAIVER)
Owner:	ALIT DON VALLEY PROPERTY INC ALIT DON VALLEY PROPERTY INC	Ward:	Don Valley East (34)
Agent:	ALIT DON VALLEY PROPERTY INC	Heritage:	Not Applicable
Property Address:	1213 YORK MILLS RD	Community:	North York
Legal Description:	PLAN 6325 BLK A INCLUDES 101-113 VALLEY WOODS RD		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0929/17NY	Zoning	MC(H)[ZR]
Owner(s):	CHOSEN PEOPLE MINISTRIES (CANADA)	Ward:	Eglinton-Lawrence (15)
Agent:	PARKER ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	225 BRIDGELAND AVE	Community:	North York
Legal Description:	PLAN 867 PT LOT 21		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct second floor addition to the existing one-storey building and basement office building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 33 (5)(ii), By-law No. 7625**
The maximum office space permitted is 0.5 of the lot area (345.43m²).
The proposed office space lot area is 0.6 (419.33m²).
- 2. Section 33(6)(a), By-law No. 7625**
The minimum required side yard setback is 4.5m.
The existing and proposed east side yard setback is 3.98m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0929/17NY	Zoning	MC(H)[ZR]
Owner:	CHOSEN PEOPLE MINISTRIES (CANADA)	Ward:	Eglinton-Lawrence (15)
Agent:	PARKER ARCHITECTS INC	Heritage:	Not Applicable
Property Address:	225 BRIDGELAND AVE	Community:	North York
Legal Description:	PLAN 867 PT LOT 21		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0907/17NY	Zoning	RD / R6 (ZZC)
Owner(s):	ELLEN ANN SCHWARTZ	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	203 COLDSTREAM AVE	Community:	North York
Legal Description:	PLAN M87 PT LOT 240		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.50.10.(1), By-law No. 569-2013**
A minimum of 75% of the required front yard landscaping must be soft.
The proposed front yard soft landscaping area is 63.4%.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is **48.20%** of the lot area.
- 3. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 5.58 m.
The proposed front yard setback is 0.78 m.
- 4. Chapter 10.50.50.10.(2), By-law No. 569-2013**
A corner lot must have a minimum of 60% of the side yard abutting a street for landscaping.
The proposed side yard landscape area is 53.8%
- 5. Chapter 10.20.40.10.(4), By-law No. 569-2013**
The permitted maximum permitted height is 7.2 m.
The proposed height is 9.04 m.
- 6. Section 14-A(5)(a), By-law No. 7625**
The minimum required front yard setback is 6.0 m.
The proposed front yard setback is 0.78 m.

7. **Section 14-a(5)(b), By-law No. 7625**
The minimum required rear yard setback is 9.5 m.
The proposed rear yard setback is 7.52 m.
8. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.0 m.
The proposed building height is 8.94 m.
9. **Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.3 m.
The proposed building length is **16.02m**.
10. **Section 6(24), By-law No. 7625**
The maximum width of an unexcavated deck in the rear that projects less than 2.1 m from the wall and is greater than 1 m above all points of the adjacent ground is 50% of the width of the dwelling.
The proposed deck is 7.69% of the width of the dwelling.
11. **Section 6(24)(a), By-law No. 7625**
All unexcavated porches or decks, attached or detached from the main building and located in the side and rear yard, shall not occupy more than 5% of the lot area or 56 m², whichever is the lesser.
The proposed deck occupies 7.6%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

ii) Submission of a complete application for permit to injure or remove privately owned trees.

2) The proposal be developed substantially in accordance with the site plan submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning

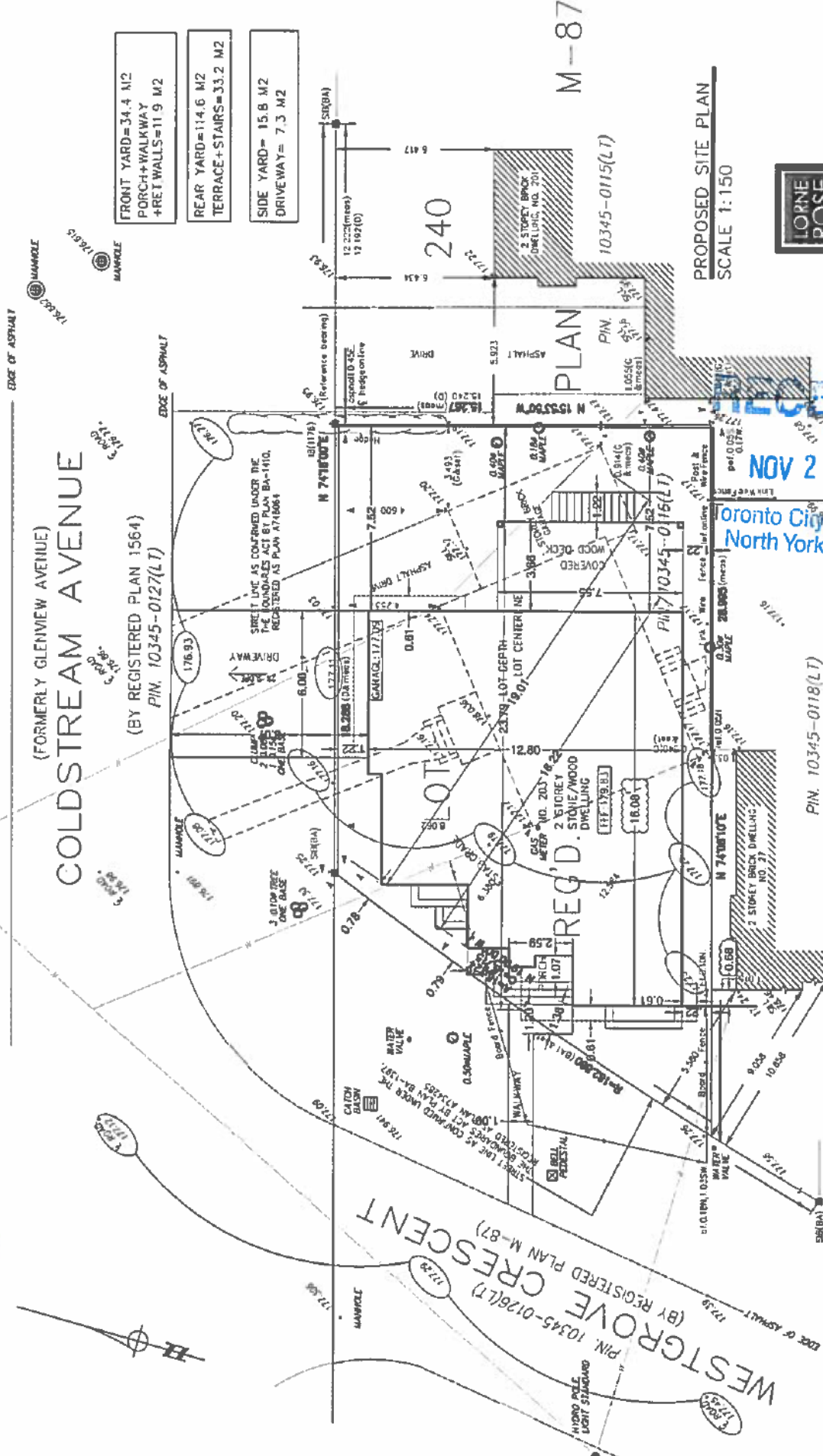
Division, November 21, 2017

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized; and

- 3) The applicant is to provide permanent opaque screening or fencing along the south edge of the proposed rear platform with a minimum height of 1.5 metres from the floor.

SURVEYOR'S REAL PROPERTY REPORT
 PART 1) PLAN OF
 PART OF LOT 240, REGISTERED PLAN M-87
 CITY OF TORONTO (FORSHYER THE CITY OF HIGHWAY 4 (CR))

203 COLDSTREAM AVE.
 NORTH YORK, ONTARIO
 PROJECT # 17-29



- FRONT YARD= 34.4 M²
 PORCH+WALKWAY
 +RET WALLS=11.9 M²
- REAR YARD=14.6 M²
 TERRACE+STAIRS=33.2 M²
- SIDE YARD= 15.8 M²
 DRIVEWAY= 7.3 M²

PROPOSED SITE PLAN
 SCALE 1:150



1729 - SITE 10-COA-R1
 NOVEMBER 6, 2017

RECEIVED
 NOV 21 2017
 Toronto City Planning
 North York District

BASED ON SURVEY INFORMATION PREPARED BY
 DONALD E. ROBERTS LTD., ONTARIO LAND SURVEYORS
 ON APRIL 30, 2009

WESTGROVE CRESCENT
 (BY REGISTERED PLAN M-87)
 PIN. 10345-0126(LT)

COLDSTREAM AVENUE
 (FORMERLY GLENVIEW AVENUE)
 (BY REGISTERED PLAN 1564)
 PIN. 10345-0127(LT)

M-87

10345-0115(LT)

PIN. 10345-0118(LT)

7.8 M² FIRE HYDRANT
 IN BOLT, LOWER PIN
 ELEV: 177.15E

HYDRO PILE
 LIGHT STANDARD

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

EDGE OF ASPHALT

SIGNATURE PAGE

File Number:	A0907/17NY	Zoning	RD / R6 (ZZC)
Owner:	ELLEN ANN SCHWARTZ	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE	Heritage:	Not Applicable
Property Address:	203 COLDSTREAM AVE	Community:	North York
Legal Description:	PLAN M87 PT LOT 240		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0931/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	HAMIDREZA SAFIPOOR NAGHMEH KASHEFPOUR	Ward:	Willowdale (24)
Agent:	IDA EVANGELISTA	Heritage:	Not Applicable
Property Address:	12 B BLITHFIELD AVE	Community:	North York
Legal Description:	PLAN M677 LOT 300		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.72m.

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.

3. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 3.78m² within 4.00m of the main front wall.

4. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all front exterior main walls is 7.50m.
The proposed height of the front exterior main walls is 8.64m.

5. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all rear exterior main walls is 7.50m.
The proposed height of the rear exterior main walls is 8.04m.

6. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.21% of the lot area.

7. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.72m.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.

9. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.09m.

10. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.94m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.72m.

3. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 3.78m² within 4.00m of the main front wall.

4. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all front exterior main walls is 7.50m.
The proposed height of the front exterior main walls is 8.64m.

5. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all rear exterior main walls is 7.50m.
The proposed height of the rear exterior main walls is 8.04m.

7. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.72m.

9. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.09m.

10. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.94m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

6. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is **32.00%** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.50m.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.50m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583; and

2) The proposal be developed substantially in accordance with the south elevation drawing submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, November 28, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0931/17NY	Zoning	RD/R4 [ZZC]
Owner:	HAMIDREZA SAFIPOOR NAGHMEH KASHEFPOUR	Ward:	Willowdale (24)
Agent:	IDA EVANGELISTA	Heritage:	Not Applicable
Property Address:	12 B BLITHFIELD AVE	Community:	North York
Legal Description:	PLAN M677 LOT 300		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0934/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	SAMAN SAFIDKAR- DEZFOOLI ALI MOHAMMAD GHAEMI	Ward:	Willowdale (24)
Agent:	INROADS PLANNING CONSTULTANTS	Heritage:	Not Applicable
Property Address:	45 HEATHVIEW AVE	Community:	North York
Legal Description:	PLAN 5596 LOT 71		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing garage will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed north side yard setback is **1.71m**.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot converge is **32.4%** of the lot area.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0 m.
The proposed building length is 17.38 m.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 8.13 m.
- 5. Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 17.38 m.

6. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.47 m.
7. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.91 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0934/17NY	Zoning	RD / R4 (ZZC)
Owner:	SAMAN SAFIDKAR- DEZFOOLI	Ward:	Willowdale (24)
Agent:	ALI MOHAMMAD GHAEMI INROADS PLANNING CONSTULTANTS	Heritage:	Not Applicable
Property Address:	45 HEATHVIEW AVE	Community:	North York
Legal Description:	PLAN 5596 LOT 71		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0936/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	MINHUI WANG JINGHUI TIAN	Ward:	Don Valley East (33)
Agent:	ALERA ENGINEERING AND CONSTRUCTION INC	Heritage:	Not Applicable
Property Address:	27 DEERFORD RD	Community:	North York
Legal Description:	PLAN M1006 LOT 123		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 12.21m.

The proposed front yard setback is **11.25m**.

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.50m.

3. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.50m.

4. Chapter 10.5.40.50.(2), By-law No. 569-2013

A deck, porch, balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks for the zone; 1.80m.

The proposed deck is setback 1.50m from the west side lot line.

5. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

6. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.22m.

7. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is **17.67m**.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.50m.

9. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.50m.

10. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.87m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.50m.

3. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.50m.

4. Chapter 10.5.40.50.(2), By-law No. 569-2013

A deck, porch, balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks for the zone; 1.80m.

The proposed deck is setback 1.50m from the west side lot line.

5. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

6. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.22m.

7. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is **17.67m**.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.50m.

9. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is 1.50m.

10. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.87m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 12.21m.

The proposed front yard setback is **11.49m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0936/17NY	Zoning	RD/R4 [ZZC]
Owner:	MINHUI WANG JINGHUI TIAN	Ward:	Don Valley East (33)
Agent:	ALERA ENGINEERING AND CONSTRUCTION INC	Heritage:	Not Applicable
Property Address:	27 DEERFORD RD	Community:	North York
Legal Description:	PLAN M1006 LOT 123		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0937/17NY	Zoning:	RD / R6 (BLD)
Owner(s):	WEI YI RUJIE ZHANG	Ward:	Eglinton-Lawrence (16)
Agent:	CORICH INTERNATIONAL INC	Heritage:	Not Applicable
Property Address:	468 COLDSTREAM AVE	Community:	North York
Legal Description:	PLAN 1564 PT LOT 7		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new deck, balcony and basement walk-out in the rear of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m².
The proposed area of the platform at or above the second storey is 14.5 m².
- 2. Chapter 10.5.40.50.(2), By-law No. 569-2013**
A platform without main walls, such as a deck, attached to or within 0.3 m of a building must comply with the required minimum side yard setbacks for the zone; 1.2 m.
The proposed rear deck side yard setback is 0.91 m.
- 3. Section 5(24), By-law No. 7625**
The maximum projection of an unexcavated deck in the rear is 2.1 m from the wall if it is greater than 1 m above all points of the adjacent ground.
The proposed deck projects 2.92 m.
- 4. Section 14-A(10), By-law No. 7625**
The maximum permitted balcony area is 3.8 m².
The proposed balcony area is 14.5 m².
- 5. Section 6(9)(k), By-law No. 7625**
The maximum permitted projection of a balcony is 1.6 m from the wall.
The rear balcony projects 2.92 m.

6. Section 6(9)(b), By-law No. 7625

The maximum projection of a stair in the front and rear yard is 2.1 m.

The proposed rear deck stairs project 2.3 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. Chapter 10.5.40.50.(2), By-law No. 569-2013

A platform without main walls, such as a deck, attached to or within 0.3 m of a building must comply with the required minimum side yard setbacks for the zone; 1.2 m.

The proposed rear deck side yard setback is 0.91 m.

3. Section 5(24), By-law No. 7625

The maximum projection of an unexcavated deck in the rear is 2.1 m from the wall if it is greater than 1 m above all points of the adjacent ground.

The proposed deck projects 2.92 m.

5. Section 6(9)(k), By-law No. 7625

The maximum permitted projection of a balcony is 1.6 m from the wall.

The rear balcony projects 2.92 m.

6. Section 6(9)(b), By-law No. 7625

The maximum projection of a stair in the front and rear yard is 2.1 m.

The proposed rear deck stairs project 2.3 m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. Chapter 10.20.40.50.(1), By-law No. 569-2013

The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m².

The proposed area of the platform at or above the second storey is **10.00m²**.

4. Section 14-A(10), By-law No. 7625

The maximum permitted balcony area is 3.8 m².

The proposed balcony area is **10.00m²**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0937/17NY	Zoning	RD / R6 (BLD)
Owner:	WEI YI RUJIE ZHANG	Ward:	Eglinton-Lawrence (16)
Agent:	CORICH INTERNATIONAL INC	Heritage:	Not Applicable
Property Address:	468 COLDSTREAM AVE	Community:	North York
Legal Description:	PLAN 1564 PT LOT 7		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0938/17NY	Zoning	RD (f15.0; a550) (x5)(ZR)
Owner(s):	BRANDON MCMULLEN	Ward:	Don Valley West (25)
Agent:	FAUSTO CORTESE ARCHITECT	Heritage:	Not Applicable
Property Address:	62 YORKMINSTER RD	Community:	North York
Legal Description:	PLAN 3563 LOT 240		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new pool pavilion in the rear yard.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.60.40.(2), Zoning By-law No. 569-2013**
The maximum height of an ancillary building or structure is 4.0 m.
The proposed height of the ancillary structure is 4.265 m.
- Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
The permitted maximum lot coverage is 35 % of the lot area.
The proposed lot coverage is 36.97 % of the lot area.
- Chapter 10.5.50.10.(3), Zoning By-law No. 569-2013**
A lot with a residential building, other than an apartment building, must have a minimum of 50 % of the rear yard for soft landscaping, if the lot frontage is greater than 6.0 m.
The proposed rear yard landscaping area is 35.59 %.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The property being developed substantially in accordance with the site plan, dated August 2017, attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0938/17NY	Zoning	RD (f15.0; a550) (x5)(ZR)
Owner:	BRANDON MCMULLEN	Ward:	Don Valley West (25)
Agent:	FAUSTO CORTESE ARCHITECT	Heritage:	Not Applicable
Property Address:	62 YORKMINSTER RD	Community:	North York
Legal Description:	PLAN 3563 LOT 240		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0939/17NY	Zoning	RD/R6 [ZZC]
Owner(s):	DOGAN ASLANGIRI	Ward:	Eglinton-Lawrence (16)
Agent:	ECO-ELEGANT INC	Heritage:	Not Applicable
Property Address:	12 BURNCREST DR	Community:	North York
Legal Description:	PLAN 1669 W PT LOT 2		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area has 0.00m² within 4.00m of the main front wall.

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 36.73% of the lot area.

3. Section 14-A(9), By-law No. 7625

The maximum permitted building length is 15.30m.
The proposed building length is 18.60m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.
- ii) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0939/17NY	Zoning	RD/R6 [ZZC]
Owner:	DOGAN ASLANGIRI	Ward:	Eglinton-Lawrence (16)
Agent:	ECO-ELEGANT INC	Heritage:	Not Applicable
Property Address:	12 BURNCREST DR	Community:	North York
Legal Description:	PLAN 1669 W PT LOT 2		

Nazila Atarodi (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0940/17NY	Zoning	RD/R6 [ZZC]
Owner(s):	TAMER DURMUS	Ward:	Eglinton-Lawrence (16)
Agent:	ECO-ELEGANT INC	Heritage:	Not Applicable
Property Address:	14 BURNCREST DR	Community:	North York
Legal Description:	PLAN 1669 E PT LOT 16		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area has 0.00m² within 4.00m of the main front wall.

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 36.50% of the lot area.

3. Section 14-A(9), By-law No. 7625

The maximum permitted building length is 15.30m.
The proposed building length is 18.60m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0940/17NY	Zoning	RD/R6 [ZZC]
Owner:	TAMER DURMUS	Ward:	Eglinton-Lawrence (16)
Agent:	ECO-ELEGANT INC	Heritage:	Not Applicable
Property Address:	14 BURNCREST DR	Community:	North York
Legal Description:	PLAN 1669 E PT LOT 16		

Nazila Atarodi (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0941/17NY	Zoning	R6/RD (f12.0; a370) (x1463)(ZR)
Owner(s):	BELA BALAZSOVITS	Ward:	Eglinton-Lawrence (16)
Agent:	BANANARCH DESIGN AND BUILD	Heritage:	Not Applicable
Property Address:	524 CRANBROOKE AVE	Community:	North York
Legal Description:	PLAN 1721 PT LOT 217		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**
A minimum of 10 m² of the first floor area must be within 4 m of the front wall.
There is 0 m² proposed within 4 m of the front wall.
- 2. Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 8.43 m.
- 3. Chapter 10.20.40.20.(1), Zoning By-law No. 569-2013**
In the RD zone with a minimum required lot frontage of 18.0 m or less, the permitted maximum building length for a detached house is 17.0 m.
The proposed building length is **17.61 m**.
- 4. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum lot coverage is 30 %.
The proposed lot coverage is **39 %** of the lot area.
- 5. Section 14-A(9), Zoning By-law No. 7625**
The maximum permitted building length is 15.3 m.
The proposed building length is **17.61 m**.

6. **Section 14-A(8), Zoning By-law No. 7625**
The maximum permitted building height is 8 m.
The proposed building height is 10.55 m.
7. **Section 6(9)(f), Zoning By-law No. 7625**
The maximum permitted projection of a porch is 2.1 m from the front wall.
The proposed front porch projection is **2.45 m**.
8. **Section 6(8), Zoning By-law No. 7625**
Exterior stairs and wheelchair ramps shall be permitted to project into the minimum front yard setback and minimum rear yard setback not more than 2.1 m.
The front stairs project 3.01 m into the front yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

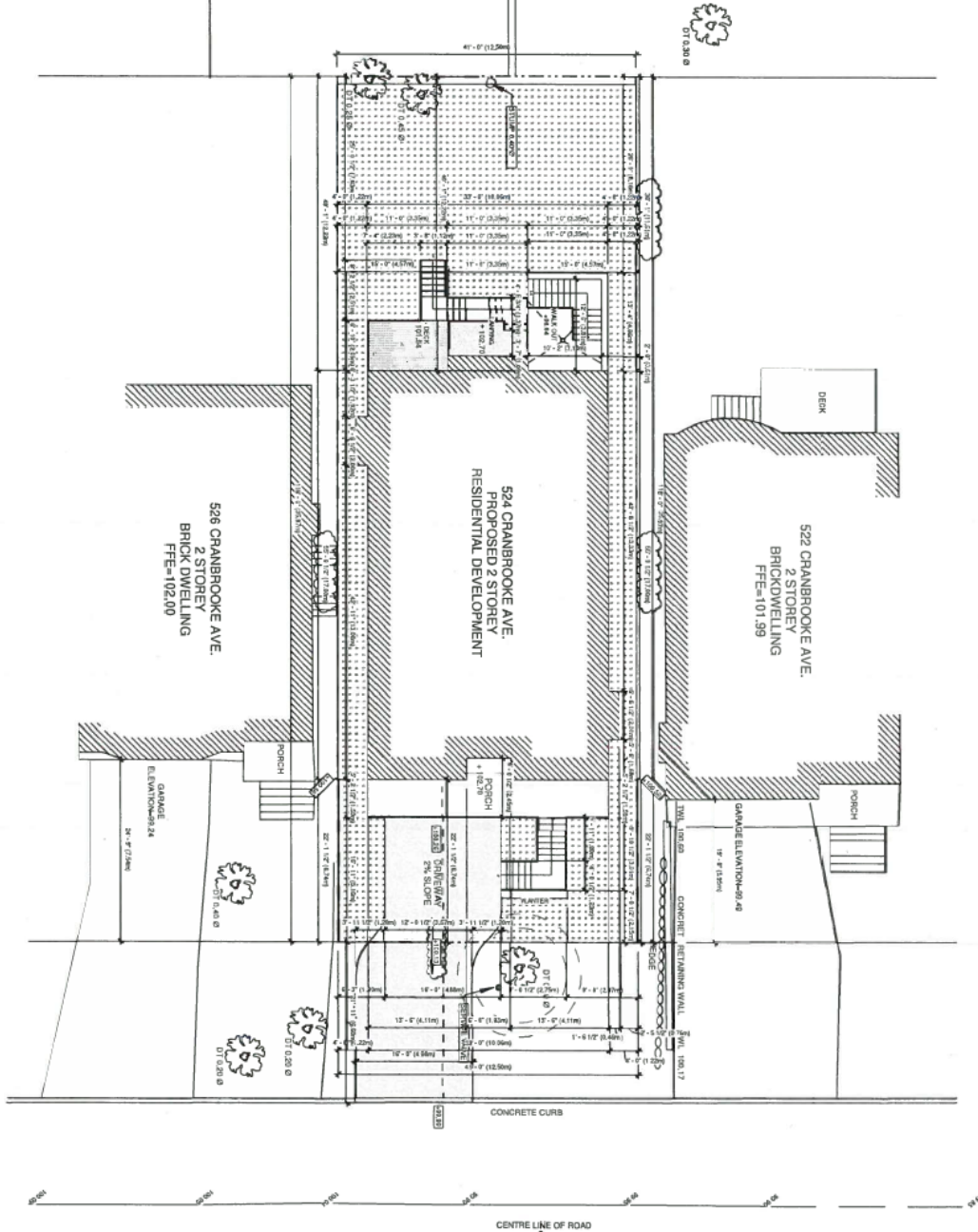
This decision is subject to the following condition(s):

- 1) The proposal be constructed substantially in accordance with the revised site plan, east and west elevations submitted to the Committee of Adjustment, date stamped received by the City Planning Division on November 24, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) The proposal be constructed substantially in accordance with the north and south elevations attached to this decision.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

RECEIVED

NOV 24 2017

Toronto City Planning
North York District



CRANBROOKE AVENUE

(BY REGISTERED PLAN 1721, P.N. 010195-0101 (L1))
(AS CONFIRMED BY PLAN BA-287)

PROJECT:	PROPOSED DEVELOPMENT AT: 524 CRANBROOKE AVE. TORONTO, ON
TEL. (416) 392-4141	WWW.BANANARCH.COM
DESIGNER:	BANANARCH design + build
DATE:	SEP 2017
SCALE:	PROJECTING
DRAWING TITLE:	SITE PLAN
DRAWING NO.:	A101

NO.	DATE	DESCRIPTION
1	SEP 2017	PRELIMINARY DESIGN
2	SEP 2017	DESIGN FOR PERMIT
3	SEP 2017	DESIGN FOR CONSTRUCTION
4	SEP 2017	FINAL DESIGN
5	SEP 2017	CONSTRUCTION

BANANARCH
design + build

TEL. (416) 392-4141
WWW.BANANARCH.COM

PROJECT: PROPOSED DEVELOPMENT AT 524 CRANBROOKE AVE. TORONTO, ON

DATE: SEP 2017

SCALE: PROJECTING

DRAWING TITLE: SITE PLAN

DRAWING NO.: A101

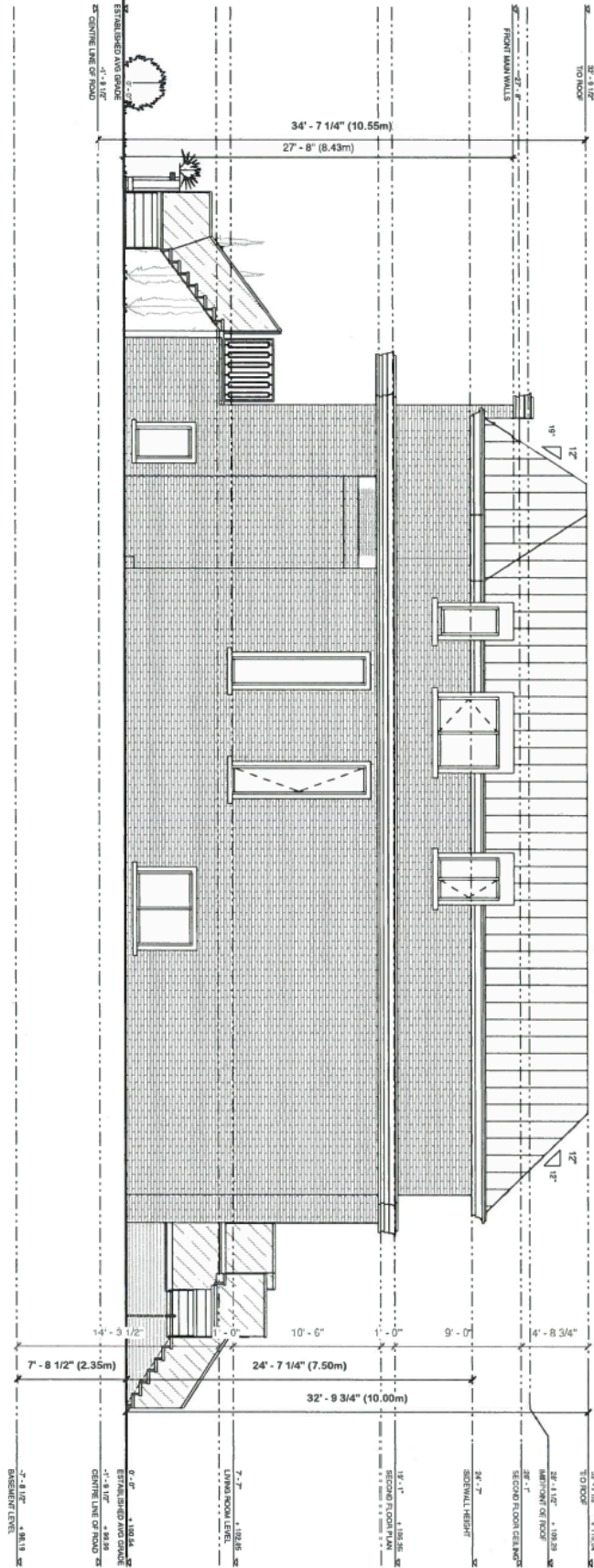
PROJECT NORTH

RECEIVED

NOV 24 2017

Toronto City Planning
North York District

A SHED ELEVATION EAST
SCALE 1/8" = 1'-0"



PROJECT
NORTH

DESIGNER: BANANARCH
PROJECT: PROPOSED DEVELOPMENT AT 534 CRANBROOK AVE, TORONTO, ON
DATE: 07/2017

NO.	DATE	DESCRIPTION	REVISION/ SHEET STATUS
1	07/2017	ISSUED FOR PERMIT	
2	07/2017	ISSUED FOR PERMIT	
3	07/2017	ISSUED FOR PERMIT	
4	07/2017	ISSUED FOR PERMIT	
5	07/2017	ISSUED FOR PERMIT	
6	07/2017	ISSUED FOR PERMIT	

BANANARCH
design + build

TEL: 416-514-8888
97-BANANARCH.CM

PROJECT: PROPOSED DEVELOPMENT AT 534 CRANBROOK AVE, TORONTO, ON

DATE: 07/2017

SCALE: PROJECT NO. 1/8" = 1'-0"

PROJECT TITLE: SHED ELEVATION EAST ELEVATION A202

PROJECT NORTH

THIS DRAWING IS THE PROPERTY OF BANANARCH INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BANANARCH INC. ALL RIGHTS ARE RESERVED. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DRAWING IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. BANANARCH INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. BANANARCH INC. IS NOT A PROFESSIONAL ENGINEER OR ARCHITECT. THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. BANANARCH INC. IS NOT A PROFESSIONAL ENGINEER OR ARCHITECT. THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A CONTRACT.

FOR THE RECORD, THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. BANANARCH INC. IS NOT A PROFESSIONAL ENGINEER OR ARCHITECT. THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. BANANARCH INC. IS NOT A PROFESSIONAL ENGINEER OR ARCHITECT. THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A CONTRACT.

FOR THE RECORD, THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. BANANARCH INC. IS NOT A PROFESSIONAL ENGINEER OR ARCHITECT. THIS DRAWING IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A CONTRACT.

NO.	DATE	DESCRIPTION	REVISIONS/REVISED BY
1	2023.07.15	ISSUED FOR PERMIT REVIEW	MM
2	2023.07.15	ISSUED FOR PERMIT REVIEW	MM
3	2023.07.15	ISSUED FOR PERMIT REVIEW	MM
4	2023.07.15	ISSUED FOR PERMIT REVIEW	MM
5	2023.07.15	ISSUED FOR PERMIT REVIEW	MM

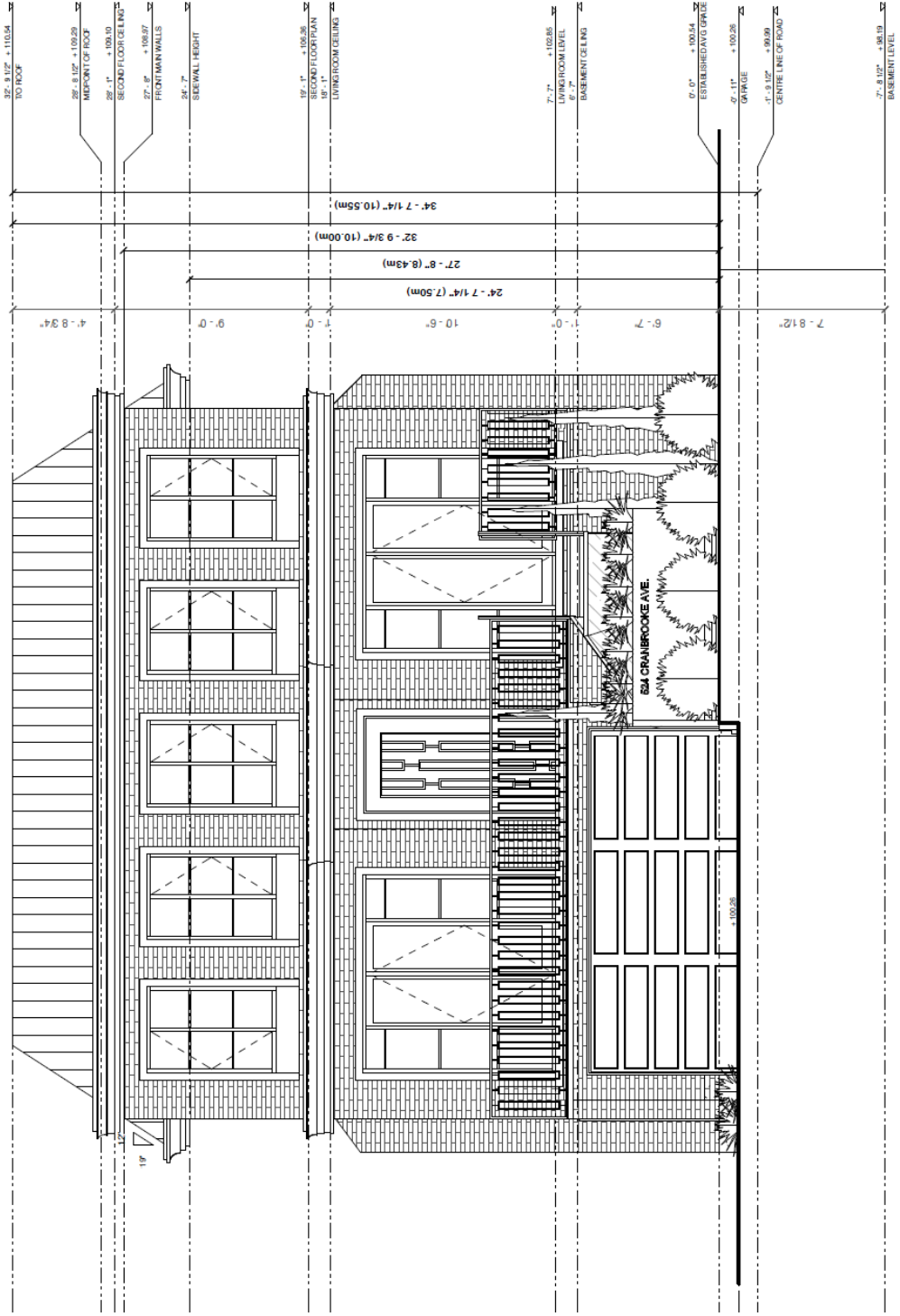
BANANARCH
design + build

100 BAY ST. 14th FLOOR
TORONTO, ONT. M5H 2R4
416-593-8888
#BANANARCH

PROJECT: PROPOSED DEVELOPMENT AT:
524 CRANBROOKE AVE.
TORONTO, ON

DRAWN BY:	MM	DATE:	SEP 2023
CHECKED BY:	NA		
SCALE:	3/16" = 1'-0"	PROJECT NO.:	F-031

DRAWING TITLE: FRONT ELEVATION
DRAWING NO.: ACCO



A FRONT ELEVATION (SOUTH)
SCALE 3/16" = 1'-0"

SIGNATURE PAGE

File Number:	A0941/17NY	Zoning	R6/RD (f12.0; a370) (x1463)(ZR)
Owner:	BELA BALAZSOVITS	Ward:	Eglinton-Lawrence (16)
Agent:	BANANARCH DESIGN AND BUILD	Heritage:	Not Applicable
Property Address:	524 CRANBROOKE AVE	Community:	North York
Legal Description:	PLAN 1721 PT LOT 217		

Nazila Atarodi (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0943/17NY	Zoning	RM / R2A (BLD)
Owner(s):	SUTHERLAND RUSSELL PAUL SUTHERLAND ALISON JANE	Ward:	Don Valley West (26)
Agent:	BRIEN SPENCER	Heritage:	Not Applicable
Property Address:	219 DONLEA DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 343		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached accessory structure in the rear of the property. The existing detached accessory structure will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.80.30.40.(1) by-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is **42.10%** of the lot area.
- Chapter 10.50.60.20.(6), By-law No. 569-2013**
The minimum side yard setback for an ancillary building containing a parking space where it is a corner lot, and vehicle access is from the street abutting the side lot line, is 6.0 m.
The proposed side yard setback for the ancillary building is **2.51 m**.
- Chapter 10.50.60.70(1), By-law No. 569-2013**
The total area on a lot covered by an ancillary building or structure may not exceed 10% of the lot area.
The proposed ancillary building covers **10.6%** of the lot area.
- Section 6.4.3, By-law No. 1916**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is **42.10%** of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0943/17NY	Zoning	RM / R2A (BLD)
Owner:	SUTHERLAND RUSSELL PAUL	Ward:	Don Valley West (26)
Agent:	SUTHERLAND ALISON JANE BRIEN SPENCER	Heritage:	Not Applicable
Property Address:	219 DONLEA DR	Community:	East York
Legal Description:	PLAN 1925 PT LOT 343		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0944/17NY	Zoning	R1 Z0.6/RD (f9.0; d0.6) (x1406)(ZR)
Owner(s):	ASAL IRANMEHR ARASH MESBAH	Ward:	Eglinton-Lawrence (16)
Agent:	ARASH MESBAH	Heritage:	Not Applicable
Property Address:	648 ORIOLE PKWY	Community:	Toronto
Legal Description:	PLAN M380 PT LOT 68		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
B) The required minimum side yard setback is 0.9 m where the required minimum lot frontage is 6.0 m to less than 12.0 m.
The proposed south side yard setback is **0.51m**.
- 2. Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**
A) The permitted maximum height of a building or structure is 7.2 m.
The proposed height of the building is 11.11 m.
- 3. Chapter 10.20.40.10.(3), Zoning By-law No. 569-2013**
A) The permitted maximum number of storeys is 2.
The proposed number of storeys is 3.
- 4. Chapter 10.20.40.50.(1), Zoning By-law No. 569-2013**
B) The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m².
The proposed area of the rear platform at above the second storey is 19.05 m², and the proposed area of the front platform at above the second storey is 6.49 m².
- 5. Chapter 10.20.40.40.(1), Zoning By-law No. 569-2013**
A) The permitted maximum floor space index is 0.6 times the area of the lot: 184.36 m².
The proposed floor space index is **0.95** times the area of the lot.

6. **Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**
(D) On a lot with a detached house, semi-detached house, duplex, triplex, fourplex or townhouse, a minimum of 75 % of the required front yard landscaping must be soft landscaping; 18.99 m².
The proposed front yard soft landscaping area is 61 %: 15.46 m².
7. **Section 6(3) Part II 3.B(II), Zoning By-law No. 438-86**
The by-law requires a detached house in a R1 district to have a minimum side lot line setback of 0.9 m for that portion of the building not exceeding 17.0 m in depth, where the side wall contains openings.
The proposed south side lot line setback is **0.51 m**.
8. **Section 6(3) Part II 3.B(II), Zoning By-law No. 438-86**
The by-law requires a detached house in an R1 district, to have a minimum side lot line setback of 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.
The proposed side lot line setback is 1.23 m on the north side.
9. **Section 6(3) Part II 3.B(II), Zoning By-law No. 438-86**
The by-law requires a detached house in an R1 district, to have a minimum side lot line setback of 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.
The proposed side lot line setback is 0.3 m on the south side.
10. **Section 6(3) Part II 3(II), Zoning By-law No. 438-86**
The by-law requires that the proposed building be located no closer than 1.2 m to the portion of the side wall of an adjacent building.
The proposed building is located 0.84 m from the adjacent building on the south side.
11. **Section 4(2), Zoning By-law No. 438-86**
The maximum height of the building is 10 m measured from the average grade of the lowest side lot line (north lot line elevation 178.23).
The proposed building height is 10.69 m.
12. **Section 6(3) Part I 1, Zoning By-law No. 438-86**
The by-law limits the residential gross floor area to 0.6 times the area of the lot: 184.36 m².
The proposed floor space index is **0.95** times the area of the lot.
13. **Section 6(3) Part IV 3(II), Zoning By-law No. 438-86**
The by-law does not permit an integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line.
The proposed integral garage is below grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
B) The required minimum side yard setback is 0.9 m where the required minimum lot frontage is 6.0 m to less than 12.0 m.
The proposed south side yard setback is 0.3 m.
2. **Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**
A) The permitted maximum height of a building or structure is 7.2 m.
The proposed height of the building is 11.11 m.
3. **Chapter 10.20.40.10.(3), Zoning By-law No. 569-2013**
A) The permitted maximum number of storeys is 2.
The proposed number of storeys is 3.
4. **Chapter 10.20.40.50.(1), Zoning By-law No. 569-2013**
B) The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m².
The proposed area of the rear platform at above the second storey is 19.05 m², and the proposed area of the front platform at above the second storey is 6.49 m².
6. **Chapter 10.5.50.10.(1), Zoning By-law No. 569-2013**
(D) On a lot with a detached house, semi-detached house, duplex, triplex, fourplex or townhouse, a minimum of 75 % of the required front yard landscaping must be soft landscaping; 18.99 m².
The proposed front yard soft landscaping area is 61 %: 15.46 m².
7. **Section 6(3) Part II 3.B(II), Zoning By-law No. 438-86**
The by-law requires a detached house in a R1 district to have a minimum side lot line setback of 0.9 m for that portion of the building not exceeding 17.0 m in depth, where the side wall contains openings.
The proposed south side lot line setback is **0.51 m**.
8. **Section 6(3) Part II 3.B(II), Zoning By-law No. 438-86**
The by-law requires a detached house in an R1 district, to have a minimum side lot line setback of 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.
The proposed side lot line setback is 1.23 m on the north side.
9. **Section 6(3) Part II 3.B(II), Zoning By-law No. 438-86**
The by-law requires a detached house in an R1 district, to have a minimum side lot line setback of 7.5 m from the side lot line for that portion of the building exceeding 17.0 m in depth.
The proposed side lot line setback is 0.3 m on the south side.
10. **Section 6(3) Part II 3(II), Zoning By-law No. 438-86**
The by-law requires that the proposed building be located no closer than 1.2 m to the portion of the side wall of an adjacent building.
The proposed building is located 0.84 m from the adjacent building on the south side.
11. **Section 4(2), Zoning By-law No. 438-86**
The maximum height of the building is 10 m measured from the average grade of the lowest side lot line (north lot line elevation 178.23).
The proposed building height is 10.69 m.

13. Section 6(3) Part IV 3(II), Zoning By-law No. 438-86

The by-law does not permit an integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line.

The proposed integral garage is below grade.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

5. Chapter 10.20.40.40.(1), Zoning By-law No. 569-2013

A) The permitted maximum floor space index is 0.6 times the area of the lot: 184.36 m².

The proposed floor space index is **0.92** times the area of the lot.

12. Section 6(3) Part I 1, Zoning By-law No. 438-86

The by-law limits the residential gross floor area to 0.6 times the area of the lot: 184.36 m².

The proposed floor space index is **0.92** times the area of the lot.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The front wall of the proposed third storey be setback at least 3.00m from the front main wall of the dwelling;
- 2) Permeable pavers be used for the proposed driveway; and

The driveway maintains a positive slope from the street to the entry of the integral garage.

SIGNATURE PAGE

File Number:	A0944/17NY	Zoning	R1 Z0.6/RD (f9.0; d0.6) (x1406)(ZR)
Owner:	ASAL IRANMEHR ARASH MESBAH	Ward:	Eglinton-Lawrence (16)
Agent:	ARASH MESBAH	Heritage:	Not Applicable
Property Address:	648 ORIOLE PKWY	Community:	Toronto
Legal Description:	PLAN M380 PT LOT 68		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0945/17NY	Zoning	R3 [ZZC]
Owner(s):	SHAHIN AKHAVAN	Ward:	Don Valley West (25)
Agent:	ARANI ARCHITECTURE	Heritage:	Not Applicable
Property Address:	40 PLYMBRIDGE CRES	Community:	North York
Legal Description:	PLAN 2478 LOT 11 E PT LOT 10		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is **1.50m**.

2. Section 12.4(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is **1.50m**.

3. Section 12.5A, By-law No. 7625

The maximum permitted building length is 16.80m.
The proposed building length is **17.30m**.

4. Section 12.7, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.90m.

5. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 2.31m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

SIGNATURE PAGE

File Number:	A0945/17NY	Zoning	R3 [ZZC]
Owner:	SHAHIN AKHAVAN	Ward:	Don Valley West (25)
Agent:	ARANI ARCHITECTURE	Heritage:	Not Applicable
Property Address:	40 PLYMBRIDGE CRES	Community:	North York
Legal Description:	PLAN 2478 LOT 11 E PT LOT 10		

Bruce Mullock (signed)

Nazila Atarodi (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0946/17NY	Zoning	RD / R4 (WAIVER)
Owner(s):	WANFENG CUI XIUGUO ZHANG	Ward:	Willowdale (24)
Agent:	CHRISTINE PATTERSON	Heritage:	Not Applicable
Property Address:	57 WEATHERSTONE CRES	Community:	North York
Legal Description:	PLAN 7800 LOT 229		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one storey addition (unheated sunroom) to the rear of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.20.(2), By-law No. 569-2013**
The permitted maximum building length is 17.0 m.
The proposed building length is 17.53 m.
- Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 17.53 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the site plan and elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, November 28, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

SIGNATURE PAGE

File Number:	A0946/17NY	Zoning	RD / R4 (WAIVER)
Owner:	WANFENG CUI XIUGUO ZHANG	Ward:	Willowdale (24)
Agent:	CHRISTINE PATTERSON	Heritage:	Not Applicable
Property Address:	57 WEATHERSTONE CRES	Community:	North York
Legal Description:	PLAN 7800 LOT 229		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0948/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	OMID ESHAGHI	Ward:	Willowdale (24)
Agent:	REZA RAD	Heritage:	Not Applicable
Property Address:	6 GREENYARDS DR	Community:	North York
Legal Description:	PLAN 5548 LOT 3		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 31.60% of the lot area.

2. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.10m.

3. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 18.80m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 31.60% of the lot area.

2. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.10m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

3. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 18.80m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0948/17NY	Zoning	RD/R4 [ZZC]
Owner:	OMID ESHAGHI	Ward:	Willowdale (24)
Agent:	REZA RAD	Heritage:	Not Applicable
Property Address:	6 GREENYARDS DR	Community:	North York
Legal Description:	PLAN 5548 LOT 3		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0949/17NY	Zoning	RD / R6(20) (ZZC)
Owner(s):	DIANA ILIC-KARBI JOHN KARBI	Ward:	Eglinton-Lawrence (16)
Agent:	JOHN KARBI	Heritage:	Not Applicable
Property Address:	50 MARMION AVE	Community:	North York
Legal Description:	PLAN 2370 PT LOT 206		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling and detached garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor area must be within 4 m of the front main wall.
There is 4.86 m² proposed within 4 m of the front main wall.
- 2. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 6.32 m.
The proposed front yard setback is 5.65 m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length is 17.0 m.
The proposed building length is 18.0 m.
- 4. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.2 m.
The proposed west side yard setback is 0.91 m.
- 5. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 51% of the lot area.

6. **Chapter 10.5.60.20.(6), By-law No. 569-2013**
The minimum side yard setback for an ancillary building containing a parking space where it is on a corner lot, and vehicle access is from the street abutting the side lot line, is 6.0 m.
The proposed east side yard setback for the ancillary building is 1.34 m.
7. **Section 14-A(5)c, By-law No. 7625**
The minimum required west side yard setback is 1.2 m.
The proposed west side yard setback is 0.91 m.
8. **Section 14-A(5)(b), By-law No. 7625**
The minimum required rear yard setback is 9.5 m.
The proposed rear yard setback is 1 m.
9. **Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.3 m.
The proposed building length is 25.83 m.
10. **Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 8.86 m.
11. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.765 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0949/17NY	Zoning	RD / R6(20) (ZZC)
Owner:	DIANA ILIC-KARBI JOHN KARBI	Ward:	Eglinton-Lawrence (16)
Agent:	JOHN KARBI	Heritage:	Not Applicable
Property Address:	50 MARMION AVE	Community:	North York
Legal Description:	PLAN 2370 PT LOT 206		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0950/17NY	Zoning	R1B/RD (f12.0; a370; d0.6)(ZR)
Owner(s):	ANGELO GASPAROTTO	Ward:	Don Valley West (26)
Agent:	SOLARES ARCHITECTURE INC	Heritage:	Not Applicable
Property Address:	39 DIVADALE DR	Community:	East York
Legal Description:	PLAN 3110 LOT 108 PT LOT 107		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5) , Zoning By-law No. 569-2013**
A minimum of 10 m² of the First Floor area must be within 4 m of the front wall.
There is zero m² proposed within 4 m of the front wall.
(Note that the proposed mudroom is considered the first floor because it is closest in elevation to the elevation of established grade.)
- 2. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
(C) The required minimum side yard setback is 1.2 m where the required minimum lot frontage is 12.0 m to less than 15.0 m.
The proposed west side yard setback is 0.6 m.
- 3. Chapter 10.20.40.70.(3), Zoning By-law No. 569-2013**
(C) The required minimum side yard setback is 1.2 m where the required minimum lot frontage is 12.0 m to less than 15.0 m.
The proposed east side yard setback is 0.6 m.
- 4. Chapter 10.20.40.10.(1), Zoning By-law No. 569-2013**
(A) The permitted maximum height of a building or structure is 8.5 m.
The proposed height of the building is 8.8 m.

5. **Chapter 10.20.40.10.(2), Zoning By-law No. 569-2013**
 (B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.0 m.
 The proposed height of the side exterior main walls facing a side lot line is 7.24 m.
6. **Chapter 10.5.40.60.(5), Zoning By-law No. 569-2013**
 (B)(ii) A chimney breast, on a building, may encroach into a required building setback a maximum of 0.6 m, if it is no closer to a lot line than 0.3 m.
 The proposed chimney encroaches 0.9 m into the required west side yard setback and is 0.3 m from the west side lot line.
7. **Chapter 10.5.40.60.(8), Zoning By-law No. 569-2013**
 (A) Wall mounted vents, pipes, or utility equipment may encroach 0.6 m into a required building setback if it is no closer to a lot line than 0.3 m.
 The proposed fire shutters encroach 0.75 m into the required west side yard setback and is 0.45 m from the west side lot line.
8. **Section 6.3.3, Zoning By-law No. 1916**
 The minimum required side yard setback is 0.9 m.
 The proposed west side yard setback is 0.6 m to the dwelling and rear deck.
9. **Section 6.3.3, Zoning By-law No. 1916**
 The minimum required side yard setback is 0.9 m.
 The proposed east side yard setback is 0.6 m to the dwelling.
10. **Section 6.3.3, Zoning By-law No. 1916**
 The maximum permitted building height is 8.5 m.
 The proposed building height is 8.8 m.
11. **Section 5.7, Zoning By-law No. 1916**
 Chimney breasts shall not project more than 0.46 m into any required side yard.
 The proposed chimney breast encroaches 0.6 m into the required west side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

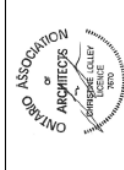
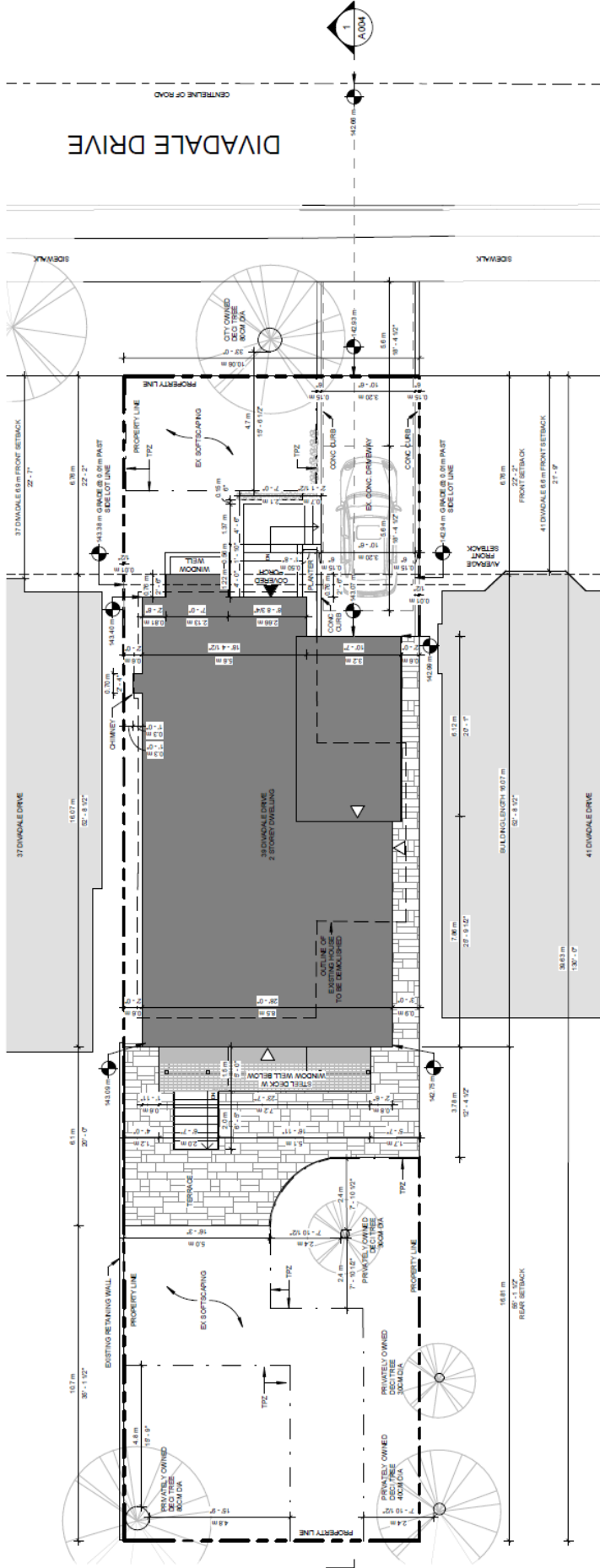
This decision is subject to the following condition(s):

1. The property being developed substantially in accordance with the site plan attached to this decision, dated October 25, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS AND NOTES FOR ALL MEASUREMENTS. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REGULATIONS. ALL DIMENSIONS AND CONDITIONS ARE APPROXIMATE. CONSULT WITH THE APPROPRIATE CONSULTANT FOR ANY INFORMATION NOT SHOWN ON THIS DRAWING.

LEGAL DESCRIPTION	EXISTING	PROPOSED
38 DIVADALE DRIVE 2 STOREY DWELLING	15.00 m	15.00 m
LOT FRONTAGE	22.00 m	22.00 m
LOT AREA	388.33 m ²	388.33 m ²
BUILDING AREA	127.03 m ²	127.03 m ²
21. COVERED	0.00 m ²	0.00 m ²
22. TERRACE	2.44 m ²	2.44 m ²
23. PORCH	2.00 m ²	2.00 m ²
24. DECK	2.00 m ²	2.00 m ²
25. BALCONY	4.70 m ²	4.70 m ²
BUILDING DEPTH	15.00 m	15.00 m
BUILDING LENGTH	14.88 m	14.88 m
REAR SETBACK	17.00 m	17.00 m
FRONT SETBACK	10.00 m	10.00 m
FRONT YARDSCAPE	10.00 m	10.00 m
REAR YARDSCAPE	10.00 m	10.00 m
FRONT PATIO/DECKING	10.00 m	10.00 m
REAR PATIO/DECKING	10.00 m	10.00 m



SIGNATURE PAGE

File Number:	A0950/17NY	Zoning	R1B/RD (f12.0; a370; d0.6)(ZR)
Owner:	ANGELO GASPAROTTO	Ward:	Don Valley West (26)
Agent:	SOLARES ARCHITECTURE INC	Heritage:	Not Applicable
Property Address:	39 DIVADALE DR	Community:	East York
Legal Description:	PLAN 3110 LOT 108 PT LOT 107		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0951/17NY	Zoning	R/R2 Z0.6 [ZZC]
Owner(s):	ROBERT DI PANFILO	Ward:	Eglinton-Lawrence (16)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	179 WOBURN AVE	Community:	Toronto
Legal Description:	PLAN M107 LOT 593		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling in conjunction with a new detached garage. The existing semi-detached dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.70.(4), By-law No. 569-2013

The minimum required side yard setback is 0.90m.

The proposed west side yard setback is 0.45m.

2. Chapter 10.20.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 10.00m.

The proposed building height is 10.52m.

3. Chapter 10.10.40.10.(4), By-law No. 569-2013

The permitted maximum roof slope above the second storey is 5.0 vertical units for every 3.0 horizontal units.

The proposed roof slope above the second storey is 35 vertical units for every 12 horizontal units.

4. Chapter 10.10.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.60 times the lot area.

The proposed floor space index is 0.85 times the lot area.

5. Section 6(3) Part II 3(II), By-law No. 438-86

The by-law requires that the proposed building be located no closer than 1.20m to the portion of the side wall of an adjacent building that contains openings.

The proposed building is located 0.90m from the building to the west and **0.63m** from the building to the east.

6. Section 4(2), By-law No. 438-86

The maximum permitted building height is 10.00m.

The proposed building height is 10.5m.

7. Section 6(3) Part II 8D, By-law No. 438-86

The by-law limits the projection of an uncovered platform into the required setbacks to a maximum of 2.50m from the front or rear wall.

The proposed uncovered platform projects 3.05m from the rear wall.

8. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.60 times the lot area.

The proposed gross floor area is 0.85 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0951/17NY	Zoning	R/R2 Z0.6 [ZZC]
Owner:	ROBERT DI PANFILO	Ward:	Eglinton-Lawrence (16)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	179 WOBURN AVE	Community:	Toronto
Legal Description:	PLAN M107 LOT 593		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1000/17NY	Zoning	R/R2 Z0.6 [ZZC]
Owner(s):	MOHSEN REJALI	Ward:	Eglinton-Lawrence (16)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	181 WOBURN AVE	Community:	Toronto
Legal Description:	PLAN M107 LOT 592		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling in conjunction with a new detached garage. The existing semi-detached dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.10.40.70.(4), By-law No. 569-2013

The minimum required side yard setback is 0.90m.

The proposed east side yard setback is 0.45m.

2. Chapter 10.20.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 10.00m.

The proposed building height is 10.52m.

3. Chapter 10.10.40.10.(4), By-law No. 569-2013

The permitted maximum roof slope above the second storey is 5.0 vertical units for every 3.0 horizontal units.

The proposed roof slope above the second storey is 35 vertical units for every 12 horizontal units.

4. Chapter 10.10.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.60 times the lot area.

The proposed floor space index is 0.85 times the lot area.

5. Section 6(3) Part II 3(II), By-law No. 438-86

The by-law requires that the proposed building be located no closer than 1.20m to the portion of the side wall of an adjacent building that contains openings.

The proposed building is located 0.90m from the building to the east and **0.86m** from the building to the west.

6. Section 4(2), By-law No. 438-86

The maximum permitted building height is 10.00m.

The proposed building height is 10.54m.

7. Section 6(3) Part II 8D, By-law No. 438-86

The by-law limits the projection of an uncovered platform into the required setbacks to a maximum of 2.50m from the front or rear wall.

The proposed uncovered platform projects 3.05m from the rear wall.

8. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.60 times the lot area.

The proposed gross floor area is 0.85 times the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A1000/17NY	Zoning	R/R2 Z0.6 [ZZC]
Owner:	MOHSEN REJALI	Ward:	Eglinton-Lawrence (16)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	181 WOBURN AVE	Community:	Toronto
Legal Description:	PLAN M107 LOT 592		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0952/17NY	Zoning	
Owner(s):	MOZAFFAR VOSOUGHI MOZAFFAR VOSOUGHI	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	111 MOORE PARK AVE	Community:	
Legal Description:	PLAN 2366 LOT 523		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.3.10(5), By-law No. 569-2013

The required minimum side yard setback is 1.8 m.

The proposed west side yard setback is 1.5 m **for the first 10.77m portion of the dwelling only.**

2. Chapter 900.3.10(5), By-law No. 569-2013

The required minimum side yard setback is 1.8 m.

The proposed east side yard setback is 1.5 m **for the first 10.77m portion of the dwelling only.**

3. Chapter 10.20.30.40.(1), By-law No. 569-2013

The permitted maximum lot coverage is 30% of the lot area.

The proposed lot coverage is 32% of the lot area.

4. Chapter 10.20.4.010.(2), By-law No. 569-2013

The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.

The proposed height of the side main walls facing a side lot line is 8.36 m **for 35.00% of the width of the west wall and 30.10% of the width of the east wall.**

5. Chapter 10.20.40.50.(1), By-law No. 569-2013

The permitted maximum area of each platform at or above the second storey of a detached house is 4.0 m².

The proposed area of each platform at or above the second storey is 5.29 m².

6. Chapter 10.20.40.20.(1), By-law No. 569-2013

The permitted maximum building length for a detached house is 17.0 m.

The proposed building length is 17.27 m.

7. Section 13.2.3(b), By-law No. 7625

The minimum required west side yard setback is 1.8 m.

The proposed west side yard setback is 1.5 m **for the first 10.77m portion of the dwelling only.**

8. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.8 m.

The proposed building length is 17.27 m.

9. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.8 m.

The proposed building height is 8.99 m.

10. Section 13.2.6A, By-law No. 7625

The maximum permitted balcony area is 3.8 m².

The proposed balcony area is 5.29 m².

11. Section 6(24), By-law No. 7625

The required west side yard setback to the deck is 1.8 m.

The proposed west side yard setback is 1.5 m **for the first 10.77m portion of the dwelling only.**

12. Section 13.2.3(b), By-law No. 7625

The minimum required east side yard setback is 1.8 m.

The proposed east side yard setback is 1.5 m **for the first 10.77m portion of the dwelling only.**

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0952/17NY	Zoning	
Owner:	MOZAFFAR VOSOUGHI MOZAFFAR VOSOUGHI	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	111 MOORE PARK AVE	Community:	
Legal Description:	PLAN 2366 LOT 523		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0953/17NY	Zoning	R4/RD(x5)(ZR)
Owner(s):	ARIAN SULTAFA ARIAN SULTAFA	Ward:	Don Valley East (34)
Agent:	ST ENGINEERING	Heritage:	Not Applicable
Property Address:	5 SAGEBRUSH LANE	Community:	North York
Legal Description:	PLAN 5544 LOT 158		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 5.10.40.70.(6), Zoning By-law No. 569-2013**
On lands under the jurisdiction of the Toronto and Region Conservation Authority pursuant to the Conservation Authorities Act, R.S.O 1990 c. C.27, as amended, other than in the Open Space Zone category, if the Toronto and Region Conservation Authority determines that a shoreline hazard limit or a stable top-of-bank crosses a lot, a building or structure on that lot must be set back a minimum of 10 m from that shoreline hazard limit or stable top-of-bank, unless it is:
(A) an ancillary building or structure on a lot in the Residential Zone category; or
(B) for the purpose of conservation works, public utilities, or transportation uses.
The top of bank is approximately 6 m from the rear of the dwelling wall.
- 2. Chapter 10.5.40.10.(5), Zoning By-law No. 569-2013**
A minimum of 10 m² first floor area must be within 4 m of the front wall.
There is 0 m² proposed within 4 m of the front wall.
- 3. Chapter 10.20.40.70.(1), Zoning By-law No. 569-2013**
The required minimum front yard setback is 8.35 m.
The proposed front yard setback is 7.74 m.
- 4. Section 13.2.6, Zoning By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is **8.91m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0953/17NY	Zoning	R4/RD(x5)(ZR)
Owner:	ARIAN SULTAFA ARIAN SULTAFA	Ward:	Don Valley East (34)
Agent:	ST ENGINEERING	Heritage:	Not Applicable
Property Address:	5 SAGEBRUSH LANE	Community:	North York
Legal Description:	PLAN 5544 LOT 158		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0954/17NY	Zoning	RD/R1B [ZZC]
Owner(s):	KAREN MILLIGAN	Ward:	Don Valley West (26)
Agent:	SELECTUS ARCHITECTURE	Heritage:	Not Applicable
Property Address:	78 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 2120 PT LOT 235 PT LOT 236		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.50.(2), By-law No. 569-2013

A platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks for the zone; 1.20m.

The proposed east side yard setback to the rear deck is **0.61m**.

2. Chapter 10.5.40.60.(7), By-law No. 569-2013

Roof eaves may project a maximum of 0.90m provided that they are no closer than 0.30m to a lot line.

The proposed eaves project 1.15m and are **0.21m** from the east lot line.

3. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 38.80% of the lot area.

4. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.60 times the lot area.

The proposed floor space index is 0.646 times the lot area.

5. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.20m.

The proposed east side yard setback is **0.61m**.

6. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.20m.

The proposed west side yard setback is 0.76m.

7. Chapter 10.20.40.10.(6), By-law No. 569-2013

The maximum permitted finished first floor height is 1.20m.

The proposed finished first floor height is 1.25m.

8. Section 6.3.3, By-law No. 1916

The maximum permitted floor space index is 0.60 times the lot area.

The proposed floor space index is 0.686 times the lot area.

9. Section 6.3.3, By-law No. 1916

The minimum required side yard setback is 0.90m.

The proposed east side yard setback is **0.61m** to the proposed dwelling and the rear deck.

10. Section 6.3.3, By-law No. 1916

The minimum required side yard setback is 0.90m.

The proposed west side yard setback is 0.76m to the proposed dwelling.

11. Section 5.7b, By-law No. 1916

Eaves may encroach into any required side yard, to a maximum of 0.61m.

The proposed east side yard eaves encroach **0.69m** into the required side yard.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0954/17NY	Zoning	RD/R1B [ZZC]
Owner:	KAREN MILLIGAN	Ward:	Don Valley West (26)
Agent:	SELECTUS ARCHITECTURE	Heritage:	Not Applicable
Property Address:	78 SUTHERLAND DR	Community:	East York
Legal Description:	PLAN 2120 PT LOT 235 PT LOT 236		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0955/17NY	Zoning	RD / R5 (ZZC)
Owner(s):	MOMIR NEDIC MOMIR NEDIC	Ward:	Don Valley West (25)
Agent:	SELECTUS ARCHITECTURE	Heritage:	Not Applicable
Property Address:	76 BERKINSHAW CRES	Community:	North York
Legal Description:	PLAN 4332 LOT 290		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey structure with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.40.10.(5), By-law No. 569-2013**
An area of 10 m² of the first floor must be within 4 m of the front main wall.
9.4 m² of the first floor area is within 4 m of the front main wall.
- 2. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 25% of the lot area.
The proposed lot coverage is **31.90%** of the lot area.
- 3. Chapter 10.50.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building may encroach into a required building setback if the stairs are no wider than 2.0 m
The proposed rear stairs are **2.58m** wide.
- 4. Section 14.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5 m
The proposed rear yard setback is **8.12m**.
- 5. Section 6(9)(f), By-law No. 7625**
The maximum permitted projection of a canopy is 2.1 m from the front wall.
The proposed front canopy projects 2.32 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0955/17NY	Zoning	RD / R5 (ZZC)
Owner:	MOMIR NEDIC MOMIR NEDIC	Ward:	Don Valley West (25)
Agent:	SELECTUS ARCHITECTURE	Heritage:	Not Applicable
Property Address:	76 BERKINSHAW CRES	Community:	North York
Legal Description:	PLAN 4332 LOT 290		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0956/17NY	Zoning	C1/CR 1.0 (c1.0; r1.0) SS3 (x2620)(BA)
Owner(s):	1171328 ONTARIO LIMITED	Ward:	Eglinton-Lawrence (15)
Agent:	SIMONJAMES	Heritage:	Not Applicable
Property Address:	3121-3123 DUFFERIN ST	Community:	North York
Legal Description:	PLAN 1894 PT LOTS 30 TO 34		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To allow a reduction in parking related to a new proposed use within an existing building.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 6A(2)a, Zoning By-law No. 7625

The required number of parking spaces is 45 (entire site).

The existing site contains 32 parking spaces (previously required 44 for the entire site).

(Note - The number of required parking spaces for the proposed use is 5 - the proposed commercial school requires 3, and the professional office space requires 2. The number of parking spaces for the previous office only required 4)

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0956/17NY	Zoning	C1/CR 1.0 (c1.0; r1.0) SS3 (x2620)(BA)
Owner:	1171328 ONTARIO LIMITED	Ward:	Eglinton-Lawrence (15)
Agent:	SIMONJAMES	Heritage:	Not Applicable
Property Address:	3121-3123 DUFFERIN ST	Community:	North York
Legal Description:	PLAN 1894 PT LOTS 30 TO 34		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0957/17NY	Zoning	RD/R4 [WAV]
Owner(s):	ANDREW JABLONSKI	Ward:	Willowdale (23)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	102 GLENDORA AVE	Community:	North York
Legal Description:	PLAN 3577 LOT 5		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

2. Section 13.2.2, By-law No. 7625

The minimum required lot area is 550.00m².

The existing lot area is 531.5m².

3. Section 13.2.4, By-law No. 7625

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

4. . Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.10m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0957/17NY	Zoning	RD/R4 [WAV]
Owner:	ANDREW JABLONSKI	Ward:	Willowdale (23)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	102 GLENDORA AVE	Community:	North York
Legal Description:	PLAN 3577 LOT 5		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0958/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	SOROUSH MAHMOODI	Ward:	Willowdale (23)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	93 BYNG AVE	Community:	North York
Legal Description:	PLAN 2282 PT LOT 206		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(3), By-law No. 569-2013**
The permitted maximum number of storeys is 2.
The proposed number of storeys is 3.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length is 17.0 m.
The proposed building length is 17.98 m.
- 3. Chapter 10.50.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3 m from a building, with a floor no height than the first floor of the building above established grade may encroach into the required front yard setback if it is no closer to a side lot line than the required side yard setback.
The proposed platform is 1.04 m closer to the side lot line than the required setback.
- 4. Chapter 10.50.40.60.(2), By-law No. 569-2013**
A canopy, awning or similar structure not covering a platform may encroach in a front yard or rear yard if it is no closer to a side lot line than the minimum required side yard setback.
The proposed canopy is 1.04 m closer to the side lot line than the required setback.
- 5. Chapter 900.3.10.5, By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed side yard setback is 1.22 m.

6. Section 13.2.5A, By-law No. 7625

The maximum permitted building length 16.8 m.
The proposed building length is 17.98 m.

7. Section 13.2.6, By-law No. 7625

The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.

8. Section 6(9)(f), By-law No. 7625

Porches and canopies shall be permitted to project a maximum of 2.1 m into the front yard, provided they are no closer to the side lot line than the permitted side yard setback; 1.8 m.
The deck is set back 1.22 m from the side lot line and the canopy is set back 1.04 m from the side lot line

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

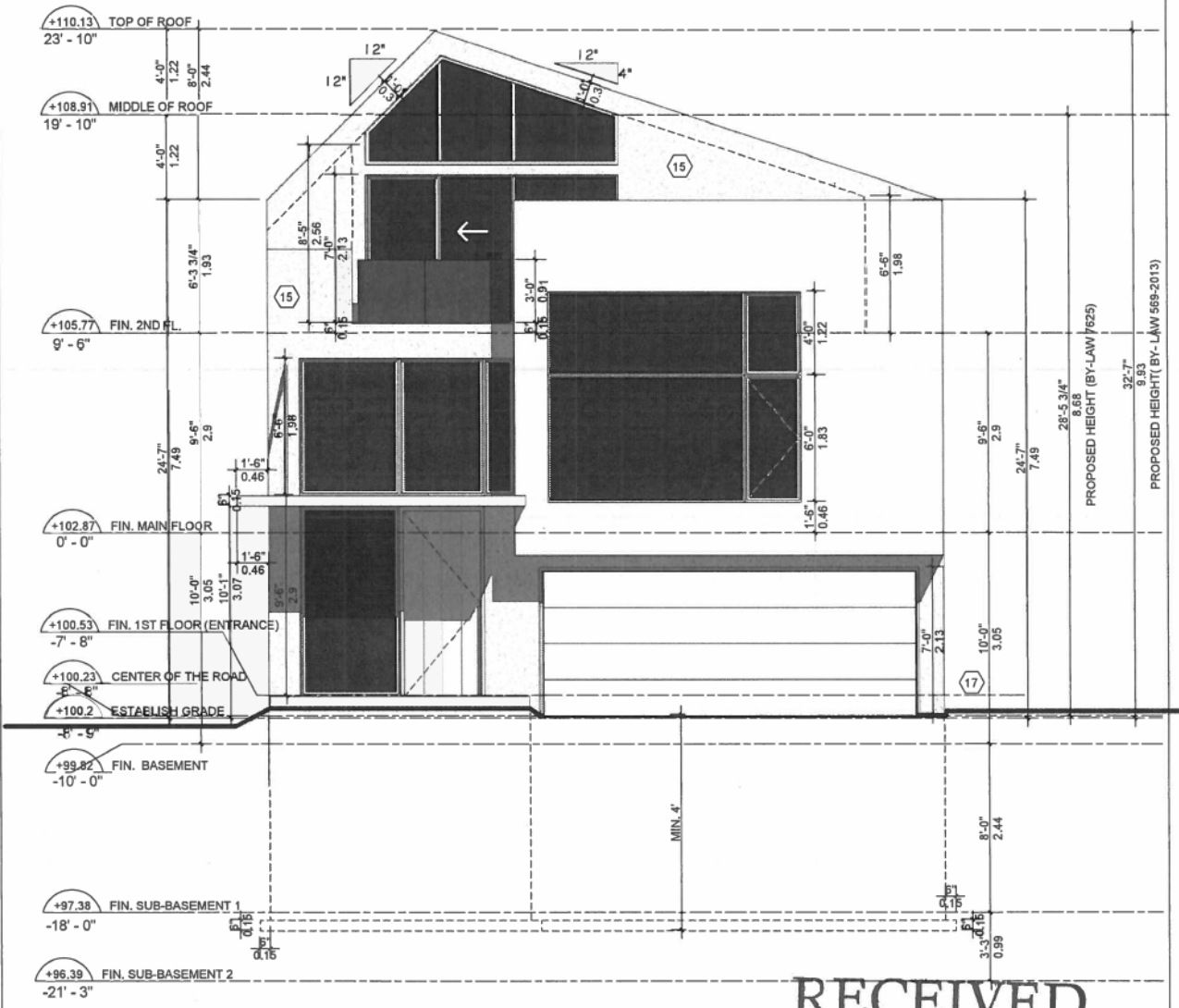
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the front elevation drawing submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, November 27, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



RECEIVED
 NOV 27 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE

designed by:
ALI SHAKERI
 T. 416. 221.9990
ARCICA INC.
 320 SHEPPARD AVENUE EAST,
 M2N 3B4 TORONTO, ONTARIO

project:
93 BYNG AVENUE

drawing:
**MAIN
 ELEVATION(NORTH)**

scale:
3/16" = 1'-0"

page:
A 07

revisions:
AUG 31, 2017- Issued for COA

THIS UNDERSIGNED HAS REVIEWED & TAKES
 RESPONSIBILITY FOR THIS DESIGN, & HAS
 THE QUALIFICATIONS & MEETS THE
 REQUIREMENTS SET OUT IN THE O.B.C. TO
 BE A DESIGNER
Ali Shakeri
 RCIN#24574
 P&A Associates Ltd.
 RCIN#30998

Ali Shakeri

1 ALL WORK SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE ONTARIO BUILDING CODE.
 2 VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
 3. DO NOT SCALE DRAWINGS.
 4. ALL DIMENSIONS AND INFORMATION SHALL BE CHECKED AND VERIFIED ON THE JOB AND ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO P&A ASSOCIATES BY PHONE AND SUBSEQUENT WRITTEN CONFIRMATION PRIOR TO COMMENCEMENT OF THE WORK.
 5. USE ONLY LATEST REVISED DRAWINGS OF THOSE THAT ARE MARKED ISSUED FOR CONSTRUCTION.
 6. ALL STRUCTURAL DESIGN MUST BE REVIEWED AND APPROVED BY CERTIFIED STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION

SIGNATURE PAGE

File Number: A0958/17NY
Owner: SOROUSH MAHMOODI
Agent: ALI SHAKERI
Property Address: **93 BYNG AVE**
Legal Description: PLAN 2282 PT LOT 206

Zoning: RD / R4 (ZZC)
Ward: Willowdale (23)
Heritage: Not Applicable
Community: North York

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0959/17NY	Zoning	R4/RD (f15.0; a550) (x5)(waiver)
Owner(s):	QUNFANG LU	Ward:	Willowdale (23)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	115 KINGSDALE AVE	Community:	North York
Legal Description:	PLAN 1790 LOT 278 PT LOT 279		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new detached residential dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.40, Zoning By-law 569-2013**
Maximum permitted coverage is 30%.
Proposed coverage of 32%.
- Section 13.2.4, Zoning By-law 7625**
Maximum permitted coverage is 30%.
Proposed coverage of 32%.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0959/17NY	Zoning	R4/RD (f15.0; a550) (x5)(waiver)
Owner:	QUNFANG LU	Ward:	Willowdale (23)
Agent:	ALI SHAKERI	Heritage:	Not Applicable
Property Address:	115 KINGSDALE AVE	Community:	North York
Legal Description:	PLAN 1790 LOT 278 PT LOT 279		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0960/17NY	Zoning	RD/R1B [ZZC]
Owner(s):	2539412 ONTARIO INC.	Ward:	Don Valley West (26)
Agent:	2539412 ONTARIO INC	Heritage:	Not Applicable
Property Address:	104 SOUTHVALE DR	Community:	East York
Legal Description:	PLAN 2880 LOT 258		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 6.14m² within 4.00m of the main front wall.

2. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.20m.
The proposed east side yard setback is 0.60m.

3. Chapter 10.5.40.60.(5), By-law No. 569-2013

A chimney breast, on a building, may encroach into a required building setback a maximum of 0.60m, if it is no wider than 2.00m, and if it is no closer to a lot line than 0.30m.
The proposed chimney encroaches 0.90m into the required east side yard setback and is 0.30m from the east side lot line.

4. Section 6.3.3, By-law No. 1916

The minimum required side yard setback is 0.90m.
The proposed east side yard setback is 0.60m.

5. Section 5.7, By-law No. 1916

Chimney breasts shall not project more than 0.46m into any required side yard.
The proposed chimney breast projects 0.60m into the required east side yard setback.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0960/17NY	Zoning	RD/R1B [ZZC]
Owner:	2539412 ONTARIOI INC.	Ward:	Don Valley West (26)
Agent:	2539412 ONTARIO INC	Heritage:	Not Applicable
Property Address:	104 SOUTHVALE DR	Community:	East York
Legal Description:	PLAN 2880 LOT 258		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0961/17NY	Zoning	RD / R5 (ZZC)
Owner(s):	MARIA CAPONIGRO CARLO CAPONIGRO	Ward:	Eglinton-Lawrence (15)
Agent:	CARLO CAPONIGRO	Heritage:	Not Applicable
Property Address:	322 GLEN PARK AVE	Community:	North York
Legal Description:	PLAN 1911 PT LOT 395		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a third storey addition to the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 900.3.10, By-law No. 569-2013**
Despite regulation 10.20.40.70.(3), the minimum side yard setback is 1.8 m.
The proposed east side yard setback is 0.41 m.
- Chapter 900.3.10, By-law No. 569-2013**
Despite regulation 10.20.40.70.(3), the minimum side yard setback is 1.8 m.
The proposed west side yard setback is **0.80 m**.
- Chapter 10.50.40.50, By-law No. 569-2013**
A platform without main walls, such as a deck or similar structure, which is not encroaching as permitted, and attached to or within 0.3 m of a building, must comply with the required minimum building setback for the zone; 1.8 m.
The proposed rear yard second floor platform is 1.16 m from the west side lot line and 0.49 m for the east side lot line.
- Chapter 10.50.40.50, By-law No. 569-2013**
A platform without main walls, such as a deck or similar structure, which is not encroaching as permitted, and attached to or within 0.3 m of a building, must comply with the required minimum building setback for the zone; 1.8 m.
The proposed rear yard third floor platform is 0.49 m for the east side lot line.
- Chapter 10.20.40.10.(4), By-law No. 569-2013**
The permitted maximum height is 7.2 m.
The proposed height is 8.84 m.

- 6. Chapter 10.20.40.10.(4), By-law No. 569-2013**
The permitted maximum number of storeys is 2
The proposed number of storeys is 3.
- 7. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0 m.
The proposed building length is 19.02 m.
- 8. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 6.0 m.
The proposed front yard setback is 4.72 m.
- 9. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 46.52% times the area of the lot.
- 10. Chapter 10.50.40.60.(2), By-law No. 569-2013**
A canopy or similar structure not covering a platform may encroach in a front yard or rear yard 2.5 m if it is no closer to a side lot line than the minimum required side yard setback: 1.8 m.
The proposed canopy is 0.41 m from the west side lot line.
- 11. Chapter 10.20.40.50(1), By-law No. 569-2013**
The permitted maximum number of platforms at or above the second storey located on the front or rear wall of a detached house is 1.
The proposed number of platforms located on the front wall is 2.
- 12. Chapter 10.20.40.50(1), By-law No. 569-2013**
The permitted maximum number of platforms at or above the second storey located on the front or rear wall of a detached house is 1.
The proposed number of platforms located on the rear wall is 2.
- 13. Chapter 10.50.40.60.(5), By-law No. 569-2013**
An architectural feature on a building may encroach into a required building setback a maximum of 0.6 m, if it is no closer to a lot line than 0.3 m.
The proposed architectural feature encroaches 1.39 m into the required west side yard setback.
- 14. Chapter 10.50.40.60.(5), By-law No. 569-2013**
An architectural feature on a building may encroach into a required building setback a maximum of 0.6 m, if it is no closer to a lot line than 0.3 m.
The proposed architectural feature encroaches 1.68 m into the required east side yard setback and is 0.29 m from the east lot line.
- 15. Chapter 10.50.40.60.(7), By-law No. 569-2013**
Roof eaves may encroach into a required minimum building setback a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.
The proposed eaves encroach 1.39 m into the required west side yard setback.
- 16. Chapter 10.50.40.60.(7), By-law No. 569-2013**
Roof eaves may encroach into a required minimum building setback a maximum of 0.9 m provided that they are no closer than 0.3 m to a lot line.
The proposed eaves encroach 1.68 m into the required east side yard setback and is 0.29 m from the east lot line.
- 17. Chapter 10.5.40.60.(2), By-law No. 569-2013**
A canopy or similar structure above the platform may encroach into a required setback to the same extent as the platform it is covering.
The proposed canopy encroaches 0.58 m beyond the platform it is covering and is setback 0.03 m from the east side lot line.

18. **Chapter 10.20.40.50.(1) , By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey is 4.0 m².
The proposed area of the rear third storey platform is 7.24 m².
19. **Chapter 10.20.40.50.(1) , By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey is 4.0 m².
The proposed area of the rear second storey platform is 21.80 m².
20. **Chapter 10.20.40.50.(1) , By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey is 4.0 m².
The proposed area of the front second storey platform is 4.92 m².
21. **Chapter 10.50.40.60.(2), By-law No. 569-2013**
A canopy or similar structure not covering a platform may encroach in a side yard, a maximum of 1.5 m if it is no closer to the side lot line than 0.3 m.
The proposed canopy encroaches 1.83 m into the east side yard setback and is 0.03 m from the east lot line.
22. **Section 14.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5 m.
The proposed front yard setback is 4.72 m.
23. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.5 m.
The proposed west side yard setback **0.80 m**.
24. **Section 14.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.5 m.
The proposed east side yard setback is 0.41 m.
25. **Section 14.2.5A, By-law No. 7625**
The permitted building length is 16.8 m.
The proposed building length is 19.02 m.
26. **Section 14.2.6, By-law No. 7625**
The maximum permitted building height is 8.0 m.
The proposed building height is 9.60 m.
27. **Section 14.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.8 m².
The proposed balcony area is 7.24 m².
28. **Section 6(9)(f), By-law No. 7625**
Canopies shall be required to project into the minimum front yard setback not more than 2.1 m but no closer to a side lot line than the minimum required side yard setbacks for the main building: 1.5 m.
The proposed front yard canopy projects 2.42 m.
29. **Section 6(9)(f), By-law No. 7625**
Canopies shall be required to project into the minimum front yard setback not more than 2.1 m but no closer to a side lot line than the minimum required side yard setbacks for the main building: 1.5 m.
The proposed front yard canopy is 0.41 m for the west side lot line and 0.03 m from the east side lot line.
30. **Section 6(9)(j), By-law No. 7625**
Canopies 2.3 m² or less in area shall be permitted to project into one minimum side yard not more than 1.6 m, but no closer than 0.6 m from any side lot line.
The front canopy is 0.41 m from the west side lot line.

31. Section 6(9)(j), By-law No. 7625

Canopies 2.3 m² or less in area shall be permitted to project into one minimum side yard not more than 1.6 m, but no closer than 0.6 m from any side lot line.

The front canopy is 0.3 m from the east side lot line.

32. Section 14.2.5A, By-law No. 7625

Any canopies projecting 2.1 m or less beyond the front wall of the building shall be excluded in determining the length of the dwelling.

The proposed front canopy projects 2.42 m for the front wall of the building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0961/17NY	Zoning	RD / R5 (ZZC)
Owner:	MARIA CAPONIGRO CARLO CAPONIGRO	Ward:	Eglinton-Lawrence (15)
Agent:	CARLO CAPONIGRO	Heritage:	Not Applicable
Property Address:	322 GLEN PARK AVE	Community:	North York
Legal Description:	PLAN 1911 PT LOT 395		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0962/17NY	Zoning	R1B/RD (f12.0; a370; d0.6)(ZR)
Owner(s):	KAREN E.T. WILLOX KAREN WILLOX	Ward:	Don Valley West (26)
Agent:	BRAD ABBOTT	Heritage:	Not Applicable
Property Address:	22 ANNESLEY AVE	Community:	East York
Legal Description:	PLAN 3110 LOT 511 PT LOT 510		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey rear addition, and a new detached rear garage, to the existing two-storey dwelling. The existing attached rear garage would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.71.(4), Zoning By-law No. 569-2013

The required minimum east side yard setback is 0.97 m.

The proposed east side yard setback is 0.95 m.

(Despite regulation 10.5.40.71(2), the required minimum building setback from a side lot line for any addition or extension to the rear or the side of a lawfully existing building or structure referred to in regulation 10.5.40.71(1), on a lot with a lot frontage of: 9.0 m to 12.2 m, is the greater of: 50% of the required minimum side yard setback; or the minimum side yard setback permitted by regulation 10.5.40.71(1).)

2. Chapter 10.20.40.70.(6), Zoning By-law No. 569-2013

The required minimum side yard setback is 3.0 metres for a corner lot where the required lot frontage is 12.0 m or more.

The proposed west side yard setback is 1.17 m.

3. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

The permitted maximum lot coverage is 35 % of the lot area.

The proposed lot coverage is **39.50%** of the lot area.

4. Chapter 10.5.40.60.(1), Zoning By-law No. 569-2013

A platform without main walls, attached to or less than 0.3 metres from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required side yard setback a maximum of 1.5 m, if it is no closer to the side lot line than 0.3 m.

The proposed platform encroaches 1.85 m into the required side yard setback and is 1.16 m from the west side lot line.

5. Chapter 10.5.60.20.(6), Zoning By-law No. 569-2013

The minimum side yard setback for an ancillary building or structure containing a parking space where it is on a corner lot, and vehicle access is from the street abutting the side lot line, is 6.0 m.

The proposed side yard setback for the ancillary building is **3.21m**.

6. Section 6.3.3, Zoning By-law No. 1916

The maximum permitted floor space index is 0.6 times the lot area.

The proposed floor space index is **0.64** times the lot area.

(Please note that the garage will be included in the FSI. Only one parking space will be excluded from the total.)

7. Section 5.7, Zoning By-law No. 1916

Steps or stairs required for access to the first story of a permitted building may encroach into any yard, provided such steps or stairs shall be set back a minimum of 1.5 m from any lot line adjacent to a street.

Side stairs are setback 0.86 m from any lot line adjacent to the street.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.5.40.71.(4) , Zoning By-law No. 569-2013

The required minimum east side yard setback is 0.97 m.

The proposed east side yard setback is 0.95 m.

(Despite regulation 10.5.40.71(2), the required minimum building setback from a side lot line for any addition or extension to the rear or the side of a lawfully existing building or structure referred to in regulation 10.5.40.71(1), on a lot with a lot frontage of: 9.0 m to 12.2 m, is the greater of: 50% of the required minimum side yard setback; or the minimum side yard setback permitted by regulation 10.5.40.71(1).)

2. Chapter 10.20.40.70.(6), Zoning By-law No. 569-2013

The required minimum side yard setback is 3.0 metres for a corner lot where the required lot frontage is 12.0 m or more.

The proposed west side yard setback is 1.17 m.

4. Chapter 10.5.40.60.(1), Zoning By-law No. 569-2013

A platform without main walls, attached to or less than 0.3 metres from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required side yard setback a maximum of 1.5 m, if it is no closer to the side lot line than 0.3 m.

The proposed platform encroaches 1.85 m into the required side yard setback and is 1.16 m from the west side lot line.

5. Chapter 10.5.60.20.(6), Zoning By-law No. 569-2013

The minimum side yard setback for an ancillary building or structure containing a parking space where it is on a corner lot, and vehicle access is from the street abutting the side lot line, is 6.0 m.

The proposed side yard setback for the ancillary building is **3.21m**.

6. Section 6.3.3, Zoning By-law No. 1916

The maximum permitted floor space index is 0.6 times the lot area.

The proposed floor space index is **0.64** times the lot area.

(Please note that the garage will be included in the FSI. Only one parking space will be excluded from the total.)

7. Section 5.7, Zoning By-law No. 1916

Steps or stairs required for access to the first story of a permitted building may encroach into any yard, provided such steps or stairs shall be set back a minimum of 1.5 m from any lot line adjacent to a street.

Side stairs are setback 0.86 m from any lot line adjacent to the street.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

3. Chapter 10.20.30.40.(1), Zoning By-law No. 569-2013

The permitted maximum lot coverage is 35 % of the lot area.

The proposed lot coverage is **37.00 %** of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0962/17NY	Zoning	R1B/RD (f12.0; a370; d0.6)(ZR)
Owner:	KAREN E.T. WILLOX KAREN WILLOX	Ward:	Don Valley West (26)
Agent:	BRAD ABBOTT	Heritage:	Not Applicable
Property Address:	22 ANNESLEY AVE	Community:	East York
Legal Description:	PLAN 3110 LOT 511 PT LOT 510		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0963/17NY	Zoning	RD/R4 [BLD]
Owner(s):	SANDRA MORALES GUEVARA	Ward:	Don Valley West (25)
Agent:	DENNIS DIXON	Heritage:	Not Applicable
Property Address:	73 YORKMINSTER RD	Community:	North York
Legal Description:	PLAN 3563 LOT 301		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the construction of a new accessory structure (cabana) in the rear yard, in conjunction with a covered deck.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.50. By-law No. 569-2013

A platform without main walls, such as a deck, porch, balcony or similar structure, which is not encroaching as permitted, and attached to or within 0.30m of a building, must comply with the required minimum building setbacks for the zone; 1.80m.

The proposed rear yard platform is 0.76m from the east side lot line.

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 40.83% of the lot area.

3. Chapter 10.5.40.60.(2), By-law No. 569-2013

A canopy, awning or similar structure above a platform may encroach into a required building setback to the same extent as the platform it is covering.

The proposed canopy projects 0.30m beyond the platform it is covering.

4. Section 6(24)(d)(ii)(A), By-law No. 7625

In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building; 1.80m.

The proposed unexcavated deck in the rear yard is 0.76m from the east side lot line.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0963/17NY	Zoning	RD/R4 [BLD]
Owner:	SANDRA MORALES GUEVARA	Ward:	Don Valley West (25)
Agent:	DENNIS DIXON	Heritage:	Not Applicable
Property Address:	73 YORKMINSTER RD	Community:	North York
Legal Description:	PLAN 3563 LOT 301		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0964/17NY	Zoning	RD / R6 (ZZC)
Owner(s):	TERESA PAMPENA PAULETTE PAMPENA	Ward:	York Centre (09)
Agent:	MARIO FARAONE	Heritage:	Not Applicable
Property Address:	135 KATHERINE RD	Community:	North York
Legal Description:	PLAN 1764 PT LOT 223		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey addition and deck to the rear of the existing dwelling and a new detached garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.3.040.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 42.4% of the lot area.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0 m.
The proposed building length is 19.23 m.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**
The permitted maximum building depth for a detached house is 19.0 m.
The proposed building depth is 19.23 m.
- Chapter 10.5.50.10.(3), By-law No. 569-2013**
The minimum required rear landscaping area is 50%.
The proposed rear landscaping area is 28.8%.
- Chapter 10.20.40.50.(1), By-law No. 569-2013**
The permitted maximum area of each platform at or above the second storey is 4.0 m².
The proposed area of the rear second storey balcony is 12 m².
- Chapter 10.50.60.40.(2), By-law No. 569-2013**
The maximum height of an ancillary structure is 4.0 m.
The proposed height of the ancillary structure is 4.12 m.

7. Chapter 50.10.40.(4), By-law No. 569-2013

If a building in the Residential Zone category is not subject to a maximum floor space index, a secondary suite may not be divided vertically from the dwelling unit, unless the entire secondary suite occupies only part of one original storey or only part of the original basement.

The proposed Secondary Suite is divided vertically and does not occupy part of one original storey or only part of the original basement.

8. Section 14-A(9), By-law No. 7625

The maximum permitted building length is 15.3 m.

The proposed building length is 19.23 m.

9. Section 14-A(10), By-law No. 7625

The maximum permitted balcony area is 3.8 m².

The proposed rear balcony area is 12 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.0 m.

The proposed building length is 19.23 m.

3. Chapter 10.20.40.30.(1), By-law No. 569-2013

The permitted maximum building depth for a detached house is 19.0 m.

The proposed building depth is 19.23 m.

4. Chapter 10.5.50.10.(3), By-law No. 569-2013

The minimum required rear landscaping area is 50%.

The proposed rear landscaping area is 28.8%.

5. Chapter 10.20.40.50.(1), By-law No. 569-2013

The permitted maximum area of each platform at or above the second storey is 4.0 m².

The proposed area of the rear second storey balcony is 12 m².

6. Chapter 10.50.60.40.(2), By-law No. 569-2013

The maximum height of an ancillary structure is 4.0 m.

The proposed height of the ancillary structure is 4.12 m.

7. Chapter 50.10.40.(4), By-law No. 569-2013

If a building in the Residential Zone category is not subject to a maximum floor space index, a secondary suite may not be divided vertically from the dwelling unit, unless the entire secondary suite occupies only part of one original storey or only part of the original basement.

The proposed Secondary Suite is divided vertically and does not occupy part of one original storey or only part of the original basement.

8. Section 14-A(9), By-law No. 7625
The maximum permitted building length is 15.3 m.
The proposed building length is 19.23 m.

9. Section 14-A(10), By-law No. 7625
The maximum permitted balcony area is 3.8 m².
The proposed rear balcony area is 12 m².

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. Chapter 10.20.3.040.(1), By-law No. 569-2013
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 42.4% of the lot area (**33.3% of the lot coverage be allocated to the primary dwelling and 9.10% be allocated to the detached garage**).

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number: A0964/17NY
Owner: TERESA PAMPENA
PAULETTE PAMPENA
Agent: MARIO FARAONE
Property Address: **135 KATHERINE RD**
Legal Description: PLAN 1764 PT LOT 223

Zoning: RD / R6 (ZZC)
Ward: York Centre (09)
Heritage: Not Applicable
Community: North York

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0966/17NY	Zoning	RD / R5 (WAIVER)
Owner(s):	ALMA NODOUZI ADRIAN DHARMA KUMAR	Ward:	Don Valley West (25)
Agent:	WELLCORECORPORATION	Heritage:	Not Applicable
Property Address:	59 JOCELYN CRES	Community:	North York
Legal Description:	PLAN 4332 LOT 83		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new addition and garage to the side of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.30.(1), By-law No. 569-2013.**
The permitted maximum building depth is 19.0 m.
The proposed building depth is 25.13 m.
- Chapter 10.2.040.20.(1), By-law No. 569-2013.**
The maximum permitted building length is 17.0 m.
The proposed building length is 19.65 m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013.**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is **9.13 m**.
- Section 14.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 19.65 m.
- Section 14.2.6, By-law No. 7625**
The maximum permitted building height is 8 m.
The proposed building height is **10.33m**.
- Section 14.2.6A, By-law No. 7625**
The maximum permitted balcony area is 3.8 m².
The proposed balcony area is 6.19 m².

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0966/17NY	Zoning	RD / R5 (WAIVER)
Owner:	ALMA NODOUZI	Ward:	Don Valley West (25)
	ADRIAN DHARMA KUMAR		
Agent:	WELLCORECORPORATION	Heritage:	Not Applicable
Property Address:	59 JOCELYN CRES	Community:	North York
Legal Description:	PLAN 4332 LOT 83		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0823/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZCC]
Owner(s):	ARMIN PARNIA	Ward:	Willowdale (23)
Agent:	OPTIONS ARCHITECTS	Heritage:	Not Applicable
Property Address:	302 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 3831 LOT 12		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished. This file was deferred from the hearing of November 9, 2017.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10.0m² of the first floor must be within 4.0m of the front main wall.
The proposed first floor area is 9.45m²
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is **8.74 m**.
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 31.8% of the lot area.
- 4. Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0m.
The proposed building depth is 20.34m.
- 5. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 17.55m.

6. **Chapter 900.3.10(5)(A), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed north side yard setback is 1.5m.
7. **Chapter 900.3.10(5)(A), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed south side yard setback is 1.2m.
8. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 17.55m.
9. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.25m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i)Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0823/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZCC]
Owner:	ARMIN PARNIA	Ward:	Willowdale (23)
Agent:	OPTIONS ARCHITECTS	Heritage:	Not Applicable
Property Address:	302 JOHNSTON AVE	Community:	North York
Legal Description:	PLAN 3831 LOT 12		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A1058/16NY	Zoning	RD/R4 [ZZC]
Owner(s):	ALI ASADI NIK	Ward:	Willowdale (24)
Agent:	ALI ASADI NIK	Heritage:	Not Applicable
Property Address:	6 REVCOE DR	Community:	North York
Legal Description:	PLAN 5345 L 14		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.51m.

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.

3. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the east side exterior main wall facing a side lot line is 8.23m for 13.50% of the width of the wall.

4. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 6.00m.
The proposed front yard setback is 5.25m.

5. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.10m.

6. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.68m.

7. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.51m.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is 1.50m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number: A1058/16NY
Owner: ALI ASADI NIK
Agent: ALI ASADI NIK
Property Address: **6 REVCOE DR**
Legal Description: PLAN 5345 L 14

Zoning: RD/R4 [ZZC]
Ward: Willowdale (24)
Heritage: Not Applicable
Community: North York

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0531/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	ALFREDO ANTONIO TORRES MARGARITA TORRES	Ward:	Willowdale (24)
Agent:	IDA EVANGELISTA	Heritage:	Not Applicable
Property Address:	7 CANARY CRES	Community:	North York
Legal Description:	PLAN 5099 LOT 82		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is 8.51m, **for 19% of the width of the west wall and 17% of the width for the east wall.**

3. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.23m.

4. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.58m.

5. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck projects 3.66m from the rear wall, is 2.06m in height and is 50.00% of the width of the dwelling.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.

3. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.23m.

4. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.58m.

5. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.
The proposed rear deck projects 3.66m from the rear wall, is 2.06m in height and is 50.00% of the width of the dwelling.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

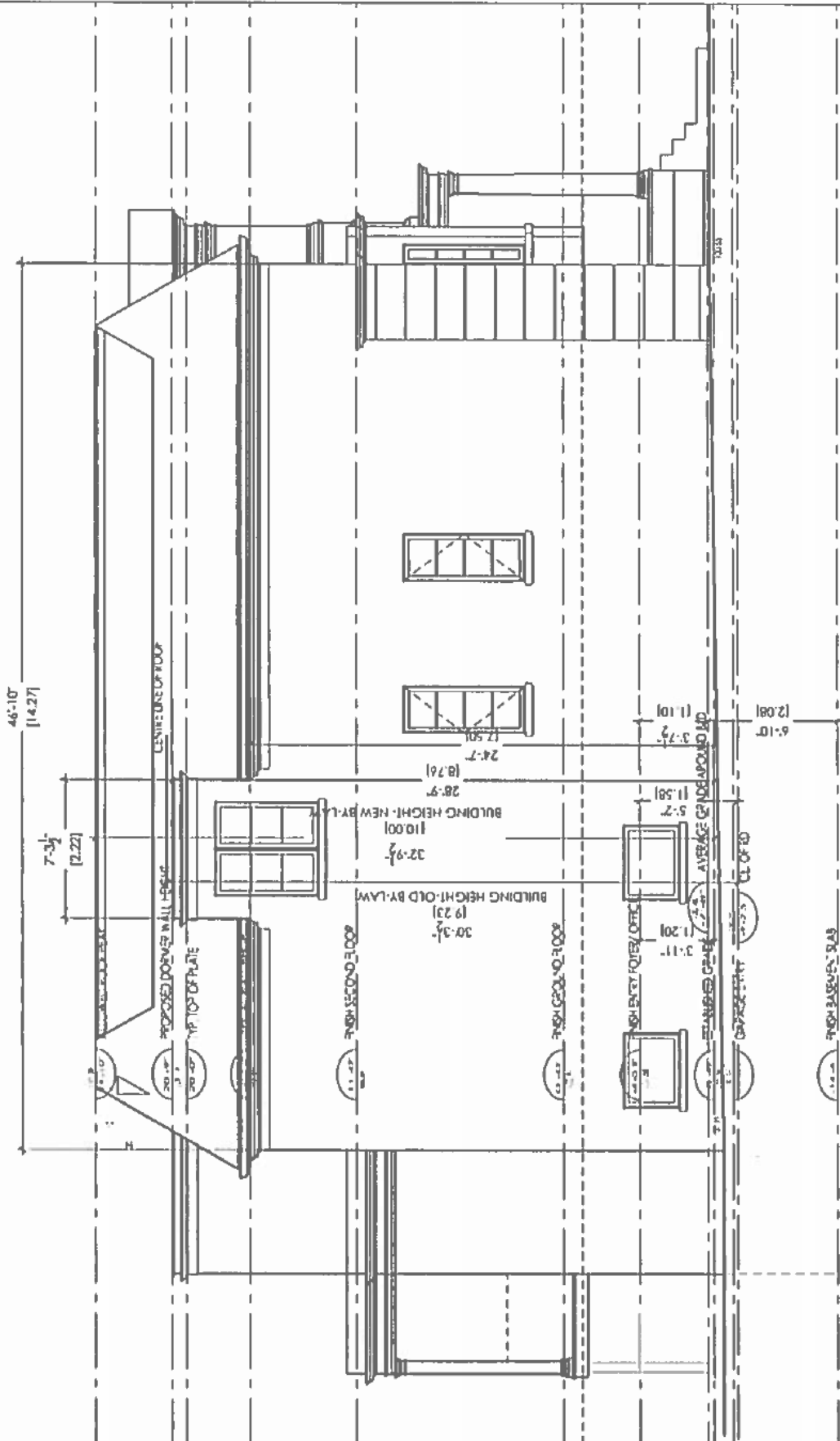
The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 8.51m, **for 19% of the width of the window portion of the west wall and 17% of window portion of the east wall.**

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the east and west elevation drawings submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division. November 28, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



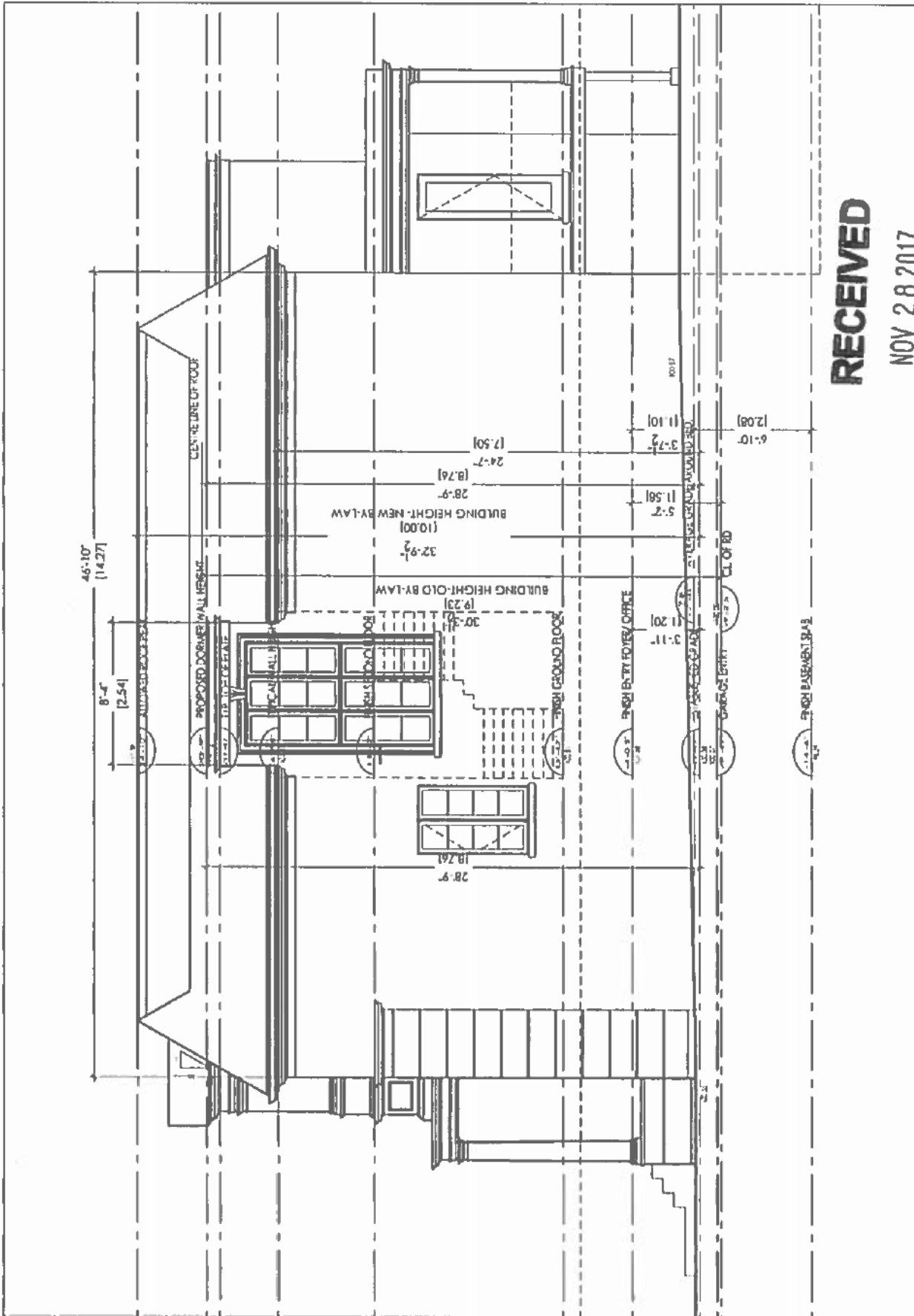
RECEIVED

NOV 28 2017

Town of...
 No. 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

NO.	REVISION
1	ISSUED - APRIL 15, 17
2	ISSUED - NOV 21, 17
3	ISSUED - NOV 28, 17

PROJECT TITLE			
PRIVATE RESIDENCE - 7 CANARY CRESCENT			
DATE	SCALE	DRAWN BY	PROJECT NO.
APRIL 2017	1/8" = 1'-0"	CMC1004	040
SIDE (E) ELEV.			DWG NO.
			A9



RECEIVED

NOV 28 2017

Toronto City Planning
North York District

NO.	REVISION
1	ISSUED- APRIL 18 17
2	ISSUED- NOV 21 17
3	ISSUED- NOV 28 17

PROJECT
PRIVATE RESIDENCE - / CANARY CRESCENT

SHEET NO.
SIDE (W) ELEV.

SCALE
1/8" = 1'-0"
DATE
APRIL 2017

DRAWN BY
CHECKED BY

PROJECT NO.
A8

SIGNATURE PAGE

File Number:	A0531/17NY	Zoning	RD/R4 [ZZC]
Owner:	ALFREDO ANTONIO TORRES MARGARITA TORRES	Ward:	Willowdale (24)
Agent:	IDA EVANGELISTA	Heritage:	Not Applicable
Property Address:	7 CANARY CRES	Community:	North York
Legal Description:	PLAN 5099 LOT 82		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0644/17NY	Zoning	R7(16)/RD[ZZC]
Owner(s):	MEREDITH LEE WENGER	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	403 ELM RD	Community:	North York
Legal Description:	PLAN 2529 PT LOT 81		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.5.40.10.(5), By-law No. 569-2013**
An area of 10m² of the first floor must be within 4m of the front main wall.
The 7.1m² of the first floor is within 4m of the front main wall.
- Chapter 10.5.40.50.(2), By-law No. 569-2013**
In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3m of a building, must comply with the required minimum building setback of 0.90m.
The proposed portion of the rear deck not encroaching into the required rear yard setback is setback from the south side lot line by 0.82m.
- Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10m.
The proposed building height is 10.6m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the south side exterior main walls facing a side lot line is 9.94m.
- Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed north side exterior main walls facing a side lot line is 7.98m.

6. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 17.91m.
7. **Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 9.58m.
The proposed front yard setback is 3.5m.
8. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 0.9m.
The proposed south side yard setback is 0.74m.
9. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 35% of the lot area.
The proposed lot coverage is 44.3% of the lot area.
10. **Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from Elm Road as opposed to Brooke Avenue which is the flanking street.
11. **Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main walls, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback by 2.5m if it is no closer to a side lot line than 2.15m.
The proposed platform encroaches 2.1m into the required rear yard setback and is 0.91m from the north side lot line and 0.82m from the south side lot line.
12. **Chapter 10.5.40.60.(3), By-law No. 569-2013**
Exterior stairs providing pedestrian access to a building or structure may encroach into a required building setback if the stairs are no wider than 2.0m.
The proposed stairs are 2.59m wide.
13. **Section 14-B(4), By-law No. 7625**
The minimum required lot frontage is 9m.
The existing lot frontage is 6.11m.
14. **Section 14-B(5)(a), By-law No. 7625**
The minimum required front yard setback is 5m.
The proposed front yard setback is 3.5m.
15. **Section 14-B(5)(b), By-law No. 7625**
The minimum required side yard setback is 1.2m.
The proposed north side yard setback is 0.91m.
16. **Section 14-B(5)(b), By-law No. 7625**
The minimum required side yard setback is 1.2m.
The proposed south side yard setback is 0.74m.
17. **Section 14-B(8), By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.86m.

- 18. Section 14-B(9), By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 18.54m.
- 19. Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5m.
The proposed finished first floor height is 1.67m.
- 20. Section 6A(2)a, By-law No. 7625**
The minimum required number of parking spaces is 2 spaces.
The proposed number of parking spaces is 1 spaces.
- 21. Section 14-B(5)c, By-law No. 7625**
The minimum required rear yard setback is 9.5m.
The proposed rear yard setback is 7.77m.
- 22. Section 6(24)(a), By-law No. 7625**
All unexcavated porches or decks, attached to or detached from the main building, and located in the side and rear yard, shall not occupy more than 5% of the lot area.
The proposed deck occupies 5.6%.
- 23. Section 6(24), By-law No. 7625**
Decks which are greater than 1m in height above all points of the adjacent ground are limited to projecting 2.1m from the wall and are not to be greater than 50% of the width of the building at the building's widest point.
The proposed deck projects 2.44m and is 100% of the width of the building.
- 24. Section 6(24)(d), By-law No. 7625**
In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building of 1.2m.
The proposed rear unexcavated deck is setback from the north side lot line is 0.91m and setback from the south side lot line is 0.82m.
- 25. Section 6(24)(d), By-law No. 7625**
In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building of 1.2m.
The proposed rear unexcavated deck is setback from the north side lot line is 0.82m.
- 26. Section 6(9)(f), By-law No. 7625**
Porches and decks, either excavated or unexcavated, and canopies shall be permitted to project into the minimum front yard setback not more than 2.1m but not closer to the side lot line than the minimum side yard setback for the main building of 1.2m.
The proposed front porch and the canopy above projects 1.52m and is setback from the north side lot line by 0.91m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0644/17NY	Zoning	R7(16)/RD[ZZC]
Owner:	MEREDITH LEE WENGER	Ward:	Eglinton-Lawrence (16)
Agent:	LORNE ROSE LORNE ROSE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	403 ELM RD	Community:	North York
Legal Description:	PLAN 2529 PT LOT 81		

Bruce Mullock (signed)

Nazila Atarodi (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the Application Information Centre and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.

Thursday, December 7, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0840/17NY	Zoning	C1[WAV]
Owner(s):	OTS TEN GROUP INC	Ward:	Willowdale (23)
Agent:	JOE BATTAGLIA	Heritage:	Not Applicable
Property Address:	5285 YONGE ST	Community:	North York
Legal Description:	PLAN 2400 LOT 14 TO 17		

Notice was given and a Public Hearing was held on Thursday, December 7, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

Proposal to convert portion of building to restaurant

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Section 22.10.0, By-law No. 7625**
The maximum permitted gross floor area is 946.9 m.
The existing gross floor area is 992.48 m.
- 2. Section 23.2.1, By-law No. 7625**
The maximum permitted lot coverage is 33.3% of the lot area.
The proposed lot coverage is 44.72% of the lot area.
- 3. Section 23.2.2, By-law No. 7625**
The minimum required front yard setback is 4.87 m.
The existing front yard setback is 4.83 m.
- 4. Section 23. 2.2, By-law No. 7625**
The minimum required rear yard setback is 7.5 m.
The proposed rear yard setback is 0 m.
- 5. Section 6A(2)a, By-law No. 7625**
The minimum required number of parking space is 93 spaces.
The proposed number of parking spaces is 15 spaces.
- 6. Section 6A(16)(b), By-law No. 7625**
The minimum required size for loading space is 11 m long by 3.6 m wide and has a vertical clearance of 4.2m.
The proposed size is 8.95 m long by 4.12 m wide.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0840/17NY	Zoning	C1[WAV]
Owner:	OTS TEN GROUP INC	Ward:	Willowdale (23)
Agent:	JOE BATTAGLIA	Heritage:	Not Applicable
Property Address:	5285 YONGE ST	Community:	North York
Legal Description:	PLAN 2400 LOT 14 TO 17		

Bruce Mullock (signed)

Derek Lett (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Thursday, December 14, 2017

LAST DATE OF APPEAL:
Wednesday, December 27, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.