

Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0863/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	BIN LIU ZHAO ZUO	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	194 HOUNSLOW AVE	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 54		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.526m.

2. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.

The proposed has 0.00m² of the first floor area within 4.00m of the main front wall.

3. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 31.41% of the lot area.

4. Chapter 10.5.80.40.(3), By-law No. 569-2013

Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.

The proposed vehicle access to a parking is from Hounslow Ave.

5. Section 13.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.50m.

The proposed front yard setback is 6.158m.

6. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.526m.

7. Section 6(24), By-law No. 7625

The maximum permitted projection of an unexcavated deck in the rear is 2.10m from the wall if it is greater than 1.00m above all points of the adjacent ground.

The proposed rear deck projects 3.70m from the rear wall.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.

The proposed has 0.00m² of the first floor area within 4.00m of the main front wall.

3. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 31.41% of the lot area.

4. Chapter 10.5.80.40.(3), By-law No. 569-2013

Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.

The proposed vehicle access to a parking is from Hounslow Ave.

5. Section 13.2.3(a), By-law No. 7625

The minimum required front yard setback is 6.50m.

The proposed front yard setback is 6.158m.

7. Section 6(24), By-law No. 7625

The maximum permitted projection of an unexcavated deck in the rear is 2.10m from the wall if it is greater than 1.00m above all points of the adjacent ground.

The proposed rear deck projects 3.70m from the rear wall.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.526m.

6. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.526m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) The applicant shall submit the necessary application for permits to injure or remove street trees to Urban Forestry, City of Toronto Municipal Code Chapter 813, Article II.

SIGNATURE PAGE

File Number:	A0863/17NY	Zoning	RD/R4 [ZZC]
Owner:	BIN LIU ZHAO ZUO	Ward:	Willowdale (23)
Agent:	HOSSEINI HOMES CORPORATION	Heritage:	Not Applicable
Property Address:	194 HOUNSLOW AVE	Community:	North York
Legal Description:	PLAN 2057 W PT LOT 54		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0864/17NY	Zoning	RD / R1 (ZZC)
Owner(s):	KRISTI TURNBULL JAMES MICHAEL GILLILAND	Ward:	Eglinton-Lawrence (16)
Agent:	CHARLES AND BUNKER ARCHITECT INC	Heritage:	Not Applicable
Property Address:	84 CASTLEWOOD RD	Community:	Toronto
Legal Description:	PLAN M387 PT LOT 70		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey addition to the rear of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.80.10.(3), By-law No. 569-2013**
A parking space may not be located in a front yard or side yard abutting a street.
The proposed parking spot is located in a front yard.
- 2. Chapter 10.50.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The proposed eaves project 0.3 m and are 0.05 m from the south lot line.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all front exterior main walls is 7 m.
The proposed height of the front exterior main wall is 7.3 m.
- 4. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all rear exterior main walls is 7 m.
The proposed height of the rear exterior main wall is 7.3 m.
- 5. Chapter 1.10.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.69 times the area of the lot.
The proposed floor space index is 0.79 times the area of the lot.

6. **Chapter 200.5.10.1.(1), By-law No. 569-2013**
The required minimum number of parking spaces is 1.
The proposed number of spaces is 0.
7. **Section 6(3) Part II 3(II), By-law No. 438-86**
A proposed building may not be located closer than 1.2 m to the portion of the side wall of an adjacent building containing opening.
The proposed building is located 0.55 m from the adjacent building to the south.
8. **Section 4(4), By-law No. 438-86**
The required minimum number of parking spaces is 1.
The proposed number of spaces is 0.
9. **Section 6(3) Part IV 1(E), By-law No. 438-86**
Motor vehicle parking is prohibited on the portion of the lot between the front lot line and the front wall of the building.
The proposed parking does not comply.
10. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted gross floor area is 0.69 times the area of the lot.
The proposed gross floor area is 0.79 times the area of the lot.
11. **Section 6(3) Part II 8D(I), By-law No. 438-86**
The maximum permitted height of an uncovered platform which projects into the required setback is 1.2 m above grade.
The proposed platform is 1.66 m above grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0864/17NY	Zoning	RD / R1 (ZZC)
Owner:	KRISTI TURNBULL JAMES MICHAEL GILLILAND	Ward:	Eglinton-Lawrence (16)
Agent:	CHARLES AND BUNKER ARCHITECT INC	Heritage:	Not Applicable
Property Address:	84 CASTLEWOOD RD	Community:	Toronto
Legal Description:	PLAN M387 PT LOT 70		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Tuesday, November 21, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0865/17NY	Zoning	RD(f15.0;d0.35)(x1432)/R1 Z0.35[ZZC]
Owner(s):	MARGOT JEAN DOROTHY WOLF	Ward:	Don Valley West (25)
Agent:	CHARLES AND BUNKER ARCHITECT INC	Heritage:	Not Applicable
Property Address:	11 ST LEONARDS AVE	Community:	Toronto
Legal Description:	PLAN 1485 PT LOT 4 PT LOT 5		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-story addition at the rear of the existing dwelling and a second floor addition over the garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length is 17.0m.
The proposed building length is 18.44m.
- Chapter 10.20.40.70.(2), By-law No. 569-2013**
The minimum required rear yard setback is 7.76m.
The proposed rear yard setback is 5.55m.
- Chapter 10.5.40.60.(1), By-law No. 569-2013**
A platform without main wall, attached to or less than 0.3m from a building, with a floor no higher than the first floor of the building above established grade may encroach into the required rear yard setback 2.5m.
The proposed platform encroaches 3.05m into the required rear yard setback.
- Chapter 10.5.40.60.(2)(b)(i), By-law No. 569-2013**
A canopy, awning or similar structure not covering a platform may encroach in a front yard or rear yard: 2.5m, if it is no closer to a side lot line than the minimum required side yard setback.
The proposed canopy encroaches 3m into the required rear yard setback.
- Chapter 10.20.40.40.(1), By-law No. 569-2013**
The maximum permitted Floor Space Index is 0.35 times the area of the lot
The proposed Floor Space Index is **0.70** times the area of the lot.

6. **Chapter 10.20.40.10.(1), By-law No. 569-2013**
The maximum permitted building height is 10m.
The proposed building height is 11.08m.
7. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The minimum required side yard setback is 1.5m.
The proposed east side yard setback is 0m.
8. **Section 6(3) Part II 4, By-law No. 438-86**
The minimum required rear yard setback is 7.5m.
The proposed rear yard setback is 5.5m.
9. **Section 6(3), By-law No. 438-86**
A rear canopy that covers a platform not more than 1.2m above adjacent grade attached to the rear wall cannot project more than 2.5m from the wall to which it is attached.
The proposed rear canopy projects 3.05m.
10. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.
The proposed Gross Floor Area is **0.70** times the area of the lot.
11. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building not exceeding 17.0m in depth, where the side wall contains openings is 0.9m.
The proposed east side lot line setback is 0m.
12. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed east side lot line setback is 1.2m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

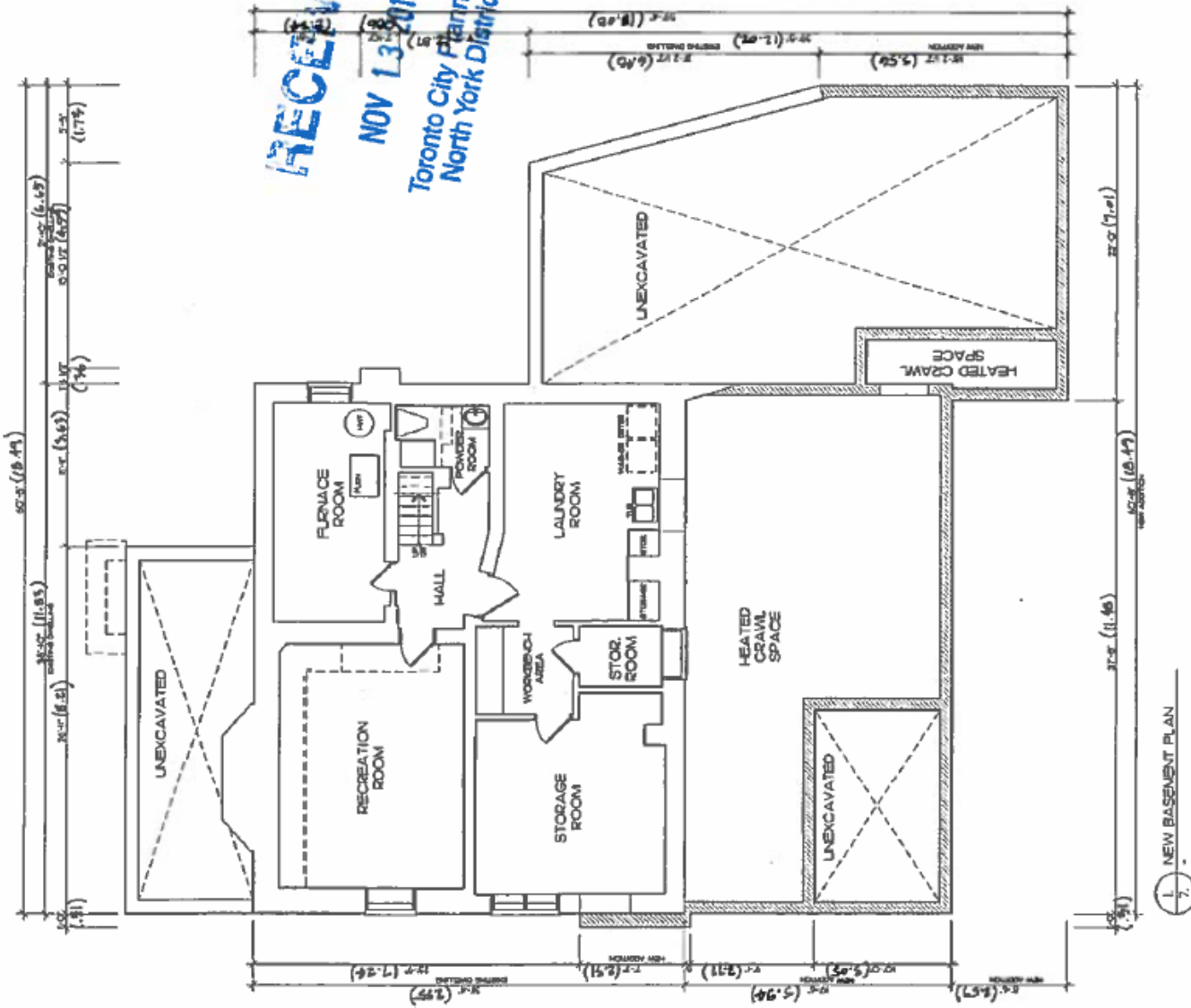
This decision is subject to the following condition(s):

- 1) Any addition above the existing one-storey garage have an east side yard setback of at least 1 .2m;
- 2) The proposal be developed substantially in accordance with the site plan and new basement plan submitted to the Committee of Adjustment date stamped received by the City Planning on November 13, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

3) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.



RECEIVED

NOV 13 2017

Toronto City Planning
North York District

11 ST. LEONARDS AVENUE
TORONTO, ONTARIO.

SIGNATURE PAGE

File Number:	A0865/17NY	Zoning	RD(f15.0;d0.35)(x1432)/R1 Z0.35[ZZC]
Owner:	MARGOT JEAN DOROTHY WOLF	Ward:	Don Valley West (25)
Agent:	CHARLES AND BUNKER ARCHITECT INC	Heritage:	Not Applicable
Property Address:	11 ST LEONARDS AVE	Community:	Toronto
Legal Description:	PLAN 1485 PT LOT 4 PT LOT 5		

Nazila Atarodi (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Tuesday, November 21, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0867/17NY	Zoning	RD / R4 (BLD)
Owner(s):	MANSUR HALANI	Ward:	Don Valley East (33)
Agent:	LIFESTYLE SUNROOMS INC	Heritage:	Not Applicable
Property Address:	48 PARFIELD DR	Community:	North York
Legal Description:	PLAN 7141 PT LOTS 352 AND 353 RP RS3 PART 5		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new one storey, unheated sunroom to the rear of the dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length is 17.0 m.
The proposed building length is 18.73 m.
- 2. Section 31.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 18.73 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

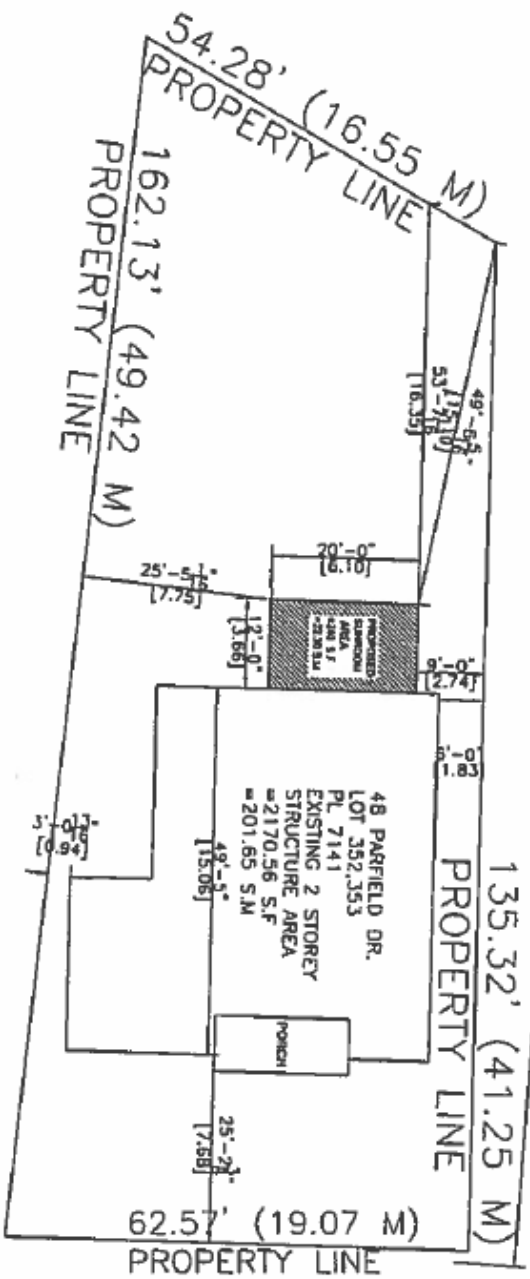
- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the site plan and north elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, November 8,2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

140'-0 1/2"
DEPTH [75.28']



48 PARFIELD DR.

SITE PLAN

SCALE = 1/8" = 1'-0"

LOT AREA	768.31 m ²	8270.09 m ²
TOTAL EXISTING FLOOR AREA (INCLUDING PORCH)	201.65 m ²	2170.56 m ²
PROPOSED SUNROOM AREA	22.50 m ²	240 m ²
TOTAL EXISTING AND PROPOSED FLOOR AREA	223.95 m ²	2410.56 m ²
TOTAL LOT COVERAGE	29.15 %	

RECEIVED
8 2017
Planning District

- NOTES:
1. THE WALLS AND ROOF STRUCTURAL PANELS OF THE SUNROOM WILL BE INSTALLED BY ITS TRADED SKILLED INSTALLERS.
 2. A PROFESSIONAL ENGINEER UNDERTAKES THE GENERAL RESPONSIBILITY OF THE INSTALLATION OF THE SUNROOM.
 3. A PROFESSIONAL ENGINEER REVIEW LETTER WILL BE SUBMITTED TO THE BUILDING DEPARTMENT AFTER THE COMPLETION OF THE SUNROOM.
 4. (1) STAIRS AND RAMP CONCRETE SHALL CONFORM TO ARTICLE 9.8.4.2 OF THE 2012 OBC WHICH SPECIFIES THAT BEANS DETACHED FOR PRIVATE USE MUST HAVE A MAXIMUM RISE OF NO MORE THAN 300 mm OR A MAXIMUM RUN OF NO LESS THAN 125 mm AND A MINIMUM RUN OF NO MORE THAN 350 mm. UNLESS OTHERWISE SPECIFIED, THE 2012 OBC WHICH SPECIFIES THAT BEANS DETACHED FOR PRIVATE USE MUST HAVE A MAXIMUM RISE OF NO MORE THAN 300 mm OR A MAXIMUM RUN OF NO LESS THAN 350 mm.
 4. (2) ROUNDED END STAIRS SHALL BE CONSTRUCTED WITH A MINIMUM OF 125 mm ROUNDED END STAIRS. UNLESS OTHERWISE SPECIFIED, THE 2012 OBC WHICH SPECIFIES THAT BEANS DETACHED FOR PRIVATE USE MUST HAVE A MAXIMUM RISE OF NO MORE THAN 300 mm OR A MAXIMUM RUN OF NO LESS THAN 350 mm.
 5. THE WIDTH OF THE LANDING AT THE TOP OF THE STAIRS SHALL BE NOT LESS THAN 915 mm. UNLESS OTHERWISE SPECIFIED, THE 2012 OBC WHICH SPECIFIES THAT BEANS DETACHED FOR PRIVATE USE MUST HAVE A MAXIMUM RISE OF NO MORE THAN 300 mm OR A MAXIMUM RUN OF NO LESS THAN 350 mm.
 6. ALL HAND RAILS AND GUARDS SHALL BE INSTALLED AS PER SECTION 9.8.6.2 AND 9.8.7 OF THE 2012 OBC.
 7. TO CLIMB DOWNWARD FROM THE SUNROOM, DOWNSTAIRS SHALL BE PROVIDED AT THE OUTSIDE CORNERS OF ROOM IN ACCORDANCE TO ARTICLES 9.8.6.2, 9.8.7, AND 9.8.8.2 OF THE 2012 OBC.
 8. ALL ADDITIONAL ASPECTS OF THE PROJECT WILL BE INSTALLED ACCORDING TO THE 2012 OBC, INCLUDING DOORS (TO SECTION 9.8.1); WINDOWS (TO SECTION 9.7.1); SASHES (TO SECTION 9.7.2); GLAZING (TO SECTION 9.7.4); WINDOW FINISHING (TO SECTION 9.7.1); FLOORING (TO SECTION 9.20.1); STAIRS, RAILS, HANDRAILS AND GUARDS (TO SECTION 9.8.1); VENTING OUTLETS (TO SECTION 9.5.1).

48 PARFIELD DR.
TORONTO
ONTARIO M2J 1C3

DRAWING TITLE
SITE PLAN

DRAWING NUMBER
01

REVISION / PROJECT / DESIGN / DATE
202058

MODEL / TYPE
1122-4-PRIVACY-AND-TOP-FLOOR

CLIENT
LIFESTYLE SUNROOMS ENGINEERING

DATE
AUG 08 2017

DRAWN BY:
P.A.

CHECKED BY:
P.A.

48 PARFIELD DR.
LOT 352.353
PL 7141
EXISTING 2 STOREY
STRUCTURE AREA
= 2170.56 S.F.
= 201.65 S.M.

PROPOSED SUNROOM AREA
48x17
= 816 S.F.

944 Central Dr.
Toronto, Ontario M9J 1X2
www.lifestyle-sunrooms.com
Tel: 800-455-0893
Fax: 905-451-4022

PROJECT

PROJECT ADDRESS

LIFESTYLE SUNROOMS

UNHEATED ADDITION

PROFESSIONAL ENGINEER

M. ASHAR
10011934
PROVINCE OF ONTARIO

AUG 08 2017



941 Covered Dr.
 Scarborough, Ontario M1V 1X2
 www.lifestylesunrooms.com
 Tel: 905-463-6593
 Fax: 905-434-8833

PROJECT
 LIFESTYLE SUNROOM
 UNHEATED ADDITION

PROJECT ADDRESS

48 PARFIELD DR.
 TORONTO
 ONTARIO M2J 1C3

DRAWING TITLE

ELEVATIONS

DRAWING NUMBER

03B

REVISION: PROJECT / DESIGN /

202058

MODEL TYPE

425 A-FRAMES; W/ TDY ROOF

CLIENT

NAME

DATE

AUG 08 2017

SCALE

1:1

DRAWN BY:

M.A.

CHECKED BY:

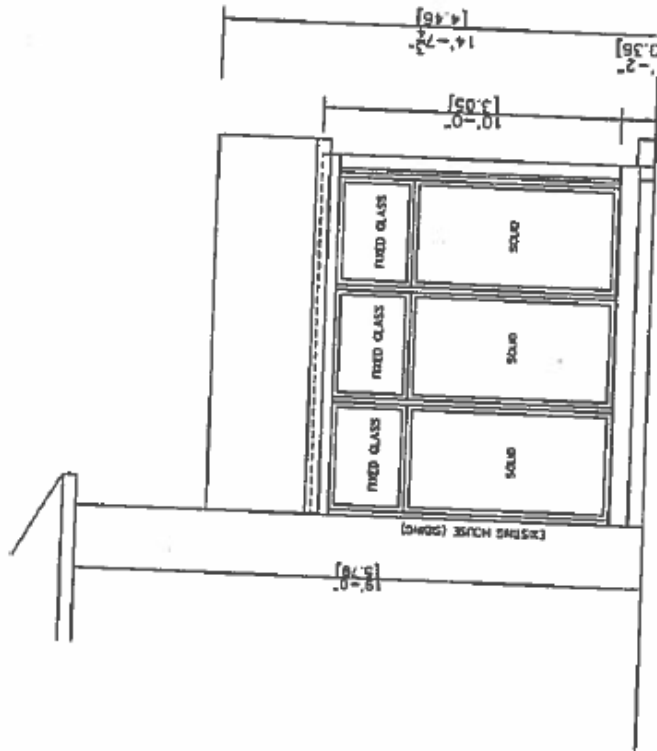
P.A.

LIFESTYLE

ENGINEERING



AUG 08 2017



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NOV 08 2017

Toronto City Planning
 North York District

NORTH ELEVATION
 SOLID LINE

SIGNATURE PAGE

File Number:	A0867/17NY	Zoning	RD / R4 (BLD)
Owner:	MANSUR HALANI	Ward:	Don Valley East (33)
Agent:	LIFESTYLE SUNROOMS INC	Heritage:	Not Applicable
Property Address:	48 PARFIELD DR	Community:	North York
Legal Description:	PLAN 7141 PT LOTS 352 AND 353 RP RS3 PART 5		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0871/17NY	Zoning:	RD/R6 [WAV]
Owner(s):	HANA SNIR GUY SNIR	Ward:	Eglinton-Lawrence (16)
Agent:	RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	476 COLDSTREAM AVE	Community:	North York
Legal Description:	PLAN 1564 WPT A		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 14-A(9), By-law No. 7625

The maximum permitted building length is 15.30m.

The proposed building length is **20.33m**.

2. Section 14-A(6), By-law No. 7625

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 37.56% of the lot area.

3. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is **20.33m**.

4. Chapter 10.20.40.30.(1), By-law No. 569-2013

The maximum permitted building depth is 19.00m.

The proposed building depth is **20.33m**.

5. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 35.00% of the lot area.

The proposed lot coverage is 37.56% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

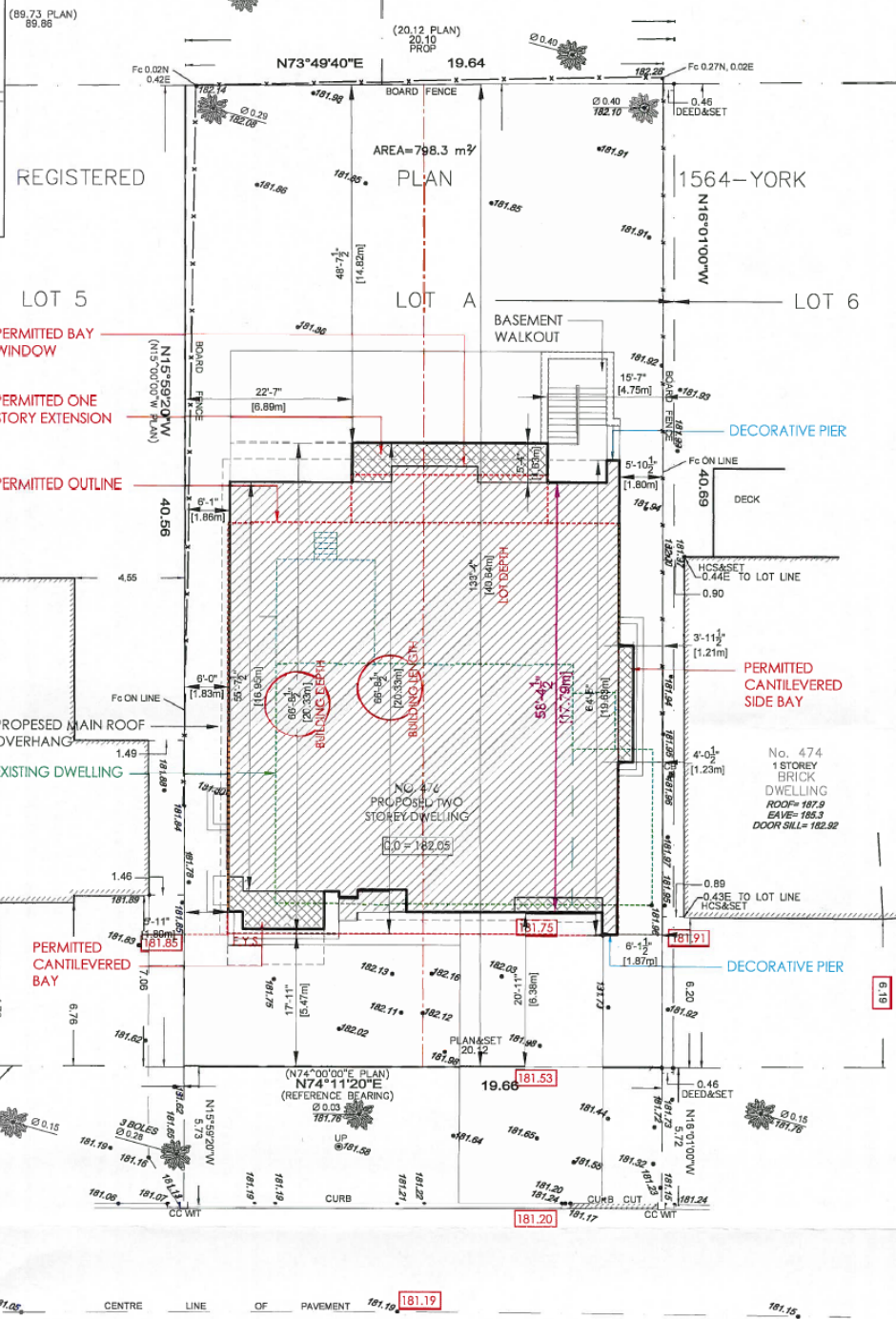
- 1) The proposal be developed substantially in accordance with the south-west elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, November 13, 2017, and the site plan submitted to the Committee of Adjustment, signed and dated November 21, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.

- LEGEND**
- ✕ TREE REMOVED WITHIN THE LAST CALENDAR YEAR NOT REQUIRING PERMIT
 - ⊗ PROTECTED TREE REMOVED WITHIN THE LAST CALENDAR YEAR
 - ✕ TREE REMOVAL NOT REQUIRING PERMIT
 - ⊗ TREE REMOVAL DUE TO HEALTH OR SOUNDNESS REQUIRING PERMIT
 - ⊗ TREE REMOVAL REQUIRING PERMIT
 - ⊗ TREE REQUIRING PERMIT TO INJURE
 - ⊗ TREES TO BE PROTECTED
 - ⊗ PROPOSED TREES
 - ▨ LIGHT OR HAND HELD EQUIPMENT IN THIS AREA DURING DEMOLITION AS PER ARBORIST REPORT
- - - 8FT. HIGH PLYWOOD TREE PROTECTION
 - - - 4FT. HIGH SNOW FENCE ON WOOD FRAME, TREE PROTECTION
 - LOCATION OF TREE PROTECTION WARNING SIGN

NOTE: PERMITTED FRONT YARD SETBACK = 8.64M
 NOTE: ESTABLISHED GRADE = 152.45
 NOTE: GRADE AT CENTER LINE OF ROAD = 151.24

REGISTERED PLAN 1786-YORK

LOT 428 PIN 10193-0198 (LT) LOT 429 PIN 10193-0199 (LT)



NOTE: FRONT YARD SETBACK = 5.47 M
 NOTE: ESTABLISHED GRADE = 181.88 M
 NOTE: GRADE AT CENTERLINE OF ROAD = 181.19 M

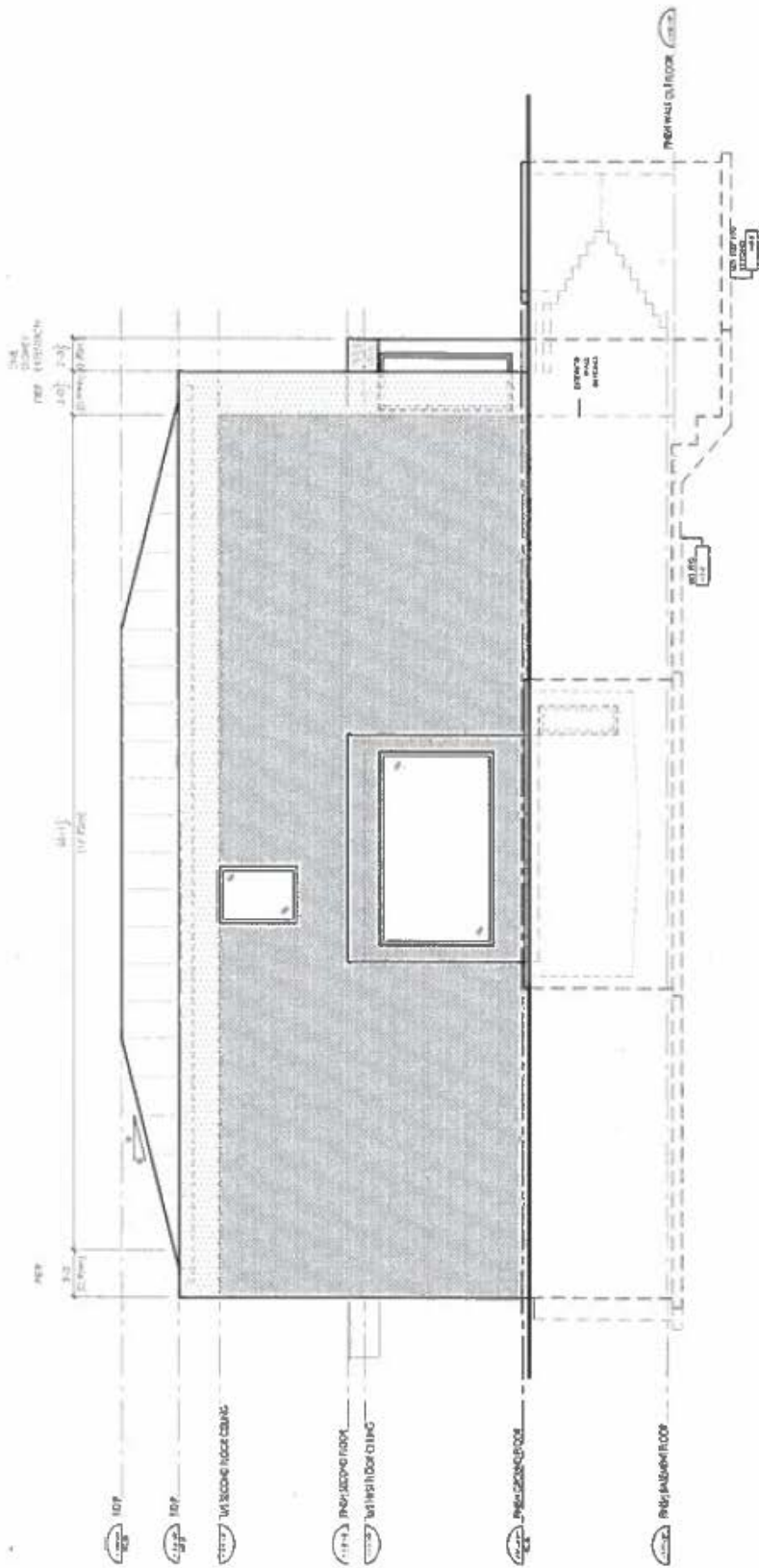
COLDSTREAM AVENUE
 FORMERLY GLENVIEW AVENUE
 BY REGISTERED PLAN 1564-YORK
 PIN 10193-0258 (LT)

SNIR RESIDENCE

476 COLDSTREAM AVENUE
 TORONTO, ONTARIO
 NOVEMBER 24, 2017
 1737

SITE PLAN
 SCALE: 1/16" = 1'-0"





 SOUTH-WEST ELEVATION
SCALE: 1/8" = 1'-0"

RECEIVED
NOV 28 2017
Toronto City Planning
North York District



RICHARD WENGLE
ARCHITECT INC.

SIGNATURE PAGE

File Number:	A0871/17NY	Zoning	RD/R6 [WAV]
Owner:	HANA SNIR GUY SNIR	Ward:	Eglinton-Lawrence (16)
Agent:	RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	476 COLDSTREAM AVE	Community:	North York
Legal Description:	PLAN 1564 WPT A		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0873/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZCC]
Owner(s):	ARTURO FUENTES ANNE FUENTES	Ward:	Don Valley East (34)
Agent:	GENNARO DISANTO	Heritage:	Not Applicable
Property Address:	23 GROVELAND CRES	Community:	North York
Legal Description:	PLAN 5112 LOT 208		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10²m of the First Floor area must be within 4m of the front wall.
There is 0m² proposed within 4m of the front wall.
- 2. Chapter 10.20.40.70.(1), By-law No. 569-2013**
The required minimum front yard setback is 11.89m
The proposed front yard setback is 8.08m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i)Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application.

The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0873/17NY	Zoning	RD (f15.0; a550) (x5)/R4[ZZC]
Owner:	ARTURO FUENTES ANNE FUENTES	Ward:	Don Valley East (34)
Agent:	GENNARO DISANTO	Heritage:	Not Applicable
Property Address:	23 GROVELAND CRES	Community:	North York
Legal Description:	PLAN 5112 LOT 208		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0874/17NY	Zoning	RD/R1B [ZZC]
Owner(s):	JOHN ROSS	Ward:	Don Valley West (26)
Agent:	CHARLES AND BUNKER ARCHITECT INC	Heritage:	Not Applicable
Property Address:	283 BESSBOROUGH DR	Community:	East York
Legal Description:	PLAN 3110 LOT 91 PT LOT 90		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To convert a portion of the existing integral garage to habitable space, in conjunction with a one-storey addition to the rear north east portion of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.100.1(1), By-law No. 569-2013

The maximum permitted driveway width is 4.00m.
The proposed driveway width is 5.461m.

2. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.
The proposed building length is 19.10m.

3. Section 6.1.3(1)(a), By-law No. 1916

The maximum permitted driveway width is 4.00m.
The proposed driveway width is 5.461m.

4. Section 6.2.3, By-law No. 1916

The maximum permitted building length is 16.75m.
The proposed building length is 19.10m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

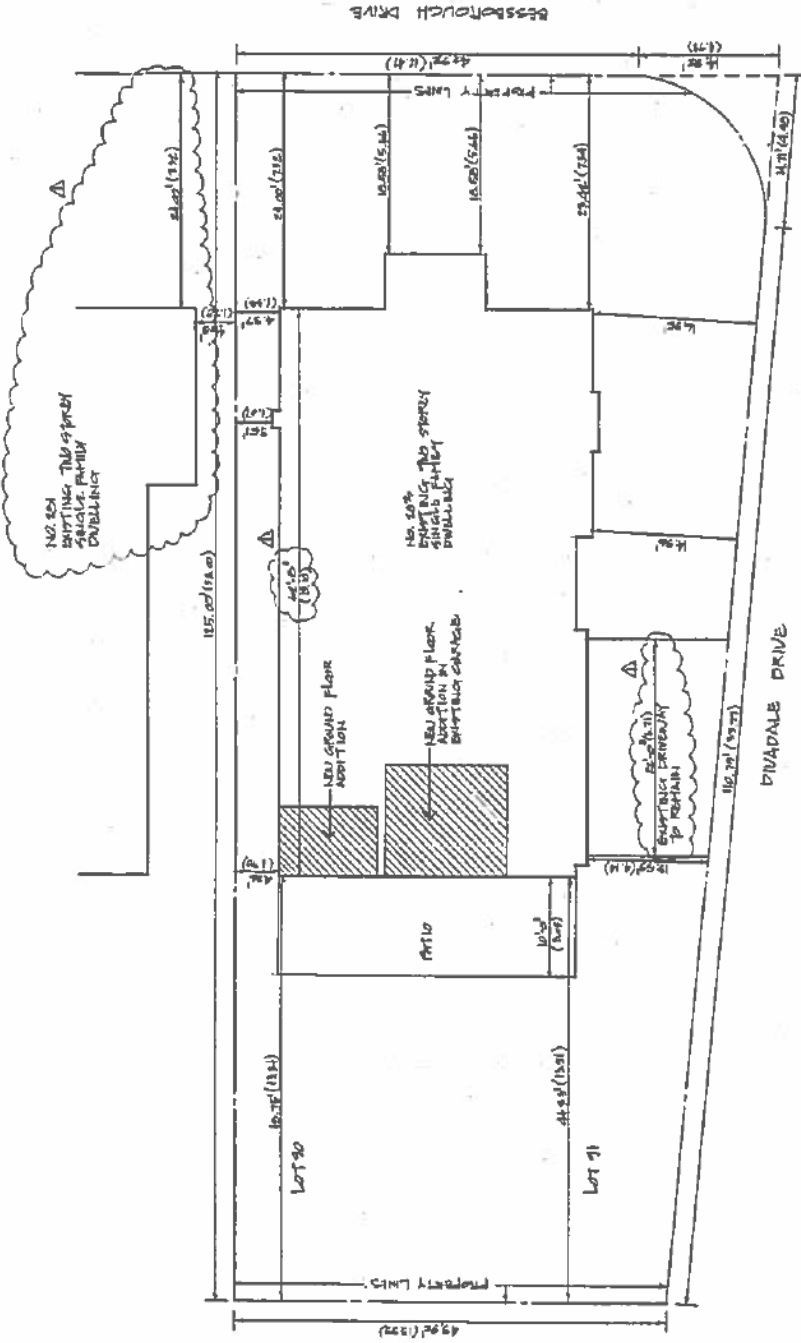
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the site plan and new south elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, November 8, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



FLOOR PLAN

NOV 08 2017
Toronto City Planning
North York District

RECEIVED

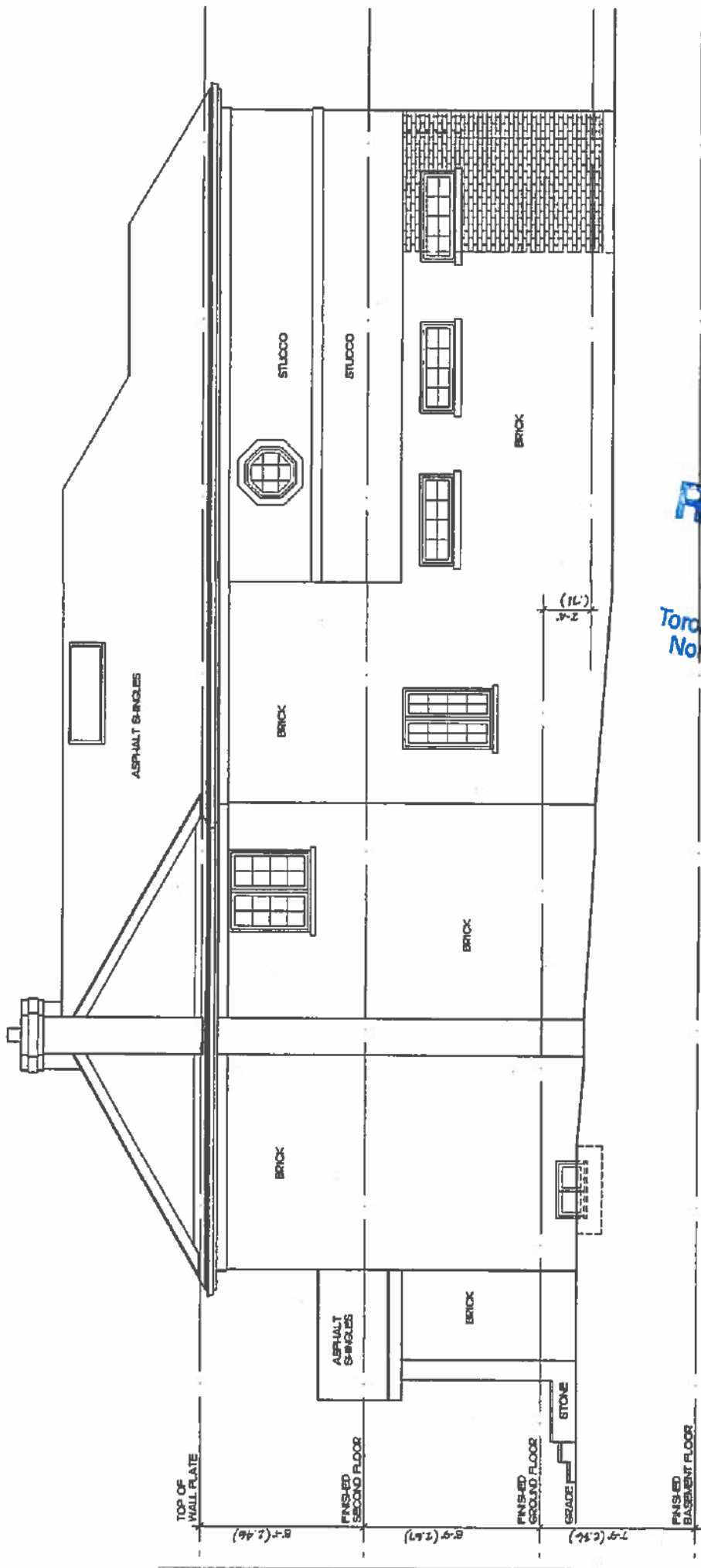
INFORMATION TAKEN FROM
SURVEY PREPARED BY
C.E. BENTON & CO.
ON APRIL 14, 1972

PLAN OF SUBDIVISION OF
LOT 90 AND PART OF
REAR PORTION OF LOT 91
BOROUGH OF EAST YORK

6115.69 SQ. FT. (567.76)
1764.91 (INCLUDING CORRIDOR) (644.30)
2125.82 (66.48)
2489.14 SQ. FT. (228.20)
104.95 AC. FT. (4.11)

203 BESSBOROUGH DRIVE
TORONTO, ONTARIO





205 BERRBOROUGH DRIVE
TORONTO, ONTARIO.

RECEIVED

NOV 08 2017

Toronto City Planning
North York District

2. NEW SOUTH ELEVATION

7.

SIGNATURE PAGE

File Number:	A0874/17NY	Zoning	RD/R1B [ZZC]
Owner:	JOHN ROSS	Ward:	Don Valley West (26)
Agent:	CHARLES AND BUNKER ARCHITECT INC	Heritage:	Not Applicable
Property Address:	283 BESSBOROUGH DR	Community:	East York
Legal Description:	PLAN 3110 LOT 91 PT LOT 90		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
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North York Panel

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0875/17NY	Zoning	RD (ZZC)
Owner(s):	GUOQING LI GUOQING LI	Ward:	York Centre (10)
Agent:	CHUAN LIANG ARCHITECTS	Heritage:	Not Applicable
Property Address:	153 COMBE AVE	Community:	North York
Legal Description:	PLAN 1899 PT LOT 101		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.20.30.50.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the**

application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0875/17NY	Zoning	RD (ZZC)
Owner:	GUOQING LI GUOQING LI	Ward:	York Centre (10)
Agent:	CHUAN LIANG ARCHITECTS	Heritage:	Not Applicable
Property Address:	153 COMBE AVE	Community:	North York
Legal Description:	PLAN 1899 PT LOT 101		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0876/17NY	Zoning	RD (f15.0; d0.35) (x1409)/R1 Z0.35 [ZZC]
Owner(s):	MADELEINE ZAMBAKTSIAN- CERRA	Ward:	Eglinton-Lawrence (16)
Agent:	NICOLA CERRA FRASCA DESIGN & PLANNING INC	Heritage:	Not Applicable
Property Address:	33 LYTTON BLVD	Community:	Toronto
Legal Description:	PLAN 1532 PT LOT 195		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building or structure is 10.0m.
The proposed height of the (building/structure) is **11.40m**.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 10.55m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 17.43m.
- 4. Chapter 10.20.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.35 times the area of the lot
The proposed floor space index is 0.79 times the area of the lot
- 5. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum East side yard setback is 1.2m.
The proposed east side yard setback is 1.15m.

6. **Chapter 10.20.40.70.(6), By-law No. 569-2013**
The required minimum West side yard setback is 3.0m for a corner lot where the required lot frontage is 12.0m or more.
The proposed West side yard setback is 2.7m.
7. **Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front.
8. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.
The proposed Gross Floor Area is 0.79 times the area of the lot.
9. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback of 7.5m from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed side lot line setback is 1.36m on the East side
10. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback of 7.5m from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed side lot line setback is 2.70m on the West side.
11. **Section 6(3) Part II 8 F, By-law No. 438-86**
A canopy is permitted to project 2.5m from the wall into the required rear yard setback.
The proposed canopy projects 3.0m.
12. **Section 6(3) Part IV 2, By-law No. 438-86**
The by-law requires a building on a lot that abuts a flanking street or public lane to gain its vehicular access from the flanking street or public lane.
The proposed access to vehicle parking is from the main street.
13. **Section 4(2), By-law No. 438-86**
The maximum permitted height is 10.0m.
The proposed height is **11.54m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building or structure is 10.0m.
The proposed height of the (building/structure) is **11.40m**.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m.
The proposed height of the side exterior main walls facing a side lot line is 10.55m.

3. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 17.43m.
5. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum East side yard setback is 1.2m.
The proposed east side yard setback is 1.15m.
6. **Chapter 10.20.40.70.(6), By-law No. 569-2013**
The required minimum West side yard setback is 3.0m for a corner lot where the required lot frontage is 12.0m or more.
The proposed West side yard setback is 2.7m.
7. **Chapter 10.5.80.40.(3), By-law No. 569-2013**
Vehicle access to a parking space on a corner lot must be from a flanking street that is not a major street.
The proposed vehicle access to a parking space is from the front.
9. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback of 7.5m from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed side lot line setback is 1.36m on the East side
10. **Section 6(3) Part II 3.B(II), By-law No. 438-86**
The minimum required side lot line setback of 7.5m from the side lot line for that portion of the building exceeding 17.0m in depth is 7.5m.
The proposed side lot line setback is 2.70m on the West side.
11. **Section 6(3) Part II 8 F, By-law No. 438-86**
A canopy is permitted to project 2.5m from the wall into the required rear yard setback.
The proposed canopy projects 3.0m.
12. **Section 6(3) Part IV 2, By-law No. 438-86**
The by-law requires a building on a lot that abuts a flanking street or public lane to gain its vehicular access from the flanking street or public lane.
The proposed access to vehicle parking is from the main street.
13. **Section 4(2), By-law No. 438-86**
The maximum permitted height is 10.0m.
The proposed height is **11.54m**.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

4. **Chapter 10.20.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.35 times the area of the lot
The proposed floor space index is **0.65** times the area of the lot
8. **Section 6(3) Part I 1, By-law No. 438-86**
The maximum permitted Gross Floor Area is 0.35 times the area of the lot.
The proposed Gross Floor Area is **0.65** times the area of the lot.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0876/17NY	Zoning	RD (f15.0; d0.35) (x1409)/R1 Z0.35 [ZZC]
Owner:	MADELEINE ZAMBAKTSIAN- CERRA	Ward:	Eglinton-Lawrence (16)
Agent:	NICOLA CERRA FRASCA DESIGN & PLANNING INC	Heritage:	Not Applicable
Property Address:	33 LYTTON BLVD	Community:	Toronto
Legal Description:	PLAN 1532 PT LOT 195		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

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TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0877/17NY	Zoning	RD/R1 Z0.6 [ZZC]
Owner(s):	MIROSLAV MILOSEVIC OLIVERA SIPKA	Ward:	Eglinton-Lawrence (16)
Agent:	OLIVERA SIPKA	Heritage:	Not Applicable
Property Address:	60 HEDDINGTON AVE	Community:	Toronto
Legal Description:	PLAN M387 PT LOT 122		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a two-storey addition to the rear of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.69 times the lot area.

The proposed floor space index is 0.757 times the lot area.

2. Chapter 10.5.40.60.(3), By-law No. 569-2013

Exterior stairs may encroach into a required setback provided they are no wider than 2.00m.

The proposed front stairs are 2.31m wide.

3. Chapter 10.5.50.10(1), By-law No. 569-2013

The minimum required front yard soft landscaping is 75.00%.

The proposed front yard soft landscaping is 68.00%.

4. Chapter 200.5.10.1.(1), By-law No. 569-2013

The minimum required number of parking space(s) for the detached house is one (1) space.

The proposal will have zero (0) parking spaces.

5. Section 4(4), By-law No. 438-86

The minimum required number of parking space(s) for the detached house is one (1) space.

The proposal will have zero (0) parking spaces.

6. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted floor space index is 0.69 times the lot area.

The proposed floor space index is 0.757 times the lot area.

7. Section 6(3) Part II 3(II), By-law No. 438-86

The by-law requires that the proposed building be located no closer than 1.20m to the portion of the side wall of an adjacent building.

The proposed is located 0.95m from the adjacent building.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0877/17NY	Zoning	RD/R1 Z0.6 [ZZC]
Owner:	MIROSLAV MILOSEVIC OLIVERA SIPKA	Ward:	Eglinton-Lawrence (16)
Agent:	OLIVERA SIPKA	Heritage:	Not Applicable
Property Address:	60 HEDDINGTON AVE	Community:	Toronto
Legal Description:	PLAN M387 PT LOT 122		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0878/17NY	Zoning	RD / R5 (ZZC)
Owner(s):	SALMA SHAFIQ SHAFIQ AHMED	Ward:	Don Valley East (34)
Agent:	DESIGN AND BUILDING PERMIT SERVICES INC	Heritage:	Not Applicable
Property Address:	57 WARNER AVE	Community:	North York
Legal Description:	PLAN 1995 LOT 182 PT LOT 183		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three storey addition to the existing dwelling and to add a basement apartment.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 150.10.40.1(1), By-law No. 569-2013**
A secondary suite is a permitted use provided that the entire building was constructed more than 5 years prior to the introduction of a second of a second suite.
The entire building was not constructed more than 5 years prior to the proposed introduction of the secondary suite.
- 2. Section 14.2.3c, By-law No. 7625**
The minimum required rear yard setback is 9.5 m.
The proposed rear yard setback is 7.89 m.
- 3. Section 14.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.44 m.
- 4. Section 6(2)(1), By-law No. 7625**
A second suite is permitted if the existing dwelling is more than 5 years old.
The proposed has new additions.
- 5. Section 14.2.6, By-law No. 7625**
The maximum permitted number of storeys is 2.
The proposed number of storeys is 3.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

The proposal maintain the grade and footprint of the existing basement.

SIGNATURE PAGE

File Number:	A0878/17NY	Zoning	RD / R5 (ZZC)
Owner:	SALMA SHAFIQ SHAFIQ AHMED	Ward:	Don Valley East (34)
Agent:	DESIGN AND BUILDING PERMIT SERVICES INC	Heritage:	Not Applicable
Property Address:	57 WARNER AVE	Community:	North York
Legal Description:	PLAN 1995 LOT 182 PT LOT 183		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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- a completed OMB Appellant Form (A1) in **paper format**
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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0879/17NY	Zoning	RD/R4[WAV]
Owner(s):	SONG DONG ZHU LI QIAN ZHU	Ward:	Willowdale (23)
Agent:	AGA ENGINEERING INC	Heritage:	Not Applicable
Property Address:	129 BOGERT AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 962 TO 963		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.0% of the lot area
The proposed lot coverage is 32.0% of the lot area.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m for 100% of the width of the wall.
The proposed height of the west side exterior main wall facing a side lot line is 8.37m for 13.95% of the width of the wall.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m for 100% of the width of the wall.
The proposed height of the east side exterior main wall facing a side lot line is 8.37m for 7.69% of the width of the wall.
- 4. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m
The proposed east side yard setback is 1.5m
- 5. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m
The proposed west side yard setback is 1.5m.

6. **Chapter 10.20.30.10.(1), By-law No. 569-2013**
The minimum required lot area is (550)m².
The proposed lot area is (511.35)m²
7. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is (550)m².
The proposed lot area is (511.35)m²
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m
The proposed east side yard setback is 1.5m
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m
The proposed west side yard setback is 1.5m.
10. **Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5m
The proposed front yard setback is 4.93m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m
The proposed building height is 9.14m.
12. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is 32.0% of the lot area.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30.0% of the lot area
The proposed lot coverage is 32.0% of the lot area.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m for 100% of the width of the wall.
The proposed height of the west side exterior main wall facing a side lot line is 8.37m for 13.95% of the width of the wall.
3. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m for 100% of the width of the wall.
The proposed height of the east side exterior main wall facing a side lot line is 8.37m for 7.69% of the width of the wall.

6. **Chapter 10.20.30.10.(1), By-law No. 569-2013**
The minimum required lot area is (550)m².
The proposed lot area is (511.35)m²
7. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is (550)m².
The proposed lot area is (511.35)m²
10. **Section 13.2.3(a), By-law No. 7625**
The minimum required front yard setback is 6.5m
The proposed front yard setback is 4.93m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m
The proposed building height is 9.14m.
12. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30.0% of the lot area.
The proposed lot coverage is 32.0% of the lot area.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

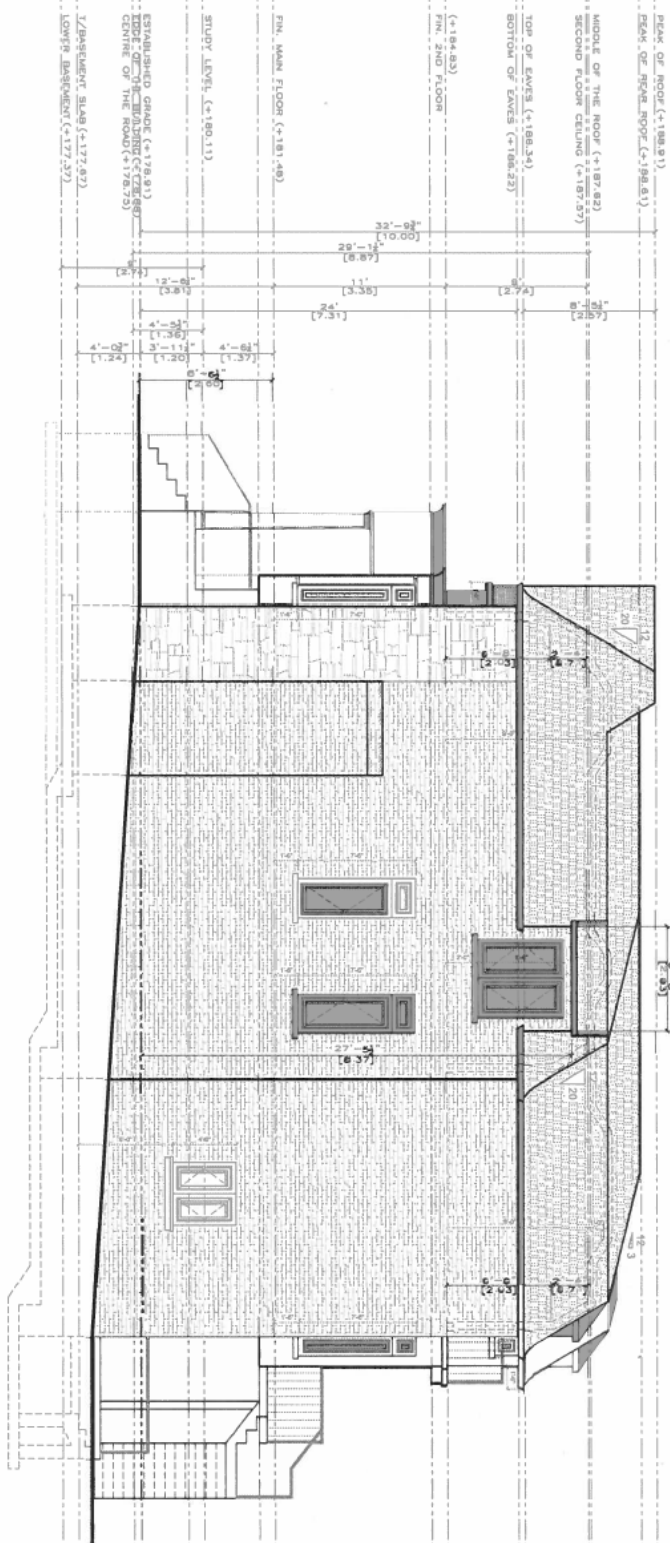
4. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m
The proposed east side yard setback is 1.5m
5. **Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m
The proposed west side yard setback is 1.5m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m
The proposed east side yard setback is 1.5m
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8m
The proposed west side yard setback is 1.5m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

This decision is subject to the following condition(s):

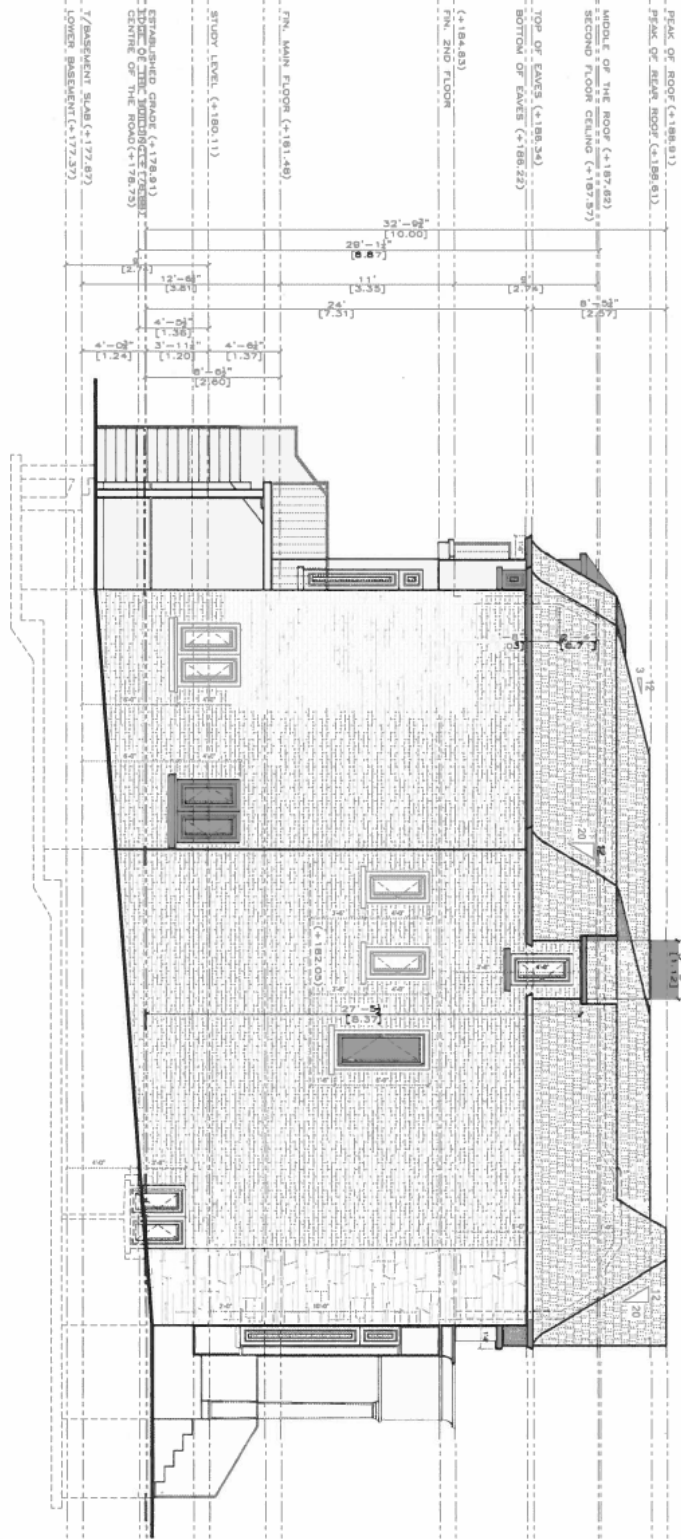
- 1) The proposal be developed substantially in accordance with the east and west side elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, November 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) **The requirements of the Parks and Recreation, Urban Forestry Division;**
 - i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.



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Toronto City Planning
North York District



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 North York District

SIGNATURE PAGE

File Number:	A0879/17NY	Zoning	RD/R4[WAV]
Owner:	SONG DONG ZHU LI QIAN ZHU	Ward:	Willowdale (23)
Agent:	AGA ENGINEERING INC	Heritage:	Not Applicable
Property Address:	129 BOGERT AVE	Community:	North York
Legal Description:	PLAN 1743 LOT 962 TO 963		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0880/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	YUNXUAN WU	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	141 KINGSDALE AVE	Community:	North York
Legal Description:	PLAN 1790 LOT 286 PT LOT 285		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed east side yard setback is 1.20m.

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.

The proposed west side yard setback is **1.50m**.

3. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.

The proposed first floor area is 7.40m² within 4.00m of the main front wall.

4. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

5. Chapter 10.2.40.10.(6), By-law No. 569-2013

The maximum permitted finished first floor height is 1.20m.

The proposed finished first floor height is **1.29m**.

6. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.

The proposed height of the side exterior main walls facing a side lot line is **8.50m**.

7. Section 13.2.3(a), By-law No. 7625

The minimum required front yard setback is 7.50m.
The proposed front yard setback is 6.34m.

8. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed east side yard setback is 1.20m.

9. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The proposed west side yard setback is **1.50m**.

10. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.23m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

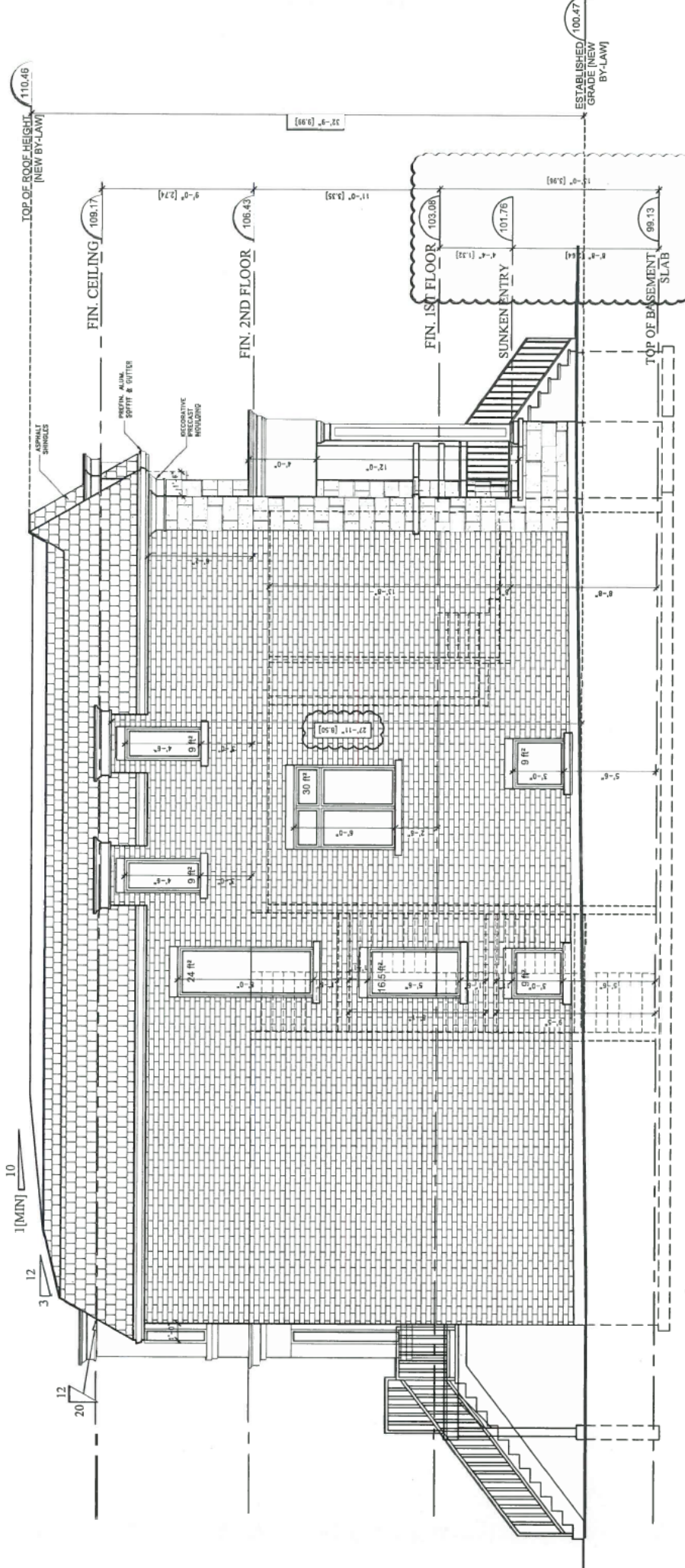
The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the east and west side elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, November 13, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



EAST ELEVATION

* 141 KINGSDALE AVENUE *

Rubinoff Design Group
 697 MOUNT PLEASANT RD.
 Toronto, Ontario M4S 2N4
 TEL: 416.887.2022 FAX: 416.887.0751 EMAIL: info@rubinoffdesign.com

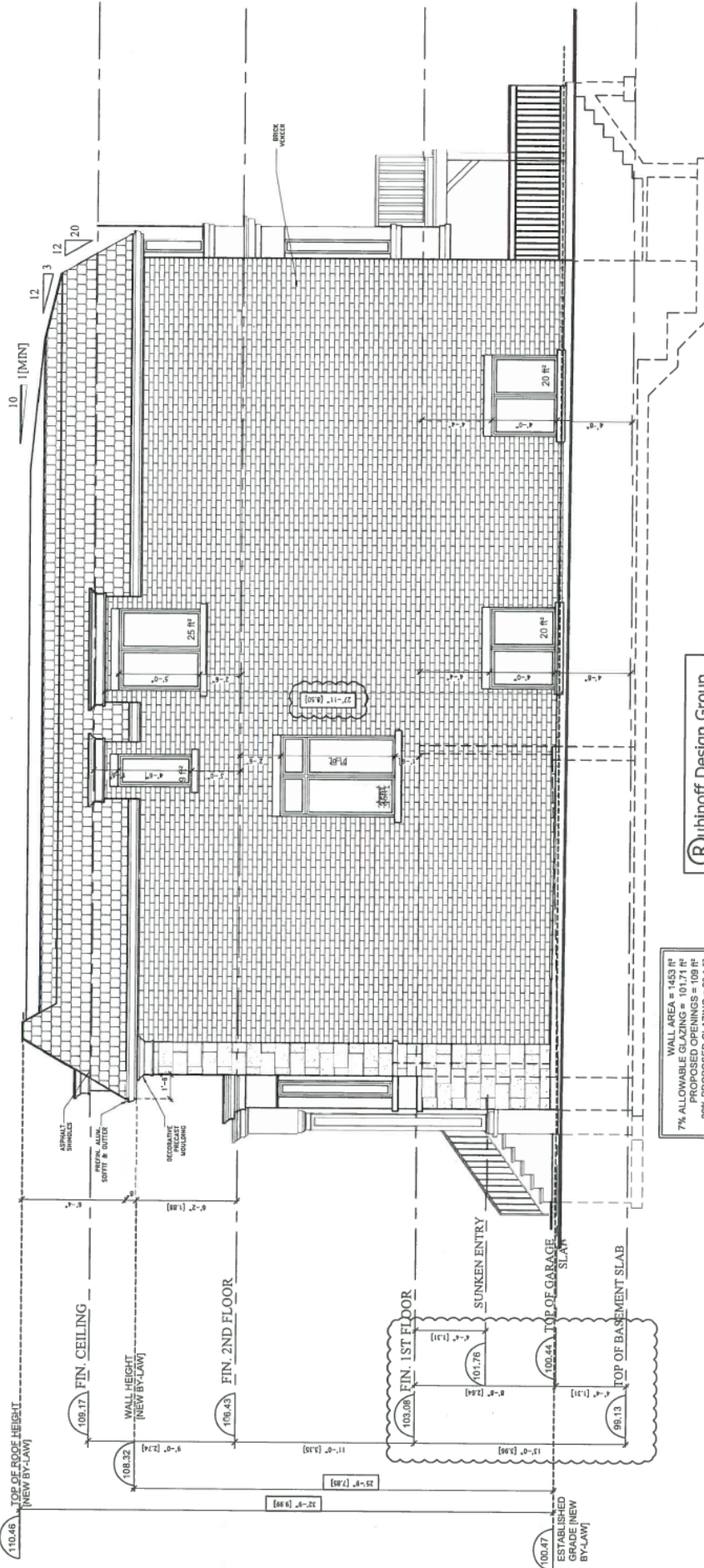
141 KINGSDALE AVE.
 SCALE: 1/8" = 1'-0" NOV 2017

WALL AREA = 1425.6 sq ft
 7% ALLOWABLE GLAZING = 99.8 sq ft
 PROPOSED OPENINGS = 106.3 sq ft
 80% PROPOSED GLAZING = 85.05 sq ft

RECEIVED

NOV 13 2017

Toronto City Planning
 North York District



WEST ELEVATION
 * 141 KINGSDALE AVENUE *

Rubinoff Design Group
 697 MOUNT PLEASANT RD.
 Toronto, Ontario M4S 2M4
 TEL: 416.697.0222 FAX: 416.697.0221 EMAIL: info@rubinoff.com
 141 KINGSDALE AVE.
 SCALE: 3/8" = 1'-0" NOV 2017

WALL AREA = 1453 R²
 7% ALLOWABLE GLAZING = 101.71 R²
 PROPOSED OPENINGS = 109 R²
 80% PROPOSED GLAZING = 98.1 R²

RECEIVED

NOV 13 2017

Toronto City Planning
 North York District

SIGNATURE PAGE

File Number:	A0880/17NY	Zoning	RD/R4 [ZZC]
Owner:	YUNXUAN WU	Ward:	Willowdale (23)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	141 KINGSDALE AVE	Community:	North York
Legal Description:	PLAN 1790 LOT 286 PT LOT 285		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0881/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	TARANEH FEYEZBAKSH WAGHEF MOHAMMAD SAEED MIRFAKHRAEI	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	354 HILLCREST AVE	Community:	North York
Legal Description:	PLAN 1609 LOT 327		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.40.50.(2), By-law No. 569-2013**
A platform without main walls, such as a deck attached to or within 0.3 m of a building must comply with the required minimum building setbacks for the zone; 1.8 m side yard setback.
The proposed west side yard setback to the rear deck is 1.52 m.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The maximum permitted height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the west and east exterior main walls facing a side lot line is 8.24 m **to a maximum of 36% of the width of the west wall and 37% of the width of the east wall.**
- 3. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
- 4. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The maximum permitted building length for a detached house is 17.0 m.
The proposed building length is 17.37 m.

5. **Chapter 10.50.40.60.(5), By-law No. 569-2013**
A chimney breast, on a building may encroach into a required building setback a maximum of 0.6 m, if it is no wider than 2.0 m. and if it is no closer to a lot line than 0.3 m.
The proposed chimney encroaches 0.74 m into the required east side yard setbacks.
6. **Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.52m **for the first 10.60m portion of the dwelling only.**
7. **Chapter 900.3.10.(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is 1.52 m **for the first 11.00m portion of the dwelling only.**
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.52 m **for the first 10.60m portion of the dwelling only.**
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.52 m **for the first 11.00m portion of the dwelling only.**
10. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 17.37 m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.32 m.
12. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.71 m.
13. **Section 6(24), By-law No. 7625**
In the rear yard, unexcavated porches or decks attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building; 1.8 m.
The proposed west side yard setback to the rear deck is 1.52 m.
14. **Section 6(24), By-law No. 7625**
The maximum projection of an unexcavated deck in the rear is 2.1 m from the wall if it is greater than 1 m above all points of the adjacent ground.
The proposed deck projects 2.59 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i)Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0881/17NY	Zoning	RD / R4 (ZZC)
Owner:	TARANEH FEYEZBAKHS WAGHEF MOHAMMAD SAEED MIRFAKHRAEI	Ward:	Willowdale (23)
Agent:	PMP DESIGN GROUP	Heritage:	Not Applicable
Property Address:	354 HILLCREST AVE	Community:	North York
Legal Description:	PLAN 1609 LOT 327		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0882/17NY	Zoning	RD (f15; a550; x5)/R4[ZZC]
Owner(s):	CHUN-YU LEE	Ward:	Willowdale (24)
Agent:	ALLERA ENGINEERING AND CONSTRUCTION INC	Heritage:	Not Applicable
Property Address:	25 CLANSMAN BLVD	Community:	North York
Legal Description:	PLAN M947 LOT 53		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8m
The proposed east side yard setback is 1.5m
- 2. Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8m
The proposed west side yard setback is 1.5m.
- 3. Chapter 10.5.40.50, By-law No. 569-2013**
In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3 m of a building, must comply with the required minimum building setbacks for the zone.
The proposed deck side yard setback is 1.8 m and the proposed deck side yard setback is 1.5 m.
- 4. Chapter 10.20.30.40.(1), By-law No. 569-2013**
(A)The permitted maximum lot coverage is 30% of the lot area (167.23 m²).
The proposed lot coverage is 32.0 % of the lot area (178.37 m²).
- 5. Chapter 10.20.40.10.(2), By-law No. 569-2013**
B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 7.56 m

6. **Chapter 10.20.40.10.(6), By-law No. 569-2013**
The permitted maximum height of the first floor above established grade is 1.2m.
The proposed height of the first floor above established grade is 1.26m.
7. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 8.9 m.
8. **Section 6(9)(f), By-law No. 7625**
Porches and decks, excavated or unexcavated, and canopies shall be permitted to project into the minimum front yard setback not more than 2.1m but no closer to the side lot setback than the minimum side yard setback for the main building.
The proposed front porch projects 2.91m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

4. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
(A)The permitted maximum lot coverage is 30% of the lot area (167.23 m²).
The proposed lot coverage is 32.0 % of the lot area (178.37 m²).
5. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
B)(ii) The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line is 7.56 m
6. **Chapter 10.20.40.10.(6), By-law No. 569-2013**
The permitted maximum height of the first floor above established grade is 1.2m.
The proposed height of the first floor above established grade is 1.26m.
7. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 8.9 m.
8. **Section 6(9)(f), By-law No. 7625**
Porches and decks, excavated or unexcavated, and canopies shall be permitted to project into the minimum front yard setback not more than 2.1m but no closer to the side lot setback than the minimum side yard setback for the main building.
The proposed front porch projects 2.91m.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

It is the decision of the Committee of Adjustment to **REFUSE** the following variance(s):

1. **Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8m
The proposed east side yard setback is 1.5m
2. **Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8m
The proposed west side yard setback is 1.5m.
3. **Chapter 10.5.40.50, By-law No. 569-2013**
In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.3 m of a building, must comply with the required minimum building setbacks for the zone.
The proposed deck side yard setback is 1.8 m and the proposed deck side yard setback is 1.5 m.

For the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0882/17NY	Zoning	RD (f15; a550; x5)/R4[ZZC]
Owner:	CHUN-YU LEE	Ward:	Willowdale (24)
Agent:	ALLERA ENGINEERING AND CONSTRUCTION INC	Heritage:	Not Applicable
Property Address:	25 CLANSMAN BLVD	Community:	North York
Legal Description:	PLAN M947 LOT 53		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0883/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	SHOKOHALZAMAN OMIDWAR	Ward:	Willowdale (24)
Agent:	M KARBALAEI CONSULTING	Heritage:	Not Applicable
Property Address:	29 KNOLLVIEW CRES	Community:	North York
Legal Description:	PLAN M846 L 17		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.50.(5), By-law No. 569-2013

In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks for the zone; 1.80m

The proposed rear deck and canopy proposed side yard setback is **1.37m**.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The permitted maximum height of all front exterior main walls is 7.50m for no less than 60% of the total width. The proposed height of the front (west) exterior main wall is 7.50m for 44% of the total width.

3. Chapter 10.20.40.10.(2), By-law No. 569-2013

The permitted maximum height of all rear exterior main walls is 7.50m for no less than 60% of the total width. The proposed height of the rear (east) exterior main wall is 7.50m for 32% of the total width.

4. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m. The proposed south side yard setback is **1.37m**.

5. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m. The proposed north side yard setback is **1.37m**.

6. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

7. Chapter 10.20.40.10.(6), By-law No. 569-2013

The maximum permitted finished first floor height is 1.20m.

The proposed finished first floor height is 1.51m.

8. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.16m.

9. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed south side yard setback is **1.37m**.

10. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed north side yard setback is **1.37m**.

11. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 1.83m.

12. Section 6(9)(i), By-law No. 7625

The maximum permitted projection of a canopy is 1.80m from the rear wall.

The proposed rear canopy projects **3.048m**.

13. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck projects **3.048m** from the rear wall and is 54% of the width of the dwelling.

14. Section 6(24), By-law No. 7625

The proposed rear deck and canopy required side yard setback is 1.80m

The proposed rear deck and canopy side yard setback is **1.37m**.

15. Section 6(9)(b), By-law No. 7625

The maximum permitted projection of stairs in the front and rear yard is 2.10m.

The proposed rear stairs project 3.10m from the deck.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The permitted maximum height of all front exterior main walls is 7.50m for no less than 60% of the total width.

The proposed height of the front (west) exterior main wall is 7.50m for 44% of the total width.

3. Chapter 10.20.40.10.(2), By-law No. 569-2013

The permitted maximum height of all rear exterior main walls is 7.50m for no less than 60% of the total width.
The proposed height of the rear (east) exterior main wall is 7.50m for 32% of the total width.

6. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.
The proposed lot coverage is 32.00% of the lot area.

7. Chapter 10.20.40.10.(6), By-law No. 569-2013

The maximum permitted finished first floor height is 1.20m.
The proposed finished first floor height is 1.51m.

8. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.
The proposed building height is 9.16m.

11. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.
The proposed finished first floor height is 1.83m.

12. Section 6(9)(i), By-law No. 7625

The maximum permitted projection of a canopy is 1.80m from the rear wall.
The proposed rear canopy projects **3.048m**.

13. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.
The proposed rear deck projects **3.048m** from the rear wall and is 54% of the width of the dwelling.

15. Section 6(9)(b), By-law No. 7625

The maximum permitted projection of stairs in the front and rear yard is 2.10m.
The proposed rear stairs project 3.10m from the deck.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. Chapter 10.5.40.50.(5), By-law No. 569-2013

In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks for the zone;
1.80m
The proposed rear deck and canopy proposed side yard setback is **1.50m**.

4. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed south side yard setback is **1.50m**.

5. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The proposed north side yard setback is **1.50m**.

9. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed south side yard setback is **1.50m**.

10. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed north side yard setback is **1.50m**.

14. Section 6(24), By-law No. 7625

The proposed rear deck and canopy required side yard setback is 1.80m

The proposed rear deck and canopy side yard setback is **1.50m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0883/17NY	Zoning	RD/R4 [ZZC]
Owner:	SHOKOHALZAMAN OMIDWAR	Ward:	Willowdale (24)
Agent:	M KARBALAEI CONSULTING	Heritage:	Not Applicable
Property Address:	29 KNOLLVIEW CRES	Community:	North York
Legal Description:	PLAN M846 L 17		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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- \$300 for each appeal filed regardless if related and submitted by the same appellant
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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0884/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	MARGARITA TORRES	Ward:	Willowdale (24)
Agent:	M KARBALAEI CONSULTING	Heritage:	Not Applicable
Property Address:	31 KNOLLVIEW CRES	Community:	North York
Legal Description:	PLAN M846 L 18		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.50.(5), By-law No. 569-2013

In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks for the zone; 1.80m

The proposed rear deck and canopy proposed side yard setback is **1.37m**.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The permitted maximum height of all front exterior main walls is 7.50m for no less than 60% of the total width. The proposed height of the front (west) exterior main wall is 7.50m for 33.70% of the total width.

3. Chapter 10.20.40.10.(2), By-law No. 569-2013

The permitted maximum height of all rear exterior main walls is 7.50m for no less than 60% of the total width. The proposed height of the rear (east) exterior main wall is 7.50m for 32% of the total width.

4. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m. The proposed south side yard setback is **1.37m**.

5. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m. The proposed north side yard setback is **1.37m**.

6. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 32.00% of the lot area.

7. Chapter 10.20.40.10.(6), By-law No. 569-2013

The maximum permitted finished first floor height is 1.20m.

The proposed finished first floor height is 1.63m.

8. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is 9.27m.

9. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed south side yard setback is **1.37m**.

10. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed north side yard setback is **1.37m**.

11. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m.

The proposed finished first floor height is 2.05m.

12. Section 6(9)(i), By-law No. 7625

The maximum permitted projection of a canopy is 1.80m from the rear wall.

The proposed rear canopy projects **3.048m**.

13. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling.

The proposed rear deck projects **3.048m** from the rear wall and is 54% of the width of the dwelling.

14. Section 6(24), By-law No. 7625

The proposed rear deck and canopy required side yard setback is 1.80m

The proposed rear deck and canopy side yard setback is **1.37m**.

15. Section 6(9)(b), By-law No. 7625

The maximum permitted projection of stairs in the front and rear yard is 2.10m.

The proposed rear stairs project 3.05m from the deck.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on condition.

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The permitted maximum height of all front exterior main walls is 7.50m for no less than 60% of the total width.

The proposed height of the front (west) exterior main wall is 7.50m for 33.70% of the total width.

3. Chapter 10.20.40.10.(2), By-law No. 569-2013

The permitted maximum height of all rear exterior main walls is 7.50m for no less than 60% of the total width. The proposed height of the rear (east) exterior main wall is 7.50m for 32% of the total width.

6. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area. The proposed lot coverage is 32.00% of the lot area.

7. Chapter 10.20.40.10.(6), By-law No. 569-2013

The maximum permitted finished first floor height is 1.20m. The proposed finished first floor height is 1.63m.

8. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m. The proposed building height is 9.27m.

11. Section 6(30), By-law No. 7625

The maximum permitted finished first floor height is 1.50m. The proposed finished first floor height is 2.05m.

12. Section 6(9)(i), By-law No. 7625

The maximum permitted projection of a canopy is 1.80m from the rear wall. The proposed rear canopy projects **3.048m**.

13. Section 6(24), By-law No. 7625

The maximum permitted rear deck projection is 2.10m from the wall, a maximum height of 1.00m and is not to be more than half the width of the dwelling. The proposed rear deck projects **3.048m** from the rear wall and is 54% of the width of the dwelling.

15. Section 6(9)(b), By-law No. 7625

The maximum permitted projection of stairs in the front and rear yard is 2.10m. The proposed rear stairs project 3.05m from the deck.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

1. Chapter 10.5.40.50.(5), By-law No. 569-2013

In the Residential Zone category, a platform without main walls, such as a deck, porch, balcony or similar structure, attached to or within 0.30m of a building, must comply with the required minimum building setbacks for the zone; 1.80m
The proposed rear deck and canopy proposed side yard setback is **1.50m**.

4. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m. The proposed south side yard setback is **1.50m**.

5. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m. The proposed north side yard setback is **1.50m**.

9. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m. The proposed south side yard setback is **1.50m**.

10. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.

The proposed north side yard setback is **1.50m**.

14. Section 6(24), By-law No. 7625

The proposed rear deck and canopy required side yard setback is 1.80m

The proposed rear deck and canopy side yard setback is **1.50m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0884/17NY	Zoning	RD/R4 [ZZC]
Owner:	MARGARITA TORRES	Ward:	Willowdale (24)
Agent:	M KARBALAEI CONSULTING	Heritage:	Not Applicable
Property Address:	31 KNOLLVIEW CRES	Community:	North York
Legal Description:	PLAN M846 L 18		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0885/17NY	Zoning	RD / R4 (ZZC)
Owner(s):	MANI SAFEDFARAJI FARIBA MIRHOSSEINI	Ward:	York Centre (10)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	162 CAINES AVE	Community:	North York
Legal Description:	PLAN 6975 PT BLK A		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor area must be within 4 m of the front main wall.
The proposed first floor area does not meet the requirements.
- 2. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the east side exterior main wall facing a lot line is 8.01 m.
- 3. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length is 17.0 m.
The proposed building length is 19.6 m.
- 4. Chapter 10.20.4.030.(1), By-law No. 569-2013**
The permitted maximum building depth is 19.0 m.
The proposed building depth is 19.6 m.
- 5. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is 1.22 m.
- 6. Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.52 m.

7. **Chapter 10.50.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided they are no closer than 0.30 m to a lot line.
The proposed east side eaves project 1.04 m.
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.72 m.
The proposed east side yard setback is 1.22 m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.72 m.
The proposed west side yard setback is 1.52 m.
10. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 19.6 m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.44 m.
12. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.86 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. **Chapter 10.50.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor area must be within 4 m of the front main wall.
The proposed first floor area does not meet the requirements.
2. **Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the east side exterior main wall facing a lot line is 8.01 m.
3. **Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length is 17.0 m.
The proposed building length is 19.6 m.
4. **Chapter 10.20.4.030.(1), By-law No. 569-2013**
The permitted maximum building depth is 19.0 m.
The proposed building depth is 19.6 m.
6. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.52 m.

7. **Chapter 10.50.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided they are no closer than 0.30 m to a lot line.
The proposed east side eaves project 1.04 m.
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.72 m.
The proposed west side yard setback is 1.52 m.
10. **Section 13.2.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 19.6 m.
11. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8 m.
The proposed building height is 9.44 m.
12. **Section 6(30)a, By-law No. 7625**
The maximum finished first floor height is 1.5 m.
The proposed finished first floor height is 1.86 m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

5. **Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is 1.22 m **for the first 8.90m portion of the dwelling only and 1.52m for the remainder.**
8. **Section 13.2.3(b), By-law No. 7625**
The minimum required side yard setback is 1.72 m.
The proposed east side yard setback is 1.22 m **for the first 8.90m portion of the dwelling only and 1.52m for the remainder.**

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

SIGNATURE PAGE

File Number:	A0885/17NY	Zoning	RD / R4 (ZZC)
Owner:	MANI SAFEDFARAJI FARIBA MIRHOSSEINI	Ward:	York Centre (10)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	162 CAINES AVE	Community:	North York
Legal Description:	PLAN 6975 PT BLK A		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
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Tuesday, November 21, 2017

**NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)**

File Number:	A0886/17NY	Zoning	(f12.0; a370) (x1463)/R6[ZZC]
Owner(s):	MARCY URBAS	Ward:	York Centre (10)
Agent:	BALMORAL DESIGN BUILD INC	Heritage:	Not Applicable
Property Address:	48 ALMONT RD	Community:	North York
Legal Description:	PLAN 3639 LOT 62		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second floor addition above the existing one-storey dwelling and garage.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 33% of the lot area.
- 2. Section 14-A, By-law No. 7625**
The minimum required side yard setback is 1.2m.
The existing and proposed North side yard setback is 0.89m.
- 3. Section 14-A, By-law No. 7625**
The minimum required side yard setback is 1.2m.
The existing and proposed South side yard setback is 0.85m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.

- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0886/17NY	Zoning	(f12.0; a370) (x1463)/R6[ZZC]
Owner:	MARCY URBAS	Ward:	York Centre (10)
Agent:	BALMORAL DESIGN BUILD INC	Heritage:	Not Applicable
Property Address:	48 ALMONT RD	Community:	North York
Legal Description:	PLAN 3639 LOT 62		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0887/17NY	Zoning	RD/R1(1) [WAV]
Owner(s):	AIWEN XU	Ward:	Don Valley West (25)
Agent:	RICHARD WENGLER ARCHITECT INC	Heritage:	Not Applicable
Property Address:	20 SAINTFIELD AVE	Community:	North York
Legal Description:	PLAN M809 LOT 47		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 5.86m² within 4.00m of the main front wall.

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 43.99% of the lot area.

3. Chapter 10.20.40.70.(2), By-law No. 569-2013

The minimum required rear yard setback is 9.94m.
The proposed rear yard setback is 6.15m.

4. Chapter 10.20.40.70.(5), By-law No. 569-2013

The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The proposed east side yard setback is 3.00m for the portion of the dwelling exceeding 17.00m in depth.

5. Section 10.2.3(a), By-law No. 7625

The minimum required front yard setback is 12.00m.
The proposed front yard setback is 8.51m.

6. Section 10.2.1(a), By-law No. 7625

The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is 6.15m.

7. Section 10.2.6, By-law No. 7625

The maximum permitted building height is 9.50m.
The proposed building height is 9.68m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.5.40.10.(5), By-law No. 569-2013

A minimum of 10.00m² of the first floor area must be within 4.00m of the main front wall.
The proposed first floor area is 5.86m² within 4.00m of the main front wall.

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 43.99% of the lot area.

3. Chapter 10.20.40.70.(2), By-law No. 569-2013

The minimum required rear yard setback is 9.94m.
The proposed rear yard setback is 6.15m.

4. Chapter 10.20.40.70.(5), By-law No. 569-2013

The minimum required side yard setback is 7.50m for the portion of the dwelling exceeding 17.00m in depth.
The proposed east side yard setback is 3.00m for the portion of the dwelling exceeding 17.00m in depth.

5. Section 10.2.3(a), By-law No. 7625

The minimum required front yard setback is 12.00m.
The proposed front yard setback is 8.51m.

6. Section 10.2.1(a), By-law No. 7625

The minimum required rear yard setback is 9.50m.
The proposed rear yard setback is 6.15m.

7. Section 10.2.6, By-law No. 7625

The maximum permitted building height is 9.50m.
The proposed building height is 9.68m.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

2. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 25.00% of the lot area.
The proposed lot coverage is 43.99% of the lot area (**32.28% allocated to the dwelling, 8.89% be allocated to the porch and 2.77% to be allocated to the outdoor room**).

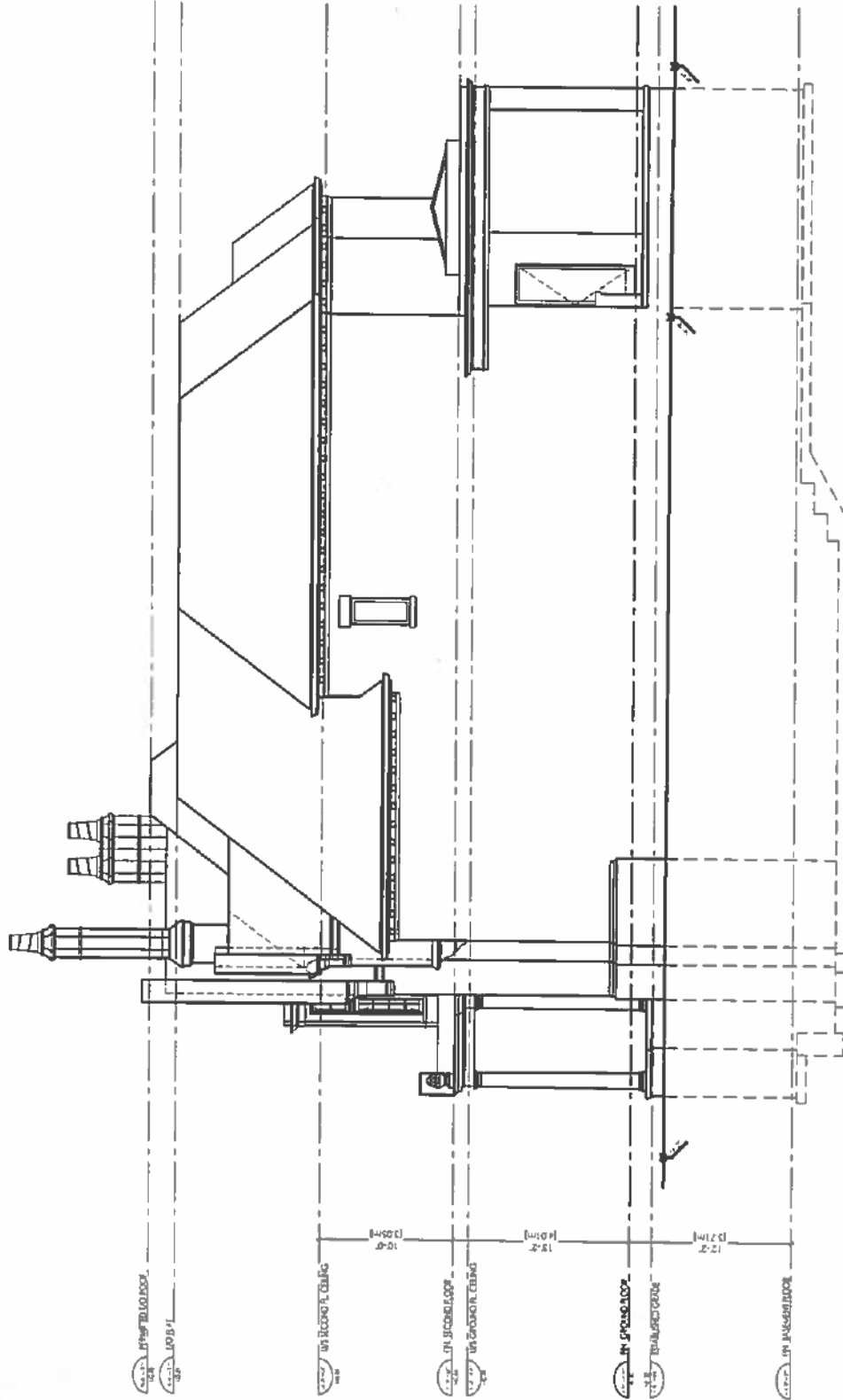
For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.

- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the east elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, November 8, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



EAST ELEVATION
SCALE: 1/8" = 1'-0"

RECEIVED

NOV 08 2017

Toronto City Planning
North York District

ZHANG RESIDENCE

20 SAINTFIELD AVENUE
TORONTO, ONTARIO
OCTOBER 02, 2017
1660



RICHARD WENGLE
ARCHITECT INC.

SIGNATURE PAGE

File Number:	A0887/17NY	Zoning	RD/R1(1) [WAV]
Owner:	AIWEN XU	Ward:	Don Valley West (25)
Agent:	RICHARD WENGLE ARCHITECT INC	Heritage:	Not Applicable
Property Address:	20 SAINTFIELD AVE	Community:	North York
Legal Description:	PLAN M809 LOT 47		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0888/17NY	Zoning	RD (f12.0; a370) (x1463)/R6[ZCC]
Owner(s):	SERKAN DOGAN	Ward:	York Centre (10)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	159 REINER RD	Community:	North York
Legal Description:	PLAN 1938 E PT LOT 140		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5m
The proposed height of the side exterior main walls facing a side lot line is 9.18m.
- 2. Chapter 10.20.40.20.(1), By-law No. 569-2013**
The permitted maximum building length for a detached house is 17.0m.
The proposed building length is 19.02m.
- 3. Section 14-A(5)(a), By-law No. 7625**
The minimum required front yard setback is 6m.
The proposed front yard setback is 5.61m.
- 4. Section 14-A(9), By-law No. 7625**
The maximum permitted building length is 15.3m.
The proposed building length is 19.02m.
- 5. Section 14-A(8), By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.43m.

6. Section 6(24), By-law No. 7625

The maximum height of an unexcavated deck in the rear that projects more than 2.1m from the wall and/or is greater than 50% of the width of the house is 1m above all points of the adjacent ground.
The proposed deck height is 2.42m.

7. Section 6(24), By-law No. 7625

The maximum projection of an unexcavated deck in the rear is 2.1m from the wall if it is greater than 1m above all points of the adjacent ground.
The proposed deck projects 3.05m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

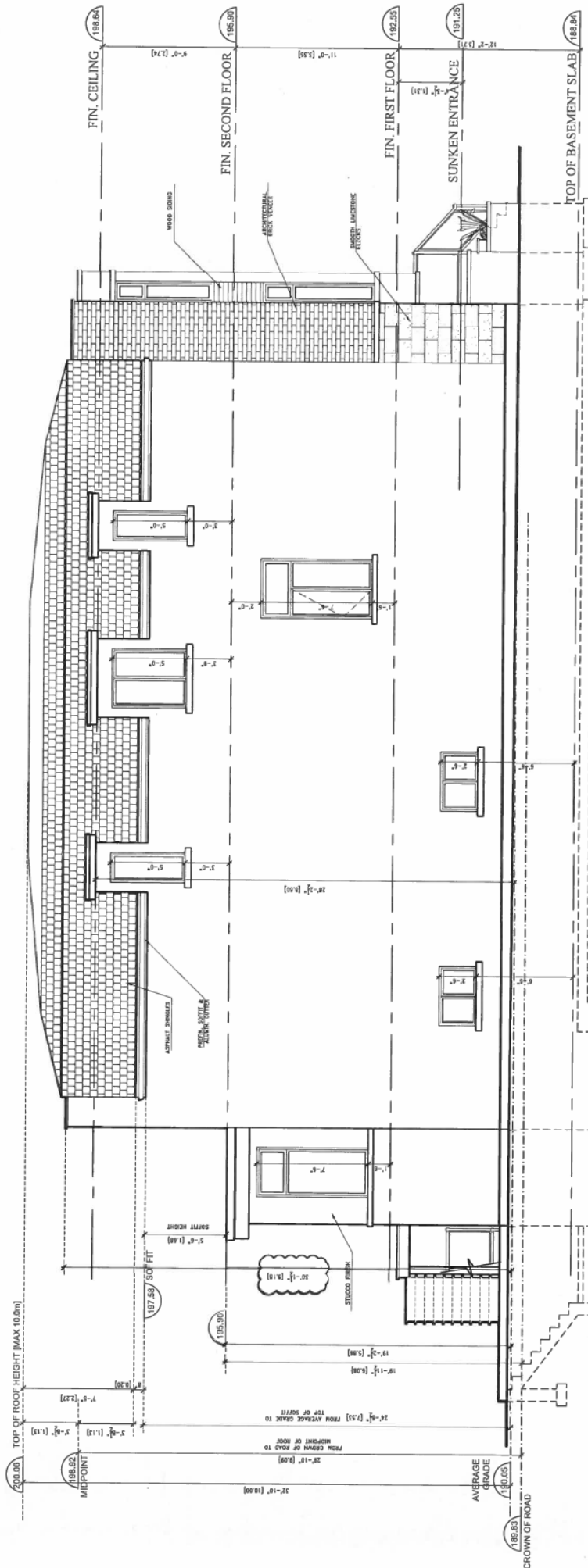
This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Where there are no existing street trees, the owner shall provide payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application. The current cost of planting a tree is \$583.

2) The proposal be developed substantially in accordance with the site plan and the east and west side elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, November 13, 2017.

Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



EAST SIDE ELEVATION

159 REINER ROAD

Rubioff Design Group
 687 Mount Pleasant Rd.
 Toronto, Ontario, M5S 2M4
 Tel: +1-416-291-1000 / www.rubioffdesign.com

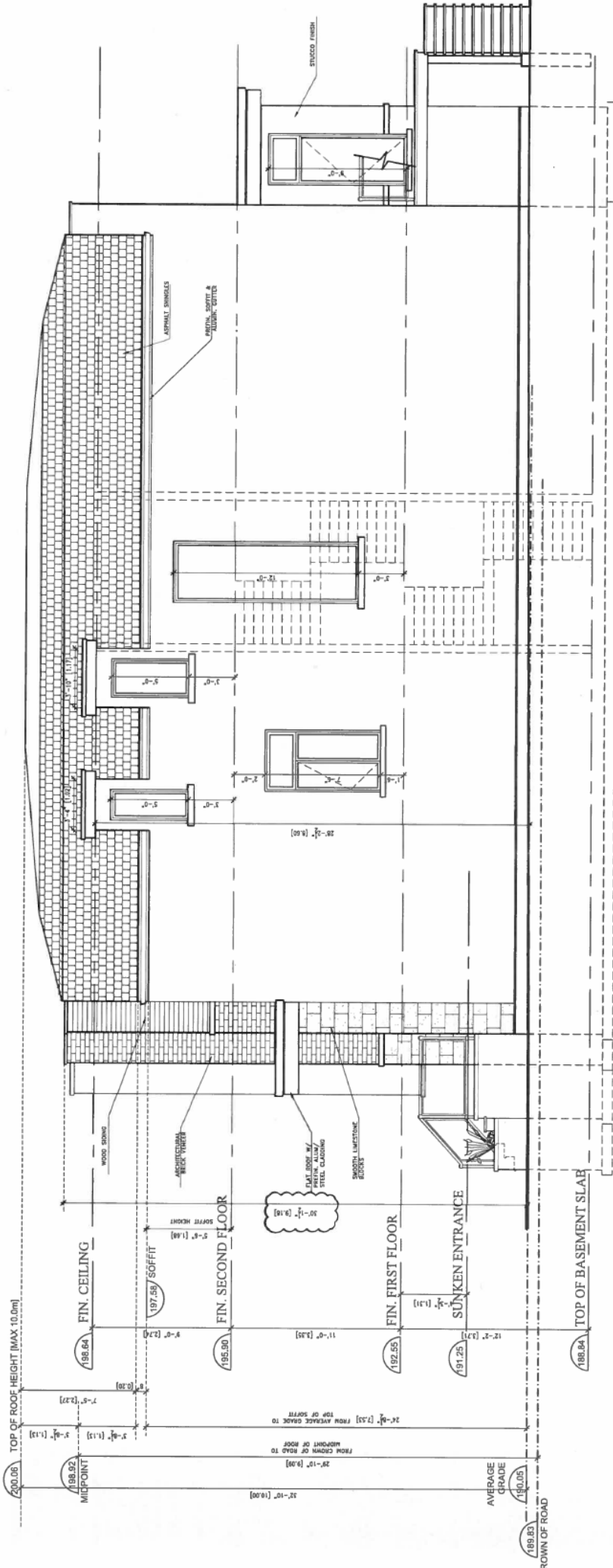
SCALE: NTS NOV 2017

WALL FACE AREA = 1740 ft²
 7% WINDOW ALLOWANCE = 121.8 ft²
 WINDOW AREAS = 133 ft²
 90% GLAZED AREA = 119.7 ft²

RECEIVED

NOV 13 2017

CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE



Rubinfoff Design Group
 697 Mount Pleasant Rd.
 Toronto, Ontario M4S 2M4
 TEL: 416-463-2222 FAX: 416-463-2221 EMAIL: info@rubinfoffdesign.com
 SCALE: NTS NOV 2017

WALL FACE AREA = 1565 R'
 7% WINDOW ALLOWANCE = 109.55 R'
 WINDOW AREAS = 100.5 R'

WEST SIDE ELEVATION
 159 REINER ROAD

RECEIVED

NOV 13 2017

**CITY OF TORONTO PLANNING
 NORTH YORK CIVIC CENTRE**

SIGNATURE PAGE

File Number:	A0888/17NY	Zoning	RD (f12.0; a370) (x1463)/R6[ZZC]
Owner:	SERKAN DOGAN	Ward:	York Centre (10)
Agent:	GLENN RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	159 REINER RD	Community:	North York
Legal Description:	PLAN 1938 E PT LOT 140		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0889/17NY	Zoning	M2(2) [WAV]
Owner(s):	INDUSTRIAL STREET DEVELOPMENTS LTD 2498000 ONTARIO INC	Ward:	Don Valley West (26)
Agent:	2498000 ONTARIO INC	Heritage:	Not Applicable
Property Address:	43 INDUSTRIAL ST	Community:	East York
Legal Description:	PLAN 2643 PT BLK B NOW RP 64R15937 PART 1 2		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit the construction of multiple industrial condominium units, in conjunction with a garbage enclosure.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Section 5.19., By-law No. 1916

The minimum required number of loading spaces is two (2).
The proposed number of loading spaces is zero (0).

2. Section 8.3.2, By-law No. 1916

The minimum required front yard setback is 6.00m.
The proposed front yard setback is 2.50m.

3. Section 8.3.1, By-law No. 1916

To permit vehicle storage in the units.

4. Section 8.2.1, By-law No. 1916

An Office use is not a permitted use in a M2(2) zone.
To permit Offices in 25.00% of the complex.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0889/17NY	Zoning	M2(2) [WAV]
Owner:	INDUSTRIAL STREET DEVELOPMENTS LTD 2498000 ONTARIO INC	Ward:	Don Valley West (26)
Agent:	2498000 ONTARIO INC	Heritage:	Not Applicable
Property Address:	43 INDUSTRIAL ST	Community:	East York
Legal Description:	PLAN 2643 PT BLK B NOW RP 64R15937 PART 1 2		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0890/17NY	Zoning	RD / R1 (ZZC)
Owner(s):	JERRY MCINTOSH JERRY MCINTOSH	Ward:	Eglinton-Lawrence (16)
Agent:	DREW MANDEL ARCHITECTS	Heritage:	Not Applicable
Property Address:	553 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN M25 E PT LOT 204		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey addition to the rear of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.50.80.10.(3), By-law No. 569-2013**
A parking space may not be located in a front yard or side yard abutting a street.
The proposed parking spot is located in a front yard.
- 2. Chapter 200.5.10.1.(1), By-law No. 569-2013**
The required minimum number of parking space(s) for a detached house is 1 space.
The proposal will have 0 spaces.
- 3. Section 4(4), By-law No. 438-86**
The required minimum number of parking space(s) for a detached house is 1 space.
The proposal will have 0 spaces.
- 4. Section 6(3) Part II 3.B(II), By-law No. 438-86**
A minimum side lot line setback of 0.9 m is required of the portion of the building not exceeding 17.0 m in depth.
The proposed east side lot line setback is 0.45 m.
- 5. Section 6(3) Part IV 1(E), By-law No. 438-86**
Parking of motor vehicles on the portion of the lot between the front lot line and the front wall of the building is prohibited.
The proposed parking does not comply.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0890/17NY	Zoning	RD / R1 (ZZC)
Owner:	JERRY MCINTOSH JERRY MCINTOSH	Ward:	Eglinton-Lawrence (16)
Agent:	DREW MANDEL ARCHITECTS	Heritage:	Not Applicable
Property Address:	553 BRIAR HILL AVE	Community:	Toronto
Legal Description:	PLAN M25 E PT LOT 204		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0894/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	IDA DERAUVANSIAN- LIVASKA MOHAMMAD ALI BEN AMIRI	Ward:	Willowdale (24)
Agent:	MOHAMMAD ALI BEN AMIRI	Heritage:	Not Applicable
Property Address:	99 BANSTOCK DR	Community:	North York
Legal Description:	PLAN M1000 LOT 40		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a second storey addition over the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.
The existing and proposed building length is 18.15m.

2. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The existing and proposed north side yard setback is 1.50m.

3. Chapter 900.3.10.(5), By-law No. 569-2013

The minimum required side yard setback is 1.80m.
The existing and proposed south side yard setback is 1.19m.

4. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The existing and proposed north side yard setback is 1.50m.

5. Section 13.2.3(b), By-law No. 7625

The minimum required side yard setback is 1.80m.
The existing and proposed south side yard setback is 1.19m.

6. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The existing and proposed building length is 17.86m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0894/17NY	Zoning	RD/R4 [ZZC]
Owner:	IDA DERAUVANSIAN- LIVASKA	Ward:	Willowdale (24)
Agent:	MOHAMMAD ALI BEN AMIRI	Heritage:	Not Applicable
Property Address:	99 BANSTOCK DR	Community:	North York
Legal Description:	PLAN M1000 LOT 40		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0895/17NY	Zoning	RD / R3 (ZZC)
Owner(s):	NINA TIMOFEEVA GENNADY TIMOFEEV	Ward:	Eglinton-Lawrence (16)
Agent:	GUITBERG GROUP INC	Heritage:	Not Applicable
Property Address:	201 HILLHURST BLVD	Community:	North York
Legal Description:	PLAN M346 LOT 114		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.50.40.50.(2), By-law No. 569-2013**
A platform without main walls such as a deck attached to or within 0.3 m of a building, must comply with the required minimum building side yard setbacks for the zone; 1.8 m.
The proposed rear deck and canopy is setback 1.21 m fro the east lot line.
- Chapter 10.20.40.20.(1), By-law No. 569-2013**
A maximum permitted building length is 17.0 m.
The proposed building length is 19.66 m.
- Chapter 10.20.40.30.(1), By-law No. 569-2013**
The maximum permitted building depth is 19.0 m.
The proposed building depth is 19.97 m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed west side yard setback is 1.21 m.
- Chapter 10.20.40.70.(3), By-law No. 569-2013**
The required minimum side yard setback is 1.8 m.
The proposed east side yard setback is 1.21 m.

6. **Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 35% of the lot area.
The proposed lot coverage is 38.36% of the lot area.
7. **Chapter 10.50.40.60.(5), By-law No. 569-2013**
A chimney breast, on a building, may encroach into a required building setback a maximum of 0.6 m, if it is no wider than 2.0 m.
The proposed chimney encroaches 0.89 m into the required west and east side yard setback.
8. **Chapter 10.5.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The proposed eaves project 1.2 m into the required west and east side yard setback.
9. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed east side yard setback is 1.21 m.
10. **Section 12.4(b), By-law No. 7625**
The minimum required side yard setback is 1.8 m.
The proposed west side yard setback is 1.21 m.
11. **Section 12.5A, By-law No. 7625**
The maximum permitted building length is 16.8 m.
The proposed building length is 20.88 m.
12. **Section 6(24)(d), By-law No. 7625**
Unexcavated decks in the rear yard, attached to or detached from the main building shall not be located closer to the side lot lines than the minimum side yard setback for the main building; 1.8 m.
The proposed rear deck and canopy are setback 1.21 m from the east side lot line.
13. **Section 6(9)(i), By-law No. 7625**
The maximum permitted projection of a canopy is 1.8 m from the rear wall.
The proposed rear canopy projects 2.08 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0895/17NY	Zoning	RD / R3 (ZZC)
Owner:	NINA TIMOFEEVA GENNADY TIMOFEEV	Ward:	Eglinton-Lawrence (16)
Agent:	GUTBERG GROUP INC	Heritage:	Not Applicable
Property Address:	201 HILLHURST BLVD	Community:	North York
Legal Description:	PLAN M346 LOT 114		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0897/17NY	Zoning	RD/R4 [ZZC]
Owner(s):	TAMARA ROSENTHAL MISKIN	Ward:	York Centre (10)
Agent:	TAMARA ROSENTHAL MISKIN	Heritage:	Not Applicable
Property Address:	10 ERICA AVE	Community:	North York
Legal Description:	CON 2 WYS PT LOT 13 PLAN 4883 PT LOT 102		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 33.59% of the lot area.

2. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is 21.91m.

3. Chapter 10.20.40.30.(1), By-law No. 569-2013

The maximum permitted building depth is 19.00m.

The proposed building depth is 21.916m.

4. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 7.865m.

The proposed front yard setback is 7.34m.

5. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is 21.91m.

6. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is **10.29m**.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to **APPROVE** the following variance(s):

1. Chapter 10.20.30.40.(1), By-law No. 569-2013

The maximum permitted lot coverage is 30.00% of the lot area.

The proposed lot coverage is 33.59% of the lot area.

4. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 7.865m.

The proposed front yard setback is 7.34m.

6. Section 13.2.6, By-law No. 7625

The maximum permitted building height is 8.80m.

The proposed building height is **10.29m**.

It is the decision of the Committee of Adjustment to **MODIFY** and **APPROVE** the following variance(s):

5. Section 13.2.5A, By-law No. 7625

The maximum permitted building length is 16.80m.

The proposed building length is **20.00m**.

2. Chapter 10.20.40.20.(1), By-law No. 569-2013

The maximum permitted building length is 17.00m.

The proposed building length is **20.00m**.

3. Chapter 10.20.40.30.(1), By-law No. 569-2013

The maximum permitted building depth is 19.00m.

The proposed building depth is **20.00m**.

For the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

- i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

ii) Submission of a complete application for permit to injure or remove privately owned trees.

SIGNATURE PAGE

File Number:	A0897/17NY	Zoning	RD/R4 [ZZC]
Owner:	TAMARA ROSENTHAL MISKIN	Ward:	York Centre (10)
Agent:	TAMARA ROSENTHAL MISKIN	Heritage:	Not Applicable
Property Address:	10 ERICA AVE	Community:	North York
Legal Description:	CON 2 WYS PT LOT 13 PLAN 4883 PT LOT 102		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0898/17NY	Zoning	RM / R2 (ZZC)
Owner(s):	PETER PITTNER	Ward:	Eglinton-Lawrence (15)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	60 BELVIDERE AVE	Community:	York
Legal Description:	PLAN 1862 LOT 10		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new three storey addition to the rear of the existing dwelling.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 10.50.40.60.(7), By-law No. 569-2013**
Roof eaves may project a maximum of 0.9 m provided that they are no closer than 0.30 m to a lot line.
The proposed eaves project 0.3 m and are 0.15 m from the east lot line.
- Chapter 01.80.40.10.(1), By-law No. 569-2013**
The permitted maximum height of a building is 11.0 m.
The proposed building height is **11.32 m**.
- Chapter 10.80.40.40.(1), By-law No. 569-2013**
The permitted maximum floor space index is 0.8 times the area of the lot.
The proposed floor space index is 1.06 times the area of the lot.
- Chapter 10.50.40.10.(4), By-law No. 569-2013**
A minimum of 10.0 m² of the first floor must be within 4.0 m of the front main wall.
The proposed first floor area is 1.6 m².
- Chapter 200.5.10.1.(1), By-law No. 569-2013**
The required minimum number of parking spaces required is 2 spaces.
The proposal will have 0 parking spaces.
- Section 3.2.1(v), By-law No. 1-83**
The minimum required number of parking space is 2.
The site provided 0 parking spaces.

7. **Section 3.(a), By-law No. 1-83**
The maximum height is 11.0 m.
The proposed height is **11.68 m.**
8. **Section 3.(a), By-law No. 1-83**
The maximum floor space index is 0.8.
The proposed floor space index is 1.45.
9. **Section 3.(a), By-law No. 1-83**
The minimum side yard setback is 0.5 m and 1.2 m.
The proposed side yard setback is 0.46 m. and 1.07 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0898/17NY	Zoning	RM / R2 (ZZC)
Owner:	PETER PITTNER	Ward:	Eglinton-Lawrence (15)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	60 BELVIDERE AVE	Community:	York
Legal Description:	PLAN 1862 LOT 10		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0899/17NY	Zoning	C1[WAV]
Owner(s):	5308 YONGE PROPERTIES INC	Ward:	Willowdale (23)
Agent:	TRAN DIEU & ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	5308 YONGE ST	Community:	North York
Legal Description:	CON 1 WY NPT S PT LOT 19		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To permit a restaurant use from an existing commercial use.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Section 6A(2)a, By-law No. 7625**
The minimum required number of parking spaces is 13.
The proposed number of parking space is 1.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

SIGNATURE PAGE

File Number:	A0899/17NY	Zoning	C1[WAV]
Owner:	5308 YONGE PROPERTIES INC	Ward:	Willowdale (23)
Agent:	TRAN DIEU & ASSOCIATES INC	Heritage:	Not Applicable
Property Address:	5308 YONGE ST	Community:	North York
Legal Description:	CON 1 WY NPT S PT LOT 19		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0900/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner(s):	SAEIDEH SIYAMAKNIA ALI MISHARIFI	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	212 DINNICK CRES	Community:	Toronto
Legal Description:	PLAN 1534 LOT 182		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

1. Chapter 10.20.40.10.(1), By-law No. 569-2013

The maximum permitted building height is 10.00m.
The proposed building height is 10.70m.

2. Chapter 10.20.40.10.(2), By-law No. 569-2013

The maximum permitted height of all side exterior main walls facing a side lot line is 7.50m.
The proposed height of the side exterior main walls facing a side lot line is 9.13m.

3. Chapter 10.20.40.40.(1), By-law No. 569-2013

The maximum permitted floor space index is 0.35 times the lot area.
The proposed floor space index is 0.58 times the lot area.

4. Chapter 10.20.40.70.(1)(B), By-law No. 569-2013

The minimum required front yard setback is 9.04m.
The proposed front yard setback is 8.92m.

5. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.50m.
The proposed west side yard setback is **0.90m**.

6. Chapter 10.5.40.60.(7), By-law No. 569-2013

Roof eaves may project a maximum of 0.90m provided that they are no closer than 0.30m to a lot line.
The proposed eaves project 0.21m from the west lot line.

7. Chapter 10.20.40.70.(3), By-law No. 569-2013

The minimum required side yard setback is 1.50m.
The proposed east side yard setback is 1.20m.

8. Section 6(3) Part I 1, By-law No. 438-86

The maximum permitted gross floor area is 0.35 times the lot area.
The proposed gross floor area is 0.58 times the lot area.

9. Section 6(3), Part II 2,(II), By-law No. 438-86

The By-law requires a building on an inside lot to have a minimum front lot line setback of 9.04m.
The proposed front lot line setback is 8.92m.

10. 6(3) Part IV 3(II), By-law No. 438-86

The By-law does not permit an integral garage in a building where the floor level of the garage is located below grade and the vehicle access to the garage is located in a wall facing the front lot line.
The proposed integral garage is below grade.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

This decision is subject to the following condition(s):

- 1) The proposal be developed substantially in accordance with the east elevation elevation submitted to the Committee of Adjustment, date stamped received by the City of Toronto Planning Division, November 8, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 2) The proposal be developed substantially in accordance with the site plan submitted to the Committee of Adjustment, signed and dated November 21, 2017.
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.
- 3) The driveway maintain a minimum 2% positive slope from the street to the entry of the integral garage.

Handwritten signature
 NOV 21/17

REGISTERED

PLAN

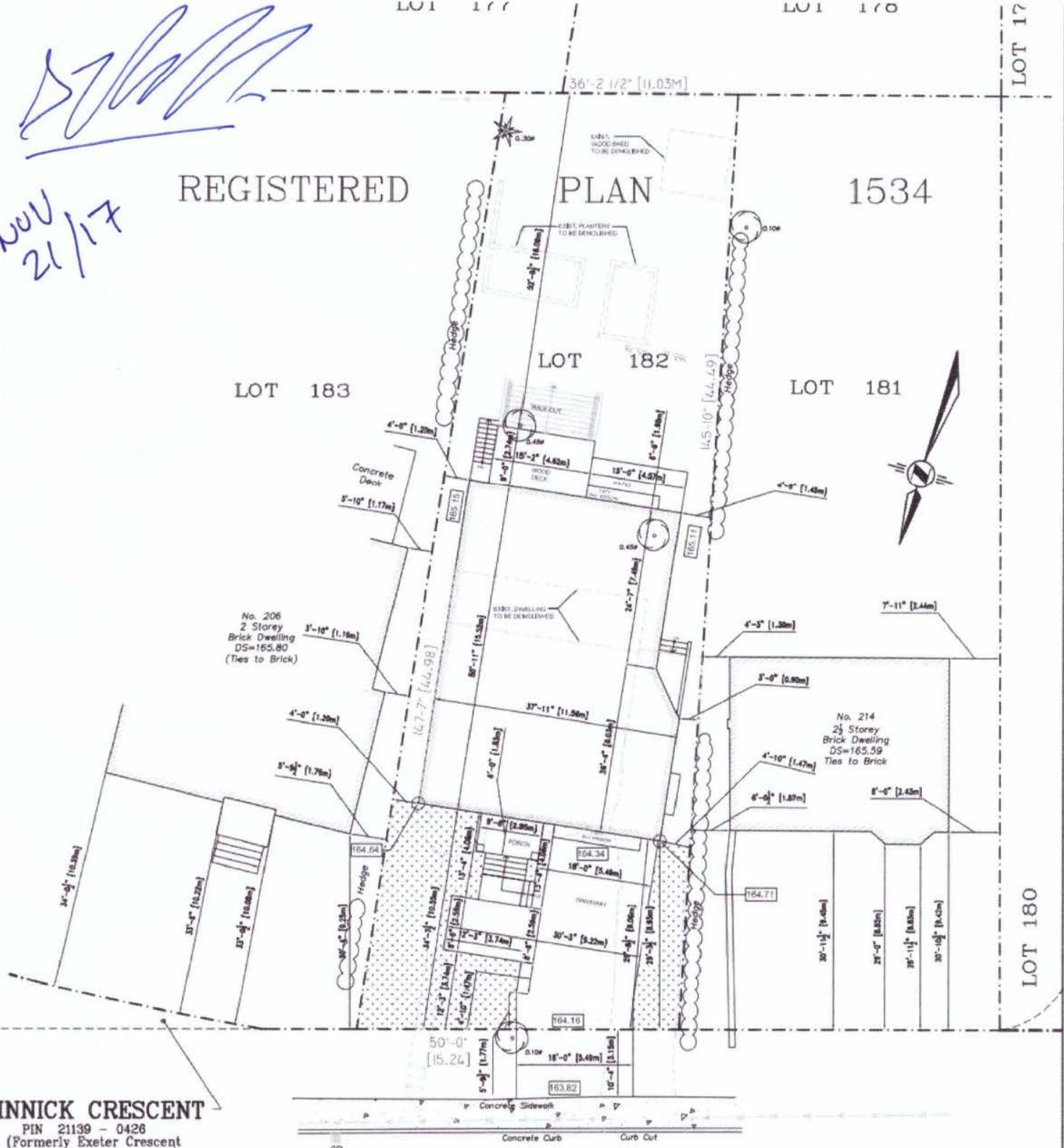
1534

LOT 183

LOT 182

LOT 181

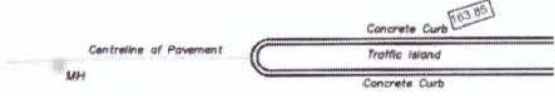
LOT 180



DINNICK CRESCENT
 PIN 21139 - 0426
 (Formerly Exeter Crescent
 by Registered Plan 1534)

LAWRENCE AVENUE EAST

PIN 21142 - 0365
 (Road Allowance between Lots 5 and 6
 Concession 1, East of Yonge Street)



SITE STATISTICS :

LOT AREA [LOT 48] = 6271 ft² [582.6 m²]

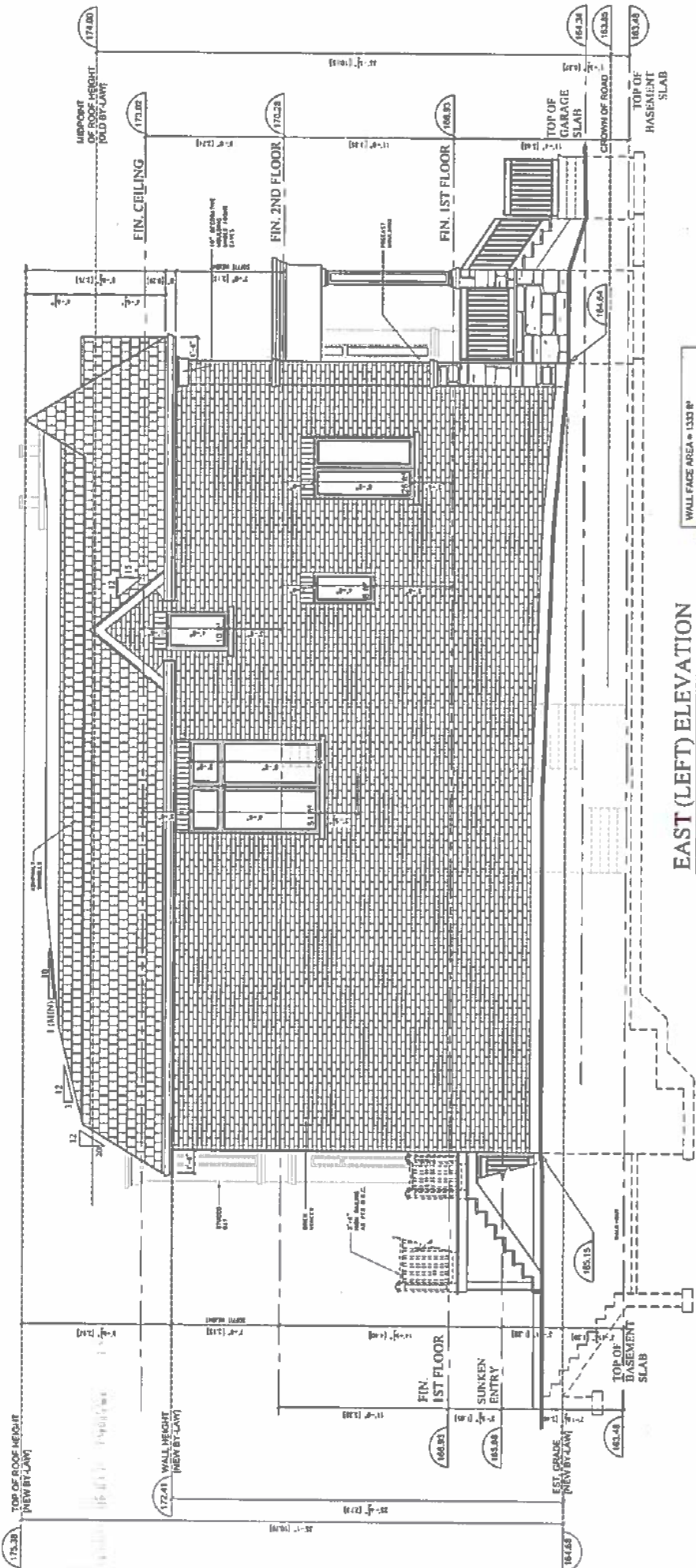
HARD SURFACE CALCULATIONS

TOTAL FRONT YARD AREA: 1560 ft² [144.9 m²]
 DRIVEWAY AREA: 663 ft² [61.6 m²]
 TOTAL FRONT YARD EXCLUD. DRIVEWAY: 897 ft² [83.3 m²]
 PORCH & STAIR WALKWAY AREA: 112 ft² [10.4 m²]

FRONT YARD HARD SURFACE AREA: 775 ft² [72.0 m²] 49.7 %
 FRONT YARD SOFT LANDSCAPING AREA: 785 ft² [72.9 m²] 87.5 %

COVERAGE = 1814 ft² [169.0 m²]
 TOTAL GFA = 3628 ft² [337.0 m²] [58.0 %]

THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO BE A DESIGNER	
QUALIFICATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.3. OF THE BUILDING CODE	
GLENN RUBHOFF SIGNATURE	22370 BCN/BCON
REGISTRATION INFORMATION REQUIRED UNLESS DESIGN IS EXEMPT UNDER 2.17.4.3. OF THE BUILDING CODE	
RUBHOFF DESIGN GROUP FIRM NAME	27293 BCN/BCON



WALL FACE AREA = 1333 SF
 7% WINDOW ALLOWANCE = 93.31 SF
 90% GLAZED AREA = 839.97 SF

RECEIVED
 NOV 08 2017

Toronto City Planning
 North York District

EAST (LEFT) ELEVATION

212 DINNICK CRESCENT

Rubloff Design Group
 487 Mount Pleasant Road
 Toronto, Ontario M4S 2M4
 Tel: 416-461-1434
212 DINNICK CRESCENT
 SCALE: 3/16" = 1'-0" SEP. 06, 2017

SIGNATURE PAGE

File Number:	A0900/17NY	Zoning	RD/R1 Z0.35 [ZZC]
Owner:	SAEIDEH SIYAMAKNIA ALI MISHARIFI	Ward:	Don Valley West (25)
Agent:	RUBINOFF DESIGN GROUP	Heritage:	Not Applicable
Property Address:	212 DINNICK CRES	Community:	Toronto
Legal Description:	PLAN 1534 LOT 182		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0762/17NY	Zoning	RD/R6 (WAIVER)
Owner(s):	NESET PARMAKSIZOGLU	Ward:	York Centre (10)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	59 CHARLESWOOD DR	Community:	North York
Legal Description:	PLAN 3639 LOT 146		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two storey dwelling with integral garage. The existing dwelling will be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 10.20.30.40, By-law No. 569-2013**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 33.9% of the lot area.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setbacks are 1.8 m.
The proposed east and west side yard setbacks are 1.2 m.
- 3. Chapter 10.20.40.10.(2), By-law No. 569-2013**
The permitted maximum height of all side exterior main walls facing a side lot line is 7.5 m.
The proposed height of the side exterior main walls facing a side lot line are 8.38 m.
- 4. Chapter 10.20.30.20.(1), By-law No. 569-2013**
The required minimum lot frontage is 15 m.
The proposed lot frontage is 12.19 m.
- 5. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10 m² of the first floor area must be within 4 m of the front wall.
There is 8.74 m² proposed within 4 m of the front wall.
- 6. Section 13.2.3(b), By-law No.7625**
The minimum required side yard setback is 1.8 m.
The proposed side yard setbacks are 1.2 m.

7. Section 13.2.6, By-law No.7625

The maximum permitted building height is 8.8 m.

The proposed building height is 9.1 m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Approved on Condition

It is the decision of the Committee of Adjustment to authorize this variance application for the following reasons:

- The general intent and purpose of the Official Plan is maintained.
- The general intent and purpose of the Zoning By-law is maintained.
- The variance(s) is considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is minor.

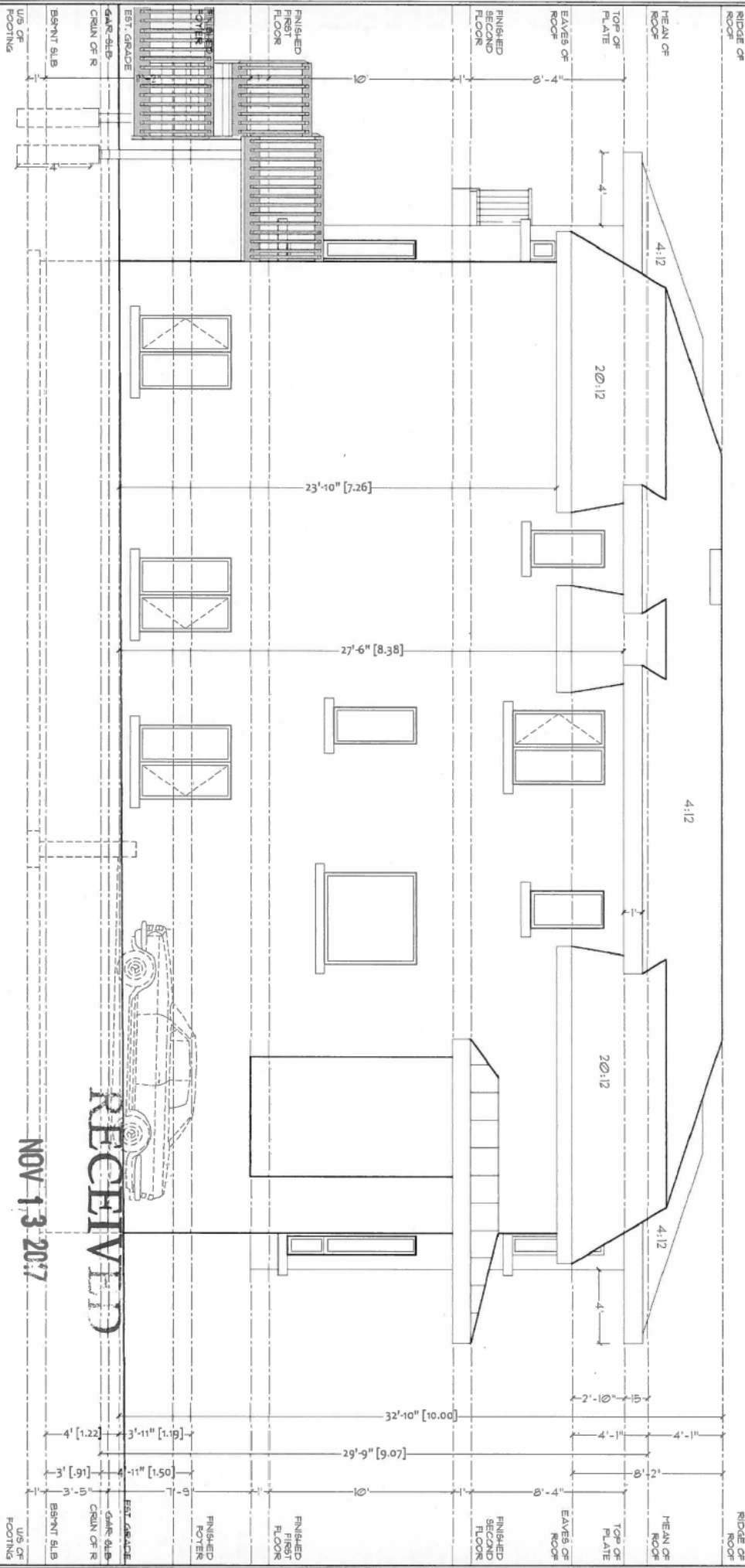
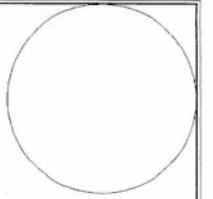
This decision is subject to the following condition(s):

1) The requirements of the Parks and Recreation, Urban Forestry Division;

i) Submission of a complete application for a permit to injure or destroy a City-owned tree(s). A *Contractor's Agreement to Perform Work on City-owned Trees* will be required prior to the removal/injure of the subject tree(s). Form located at www.toronto.ca/trees/pdfs/contractor_services_agreement_information.pdf.

Submission of a tree protection guarantee security deposit to guarantee the protection of City-owned trees according to the *Tree Protection Policy and Specifications for Construction Near Trees* or as otherwise approved by Urban Forestry. Accepted methods of payment include debit or card, certified cheque or money order payable to the *Treasurer of the City of Toronto*, or Letter of Credit.

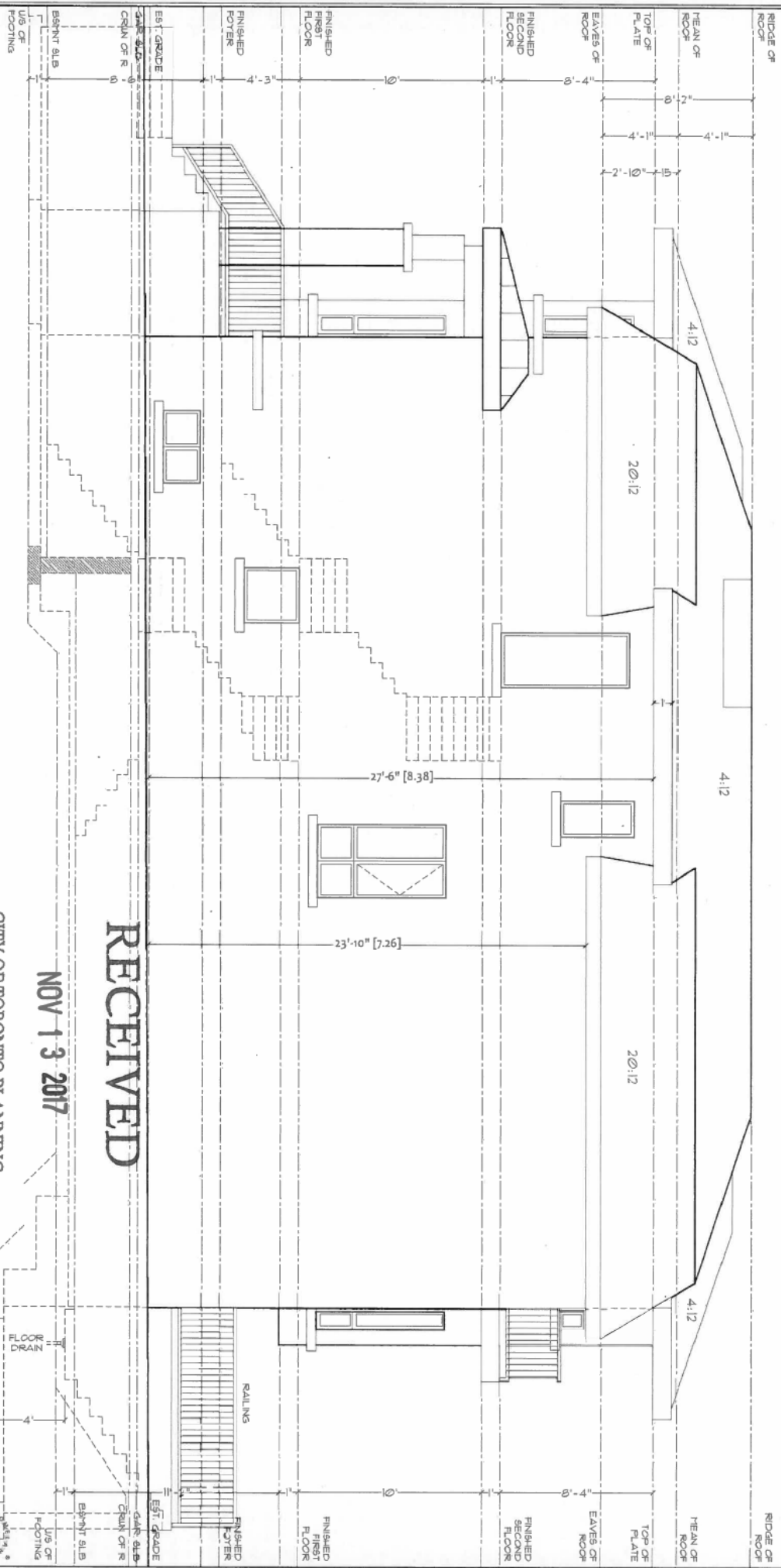
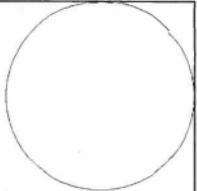
- 2) The proposal be developed substantially in accordance with the east and west side elevation drawings submitted to the Committee of Adjustment, date stamped as received by the City of Toronto Planning Division, November 13, 2017.**
Any other variance(s) that may appear on these plans but are not listed in the written decision are NOT authorized.



RECEIVED
 NOV 13 2017

CITY OF TORONTO P.L.
 NORTH YORK CIVIC CENTRAL

ALL TEREEN & HALL DINEK JULY 30, 2017 HOMELAND 416-319-6020 59 CHARLESWOOD DR B/B "11"0" LEFT ELEVATION



CITY OF TORONTO PLANNING
NORTH YORK CIVIC CENTRE

NOV 13 2017

RECEIVED

ALL TEREEN & HALL DINEK JULY 30, 2017 HOMELAND 416-319-6020 59 CHARLESWOOD DR B1/B" 110' RIGHT ELEVATION 09



SIGNATURE PAGE

File Number:	A0762/17NY	Zoning	RD/R6 (WAIVER)
Owner:	NESET PARMAKSIZOGLU	Ward:	York Centre (10)
Agent:	HOMELAND	Heritage:	Not Applicable
Property Address:	59 CHARLESWOOD DR	Community:	North York
Legal Description:	PLAN 3639 LOT 146		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
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Tuesday, November 21, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0027/17NY	Zoning	RD/R4[ZZC]
Owner(s):	BABAK ZARGHAMI	Ward:	Willowdale (23)
Agent:	JANICE ROBINSON	Heritage:	Not Applicable
Property Address:	84 EMPRESS AVE	Community:	North York
Legal Description:	PLAN 1751 LOT 211		

Notice was given and the application considered on Tuesday, November 21, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever a portion of land for the purpose of a lot addition to create a new building lot.

RETAINED LOTS - PART 4

Address to be assigned

Part 4 has a lot frontage of 10.16m and a lot area is 387.9m². The lot will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning by-law(s) as outlined in application A0347/17NY

CONVEYED - PART 3

Address to be assigned

Part 3 has a lot frontage of 5.08m and a lot area is 193.98m². Part 3 will be added to the Part 2 (severed from B0028/17NY) to create a new building lot with a frontage of 10.16m and a lot area of 387.9m².

PART 6 would be subject to a right-of-way for road widening.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.
- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number: B0027/17NY
Owner(s): BABAK ZARGHAMI
Agent: JANICE ROBINSON
Property Address: **84 EMPRESS AVE**
Legal Description: PLAN 1751 LOT 211

Zoning: RD/R4[ZZC]
Ward: Willowdale (23)
Heritage: Not Applicable
Community: North York

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL: Monday, December 18, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

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NOTE: Only individuals, corporations and public agencies may appeal a decision. The appeal may not be filed by an unincorporated association or group. However, the appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

Tuesday, November 21, 2017

NOTICE OF DECISION
CONSENT
(Section 53 of the Planning Act)

File Number:	B0028/17NY	Zoning	RD/R4[ZZC]
Owner(s):	YADOLLAH ZARGHAMI	Ward:	Willowdale (23)
Agent:	JANICE ROBINSON	Heritage:	Not Applicable
Property Address:	82 EMPRESS AVE	Community:	North York
Legal Description:	PLAN 1751 LOT 212		

Notice was given and the application considered on Tuesday, November 21, 2017, as required by the Planning Act.

THE CONSENT REQUESTED:

To obtain consent to sever a portion of land for the purpose of a lot addition to create a new building lot.

RETAINED LOTS - PART 1

Address to be assigned

Part 1 has a lot frontage of 10.16m and a lot area is 387.95m². The lot will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning by-law(s) as outlined in application A0347/17NY

CONVEYED - PART 2

Address to be assigned

Part 2 has a lot frontage of 5.08m and a lot area is 193.98m². Part 2 will be added to the Part 3 (severed from B0027/17NY) to create a new building lot with a frontage of 10.16m and a lot area of 387.95m². The lot will be redeveloped with a new detached residential dwelling requiring variances to the applicable zoning by-law(s) as outlined in application A0350/17NY.

PART 5 would be subject to a right-of-way for road widening on Empress Avenue.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Consent Application is Refused

In the opinion of the Committee, the application does not satisfy the requirements of Section 51(24) of the Planning Act and is **NOT** approved for the following reason(s):

- The proposed land division does not conform to the policies of the official plan.

- The suitability of the land for the purposes for which it is to be subdivided has not been demonstrated.
- The suitability of the dimensions and shapes of the proposed lots has not been demonstrated.

SIGNATURE PAGE

File Number:	B0028/17NY	Zoning	RD/R4[ZZC]
Owner(s):	YADOLLAH ZARGHAMI	Ward:	Willowdale (23)
Agent:	JANICE ROBINSON	Heritage:	Not Applicable
Property Address:	82 EMPRESS AVE	Community:	North York
Legal Description:	PLAN 1751 LOT 212		

Bruce Mullock (signed) Isaac Lallouz (signed) Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL: Monday, December 18, 2017

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Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0347/17NY	Zoning	RD/R4[ZZC]
Owner(s):	BABAK ZARGHAMI	Ward:	Willowdale (23)
Agent:	JANICE ROBINSON	Heritage:	Not Applicable
Property Address:	84 EMPRESS AVE (PART 4)	Community:	North York
Legal Description:	PLAN 1751 LOT 211		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- 1. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed East side yard setback is 1.22m.
- 2. Chapter 900.3.10(5), By-law No. 569-2013**
The minimum required side yard setback is 1.8m.
The proposed West side yard setback is 0.91m.
- 3. Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the first floor area must be within 4m of the front wall.
There is 6.15m² proposed within 4m of the front wall.
- 4. Chapter 10.20.30.10.(1), By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 387.95m².
- 5. Chapter 10.20.30.20.(1), By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 10.16m.
- 6. Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.

7. **Section 13.2.1 & 6(8), By-law No. 7625**
The minimum required lot frontage and width is 15m .
The proposed lot frontage and width is 10.16m.
8. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 387.95m².
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required East side yard setback is 1.5m.
The proposed East side yard setback is 1.22m.
10. **Section 13.2.3(b), By-law No. 7625**
The minimum required West side yard setback is 1.5m.
The proposed West side yard setback is 0.91m.
11. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
12. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number: A0347/17NY
Owner: BABAK ZARGHAMI
Agent: JANICE ROBINSON
Property Address: **84 EMPRESS AVE
(PART 4)**
Legal Description: PLAN 1751 LOT 211

Zoning: RD/R4[ZZC]
Ward: Willowdale (23)
Heritage: Not Applicable
Community: North York

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0349/17NY	Zoning	RD/R4[ZZC]
Owner(s):	YADOLLAH ZARGHAMI	Ward:	Willowdale (23)
Agent:	JANICE ROBINSON	Heritage:	Not Applicable
Property Address:	82 EMPRESS AVE (PART 1)	Community:	North York
Legal Description:	PLAN 1751 LOT 212		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8m.
The proposed East side yard setback is 0.91m.
- Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8m.
The proposed West side yard setback is 1.22m.
- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the First Floor area must be within 4m of the front wall.
There is 5.83m² proposed within 4m of the front wall.
- Chapter 10.20.30.10.(1), By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 387.95m².
- Chapter 10.20.30.20.(1), By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 10.16m.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.

7. **Section 13.2.1, By-law No. 7625**
The minimum required lot frontage and width is 15m .
The proposed lot frontage and width is 10.16m.
8. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 387.95m²
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required East side yard setback is 1.5m.
The proposed East side yard setback is 0.91m.
10. **Section 13.2.3(b), By-law No. 7625**
The minimum required West side yard setback is 1.5m.
The proposed West side yard setback is 1.22m.
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The maximum permitted lot coverage is 30% of the lot area.
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12. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
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The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

File Number:	A0349/17NY	Zoning	RD/R4[ZZC]
Owner:	YADOLLAH ZARGHAMI	Ward:	Willowdale (23)
Agent:	JANICE ROBINSON	Heritage:	Not Applicable
Property Address:	82 EMPRESS AVE (PART 1)	Community:	North York
Legal Description:	PLAN 1751 LOT 212		

Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

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Tuesday, November 21, 2017

NOTICE OF DECISION
MINOR VARIANCE/PERMISSION
(Section 45 of the Planning Act)

File Number:	A0350/17NY	Zoning	RD/R4[ZZC]
Owner(s):	YADOLLAH ZARGHAMI	Ward:	Willowdale (23)
Agent:	JANICE ROBINSON	Heritage:	Not Applicable
Property Address:	82 EMPRESS AVE (PARTS 2 & 3)	Community:	North York
Legal Description:	PLAN 1751 LOT 212		

Notice was given and a Public Hearing was held on Tuesday, November 21, 2017, as required by the Planning Act.

PURPOSE OF THE APPLICATION:

To construct a new two-storey dwelling. The existing dwelling would be demolished.

REQUESTED VARIANCE(S) TO THE ZONING BY-LAW:

- Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8m.
The proposed East side yard setback is 1.22m.
- Chapter 900.3.10(5), By-law No. 569-2013**
The required minimum side yard setback is 1.8m.
The proposed West side yard setback is 0.91m.
- Chapter 10.5.40.10.(5), By-law No. 569-2013**
A minimum of 10m² of the First Floor area must be within 4m of the front wall.
There is 5.83m² proposed within 4m of the front wall.
- Chapter 10.20.30.10.(1), By-law No. 569-2013**
The required minimum lot area is 550m².
The proposed lot area is 387.95m².
- Chapter 10.20.30.20.(1), By-law No. 569-2013**
The required minimum lot frontage is 15m.
The proposed lot frontage is 10.16m.
- Chapter 10.20.30.40.(1), By-law No. 569-2013**
The permitted maximum lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.

7. **Section 13.2.1 & Section 6(8), By-law No. 7625**
The minimum required lot frontage width is 15m.
The proposed lot frontage and width is 10.16m.
8. **Section 13.2.2, By-law No. 7625**
The minimum required lot area is 550m².
The proposed lot area is 387.95m².
9. **Section 13.2.3(b), By-law No. 7625**
The minimum required East side yard setback is 1.5m.
The proposed East side yard setback is 1.22m.
10. **Section 13.2.3(b), By-law No. 7625**
The minimum required West side yard setback is 1.5m.
The proposed West side yard setback is 0.91m.
11. **Section 13.2.4, By-law No. 7625**
The maximum permitted lot coverage is 30% of the lot area.
The proposed lot coverage is 32% of the lot area.
12. **Section 13.2.6, By-law No. 7625**
The maximum permitted building height is 8.8m.
The proposed building height is 9.1m.

The Committee of Adjustment considered the written submissions relating to the application made to the Committee before its decision and oral submissions relating to the application made at the hearing. In so doing, **IT WAS THE DECISION OF THE COMMITTEE OF ADJUSTMENT THAT:**

The Minor Variance Application is Refused

It is the decision of the Committee of Adjustment to **NOT** approve this variance application for the following reasons:

- The general intent and purpose of the Official Plan is not maintained.
- The general intent and purpose of the Zoning By-law is not maintained.
- The variance(s) is not considered desirable for the appropriate development of the land.
- In the opinion of the Committee, the variance(s) is not minor.

SIGNATURE PAGE

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Bruce Mullock (signed)

Isaac Lallouz (signed)

Nadini Sankar (signed)

Nazila Atarodi (signed)

DATE DECISION MAILED ON: Tuesday, November 28, 2017

LAST DATE OF APPEAL:
Monday, December 11, 2017

CERTIFIED TRUE COPY

Dan Antonacci
Manager & Deputy Secretary Treasurer
North York Panel

Appeal Information

All appeals must be filed with the Deputy Secretary Treasurer, Committee of Adjustment by the last date of appeal as shown on the signature page.

Your appeal to the **Toronto Local Appeal Body (TLAB)** should be submitted in accordance with the instructions below unless there is a related appeal* to the Ontario Municipal Board (OMB) for the same matter.

TORONTO LOCAL APPEAL BODY (TLAB) APPEAL INSTRUCTIONS

To appeal this decision to the TLAB you need the following:

- a completed TLAB Notice of Appeal (Form 1) in **digital format** on a CD/DVD
- \$300 for each appeal filed regardless if related and submitted by the same appellant
- Fees are payable to the **City of Toronto** by cash, certified cheque or money order (Canadian funds)

To obtain a copy of the Notice of Appeal Form (Form 1) and other information about the appeal process please visit the TLAB web site at www.toronto.ca/tlab.

ONTARIO MUNICIPAL BOARD (OMB) APPEAL INSTRUCTIONS

To appeal this decision to the OMB you need the following:

- a completed OMB Appellant Form (A1) in **paper format**
- \$300.00 with an additional reduced fee of \$25.00 for each connected appeal filed by the same appellant
- Fees are payable to the **Minister of Finance** by certified cheque or money order (Canadian funds).

To obtain a copy of Appellant Form (A1) and other information about the appeal process please visit the Ontario Municipal Board web site at www.omb.gov.on.ca.

*A **related appeal** is another planning application appeal affecting the same property. To learn if there is a related appeal, search community planning applications status in the [Application Information Centre](#) and contact the assigned planner if necessary. If there is a related appeal, your appeal to the **Ontario Municipal Board** should be submitted in accordance with the instructions above.