

DECISION AND ORDER

Decision Issue Date Wednesday, April 25, 2018

PROCEEDING COMMENCED UNDER Section 45(12), subsection 45(1) of the Planning Act, R.S.O. 1990, c. P.13, as amended (the "Act")

Appellant(s): JULIE WANG

Applicant: MARIN ZABZUNI

Property Address/Description: 14 GOUGH AVE

Committee of Adjustment Case File Number: 17 213505 STE 30 MV (A0865/17TEY)

TLAB Case File Number: **17 278520 S45 30 TLAB**

Hearing date: Monday, April 23, 2018

DECISION DELIVERED BY Ian James LORD

APPEARANCES

Name	Role	Representative
Julie Wang	Appellant	Meaghan McDermid
Edmond Wang	Owner	Meaghan McDermid
Martin Rendl	Expert Witness	
John Trumpener	Party	
David Chang	Participant	
Kathryn Fisher	Participant	

INTRODUCTION

This was a Motion for a Settlement Hearing in respect of 14 Gough Avenue (the 'subject property') in respect of a Hearing scheduled for May 1, 2018. The Motion, dated April 6, 2018, was followed by a Notice of Electronic (Teleconference) Hearing, on April 10, 2018. That Notice provided for objections to the Hearing format and for the following direction:

IN THE EVENT THAT A SETTLEMENT HEARING IS NOT CONCLUDED OR IS UNSUCCESSFUL, THE HEARING ORIGINALLY SCHEDULED FOR MAY 1, 2018 AT 9:00 AM REMAINS AND NO FURTHER NOTICE OF HEARING SHALL BE PUBLISHED.

The Notice of Motion requested the Settlement Hearing, the allowance of revisions to the variances sought and the approval of revised variances, the latter in accordance with revised plans attached as Exhibit's 'C' and 'B' to the Affidavit of Martin Rendl, Planner, sworn April 6, 2018, respectively.

BACKGROUND

The subject property is located on the west side of Gough Avenue, east of Carlaw Avenue, north of Harcourt Avenue and south of Danforth Avenue in the Riverdale area of the City of Toronto ('City'). The applicant proposed, essentially, a demolition and rebuild of an existing one and one-half storey bungalow style residence built in the early 1900's. The Committee of Adjustment ('COA') refused the requested variances; both prior to the COA decision and on the applicants Appeal, revisions were made to the project as revealed in the Applicants Disclosure, filed February 5, 2018.

Those revisions moved the footprint of the building 0.57 m to the east; they also eliminated a rear carport, as shown in attached plans dated January 26, 2018.

Under the Rules of the Toronto Local Appeal Body (the 'TLAB'), one person apart from the applicant/Appellant, registered as a party and filed a Witness Statement, Mr. John Trumpener.

Another party status was elected but no further filings were received and no appearance was made.

Several Participants filed statements in support of the applicant, including Kathryn Fisher and David Chang, both of whom participated in support of the appeal on the return of the Motion.

The Appellant, Julie Wang, also attended and was represented by counsel, Ms. Meaghan McDermid.

MATTERS IN ISSUE

Ms. McDermid provided an overview of the settlement reached with Mr. Trumpener. In brief, it involved a further set of revision to the Appellants plans; however, the list of variances did not require further revision.

She asked for an oral decision.

I set as Exhibit 1 to the teleconference, the Witness Statement of Martin Rendl, dated February 14, 2018.

I set as Exhibit 2 to the teleconference, the Affidavit of Martin Rendl, sworn April 6, 2018, in support of the Motion of the same date.

I set as Exhibit 3 to the teleconference, the further revised site plan, elevations and floor plans attached as Exhibit 'B' to the Rendl affidavit, Exhibit 3.

And I set as Exhibit 4 to the teleconference, the revised set of variances attached as Exhibit 'C' to the Rendl affidavit, Exhibit 3.

Mr. Rendl was present on the teleconference; his testimony was on affirmation.

It is these plans and variances, above, that were the subject matter of the Settlement Hearing.

JURISDICTION

Provincial Policy – S. 3

A decision of the Toronto Local Appeal Body ('TLAB') must be consistent with the 2014 Provincial Policy Statement ('PPS') and conform to the Growth Plan of the Greater Golden Horseshoe for the subject area ('Growth Plan').

Minor Variance – S. 45(1)

In considering the applications for variances from the Zoning By-laws, the TLAB Panel must be satisfied that the applications meet all of the four tests under s. 45(1) of the Act. The tests are whether the variances:

- maintain the general intent and purpose of the Official Plan;
- maintain the general intent and purpose of the Zoning By-laws;
- are desirable for the appropriate development or use of the land; and
- are minor.

EVIDENCE

Despite the discussion that had successfully concluded in the agreement of Mr. Trumpener, all the variances sought remained for disposition. Mr. Trumpener had, on Ms. McDermid's description, been satisfied with the modifications to the proposal to extend and fill out the second floor footprint while simultaneously reducing a near equivalent amount of building space on the third floor level. The reduction entailed a balcony and notch in the west and north limit of the subject property's third floor. The effect is to reduce the mass and allow better sunlight penetration into 16 Gough Avenue, the property to the immediate north owned by Mr. Trumpener.

Mr. Rendl confirmed that the settlement terms with Mr. Trumpener were represented in the Exhibit 3 plans. I include those plans as **Attachment 1** hereto.

The Participants present supported the revised plans.

Mr. Rendl is senior member of the planning profession and a Registered Professional Planner. He had supplied the attestation on Expert's Duties in Form 6 of the TLAB and affirmed his Witness Statement and Affidavit, Exhibits 1 and 2, hereto.

There was no contrary opinion evidence provided.

Both documents, Exhibits 1 and 2, attest to a thorough canvass of area character, applicable provincial and City policy and the manner and means by which the variances sought in Exhibit 4 meet the four statutory tests, above recited.

It was his opinion that the variances in Exhibit 4 are consistent with the Provincial Policy Statement and conform to the Growth Plan, as expressed in paragraphs 32-36 of Exhibit 1.

It was further his opinion that the variances meet the four tests set out in section 45(1) of the Planning Act, as expressed in paragraphs 38-81 of Exhibit 1.

I have no reason to question his conclusion, in paragraph 82 of the Witness Statement, Exhibit 1, that the variances detailed in Exhibit 4, individually and collectively, “represent good planning and their approval in in the public interest.”

This affirmation was reasserted in his later affidavit, Exhibit 2.

The requested variances detailed in Exhibit 4 are included as **Attachment 2** hereto.

Specifically, he said that the floor space index measurement (including arising from the space movement above described), in both applicable by-laws, from a .6 times coverage to 1.05 times, is contained in the concise built form of this narrow (6.0 m wide) lot. He notes that it is well represented by existing built form and approvals in the neighbourhood.

The flat roof structure proposed requires relief from By-law 569-2013’s standard of 7.5 m for the front and rear exterior main wall heights, to 9.68 m. This height is consistent with adjacent buildings. The ultimate roof height of 9.88 m which falls below the maximum height permission of 10 m. Three storey buildings and buildings with flat rooves and a diversity of architectural styles, including recent approvals, are well represented in his neighbourhood analysis.

Finally, the building setbacks identified relative to By-law 438-86, in light of existing conditions of building proximity and neighbourhood examples, were described as ‘technical’ and compliant - without variance necessary to the new City By-law 569-2013.

Mr. Rendl described to me that these conclusions were reached on a consideration of all prescribed criteria under section 4.1.5 of the Official Plan and were consistent with the decision of the Ontario Municipal Board, dated March 1, 2018 in respect of By-law 569-2013 (PL30592). He maintained that it remained good practice to address all identified Plans Examiners’ variance requirements.

He was of the view that the settlement with Mr. Trumpener, in the substitution of second and third floor enclosed spaces, did not require alteration in the floor space index and gross floor area calculations.

Having attended the site and rear lane, I enquired of Mr. Rendl the expectation for the large conifer tree in the front yard. Unexpectedly, he deferred to Ms. Wang, as no record of a tree application or assessment was made in any of the documentation that was pre-filed. Its absence promoted the expectation that its survival, without impact, might be anticipated.

Not so.

Ms. Wang indicated that she had had informal discussions with Urban Forestry and the local councilor’s office on the subject of removal and possible replanting (with a maple tree), subject to a permit application and consideration.

The existing tree has a substantial and imposing presence.

Ms. McDermid acknowledged that a condition requiring a permitting process with Urban Forestry would be appropriate.

ANALYSIS, FINDINGS, REASONS

I find that, in the absence of anything to the contrary, proceeding with a settlement Hearing by way of teleconference is appropriate having due regard to the Motion materials and Rules 19.4 and 24.4 of the TLAB Rules.

I find as well that the reduced number of variances identified in Attachment 2 are compliant with an assessment of elimination or reduction. As Mr. Rendl opined and the Applicants Disclosure revealed, no further Notice of these revisions is necessary pursuant to section 45 (18.1.1) of the Planning Act.

The settlement of a variance appeal, even one resulting from the refusal of the COA is a desirable outcome. I expressed my appreciation to Ms. Wang for the diligence exhibited by her in canvassing and achieving the support of many neighbours. It is indeed refreshing to see independent letters of support and teleconference attendances speaking in support of a settlement.

I commend Mr. Trumpener, as well, for his co-operative approach to the resolution of matters of concern.

I accept the professional land use planning assessment and opinion evidence of Mr. Rendl and the terms of the settlement as expressed through the revised plans, Attachment 1 and the reduced Variances sought, Attachment 2, for the reasons above expressed.

I find that on the basis of this evidence and opinion advice, the variances sought should be approved in the interests of good community planning.

They meet the requisite provincial policy planning considerations and the statutory tests for variance approvals, individually and collectively. I reach this conclusion on the evidence before me having considered the decision of the COA and the material before that body.

DECISION AND ORDER

The appeal from the Committee of Adjustment mailed December 12, 2017 is allowed in part.

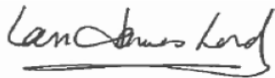
The variances identified in Attachment 2 hereto are approved, subject to the following conditions:

1. Construction at 14 Gough Avenue shall be substantially in accordance with the site plan and elevation drawings, specifically, contained within Attachment 1 hereto;
2. Prior to the issuance of a building permit, the applicant shall satisfy all conditions in an application for a permit concerning private or City owned trees in the proposed front yard on Gough Avenue, if required, to the satisfaction of the Director, Parks, Forestry & Recreation, Urban Forestry Services.

Decision of Toronto Local Appeal Body Panel Member: I. Lord
TLAB Case File Number: 17 278520 S45 30 TLAB

The Hearing Date, currently scheduled for May 1, 2018 is hereby released. No attendance is required.

X

A handwritten signature in black ink, appearing to read "Ian Lord", is written over a horizontal line.

Ian Lord

Panel Chair, Toronto Local Appeal Body

Signed by: Ian Lord

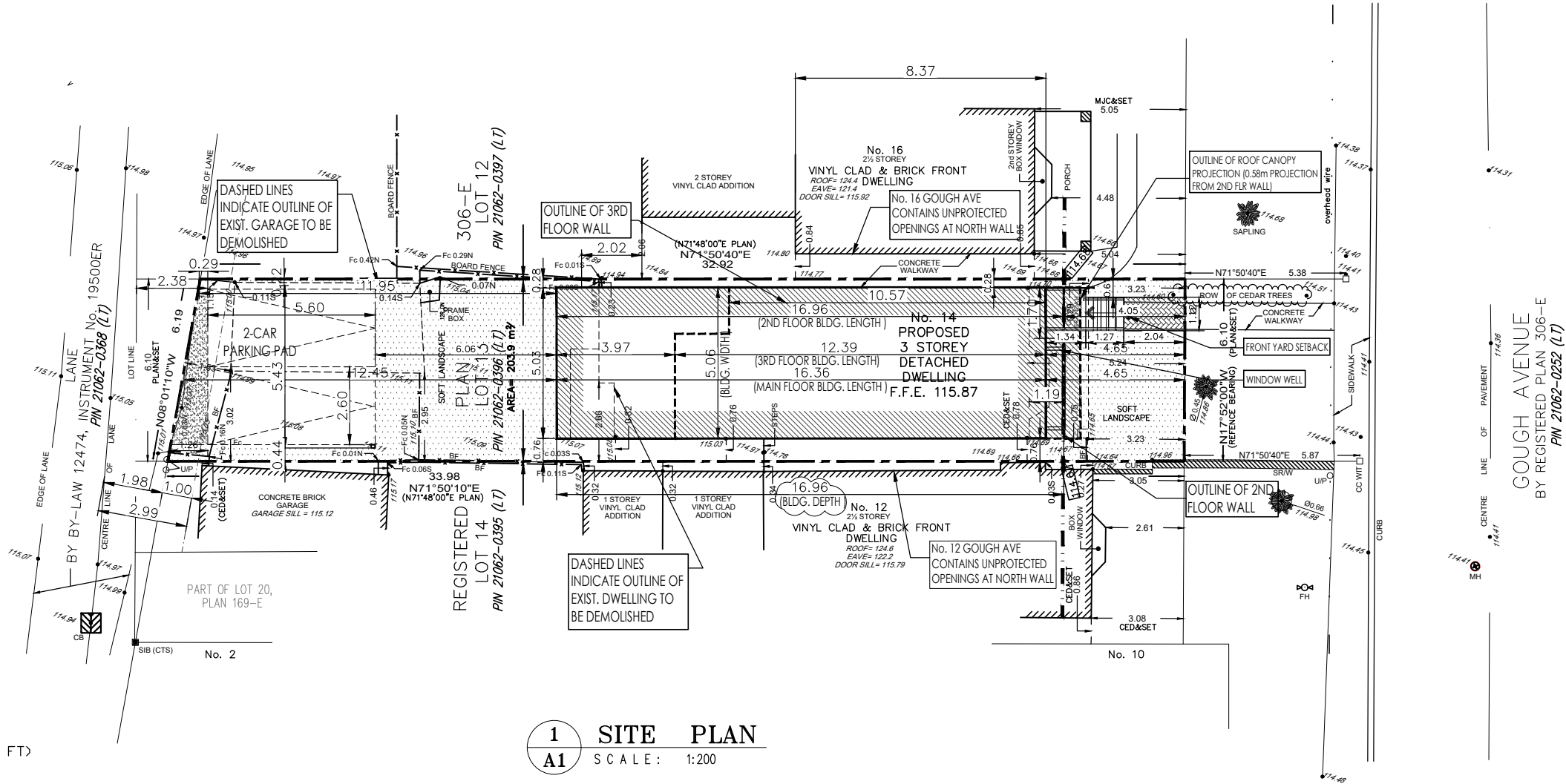
SURVEY INFORMATION:

INFORMATION TAKEN FROM:
SURVEYOR'S REAL PROPERTY REPORT
PART 1 - PLAN OF LOT 13
REGISTERED PLAN 306-E
CITY OF TORONTO

PREPARED BY: AKSAN PILLER CORPORATION LTD.
ONTARIO LAND SURVEYORS

DATED: DECEMBER 23, 2016

Attachment 1



SITE STATISTICS

ZONED AS: R (d0.6) (x736)
LOT AREA = 203.89 m² (2,194.65 SQ. FT.)
LOT FRONTAGE: 6.10 m

PROPOSED FRONT YARD LANDSCAPE:

FRONT YARD AREA = 28.29 m² (304.51 S.F.)
MIN. SOFT LANDSCAPE AREA REQUIRED (75%)=21.22m² (228.41 S.F.)
3RD FLOOR PROJECTION = 5.87 m² (63.18 S.F.)
PORCH & STAIRS AREA= 2.09 m² (22.50 S.F.)
WALKWAY AREA = 2.76 m² (29.71 S.F.)
PROPOSED SOFT LANDSCAPE AREA= 17.57 m² (189.12 S.F.) (62.11%)

PROPOSED REAR YARD LANDSCAPE:

REAR YARD AREA = 75.90 m² (816.98 S.F.)
MIN. SOFT LANDSCAPE AREA REQUIRED (50%)
= 37.95 m² (408.49 S.F.)
PROPOSED PARKING PADS = 29.10m² (313.23 S.F.)
PROPOSED REAR ASPHALT AREA =3.96m² (42.62 S.F.)
PROPOSED SOFT LANDSCAPE AREA
= 42.84 m² (461.12 S.F.) (56.44%)

PROPOSED G.F.A:

	EXIST. AREA		PROP. AREA		TOTAL AREA	
	m2	SQ.FT	m2	SQ.FT	m2	SQ.FT
1ST FLOOR AREA:	73.20	787.91	9.69	104.28	82.89	892.19
2ND FLOOR AREA:	36.78	395.95	31.59	404.64	73.45	790.59
3RD FLOOR AREA:	0.00	0.00	57.72	621.29	57.72	621.29
TOTAL AREA:	109.98	1,183.86	104.99	1,130.21	214.08	2,304.33

1.05 TIMES
THE AREA

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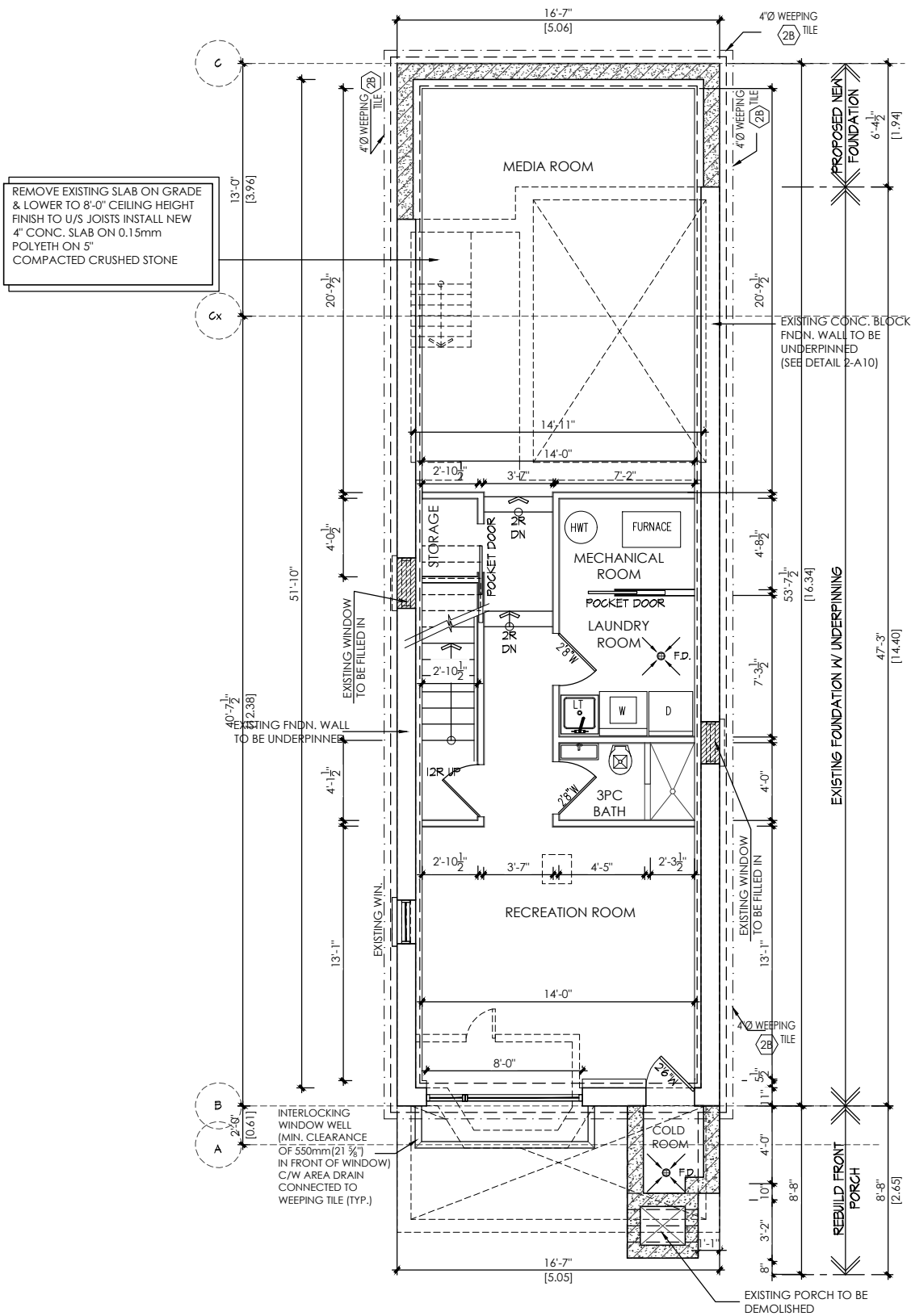
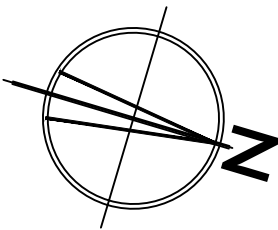
14 ARNOLD AVE.
TORONTO, ONT., M6N 4M9
INFO@CONTEMPOSTUDIO.CA
W. CONTEMPOSTUDIO.CA
T: (416) 836-1042
F: (416) 485-1042



The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents.
QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3(5) Division C of the Ontario Building Code.
MARIN ZABZINI 45250 BCIN
NAME SIGNATURE
Required unless design is exempt under 3.2.4.1, Division C of the Ontario Building Code.
CONTEMPO STUDIO 46972 BCIN
FIRM NAME

DO NOT SCALE DRAWINGS
CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY OMISSIONS OR DISCREPANCIES TO CONTEMPO STUDIO BEFORE PROCEEDING WITH WORK. THIS DRAWING IS THE PROPERTY OF CONTEMPO STUDIO AND SHALL NOT BE COPIED, IN PART OR WHOLE, WITHOUT PRIOR WRITTEN PERMISSION.
PROJECT
PROPOSED 3 STOREY ADDITION
& INTERIOR ALTERATIONS
AT
14 GOUGH AVE
CITY OF TORONTO

DRAWING
SITE PLAN
SCALE
AS-NOTED
DATE
MAR.24.2018
PROJECT No.
2017-01
DRAWN BY
M.Z.
APPROVED BY
M.Z.
DRAWING No.
A-1



LEGEND

- S.B. SOLID WOOD BEARING
- F.D. FLOOR DRAIN
- A.D. AREA DRAIN
- NEW PARTITIONS
- I.S.A. INTERCONNECTED SMOKE ALARM
- C.M.D. CARBON MONOXIDE DETECTOR
- MECHANICAL VENTILATION

1 BASEMENT PLAN
A-2 SCALE : 3 / 16 " = 1' - 0 "

EXISTING PERIMETER TO REMAIN			
EXISTING WALL	EXISTING WALL LENGTH	EXISTING WALL LENGTH REMAINING	% OF WALL AREA TO REMAIN
EAST (FRONT)	228"	0	0%
WEST (REAR)	219"	0	0%
NORTH	561"	561"	100%
SOUTH	561"	561"	100%
TOTAL:	1581"	1134"	71.12%

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DRAWING
BASEMENT PLAN

SCALE
AS-NOTED

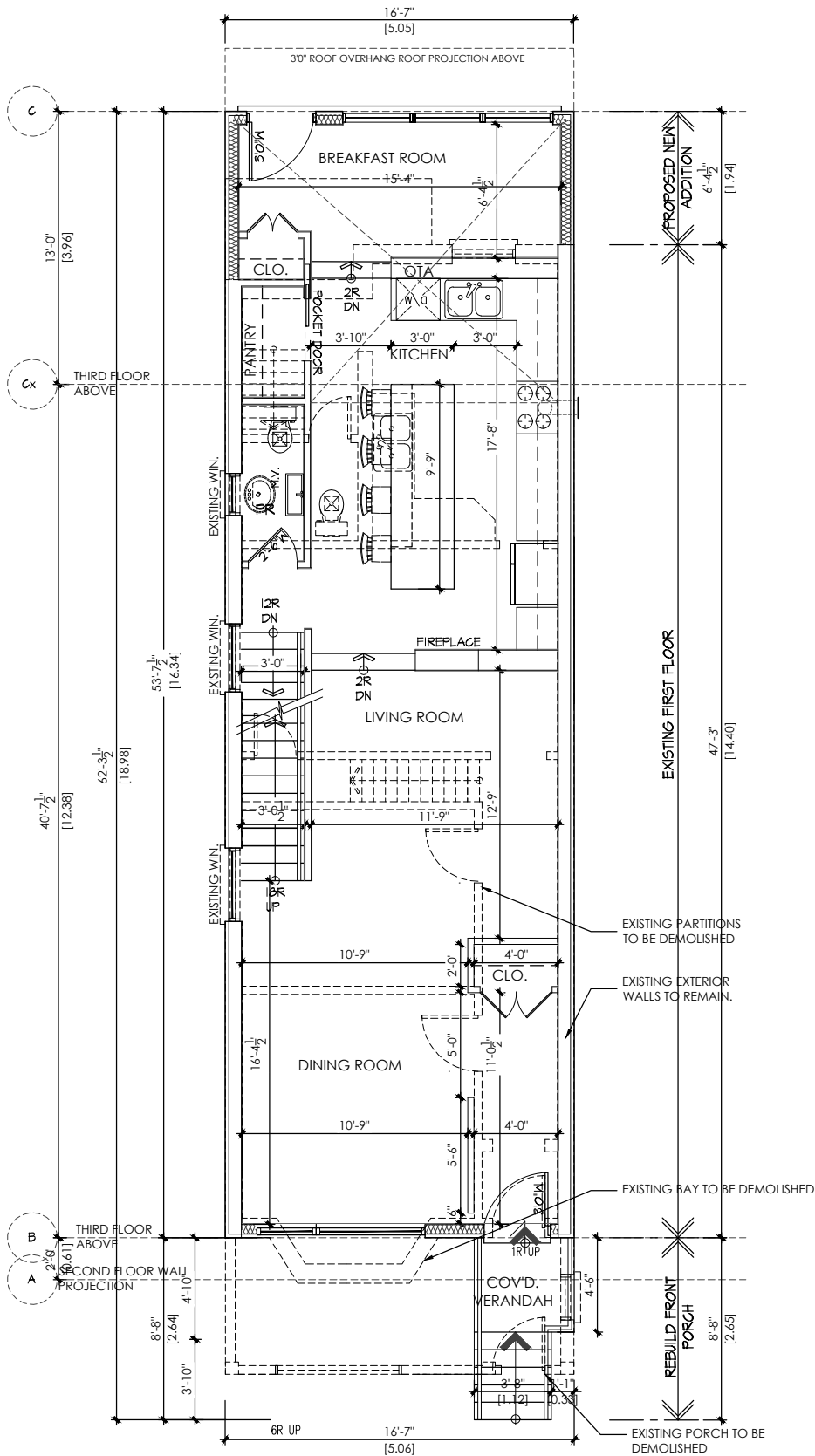
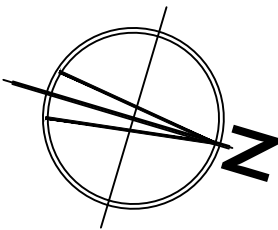
DATE
MAR.24,2018

PROJECT No.
2017-01

DRAWN BY
M.Z.

APPROVED BY
M.Z.

DRAWING No.
A-2



LEGEND

- S.B. SOLID WOOD BEARING
F.D. FLOOR DRAIN
A.D. AREA DRAIN
NEW PARTITIONS
I.S.A. INTERCONNECTED SMOKE ALARM
C.M.D. CARBON MONOXIDE DETECTOR
MECHANICAL VENTILATION

1 FIRST FLOOR PLAN
A-3 SCALE : 3/16" = 1'-0"

EXISTING FIRST FLOOR AREA: 13.20 m² (187.91 SQ. FT.)
PROPOSED FIRST FLOOR AREA: 9.69 m² (104.28 SQ. FT.)
TOTAL FIRST FLOOR AREA: 22.89 m² (292.19 SQ. FT.)

EXISTING PERIMETER TO REMAIN			
EXISTING WALL	EXISTING WALL LENGTH	EXISTING WALL LENGTH REMAINING	% OF WALL AREA TO REMAIN
EAST (FRONT)	228"	0	0%
WEST (REAR)	219"	0	0%
NORTH	561"	561"	100%
SOUTH	561"	561"	100%
TOTAL:	1581"	1134"	71.72%

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NAME SIGNATURE BCIN

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FIRM NAME BCIN

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PROJECT
PROPOSED 3 STOREY ADDITION
& INTERIOR ALTERATIONS
AT
14 GOUGH AVE
CITY OF TORONTO

DRAWING

FIRST FLOOR PLAN

SCALE
AS-NOTED

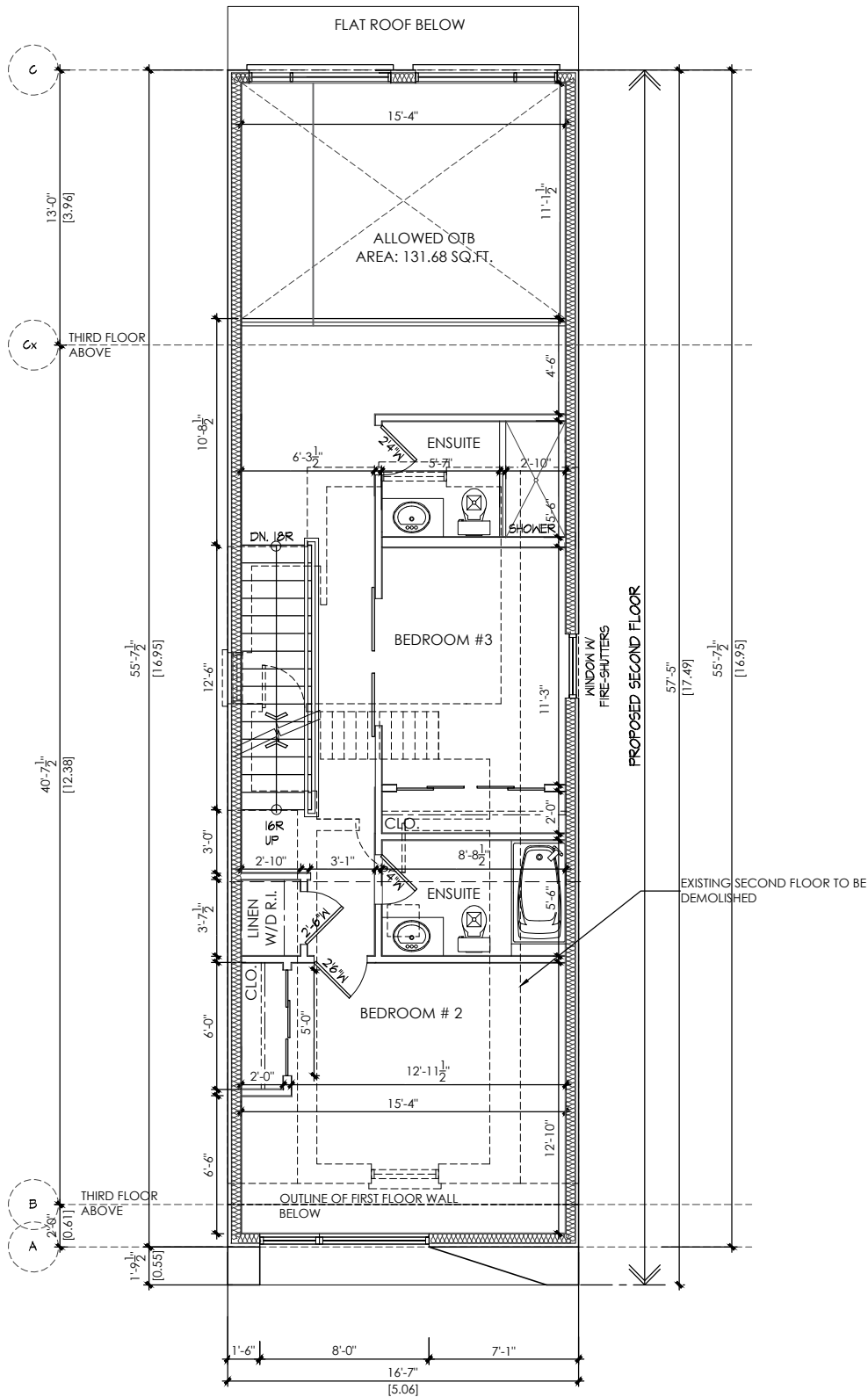
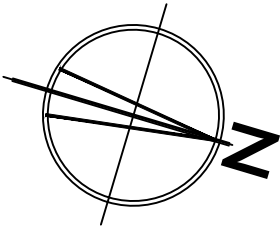
DATE
MAR. 24, 2018

PROJECT No.
2017-01

DRAWN BY
M.Z.

APPROVED BY
M.Z.

DRAWING No.
A-3



LEGEND

- S.B. SOLID WOOD BEARING
- F.D. FLOOR DRAIN
- A.D. AREA DRAIN
- NEW PARTITIONS
- I.S.A. INTERCONNECTED SMOKE ALARM
- C.M.D. CARBON MONOXIDE DETECTOR
- MECHANICAL VENTILATION

1 SECOND FLOOR PLAN

A-4 SCALE : 3 / 16 " = 1 ' - 0 "

EXISTING 2ND FLOOR AREA: 36.78 m² (395.95 SQ. FT.)
PROPOSED 2ND FLOOR AREA: 49.82 m² (536.32 SQ. FT.)
ALLOWED OTB AREA: 12.23 m² (131.68 SQ. FT.)
TOTAL 2ND FLOOR AREA: 73.45 m² (790.59 SQ. FT.)

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DRAWING

SECOND FLOOR PLAN

SCALE
AS-NOTED

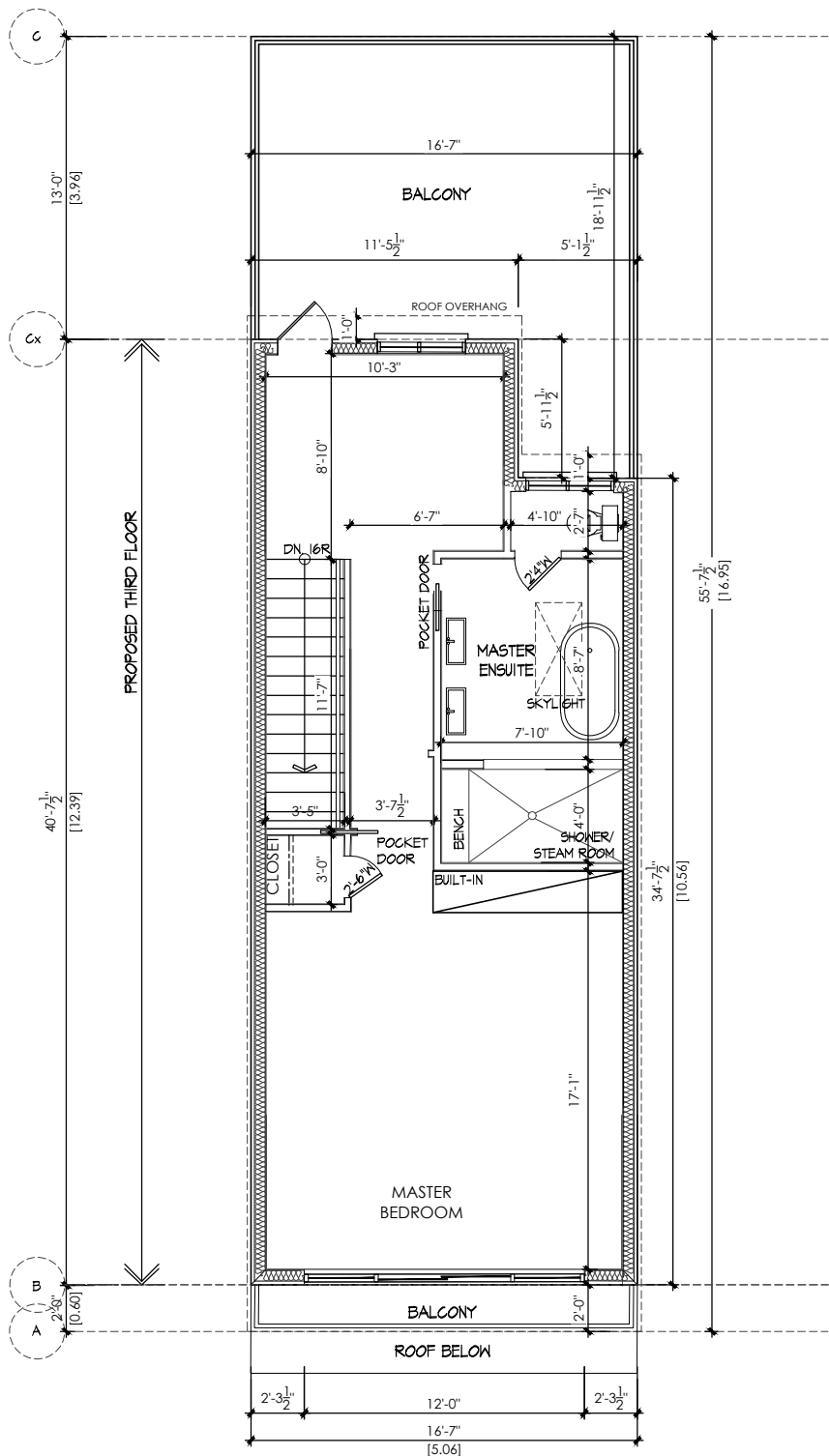
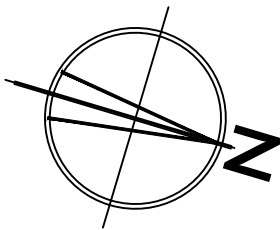
DATE
MAR. 24, 2018

PROJECT No.
2017-01

DRAWN BY
M.Z.

APPROVED BY
M.Z.

DRAWING No.
A-4



LEGEND

- S.B. SOLID WOOD BEARING
- F.D. FLOOR DRAIN
- A.D. AREA DRAIN
- NEW PARTITIONS
- I.S.A. INTERCONNECTED SMOKE ALARM
- C.M.D. CARBON MONOXIDE DETECTOR
- MECHANICAL VENTILATION

1 THIRD FLOOR PLAN

SCALE : 3 / 16 " = 1 ' - 0 "

3RD FLOOR AREA: 51.72 m² (621.29 SQ. FT.)
GFA: 214.08 m² (2304.33 SQ. FT.)

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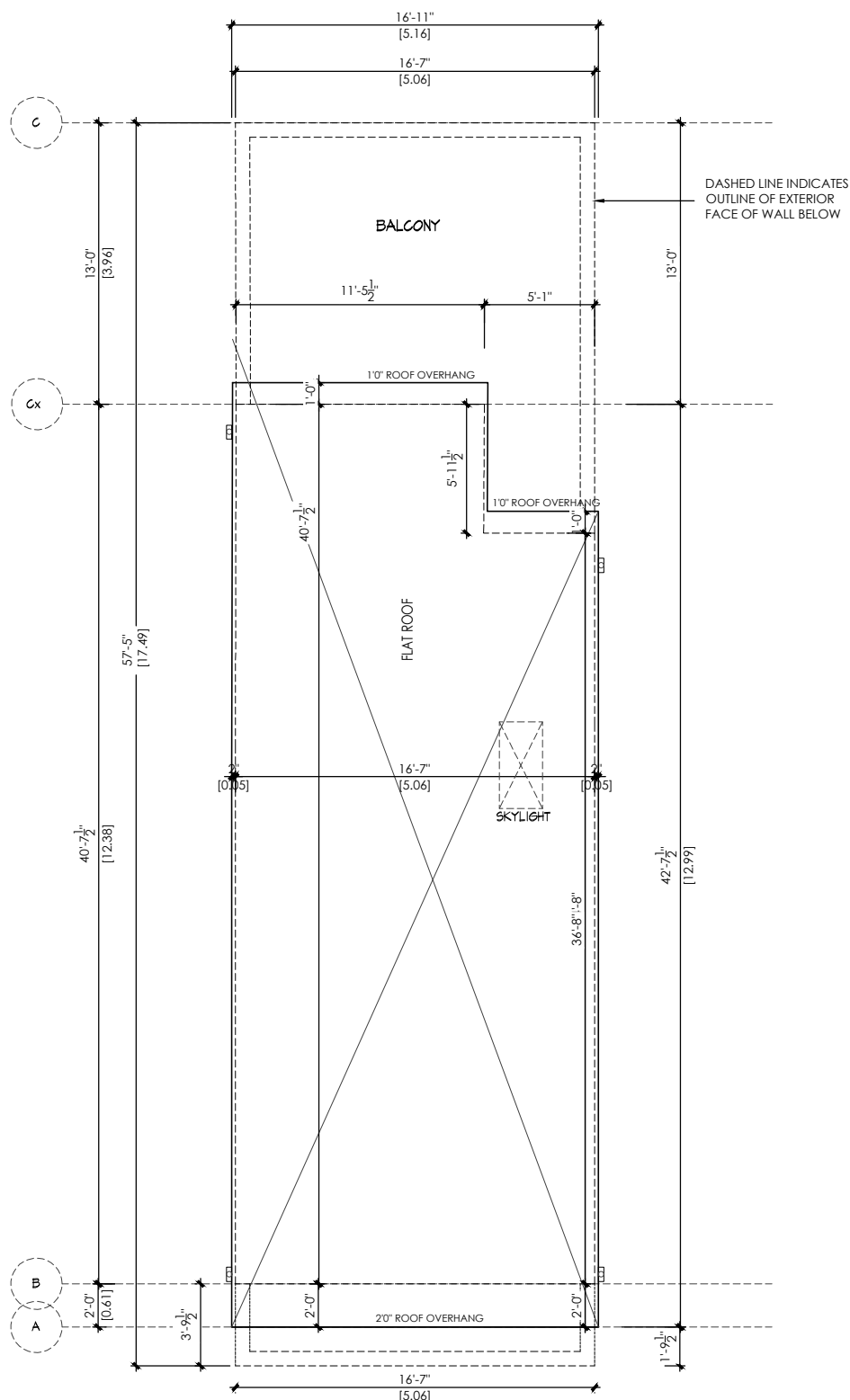
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
PROJECT
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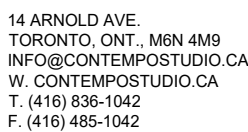
DRAWING THIRD FLOOR PLAN

SCALE AS-NOTED	DRAWN BY M.Z.
DATE MAR.24,2018	APPROVED BY M.Z.
PROJECT No. 2017-01	DRAWING No. A-5



1 ROOF PLAN
A-6 SCALE : 3/16" = 1'-0"

- | | |
|---|----------------------------|
| S.B. | SOLID WOOD BEARING |
| F.D. | FLOOR DRAIN |
| A.D. | AREA DRAIN |
|  | NEW PARTITIONS |
| I.S.A.
 | INTERCONNECTED SMOKE ALARM |
| C.M.D.
 | CARBON MONOXIDE DETECTOR |
|  | MECHANICAL VENTILATION |



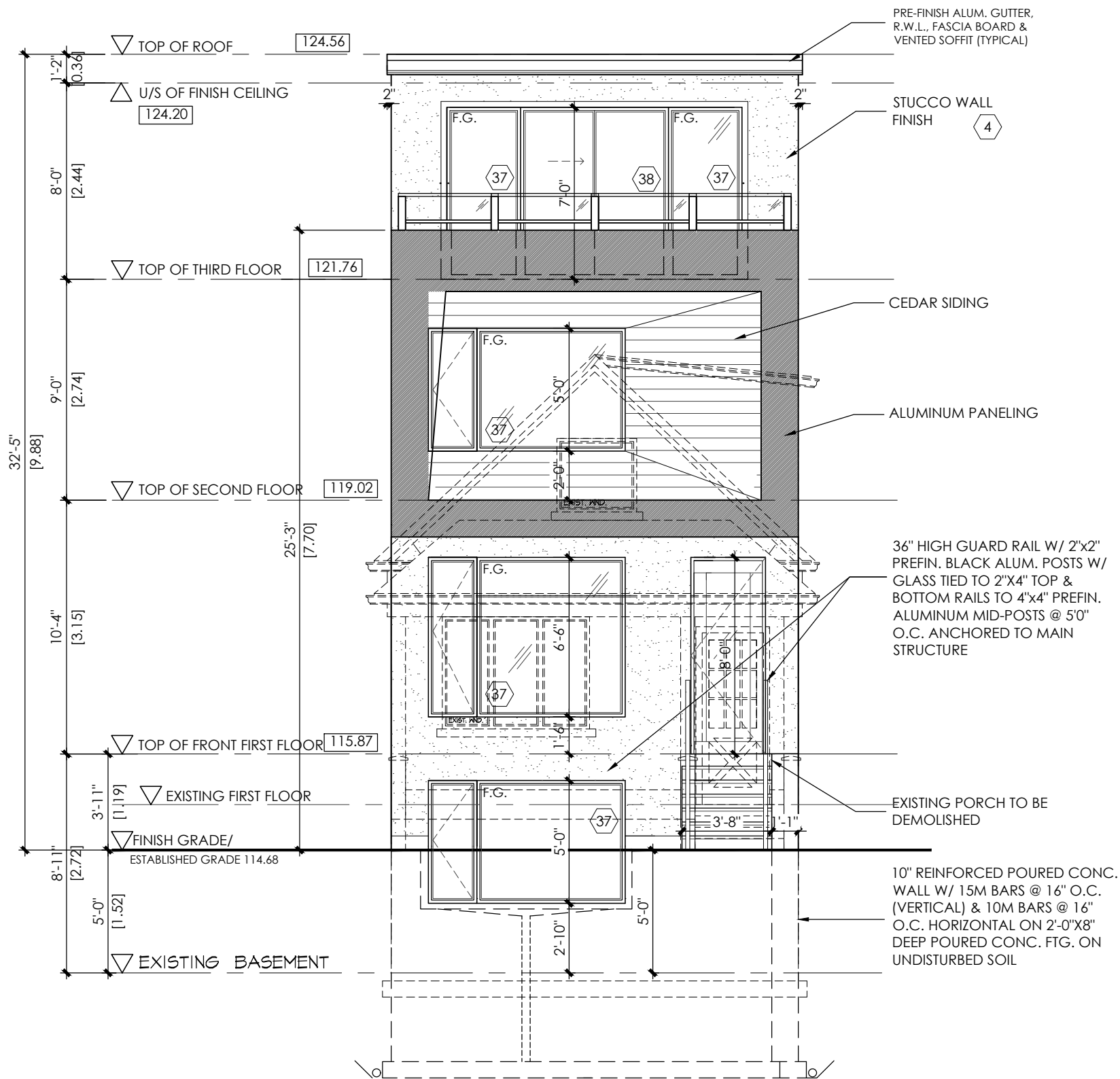
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& INTERIOR ALTERATIONS
AT
14 GOUGH AVE
CITY OF TORONTO

PROJECT No.	2017-01
-------------	---------

DRAWING No.

A-6



1 EAST (FRONT) ELEVATION
A-7 SCALE : 3/16" = 1' - 0"

LEGEND

- S.B. SOLID WOOD BEARING
F.D. FLOOR DRAIN
A.D. AREA DRAIN
I.S.A. INTERCONNECTED SMOKE ALARM
C.M.D. CARBON MONOXIDE DETECTOR
MECHANICAL VENTILATION

EXISTING EAST WALL AREA TO REMAIN			
EXISTING WALL AREA	WALL AREA REMOVED	EXISTING WALL AREA REMAINING	% OF WALL AREA TO REMAIN
380.02 SQ.FT.	380.02 SQ.FT.	0	0%
TOTAL EXISTING WALL AREA	TOTAL DEMOLISHED WALL AREA	TOTAL WALL AREA REMAINING	TOTAL % OF WALL AREA TO REMAIN
2628.39 SQ.FT.	1078.63 SQ.FT.	1549.76 SQ.FT.	58.96%

contempostudio



14 ARNOLD AVE.
TORONTO, ONT., M6N 4M9
INFO@CONTEMPOSTUDIO.CA
W. CONTEMPOSTUDIO.CA
T. (416) 836-1042
F. (416) 485-1042

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to design the work shown on the attached documents:

QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARIN ZABZUNI
NAME
SIGNATURE
45250
BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO
FIRM NAME
46972
BCIN

DO NOT SCALE DRAWINGS
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PROJECT
PROPOSED 3 STOREY ADDITION
& INTERIOR ALTERATIONS
AT
14 GOUGH AVE
CITY OF TORONTO

DRAWING
EAST ELEVATION

SCALE
AS-NOTED

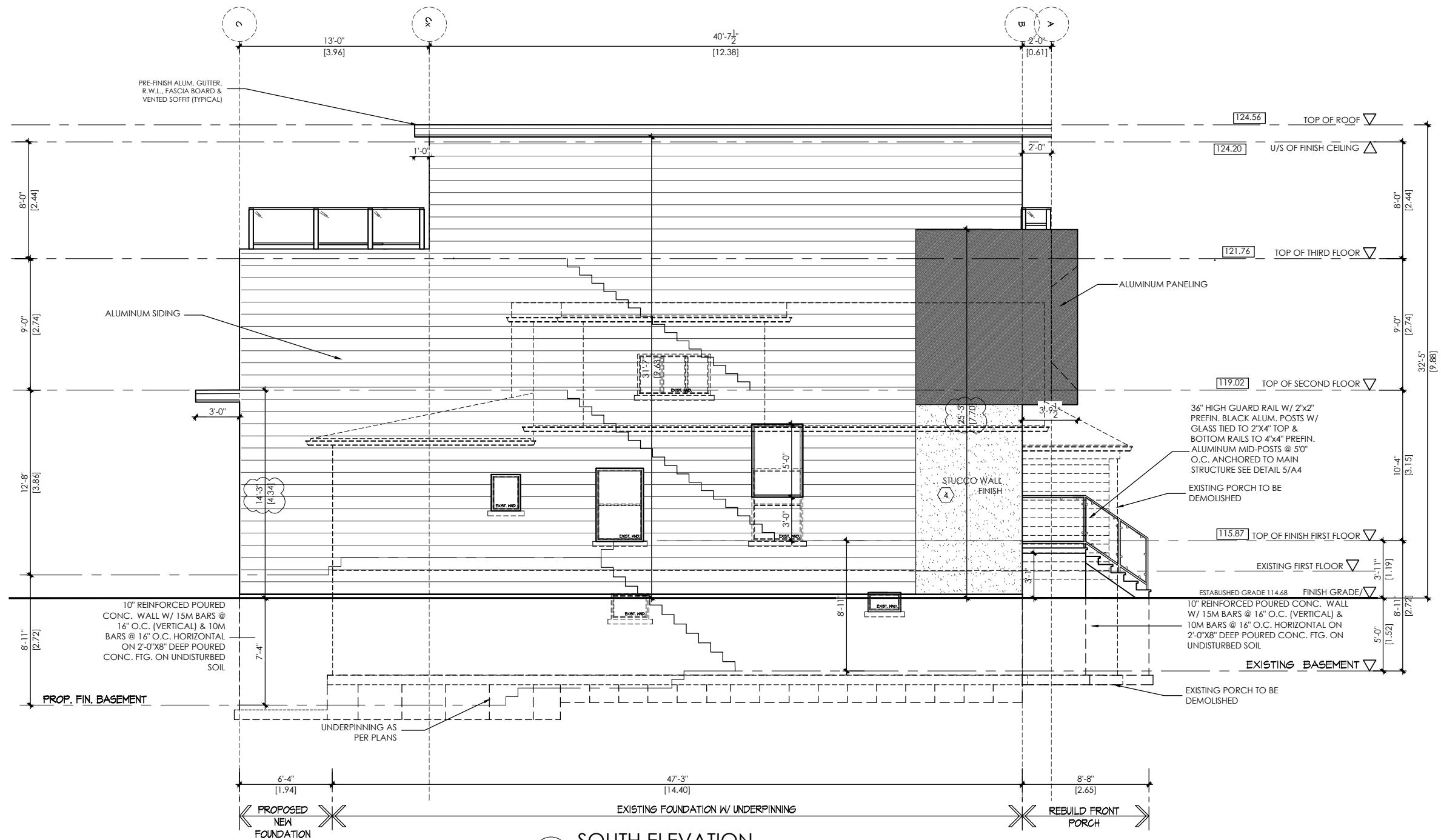
DATE
MAR.24,2018

PROJECT No.
2017-01

DRAWN BY
M.Z.

APPROVED BY
M.Z.

DRAWING No.
A-7



1 SOUTH ELEVATION
A-8 SCALE : 3/16" = 1'-0"

EXISTING SOUTH WALL AREA TO REMAIN			
EXISTING WALL AREA	WALL AREA REMOVED	EXISTING WALL AREA REMAINING	% OF WALL AREA TO REMAIN
993.30 SQ.FT.	210.81 SQ.FT.	782.49 SQ.FT.	78.77%
TOTAL EXISTING WALL AREA	TOTAL DEMOLISHED WALL AREA	TOTAL WALL AREA REMAINING	TOTAL % OF WALL AREA TO REMAIN
2628.34 SQ.FT.	1078.63 SQ.FT.	1549.71 SQ.FT.	58.96%

contempostudio

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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

NAME MARN ZABZINI 45250 BCIN

SIGNATURE
REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO 46972 BCIN
FIRM NAME

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PROJECT
PROPOSED 3 STOREY ADDITION
& INTERIOR ALTERATIONS
AT
14 GOUGH AVE
CITY OF TORONTO

DRAWING
SOUTH ELEVATION
SCALE
AS-NOTED

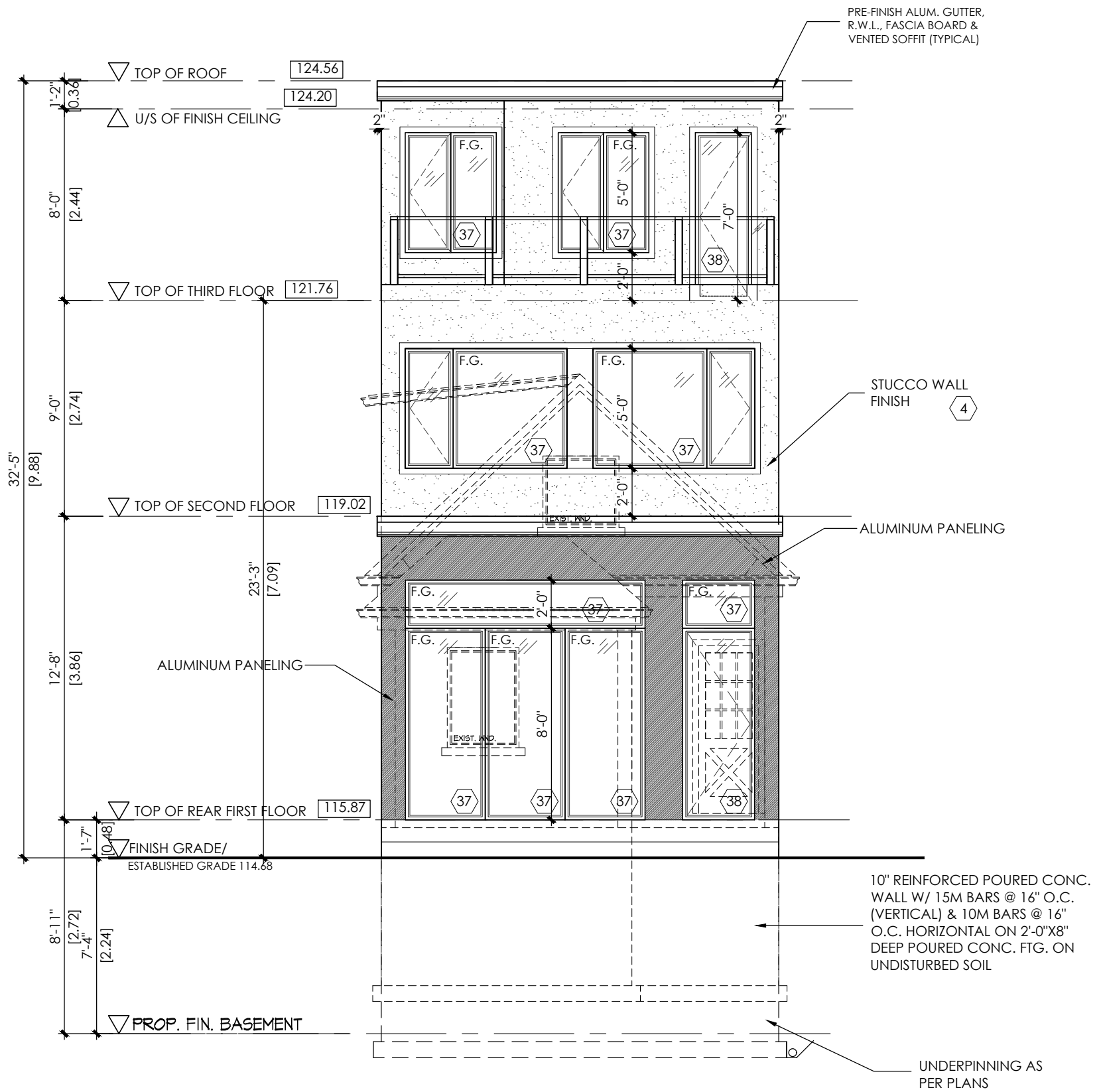
DRAWN BY
M.Z.

DATE
MAR.24.2018

APPROVED BY
M.Z.

PROJECT No.
2017-01

DRAWING No.
A-8



1 WEST (REAR) ELEVATION
A-9 SCALE : 3 / 16 " = 1' - 0 "

LEGEND

- S.B. SOLID WOOD BEARING
F.D. FLOOR DRAIN
A.D. AREA DRAIN
I.S.A. INTERCONNECTED SMOKE ALARM
C.M.D. CARBON MONOXIDE DETECTOR
MECHANICAL VENTILATION

EXISTING WEST WALL AREA TO REMAIN			
EXISTING WALL AREA	WALL AREA REMOVED	EXISTING WALL AREA REMAINING	% OF WALL AREA TO REMAIN
380.02 SQ.FT.	380.02 SQ.FT.	0	0%
TOTAL EXISTING WALL AREA	TOTAL DEMOLISHED WALL AREA	TOTAL WALL AREA REMAINING	TOTAL % OF WALL AREA TO REMAIN
2628.39 SQ.FT.	1078.63 SQ.FT.	1549.76 SQ.FT.	58.96%

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14 ARNOLD AVE.
TORONTO, ONT., M6N 4M9
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W. CONTEMPOSTUDIO.CA
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QUALIFICATION INFORMATION
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MARIN ZABZUNI
NAME SIGNATURE 45250 BCIN

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO
FIRM NAME 46972 BCIN

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PROJECT
PROPOSED 3 STOREY ADDITION
& INTERIOR ALTERATIONS
AT
14 GOUGH AVE
CITY OF TORONTO

DRAWING
WEST ELEVATION

SCALE
AS-NOTED

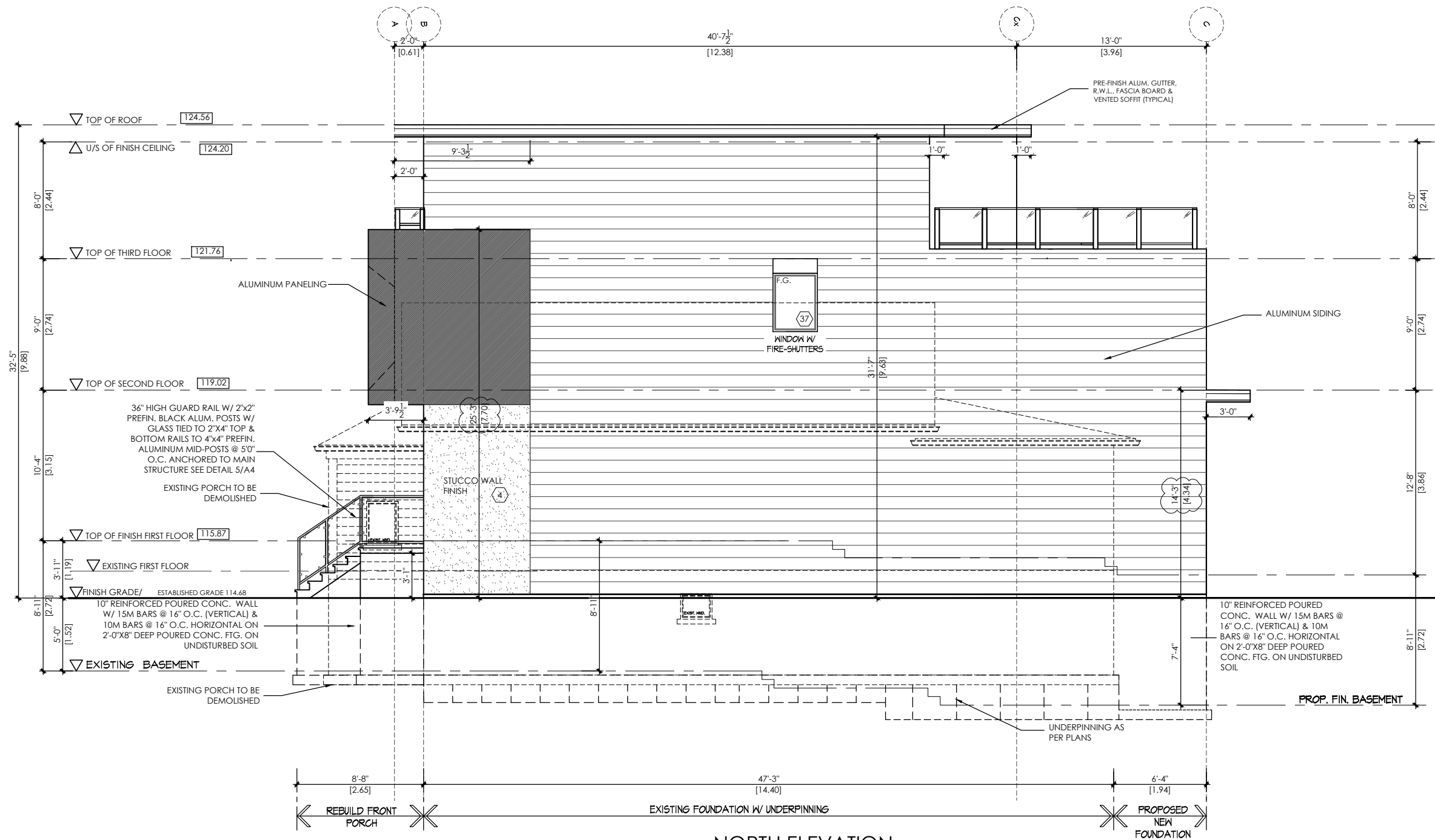
DATE
MAR.24,2018

PROJECT No.
2017-01

DRAWN BY
M.Z.

APPROVED BY
M.Z.

DRAWING No.
A-9



1 NORTH ELEVATION
A-10 SCALE : 3/16" = 1'-0"

EXISTING NORTH WALL AREA TO REMAIN			
EXISTING WALL AREA	WALL AREA REMOVED	EXISTING WALL AREA REMAINING	% OF WALL AREA TO REMAIN
875.09 SQ.FT.	44.18 SQ.FT.	775.30 SQ.FT.	88.60%
TOTAL EXISTING WALL AREA	TOTAL DEMOLISHED WALL AREA	TOTAL WALL AREA REMAINING	TOTAL % OF WALL AREA TO REMAIN
2628.34 SQ.FT.	1078.63 SQ.FT.	1549.76 SQ.FT.	58.96%

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14 ARNOLD AVE.
TORONTO, ONT., M6N 4M9
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T: (416) 836-1042
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QUALIFICATION INFORMATION
Required unless design is exempt under 3.2.4.3.(5) Division C of the Ontario Building Code.

MARN ZABZINI
NAME
45250
BCIN
SIGNATURE

REGISTRATION INFORMATION
Required unless design is exempt under 3.2.4.7. Division C of the Ontario Building Code.

CONTEMPO STUDIO
FIRM NAME
46972
BCIN

DRAWING		PROJECT	
NORTH ELEVATION		PROPOSED 3 STOREY ADDITION & INTERIOR ALTERATIONS AT 14 GOUGH AVE CITY OF TORONTO	
SCALE	AS-NOTED	DATE	MAR.24.2018
DRAWN BY	M.Z.	APPROVED BY	M.Z.
PROJECT No.	2017-01	DRAWING No.	A-10

Attachment 2

14 Gough Avenue Requested Minor Variances

Zoning By-law 569-2013

1. Chapter 10.10.40.40.(1)(A)

The maximum permitted floor space index of a detached dwelling is 0.6 times the area of the lot (122.33 m²).

The altered detached dwelling will have a floor space index of 1.05 times the area of the lot (214.08 m²).

2. Chapter 10.10.40.10.(2)(A)(i) & (ii)

The maximum permitted height of all front and rear exterior main walls is 7.5 m.

The height of the front and rear exterior main walls will be 9.68 m.

Zoning By-law 438-86

3. Section 6(3) Part I 1

The maximum permitted gross floor area of a detached dwelling is 0.6 times the area of the lot (122.33 m²).

The altered detached dwelling will have a gross floor area of 1.05 times the area of the lot (214.08 m²).

4. Section 6(3) Part II 3(II)

The minimum required setback from the side wall of an adjacent building that contains openings is 1.2 m.

The altered detached dwelling will be located 1.12 m from the side wall of the north adjacent building (16 Gough Avenue) and 1.08 m from the side wall of the south adjacent building (12 Gough Avenue).

5. Section 6(3) Part II 3.B(II)

The minimum required side lot line setback for the portion of a detached dwelling not exceeding a depth of 17 m is 0.9 m.

The portion of the altered detached dwelling not exceeding a depth of 17m will be located 0.28 m from the north side lot line.