



Working Group Meeting #2

High Park Apartment Neighbourhood Area Character Study

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February 5, 2018

Agenda

- 6:00** **Welcome**
- 6:10** **City Staff Presentation**
- 6:55** **Workshop**
- 7:40** **Discussion & Next Steps**

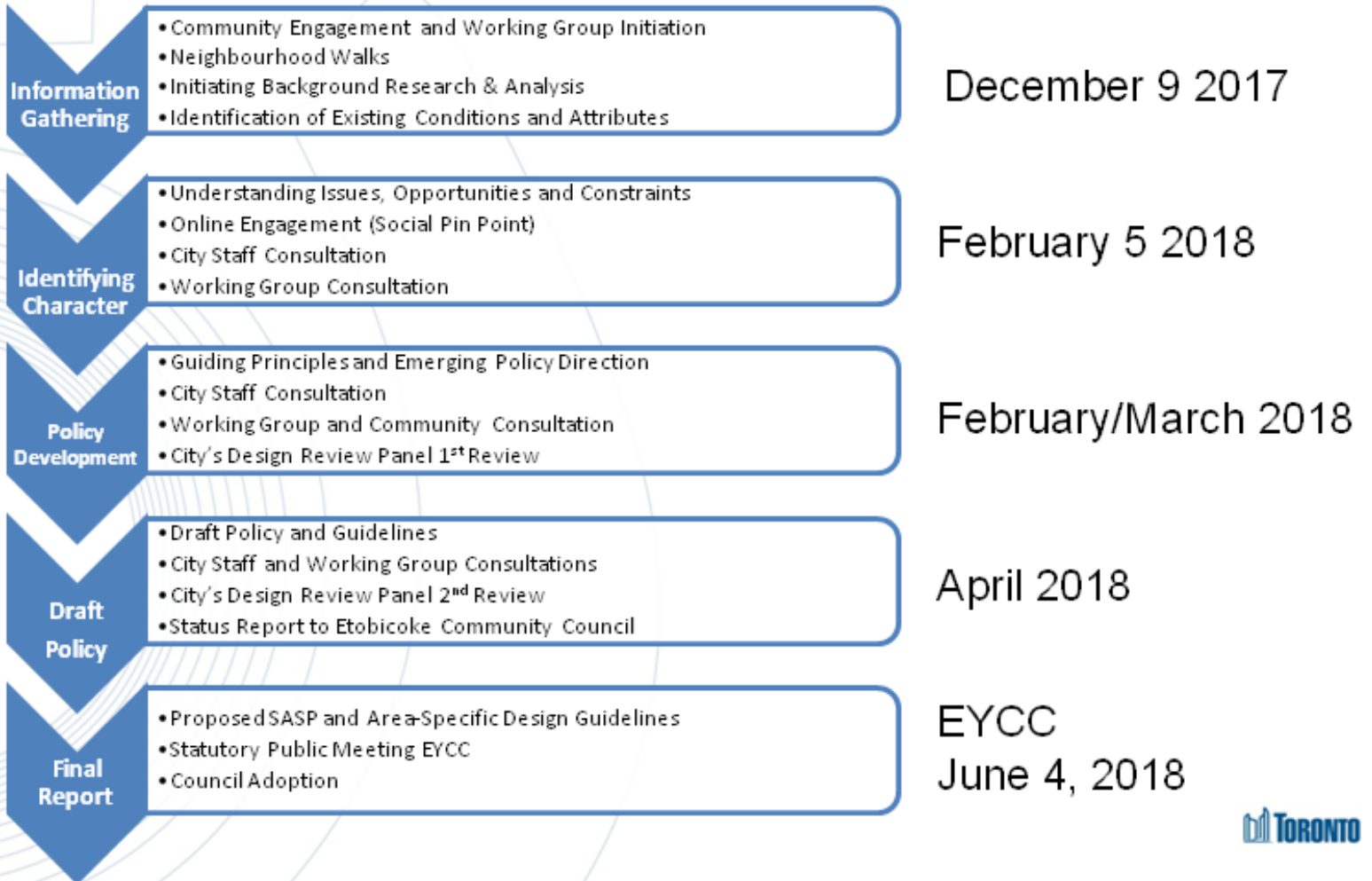
Study Purpose

To evaluate existing area characteristics and identify appropriate policies, principles and guidelines that will guide change and compatible infill development in the High Park *Apartment Neighbourhood*.

Possible Study Outcomes

- Official Plan Site and Area Specific Policy (SASP)
- Area-Specific Design Guidelines
- Community Improvement Opportunities (Private Lands / Public Realm)

Study Timeline



Understanding Values & Experience

Social Pinpoint Mapping Community Input & Experiences

December 15, 2017 to
January 23, 2018

684 site visits

569 unique users

9:36 average time (minutes)

77 unique stakeholders

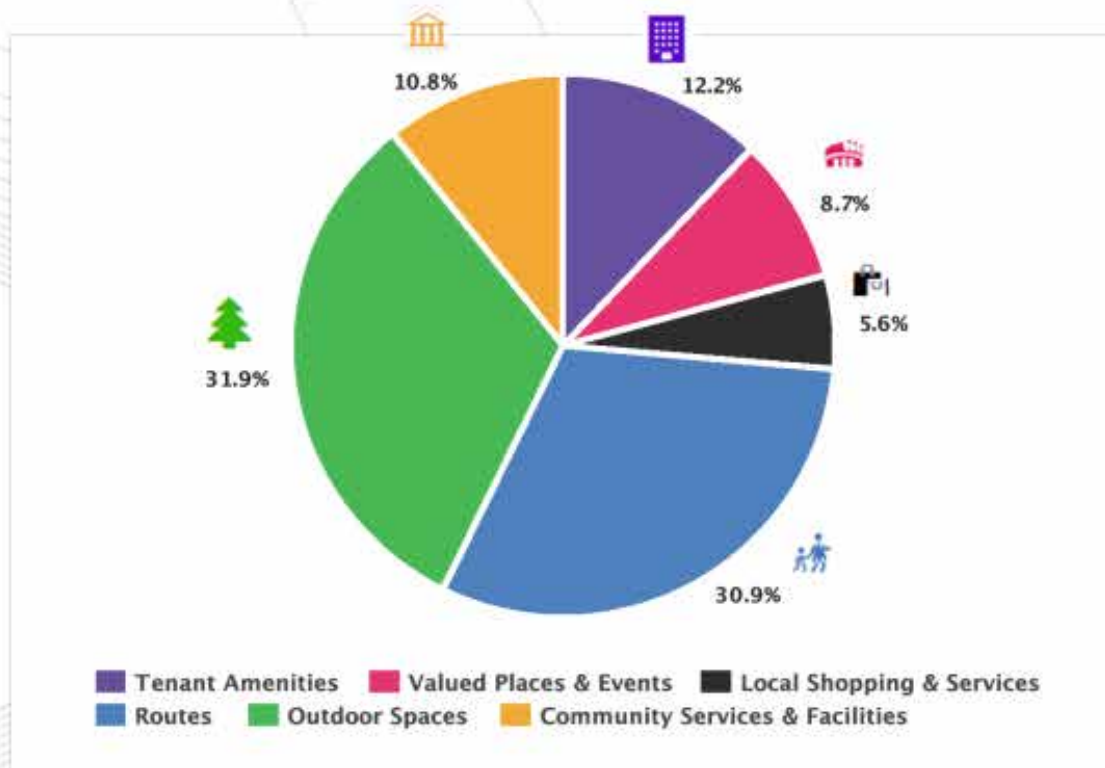
251 comments



Social Pinpoint Mapping Community Input & Experiences

					
Outdoor Spaces	Routes	Tenant Amenities	Valued Places and Events	Community Services & Facilities	Local Shopping & Services
Tell us about outdoor spaces you visit within the study area.	Tell us about the ways you move around the study area.	If you rent within the study area, tell us about the apartment building amenities that you use.	Tell us about local places or events that you feel add value to the community.	Tell us what local community services and facilities you use.	Tell us what local shops and personal or professional services you visit.

Social Pinpoint Responses



Social Pinpoint Responses



Social Pinpoint Responses

Outdoor Spaces & Amenities

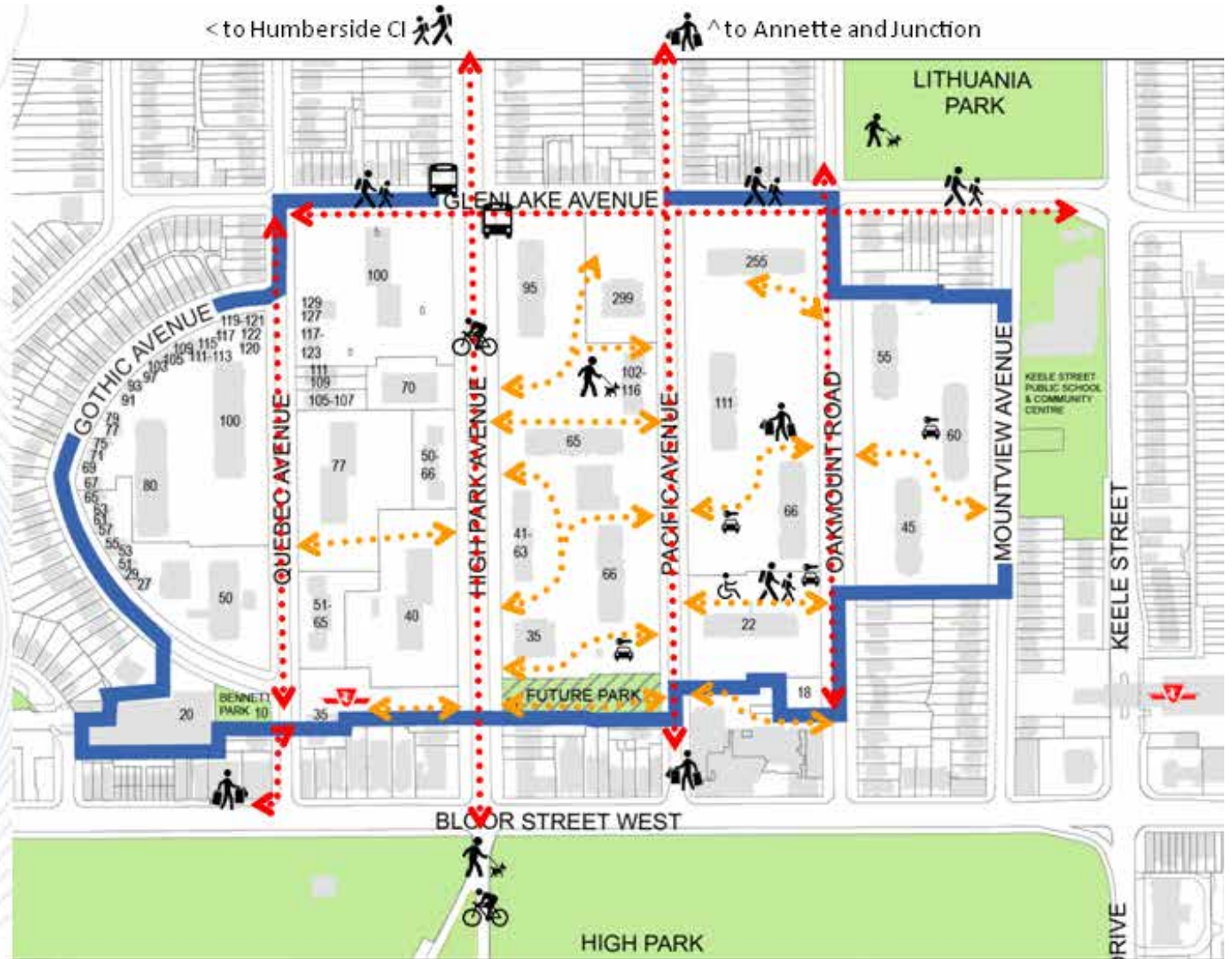
-  • Treed Areas
-  • Places for Play
-  • Dog Walking Areas
-  • Sunny Spots
-  • Places to Sit
-  • Bird & Wildlife Areas
-  • Tennis Courts
-  • Outdoor Swimming
-  • Gathering Space/Events



Social Pinpoint Responses

Travel

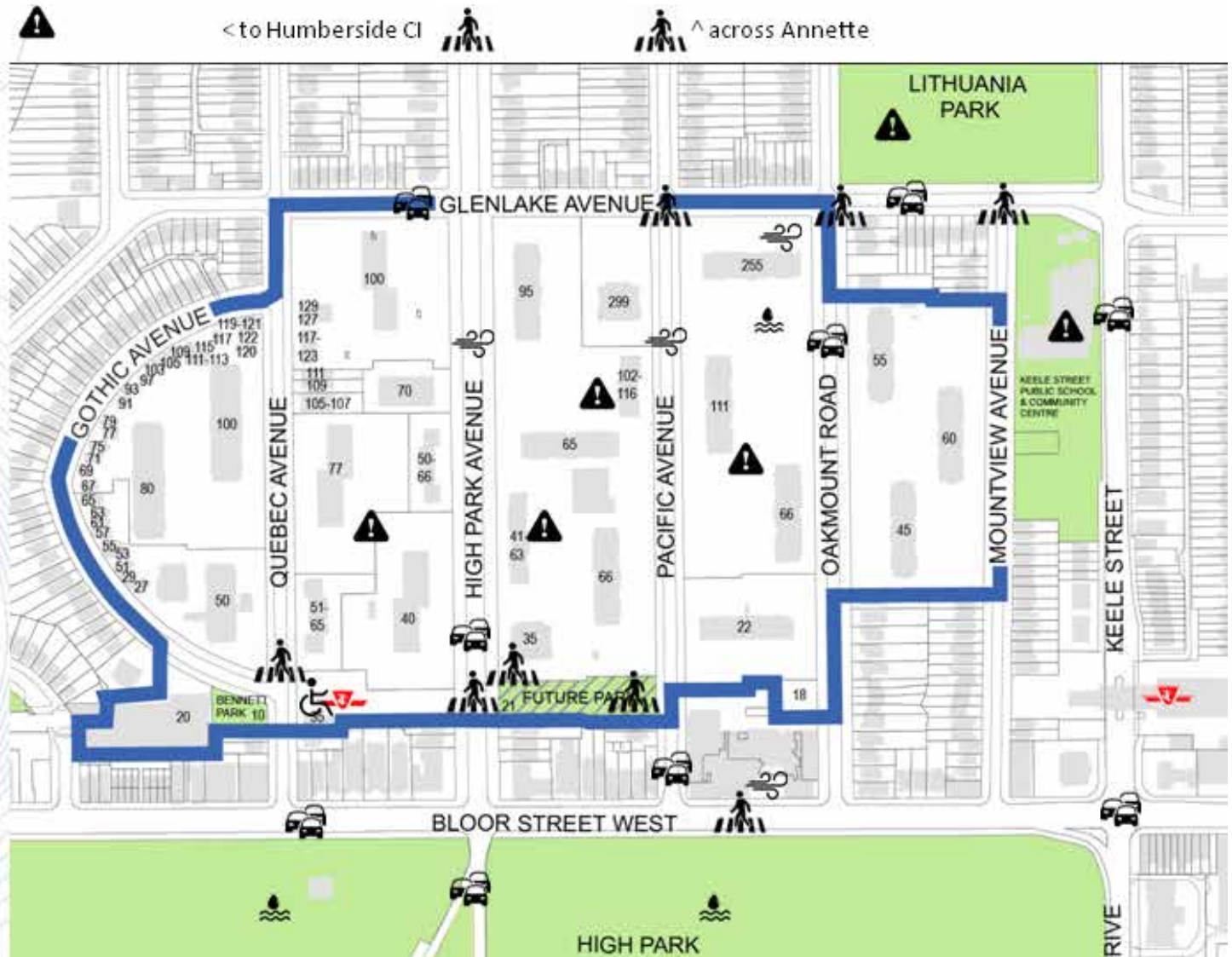
-  Busy Sidewalks
-  Pedestrian Shortcuts
-  Dog Walking Routes
-  School Routes
-  Bicycle Routes
-  Shopping Routes
-  Barrier-Free Route
-  Bus Stop
-  Carshare



Social Pinpoint Responses

Areas of Concern

-  • Windy Spots
-  • Pedestrian Safety
-  • Environmental
-  • Traffic
-  • Accessibility
-  • Other Issues



< to Humberside Cl



^ across Annette

Existing Conditions

Study Area

- 19.6 Ha
- 7 Public Streets
- 5 Blocks
- Bennett Park & New Park
- High Park TTC subway station

Immediate Area




- High Park and Lithuania Park
- Keele Street Public School & Community Centre
- Bloor Street West
- Keele TTC subway station






Properties and Ownership

- 21 properties

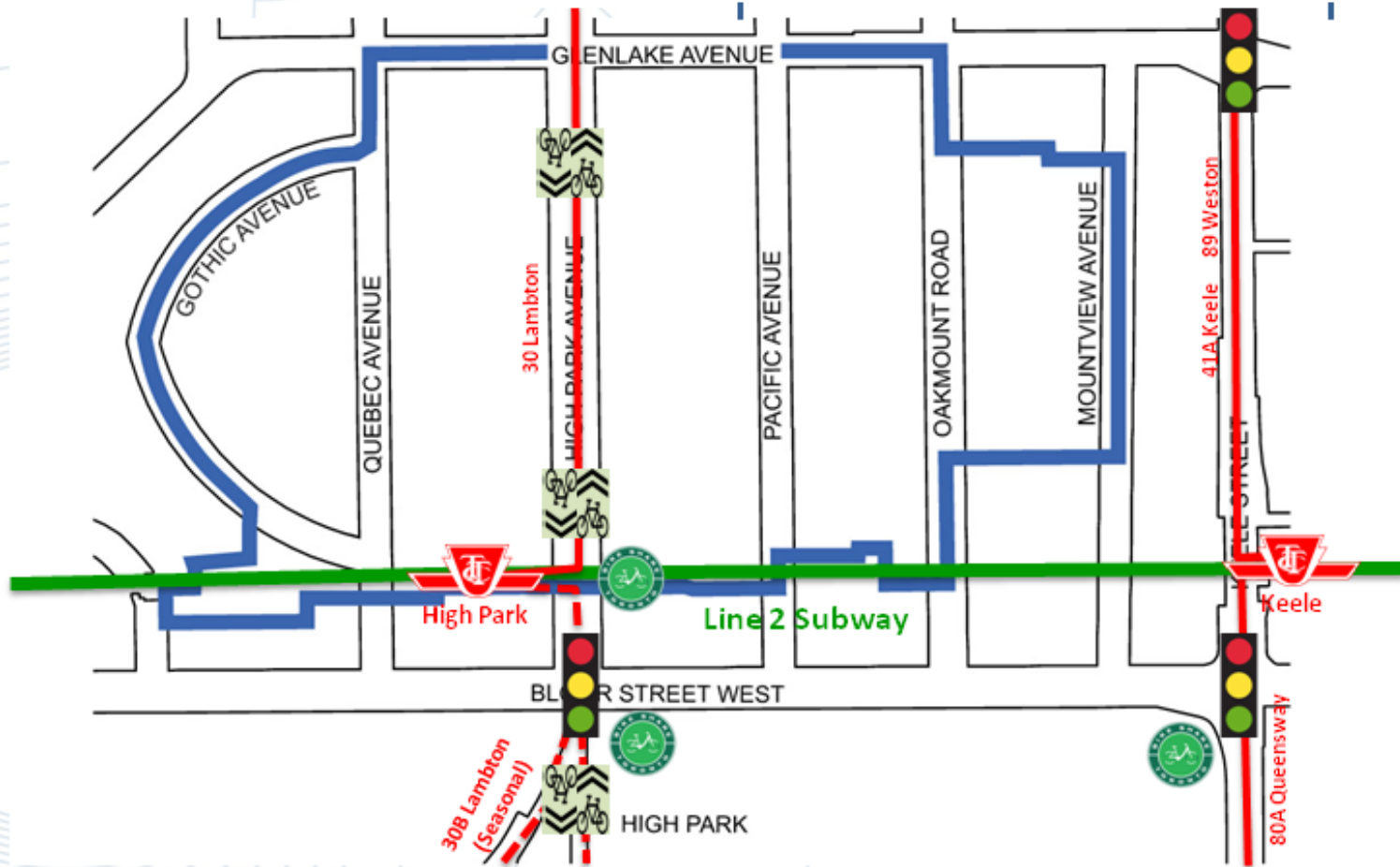
-    • 5 City-owned

-  • 16 privately-owned

- 12 landowners



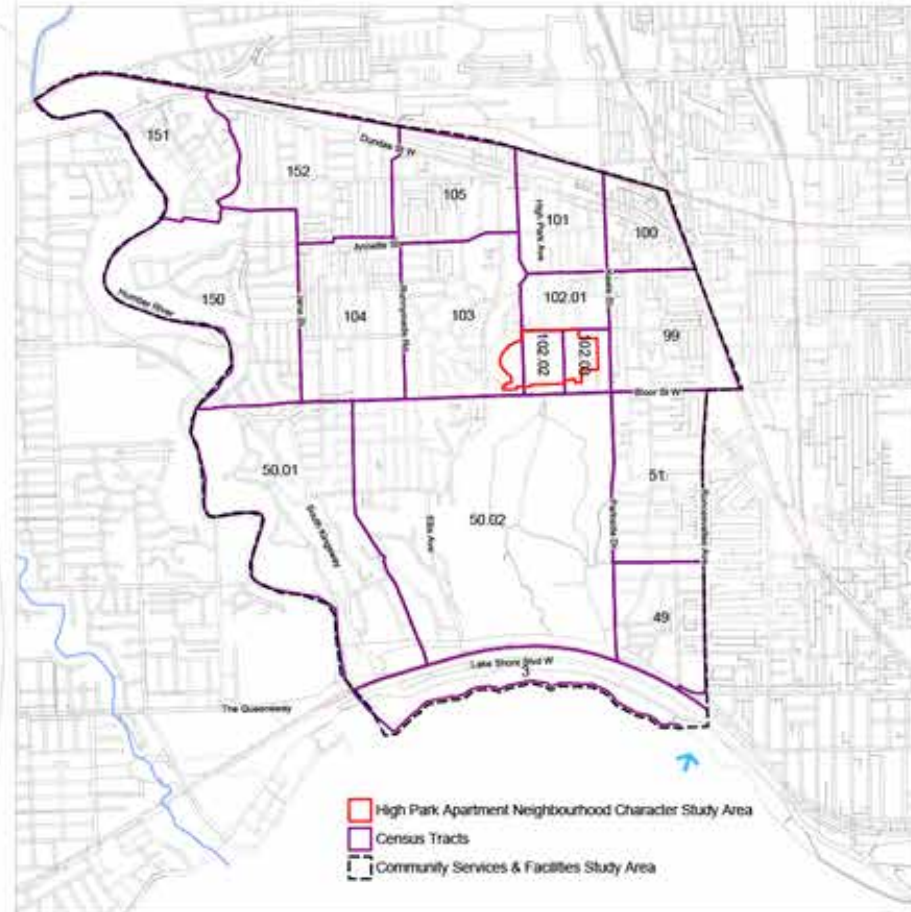
Transportation Map



Area of Influence

Broader Community Assessment

- population & demographics
- community services & facilities
- natural environment



DRAFT Character Defining Elements

Natural Features

- Natural Heritage Features
- Water (Infiltration, Hydrogeology)
- Topography
- Trees and Vegetation
- Birds and Wildlife Habitat

Built and Cultural Heritage

- Indigenous History and Interests
- Built Form Evolution
- Heritage Properties
- Cultural Heritage Resources

Public Realm

- Views and Vistas
- Parks and Public Open Space
- Streets and Blocks
- Streetscapes
- Pedestrian Amenity
- Cycling Amenity
- Mid-Block Connections

Open Space

- Open Space Within the Block
- Outdoor Amenity Areas
- Private Gardens and Landscapes
- Child-friendly Spaces
- Pet Areas

DRAFT Character Defining Elements

Built Form

- Building Types
- Building Placement and Orientation
- Density (fsi)
- Corner and Interior Lots
- Building Setbacks
- Address and Entrances
- Ground Floor Uses (Residential, Retail/Shopping)
- Building Heights
- Transition
- Separation Distances
- Sunlight and Shadow
- Pedestrian Level Wind
- Building Design and Materials

Servicing

- Driveways/Loading
- Parking (on-site, on-street, and bicycles)
- Waste Management (storage and pick-up)
- Wayfinding signage and traffic control

Natural Heritage Features

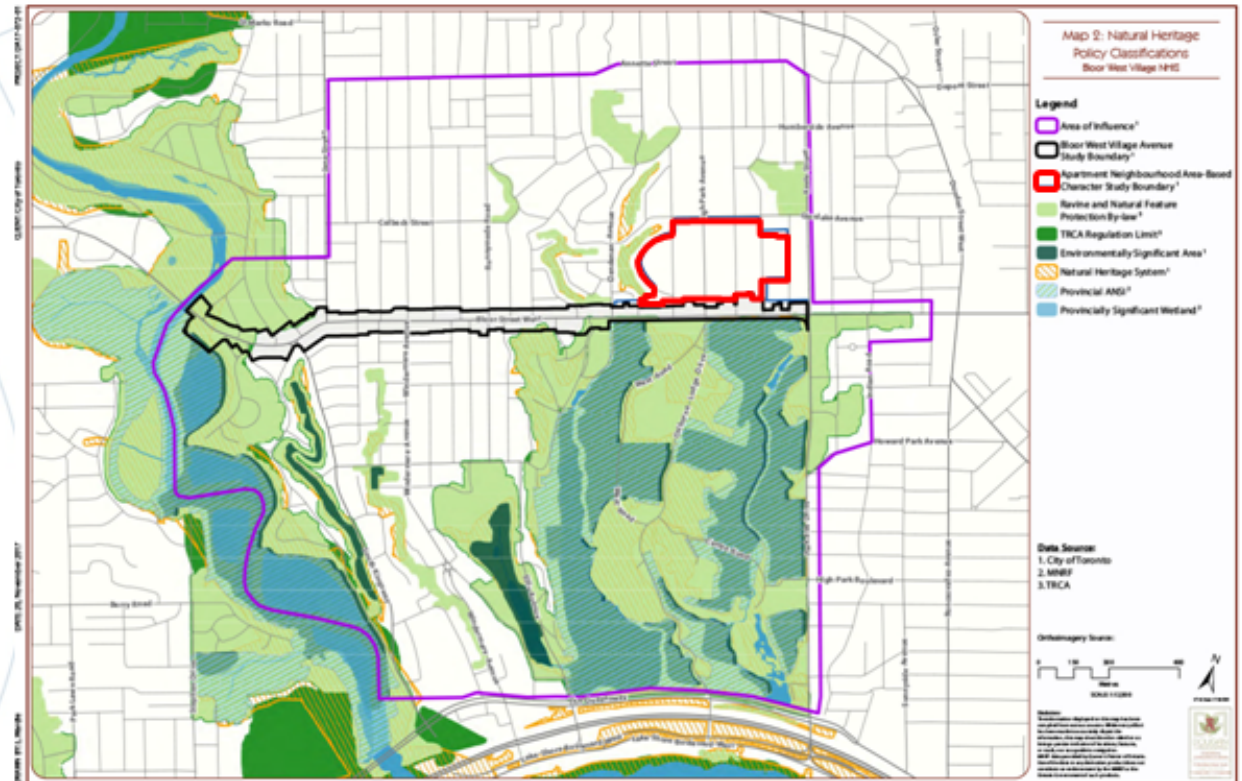
Natural heritage features including provincially and locally significant areas located in the surrounding area most notably in High Park (local and regional park)

Limited Natural heritage features within Apartment Neighbourhood study area

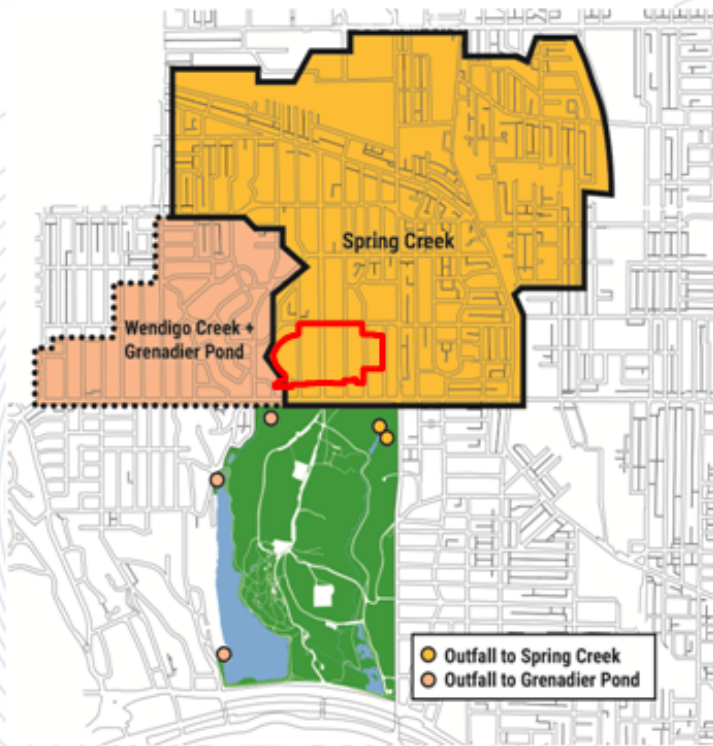
Existing mature tree canopy
Private and City Tree bylaws apply

Possible habitat for species of conservation concern
e.g. habitat structures

High Park is significant stopover location for migratory song birds



Sensitive High Park Water Features



Sensitive Features

Wendigo Creek + Grenadier Pond
Upstream portion of Grenadier Pond system.

Spring Creek
Eventually discharges into Duck Pond and underground tunnel.

Existing Characterization

Total Catchment Area of 120 ha with 56% Impervious cover.
1 Storm Sewer outfall discharges from Total Catchment.

Total Catchment Area of 305 ha with 68% Impervious cover.
2 Sewer outfalls (1 SCSO + 1 Storm) discharges from Total Catchment.

Bloor St W Village Study area constitutes **8%** of total contributing catchment. Apartment Neighbourhood Study Area constitutes **0%**.

Bloor St W Village Study area constitutes **<2%** of total contributing catchment. Apartment Neighbourhood Study Area constitutes **6%**.

Conditions Review

[Gartner Lee 1995]
[WSP 2017]

85% of the Grenadier Pond basin developed since 1940. Increased imperviousness likely decreased **groundwater** contributions to **50%**, with **50%** contributed from **surface water** (i.e., stormwater runoff).

Surface water contributions significantly less than **artesian based groundwater flow** from buried Laurentian Channel aquifer (driven by groundwater regimes from Georgian Bay and the Oak Ridges Moraine).



Potential Development Impacts on Water and Natural Heritage

Key Features

Groundwater

Sources include **shallow groundwater flow regime** and **perched aquifers** and **deep aquifers** (i.e., buried Laurentian Channel)

Potential Development Impacts

Increases in **imperviousness** may **inhibit groundwater recharge**.

Sub-surface structures (e.g., parking garages) may require the extraction and discharge of groundwater to sewers impacting **groundwater flow regimes**, **sewer capacity** and **potential for water quality degradation**.

Deep sub-surface structures may **impede aquitards** and could cause **release of pressurized aquifers**.

Surface Water

Sources include **stormwater runoff** flowing overland or captured, conveyed and discharged through City's sewer infrastructure.

Increases in **imperviousness** may result in **rapid and increased release of stormwater** increasing the risk of **water quality degradation** and **watercourse erosion**, as well as raise **urban flooding concerns**.

Natural Heritage

Features located to the south within **High Park**

Increased hazard of buildings to **migratory song birds**

Loss of tree cover and vitality of new trees

Air quality concerns related to High Park burn

Indirect impacts from increased use from people and dogs may impact **natural heritage features in High Park**

High Park flora, fauna and water resources already impacted



Requirements and Opportunities

City Requirements

Water

Provide site-specific hydro geological investigation to understand impacts to groundwater and discharge, and meet City requirements for Groundwater Management (upcoming Policy) and By-Laws.

Improve overall stormwater management from existing impervious & uncontrolled conditions using City's WWFMG and Green Infrastructure to improve water balance, quality and quantity

Opportunities

Improve groundwater recharge from public realm through Green Infrastructure/Green Streets

Investigate enhanced area-specific SWM control and recharge opportunities to protect/improve water flows to High Park system. **What are existing constraints due to underground parking structures?**

Limit the maximum depth of sub-surface structures (or water tight) to ensure no net impact to the groundwater regime.

Require any new buildings to provide borehole to assess depth of aquifer

Natural Heritage

Provide Green Roofs, Bird friendly building treatment, trees, landscaping as per Toronto Green Standard

Biodiverse green roofs

Enhanced bird friendly treatment of buildings

Tree species, size and planting arrangement to support park functions and biodiversity **What are constraints due to underground structures?**

Guidelines to enhance biodiversity through Green Infrastructure/Green Streets/Pollinator Strategy

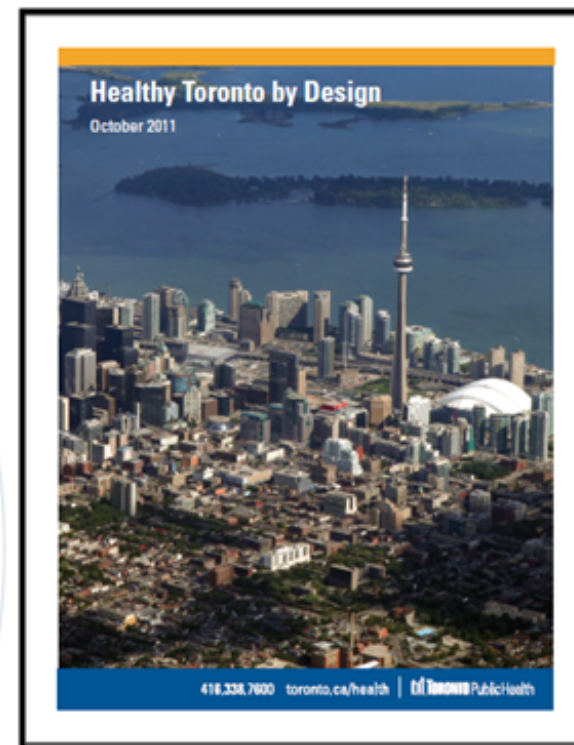
Onsite dog walk/courtesy areas

Building ventilation design to ensure no air quality impacts



Public Health Perspective

- Board of Health report October 2011
- Chronic diseases, obesity, & sedentary lifestyles some of the most significant challenges
- The way cities and neighbourhoods are planned, designed, and built contributes to these problems
- Factors – natural and built environment, transportation, housing, neighbourhoods, income and employment, education, food security



Public Health Perspective

Healthy Neighbourhood Design

- » enhanced active transport, e.g. cycling, walking, and transit
- » prioritizing safety
- » mixed land uses with a variety of amenities
- » enhanced connectivity with efficient and safe networks
- » increase access to healthy foods

Healthy Natural Environment

- » preserve and connect open spaces
- » maximize opportunities to access and engage with the natural environment
- » reduce or mitigate urban air pollution
- » mitigate urban heat island effect
- » expand natural elements across the landscape

Built and Cultural Heritage

Study Area History and Evolution



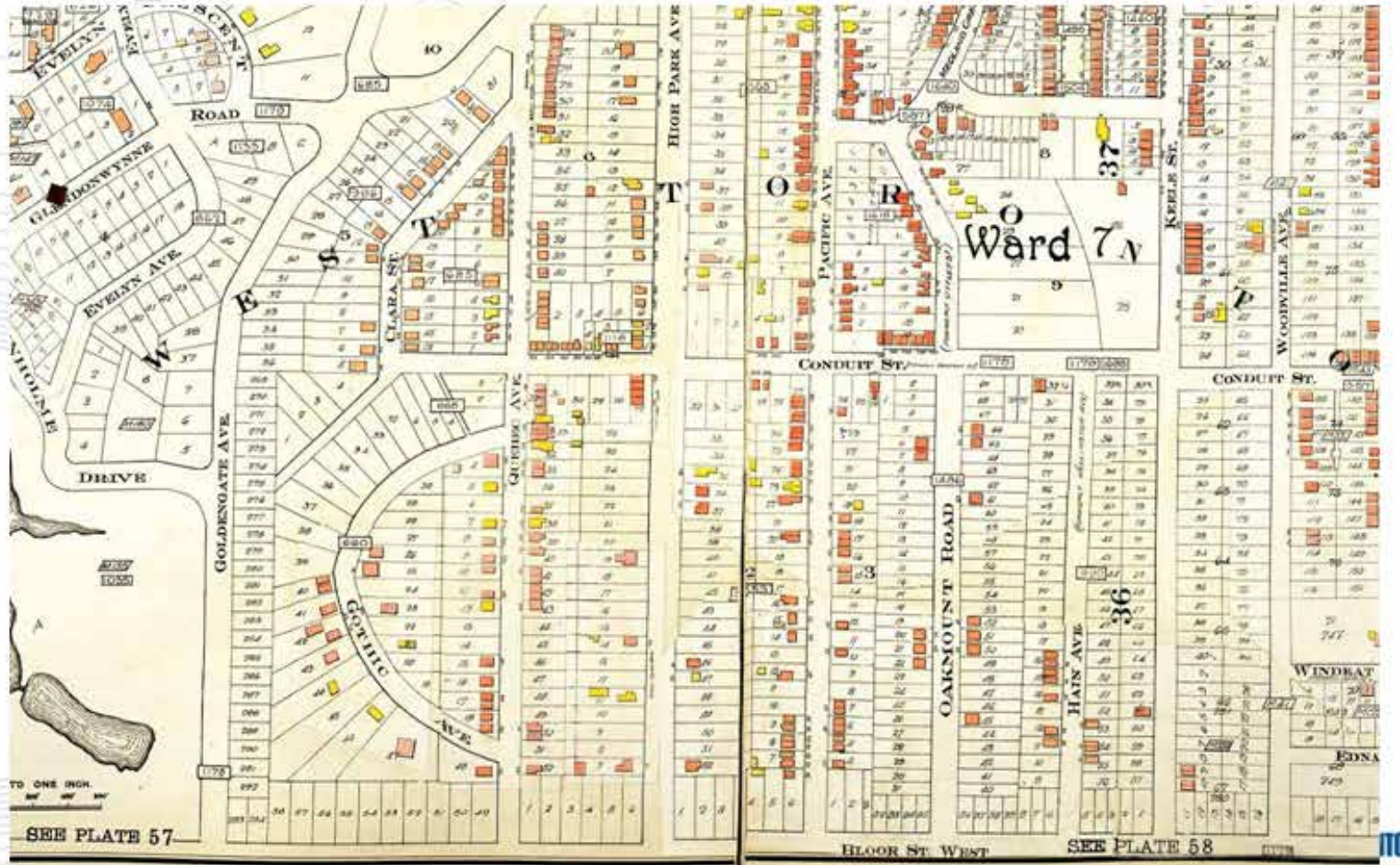
City of Toronto Archives, Fonds 682, Item 116



City of Toronto Archives, Fonds 682, Item 116



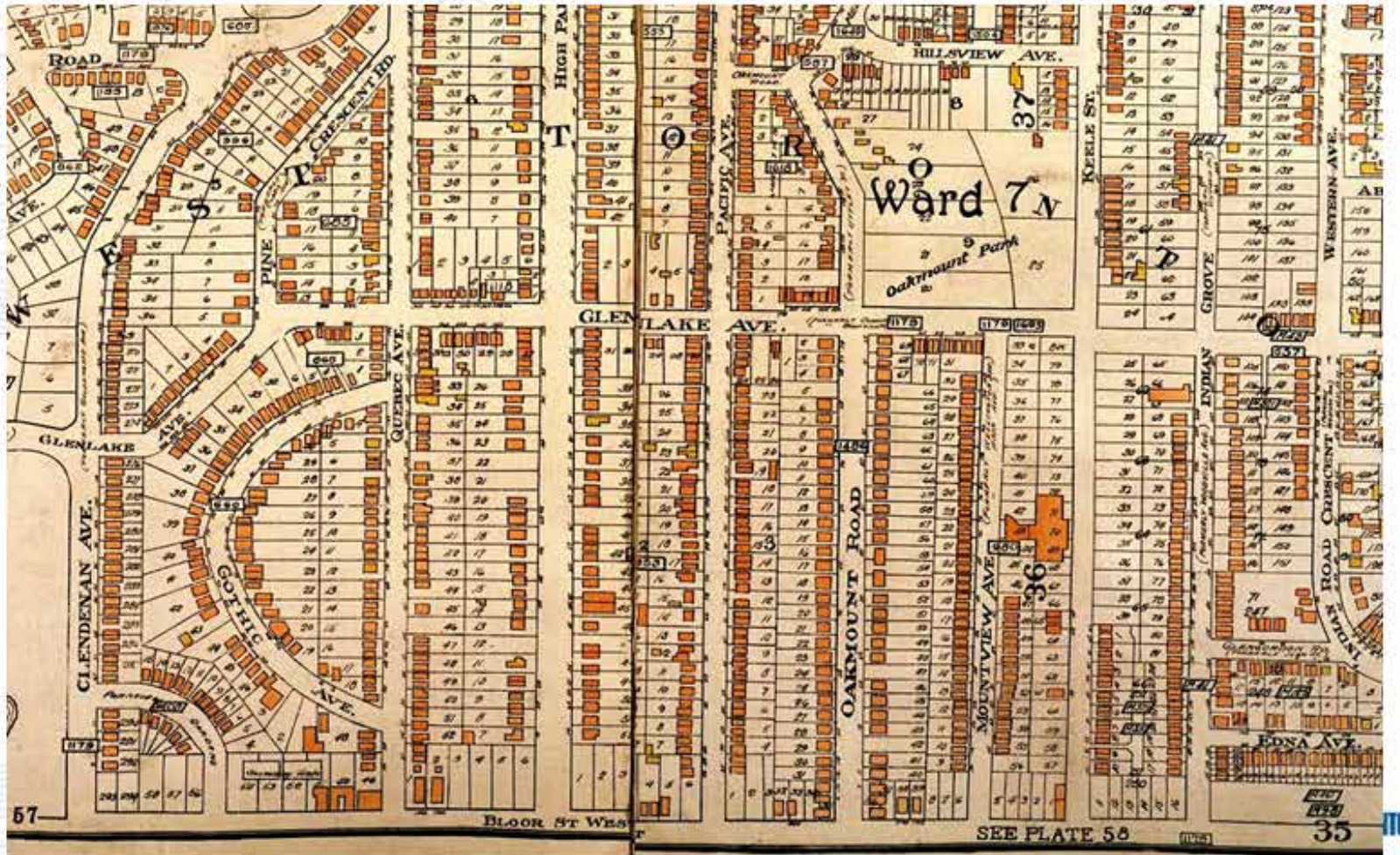
1913





PLANNING A GREAT CITY. TOGETHER.

1924



“Blockbusting” 1965 - 1980





1954



1959





1965





1966





1967



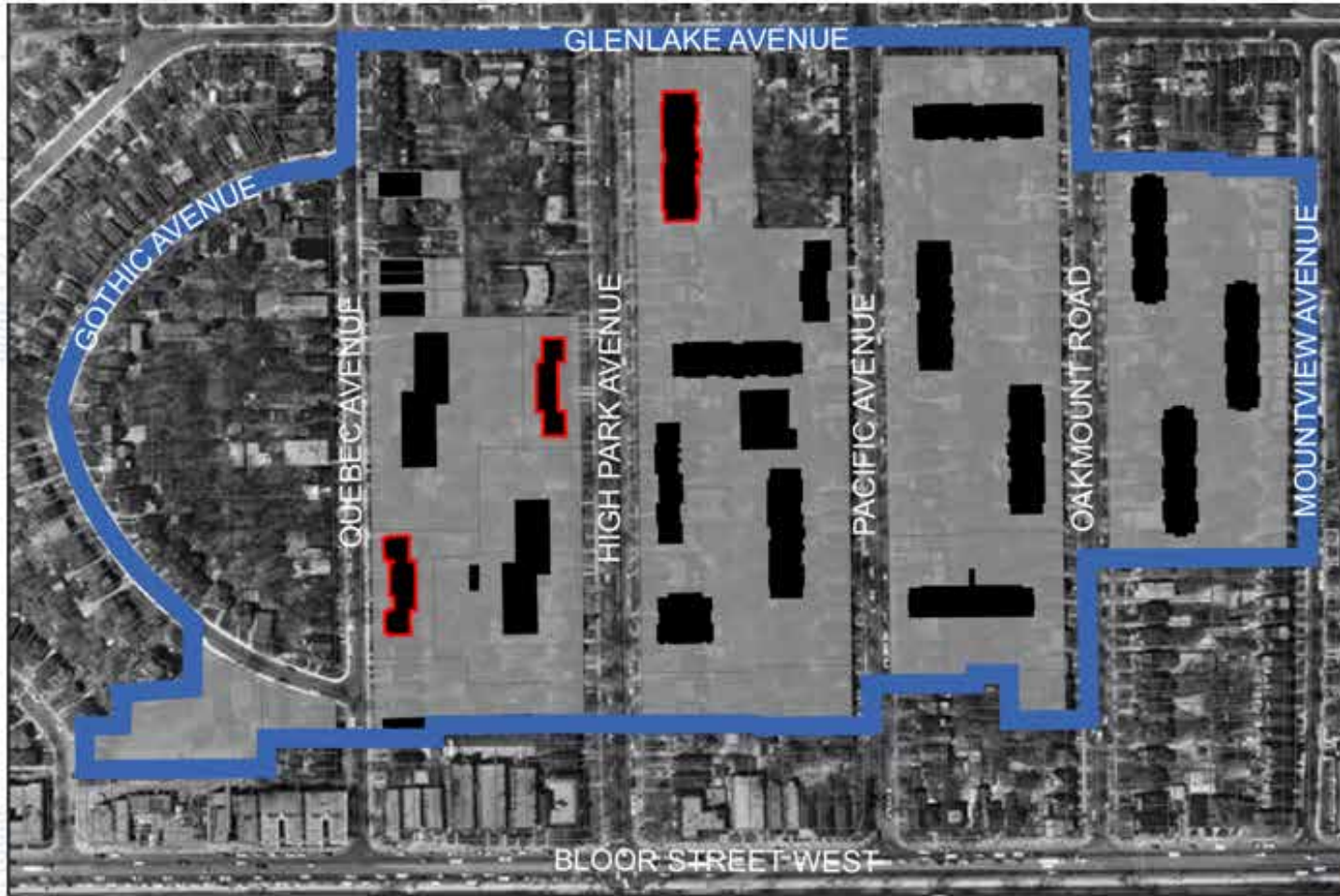


1968





1969





1970





PLANNING A GREAT CITY. TOGETHER.

1971





1973



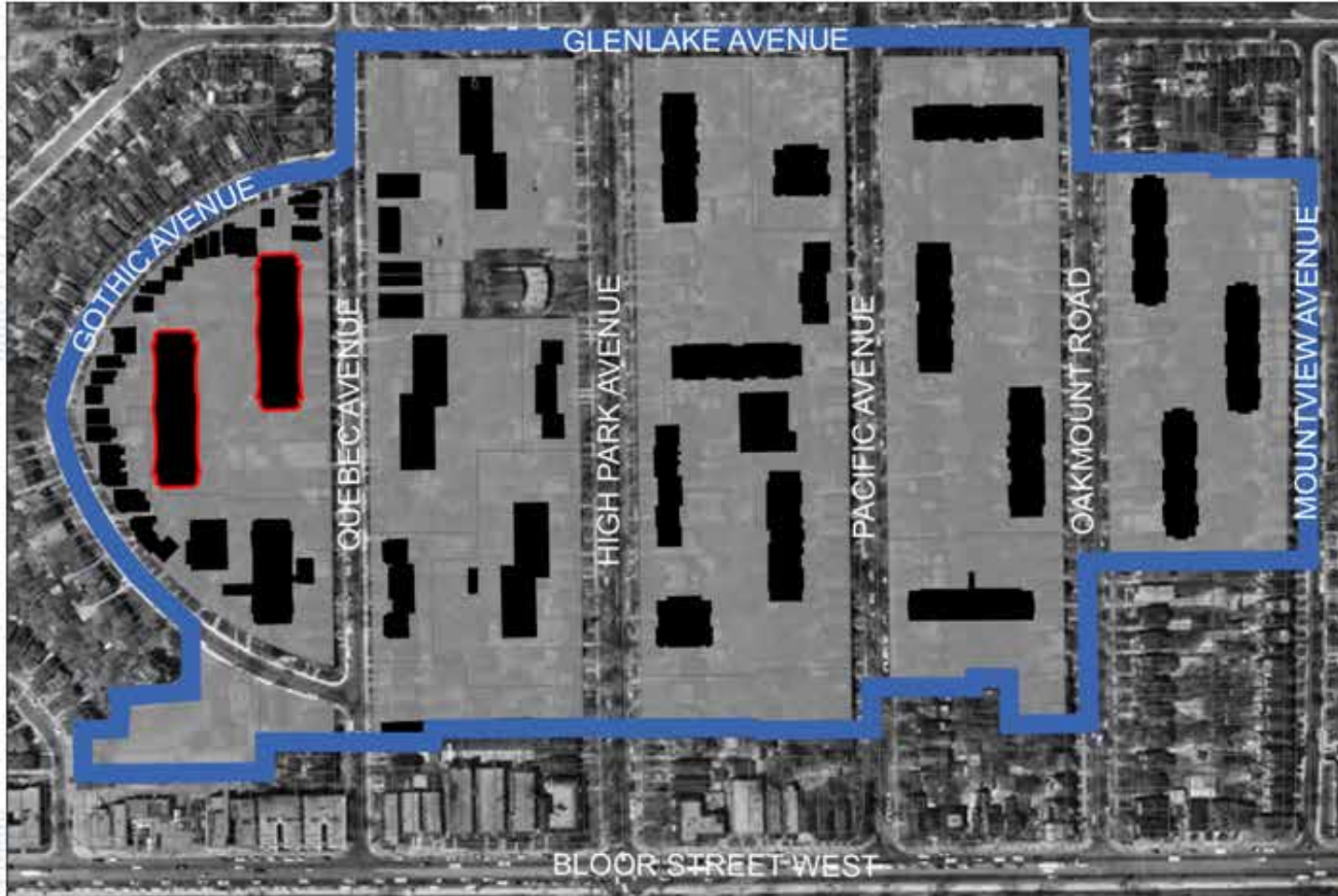


1977





1980



Dates of Construction

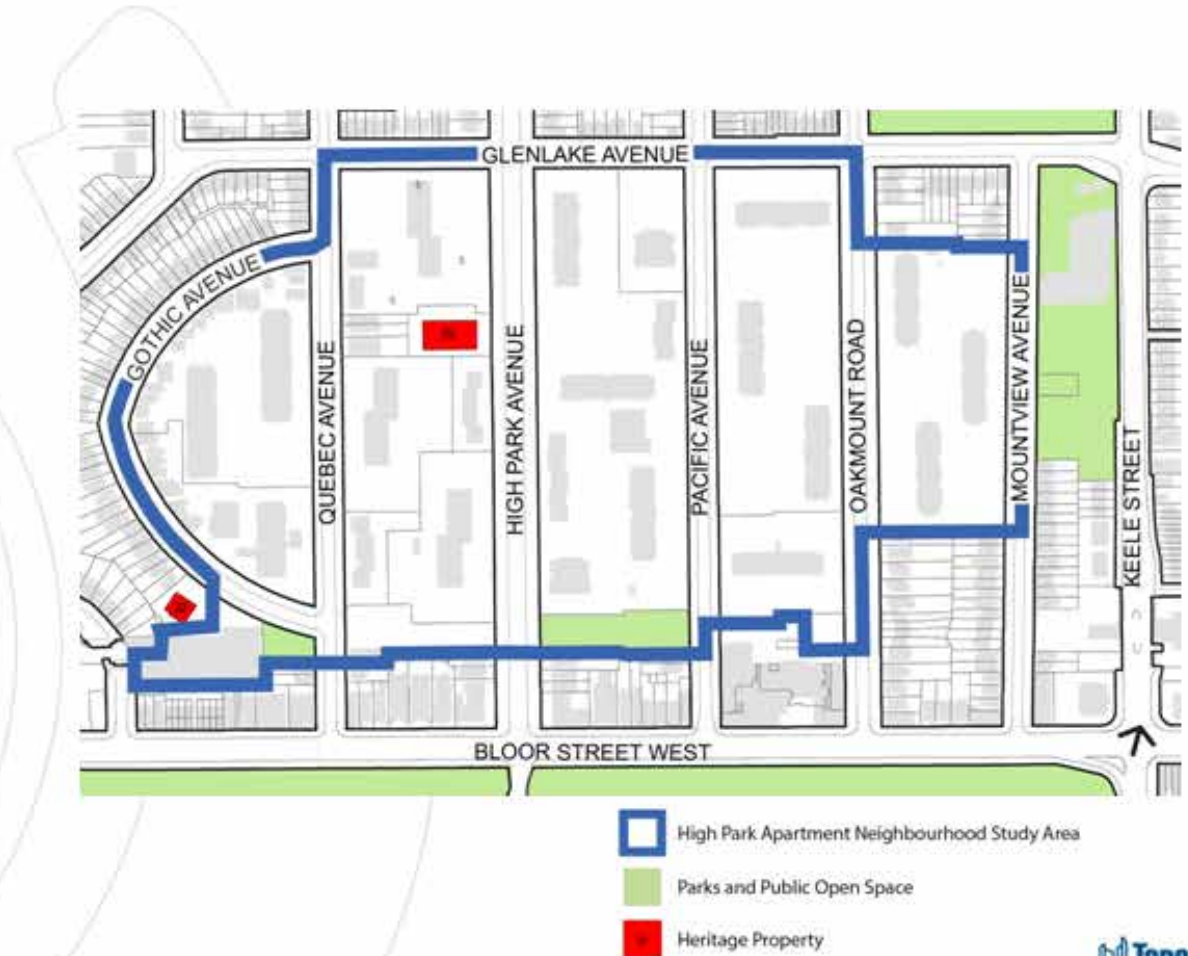
- Before 1920
- 1959-1980 "block busting"
- 2004 to present "infill"



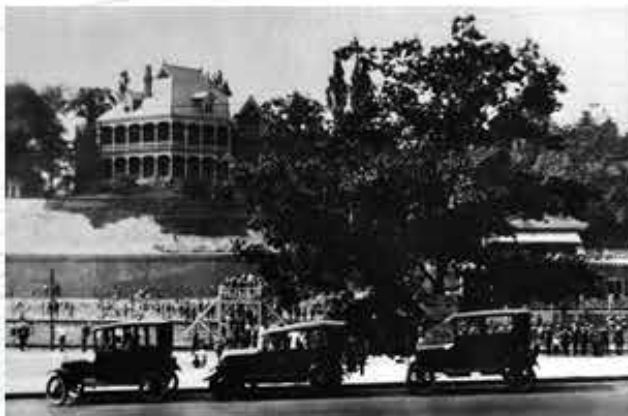
- High Park Apartment Neighbourhood Study Area
- Parks and Public Open Space

Existing Heritage Properties

- 32 Gothic Avenue
- 70 High Park Avenue



Existing Heritage Properties



32 Gothic Avenue



70 High Park Avenue

Identification of Cultural Heritage Resources: Ontario Regulation 9/06

Evaluation Checklist

The evaluation tables are either marked not applicable or applicable and are followed with explanatory text.

<i>Design or Physical Value</i>	
i. rare, unique or early example of a style, type, expression, material, or construction method	N/A or X
i. displays high degree of craftsmanship or artistic merit	N/A or X
i. demonstrates high degree of scientific or technical achievement	N/A or X

Identification of Cultural Heritage Resources: Ontario Regulation 9/06

Evaluation Checklist

The evaluation tables are either marked not applicable or applicable and are followed with explanatory text.

<i>Historical or Associative Value</i>	
i. direct associations with a theme, event, belief, person, activity, organization or institution that is significant to the community	N/A or X
i. yields, or has potential to yield, information that contributes to an understanding of a community or culture	N/A or X
i. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community	N/A or X

Identification of Cultural Heritage Resources: Ontario Regulation 9/06

Evaluation Checklist

The evaluation tables are either marked not applicable or applicable and are followed with explanatory text.

<i>Contextual Value</i>	
i. important in defining, maintaining or supporting the character of an area	N/A or X
i. physically, functionally, visually, or historically linked to its surroundings	N/A or X
i. landmark	N/A or X

Summary

This conclusion describes whether or not the subject property has sufficient integrity to be listed on the City of Toronto's Heritage Register or Designated Part IV under the Ontario Heritage Act.

Examples of Modern Apartment Buildings Listed on the City's Heritage Register

10-12 St. Dennis Drive

Flemington Park
Apartments, 1962;
adopted by City
Council on Feb. 14,
2006



Examples of Modern Apartment Buildings Listed on the City's Heritage Register

20 Price Arthur Avenue

Prince Arthur Towers



Examples of Modern Apartment Buildings Listed on the City's Heritage Register

666 Spadina Road

Apartments, 1972;
Architect: Uno Prii; adopted
by City Council on March 1,
2, 3, 2004



Examples of Modern Apartment Buildings Listed on the City's Heritage Register

2425, 2415 Jane St & 195
Exbury Road

Jane-Exbury Towers;
1968-1970; Uno Prii, architect;
adopted by City Council on
Jan 27, 28, 29, 2004)



Examples of Modern Apartment Buildings Listed on the City's Heritage Register

88 Spadina Road

Apartments, 1969; Uno Prii, architect; adopted by City Council on March 1, 2, 3, 2004



Examples of Modern Apartment Buildings Listed on the City's Heritage Register

300 Eglinton Avenue East



Examples of Modern Apartment Buildings Listed on the City's Heritage Register

485 Huron Street

Apartments, 1966; Uno Prii, architect; adopted by City Council on March 1, 2, 3, 2004



Public Realm – Parks Inventory

- Within Study Area:**

Park	Type	Features	Comments
Bennett Park	Parkette (924 m ²)	Horticulture display	Small, passive space
21 High Park Ave (future park: City-owned lands recently transferred from RES to PF&R)	Parkette (3,129 m ²)	TBD (potentially reconfigured tennis courts or pickleball courts, pathway)	Will potentially incorporate active recreation amenities

- Directly adjacent to Study Area:**

Park	Type	Features	Comments
Lithuania Park	Neighbourhood Park (22,286m ²)	Baseball diamond, soccer field, wading pool, playground, fieldhouse, washrooms, pathways, horticulture display	<ul style="list-style-type: none"> • Mix of active and passive recreation amenities • Upcoming playground and waterplay improvements (new play equipment, play surfacing and new splash pad features), and accessible pathway and seating improvements

Parks Requirements

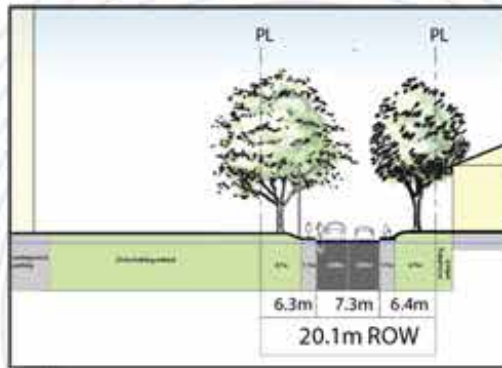
- On-site parkland dedication priority
- Unencumbered land preferred
- City-wide need for larger spaces (soccer, basketball, multi-sport courts)
- Limit shadow impacts on parkland
- Adequate parkland visibility/accessibility and pedestrian connectivity
- Appropriate setbacks and careful design of loading/servicing areas
- Encourage functional Privately-Owned Publicly Accessible Open Spaces (POPS) in addition to public parks

Public Realm – Streets Inventory

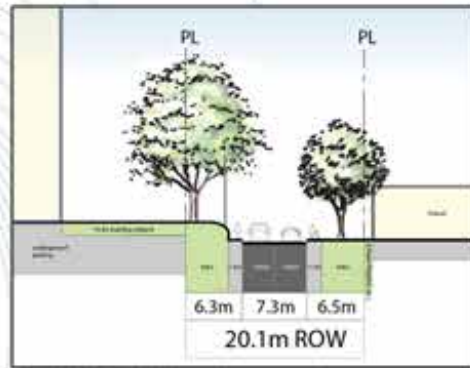
Street	ROW Width	Road Classification	Pavement Widths	Boulevard Widths	Sidewalk Widths	Tree Zones	Tree Zone Widths
Glenlake Avenue	20m	Local/Collector	7.3m	6.3m	1.5-1.7m	single row	4.7m-4.8m
Gothic Avenue	20m	Local	8.5m	5.5m-6.0m	1.5-2.1m	single row	3.8m-4.0m
Quebec Avenue	20m	Local	8.5m	5.5m-6.0m	1.5m	single row	4.0m-4.5m
High Park Avenue	30.5m	Collector	12.8m	8.5m-9.0m	1.5m	double row	3.5m-4.0m
Pacific Avenue	20m	Local	8.5m	5.5m	1.5-1.7m	double row	1.8m-2.0m
Oakmount Road	24m	Local	8.5m	7.5m-8.0m	1.5m	double row	3.0m-3.3m
Mountview Avenue	20m	Local	7.3m	6.0m-6.5m	1.5-1.7m	single row	4.8m

Public Realm – DRAFT Street Sections

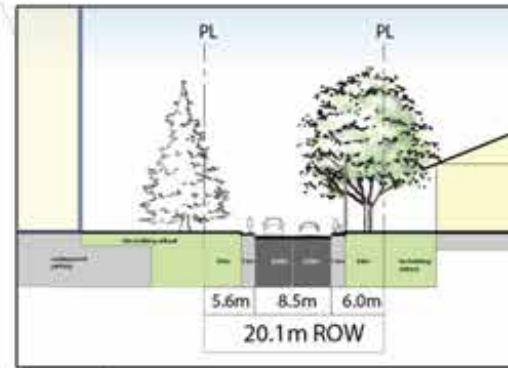
Sidewalks Curbside



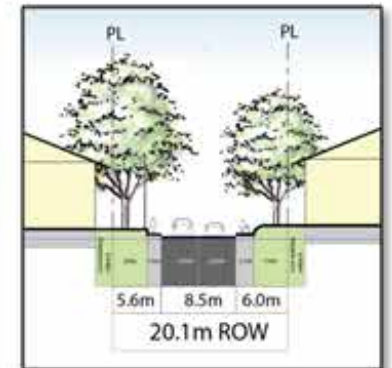
Glenlake Avenue



Mountview Avenue



Quebec Avenue



Gothic Avenue

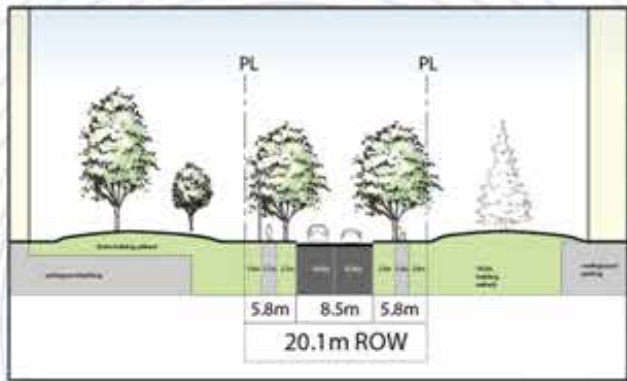
Public Realm – Streetscape Character

Sidewalks located curbside

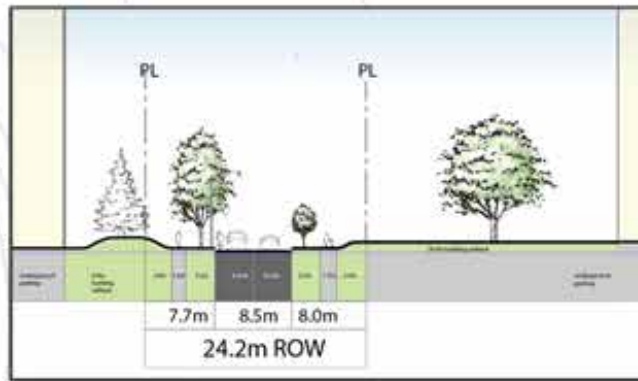


Public Realm – DRAFT Street Sections

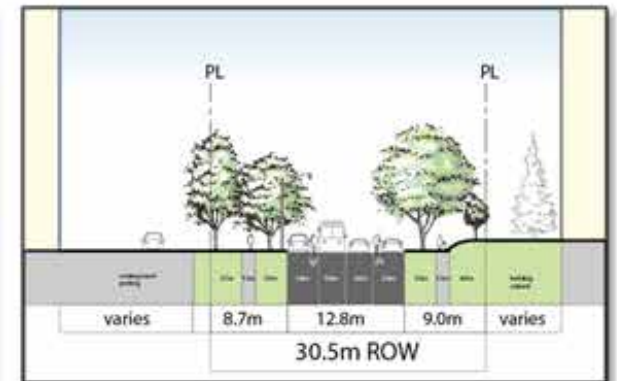
Sidewalks located between landscaped boulevards



Pacific Avenue



Oakmount Road



High Park Avenue

Public Realm – Streetscape Character

Sidewalks located between landscaped boulevards



Hardscape Curbside



Softscape Curbside

Public Realm – Green Streets



- **Traditional streets** are designed to direct stormwater into storm sewer systems (gutters, drains and pipes) that discharge directly into surface waters, rivers and streams.
- **Green streets** are designed to capture rainwater at its source, where it falls, providing water for plants and trees to grow and at the same time acting as a natural filter to clean the water before it makes its way into local waterways.

Public Realm – Green Streets

Green Street Technical Guidelines focus on Green Infrastructure solutions for the Public Right-of-Way.

The majority of solutions can be located in the boulevard space, for example:

- Bioswales and Raingardens
- Bioretention Planters
- Tree pits and trenches to capture stormwater
- Permeable pavement options
- Bioretention “Bump Outs”

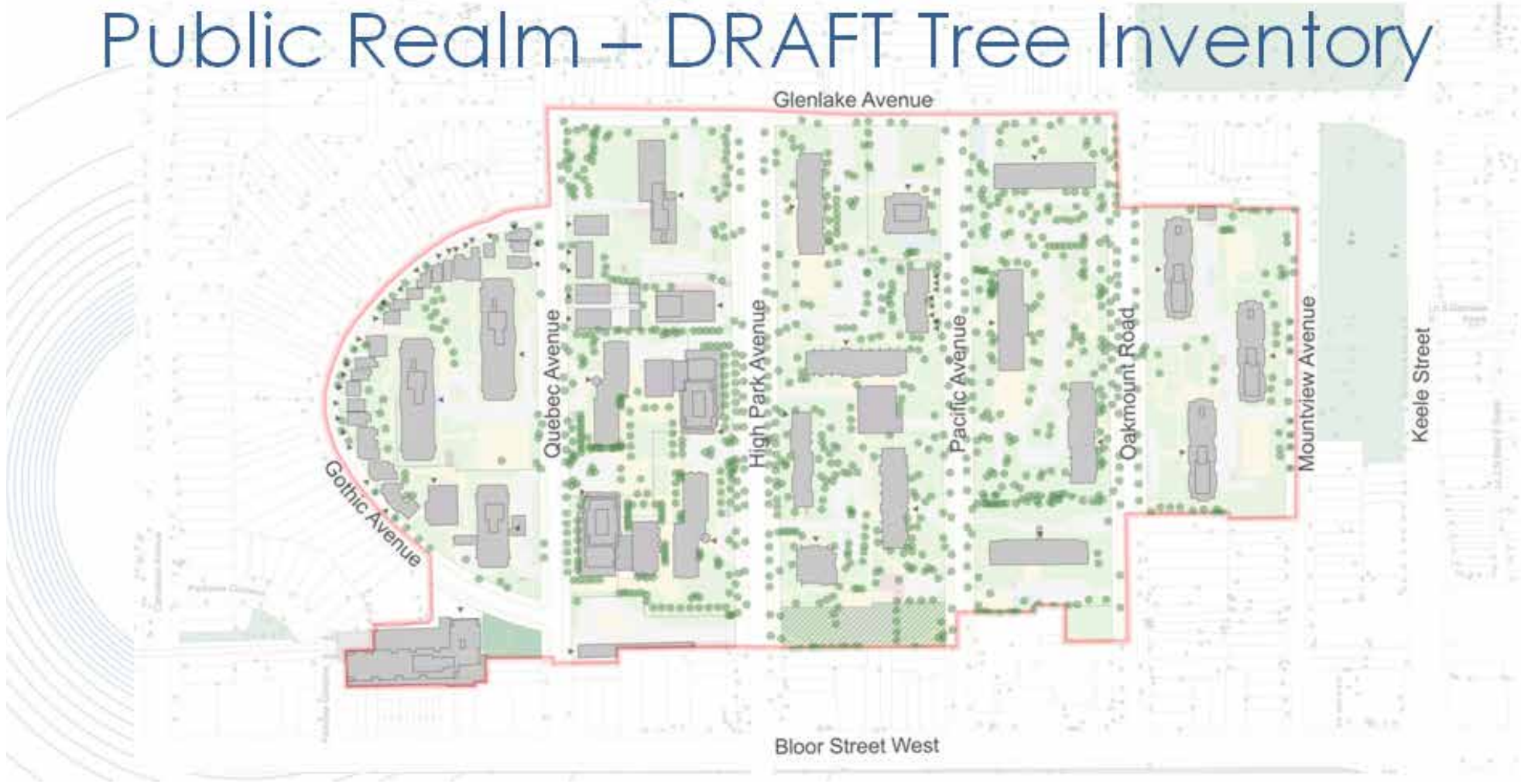


South Station Street and Lawrence Avenue West (2015)

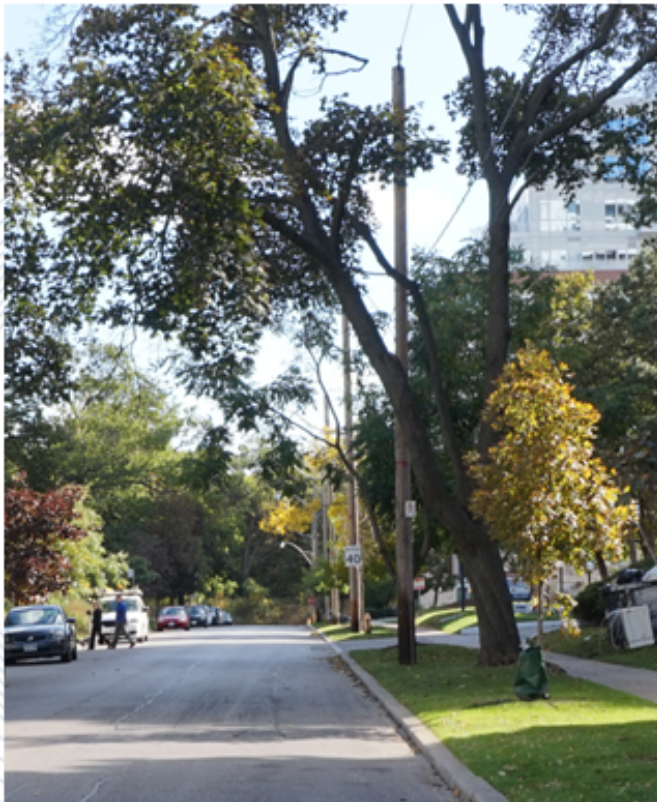


Image courtesy of TRCA

Public Realm – DRAFT Tree Inventory



Urban Forestry Requirements



PERMIT REQUIREMENTS

City Street Tree By-law, Municipal Code Chapter 813, Trees, Articles II

- Trees of all diameters located on the City right-of-way
- Application, application fee, payment for appraised tree value, and replanting at 1:1 ratio
- Consultation with Ward Councillor (no posting of Public Notices)

Urban Forestry Requirements



PERMIT REQUIREMENTS

Private Tree By-law, Municipal Code Chapter 813, Trees, Articles III

- Trees with 30 cm diameters or greater located on private property, including adjacent property
- Application, application fee and replanting at 3:1 ratio for construction-related applications
- Posting of Public Notices and Consultation with Ward Councillor only for healthy trees

Exceptions

- Consultation is not required for trees that require removal for underground parking structure rehabilitation.
- Private trees under 30 cm diameter do not require a permit for removal and are not required to be plotted on the plans nor mentioned in the Arborist Report.

Urban Forestry Requirements



TREE PROTECTION AND REPLACEMENT

Preservation of existing trees

- Identify pockets of trees or individual mature valuable tree specimens
- Injury Permit rather than Removal Permit for trees not directly impacted by construction

Streetscapes

- Planting double row of trees
- Green boulevards, soil cells, soil connectors under hard surfaces

Private tree planting

- Planting of large growing trees in unencumbered soil volumes
- Secure soil volume depth and medium canopy trees over underground structures

Species selection

- Preserve existing character and composition by planting similar species
- Encourage species diversity with emphasis on valuable native tree species of the area such as black oak, black maple and sugar maple

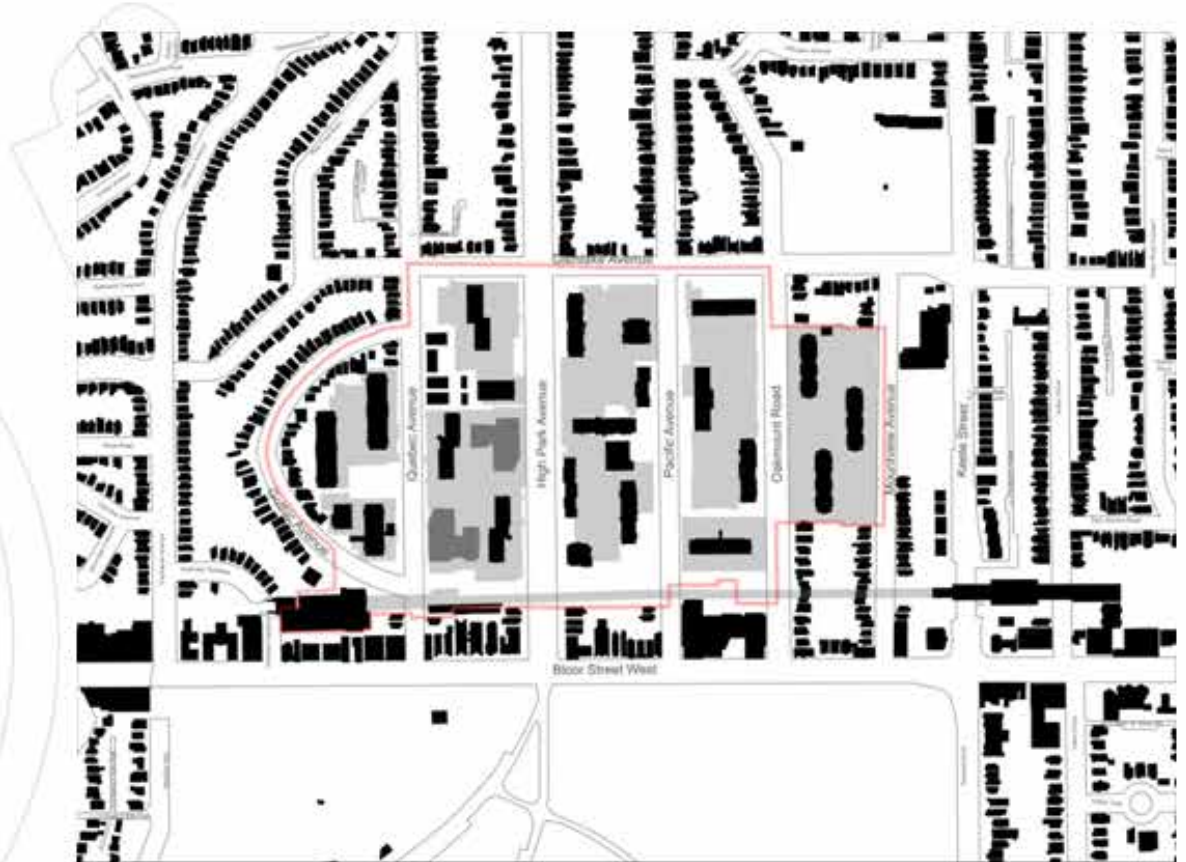
Figure Ground – DRAFT

- 19% solid (building footprints)
- 81% void (streets & open space)
- 51 buildings, including 2 new buildings under construction
- 22 taller buildings (8-30 storeys)
- 18 with “slab” form
- 4 point towers



Figure Ground and Underground – DRAFT

- Extensive underground parking footprints



Block Analysis – DRAFT

Bloor St. W. to Glenlake Ave. approx. 400m

Block A: Mountview-Oakmount

- 415m linear street frontage
- smallest area (1.95ha)

Block B: Oakmount-Pacific

- 763m linear street frontage
- narrowest block (91m)

Block C: Pacific-High Park

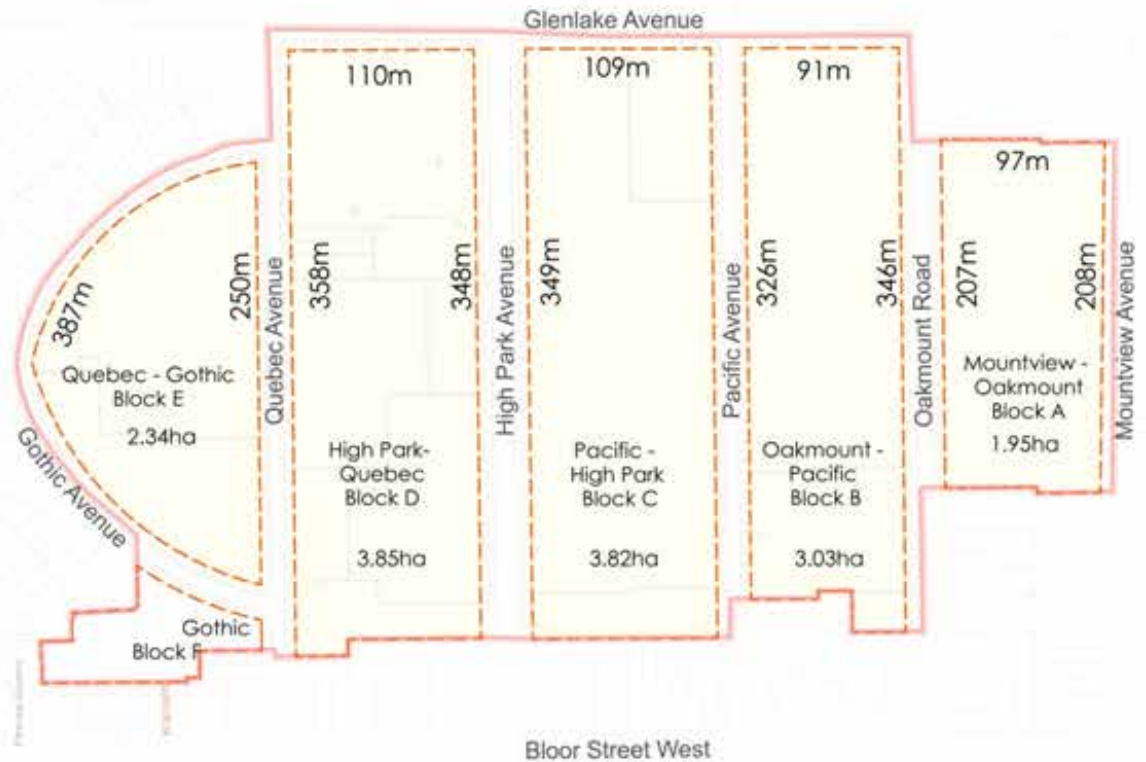
- 807m linear street frontage

Block D: High Park-Quebec

- 816m linear street frontage
- largest block (3.85ha)

Block E: Quebec-Gothic

- 637m linear street frontage



Block Analysis – DRAFT



Block Analysis – DRAFT

Block A: Mountview-Oakmount

- 18% building coverage, 82% open space
- 32% hard surface at-grade, 50% soft landscape area

Through-connections

- 1 vehicular, 1 pedestrian
- 2 visual from Mountview, 3 visual from Oakmount

Mountview Frontage (208m)

- 68m (33%) building (solid), 140m (67%) open space (void)
- 14m front yard setback

Oakmount Frontage (207m)

- 136m (66%) building (solid), 71m (34%) open space (void)
- 13m-28m front yard setbacks



Block Analysis – DRAFT

Block B: Oakmount-Pacific

- 15% building coverage, 85% open space
- 30% hard surface at-grade, 55% soft landscape area

Through-connections

- 4 vehicular, 5 pedestrian
- 4 visual from Oakmount, 3 visual from Pacific

Oakmount Frontage (346m)

- 99m (29%) building (solid), 247m (71%) open space (void)
- 8m-15m front yard setbacks

Pacific Frontage (326m)

- 124m (38%) building (solid), 202m (62%) open space (void)
- 10m-18m front yard setbacks

Glenlake Frontage (91m)

- 67m (74%) building (solid), 24m (26%) open space (void)
- 26m front yard setback



Block Analysis – DRAFT

Block C: Pacific-High Park

- 19% building coverage, 81% open space
- 30% hard surface at-grade, 52% soft landscape area

Through-connections

- 1 vehicular (partial), 8 pedestrian
- 3 visual from Pacific, 1 visual from Glenlake, 4 visual from High Park

Pacific Frontage (349m)

- 192m (55%) building (solid), 157m (45%) open space (void)
- 8m-24m front yard setbacks

Glenlake Frontage (109m)

- 46m (42%) building (solid), 63m (58%) open space (void)
- 18m-45m front yard setbacks

High Park Frontage (349m)

- 200m (57%) building (solid), 149m (43%) open space (void)
- 8m-18m front yard setbacks



Block Analysis – DRAFT

Block D: High Park-Quebec (includes approved development)

- 27% building coverage, 73% open space
- 34% hard surface at-grade, 39% soft landscape area

Through-connections

- 2 vehicular (partial and TTC only), 3 pedestrian
- 3 visual from High Park, 4 visual from Quebec

High Park Frontage (348m)

- 224m (64%) building (solid), 124m (36%) open space (void)
- 6m-36m front yard setbacks

Glenlake Frontage (110m)

- 17m (15%) building (solid), 93m (85%) open space (void)
- 9m front yard setback

Quebec Frontage (358m)

- 202m (56%) building (solid), 156m (44%) open space (void)
- 5m-16m front yard setbacks



Block Analysis – DRAFT

Block E: Quebec-Gothic

- 35% building coverage, 65% open space
- 27% hard surface at-grade, 38% soft landscape area

Through-connections

- 0 vehicular, 3 pedestrian
- 1 visual from Quebec

Quebec Frontage (250m)

- 159m (64%) building (solid), 91m (36%) open space (void)
- 3m-20m front yard setbacks

Gothic Frontage (387m)

- 352m (91%) building (solid), 35m (9%) open space (void)
- 0m-5m front yard setbacks



Block Analysis – DRAFT

Block Area unencumbered by buildings, structures or underground parking

Block A: Mountview-Oakmount

• 0%

Block B: Oakmount-Pacific

• 30%

Block C: Pacific-High Park

• 34%

Block D: High Park-Quebec

• 23%

Block E: Quebec-Gothic

• 35%



Workshop & Discussion

Workshop

Help Us Identify within the Study Area:

- potentially significant natural features
- pockets of trees or mature specimens
- infiltration areas
- well-used outdoor spaces
- important through-connections (vehicular, pedestrian, visual)
- significant views from the public realm
- other noteworthy aspects related to the 2D plan view



Next Steps

Upcoming Meetings

FEBRUARY						
				1	2	3
4	5 WG	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22 DRP	23	24
25	26	27 WG	28			

MARCH						
				1	2	3
4	5	6	7	8 CM	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

APRIL						
1	2	3	4	5	6	7
8	9	10	11	12	13	14
15	16	17	18	19	20	21
22	23 WG	24	25	26	27	28
29	30					

WG = WORKING GROUP
CM = COMMUNITY MEETING
DRP = DESIGN REVIEW PANEL