

DECISION AND ORDER

Decision Issue Date Monday, February 25, 2019

PROCEEDING COMMENCED UNDER Section 53, subsection 53(19), and Section 45(12), subsection 45(1) of the Planning Act, R.S.O. 1990, c. P.13, as amended (the "Act")

Appellant(s): ALEXANDRA EMESE MATYAS

Applicant: CLAUDIA BADER

Property Address/Description: 5 HAMSTEAD AVE

Committee of Adjustment Case File: 18 112116 STE 31 MV

TLAB Case File Number: 18 226483 S45 31 TLAB

Hearing date: Thursday, February 07, 2019

DECISION DELIVERED BY G. BURTON

APPEARANCES

NAME	ROLE	REPRESENTATIVE
JAMES ANTHONY POLGRAIN	OWNER	
ALEXANDRA EMESE MATYAS	OWNER/APPELLANT	

INTRODUCTION

This was an appeal to the Toronto Local Appeal Body (TLAB) from a decision of the Committee of Adjustment (COA) of August 29, 2018. The decision refused an application by the appellants for variances required for the construction of a 2 ½ storey replacement dwelling. The appellant Ms. Matyas was the sole person attending the TLAB hearing; all other interested persons having been consulted, and none indicating an interest in the appeal.

The subject property is designated Neighbourhoods in the Official Plan, and zoned R1C under the former East York By-law 6752 (the Old By-law), and RD (f6.0;a1185;d0.75) under comprehensive Zoning By-law 569-2013 (the New By-law).

BACKGROUND

The appellant and her family have resided in the existing dwelling for some time, but due to construction defects and other issues, they desire to build a new structure for both safety and space reasons. The proposal has been professionally designed, and was presented to the COA by means of an extensive report by the designer on the required tests for minor variance approvals. Ms. Matyas provided similar evidence to the TLAB. The COA refusal was apparently based on the number of required variances, which appear to be many at first glance.

MATTERS IN ISSUE

Are the variances included in the appeal too extensive to prevent approval, or would those required for the proposed dwelling meet the tests in the Act?

JURISDICTION

For variance appeals, the TLAB must ensure that each of the variances sought meets the tests in subsection 45(1) of the Act. This involves a reconsideration of the variances considered by the Committee in the physical and planning context. The subsection requires a conclusion that each of the variances, individually and cumulatively:

- maintains the general intent and purpose of the official plan;
- maintains the general intent and purpose of the zoning by-law;
- is desirable for the appropriate development or use of the land, building or structure; and
- is minor.

These are usually expressed as the “four tests”, and all must be satisfied for each variance.

In addition, TLAB must have regard to matters of provincial interest as set out in section 2 of the Act, and the variances must be consistent with provincial policy statements and conform with provincial plans (s. 3 of the Act). A decision of the TLAB must therefore be consistent with the 2014 Provincial Policy Statement (PPS) and conform to (or not conflict with) any provincial plan such as the Growth Plan for the Greater Golden Horseshoe (Growth Plan or GP) for the subject area.

Under s. 2.1(1) of the Act, TLAB is also to have regard for the earlier Committee decision and the materials that were before that body.

EVIDENCE

Ms. Matyas provided background evidence on the significance of this location for her family. While meaningful for them, it was her evidence on the planning issues at the TLAB hearing on February 7, 2019 that was persuasive. Although she was not qualified as an expert planner, she had a report from her designer/planner on which she based her testimony. There was no other person present to challenge her evidence. It was clear even from the file that there was no other person interested in the appeal.

Variances are required under both Zoning By-laws that apply to this property. The Zoning Examiner identified 18 in total. It is apparent that many are virtual duplicates under the two By-laws. As set out in the Planning Report of August 22, 2018 to the COA, they include coverage, height, number of storeys for a flat roof building, FSI, front and side yard setbacks and length. They also then included parking-related variances: parking space on the same lot, parking location, and parking supply. These will be mostly refused, as they are not needed (see explanation below).

These were the variances presented to the COA:

1. Chapter 10.5.80.10.(1), By-law 569-2013

A parking space must be on the same lot as the use for which the parking space is required.

The new parking space will be partially located within the municipal boulevard and not entirely on the lot for which it will be used.

2. Chapter 10.5.50.10.(1)(A), By-law 569-2013

On a lot with a detached dwelling, with a lot frontage less than 6.00 m, a minimum of 16.9 m² of front yard, excluding a permitted driveway, shall be landscaping.

In this case, 11.7 m² of the front yard will be landscaping.

3. Chapter 10.5.50.10.(1)(D), By-law 569-2013

A minimum of 75% (12.68 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 69% (11.70 m²) of the required front yard landscaped open space will be in the form of soft landscaping.

4. Chapter 10.5.80.10.(3), By-law 569-2013

A parking space may not be located in a front yard or a side yard abutting a street.

In this case, the parking space will be located in the front yard.

5. Chapter 10.20.30.40.(1)(A), By-law 569-2013

The maximum permitted lot coverage is 35% of the lot area (61.77 m²).

The lot coverage will be 50% of the lot area (87.97 m²).

6. Chapter 10.20.40.10.(4)(A), By-law 569-2013

The maximum permitted building height is 7.2 m.

The new detached dwelling will have a height of 8.4 m.

7. Chapter 10.20.40.10.(4)(C), By-law 569-2013

The maximum permitted number of storeys for a detached dwelling with a flat or shallow roof is two.

In this case, the new detached dwelling will be three-storey.

8. Chapter 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (132.36 m²).

The new detached dwelling will have a floor space index equal to 0.97 times the area of the lot (170.80 m²).

9. Chapter 10.20.40.70.(1), By-law 569-2013

The minimum required front yard setback is 3.66 m.

The new detached dwelling will be located 2.92 m from the north front lot line.

10. Chapter 10.20.40.70.(3)(A), By-law 569-2013

The minimum required side yard setback is 0.6 m.

The new detached dwelling will be located 0.45 m from the east side lot line.

11. Chapter 200.5.10.1.(1), By-law 569-2013

A minimum of one parking space is required to be provided.

In this case, zero parking spaces will be provided.

1. Section 7.4.3, By-law 6752

The maximum permitted building height is 8.5 m.

The new detached dwelling will have a height of 8.66 m.

2. Section 7.4.3, By-law 6752

The maximum permitted length of a detached dwelling is 16.75 m.

The new detached dwelling will have a length of 17.0 m.

3. Section 7.4.3, By-law 6752

The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (132.36 m²).

The new detached dwelling will have a floor space index equal to 0.97 times the area of the lot (170.80 m²).

4. Section 7.5.3, By-law 6752

The minimum required front yard setback is 6.0 m.

The new detached dwelling will be located 2.92 m from the north front lot line.

5. Section 7.4.3, By-law 6752

The maximum permitted lot coverage of a detached dwelling is 35% of the lot area (61.77 m²).

The new detached dwelling will have a lot coverage equal to 41% of the lot area (72.67 m²).

6. Section 7.4.3, By-law 6752

A minimum of one parking space is required to be provided.
In this case, there will be zero parking spaces provided.

7. Section 7.4.3, By-law 6752

The minimum required side yard setback is 0.6 m.
The new detached dwelling will be located 0.45 m from the east side lot line.

8. Section 7.1.5, By-law 6752

On a lot with a detached dwelling, with a lot frontage less than 6.00 m, a minimum of 16.9 m² of front yard, excluding a permitted driveway, shall be landscaping.
In this case, 11.7 m² of the front yard will be landscaping.

9. Section 7.1.6, By-law 6752

A minimum of 75% (12.68 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.
In this case, 69% (11.70 m²) of the required front yard landscaped open space will be in the form of soft landscaping.

Although there are many variances listed, most are the result of the owners' desire to maintain two principal characteristics of the present house: the building setbacks and the front parking pad. There was extensive consultation with the surrounding neighbours, and all but one have approved of the changes. The latter is the owner of number 3 next door, who attended the COA hearing. However, he has made no comment throughout, including to the TLAB. Ms. Matyas testified that this neighbour was mainly interested in maintaining the existing side yard setback, in order to provide continuing access to his rear yard. The new proposal would do so.

The requested setbacks in essence maintain the current footprint of the existing dwelling. The duplicates between the two By-laws are for coverage, landscaping, FSI, height and east side yard setback.

Ms. Matyas testified that there were 15 variances granted to nearby 19 Crewe Ave, 17 to 302 Oak Park, and 20 to 39 Crewe Avenue, as seen in COA decisions fairly recently. Thus the number of variances she is seeking does not seem excessive, as many are, as mentioned, duplicates. The rationale of the COA does not appear clear to the owners.

She also provided photos of many nearby properties. Nos. 1 and 7 Hamstead are new builds, one with a tall flat roof. She pointed out that flat roofs are prevalent in this neighbourhood, which the designer says lacks any discernible visual consistency due to its eclectic mix of house styles from different years. Most properties in the area have parking pads, or have little soft landscaping. Therefore, the proposed 11.7 sq. m. of landscaping where 16.9 sq. m. are required appears sufficient.

Respecting the coverage and FSI increases, these are needed to create a 3-bedroom home on this very narrow lot (5.79 m.). There is similar height and depth nearby, leading her to conclude that the proposal will fit in the neighbourhood. The general massing of the building is in line with the typical building height permitted by the Zoning By-laws. A flat roof dwelling, seen often in the area, is restricted to 7.2 m in height under the New By-law, and the application is for 8.4 m. 19 Crewe Ave. was granted height of 8.26 m., 302 Oak Park, 8.93 m, and 39 Crewe, 8.22 m, 290 Oak Park 9 m (.5 m higher than the proposed, with the appearance of a three-storey structure as others have). 224 Gledhill Ave. was granted 8.48 m in height, and a variance for three storeys. The maximum height for structures under the Old By-law is 8.5 m, and a small variance of 8.66 is sought.

The requested FSI of 0.97 times the area, an increase over the allowable 0.75 times, is also similar to other recently approved projects in the area. 39 Crewe was granted an FSI of 1.06, versus the .97 FSI here, and coverage of 45%.

The owners conducted a sun study to better understand the effects on the neighbouring homes. This indicates that there is virtually no difference between the shadow impacts resulting from their proposal when compared to the as-of right building envelope.

The City Planning Department commented on August 22, 2018 on the parking variances only. They recommended removal of numbers 1 and 4 under the New By-law, as they are unnecessary if the variance for zero spaces is granted (#6, Old By-law). Parking could continue under the existing permit from Transportation Services. This was confirmed by a memo from Transportation Services on August 23, 2018.

The owners conclude that since the proposal does not exceed the existing GFA of other neighbouring properties, and is comparable in both height and depth to many of the other homes in the area, it is appropriate for the site, does not adversely affect neighbouring properties, and upholds the general intent of the City's Zoning by-law and Official Plan.

Both Ms. Matyas and her designer commented on the variances requested. These are, in summary:

Variations 11 (New) and 6 (Old): **Parking space:**
One space is required. There would be 0 spaces.

Variations 2 and 3 (New) and 8 and 9 (Old): **Landscaping and Soft Landscaping:**
Where lot frontage is less than 6.0 metres, the front yard, excluding a permitted driveway, must be landscaping: here, 16.90 sq. m. 11.70 sq. m. is proposed.
In addition, a minimum of 75 percent of the required front yard landscaping must be soft landscaping (here, 12.68 square m.), while 69 percent is proposed.

Variations 5 (New), and 5 (Old): **Lot Coverage** Under the New, the maximum is 35 percent of the lot area, here, 61.77 sq. m. The proposed lot coverage is 50

percent of the lot area: 87.97 sq. m., under the New By-law, and 41% under the Old By-law (72.67 sq. m)

Variance 6 (New) - **Flat or Shallow Roof – Maximum height** is 7.2 m. The proposed height is 8.4 m.

Variances 8 (New) and 3 (Old)- **Floor Space Index** Permitted - 0.75 times the area of the lot (132.36 sq. m.) The proposed is 0.97 times the area of the lot (170.80 sq. m.)

Variance 9 (New) and 4 (Old)- **Minimum Front Yard Setback** - 3.66 m. (New) and 6.0 m (Old) - proposed is 2.92 m.

Variance 10 (New) and 7 (Old) - **Minimum Side Yard Setback** - 0.6 m. required, proposed **east** side yard setback is 0.45 m.

Variances 6 (New) and 1 (Old) **Building Height** - Maximum is 7.2 m (New) and 8.5 m. (Old) - Proposed building height is 8.4 m (New) and 8.66 m (Old).

Variance 2 (Old) - **Building Length** - Maximum is 16.75 m. The proposed building length is 17.0 m.

ANALYSIS, FINDINGS, REASONS

It is apparent from the Planning Report of August 22, 2108 to the COA that the variances requested at the COA for parking on the same lot and parking location are NOT needed for this proposal. Planning had recommended refusal of variances 1 and 4 under the New By-law related to the proposed parking pad, as there is an approved permit for it. By memo dated August 23, 2018 to the COA, the Transportation Department had stated:

“Transportation Services does not object to maintaining the front yard parking space, situated partially on private property and partially on the City boulevard and is licensed with the current property owner.”

Therefore, as long as the permit is valid, there is no need to obtain such variances. After agreement from the owner Ms. Matyas, the TLAB will refuse these variances (1 and 4) as unnecessary. The variance for zero spaces is still required.

The owners intend to maintain the existing permitted front yard parking to satisfy the city parking requirements (now, Permit # 10310). Almost all houses on both sides of the street have front yard parking pads. Thus there should be no negative impact on the neighbourhood. The variance for zero parking spaces is a minor one. The resulting landscape and soft landscape variances result from the front parking pad, and are also common nearby.

The coverage variances result from the narrow lot configuration. The new design would implement a typical footprint, but result in a coverage greater than the allowable. The

proposed is typical for almost all of the neighbouring houses, and is appropriate for the area. I reach a similar conclusion respecting the height and FSI variances. I also consider the fact of approvals from the near neighbours.

The Planning memo of August 22 made no mention of any other variances. The usual implication is that they had no objection to the other variances requested, and I so conclude.

The owners intended to locate the dwelling on the lot in order to generally align with the position of the existing house. It would have been possible to meet all setback requirements with the current footprint, but it was felt that the proposed siting provided many benefits. The front yard setback would keep the position of the existing front wall, thus maintaining the front alignments of the two properties to the west. The existing relationship with the front of the property to the east will be maintained, and the impact to the rear yard will be reduced. As mentioned, the reduction in the side yard setback to the east was at the request of that neighbour, in order to maintain the existing rear yard access along the side of the lot.

The proposal complies with and conforms to the applicable provincial policies for replacement housing in appropriate neighbourhoods. It is close to public transit and many amenities. As the designer concludes, the neighbourhood is undergoing a discernable densification that is driven by the proximity of city services and escalating property values. The proposed changes are similar to the prominent trends in the area and are appropriate for the neighbourhood. The variances are both desirable for the appropriate development of the land, and while seeming at first consideration to be somewhat large numerically, in the neighbourhood context here they meet the test of minor. They will have no undue impact on any neighbouring properties, for shadowing, privacy or overlook.

The proposal would also satisfactorily address the Built Form and Neighbourhood policies of the OP, and therefore meet all of the required tests for approval of the minor variances as proposed. It respects and reinforces the existing physical characteristics of the neighbourhood, and the variances are not out of keeping with this character. The requested variances to the Zoning By-law standards are compatible with the physical character of the neighbourhood.

DECISION AND ORDER

The appeal is allowed with respect to all variances except Nos. 1 and 4 under By-law 569-2013. These variances are refused. The revised variances are set out in Attachment 1. The following conditions will apply:

1. The front yard parking space shall not exceed the currently licensed dimensions of 2.6 m in width and 5.6 m in length. The walkway shall not exceed a maximum width of 1.05 m and shall not be located adjacent to the parking pad. For any alterations to the current location, size or paving material of the existing parking pad, the owner is

required to contact Right of Way Management, Off-Street Parking section 850 Coxwell Ave, 416-392-7768 to obtain the required permit and approval.

2. Where there are no existing street trees, the owner shall submit a payment in lieu of planting one street tree on the City road allowance abutting each of the sites involved in the application or elsewhere in the community if there is no space. The current cost of planting a tree is \$583.00, subject to changes.

3. The new detached dwelling shall be constructed substantially in accordance with the Plans filed as Exhibit 1, and attached as Attachment 2 to this decision. **Any other variances that may appear on these plans that are not listed in this decision are not authorized.**

ATTACHMENT 1 – VARIANCES

1. Chapter 10.5.50.10.(1)(A), By-law 569-2013

On a lot with a detached dwelling, with a lot frontage less than 6.00 m, a minimum of 16.9 m² of front yard, excluding a permitted driveway, shall be landscaping. In this case, 11.7 m² of the front yard will be landscaping.

2. Chapter 10.5.50.10.(1)(D), By-law 569-2013

A minimum of 75% (12.68 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 69% (11.70 m²) of the required front yard landscaped open space will be in the form of soft landscaping.

3. Chapter 10.20.30.40.(1)(A), By-law 569-2013

The maximum permitted lot coverage is 35% of the lot area (61.77 m²).

The lot coverage will be 50% of the lot area (87.97 m²).

4. Chapter 10.20.40.10.(4)(A), By-law 569-2013

The maximum permitted building height is 7.2 m.

The new detached dwelling will have a height of 8.4 m.

5. Chapter 10.20.40.10.(4)(C), By-law 569-2013

The maximum permitted number of storeys for a detached dwelling with a flat or shallow roof is two.

In this case, the new detached dwelling will be three-storey.

6. Chapter 10.20.40.40.(1)(A), By-law 569-2013

The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (132.36 m²).

The new detached dwelling will have a floor space index equal to 0.97 times the area of the lot (170.80 m²).

7. Chapter 10.20.40.70.(1), By-law 569-2013

The minimum required front yard setback is 3.66 m.

The new detached dwelling will be located 2.92 m from the north front lot line.

8. Chapter 10.20.40.70.(3)(A), By-law 569-2013

The minimum required side yard setback is 0.6 m.

The new detached dwelling will be located 0.45 m from the east side lot line.

9. Chapter 200.5.10.1.(1), By-law 569-2013

A minimum of one parking space is required to be provided.

In this case, zero parking spaces will be provided.

10. Section 7.4.3, By-law 6752

The maximum permitted building height is 8.5 m.

The new detached dwelling will have a height of 8.66 m.

11. Section 7.4.3, By-law 6752

The maximum permitted length of a detached dwelling is 16.75 m.

The new detached dwelling will have a length of 17.0 m.

12. Section 7.4.3, By-law 6752

The maximum permitted floor space index of a detached dwelling is 0.75 times the area of the lot (132.36 m²).

The new detached dwelling will have a floor space index equal to 0.97 times the area of the lot (170.80 m²).

13. Section 7.5.3, By-law 6752

The minimum required front yard setback is 6.0 m.

The new detached dwelling will be located 2.92 m from the north front lot line.

14. Section 7.4.3, By-law 6752

The maximum permitted lot coverage of a detached dwelling is 35% of the lot area (61.77 m²).

The new detached dwelling will have a lot coverage equal to 41% of the lot area (72.67 m²).

15. Section 7.4.3, By-law 6752

A minimum of one parking space is required to be provided.

In this case, there will be zero parking spaces provided.

16. Section 7.4.3, By-law 6752

The minimum required side yard setback is 0.6 m.

The new detached dwelling will be located 0.45 m from the east side lot line.

17. Section 7.1.5, By-law 6752

On a lot with a detached dwelling, with a lot frontage less than 6.00 m, a minimum of 16.9 m² of front yard, excluding a permitted driveway, shall be landscaping.

In this case, 11.7 m² of the front yard will be landscaping.

18. Section 7.1.6, By-law 6752

A minimum of 75% (12.68 m²) of the required front yard landscaped open space shall be in the form of soft landscaping.

In this case, 69% (11.70 m²) of the required front yard landscaped open space will be in the form of soft landscaping.

ATTACHMENT 2 – PLANS

X 

G. Burton

Panel Chair, Toronto Local Appeal Body

COMMITTEE OF ADJUSTMENT APPLICATION SET - 5 HAMSTEAD AVENUE

PROPOSED NEW BUILDING

RECEIVED October 17, 2018
By Toronto Local Appeal Body

DRAWING SCHEDULE:

D-00	COVER PAGE
D-010	PROPOSED SITE PLAN
D-011	SURVEY
D-012	PROPOSED LANDSCAPE PLAN
D-110	PROPOSED BASEMENT FLOOR PLAN
D-120	PROPOSED MAIN FLOOR PLAN
D-130	PROPOSED SECOND FLOOR PLAN
D-200	PROPOSED ELEVATION SOUTH
D-210	PROPOSED ELEVATION NORTH
D-220	PROPOSED ELEVATION WEST
D-230	PROPOSED ELEVATION EAST
D-310	PROPOSED SECTION 1
D-330	PROPOSED SECTION 3

Toronto Local Appeal Body

EXHIBIT # 1

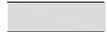
Case File Number: 18 226483 S45 31 TLAB
 Property Address: 5 Hamstead Ave
 Date Marked: February 7, 2019

**Creative Union
 Network Inc.**
 113 Wolseley Street
 Toronto, Ontario
 M6J 1K1
 phone: 416 839 7940
 info@creative-union.net

QUALIFICATION INFORMATION		
<small>Required unless design is exempt under 2.17.5.1. of the building code</small>		
CLAUDIA BADER		41390
NAME	SIGNATURE	BCIN
REGISTRATION INFORMATION		
<small>Required unless designed is exempt under 2.17.4.1. of the building code</small>		
CREATIVE UNION NETWORK INC.		42021
FIRM NAME		BCIN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

PROJECT: 2017-P015
 PROJECT ADDRESS: 5 HAMSTEAD AVENUE
 TORONTO
 ON M2C 2S3

NOTES: COMMITTEE OF ADJUSTMENT APPLICATION
 EXISTING 
 PROPOSED 
 DEMOLITION 

DRAWING TITLE: COVER PAGE
 SCALE: N.T.S
 DATE: JAN. 22, 2018

SURVEY INFORMATION:

INFORMATION TAKEN FROM:

PLAN OF SURVEY
 INFORMATION TAKEN FROM
 SURVEYORS REAL PROPERTY REPORT
 PLAN AND TOPOGRAPHY OF
 PART OF LOT 13 REGISTERED PLAN 2157
 CITY OF TORONTO (FORMERLY BOROUGH OF EAST YORK)
 REGISTERED PLAN 1770

PREPARED BY:
 LSG LAND SURVEY GROUP
 DATED: JULY 07 2017

LEGAL ADDRESS
 5 HAMSTEAD AVENUE
 TORONTO ON M6P3T4

SITE STATISTICS:

CITY-WIDE ZONING BY-LAW 569-2013

ZONED AS: RD (16.0;a185;d0.75)

TORONTO ZONING BYLAW 438-86

ZONED AS: R

LOT AREA: 1903.6 FT² 176.9 m²

EXISTING FSI 66.5%: 1265.0 FT² 117.5 m²

PROPOSED FSI ENTRANCE: 191.0 FT² 17.7 m²

1ST FLOOR PROPOSED: 842.2 FT² 78.2 m²

2ND FLOOR PROPOSED: 806.2 FT² 74.9 m²

TOTAL PROPOSED FSI 97%: 1839.4 FT² 170.8 m²

PROPOSED BUILDING HEIGHT: 27'-10 1/2" 8.5 m

PROPOSED BUILDING DEPTH: 55'-9 1/2" 17.0 m

PROPOSED EAST SIDE SETBACK: 1'-5 1/2" 0.45 m

PROPOSED WEST SIDE SETBACK: 2'-5 1/2" 0.75 m

PROPOSED WEST SIDE SETBACK (W/ OPENINGS): 7'-8 1/2" 2.35 m

PROPOSED REAR SETBACK: 34'-7 1/2" 10.6 m

PROPOSED FRONT YARD SETBACK: 9'-7" 2.92 m

BUILT AREA (FOOTPRINT)

PROPOSED BUILDING: 680.0 FT² 63.2 m²
 SHED: 103.0 FT² 9.6 m²

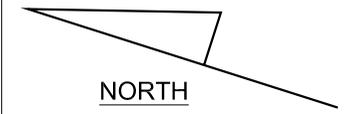
EXISTING BUILT AREA TOTAL 41.1% 783.0 FT² 72.8 m²

PROPOSED OPEN LANDSCAPING 58.9% 1120.6 FT² 104.1 m²

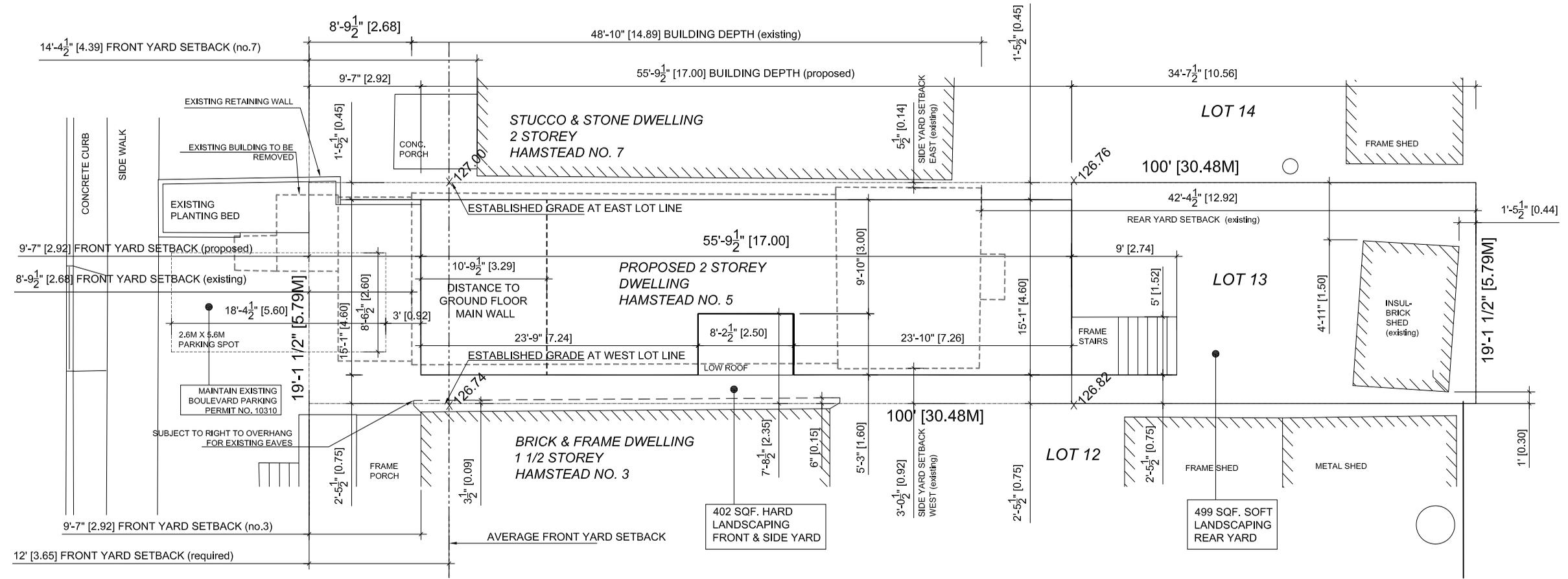
PROPOSED REAR YARD 660.0 FT² 61.3 m²

PROPOSED REAR YARD SOFT LANDSCAPING 75.6% 499.0 FT² 46.3 m²

PARKING
 EXISTING BOULEVARD PARKING TO REMAIN
GRADING
 EXISTING REAR YARD GRADING TO BE MAINTAINED



HAMSTEAD AVENUE



Creative Union Network Inc.
 113 Wolseley Street
 Toronto, Ontario
 M6J 1K1
 phone: 416 839 7940
 info@creative-union.net

QUALIFICATION INFORMATION
 Required unless design is exempt under 2.17.5.1. of the building code

CLAUDIA BADER	41390
NAME	BCIN

REGISTRATION INFORMATION
 Required unless designed is exempt under 2.17.4.1. of the building code

CREATIVE UNION NETWORK INC.	42021
FIRM NAME	BCIN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

PROJECT: 2017-P015
PROJECT ADDRESS: 5 HAMSTEAD AVENUE TORONTO ON M2C 2S3

NOTES: COMMITTEE OF ADJUSTMENT APPLICATION

EXISTING [Solid Grey Box]

PROPOSED [Dashed Line]

DEMOLITION [Dotted Line]

DRAWING TITLE: D-010 SITE PLAN PROPOSED
SCALE: 3/32" = 1'-0"
DATE: JAN. 22, 2018

**Creative Union
Network Inc.**
113 Wolseley Street
Toronto, Ontario
M6J 1K1
phone: 416 839 7940
info@creative-union.net

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1. of the building code

CLAUDIA BADER	41390
NAME	SIGNATURE
BCIN	

REGISTRATION INFORMATION
Required unless designed is exempt under 2.17.4.1. of the building code

CREATIVE UNION NETWORK INC.	42021
FIRM NAME	BCIN

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

PROJECT: 2017-P015
PROJECT ADDRESS: 5 HAMSTEAD AVENUE
TORONTO
ON M2C 2S3

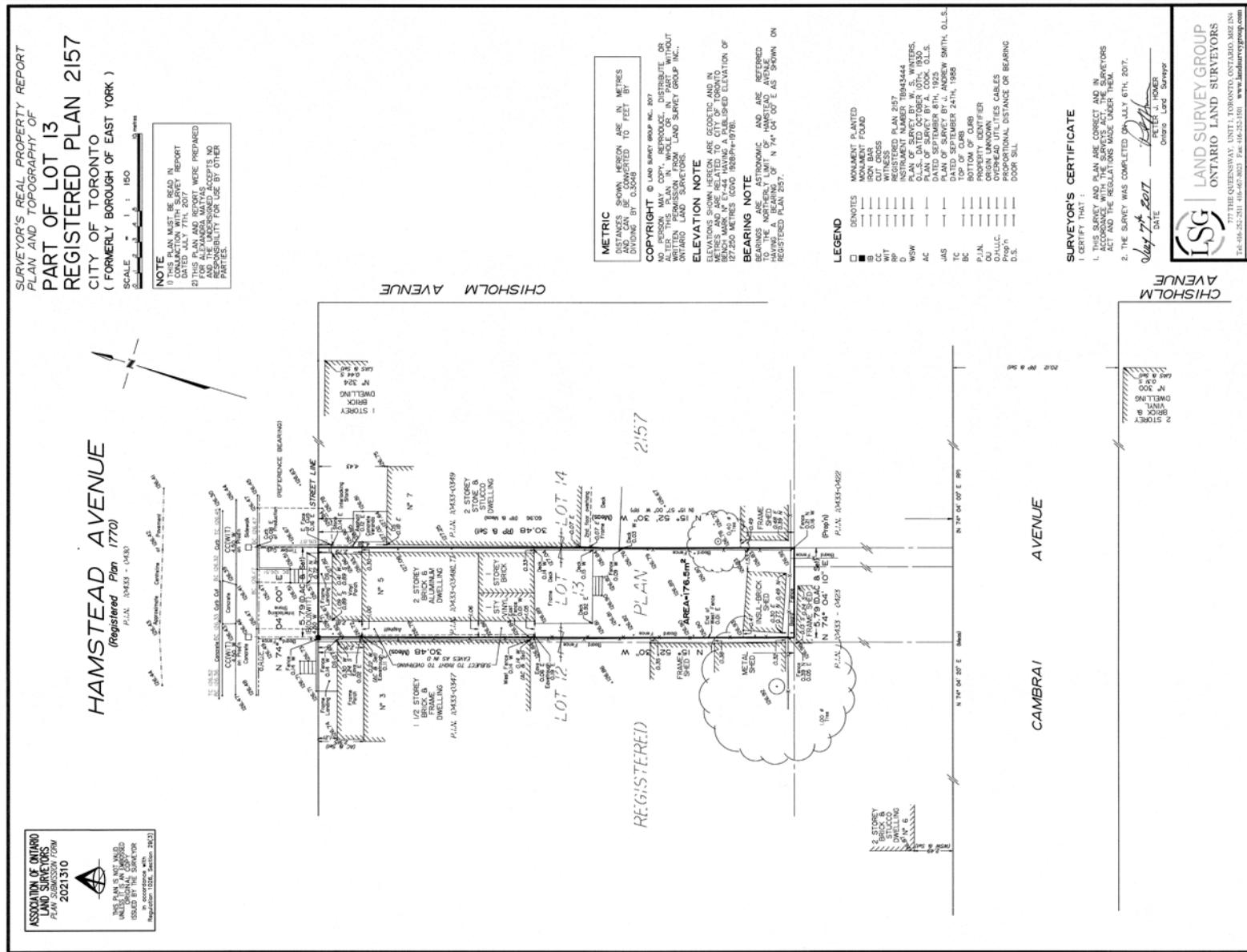
NOTES: COMMITTEE OF ADJUSTMENT APPLICATION

EXISTING 

PROPOSED 

DEMOLITION 

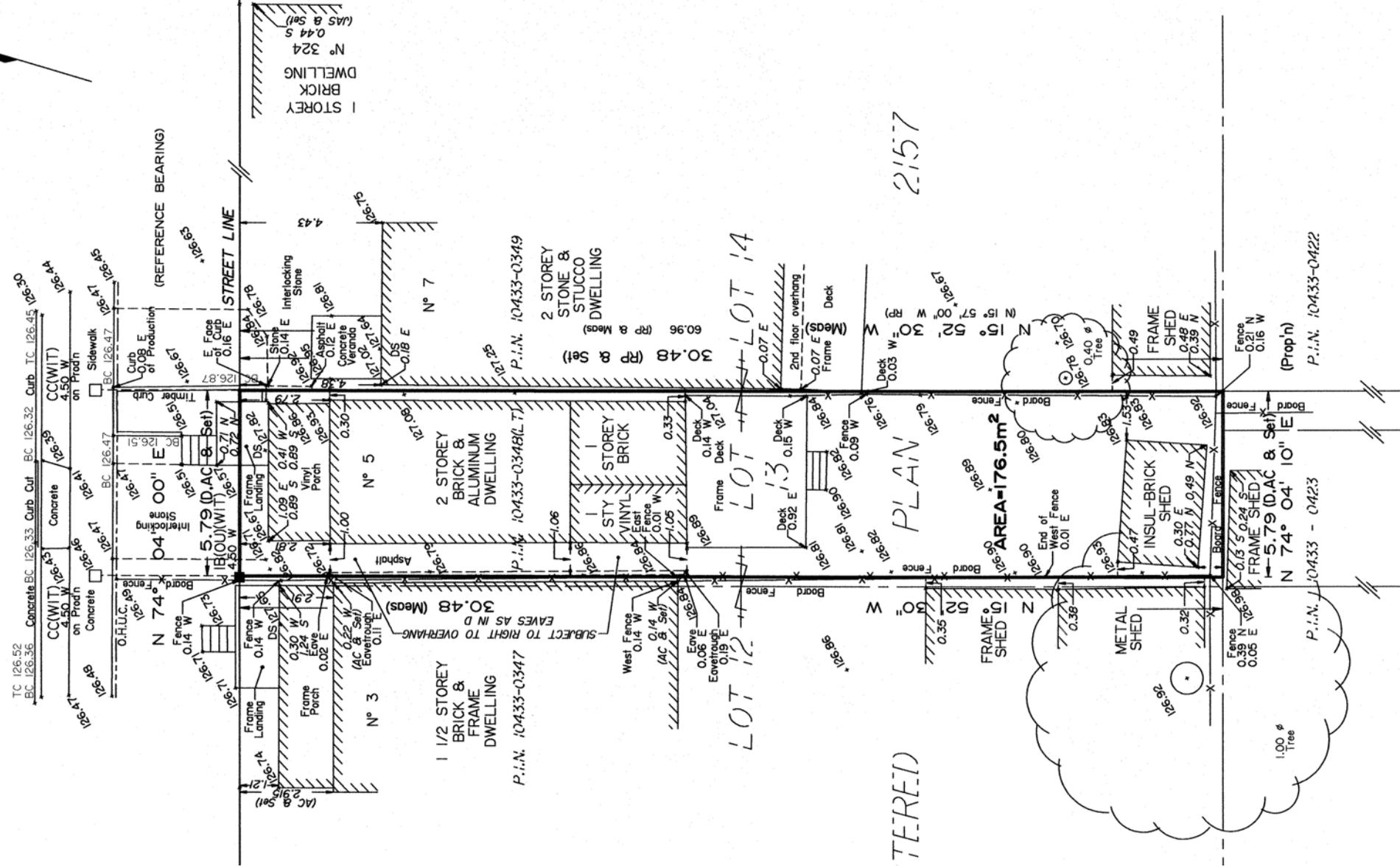
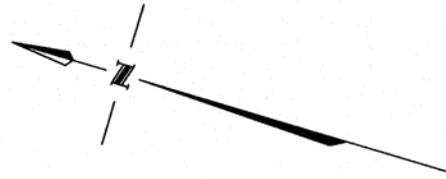
DRAWING TITLE: D-011
SURVEY
SCALE: N.T.S.
DATE: JAN. 22, 2018



HAMSTEAD AVENUE (Registered Plan 1770)

P.I.N. 10433 - 0430

Approximate Centreline of Pavement



**Creative Union
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113 Wolseley Street
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M6J 1K1
phone: 416 839 7940
info@creative-union.net

QUALIFICATION INFORMATION
Required unless design is exempt under 2.17.5.1. of the building code

NAME	SIGNATURE	BCIN
CLAUDIA BADER		41390

REGISTRATION INFORMATION
Required unless designed is exempt under 2.17.4.1. of the building code

FIRM NAME	BCIN
CREATIVE UNION NETWORK INC.	42021

The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

PROJECT: 2017-P015
PROJECT ADDRESS: 5 HAMSTEAD AVENUE
TORONTO
ON M2C 2S3

NOTES: COMMITTEE OF ADJUSTMENT APPLICATION

EXISTING

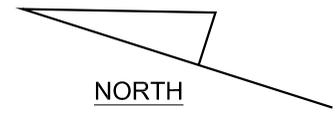
PROPOSED

DEMOLITION

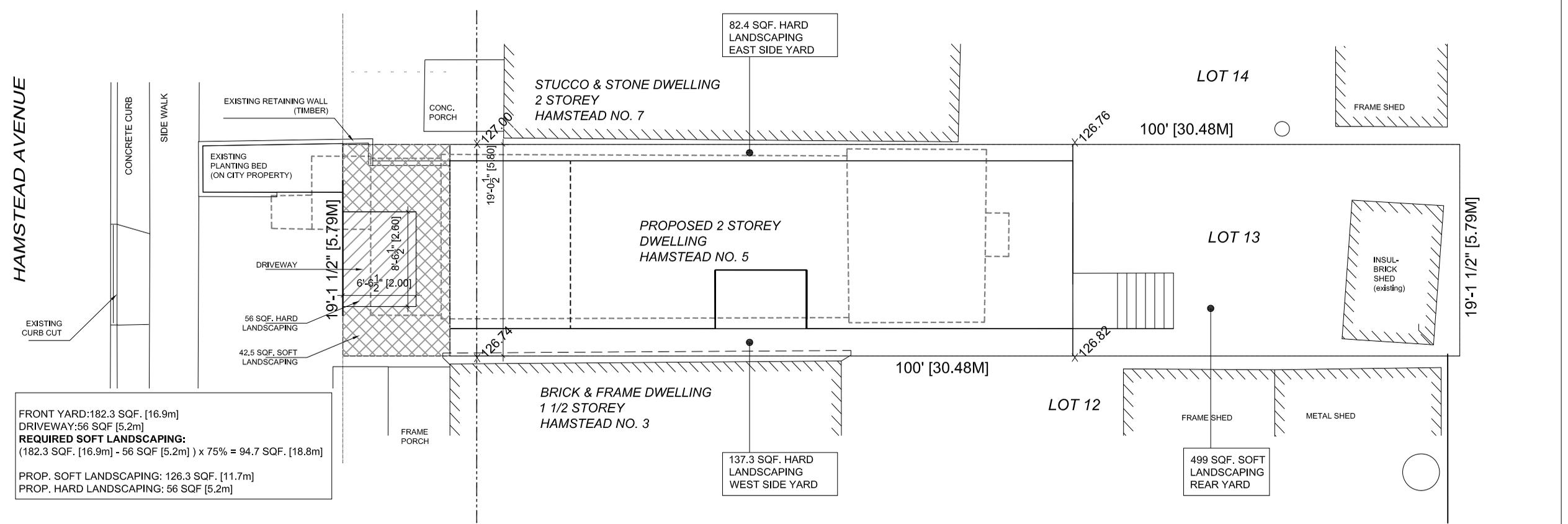
DRAWING TITLE: D-011
SURVEY

SCALE: N.T.S.

DATE: JAN. 22, 2018



HAMSTEAD AVENUE



FRONT YARD: 182.3 SQF. [16.9m]
 DRIVEWAY: 56 SQF [5.2m]
REQUIRED SOFT LANDSCAPING:
 (182.3 SQF. [16.9m] - 56 SQF [5.2m]) x 75% = 94.7 SQF. [18.8m]
 PROP. SOFT LANDSCAPING: 126.3 SQF. [11.7m]
 PROP. HARD LANDSCAPING: 56 SQF [5.2m]

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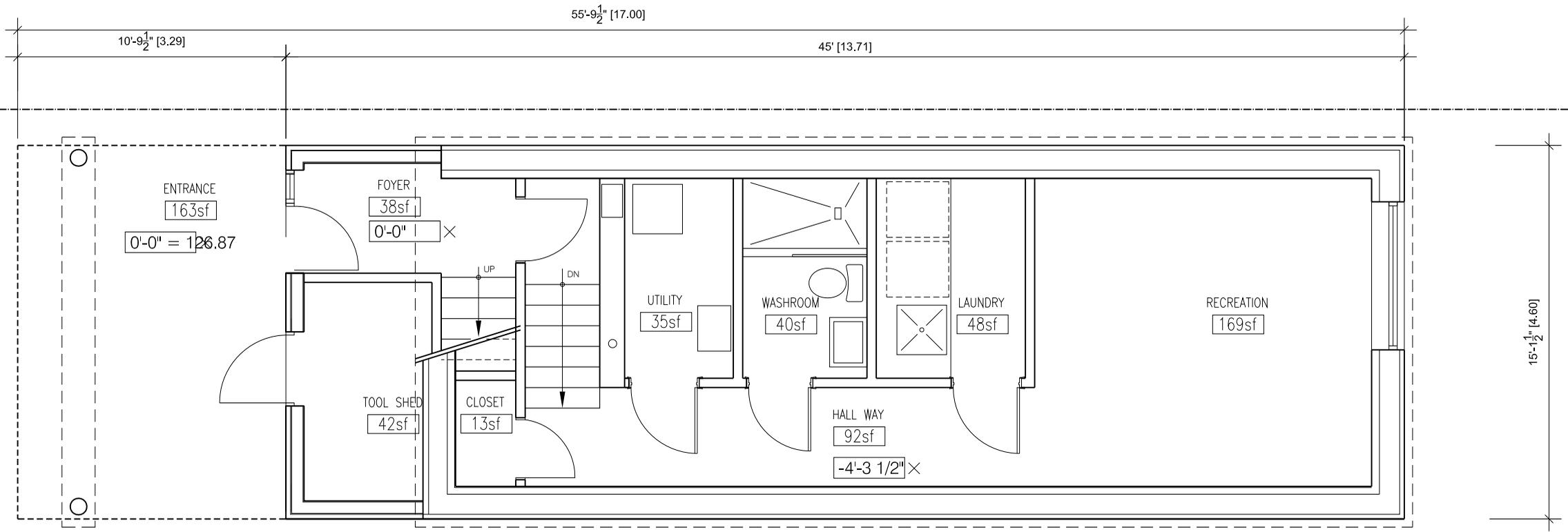
NOTES: COMMITTEE OF ADJUSTMENT APPLICATION

EXISTING

PROPOSED

DEMOLITION

DRAWING TITLE: D-012
 LANDSCAPE PLAN PROPOSED
SCALE: 3/32" = 1'-0"
DATE: JAN. 22, 2018



GFA
MAIN FLOOR:
141.3 SQF.

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PROJECT: 2017-P015

PROJECT ADDRESS: 5 HAMSTEAD AVENUE
TORONTO
ON M2C 2S3

NOTES: COMMITTEE OF ADJUSTMENT APPLICATION

EXISTING

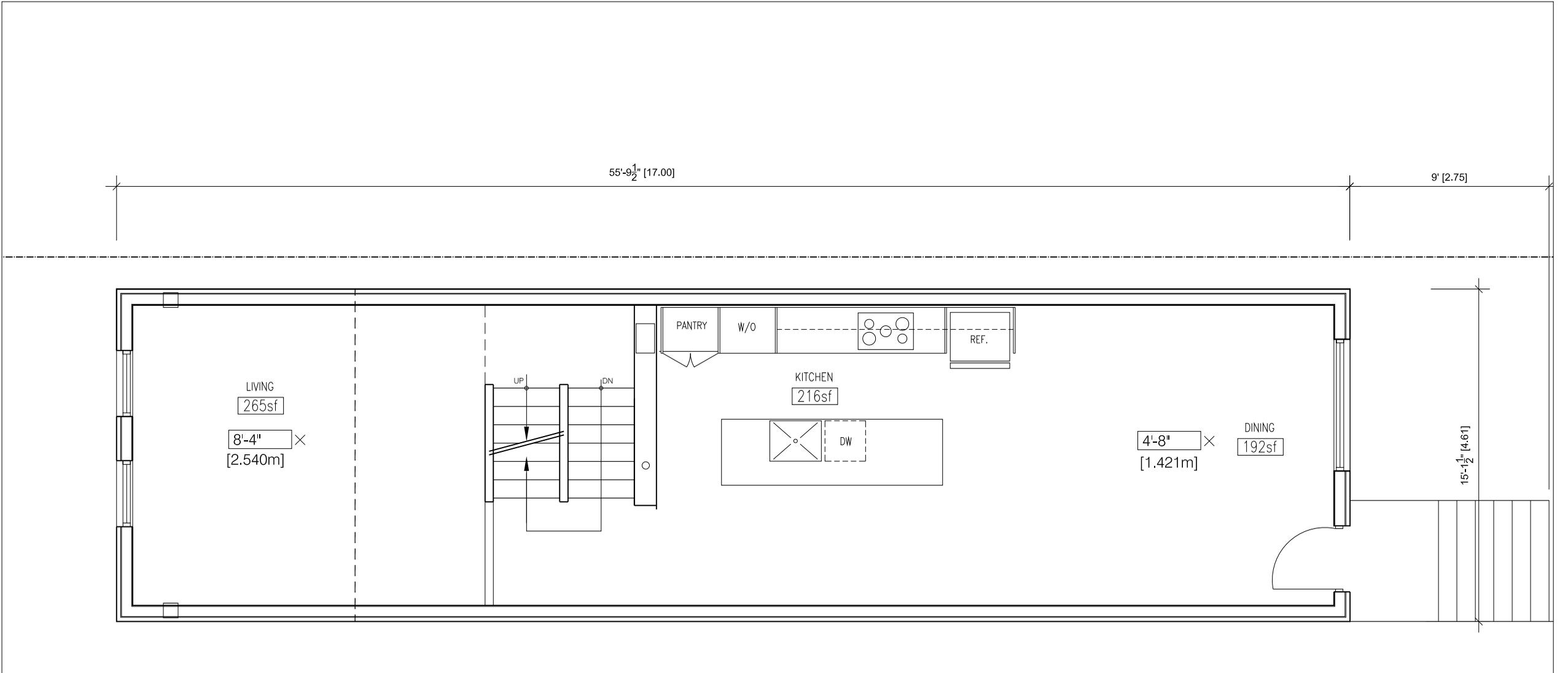
PROPOSED

DEMOLITION

DRAWING TITLE: D-110
ENTRANCE PLAN - PROPOSED

SCALE: 3/16" = 1'-0"

DATE: JAN. 22, 2018



GFA
MAIN FLOOR:
823.6 SQF.

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PROJECT: 2017-P015
PROJECT ADDRESS: 5 HAMSTEAD AVENUE
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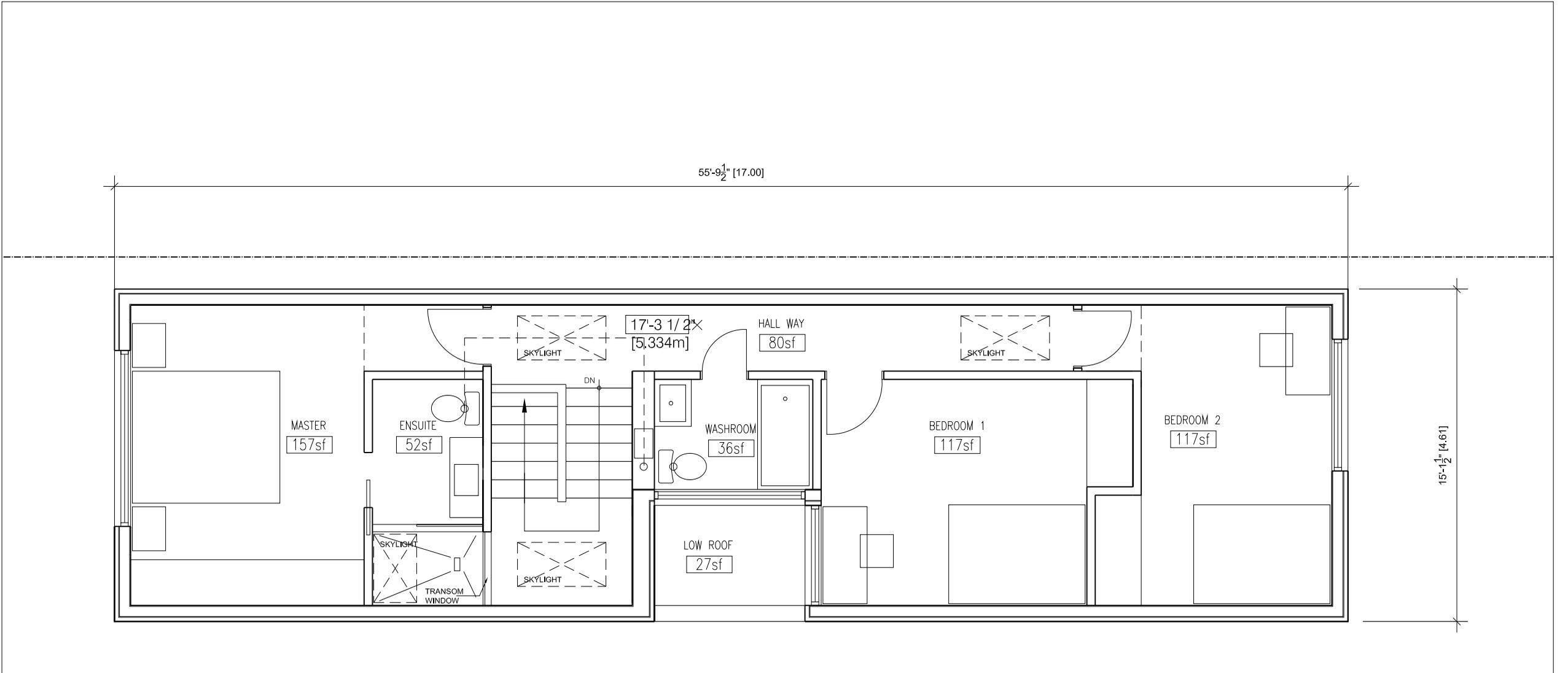
NOTES: COMMITTEE OF ADJUSTMENT APPLICATION

EXISTING

PROPOSED

DEMOLITION

DRAWING TITLE: D-120
MAIN FLOOR PLAN - PROPOSED
SCALE: 3/16" = 1'-0"
DATE: JAN. 22, 2018



GFA
SECOND FLOOR:
788.4 SQF.

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PROJECT: 2017-P015
PROJECT ADDRESS: 5 HAMSTEAD AVENUE
TORONTO
ON M2C 2S3

NOTES: COMMITTEE OF ADJUSTMENT APPLICATION

EXISTING

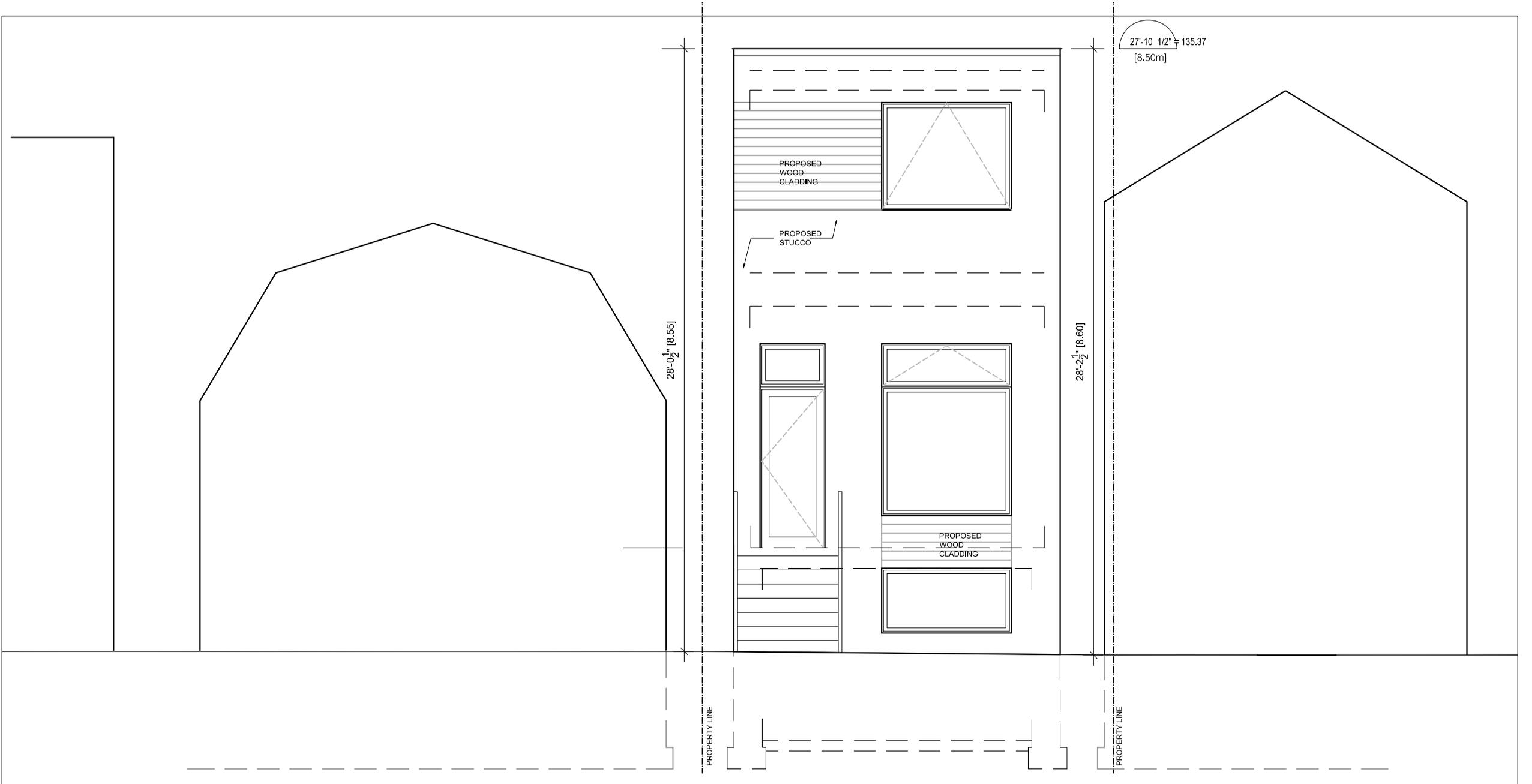
PROPOSED

DEMOLITION

DRAWING TITLE: D-130
SECOND FLOOR PLAN - PROPOSED

SCALE: 3/16" = 1'-0"

DATE: JAN. 22, 2018



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PROJECT: 2017-P015
PROJECT ADDRESS: 5 HAMSTEAD AVENUE
 TORONTO
 ON M2C 2S3

NOTES: COMMITTEE OF ADJUSTMENT APPLICATION

EXISTING

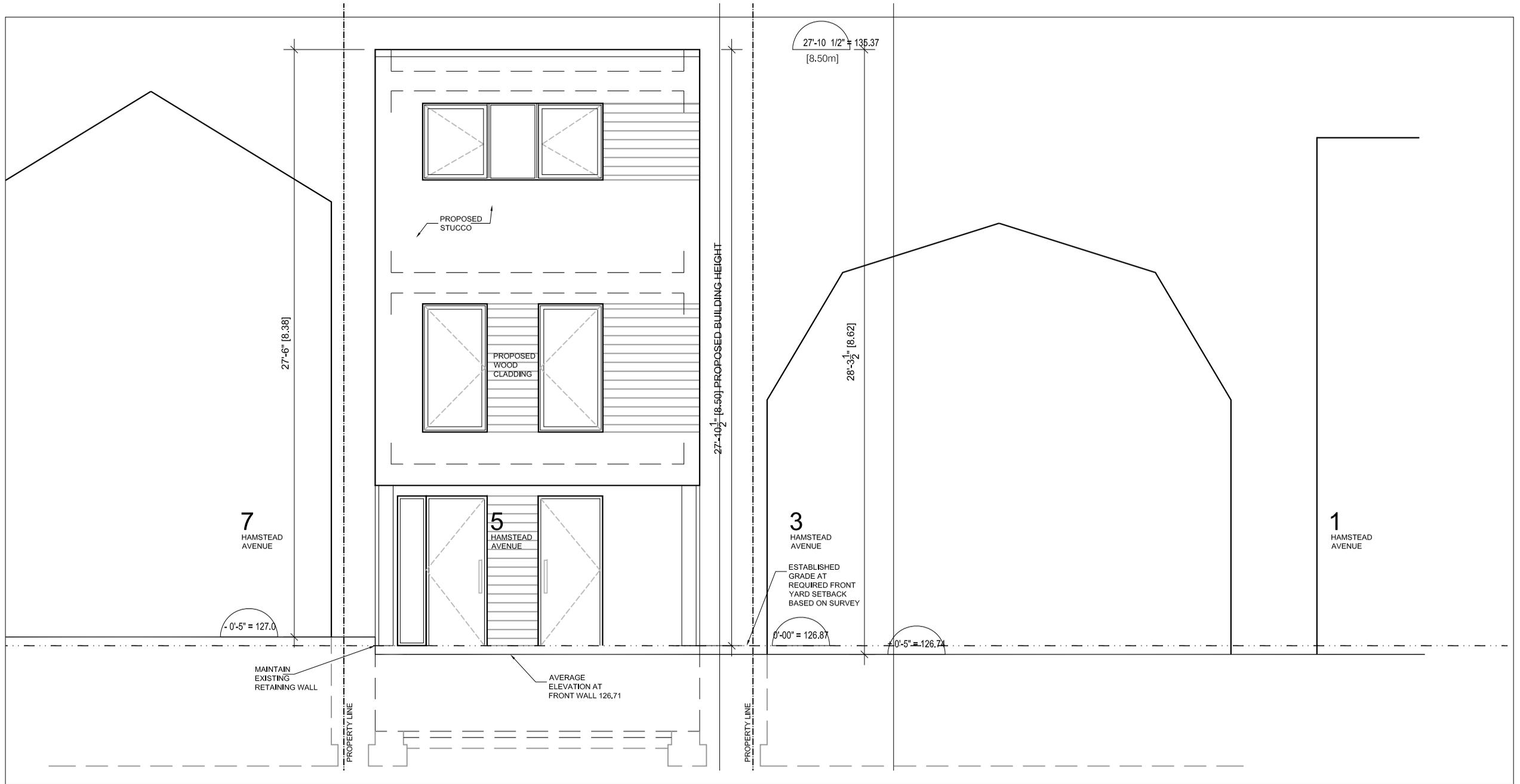
PROPOSED

DEMOLITION

DRAWING TITLE: D-200
 ELEVATION SOUTH - PROPOSED

SCALE: 3/16" = 1'-0"

DATE: JAN. 22, 2018



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PROJECT: 2017-P015
PROJECT ADDRESS: 5 HAMSTEAD AVENUE
TORONTO
ON M2C 2S3

NOTES: COMMITTEE OF ADJUSTMENT APPLICATION

EXISTING

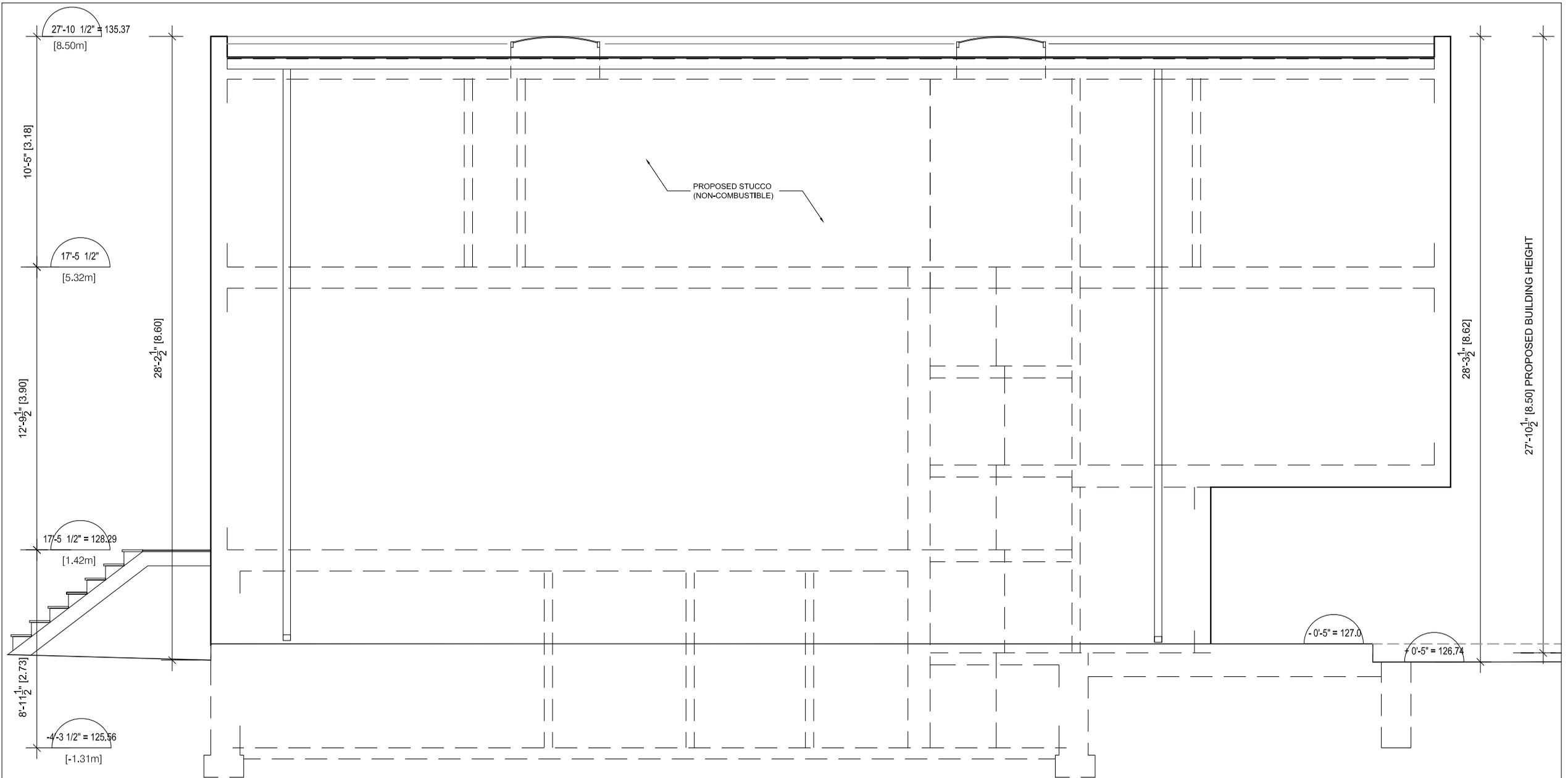
PROPOSED

DEMOLITION

DRAWING TITLE: D-210
ELEVATION NORTH - PROPOSED

SCALE: 3/16" = 1'-0"

DATE: JAN. 22, 2018



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PROJECT: 2017-P015

PROJECT ADDRESS: 5 HAMSTEAD AVENUE
TORONTO
ON M2C 2S3

NOTES: COMMITTEE OF ADJUSTMENT APPLICATION

EXISTING

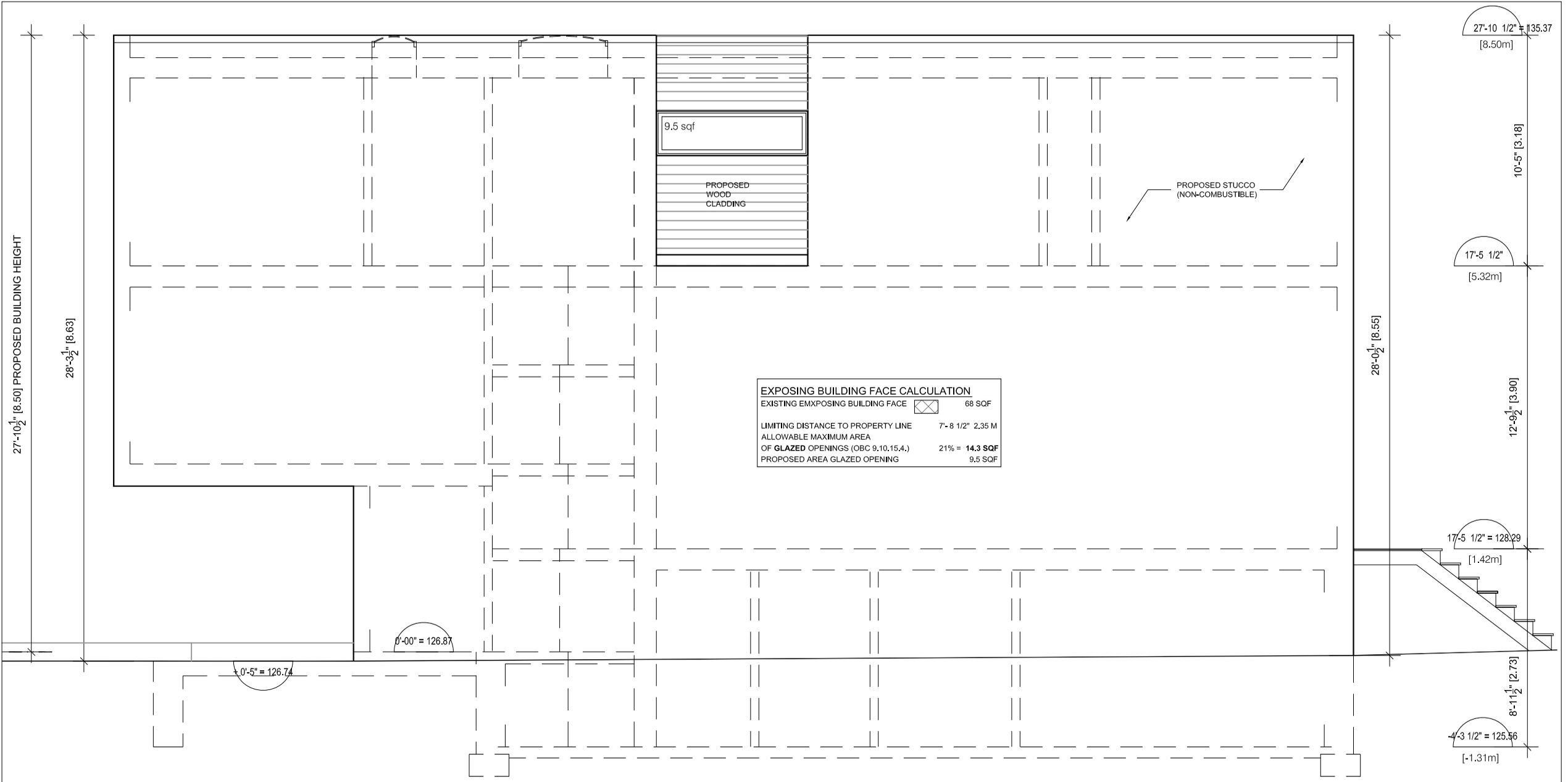
PROPOSED

DEMOLITION

DRAWING TITLE: D-220
ELEVATION WEST - PROPOSED

SCALE: 3/16" = 1'-0"

DATE: JAN. 22, 2018



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 FIRM NAME BCIN

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PROJECT: 2017-P015

PROJECT ADDRESS: 5 HAMSTEAD AVENUE
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NOTES: COMMITTEE OF ADJUSTMENT APPLICATION

EXISTING

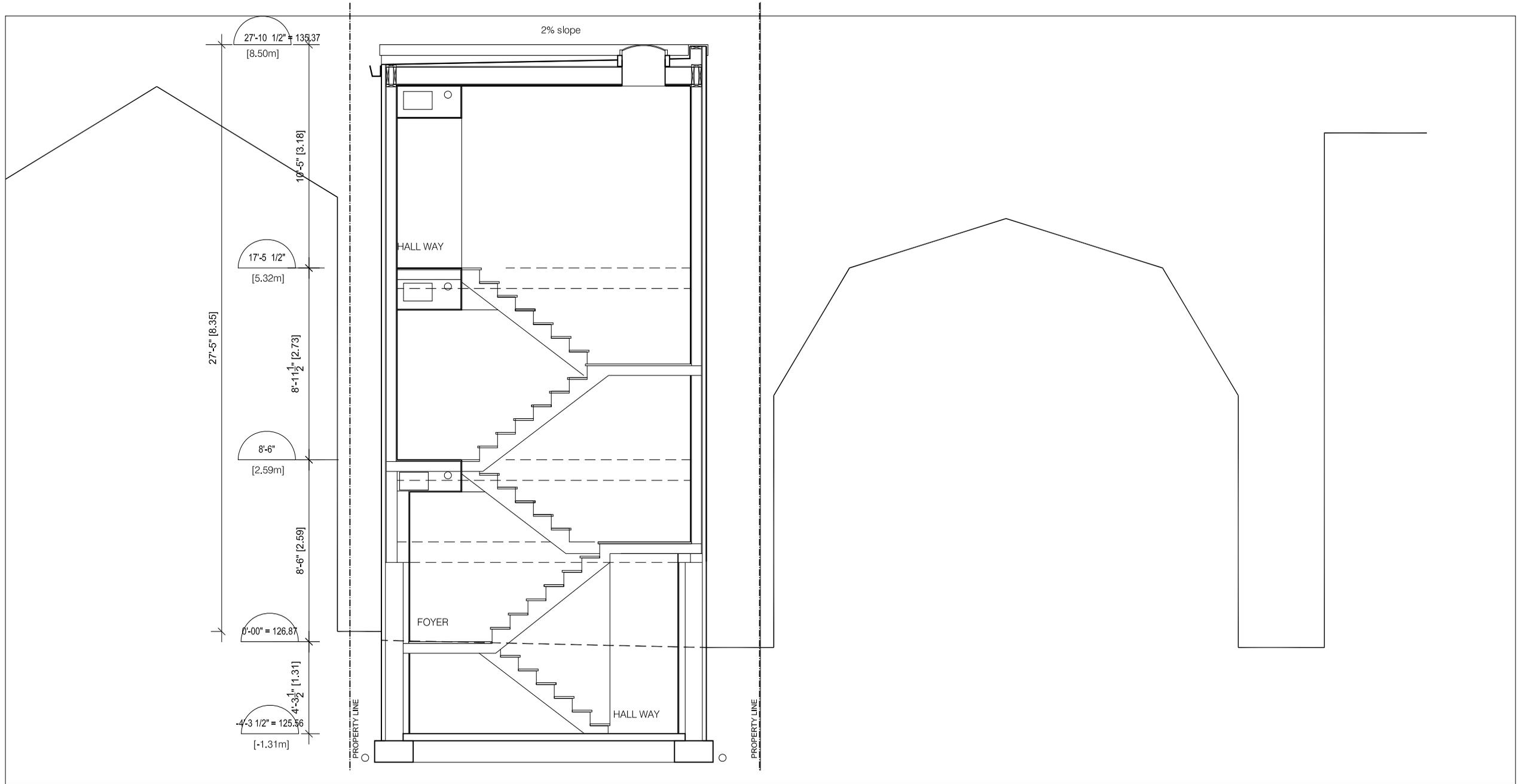
PROPOSED

DEMOLITION

DRAWING TITLE: D-230
 ELEVATION EAST - PROPOSED

SCALE: 3/16" = 1'-0"

DATE: JAN. 22, 2018



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PROJECT: 2017-P015
PROJECT ADDRESS: 5 HAMSTEAD AVENUE
TORONTO
ON M2C 2S3

NOTES: COMMITTEE OF ADJUSTMENT APPLICATION

EXISTING

PROPOSED

DEMOLITION

DRAWING TITLE: D-330
SECTION 3
SCALE: 3/16" = 1'-0"
DATE: JAN. 22, 2018