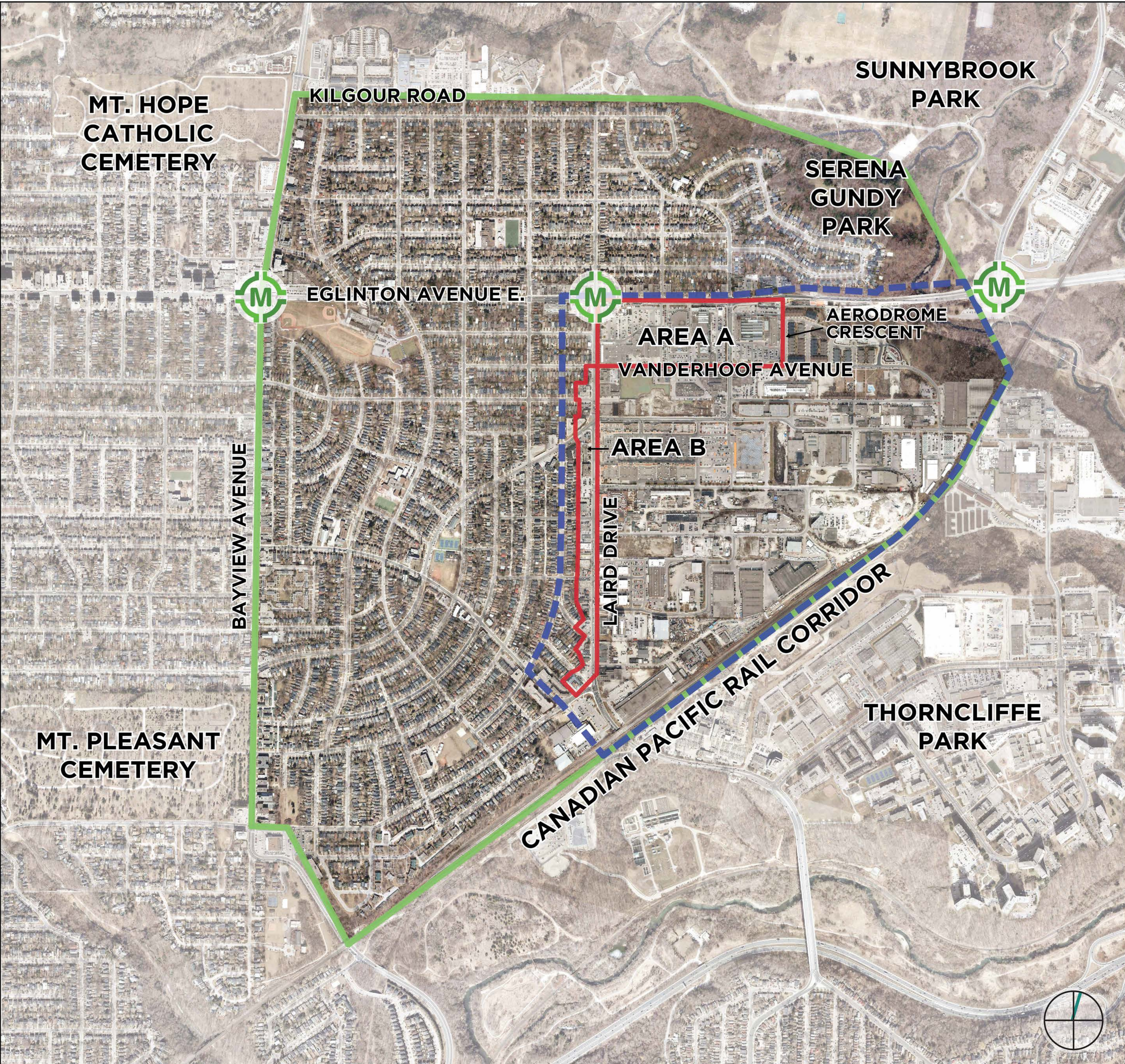


Context Map

Laird in Focus



Aerial Currency: 2018

 Leaside Neighbourhood (context)  Transportation Study Area  Study Area Boundaries A and B  LRT Stations

Vision & Goals

Laird in Focus

Vision

Development of the lands will support the Eglinton Crosstown Light Rail Transit (LRT) investment and create a transit supportive, complete mixed-use community that will integrate with the surrounding area. New forms of development will respect the character of the residential and business contexts, while evolving to meet the needs of future residents and workers. Development of the lands will:

1. Create a community focus at Laird Drive and Eglinton Avenue East, which includes the Eglinton LRT Station, a public park, community facilities and Privately-Owned Publicly Accessible Spaces (POPS) connected to the surrounding community with an expanded network of streets;
2. Promote Laird Drive as an enhanced main street which connects this new community focus area with the existing Leaside Memorial Gardens and facilities;
3. Develop Eglinton Avenue East as a generously landscaped promenade linking the community focus area at Laird Drive to an accessible West Don River Trail; and
4. Connect Leaside to the West Don River Trail by enhancing Vanderhoof Avenue as a park connector of existing and future parks.

Goals

The goals of development on the lands are to:

1. Support the investment in transit along Eglinton Avenue East while ensuring that development is linked to the ability of the transportation network and infrastructure to accommodate growth and support the Leaside employment area.
2. Integrate with and respect the physical and cultural character of Leaside;
3. Establish a high quality and well-connected public realm, including a network of parks, open spaces, and POPS, community amenities and gateways, to create a safe, comfortable, attractive and desirable community;
4. Transform Laird Drive into a vibrant and unifying main street which accommodates appropriately scaled mid-rise development with an enhanced and high quality public realm; and
5. Improve and prioritize connections and movement opportunities for pedestrians, cyclists and transit riders.



10 Guiding Principles

Laird in Focus

Implementation of Goals Through 10 Guiding Principles



1. **Protect neighbourhoods** from intensification pressures by targeting growth to the mixed use lands.



2. **Provide a transition in height** locating taller buildings centrally within the Eglinton blocks, further from the low-rise neighbourhoods to ensure compatibility. New mid-rise buildings will be located along Laird Drive and Eglinton Avenue East.



3. **Create a network of new local streets** framed by trees and delineated by residential front gardens to serve as intimate settings for community life and character.



4. **Create new parks and open space** networks to provide a range of shared uses and programming opportunities linked by existing and new streets.



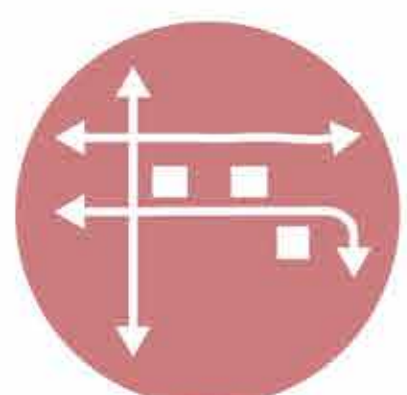
5. **Build community facilities** to provide services to the wider community.



6. **Realize the Eglinton Avenue promenade** transformation through the Eglinton Crosstown Light Rail Transit initiative and private development opportunities to create an attractive, pedestrian-friendly promenade, framed by trees and lined with retail and restaurant uses.



7. **Re-invent Laird Drive as a main street** accommodating all modes of transportation and public realm enhancements as a complete street.



8. **Transform Vanderhoof Avenue into a green connector** with a widened tree lined boulevard on the north side and key public spaces within and beyond the area.

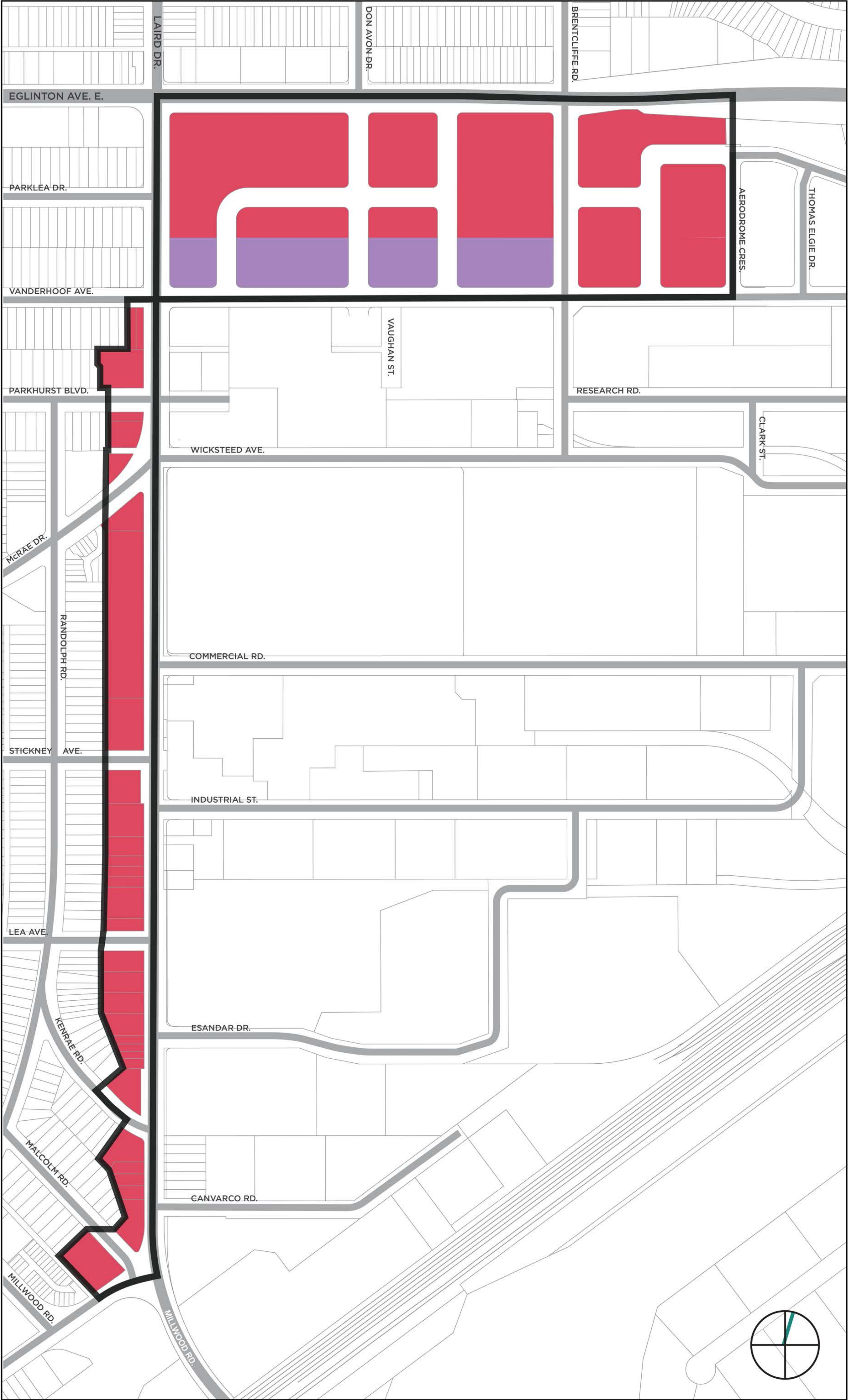


9. **Build a Cycling Network** to create desirable linkages with cycle tracks, quiet street routes, and multi-use paths to augment the City's ten year master plan to improve connectivity.



10. **Support Employment Lands** to ensure its continued economic viability to grow and evolve.

Land Use Laird in Focus



- Study Area Boundaries A and B
- Employment Areas
- Mixed Use Areas

Land Use - Statistics

Laird in Focus

Area A

Gross Floor Areas

| | 815 - 845 EGLINTON AVE. E. | 849 EGLINTON AVE. E. | 939 EGLINTON AVE. E. | 943 - 957 EGLINTON AVE. E. | TOTAL GROSS FLOOR AREA |
|-------------------|----------------------------------|----------------------------|----------------------------|----------------------------------|---------------------------|
| Community | 2,920m ² | 0m ² | 0m ² | 0m ² | 2,920m ² |
| Employment | 12,200m ² | 4,050m ² | 4,300m ² | 0m ² | 20,550m ² |
| Retail/Commercial | 7,200m ² | 1,410m ² | 1,840m ² | 1,350m ² | 11,800m ² |
| Residential | 106,215m ² | 45,055m ² | 68,000m ² | 78,770m ² | 298,040m ² |
| Servicing | 1,710m ² | 1,370m ² | - | 880m ² | 3,960m ² |
| Total | 130,245m ² | 51,885m ² | 74,140m ² | 81,000m ² | 337,270m ² |
| Public Parks | 3,723m ² | 0m ² | 1,718m ² | 3,100m ² | 8,541m ² |

Population and Job Yields

| | 815 - 845 EGLINTON AVE. E. | 849 EGLINTON AVE. E. | 939 EGLINTON AVE. E. | 943 - 957 EGLINTON AVE. E. | TOTAL |
|-------------------|----------------------------------|----------------------------|----------------------------|----------------------------------|-------|
| Community | 10 | 0 | 0 | 0 | 10 |
| Employment | 450 | 150 | 160 | 0 | 860 |
| Retail/Commercial | 180 | 35 | 45 | 35 | 295 |
| Residential | 2,550 | 1,085 | 1,635 | 1,895 | 7,165 |
| Total | 3,090 | 1,270 | 1,840 | 1,930 | 8,330 |

Residential Unit Typology

| | 815 - 845 EGLINTON AVE. E. | 849 EGLINTON AVE. E. | 939 EGLINTON AVE. E. | 943 - 957 EGLINTON AVE. E. | TOTAL |
|--------------------------------|----------------------------------|----------------------------|----------------------------|----------------------------------|-------|
| 1-bedroom (60% total units) | 810 | 0 | 0 | 0 | 10 |
| 2-bedroom (30% total units) | 405 | 150 | 160 | 0 | 860 |
| 3-bedroom (10% total units) | 135 | 35 | 45 | 35 | 295 |
| Total | 1,350 | 1,270 | 1,840 | 1,930 | 8,330 |

Area B

Gross Floor Areas

| | LAIRD DRIVE |
|-------------------|----------------------|
| Institutional | 11,450m ² |
| Retail/Commercial | 9,770m ² |
| Residential | 47,050m ² |
| Total | 68,270m ² |

Population and Job Yields

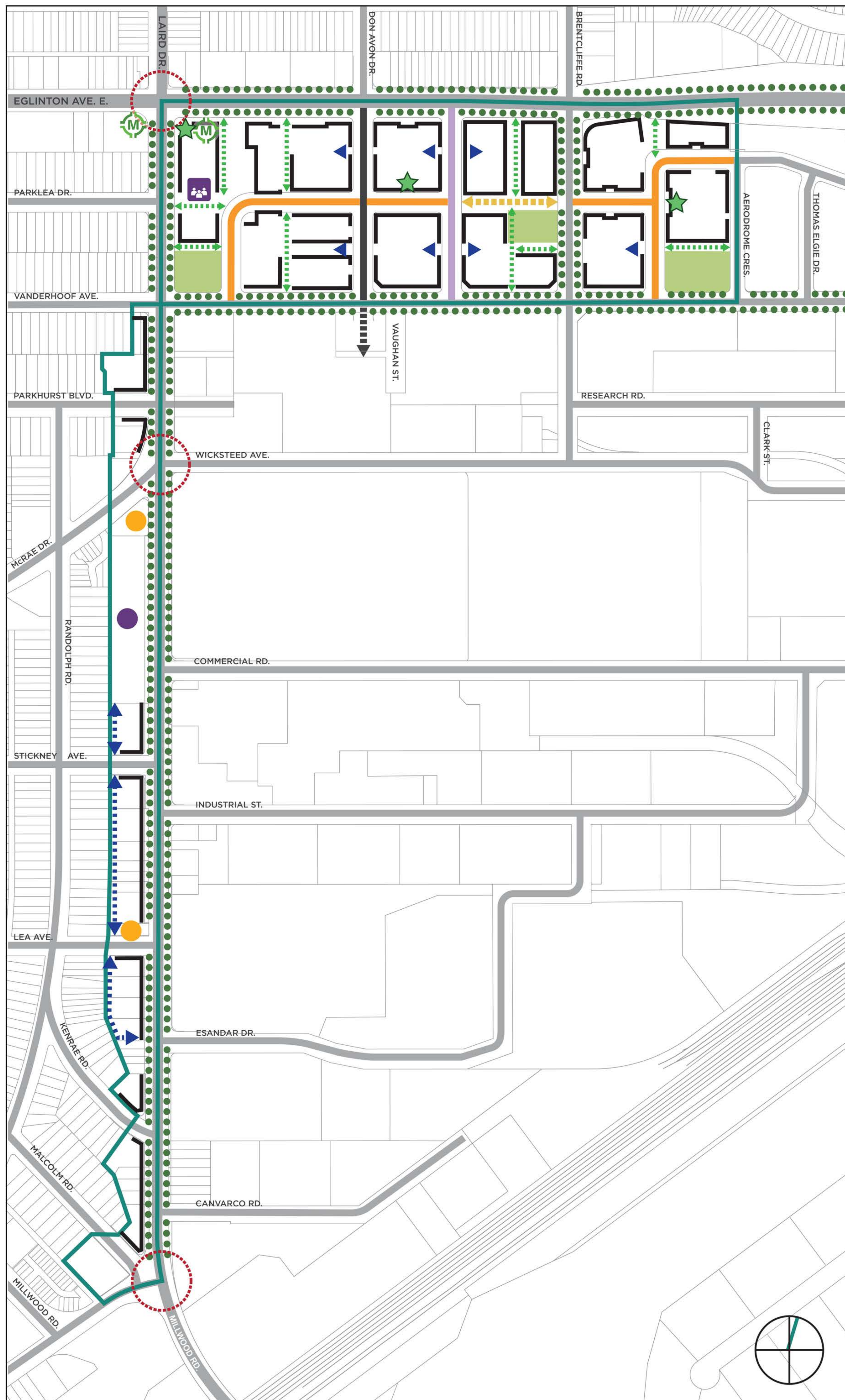
| | LAIRD DRIVE |
|-------------------|-------------|
| Institutional | 190 |
| Retail/Commercial | 240 |
| Residential | 1530 |
| Total | 1,960 |



















Residential Unit Typology

| | LAIRD DRIVE |
|--------------------------------|-------------|
| 1-bedroom (60% total units) | 480 |
| 2-bedroom (30% total units) | 240 |
| 3-bedroom (10% total units) | 80 |
| Total | 800 |

Structure Plan

Laird in Focus



-  Study Area Boundaries A and B
-  Potential Building Edge
-  Existing Street Extension
-  New Local Streets
-  Potential Public Street Extension
-  Approved Private Streets
-  Approved New Street
-  Servicing Access
-  Servicing Access Lane
-  Eglinton Crosstown Light Rail Transit Station
-  Existing Heritage Property
-  Potential Heritage Property
-  Public Park
-  Midblock Pedestrian Connection
-  Streetscape Improvements
-  Gateway
-  Privately-Owned Publicly Accessible Spaces (POPS)
-  Community Facility

Heritage Laird in Focus

As part of the Laird in Focus Planning Study, City Planning initiated a Cultural Heritage Resource Assessment to ensure that all properties of cultural heritage value or interest were appropriately identified, understood and conserved as part of an up-to-date planning framework. The two properties identified for inclusion on the City's Heritage Register, along with the one property already listed on Laird Drive highlight the 1920s-1940s as a period of significance in the development of Leaside when many finely crafted buildings were constructed as part of the town's growth and enrich the understanding of the sense of place. Properties on Laird Drive indicate the continued importance of this historic economic spine for Leaside's growth and prosperity.

The identified potential heritage properties meet Ontario Regulation 9/06, the Provincial criteria prescribed for municipal designation, which the City also applies when assessing properties for its Heritage Register.



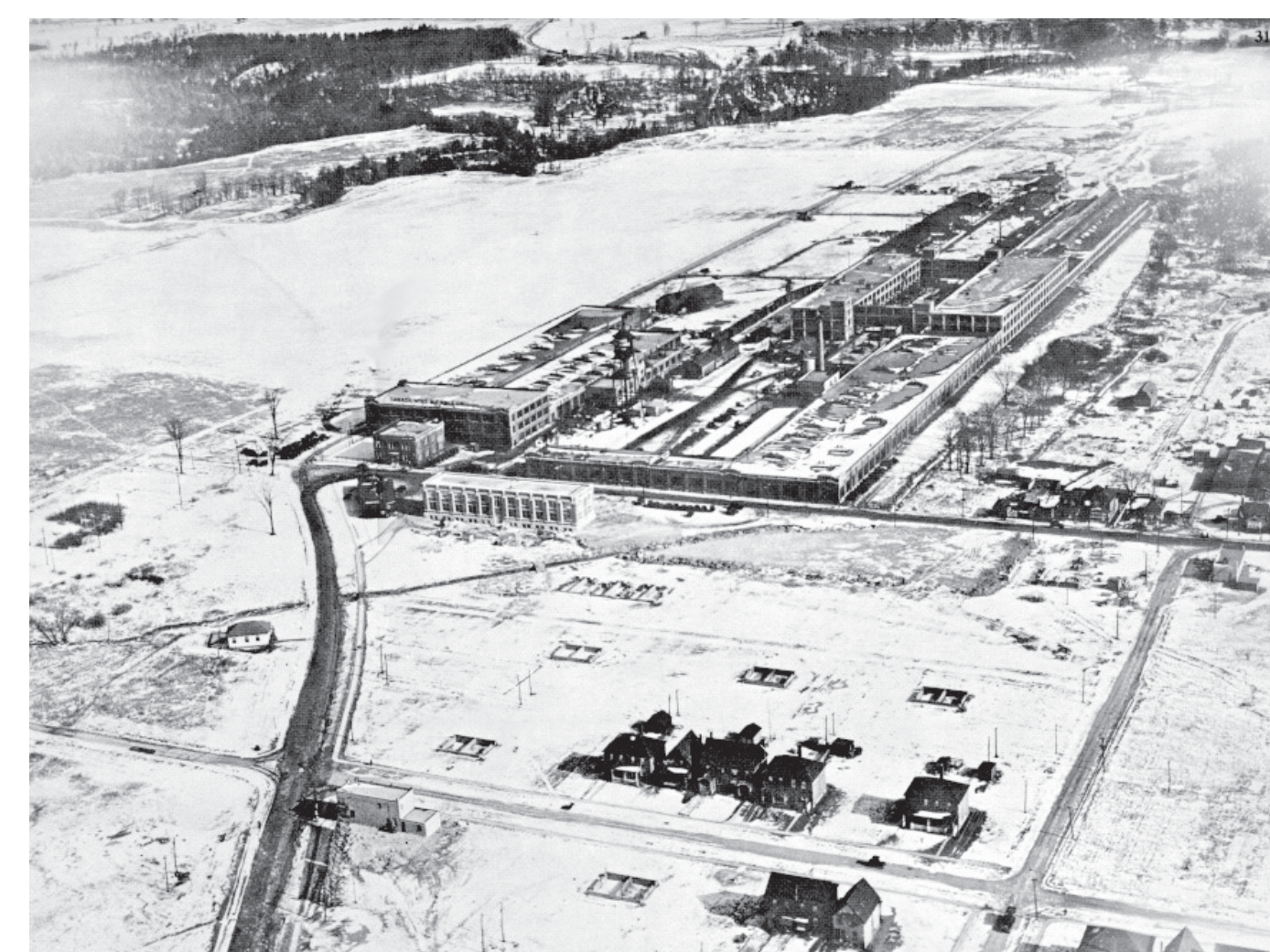
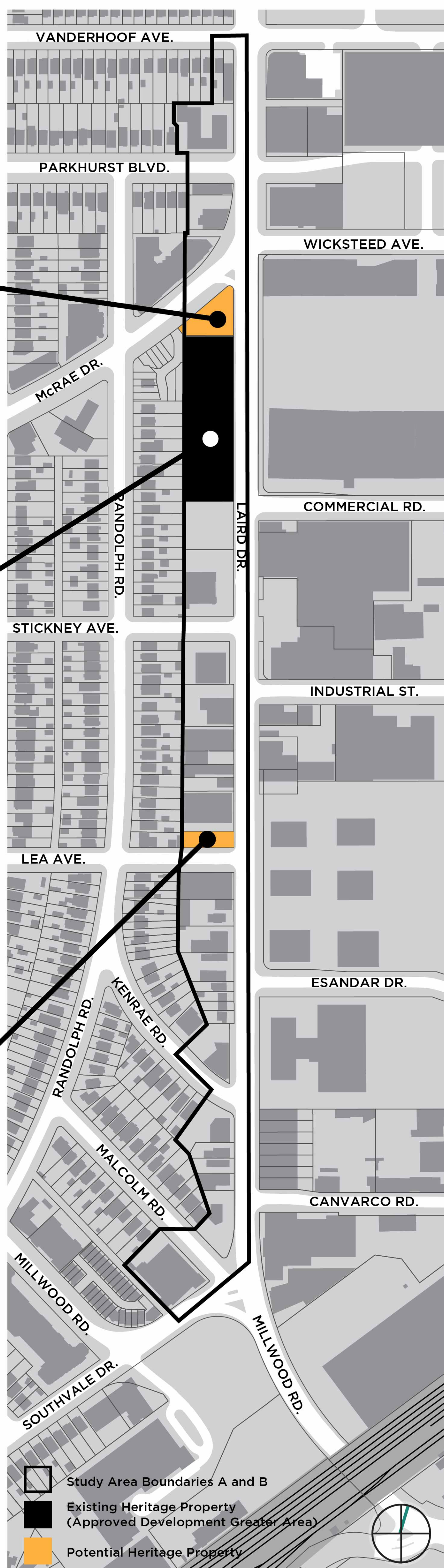
180 Laird Drive – Former Imperial Bank of Canada building (1941) the building was converted to a restaurant



150 Laird Drive - Motors of Canada headquarters office building (1928)



96 Laird Drive – Historically known as Osmond's Restaurant (1923), known as CNR restaurant in 1926 and now known as Olde Yorke Fish & Chips; the building has been in continuous use as a restaurant



1931 Aerial view east above Durant Motor Headquarters (mid-left) and factories. The Leaside Aerodrome



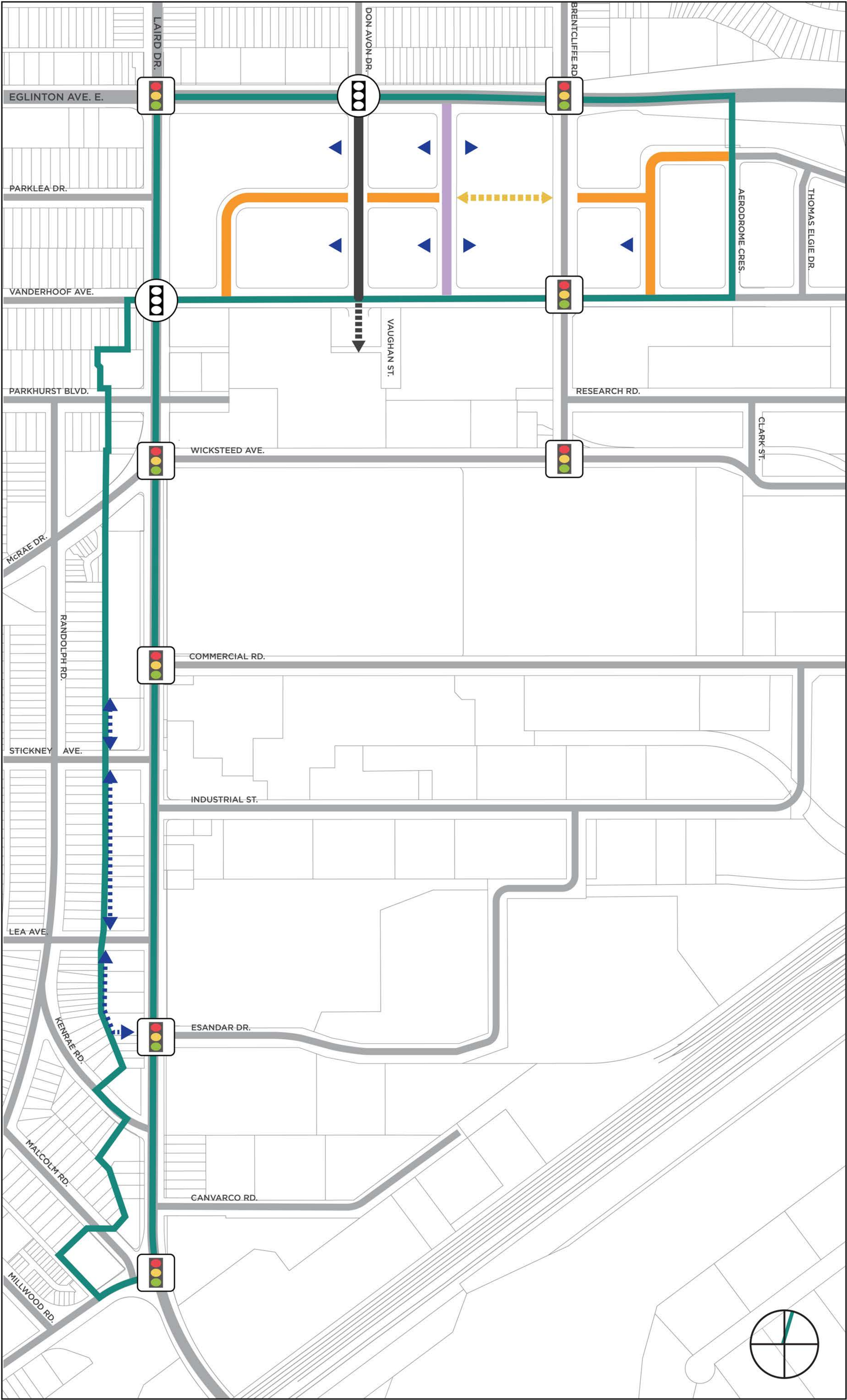
Laird Drive – view north from 1955. Laird Drive connected with Eglinton Avenue, which by 1956 fully spanned the Don Valley, and connected Leaside to the wider city



The materiality and lush landscaped setbacks which characterize Leaside's residential areas will help inform the materiality and design of new development in the Areas

Street Network

Laird in Focus



- Study Area Boundaries A and B
- Existing Street Extension
- Potential Public Street Extension
- New Local Streets
- Servicing Access
- Servicing Access Lane
- Approved Private Streets
- Approved New Street
- Existing Signalized Intersection
- Proposed Signalized Intersection

Parks & Open Spaces

Laird in Focus



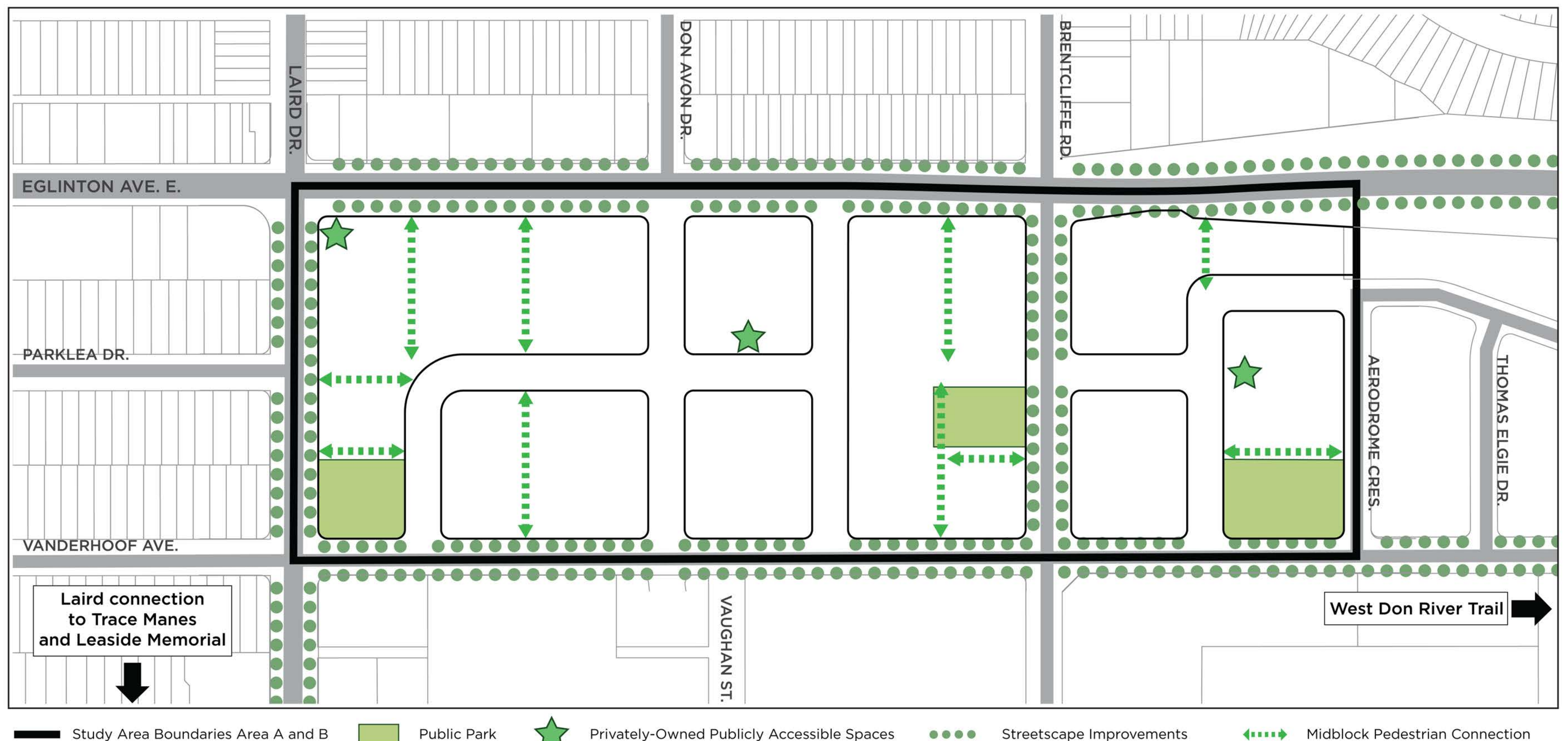
Gibson Square Park (Yonge Street)



Pancras Square (London, UK)



Shops at Don Mills (Don Mills Road)



Green park space (Bernie Spain Gardens, London)



Grange Park (Beverley Street)



Parc du Bassin-à-Gravier, industrial neighbourhood (Montreal)

Parkland Strategy

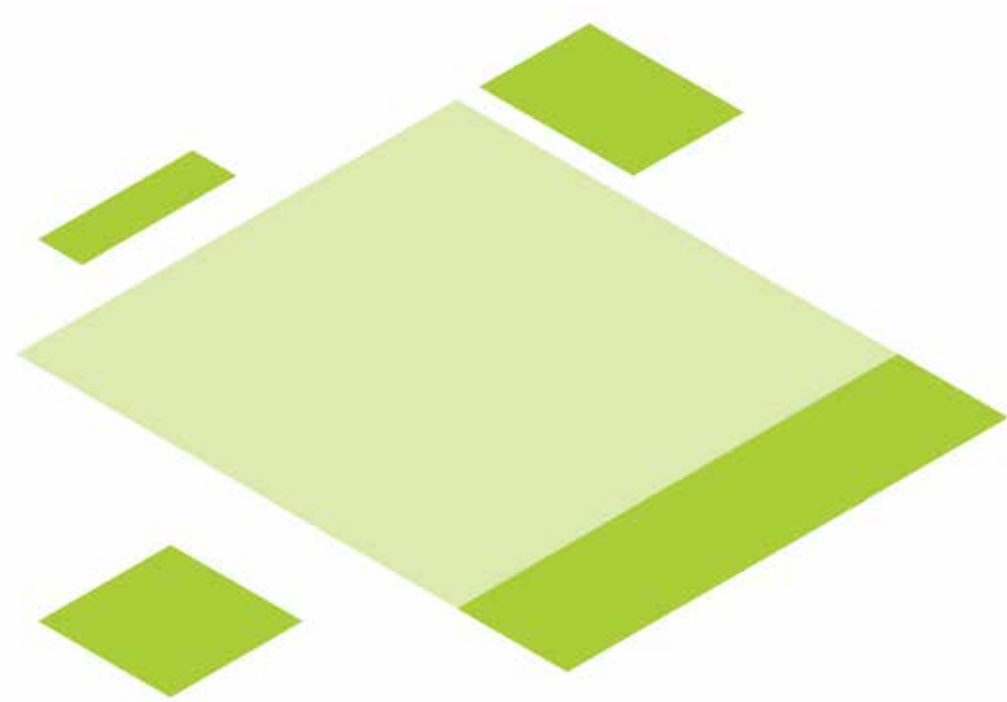
Laird in Focus

What We Heard

The Parkland Strategy will address the supply and distribution of parkland across the city through three lenses:

Expand

The size and location of parkland expansion, based on population growth and densification.



Phase 1: What We Heard

In Phase 1, you told us that you were generally satisfied with the amount of parkland in your neighbourhood, but that some areas of the city have parks that feel overcrowded as neighbourhoods have grown.

Phase 2: Next Steps

Phase 2 will explore opportunities for the City to acquire and expand parkland through acquisition and other planning tools.

Share

The quality and multi-functionality of new and existing parkland to meet diverse interests and needs.



Phase 1: What We Heard

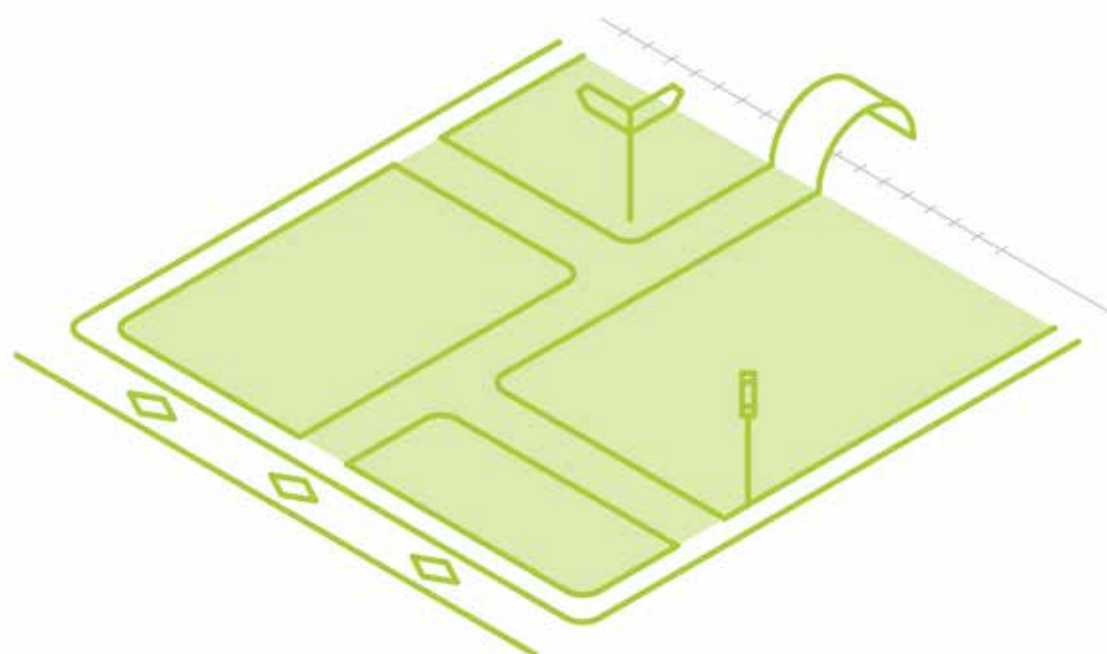
In Phase 1, you told us that your top two park uses were to enjoy nature and to play while keeping physically active.

Phase 2: Next Steps

Phase 2 will explore how parkland can become more multi-functional through park improvements and partnerships.

Connect

The access to, through and between parks to create a connected parkland network.



Phase 1: What We Heard

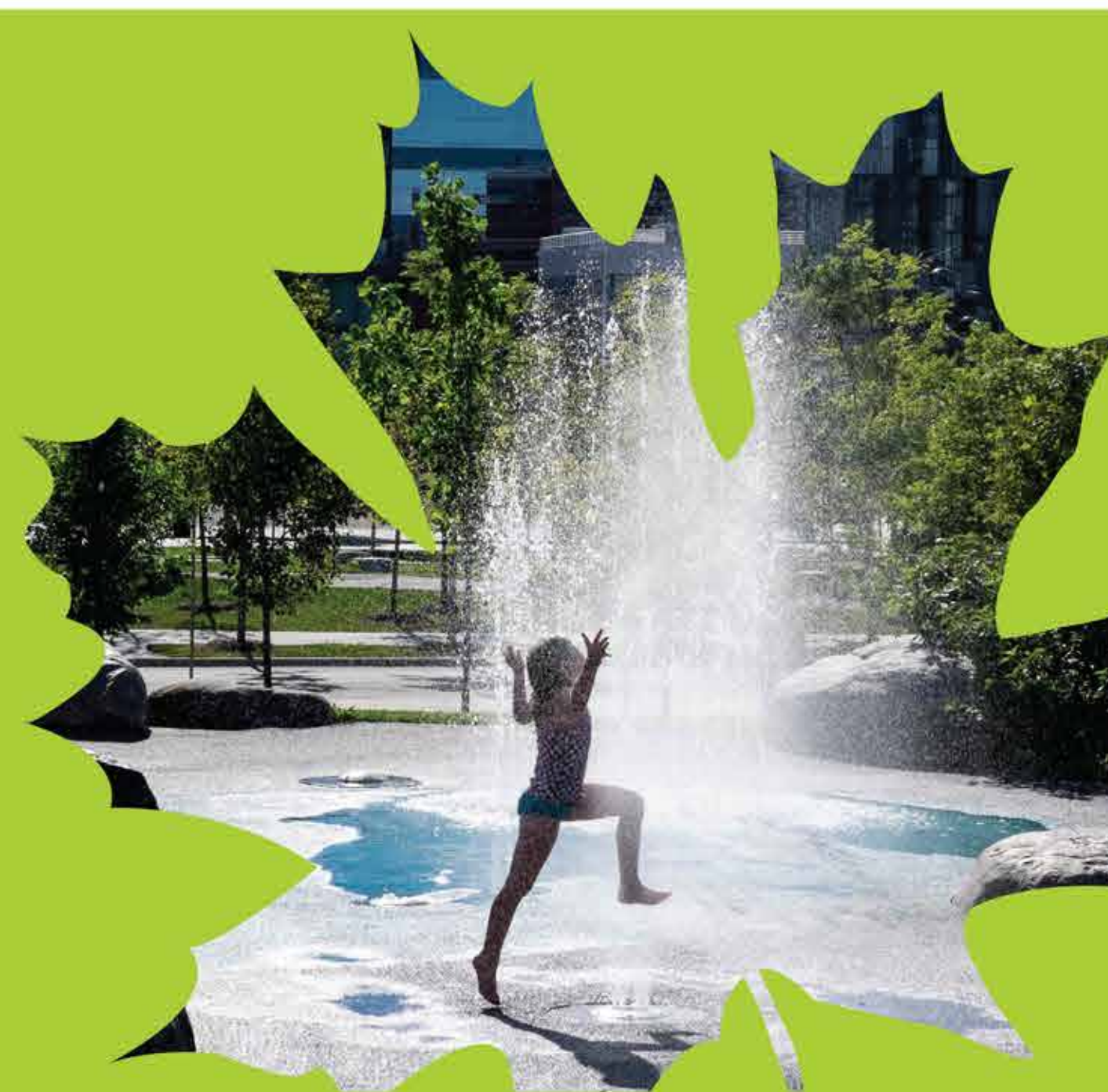
In Phase 1, you told us that, in general, you can walk to your local park easily, but improvements could be made to the quality, safety, and wayfinding of those walkways and paths. New connections are also needed where barriers currently exist.

Phase 2: Next Steps

Phase 2 will explore the use of other open spaces, such as underpasses and hydro corridors, as well as connections to the active transportation network.

PARKLAND STRATEGY

Growing Toronto Parkland



Parks and Recreation Facilities Laird in Focus

Facility types addressed in the Facilities Master Plan

Community Recreation Centres

- Fitness Rooms
- Gymnasiums
- Indoor Walking Tracks
- Multi-purpose Rooms
- Weight Rooms
- Specialized spaces such as indoor playgrounds



Aquatics

- Indoor Pools
- Outdoor Pools
- Splash Pads/Wading Pools



Ice

- Arenas
- Curling Rinks
- Outdoor Artificial Ice Rinks



Sport Fields

- Ball (Softball, Baseball)
- Cricket
- Soccer
- Multi-use (Football, Rugby, etc.)



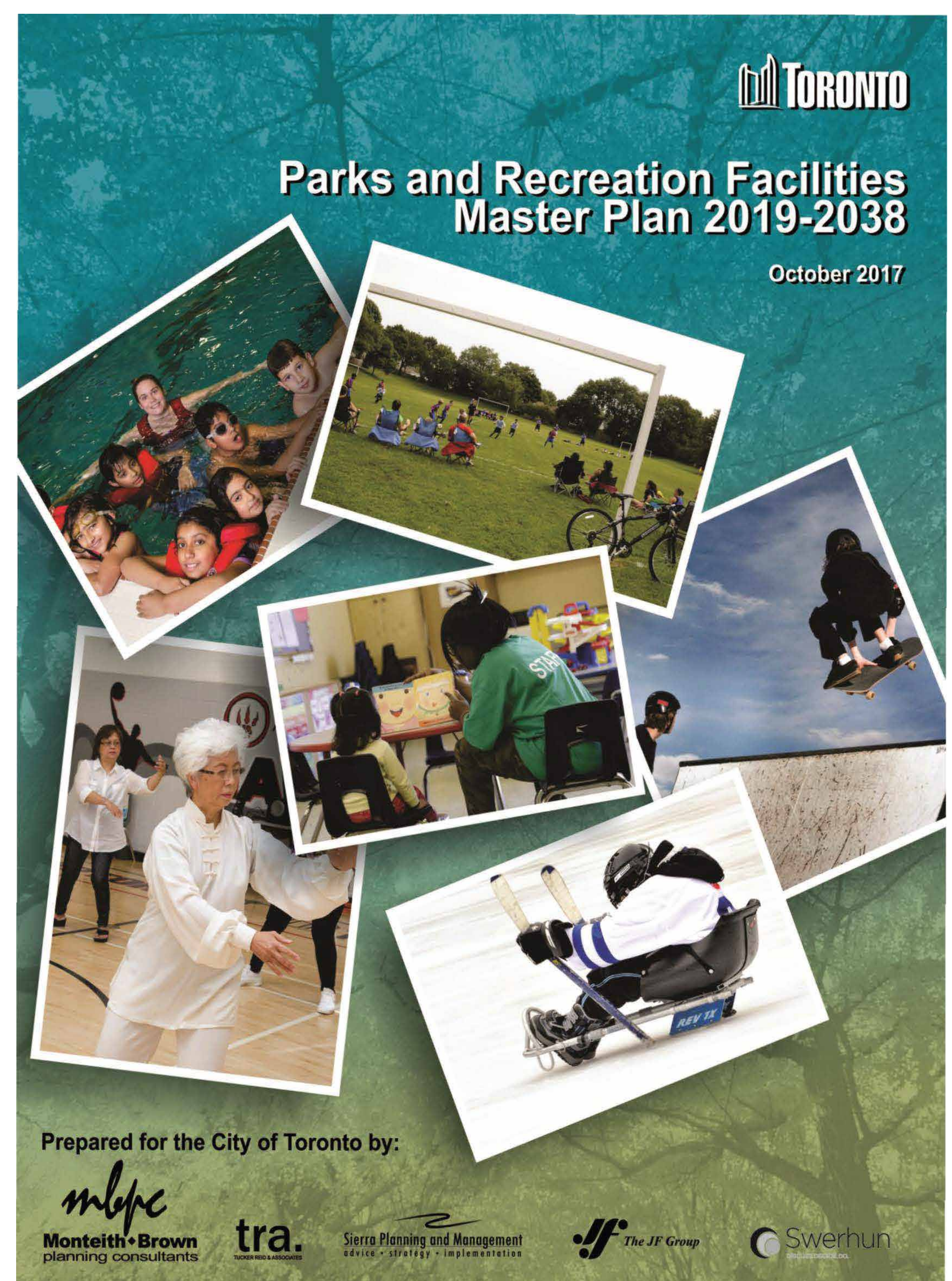
Sports Courts

- Basketball
- Bike Parks
- Bocce
- Lawn Bowling
- Skateparks
- Tennis



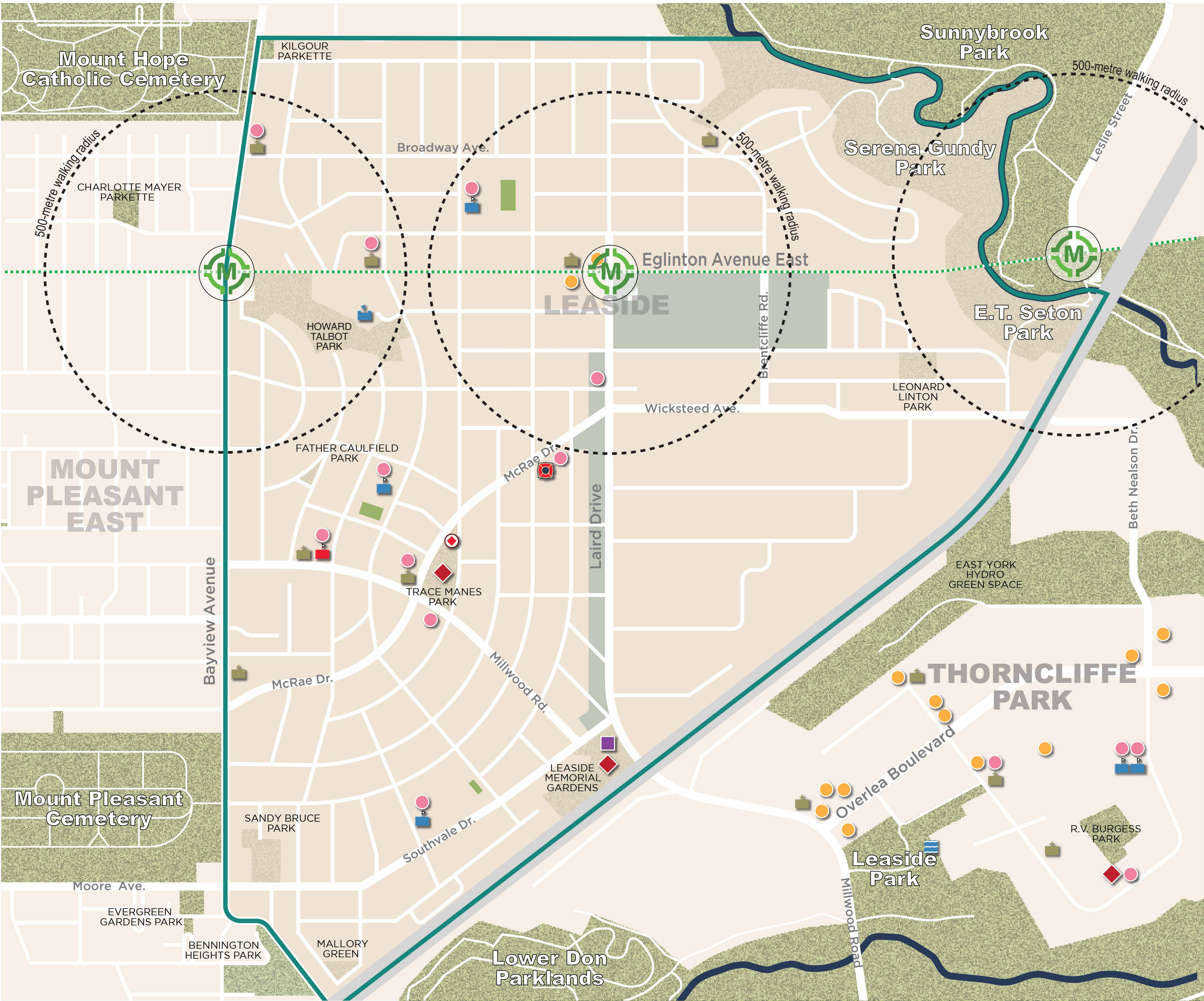
Other Outdoor Amenities

- Dog Off-Lease Areas
- Fieldhouses/Clubhouses
- Sports Bubbles



Parks Context Map

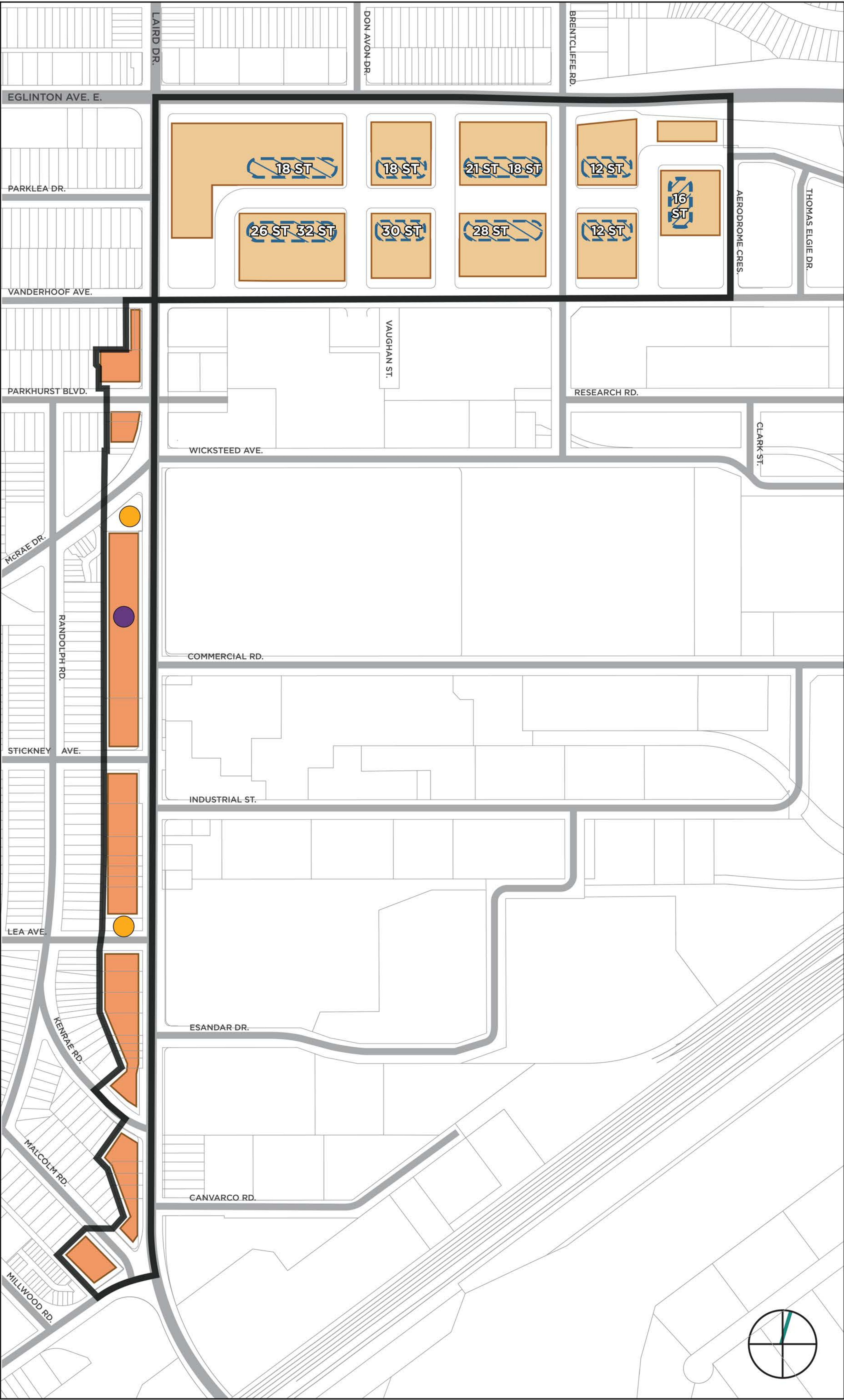
Laird in Focus



- | | | | |
|--|-----------------------------|--|-----------------------------|
| | Leaside | | Public Elementary School |
| | Arena | | Public Secondary School |
| | Child Care Centre | | Catholic Elementary School |
| | Community/Recreation Centre | | Human Services |
| | Library | | Fire Station |
| | Place of Worship | | Existing Parks & Open Space |
| | Pool | | Existing School Playground |
| | | | 500-metre walking radius |

Built Form

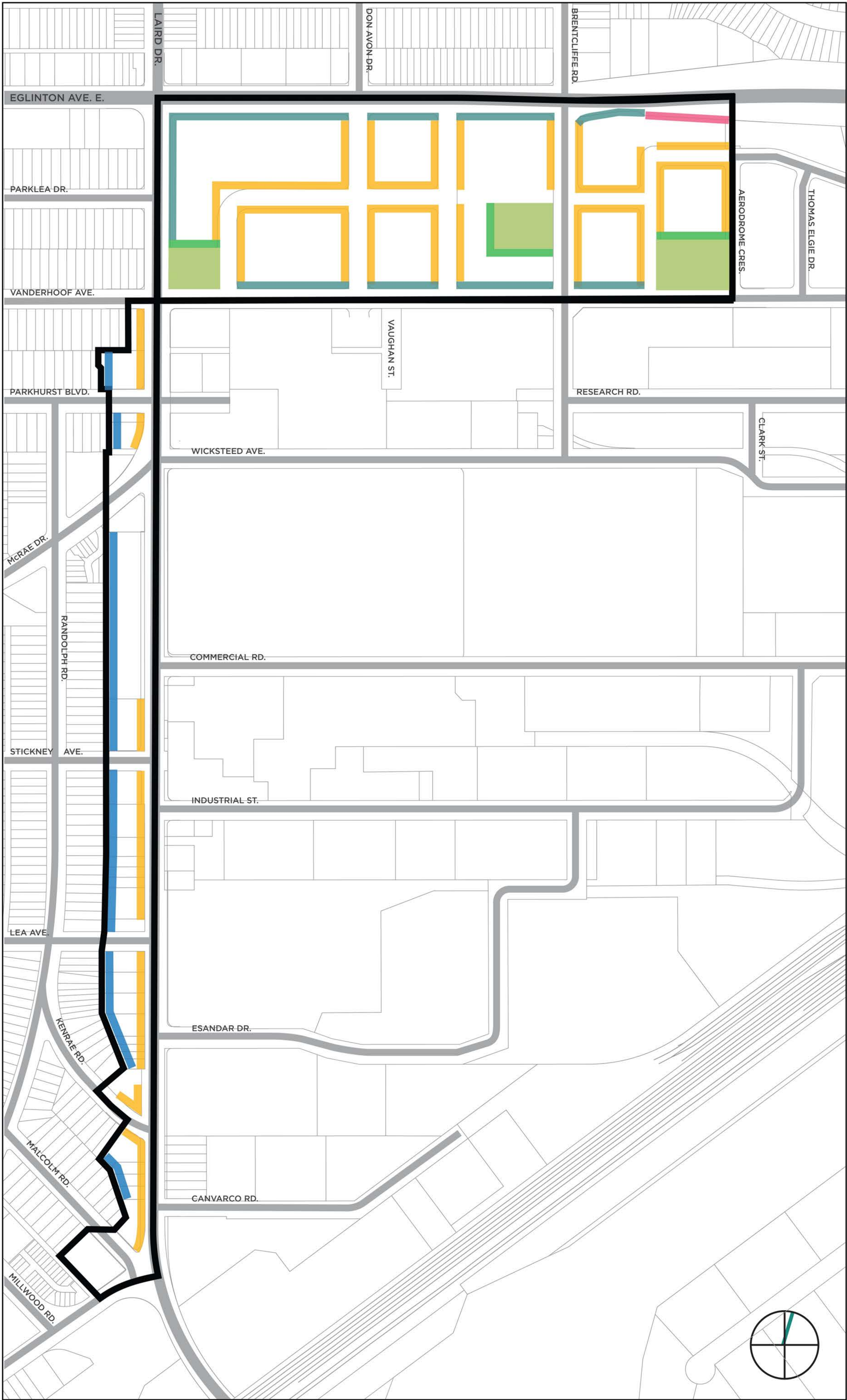
Laird in Focus



- Study Area Boundaries A and B
- Laird/Eglinton Mid-rise Area
- Laird Mid-rise Area
- Potential Tall Building Location
- Existing Heritage Property
150 Laird Drive
- Potential Heritage Properties
96 Laird Drive
180 Laird Drive

Building Setbacks

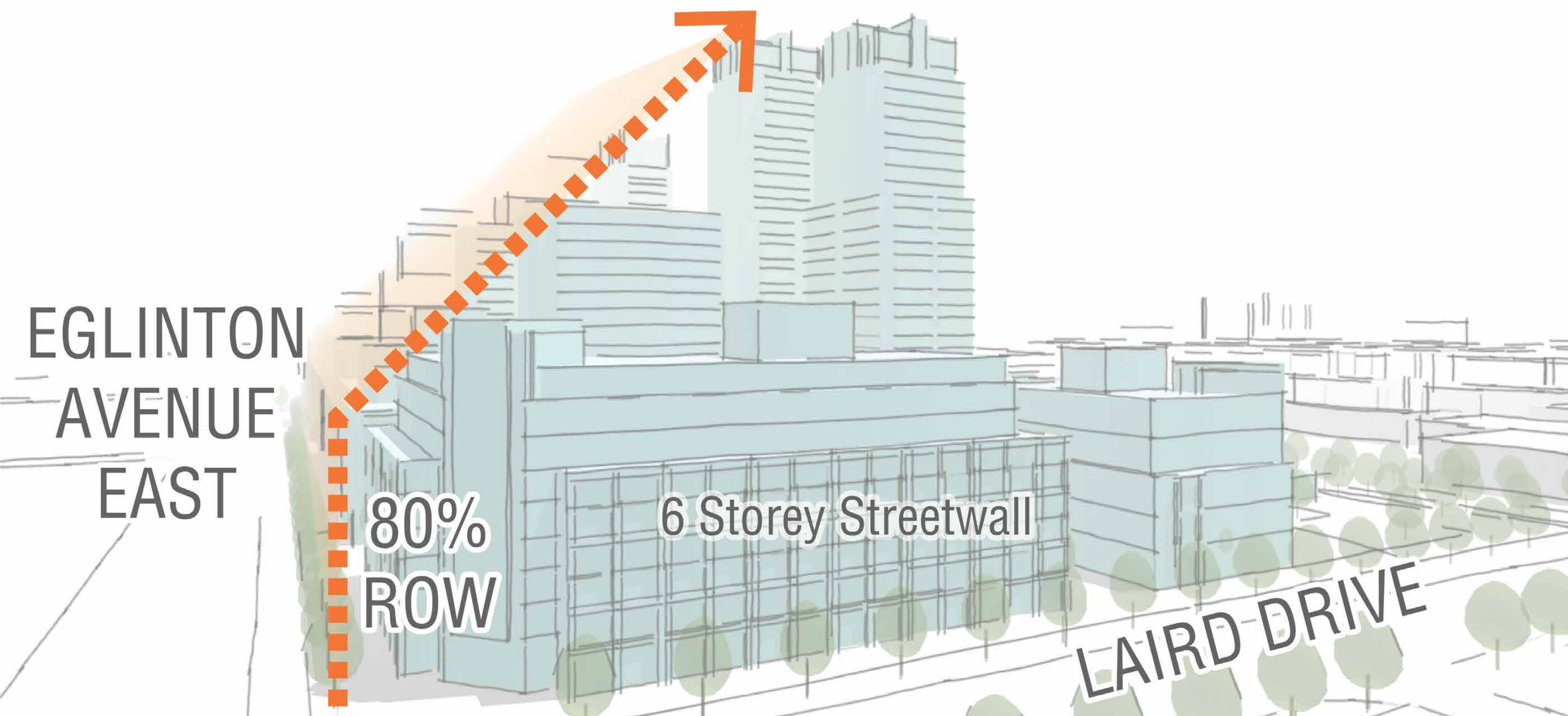
Laird in Focus



- Study Area Boundaries A and B
- 3m Building Setback
- 6m Building Setback
- 9m Rear Building Setback
- Setbacks to be determined based on future analysis with site grades
- 5m Building Setback from Park

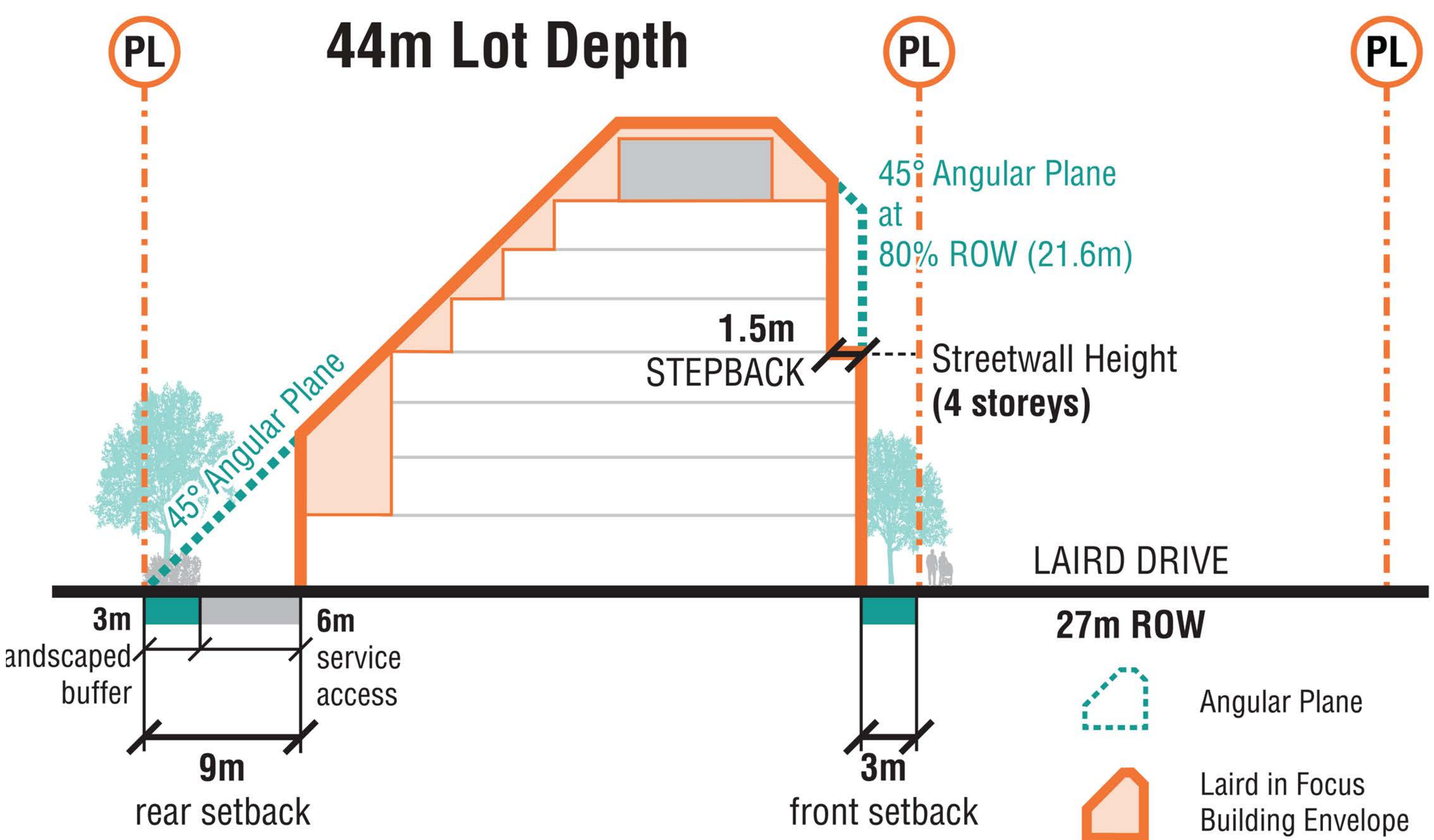
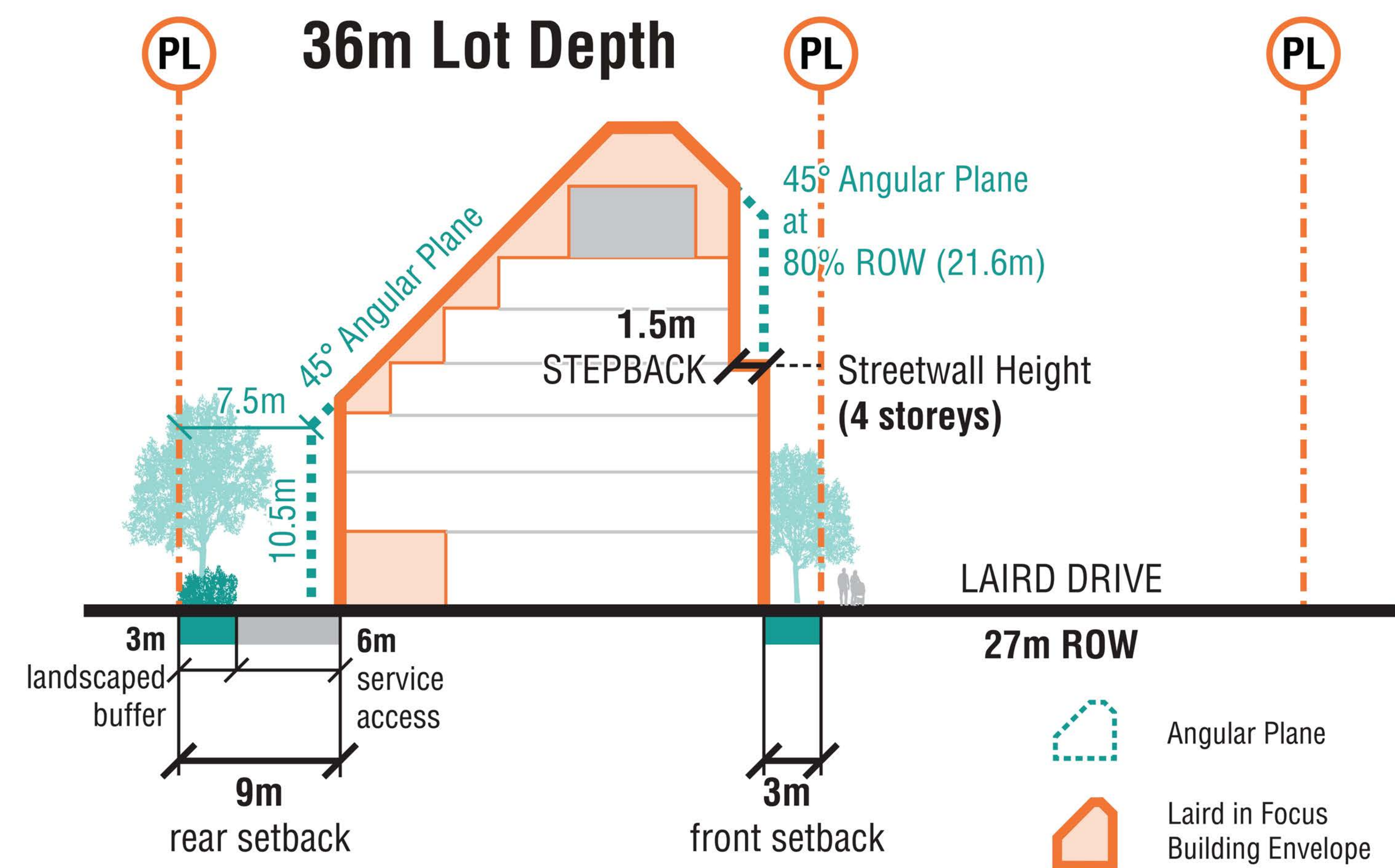
Eglinton Sections

Laird in Focus



Laird Sections

Laird in Focus



Demonstration Plan - Eglinton Avenue

Laird in Focus

The gateway **plaza** will accommodate expanded pedestrian and cycling amenities at the Laird-Eglinton transit node

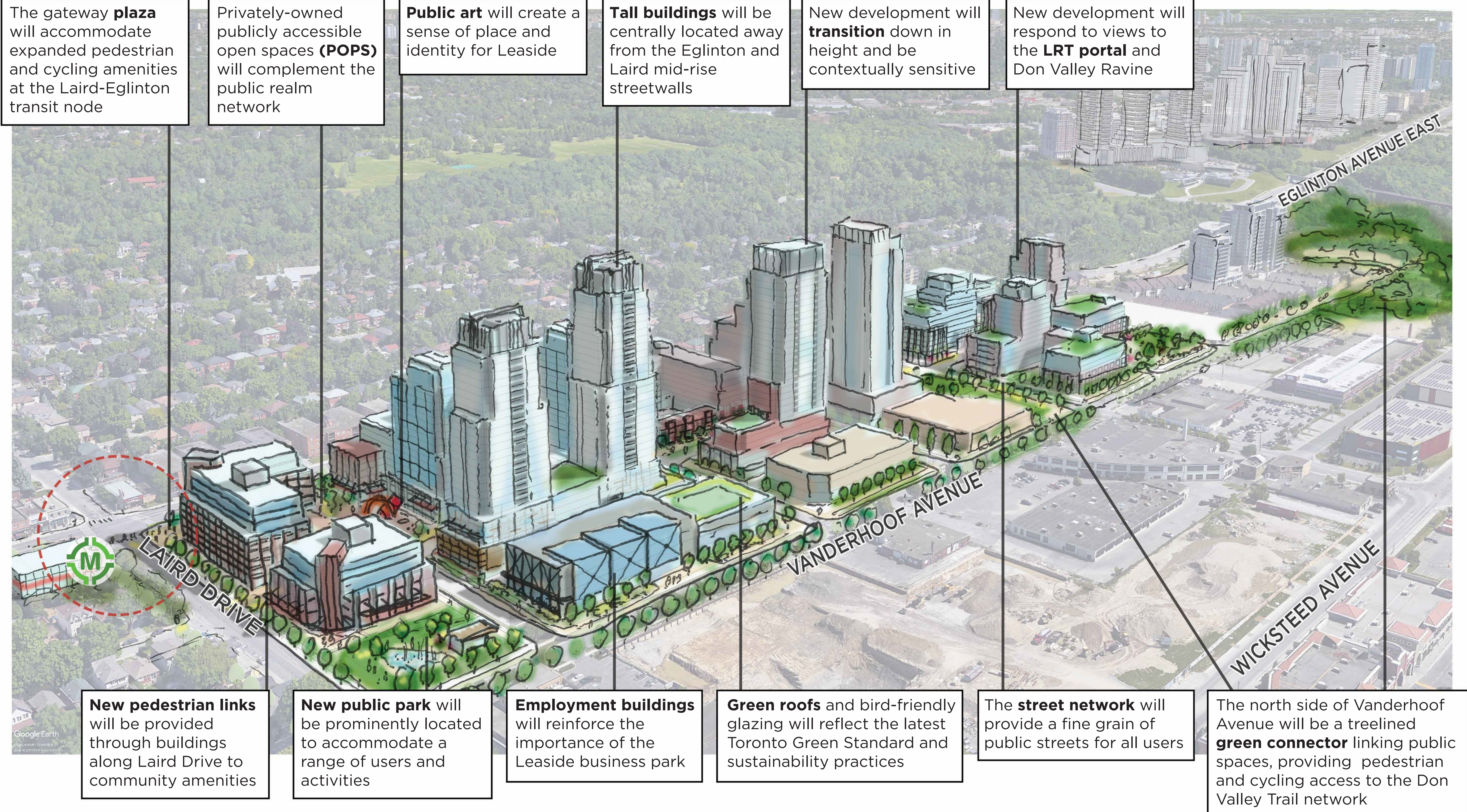
Privately-owned publicly accessible open spaces (**POPS**) will complement the public realm network

Public art will create a sense of place and identity for Leaside

Tall buildings will be centrally located away from the Eglinton and Laird mid-rise streetwalls

New development will **transition** down in height and be contextually sensitive

New development will respond to views to the **LRT portal** and Don Valley Ravine



Demonstration Plan - Laird Drive

Laird in Focus

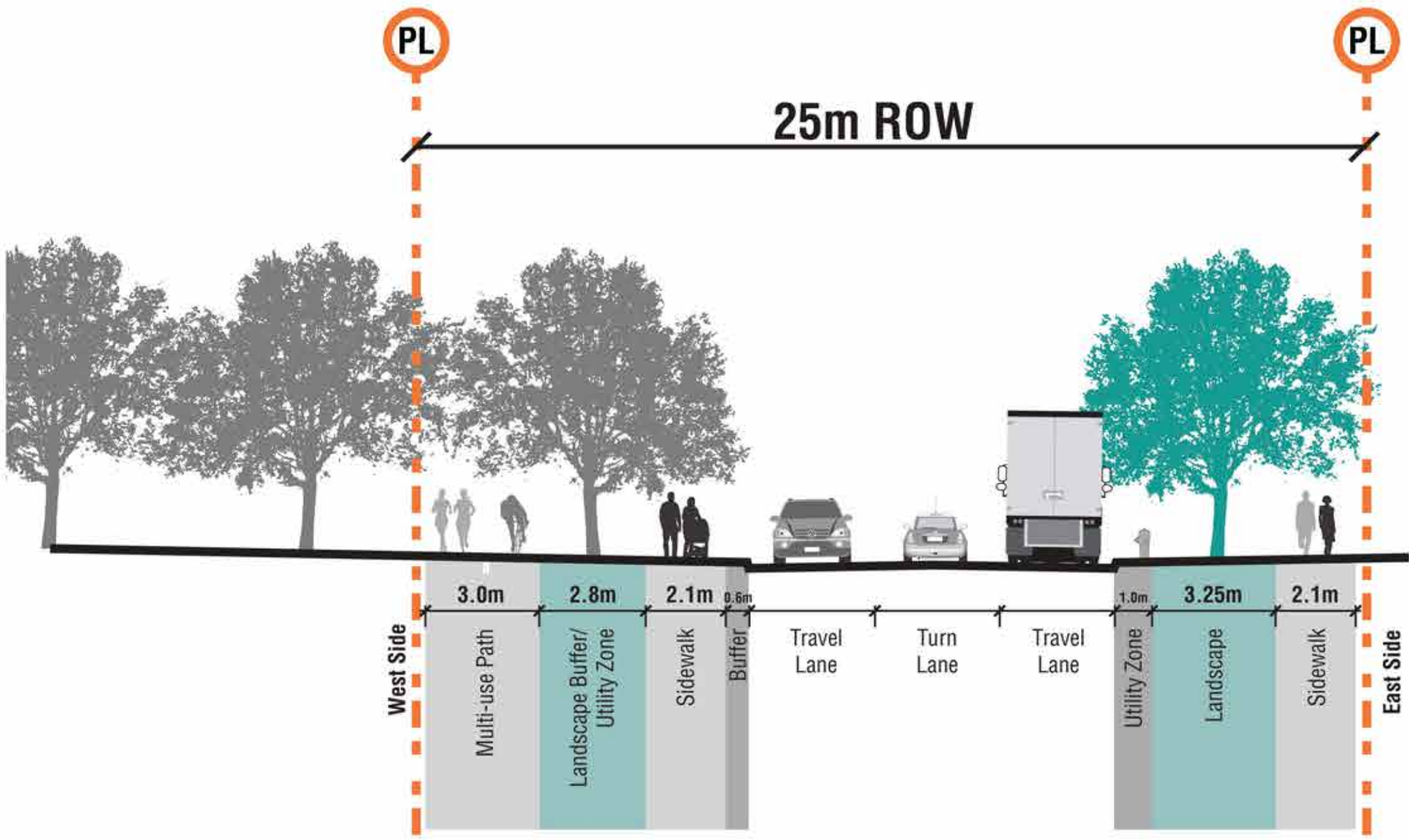


Streetscapes

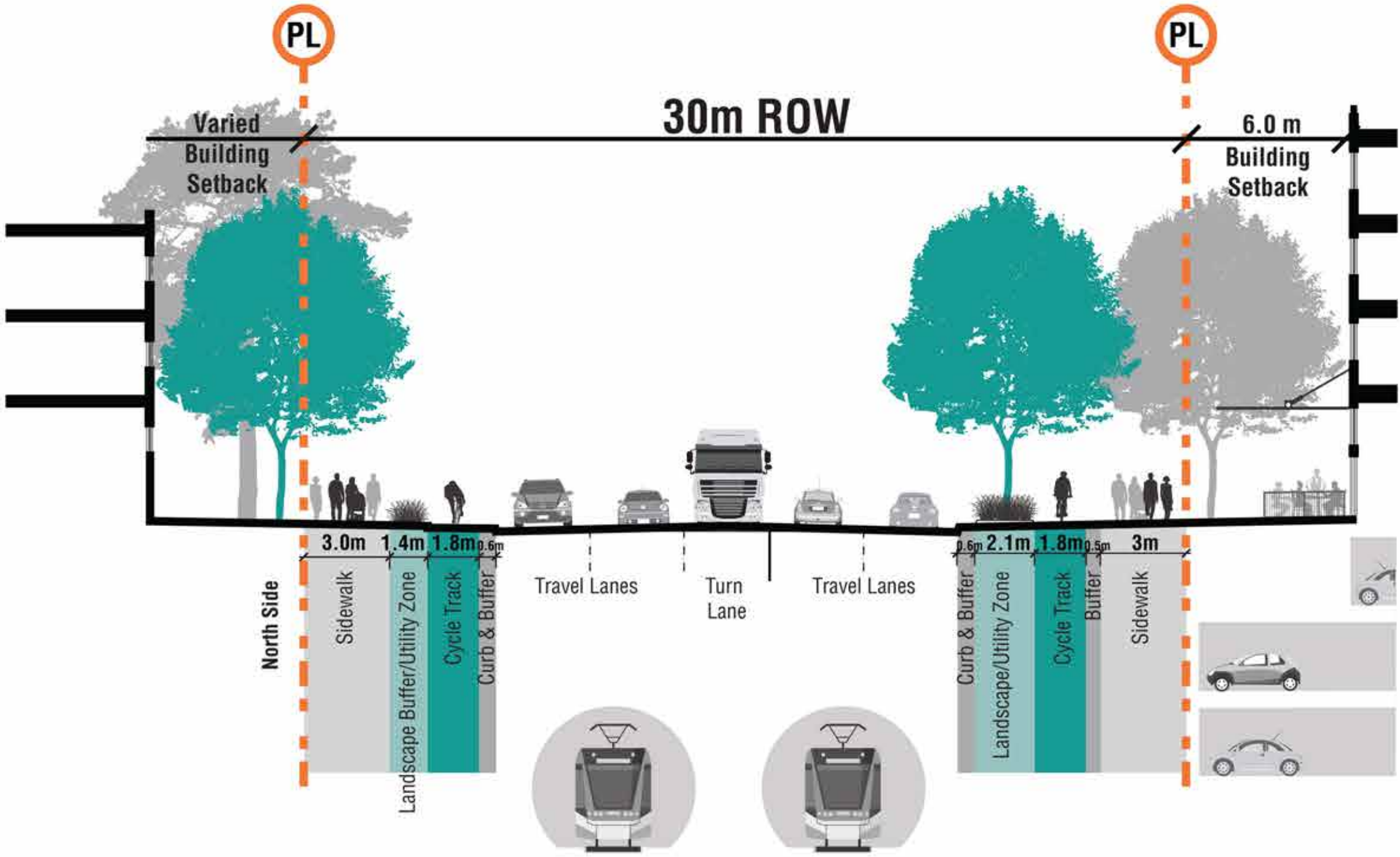
Laird in Focus



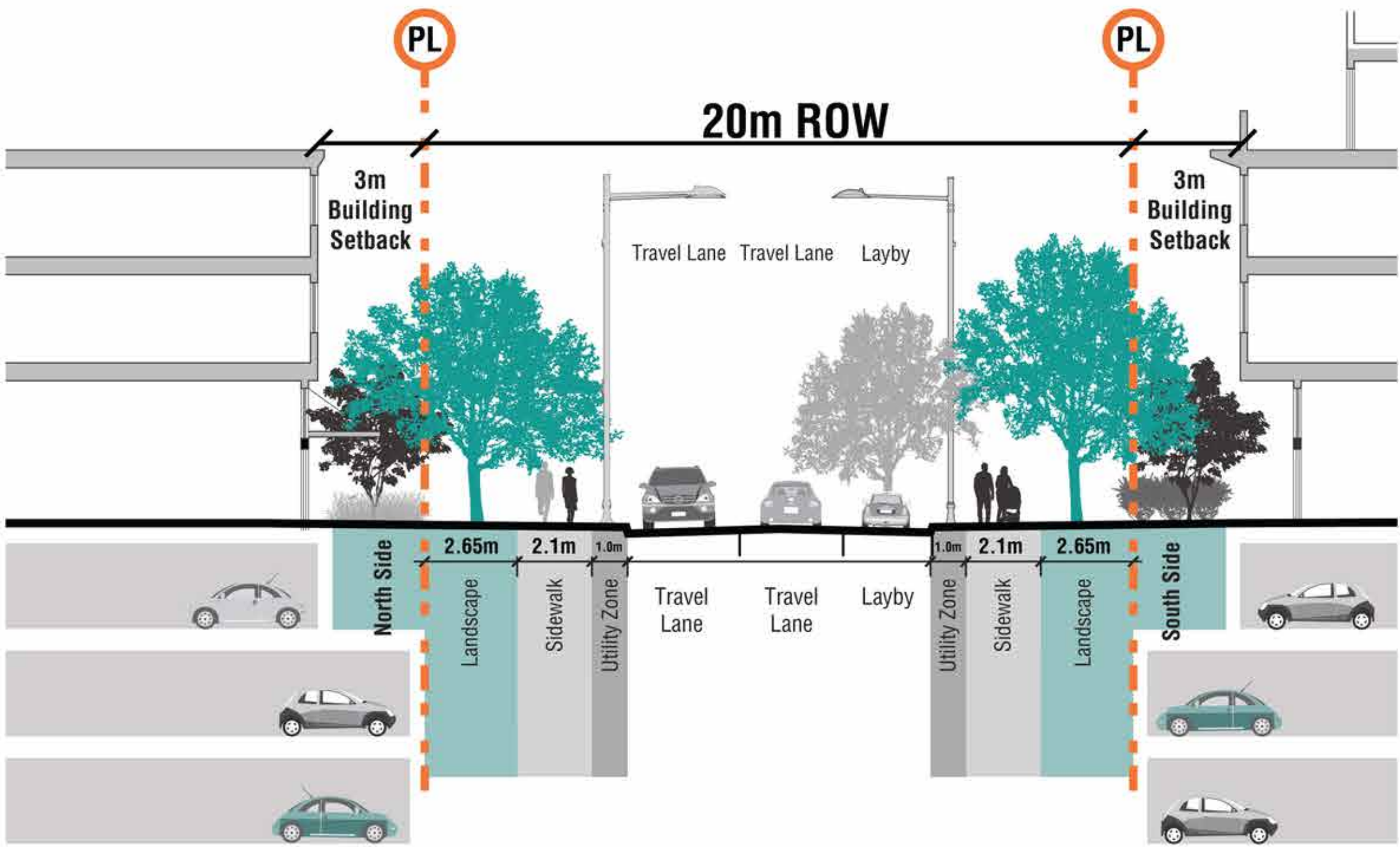
1 Brentcliffe Road



2 Eglinton Avenue East



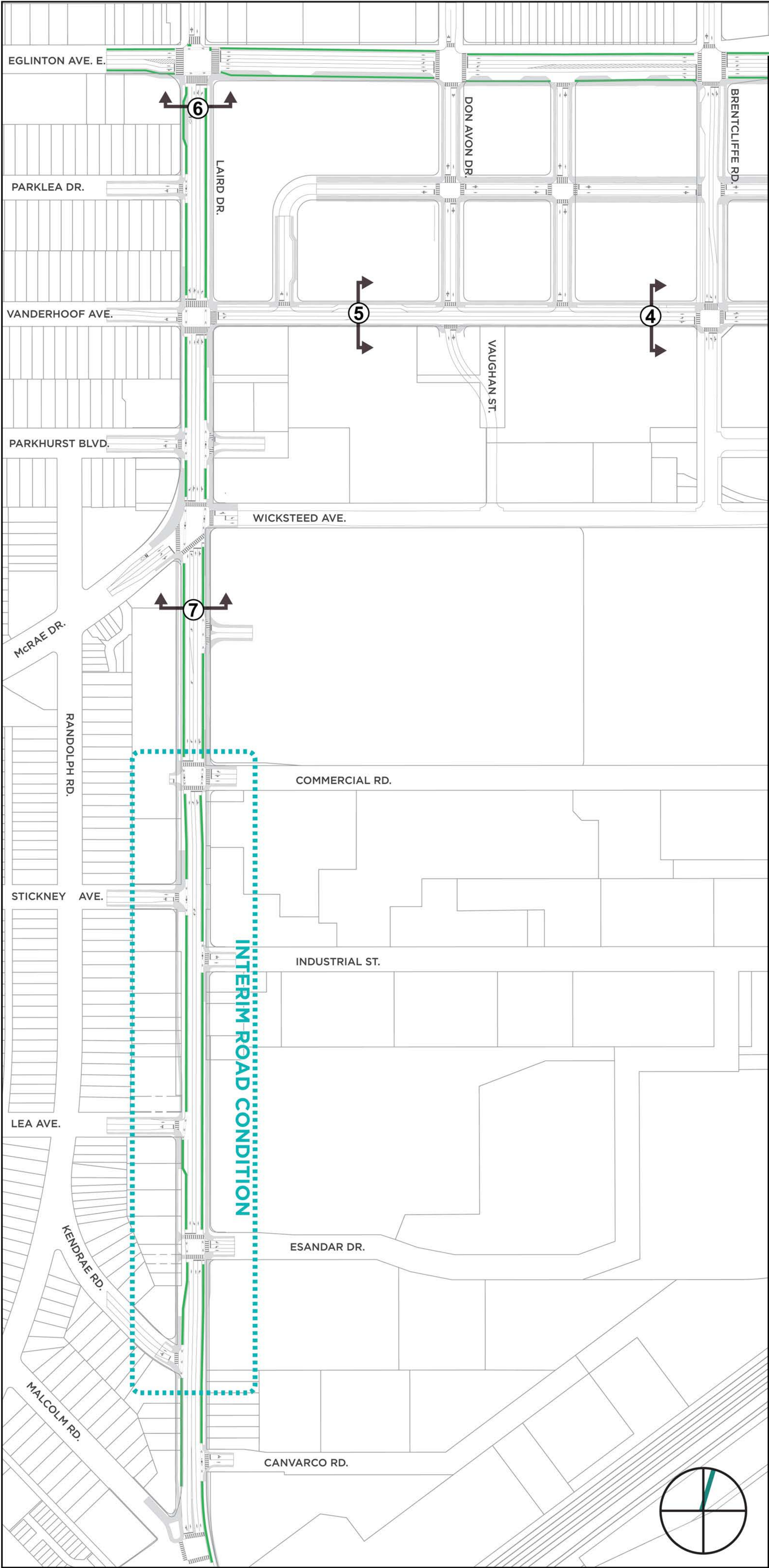
3 Midblock Street



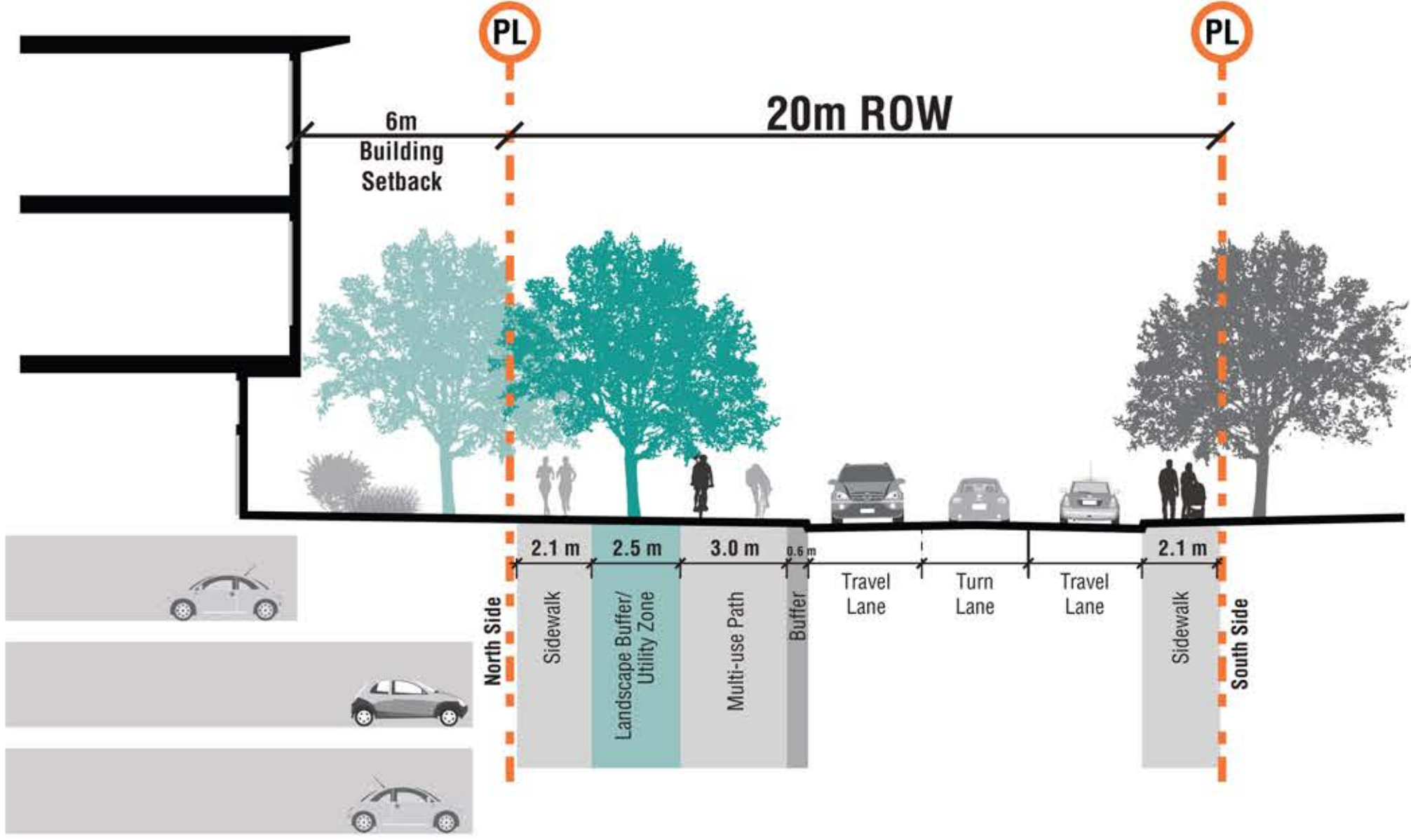
Note: conceptual cross-sections

Streetscapes

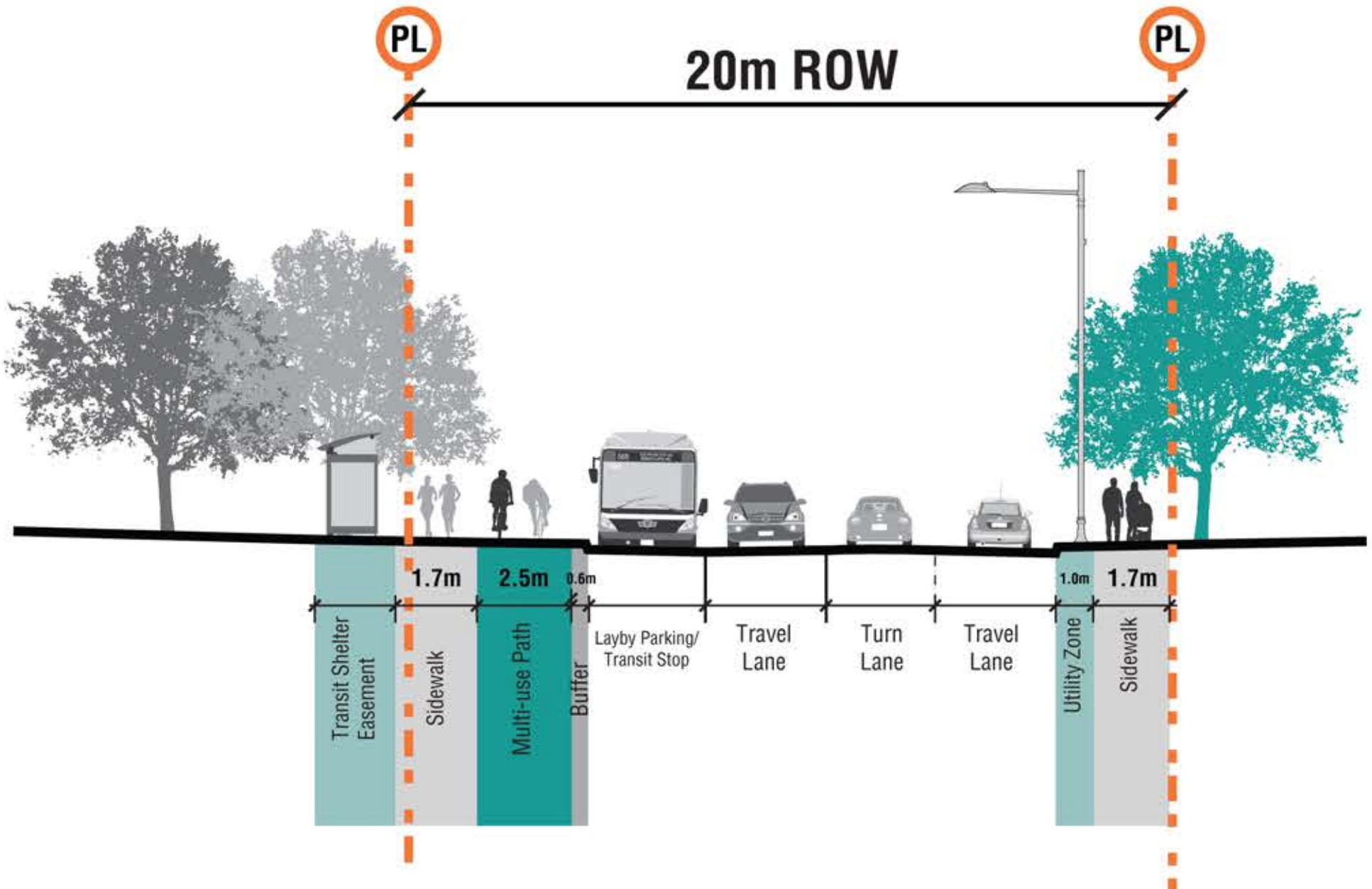
Laird in Focus



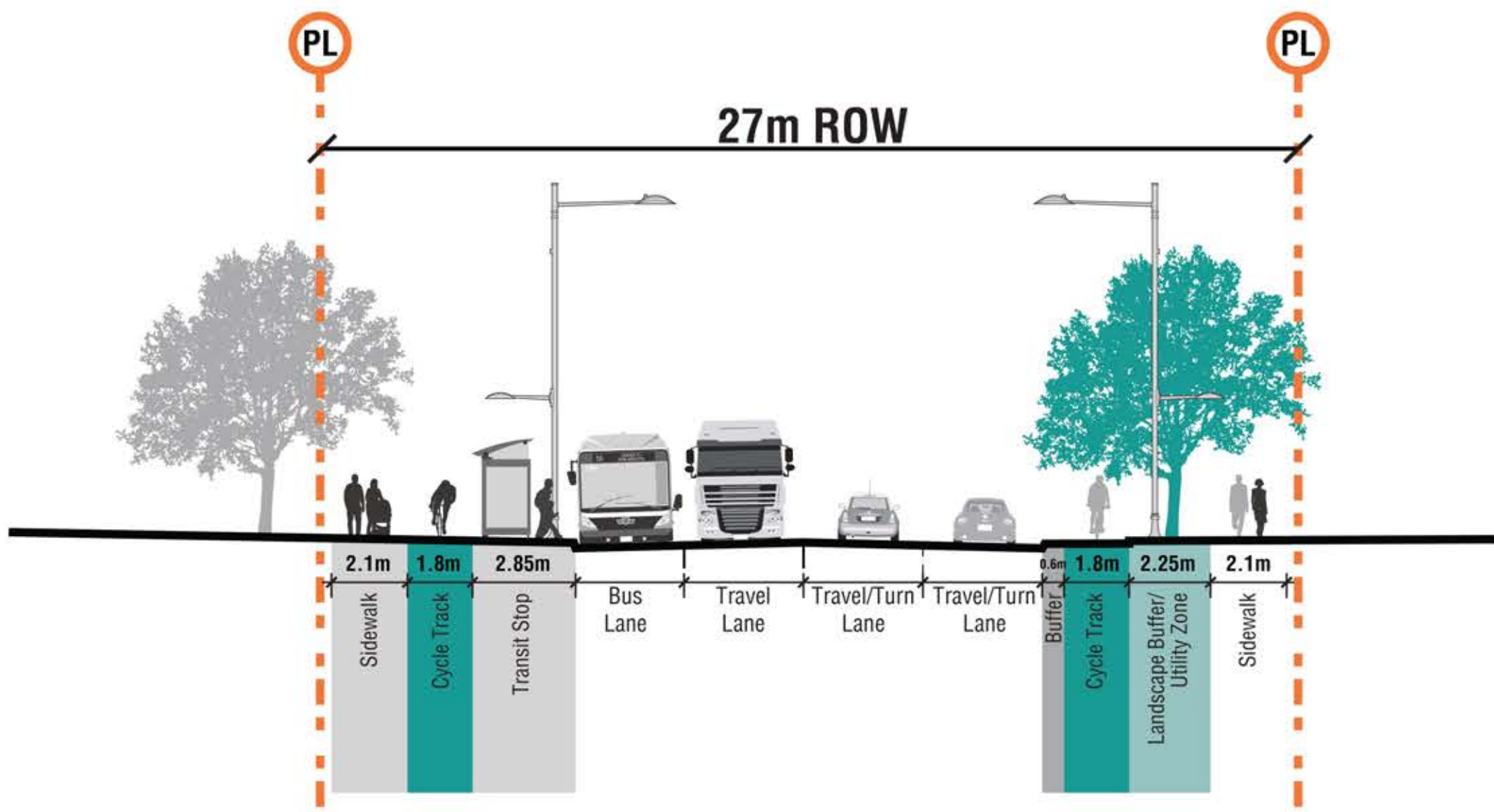
4 Vanerhoof Avenue



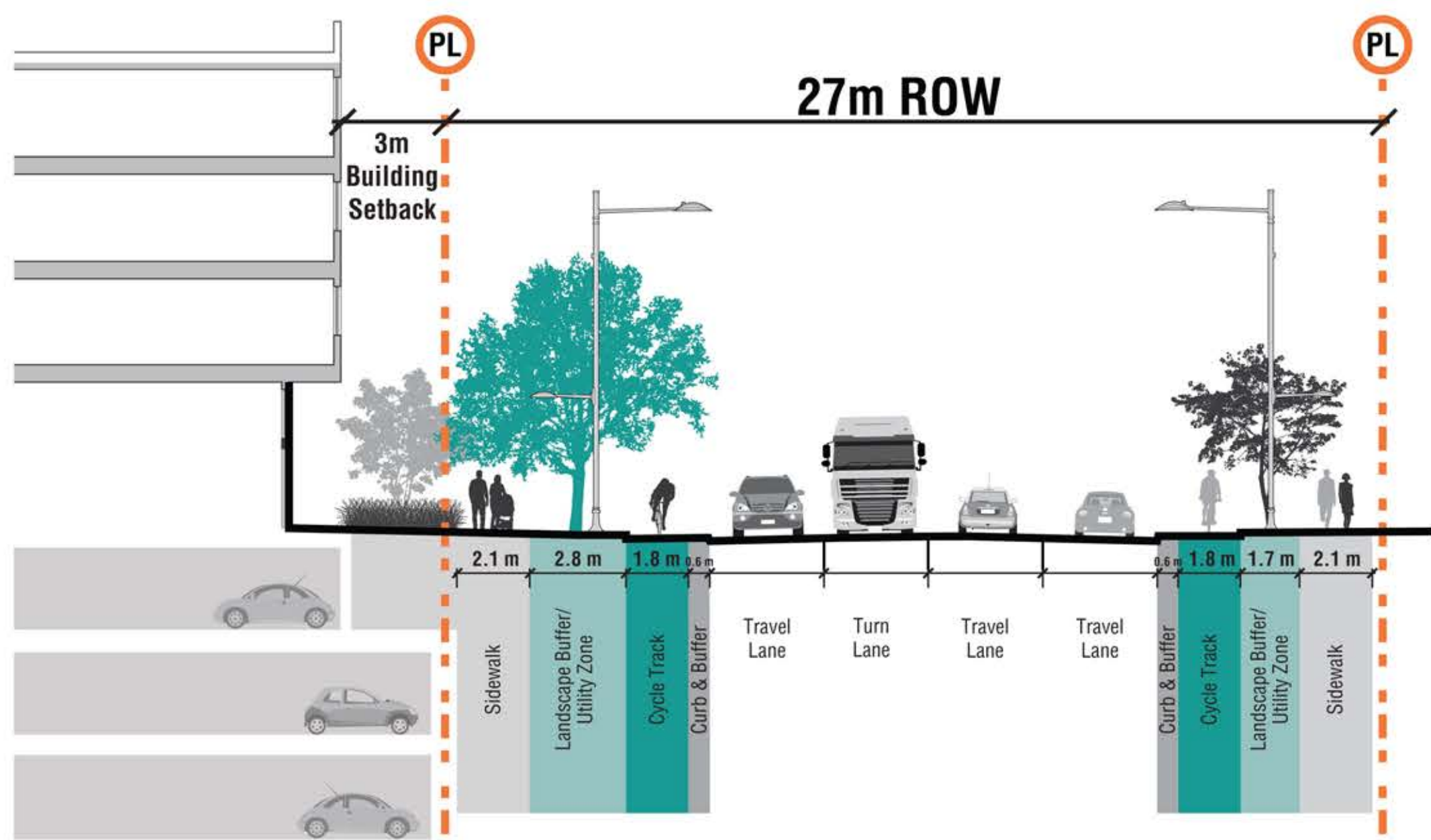
5 Vanderhoof Avenue with Layby Parking



6 Laird Drive: South of Eglinton Avenue East



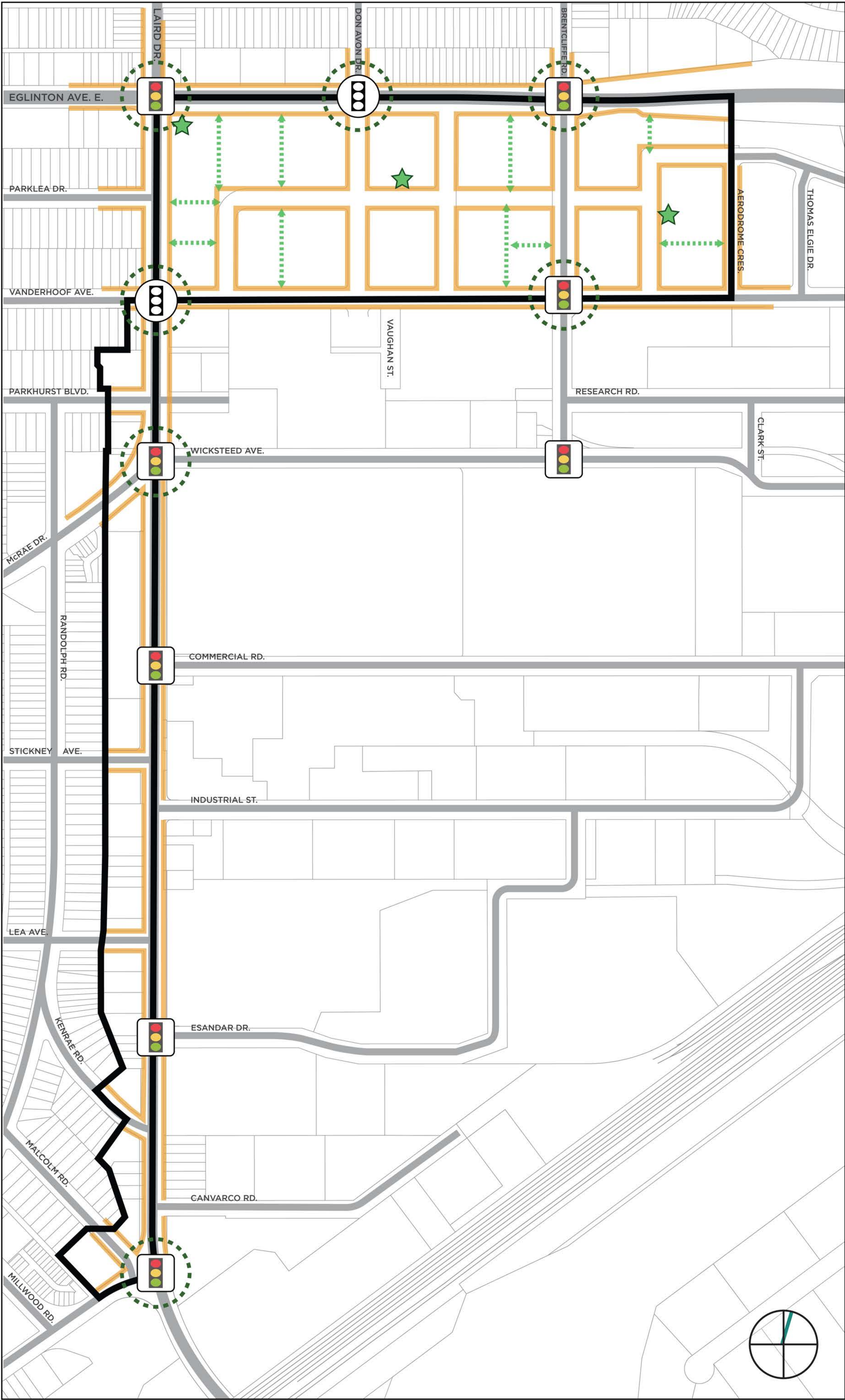
7 Laird Drive: McRae Dr. to Commercial Rd.



Note: conceptual cross-sections

Pedestrian Network

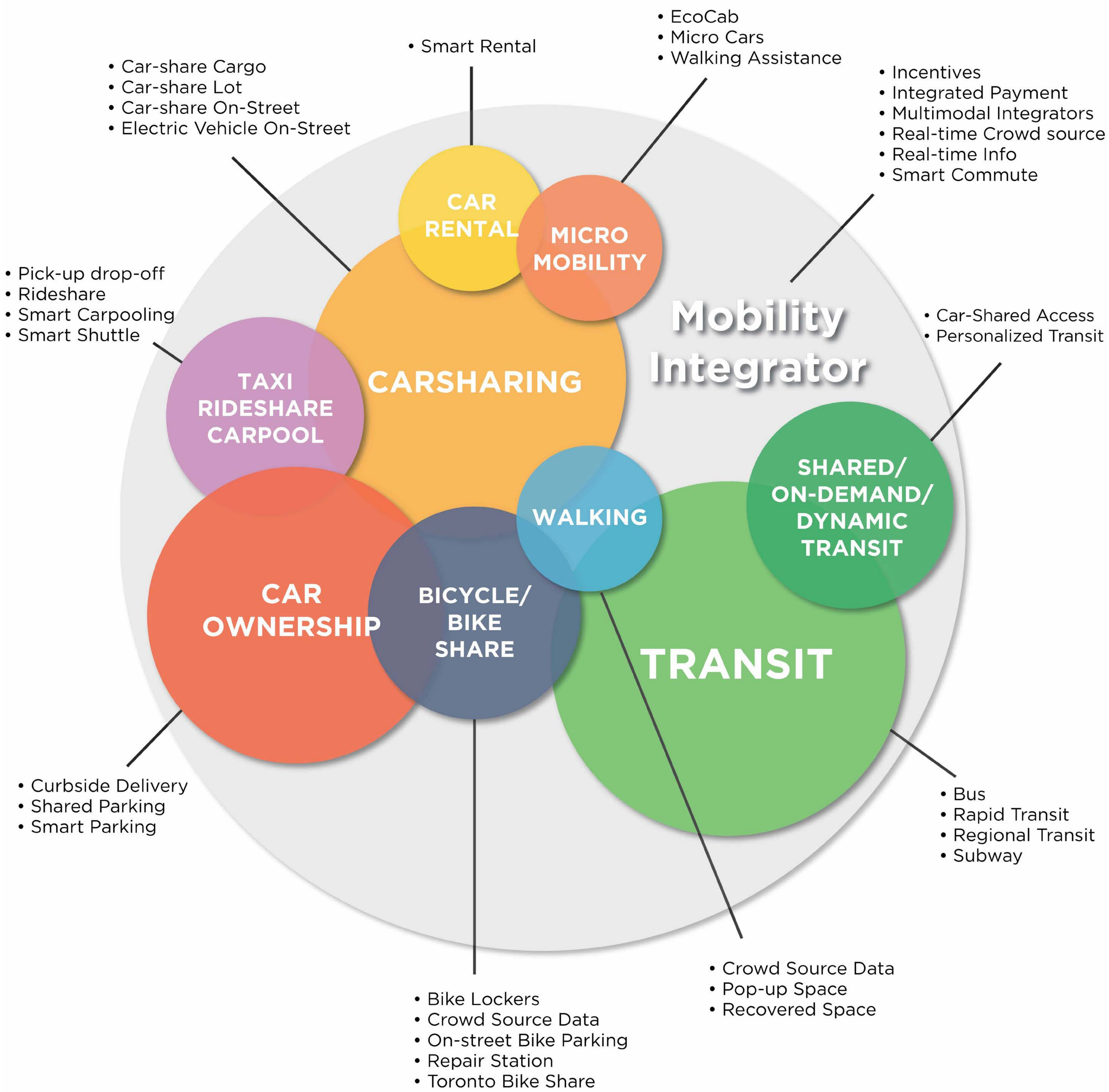
Laird in Focus



- Study Area Boundaries A and B
- Pedestrian Routes
- Midblock Pedestrian Connections
- Key Pedestrian Connections
- Proposed Signalized Intersections
- Existing Signalized Intersections
- Privately-Owned Publicly Accessible Spaces

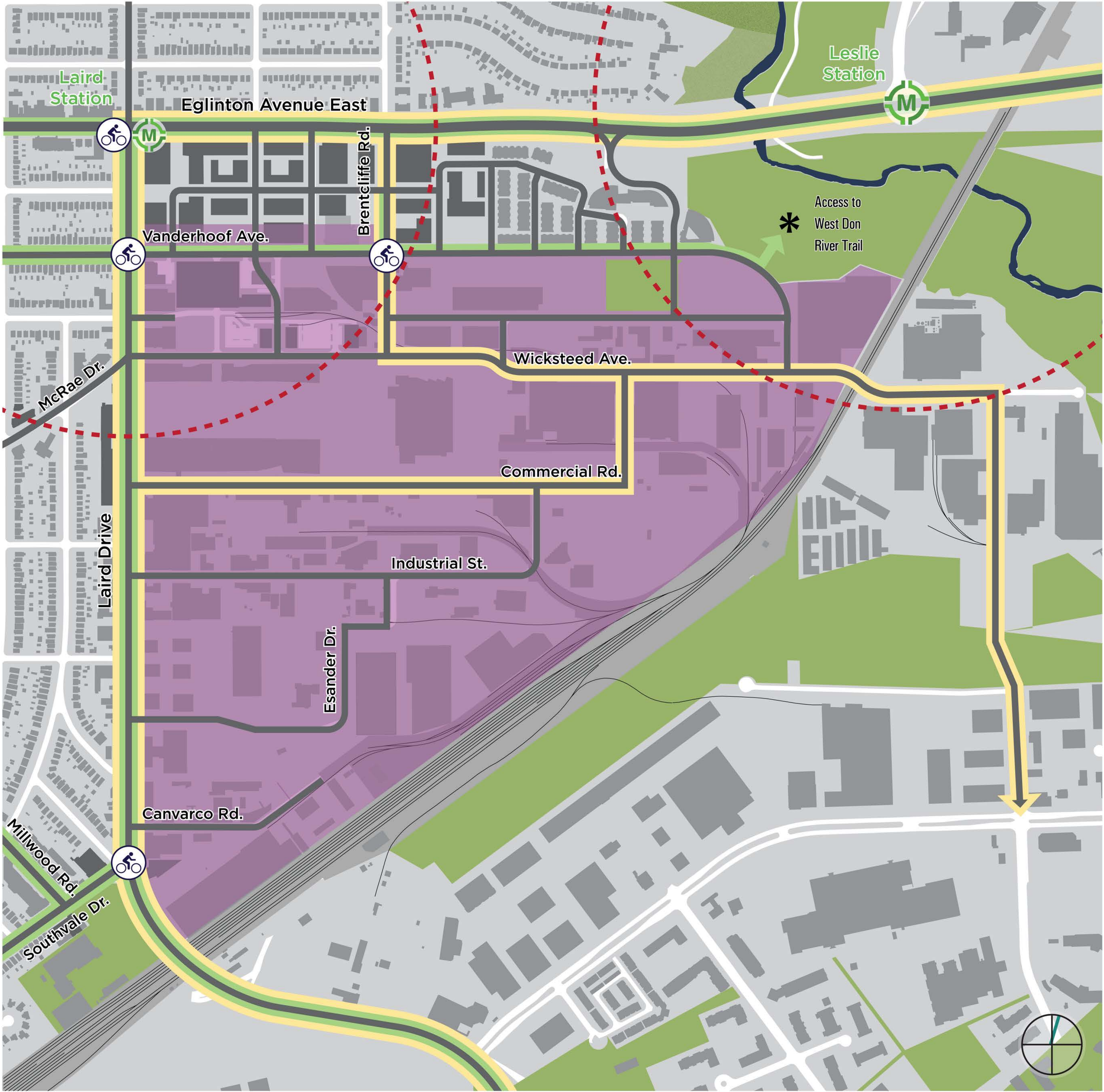
Transportation Demand Management Plan



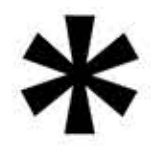
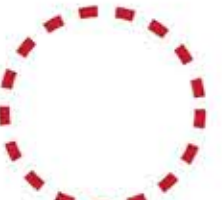



Laird in Focus



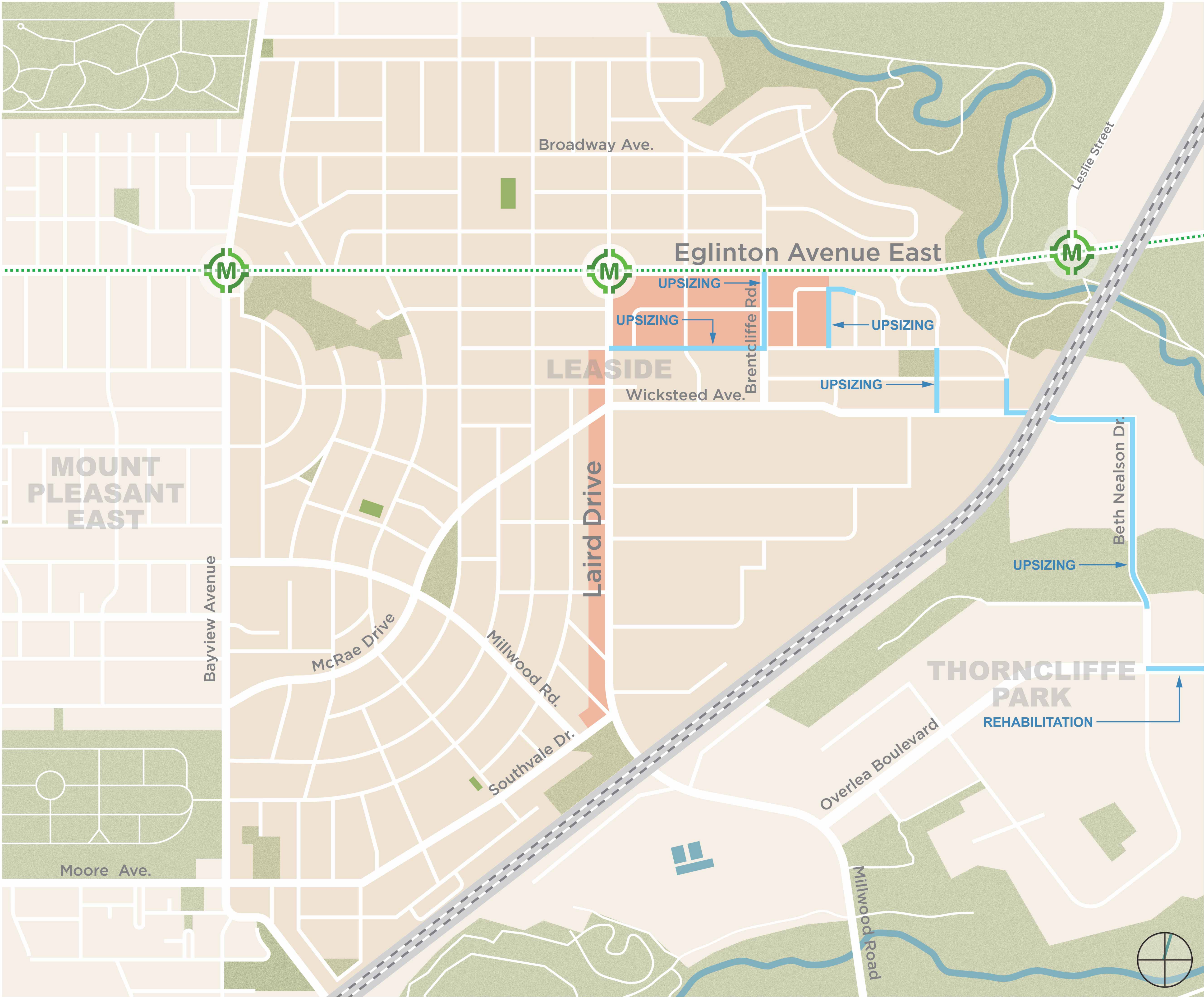
Movements Strategy

Laird in Focus



-  Eglinton Crosstown Light Rail Transit
-  Cycling Route
-  Future Connection to West Don River Trail
-  500-metre Walking Radius
-  Goods Movement Priority Road
-  Employment Lands
-  Cycling Interchange

Servicing Laird in Focus



Eglinton Crosstown Light Rail Transit



Study Area Boundaries A and B



Watermain Improvements

Servicing Analysis Summary

| | | Area A EGLINTON AVENUE EAST | Area B LAIRD DRIVE |
|----------|--|--|--|
| Water | | <ul style="list-style-type: none">Any high-rise intensification will trigger increases fire flow demands and watermain upgrades | <ul style="list-style-type: none">Stacked townhouse supportable with existing infrastructureAny other densities will trigger watermain improvements |
| Sanitary | | <ul style="list-style-type: none">No significant NET reduction to infrastructure due to unusually high inflow & infiltration from commercial developmentUnder existing conditions two segments fail to meet the City's level of service | N/A |
| Storm | | <ul style="list-style-type: none">Any development will improve existing conditions due to Wet Weather Management Flow Guidelines design requirements | N/A |
| Combined | | | <ul style="list-style-type: none">Development will reduce NET flow to combined sewer; No improvements necessary |