

# DECISION AND ORDER

**Decision Issue Date** Tuesday, November 05, 2019

PROCEEDING COMMENCED UNDER Section 53, subsection 53(19), and Section 45(12), subsection 45(1) of the Planning Act, R.S.O. 1990, c. P.13, as amended (the "Act")

Appellant(s): DEAN JASON PODOLSKY

Applicant: NOUSHIN MOZAFFARI

Property Address/Description: 393 HARBORD ST

Committee of Adjustment Case File: 18 240930 STE 19 CO, 18 240943 STE 19 MV, 18 240945 STE 19 MV

**TLAB Case File Number: 19 131196 S53 11 TLAB, 19 131199 S45 11 TLAB, 19 131200 S45 11 TLAB**

**Hearing date:** Monday, August 12, 2019

**DECISION DELIVERED BY SHAHEYNOOR TALUKDER**

## APPEARANCES

Name	Role	Representative
Noushin Mozaffari	Applicant	
Robin and Lewis Developments	Owner/Primary Owner	
Dean Podolsky	Appellant	Amber Stewart
City of Toronto	Party	Marc Hardiejowski/Michael Mahoney
Franco Romano	Expert Witness	
May Wang	Expert Witness	
Allan Miley	Expert Witness	
John Riddle	Participant	

## **INTRODUCTION**

1. Robin and Lewis Developments, owner of the property located at 393 Harbord Street (Subject Property), appeal the decisions of the Committee of Adjustments (COA). The COA's decisions denied the severance of the Subject Property into two residential lots and creating an access right-of-way. A semi-detached residential dwelling is proposed on the lots.
2. The City of Toronto (City) is a party to the proceeding. The City did not oppose the applications; however, it requires a specific condition imposed with respect to the approval of the variances. As such, the hearing proceeded as an unopposed hearing.
3. At the hearing, I had informed those present that I had visited the site of the Subject Area to familiarize myself with the Subject Property and the neighbourhood. The Subject Property is located near the intersection of Ossington Avenue and Harbord Street.

## **MATTERS IN ISSUE**

4. The application at the COA requested severance of the Subject Property into two residential lots.
5. One lot, defined as Parts 1 and 3, required the approval of variances listed in Attachment 1. The second lot, defined as Part 2, required the approval of variances listed in Attachment 2. Part 3 is subject to an easement/right-of-way for the purpose of vehicular access in favour of Part 2.
6. The Applicant proposed a list of conditions, which included standard consent conditions, to be attached to the approval of the consent and variances. This List of Conditions is attached to this decision as Attachment 3.
7. The site plans and elevations for Part 1 and Part 2 prepared by Hyphen Studio dated July 2018 are attached to this decision as Attachment 4. The List of Conditions in Attachment 3 refers to Attachment 4 as "Schedule 1".
8. The issue on appeal is whether the application for consent to sever and the variances for the two severed lots should be granted.

## **JURISDICTION**

### **Provincial Policy – S. 3**

9. A decision of the Toronto Local Appeal Body (TLAB) must be consistent with the 2014 Provincial Policy Statement (PPS) and conform to the Growth Plan for the Greater Golden Horseshoe for the subject area (Growth Plan).

**Consent – S. 53**

10. TLAB must be satisfied that a plan of subdivision is not necessary for the orderly development of the municipality pursuant to s. 53(1) of the Act and that the application for consent to sever meets the criteria set out in s. 51(24) of the Act. These criteria require that "regard shall be had, among other matters, to the health, safety, convenience, accessibility for persons with disabilities and welfare of the present and future inhabitants of the municipality and to,
- (a) the effect of development of the proposed subdivision on matters of provincial interest as referred to in section 2 of the Planning Act;
  - (b) whether the proposed subdivision is premature or in the public interest;
  - (c) whether the plan conforms to the official plan and adjacent plans of subdivision, if any;
  - (d) the suitability of the land for the purposes for which it is to be subdivided;
  - (d.1) if any affordable housing units are being proposed, the suitability of the proposed units for affordable housing;
  - (e) the number, width, location and proposed grades and elevations of highways, and the adequacy of them, and the highways linking the highways in the proposed subdivision with the established highway system in the vicinity and the adequacy of them;
  - (f) the dimensions and shapes of the proposed lots;
  - (g) the restrictions or proposed restrictions, if any, on the land proposed to be subdivided or the buildings and structures proposed to be erected on it and the restrictions, if any, on adjoining land;
  - (h) conservation of natural resources and flood control;
  - (i) the adequacy of utilities and municipal services;
  - (j) the adequacy of school sites;
  - (k) the area of land, if any, within the proposed subdivision that, exclusive of highways, is to be conveyed or dedicated for public purposes;

(l) the extent to which the plan's design optimizes the available supply, means of supplying, efficient use and conservation of energy; and

(m) the interrelationship between the design of the proposed plan of subdivision and site plan control matters relating to any development on the land, if the land is also located within a site plan control area designated under subsection 41 (2) of this Act or subsection 114 (2) of the City of Toronto Act, 2006. 1994, c. 23, s. 30; 2001, c. 32, s. 31 (2); 2006, c. 23, s. 22 (3, 4); 2016, c. 25, Sched. 4, s. 8 (2).

### **Minor Variance – S. 45(1)**

11. In considering the applications for variances from the Zoning By-laws, the TLAB Panel must be satisfied that the applications meet all of the four tests under s. 45(1) of the Act. The tests are whether the variances:

- maintain the general intent and purpose of the Official Plan;
- maintain the general intent and purpose of the Zoning By-laws;
- are desirable for the appropriate development or use of the land; and
- are minor.

## **EVIDENCE**

12. The Applicant called Franco Romano, a Registered Professional Planner, who I accepted as qualified to provide expert opinion evidence in the area of land use planning.

13. Mr. Romano testified that the Subject Property, similar to the properties on the south side of Harbord Street, is designated as Mixed Use in the OP and zoned for Commercial-Residential purposes. The properties in the north side of Harbord Street are designated as Neighbourhoods in the OP and also zoned for Commercial-Residential purposes. The applicable zoning by-laws are 438-86 and the Toronto harmonized zoning by-law 569-2013.

14. Mr. Romano's study area encompassed Harbord Street, between Ossington Avenue in the west and Melrose Avenue in the east, and by Bloor Street West in the north and College Street in the south. Harbord Street is a major street that has mixed land use character and lot fabric, with diverse lot sizes and FSI with a range above 2.0. There are lots with residential, retail and service/commercial uses along this street. The local roads connecting to Harbord Street are different, as the interior neighbourhood away from Harbord Street has a mixed low-rise residential character with a compact lot fabric.

15. Properties along Harbord Street and in the interior of this street have been experiencing regeneration. This regeneration includes severance of properties into new lots and residential developments such as semi-detached and townhouse buildings. Mixed Use Areas as recognized by the OP can experience intense forms

of developments with mid-rise to high rise buildings. However, in the case of Harbord Street, a less intense scale of development has occurred because smaller lots with smaller lot configuration and non-uniform lot depths limit the opportunity of larger scale constructions by way combining several parcels of land.

16. Mr. Romano described the proposal as a severance of the Subject Property into two lots on which a four storey semi-detached residential building will be constructed. The integral garages are at the back of the building and access to the garages would be through a driveway from the public lane that abuts the Subject Property's west side lot line.
17. Mr. Romano opined that the requested variances satisfy the four tests including OP policies 2.3.1, 3.1.2, 3.4.1, 4.5.1 and 4.5.2. He reviewed photographs of properties in the study area and COA decisions, and testified:
  - a. The proposed semi-detached building type, site design and built form features are compatible with the building types, site designs and built forms that are features of buildings in the study area. Semi-detached dwellings form part of the Harbord Street and properties on this street are not consistently residential or non-residential. The lot frontage fits within what is found in Harbord Street. The proposal maintains the overall general intent and purpose of the zoning by-laws, which is to achieve an orderly, compatible form of low-rise developments.
  - b. Parking is provided by way of rear integral garages, where the semi-detached building described as Part 2 (located at the east side of Subject Property) requires an easement (as described in Part 3) from Part 1 (on the west side of the Subject Property) to have access to the rear garage. The driveway from the laneway will minimize curb cuts along Harbord Street and would provide for access.
  - c. The proposed buildings have step backs at the back of the dwellings that limit the impacts of the building with respect to light, view and privacy onto the abutting properties. The first and second floors have the same length, with the third and fourth floors having step backs.
  - d. The Linden tree on the neighbouring property at 410 Roxton Road will experience minor injury such as pruning of branches. However, based on the Arborist Report (Exhibit 2), the tree will survive and be healthy. A permit to injure the tree will be required.
  - e. The zoning by-law requires a soft landscaping strip to buffer for commercial-residential developments. As the proposal does not contain any associated parking lots, service areas, etc., and as the garages are integral garages, this soft landscaping at the rear is not necessary.

- f. The driveway width is smaller than what is permitted by the zoning by-law 569-2013. However, the Applicant had submitted vehicle maneuvering materials that supports the building of the rear access and garage.
  - g. The first-floor variance requirement is triggered because the height requirement of 4.5m refers to a commercial first floor. The proposal is for residential units and therefore the ceiling height is appropriate for the building.
18. With respect to the consent to sever request, Mr. Romano opined that a plan of subdivision is not necessary. There is no road or other widening required and the neighbourhood near the Subject Site contains other lots with comparable lot sizes and configurations. The consent criteria of subsection 51(24) are also satisfied. The proposal is not premature as services are already available to accommodate the residential development. The proposal is within the public interest allowing for gentle intensification by way of residential development similar to the properties nearby to the Subject Property.
19. The City called May Wang, an Assistant Planner employed by the City of Toronto. She was qualified to provide expert opinion evidence on land use planning.
20. Ms. Wang supported the Applicant's proposal if the following condition is imposed:
- ...The third floor of the proposed semi-detached dwellings have a maximum building depth of 10 metres exclusive of the third-floor rear deck, as per the third-floor plan received by the Committee of Adjustment on January 7, 2019.
21. Ms. Wang opined that imposing this condition to limit depth will result in a positive built form that respects the character of the Subject Property's neighbourhood. This condition is included in the Applicant's List of Conditions (Attachment 3).

## **ANALYSIS, FINDINGS, REASONS**

22. I have accepted Mr. Romano's testimony in its entirety and therefore will not repeat his evidence in my analysis. I have also accepted Ms. Wang's opinion that the condition regarding the third-floor building depth should be imposed.
23. There are no policy concerns pursuant to the PPS and Growth Plan with respect to this matter.
24. Based on the evidence before me, I am satisfied that the proposal meets the criteria for consent to sever and for the approval of minor variances.

## **DECISION AND ORDER**

25. The appeal is allowed and the consent to sever is approved. The applications for variances for Part 1 and 3, and Part 2 as listed in Attachments 1 and 2 are approved, and are subject to the List of Conditions (Attachment 3). The List of Conditions is subject to the following minor clarification:

Schedule 1 in the List of Conditions refers to the Site Plan and Elevations prepared by Hyphen Studio, received by the COA on January 7, 2019 and attached to this decision as Attachment 4.

X 

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Shaheynoor Talukder  
Panel Chair, Toronto Local Appeal Body  
Signed by: Shaheynoor Talukder

**Attachment 1**

**Requested Variances to the Zoning By-Law for PARTS 1 and 3:**

**By-law 569-2013**

**1. Chapter 40.10.40.40.(1), By-law 569-2013**

The maximum permitted floor space index for residential use is 1.5 times the area of the lot (138.6 m<sup>2</sup>).

The new semi-detached dwelling will have a floor space index of 1.89 times the area of the lot (173.6 m<sup>2</sup>) for residential use.

**2. Chapter 40.10.50.10.(3), By-law 569-2013**

If a lot in the CR zone abuts a lot in the Residential Zone category, a 1.5 m strip of land used only for soft landscaping must be provided along the part of the lot line abutting the lot in the Residential Zone category.

In this case, no soft landscaping will be provided as required.

**3. Chapter 200.5.1.(3), By-law 569-2013**

The minimum width of a driveway is 6 m.

In this case, the driveway will be 4.86 m wide.

**4. Chapter 40.10.20.40.(1)(A) & 40.10.20.10.(1)(B), By-law 569-2013**

A semi-detached dwelling is not a permitted building type in a CR Zone.

In this case, a semi-detached dwelling will be located in a CR Zone.

**5. Chapter 40.5.40.70.(1), By-law 569-2013**

The minimum required setback of a building from the original centreline of a lane is 3.5 m, if the lot abutting the other side of the lane is in the Residential Zone category.

In this case, the roof eaves will be located 2.75 m from the centreline of the public lane, and the semi-detached dwelling will be 3.05 m from the centreline of the public lane.

**6. Chapter 40.10.30.20.(1), By-law 569-2013**

The minimum required lot frontage is 9 m.

In this case, the lot frontage will be 5.72 m.

**7. Chapter 40.10.40.10.(2)(A), By-law 569-2013**

The maximum permitted height of a building is 10 m.

The new semi-detached dwelling will have a height of 11.99 m.

**8. Chapter 40.10.40.10.(5), By-law 569-2013**

The minimum required height of the first storey, measured between the floor of the first storey and the ceiling of the first storey, is 4.5 m.

In this case, the height of the first storey will be 2.74 m.



**9. Chapter 40.10.40.70.(2)(B)(i), By-law 569-2013**

The minimum required rear lot line setback is 7.5 m.

The new semi-detached dwelling will be located 4.84 m from the rear lot line and the second storey rear deck will be located 3.01 m from the rear lot line.

**10. Chapter 40.10.40.70.(2)(E)(i), By-law 569-2013**

If a lot abuts a Residential Zone category, then every building on the lot in the CR Zone may not penetrate a 45 degree angular plane projected over a shallow lot, along the entire required rear yard setback, starting at a height of 10.5 m above the average elevation of the ground along the rear lot line.

The new semi-detached dwelling will penetrate the angular plane.

**11. Chapter 40.10.40.70.(4)(A), By-law 569-2013**

Any portion of a building with dwelling units located in the first storey a building must be setback at least 4.5 m from the front lot line.

The new semi-detached dwelling will be located 0 m from the front lot line.

**By-law 438-86**

**1. Section 4(2), By-law 438-86**

The maximum permitted building height is 10 m.

The new semi-detached dwelling will have a height of 11.99 m.

**2. Section 8(3) Part I 3(A), By-law 438-86**

The maximum permitted residential gross floor area is 1.5 times the area of the lot (138.6 m<sup>2</sup>).

In this case, the residential gross floor area on the lot will be 1.89 times the area of the lot (173.6 m<sup>2</sup>).

**3. Section 8(3) Part VII 1, By-law 438-86**

The minimum required frontage is 6 m.

In this case, the lot frontage will be 5.72 m.

**4. Section 4(14)(A), By-law 438-86**

The minimum required setback of a building from the centreline of a public lane is 3.5 m.

In this case, the roof eaves will be located 2.75 m from the centreline of the public lane and the building will be located 3.05 m from the centreline of the public lane.

## **Attachment 2**

### **Requested Variances to the Zoning By-Law for PART 2:**

#### **By-law 569-2013**

##### **1. Chapter 40.10.40.40.(1), By-law 569-2013**

The maximum permitted floor space index for residential use is 1.5 times the area of the lot (134.2 m<sup>2</sup>).

The new semi-detached dwelling will have a floor space index of 1.94 times the area of the lot (173.6 m<sup>2</sup>) for residential use.

##### **2. Chapter 40.10.50.10.(3), By-law 569-2013**

If a lot in the CR zone abuts a lot in the Residential Zone category, a 1.5 m strip of land used only for soft landscaping must be provided along the part of the lot line abutting the lot in the Residential Zone category.

In this case, no soft landscaping will be provided as required.

##### **3. Chapter 200.5.1.(3), By-law 569-2013**

The minimum width of a driveway is 6 m.

In this case, the driveway will be 4.86 m wide.

##### **4. Chapter 40.10.20.40.(1)(A) & 40.10.20.10.(1)(B), By-law 569-2013**

A semi-detached dwelling is not a permitted building type in a CR Zone.

In this case, a semi-detached dwelling will be located in a CR Zone.

##### **5. Chapter 40.10.40.60.(7)(B), By-law 569-2013**

Eaves may encroach into a required building setback a maximum of 0.9 m if they are no closer to a lot line than 0.3 m.

The roof eaves will be located 0.22 m from the east side lot line.

##### **6. Chapter 40.10.30.20.(1), By-law 569-2013**

The minimum required lot frontage is 9 m.

In this case, the lot frontage will be 5.47 m.

##### **7. Chapter 40.10.40.10.(2)(A), By-law 569-2013**

The maximum permitted height of a building is 10 m.

The new semi-detached dwelling will have a height of 11.99 m.

##### **8. Chapter 40.10.40.10.(5), By-law 569-2013**

The minimum required height of the first storey, measured between the floor of the first storey and the ceiling of the first storey, is 4.5 m.

In this case, the height of the first storey will be 2.74 m.

##### **9. Chapter 40.10.40.70.(2)(B)(i), By-law 569-2013**

The minimum required rear lot line setback is 7.5 m.

The new semi-detached dwelling will be located 4.86 m from the rear lot line and the second storey rear deck will be located 3.01 m from the rear lot line.

**10. Chapter 40.10.40.70.(2)(E)(i), By-law 569-2013**

If a lot abuts a Residential Zone category, then every building on the lot in the CR Zone may not penetrate a 45 degree angular plane projected over a shallow lot, along the entire required rear yard setback, starting at a height of 10.5 m above the average elevation of the ground along the rear lot line.

The new semi-detached dwelling will penetrate the angular plane.

**11. Chapter 40.10.40.70.(4)(A), By-law 569-2013**

Any portion of a building with dwelling units located in the first storey a building must be setback at least 4.5 m from the front lot line.

The new semi-detached dwelling will be located 0 m from the front lot line.

**By-law 438-86**

**1. Section 4(2), By-law 438-86**

The maximum permitted building height is 10 m.

The new semi-detached dwelling will have a height of 11.99 m.

**2. Section 8(3) Part I 3(A), By-law 438-86**

The maximum permitted residential gross floor area is 1.5 times the area of the lot (134.2 m<sup>2</sup>).

In this case, the residential gross floor area on the lot will be 1.94 times the area of the lot (173.6 m<sup>2</sup>).

**3. Section 8(3) Part VII 1, By-law 438-86**

The minimum required frontage is 6 m.

In this case, the lot frontage will be 5.47 m.

**CITY OF TORONTO**  
**- CONDITIONS OF APPROVAL FOR CONSENT TO SEVER & MINOR VARIANCE –**

**Consent to Sever**

1. Confirmation of payment of outstanding taxes to the satisfaction of Revenue Services Division, Finance Department.
2. Municipal numbers for the subject lots indicated on the applicable Registered Plan of Survey shall be assigned to the satisfaction of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
3. Two copies of the registered reference plan of survey integrated to NAD 83 CSRS (3 degree Modified Transverse Mercator projection), delineating by separate Parts the lands and their respective areas, shall be filed with the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services.
4. Three copies of the registered reference plan of survey satisfying the requirements of the Manager of Land and Property Surveys, Engineering Services, Engineering and Construction Services shall be filed with the Committee of Adjustment.
5. Within ONE YEAR of the date of the giving of this notice of decision, the applicant shall comply with the above-noted conditions and prepare for electronic submission to the Deputy Secretary-Treasurer of the Committee of Adjustment, the Certificate of Official, being Form 2 or Form 4, O. Reg. 197/96, referencing subsection 50(3) or (5) or subsection 53(42) of the *Planning Act*, as may be required, as it pertains to the conveyed land and/or consent transaction.

**Minor Variance**

1. The proposed dwellings shall be constructed substantially in accordance with the Site Plan, Elevations prepared by Hyphen Studio and received by the Committee of Adjustment on January 7, 2019, attached hereto as Schedule 1.
2. That the third floor of the proposed semi-detached dwellings have a maximum building depth of 10 metres exclusive of the third floor rear deck, as per the third floor plan received by the Committee of Adjustment on January 7, 2019 and attached hereto in Schedule 1.

**Urban Forestry**

3. The owner shall satisfy all matters relating to City and Privately-owned trees pursuant to Chapter 813 of the Municipal Code, Articles II and III, to the satisfaction of Urban Forestry.
4. Where there is no existing street tree, the owner shall provide payment in lieu of planting of one street tree on the City road allowance abutting each of the sites involved in the application. The current cash-in-lieu payment is \$583/tree.

**Transportation Services**

5. The owner shall apply to Transportation Services for a construction access permit with respect to construction to occur within the municipal road allowance abutting the subject lands.

393 HARBORD St.

PARTS OF LOTS 60 & 61  
REGISTERED PLAN D-198  
CITY OF TORONTO

THE INFORMATION FOR THIS SITE PLAN HAS BEEN OBTAINED FROM A COPY OF A SURVEY PLAN PREPARED BY AKSAN PILLER CORPORATION LTD. LAND SURVEYOR DATED JUNE 28, 2018.THE INFORMATION SHOWN HEREON, INCLUDING GRADES SHALL NOT BE USED FOR ANY LEGAL / ZONING / OR CONSTRUCTION PURPOSE WITHOUT CONFIRMING THE ACCURACY THEREOF BY REFERENCE TO THE APPLICABLE SURVEY.

GENERAL SITE INFORMATION

- REFER TO ALL APPLICABLE LANDSCAPING & SEPTIC SYSTEM PLANS & SPECIFICATIONS TO BE SUPPLIED BY OWNER FOR ADDITIONAL, DETAILED SITE RELATED WORKS AND INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION AND CONNECTION FEES AND PERMITS REQUIRED FOR BUILDING SERVICES, INCLUDING ENTRANCES, HYDRO, WELL, SEPTIC, TELEPHONE, ETC. AS WELL AS THE INSTALLATION OF SUCH BUILDING SERVICES.
- ALL ENTRANCE AND EXIT RAMPS ACROSS BOULEVARDS SHALL BE PAVED OR OTHERWISE FINISHED TO APPLICABLE MUNICIPAL STANDARDS AND SPECIFICATIONS.
- WHERE PAVING IS INDICATED, ALL DRIVE AND PARKING SURFACES SHALL BE PAVED WITH 100mm HOT MIXED, HOT LAID, ASPHALT (25mm HL3) & (75mm HL8) ON MINIMUM 150mm GRANULAR "A" & 300mm GRANULAR "B".
- ALL FILL & GRAUNULAR MATERIAL UNDER DRIVES, PARKING AREAS, AND SIDEWALKS SHAL BE COMPACTED TO 100% S.P.M.D.D. ( MIN. 8" GRANULAR )
- UNLESS OTHERWISE AGREED TO IN WRITING, THE OWNER ASSUMES RESPONSIBILITY FOR THE SUITABILITY OF ALL SOIL CONDITIONS. ALL DESIGNS HAVE BEEN BASED ON THE EXISTING UNDISTURBED SOIL HAVING AN ALLOWABLE BEARING CAPACITY OF 4000 P.S.F.
- ALL UTILITIES WHICH OBSTRUCT ENTRANCES SHALL BE RELOCATED AS REQUIRED TO APPLICABLE AUTHORITIES SPECIFICATIONS.
- ALL SITE WORKS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CITY OF MARKHAM STANDARDS, SPECIFICATIONS, AND DETAILS WHICH SHALL BE DEEMED TO FORM PART OF THIS SITE PLAN.
- ALL SURFACE DRAINAGE SHALL BE CONFINED WITHIN THE BOUNDRAIES OF THE OWNER'S PROPERTY EXCEPT AS SPECICALLY INDICATED.
- EXISTING GRADING & DRAINGE PATTERNS SHALL NOT BE ALTERED OR DISTURBED IN ANY WAY EXCEPT AS SHOWN IN THE AREA OF THE NEW RESIDENCE AND ASSOCIATED DRIVEWAY, ETC.
- MINIMUM SLOPES FOR GRASSED AREAS 1.5%, MINIMUM SLOPES FOR PAVED OR SURFACED AREAS 1.0% (EXCEPT AS SHOWN OTHER WISE.)

BUILDING AND ZONING

THE SUBJECT PROPERTY IS ZONED "CR 1.5 ( C 0.5 / R 1.5) SS2 ( X1722)" PER MARKHAM ZONING BY-LAW 569-2013

Site Analysis

Lot Frontage	11.19 m	
Lot Area	181.8 m²	1957 s.f.
Average Grade of CL of Road	109.00	
Establish Grade	109.15	

Setbacks

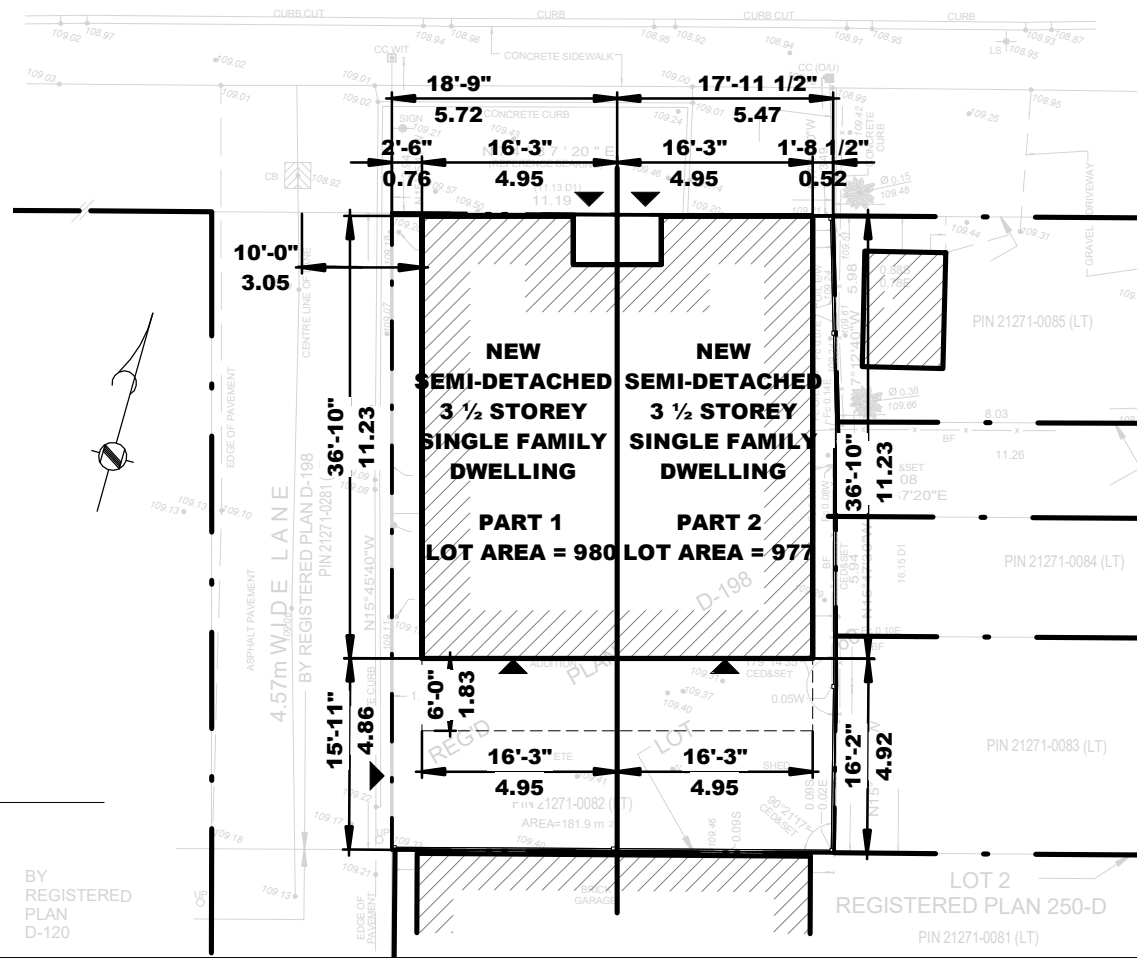
	Allowed	Proposed
Front Yard Setback		0.00 m
Side Setback(East)		0.52 m
Side Setback(West)		0.76 m
Rear Yard Setback		4.86 m
Building Length		11.23 m
Building Depth		11.23 m
Building Height		12.00 m

Building Area Analysis(Part A)

		Metric	Imperial
Lot Area		92.2 m²	993 sf²
Lot Coverage(A)	% 60.3	55.61 m²	598.54 ft²
1st Floor(A)		28.71 m²	309 ft²
2nd Floor(A)		54.23 m²	584 ft²
3rd Floor(A)		49.57 m²	534 ft²
4th Floor(A)		41.08 m²	442 ft²
Gross Floor Area(GFA)		173.58 m²	1868 ft²
Floor Space Index(FSI)		1.89	
Basement(A)		-----	-----
Garage(A)		25.52 m²	275 ft²
Provided Parking Spaces			1.5

Building Area Analysis(Part B)

		Metric	Imperial
Lot Area		89.5 m²	964 ft²
Lot Coverage(B)	% 62.2	55.61 m²	598.54 ft²
1st Floor(B)		28.71 m²	309 ft²
2nd Floor(B)		54.23 m²	584 ft²
3rd Floor(B)		49.57 m²	534 ft²
4th Floor(B)		41.08 m²	442 ft²
Gross Floor Area(GFA)		173.58 m²	1868 ft²
Floor Space Index(FSI)		1.94	
Basement(B)		-----	-----
Garage(B)		25.52 m²	275 ft²
Provided Parking Spaces			1.5



1 LAND TABLE PLAN

Scale: 1/16" = 1'-0"



Project: 393 HARBORD St.  
TORONTO ONTARIO

Submission Chart			
No.	Date:	Issued For:	By:
1	18-08-02	CLIENT REVIEW	
2	18-08-20	ZONING REVIEW	
3			
4			
5			
6			
7			
8			
9			

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Sheet Title: SITE ANALYSIS

Drawn:	Author	Sheet No:
Checked:	Checker	
Project No:	16-146	
Date:	JULY 2018	
Scale:	As indicated	

A0-00

# HARBORD STREET (TRAVELLED ROAD)

(BY BY-LAW 5240, INSTRUMENT No. 43425 J)

PIN 21270-0035 (LT)

LOT 63

LOT 62



**RECEIVED**

By Committee of Adjustment TEY at 9:30 am, Jan 07, 2019

Project:

**393 HARBORD St.**

TORONTO ONTARIO

Submission Chart

No.	Date:	Issued For:	By:
1	18-08-02	CLIENT REVIEW	
2	18-08-20	ZONING REVIEW	
3	18-11-16	AS PER SURVEY	
4			
5			
6			
7			
8			
9			

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info@Hyphenstudio.co  
(+1)647-869-9356 (+1)647-9796879

Sheet Title:

**SITE PLAN**

Drawn: Author  
Checked: Checker  
Project No: 16-146  
Date: JULY 2018  
Scale: As indicated

Sheet No:

**A1-00**

No. 397

SETBACK FROM LANE CENTRELINE

4.57m WIDE LANE

BY REGISTERED PLAN D-198  
PIN 21271-0281 (LT)

R.O.W IN, OVER ALONG &  
UPON THE MOST SOUTHERLY  
4.86 m OF THE LAND  
PROVIDING GARAGE ACCESS  
FOR PART 2

**1 SITE PLAN**

Scale: 1 : 100

BY  
REGISTERED  
PLAN

**NEW  
SEMI-DETACHED  
3 1/2 STOREY  
SINGLE FAMILY  
DWELLING**

**PART 1  
LOT AREA = 980.46 s.f.**

**NEW  
SEMI-DETACHED  
3 1/2 STOREY  
SINGLE FAMILY  
DWELLING**

**PART 2  
LOT AREA = 977.17 s.f.**

**109.30  
GARAGE  
ENTRANCE**

**GARAGE  
ACCESS**

6' HEIGHT FENCE

**109.30  
GARAGE  
ENTRANCE**

6' HEIGHT FENCE

PERMEABLE MATERIAL FOR  
DRIVE-WAY/BACKYARD

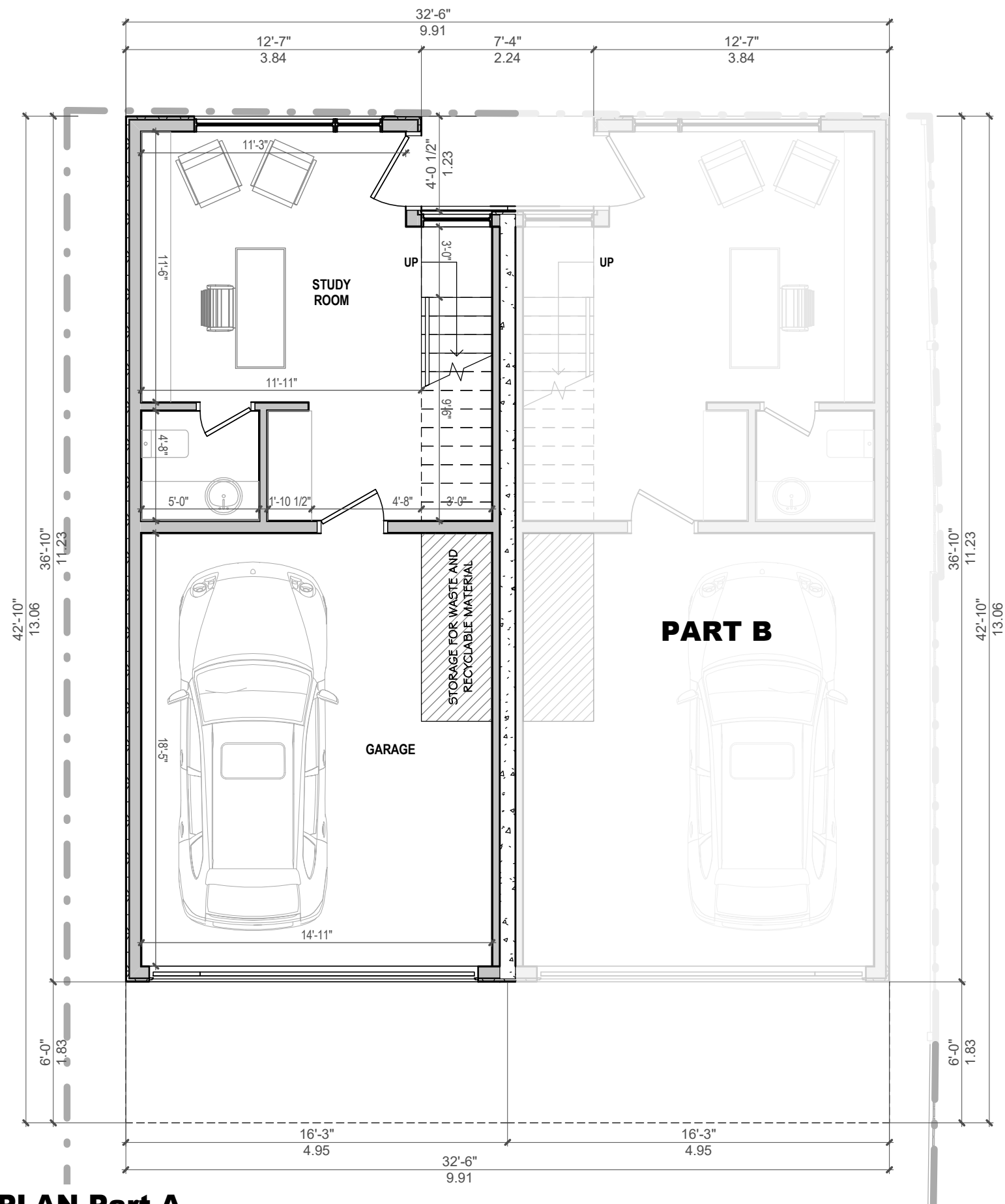
PIN 21271-0085 (LT)

PIN 21271-0084 (LT)

PIN 21271-0083 (LT)

LOT 2  
REGISTERED PLAN 250-D





# 1 MAIN FLOOR PLAN-Part A

Scale: 3/16" = 1'-0"



Project: **393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart			
No.	Date:	Issued For:	By:
1	18-08-02	CLIENT REVIEW	
2	18-08-20	ZONING REVIEW	
3			
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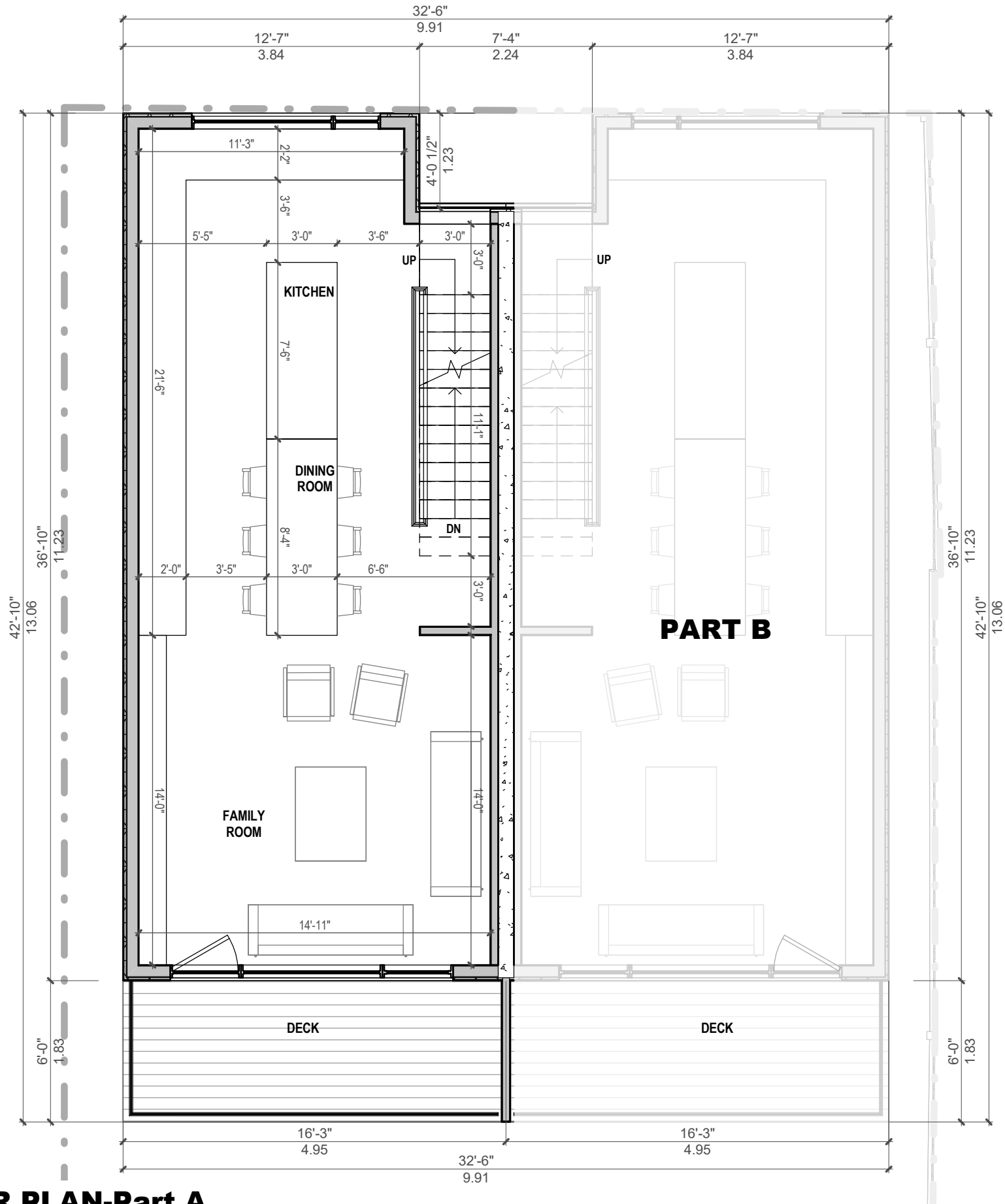
**HYPHEN** STUDIO

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Sheet Title: **MAIN FLOOR PLAN**

Drawn: <u>Author</u>	Sheet No:
Checked: <u>Checker</u>	
Project No: <u>16-146</u>	
Date: <u>JULY 2018</u>	<b>A1-02-A</b>
Scale: <u>As indicated</u>	





**1 2nd FLOOR PLAN-Part A**

Scale: 3/16" = 1'-0"

Project:

**393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart

No.	Date:	Issued For:	By:
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STUDIO

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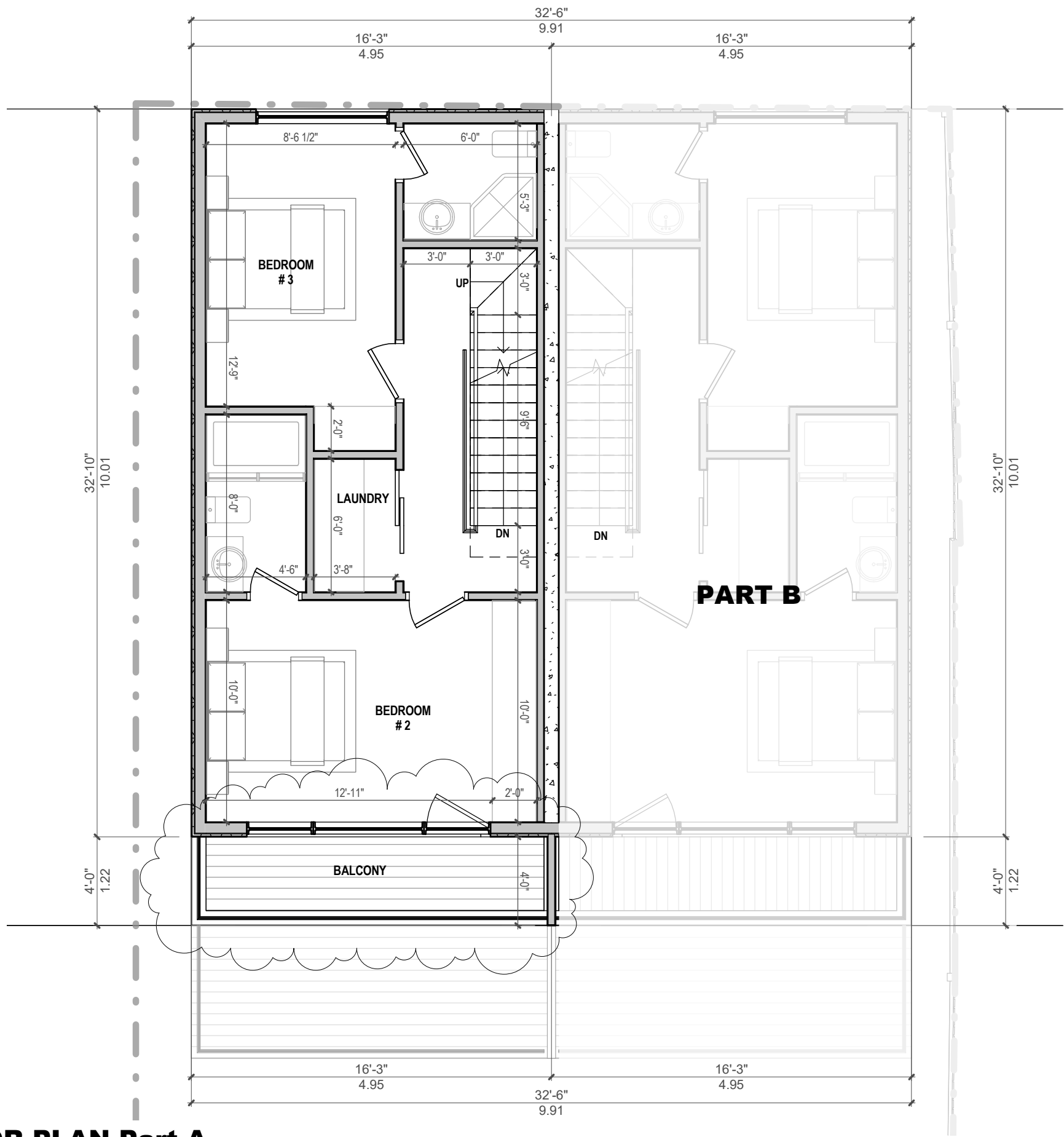
Sheet Title:

**2ND FLOOR PLAN**

Drawn: Author  
Checked: Checker  
Project No: 16-146  
Date: JULY 2018  
Scale: 3/16" = 1'-0"

Sheet No:

**A1-03-A**



**1 3rd FLOOR PLAN-Part A**

Scale: 3/16" = 1'-0"

Project:

**393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart

No.	Date:	Issued For:	By:
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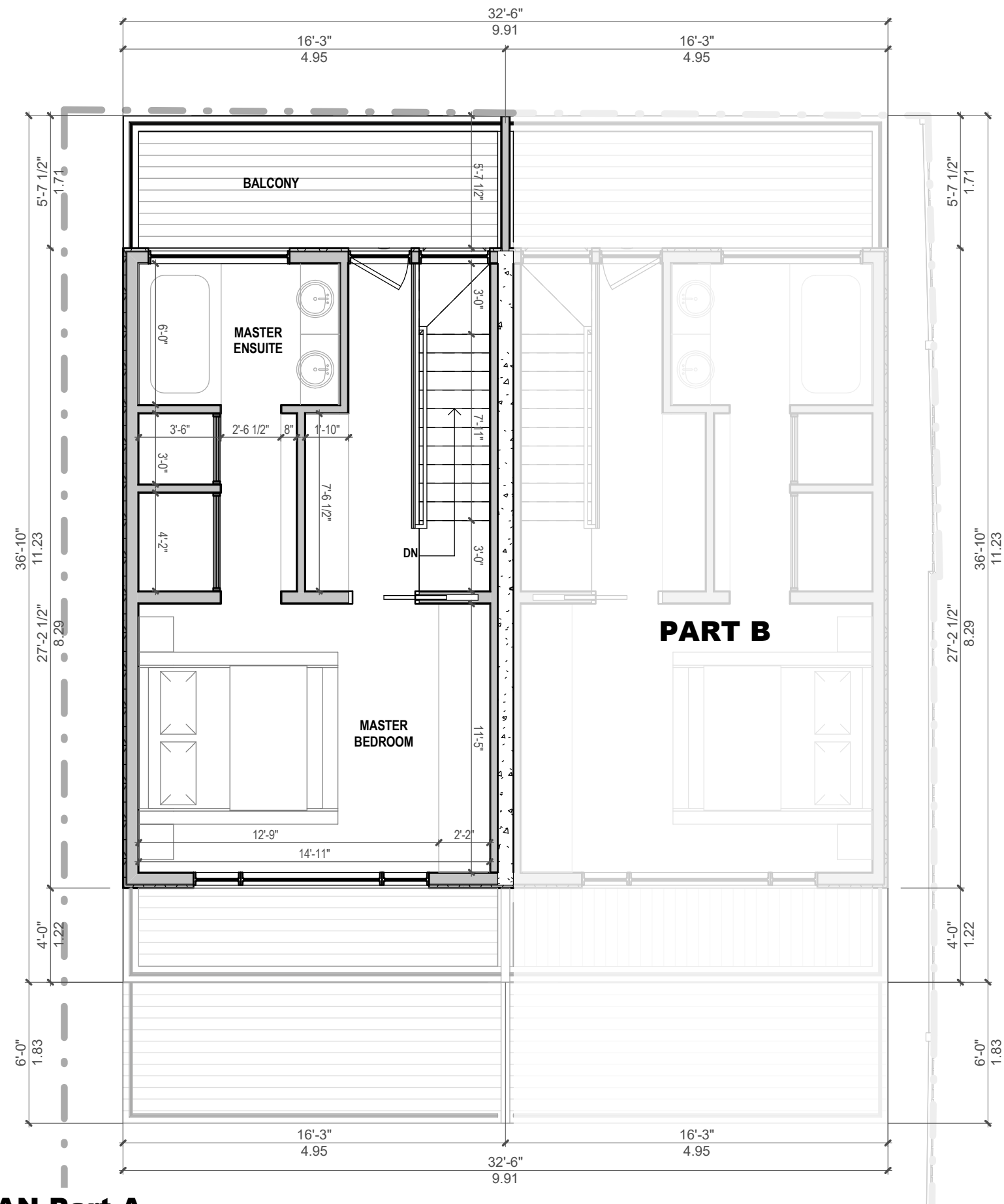
3429 Yonge St., Toronto, ON, M4N 2N1  
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Sheet Title:

**3RD FLOOR PLAN**

Drawn:	Author	Sheet No:
Checked:	Checker	
Project No:	16-146	
Date:	JULY 2018	
Scale:	3/16" = 1'-0"	

**A1-04-A**



# 1 4th FLOOR PLAN-Part A

Scale: 3/16" = 1'-0"

Project:

**393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart

No.	Date:	Issued For:	By:
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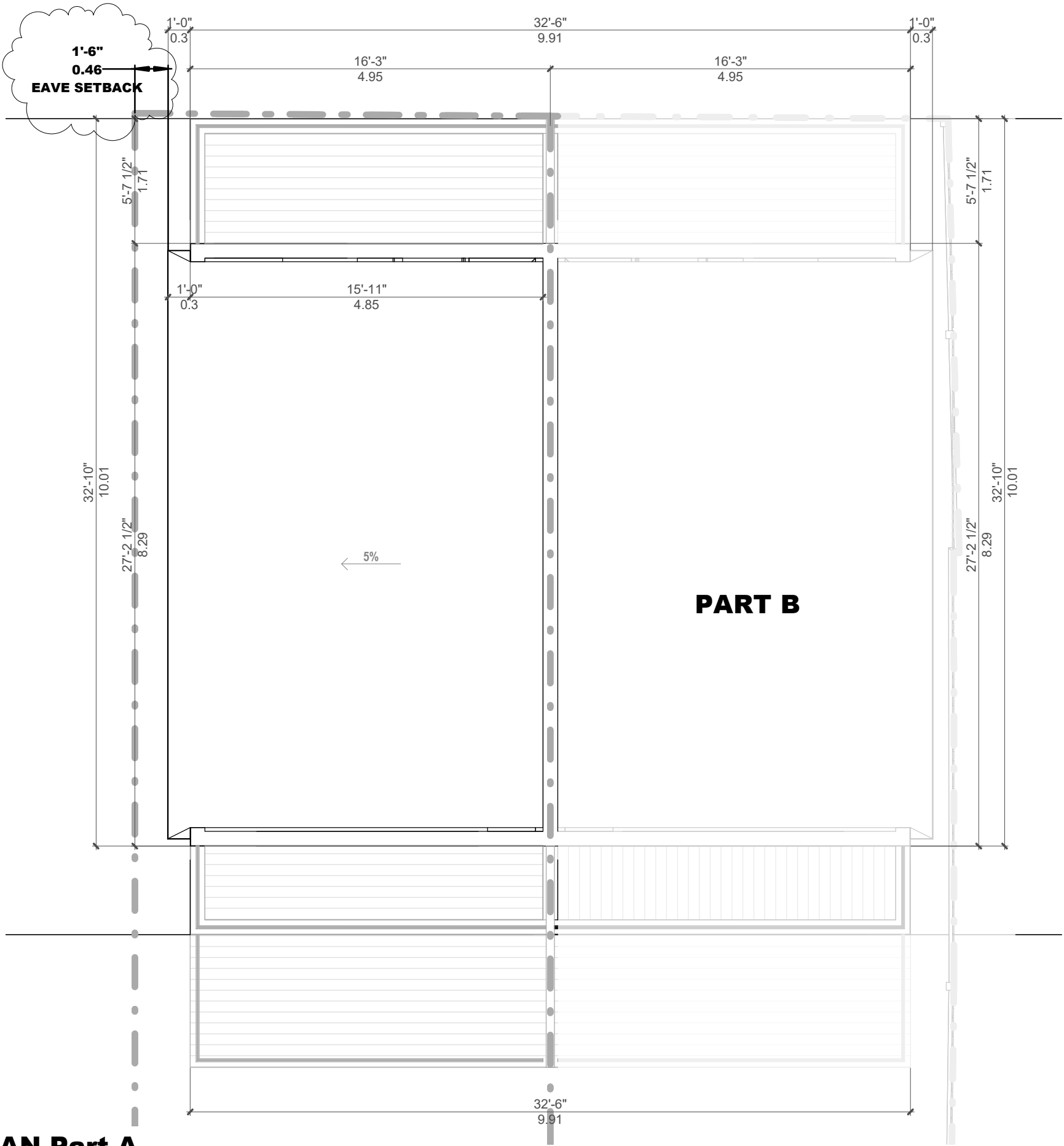
Sheet Title:

**4TH FLOOR PLAN**

Drawn: Author  
Checked: Checker  
Project No: 16-146  
Date: JULY 2018  
Scale: 3/16" = 1'-0"

Sheet No:

**A1-05-A**



1

ROOF PLAN-Part A

Scale: 3/16" = 1'-0"

Project: **393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart			
No.	Date:	Issued For:	By:
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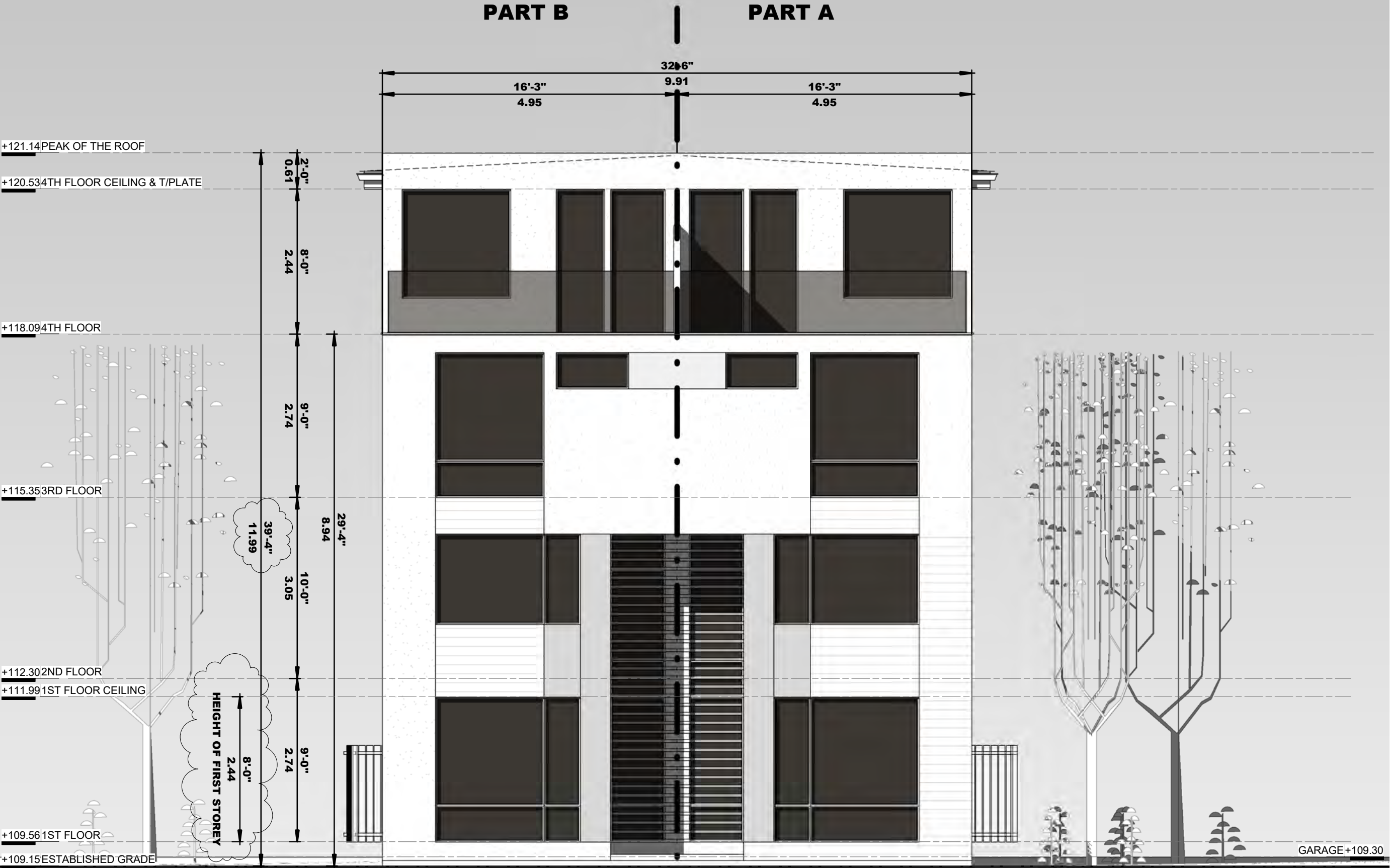


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Sheet Title: **ROOF PLAN**

Drawn: <b>Author</b>	Sheet No:
Checked: <b>Checker</b>	
Project No: <b>16-146</b>	
Date: <b>JULY 2018</b>	
Scale: <b>3/16" = 1'-0"</b>	

**A1-06-A**



**1 NORTH ELEVATION**  
**Scale: 3/16" = 1'-0"**

STUCCO SHALL BE APPLIED IN ACCORDANCE WITH O.B.C. 9.28 AND MANUFACTURER'S SPECIFICATIONS. ALL ALUMINUM FLASHING TRIM AND WEEP SCREEDS SHALL BE SEPERATED FROM STUCCO BY AN IMPERVIOUS MEMBERANE OR COATING. STUCCO SHALL BE NOT LESS THAN 200mm ABOVE FINISHED GROUND LEVEL, EXCEPT WHEN IT IS APPLIED OVER CONCRETE OR MASONARY STUCCO LATH SHALL BE HELD NOT LESS THAN 6mm AWAY FROM THE BACKING BY MEANS OF SUITABLE SELF-FURRING DEVICES. AT BASE OF WALL AND OVER ALL WINDOWS AND DOORS, A WEEP SCREED SHALL BE INSTALLED TO PROVIDE ADEQUATE DRAINAGE AS PER MANUFACTURER'S SPECIFICATIONS.

Project: **393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart			
No.	Date:	Issued For:	By:
1	18-08-02	CLIENT REVIEW	
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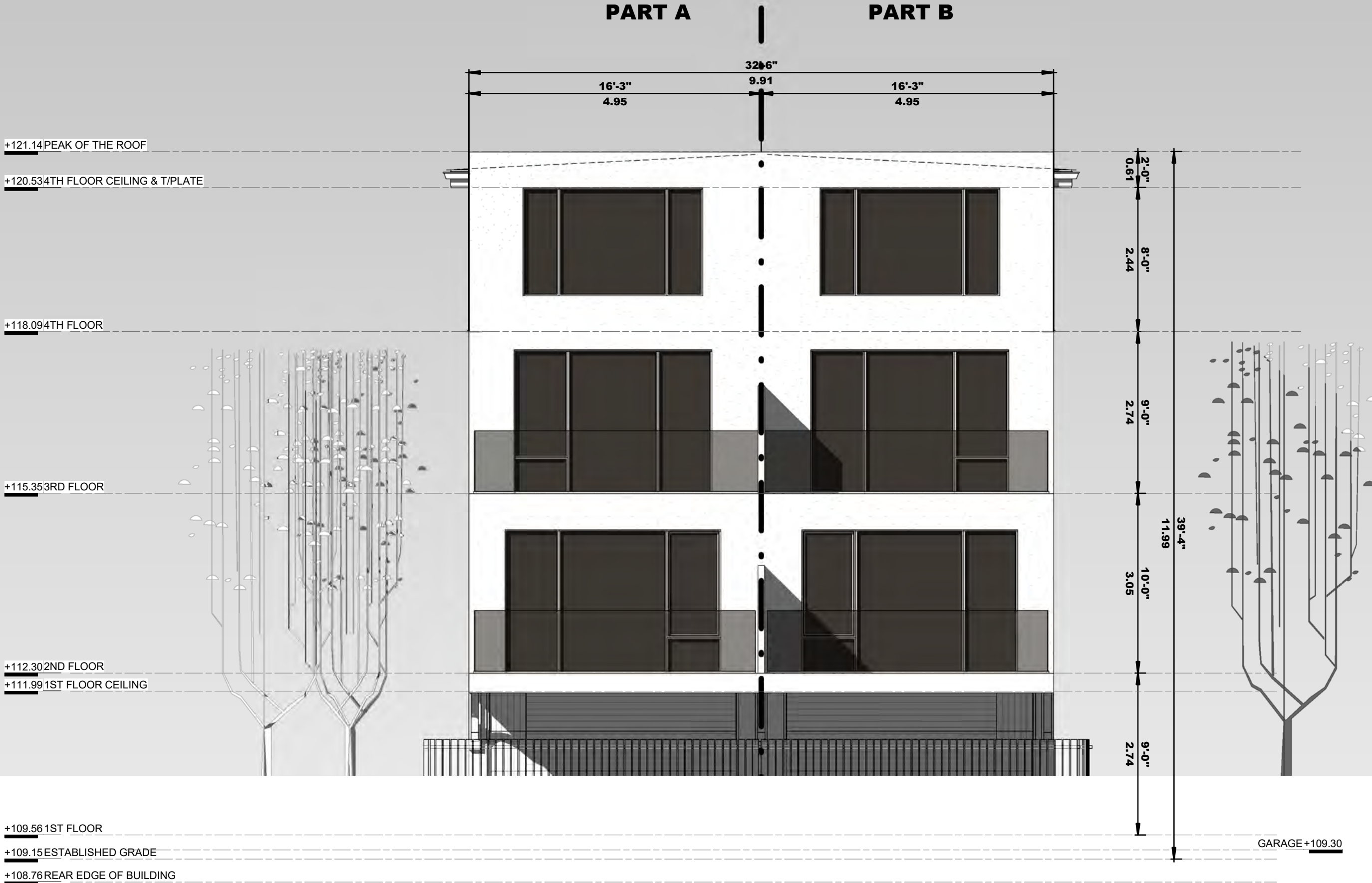
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info@hyphenstudio.co  
(+1)647-869-9356 (+1)647-9796879

Sheet Title: **MAIN ELEVATION**

Drawn: <u>Author</u>	Sheet No:
Checked: <u>Checker</u>	
Project No: <u>16-146</u>	
Date: <u>JULY 2018</u>	
Scale: <u>3/16" = 1'-0"</u>	

**A2-01**





**1 SOUTH ELEVATION**  
**Scale: 3/16" = 1'-0"**

STUCCO SHALL BE APPLIED IN ACCORDANCE WITH O.B.C. 9.28 AND MANUFACTURER'S SPECIFICATIONS. ALL ALUMINUM FLASHING TRIM AND WEEP SCREEDS SHALL BE SEPERATED FROM STUCCO BY AN IMPERVIOUS MEMBERANE OR COATING. STUCCO SHALL BE NOT LESS THAN 200mm ABOVE FINISHED GROUND LEVEL, EXCEPT WHEN IT IS APPLIED OVER CONCRETE OR MASONARY STUCCO LATH SHALL BE HELD NOT LESS THAN 6mm AWAY FROM THE BACKING BY MEANS OF SUITABLE SELF-FURRING DEVICES. AT BASE OF WALL AND OVER ALL WINDOWS AND DOORS, A WEEP SCREED SHALL BE INSTALLED TO PROVIDE ADEQUATE DRAINAGE AS PER MANUFACTURER'S SPECIFICATIONS.

Project: **393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart			
No.	Date:	Issued For:	By:
1	18-08-02	CLIENT REVIEW	
2	18-08-20	ZONING REVIEW	
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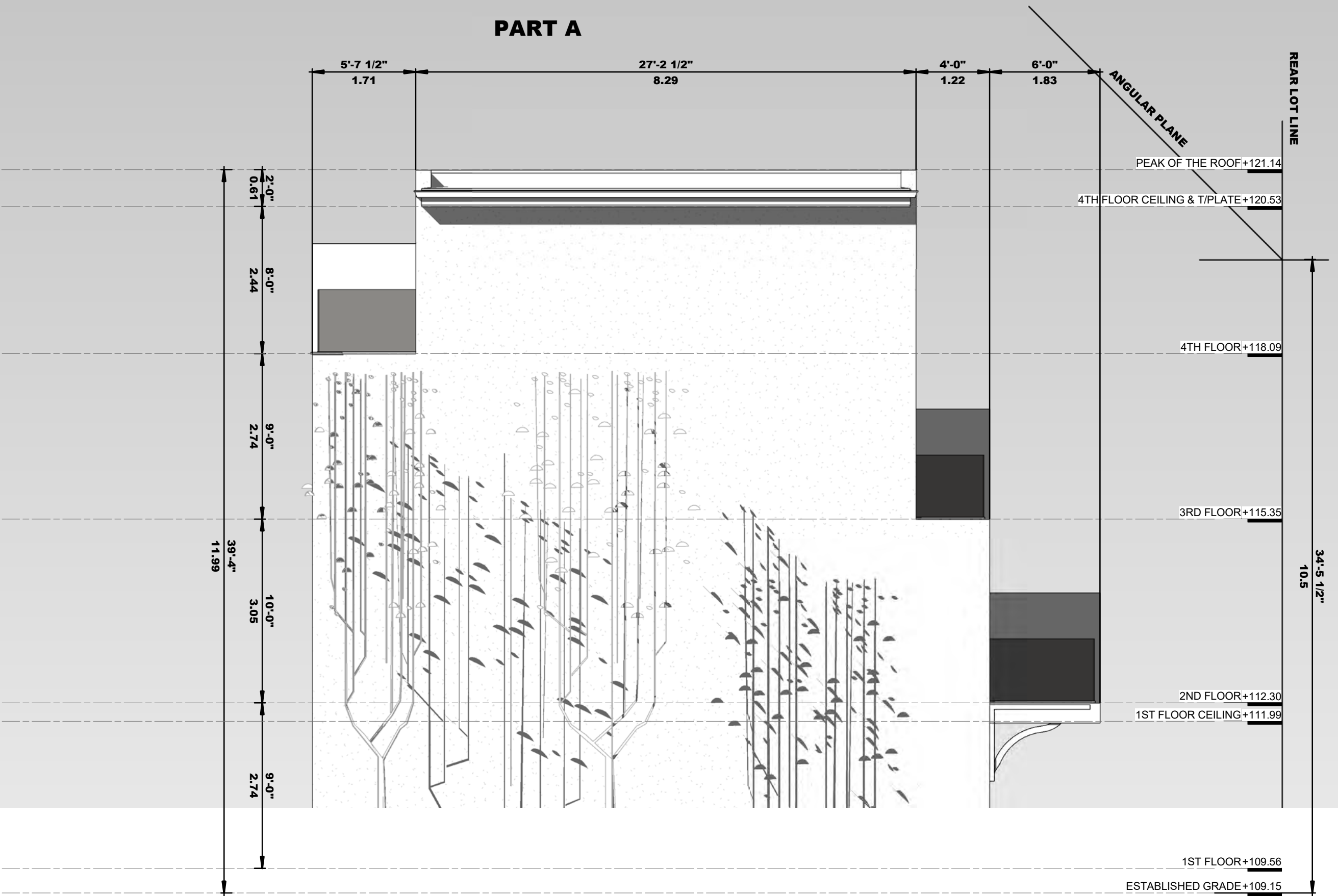
3429 Yonge St., Toronto, ON, M4N 2N1  
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(+1)647-869-9356 (+1)647-9796879

Sheet Title: **REAR ELEVATION**

Drawn: <u>Author</u>	Sheet No:
Checked: <u>Checker</u>	
Project No: <u>16-146</u>	
Date: <u>JULY 2018</u>	
Scale: <u>3/16" = 1'-0"</u>	

**A2-02**

PART A



1

WEST ELEVATION

Scale: 3/16" = 1'-0"

STUCCO SHALL BE APPLIED IN ACCORDANCE WITH O.B.C. 9.28 AND MANUFACTURER'S SPECIFICATIONS.  
ALL ALUMINUM FLASHING TRIM AND WEEP SCREEDS SHALL BE SEPERATED FROM STUCCO BY AN IMPERVIOUS MEMBERANE OR COATING.  
STUCCO SHALL BE NOT LESS THAN 200mm ABOVE FINISHED GROUND LEVEL, EXCEPT WHEN IT IS APPLIED OVER CONCRETE OR MASONARY  
STUCCO LATH SHALL BE HELD NOT LESS THAN 6mm AWAY FROM THE BACKING BY MEANS OF SUITABLE SELF-FURRING DEVICES.  
AT BASE OF WALL AND OVER ALL WINDOWS AND DOORS, A WEEP SCREED SHALL BE INSTALLED TO PROVIDE ADEQUATE DRAINAGE AS PER  
MANUFACTURER'S SPECIFICATIONS.

Project: **393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart			
No.	Date:	Issued For:	By:
1	18-08-02	CLIENT REVIEW	
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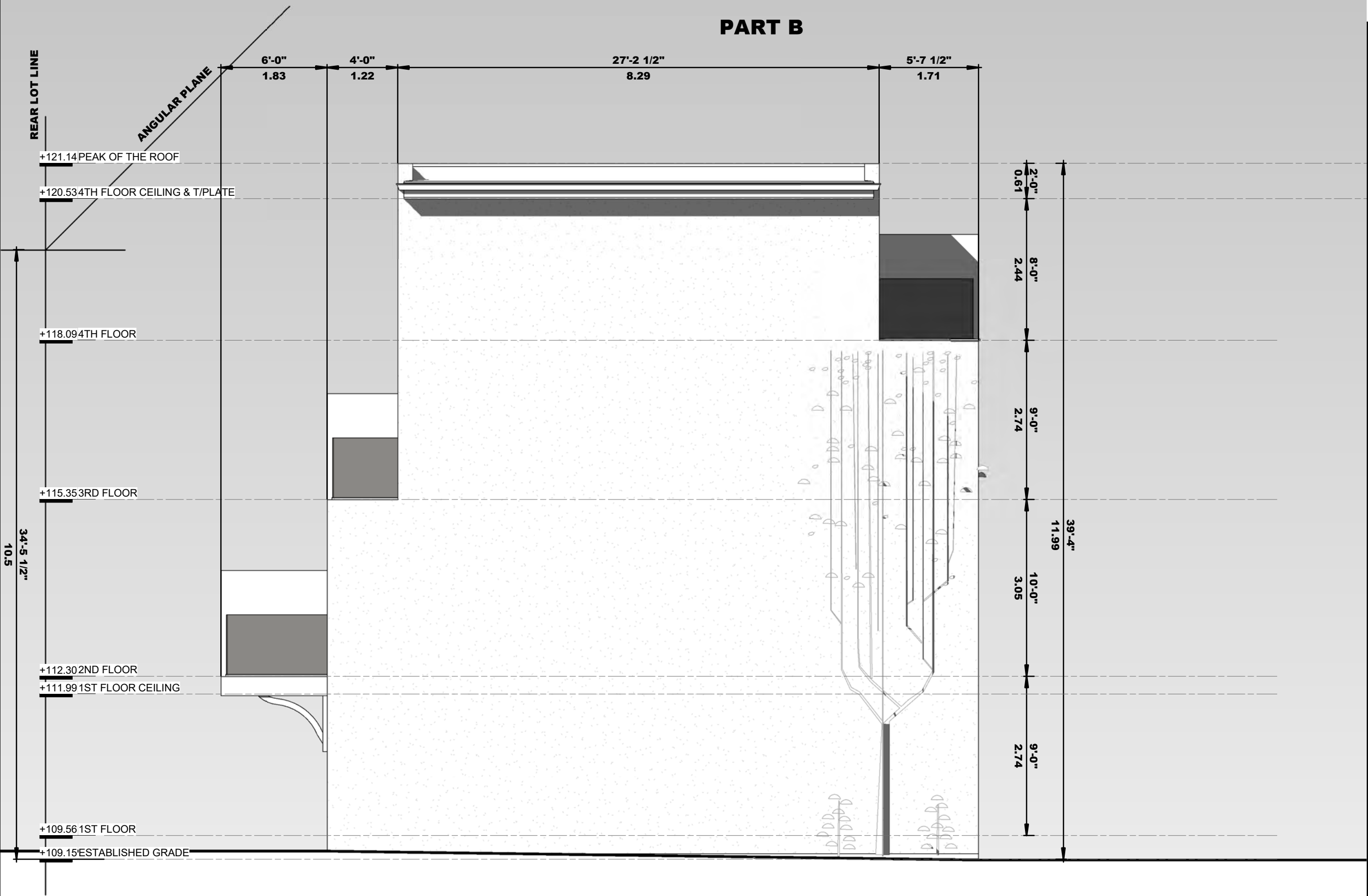
**HYPHEN** DESIGN

3429 Yonge St., Toronto, ON, M4N 2N1  
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Sheet Title: **SIDE ELEVATION**

Drawn: <u>Author</u>	Sheet No:
Checked: <u>Checker</u>	
Project No: <u>16-146</u>	
Date: <u>JULY 2018</u>	
Scale: <u>3/16" = 1'-0"</u>	

**A2-03**



**1 EAST ELEVATION**

Scale: 3/16" = 1'-0"

STUCCO SHALL BE APPLIED IN ACCORDANCE WITH O.B.C. 9.28 AND MANUFACTURER'S SPECIFICATIONS.  
ALL ALUMINUM FLASHING TRIM AND WEEP SCREEDS SHALL BE SEPERATED FROM STUCCO BY AN IMPERVIOUS MEMBERANE OR COATING.  
STUCCO SHALL BE NOT LESS THAN 200mm ABOVE FINISHED GROUND LEVEL, EXCEPT WHEN IT IS APPLIED OVER CONCRETE OR MASONARY  
STUCCO LATH SHALL BE HELD NOT LESS THAN 6mm AWAY FROM THE BACKING BY MEANS OF SUITABLE SELF-FURRING DEVICES.  
AT BASE OF WALL AND OVER ALL WINDOWS AND DOORS, A WEEP SCREED SHALL BE INSTALLED TO PROVIDE ADEQUATE DRAINAGE AS PER  
MANUFACTURER'S SPECIFICATIONS.

Project:

**393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart			
No.	Date:	Issued For:	By:
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Sheet Title: **SIDE ELEVATION**

Drawn:	Author	Sheet No:
Checked:	Checker	
Project No:	16-146	
Date:	JULY 2018	
Scale:	3/16" = 1'-0"	

**A2-04**



393 HARBORD St.

PARTS OF LOTS 60 & 61  
REGISTERED PLAN D-198  
CITY OF TORONTO

THE INFORMATION FOR THIS SITE PLAN HAS BEEN OBTAINED FROM A COPY OF A SURVEY PLAN PREPARED BY AKSAN PILLER CORPORATION LTD. LAND SURVEYOR DATED JUNE 28, 2018.THE INFORMATION SHOWN HEREON, INCLUDING GRADES SHALL NOT BE USED FOR ANY LEGAL / ZONING / OR CONSTRUCTION PURPOSE WITHOUT CONFIRMING THE ACCURACY THEREOF BY REFERENCE TO THE APPLICABLE SURVEY.

GENERAL SITE INFORMATION

- REFER TO ALL APPLICABLE LANDSCAPING & SEPTIC SYSTEM PLANS & SPECIFICATIONS TO BE SUPPLIED BY OWNER FOR ADDITIONAL, DETAILED SITE RELATED WORKS AND INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION AND CONNECTION FEES AND PERMITS REQUIRED FOR BUILDING SERVICES, INCLUDING ENTRANCES, HYDRO, WELL, SEPTIC, TELEPHONE, ETC. AS WELL AS THE INSTALLATION OF SUCH BUILDING SERVICES.
- ALL ENTRANCE AND EXIT RAMPS ACROSS BOULEVARDS SHALL BE PAVED OR OTHERWISE FINISHED TO APPLICABLE MUNICIPAL STANDARDS AND SPECIFICATIONS.
- WHERE PAVING IS INDICATED, ALL DRIVE AND PARKING SURFACES SHALL BE PAVED WITH 100mm HOT MIXED, HOT LAID, ASPHALT (25mm HL3) & (75mm HL8) ON MINIMUM 150mm GRANULAR "A" & 300mm GRANULAR "B".
- ALL FILL & GRAUNULAR MATERIAL UNDER DRIVES, PARKING AREAS, AND SIDEWALKS SHAL BE COMPACTED TO 100% S.P.M.D.D. ( MIN. 8" GRANULAR )
- UNLESS OTHERWISE AGREED TO IN WRITING, THE OWNER ASSUMES RESPONSIBILITY FOR THE SUITABILITY OF ALL SOIL CONDITIONS. ALL DESIGNS HAVE BEEN BASED ON THE EXISTING UNDISTURBED SOIL HAVING AN ALLOWABLE BEARING CAPACITY OF 4000 P.S.F.
- ALL UTILITIES WHICH OBSTRUCT ENTRANCES SHALL BE RELOCATED AS REQUIRED TO APPLICABLE AUTHORITIES SPECIFICATIONS.
- ALL SITE WORKS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CITY OF MARKHAM STANDARDS, SPECIFICATIONS, AND DETAILS WHICH SHALL BE DEEMED TO FORM PART OF THIS SITE PLAN.
- ALL SURFACE DRAINAGE SHALL BE CONFINED WITHIN THE BOUNDRAIES OF THE OWNER'S PROPERTY EXCEPT AS SPECICALLY INDICATED.
- EXISTING GRADING & DRAINAGE PATTERNS SHALL NOT BE ALTERED OR DISTURBED IN ANY WAY EXCEPT AS SHOWN IN THE AREA OF THE NEW RESIDENCE AND ASSOCIATED DRIVEWAY, ETC.
- MINIMUM SLOPES FOR GRASSED AREAS 1.5%, MINIMUM SLOPES FOR PAVED OR SURFACED AREAS 1.0% (EXCEPT AS SHOWN OTHER WISE.)

BUILDING AND ZONING

THE SUBJECT PROPERTY IS ZONED "CR 1.5 ( C 0.5 / R 1.5) SS2 ( X1722)" PER MARKHAM ZONING BY-LAW 569-2013

Site Analysis

Lot Frontage	11.19 m	
Lot Area	181.8 m²	1957 s.f.
Average Grade of CL of Road	109.00	
Establish Grade	109.15	

Setbacks

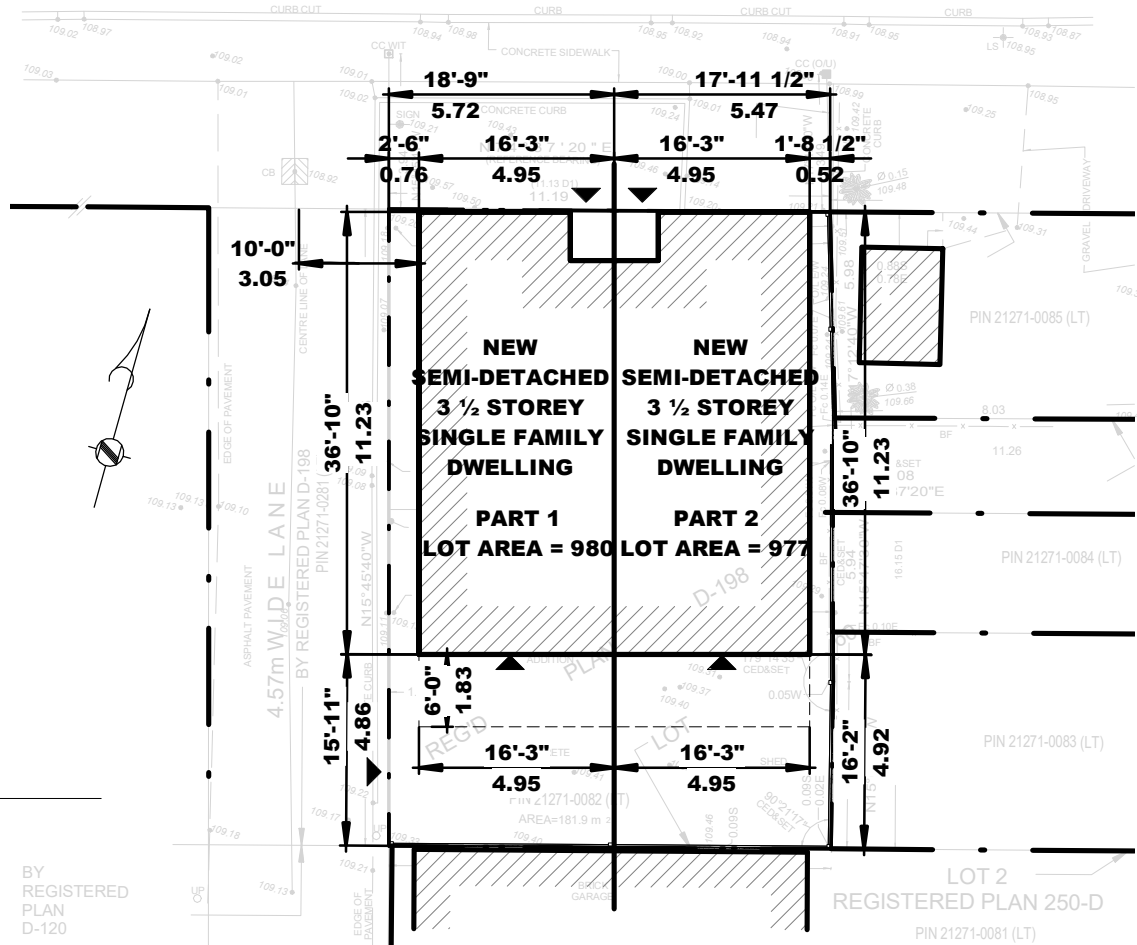
	Allowed	Proposed
Front Yard Setback		0.00 m
Side Setback(East)		0.52 m
Side Setback(West)		0.76 m
Rear Yard Setback		4.86 m
Building Length		11.23 m
Building Depth		11.23 m
Building Height		12.00 m

Building Area Analysis(Part A)

	Metric	Imperial
Lot Area	92.2 m²	993 sf²
Lot Coverage(A) % 60.3	55.61 m²	598.54 ft²
1st Floor(A)	28.71 m²	309 ft²
2nd Floor(A)	54.23 m²	584 ft²
3rd Floor(A)	49.57 m²	534 ft²
4th Floor(A)	41.08 m²	442 ft²
Gross Floor Area(GFA)	173.58 m²	1868 ft²
Floor Space Index(FSI)	1.89	
Basement(A)	-----	-----
Garage(A)	25.52 m²	275 ft²
Provided Parking Spaces	1.5	

Building Area Analysis(Part B)

	Metric	Imperial
Lot Area	89.5 m²	964 ft²
Lot Coverage(B) % 62.2	55.61 m²	598.54 ft²
1st Floor(B)	28.71 m²	309 ft²
2nd Floor(B)	54.23 m²	584 ft²
3rd Floor(B)	49.57 m²	534 ft²
4th Floor(B)	41.08 m²	442 ft²
Gross Floor Area(GFA)	173.58 m²	1868 ft²
Floor Space Index(FSI)	1.94	
Basement(B)	-----	-----
Garage(B)	25.52 m²	275 ft²
Provided Parking Spaces	1.5	



1 LAND TABLE PLAN

Scale: 1/16" = 1'-0"



Project: 393 HARBORD St.  
TORONTO ONTARIO

No.	Date:	Issued For:	By:
1	18-08-02	CLIENT REVIEW	
2	18-08-20	ZONING REVIEW	
3			
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Sheet Title: SITE ANALYSIS

Drawn: Author	Sheet No:
Checked: Checker	
Project No: 16-146	
Date: JULY 2018	
Scale: As indicated	

A0-00

# HARBORD STREET (TRAVELLED ROAD)

(BY BY-LAW 5240, INSTRUMENT No. 43425 J)

PIN 21270-0035 (LT)

LOT 63

LOT 62

**RECEIVED**

By Committee of Adjustment TEY at 9:30 am, Jan 07, 2019

Project:

**393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart

No.	Date:	Issued For:	By:
1	18-08-02	CLIENT REVIEW	
2	18-08-20	ZONING REVIEW	
3	18-11-16	AS PER SURVEY	
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**HYPHEN** STUDIO

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Sheet Title:

**SITE PLAN**

Drawn: **Author**  
Checked: **Checker**  
Project No: **16-146**  
Date: **JULY 2018**  
Scale: **As indicated**

Sheet No:

**A1-00**

No. 397

SETBACK FROM LANE CENTRELINE

4.57m WIDE LANE

BY REGISTERED PLAN D-198  
PIN 21271-0281 (LT)

R.O.W IN, OVER ALONG &  
UPON THE MOST SOUTHERLY  
4.86 m OF THE LAND  
PROVIDING GARAGE ACCESS  
FOR PART 2

**1 SITE PLAN**

BY  
REGISTERED  
PLAN

**NEW  
SEMI-DETACHED  
3 1/2 STOREY  
SINGLE FAMILY  
DWELLING**

**PART 1  
LOT AREA = 980.46 s.f.**

**NEW  
SEMI-DETACHED  
3 1/2 STOREY  
SINGLE FAMILY  
DWELLING**

**PART 2  
LOT AREA = 977.17 s.f.**

**109.30  
GARAGE  
ENTRANCE**

**GARAGE  
ACCESS**

**109.30  
GARAGE  
ENTRANCE**

PERMEABLE MATERIAL FOR  
DRIVE-WAY BACKYARD

6' HEIGHT FENCE

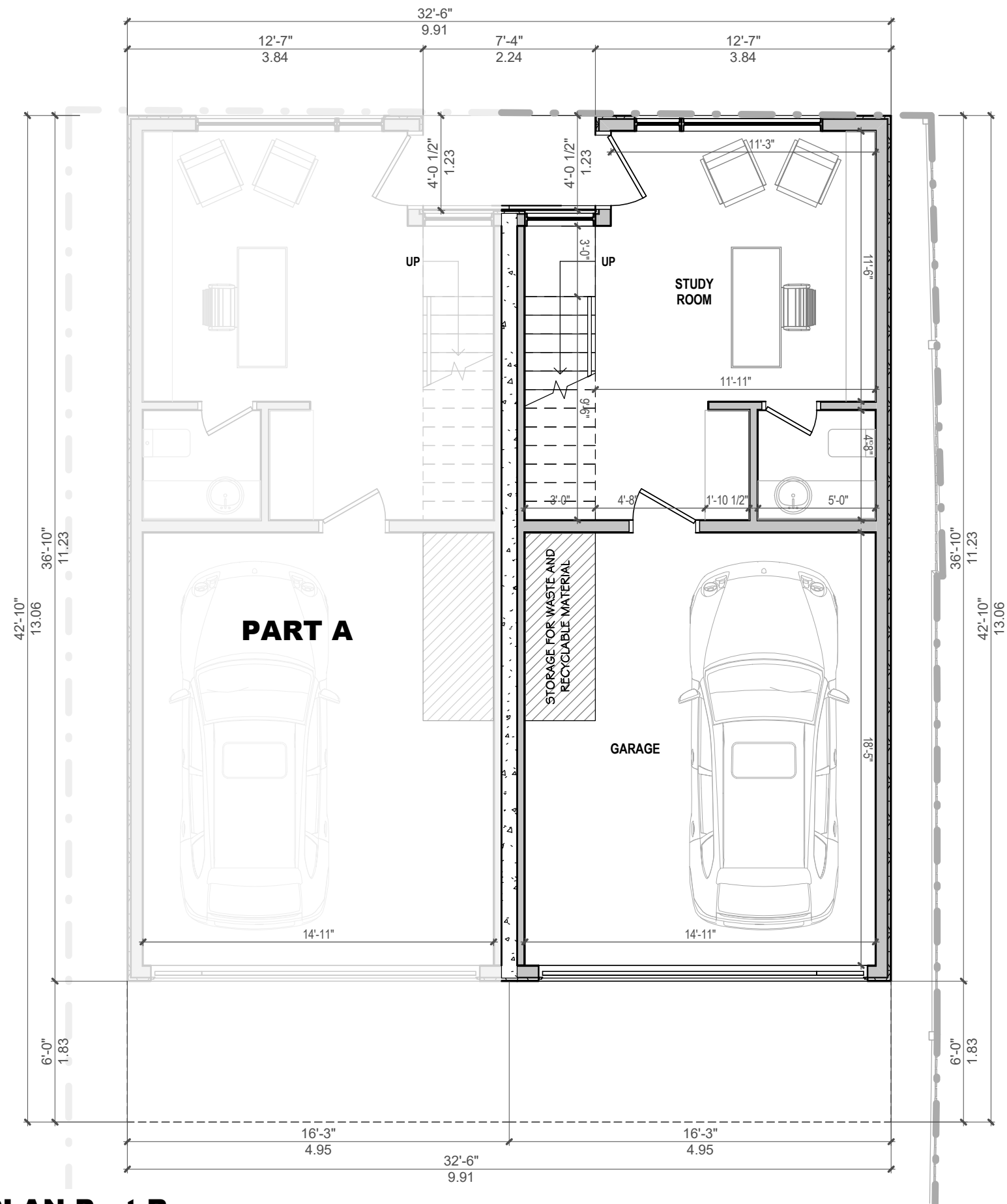
6' HEIGHT FENCE

PIN 21271-0085 (LT)

PIN 21271-0084 (LT)

PIN 21271-0083 (LT)

LOT 2  
REGISTERED PLAN 250-D



# 1 MAIN FLOOR PLAN-Part B

Scale: 3/16" = 1'-0"

Project:

**393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart

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Sheet Title:

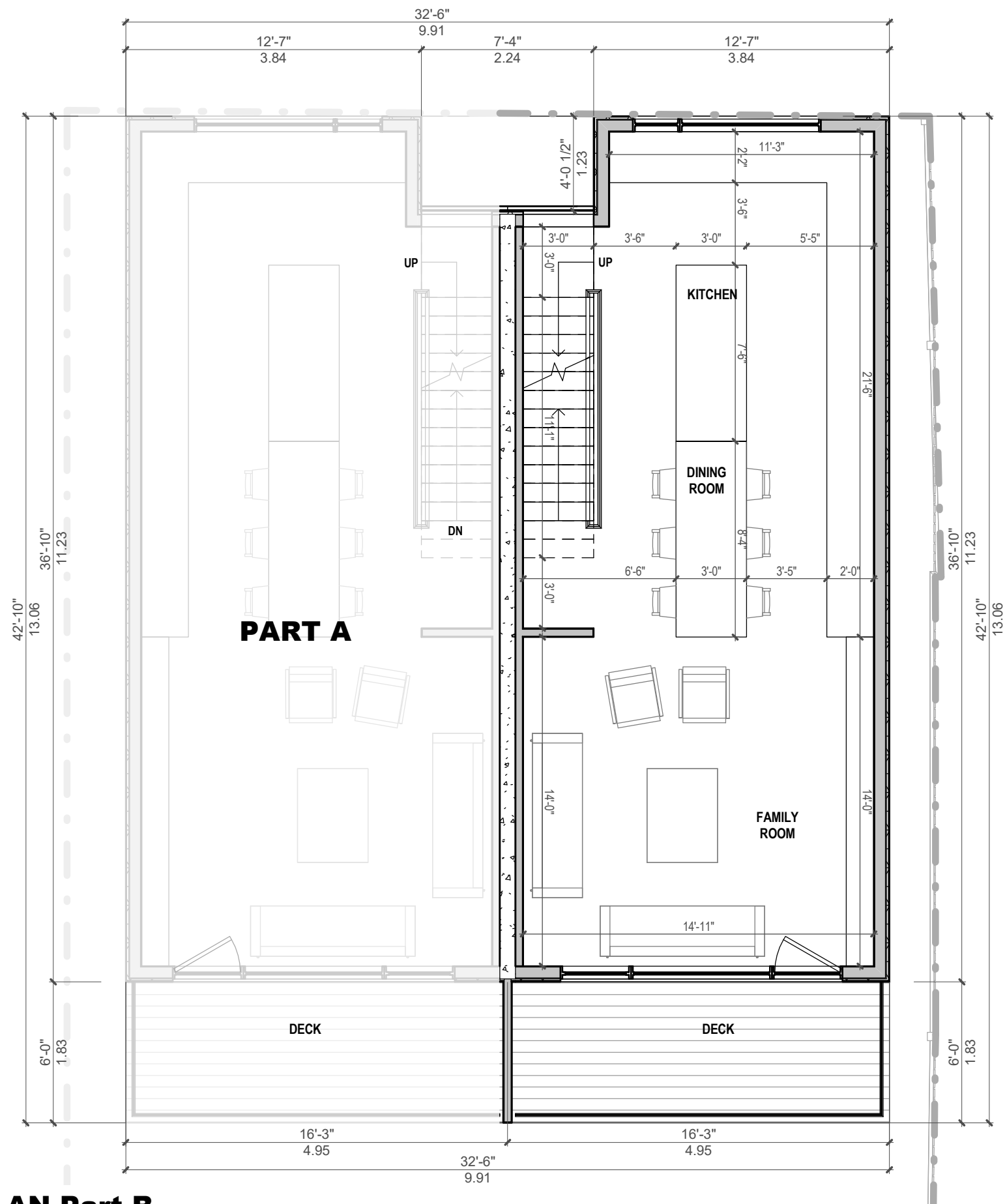
**MAIN FLOOR PLAN**

Drawn: Author  
Checked: Checker  
Project No: 16-146  
Date: JULY 2018  
Scale: 3/16" = 1'-0"

Sheet No:

**A1-02-B**





# 1 2nd FLOOR PLAN-Part B

Scale: 3/16" = 1'-0"



Project: **393 HARBORD St.**  
TORONTO ONTARIO

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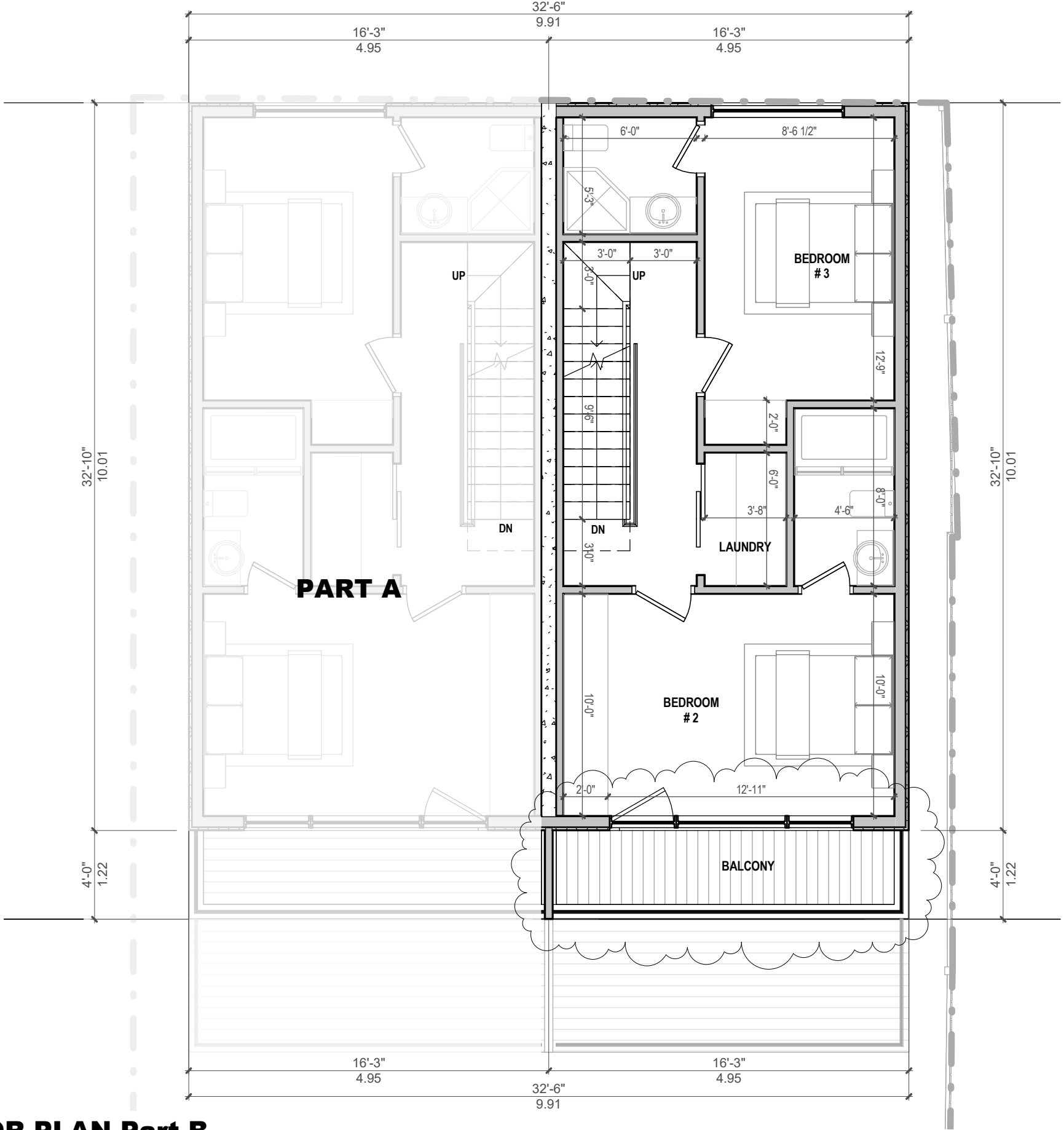
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Sheet Title: **2ND FLOOR PLAN**

Drawn: Author	Sheet No:
Checked: Checker	
Project No: 16-146	
Date: JULY 2018	<b>A1-03-B</b>
Scale: As indicated	



**1 3rd FLOOR PLAN-Part B**

Scale: 3/16" = 1'-0"

Project: **393 HARBORD St.**  
TORONTO ONTARIO

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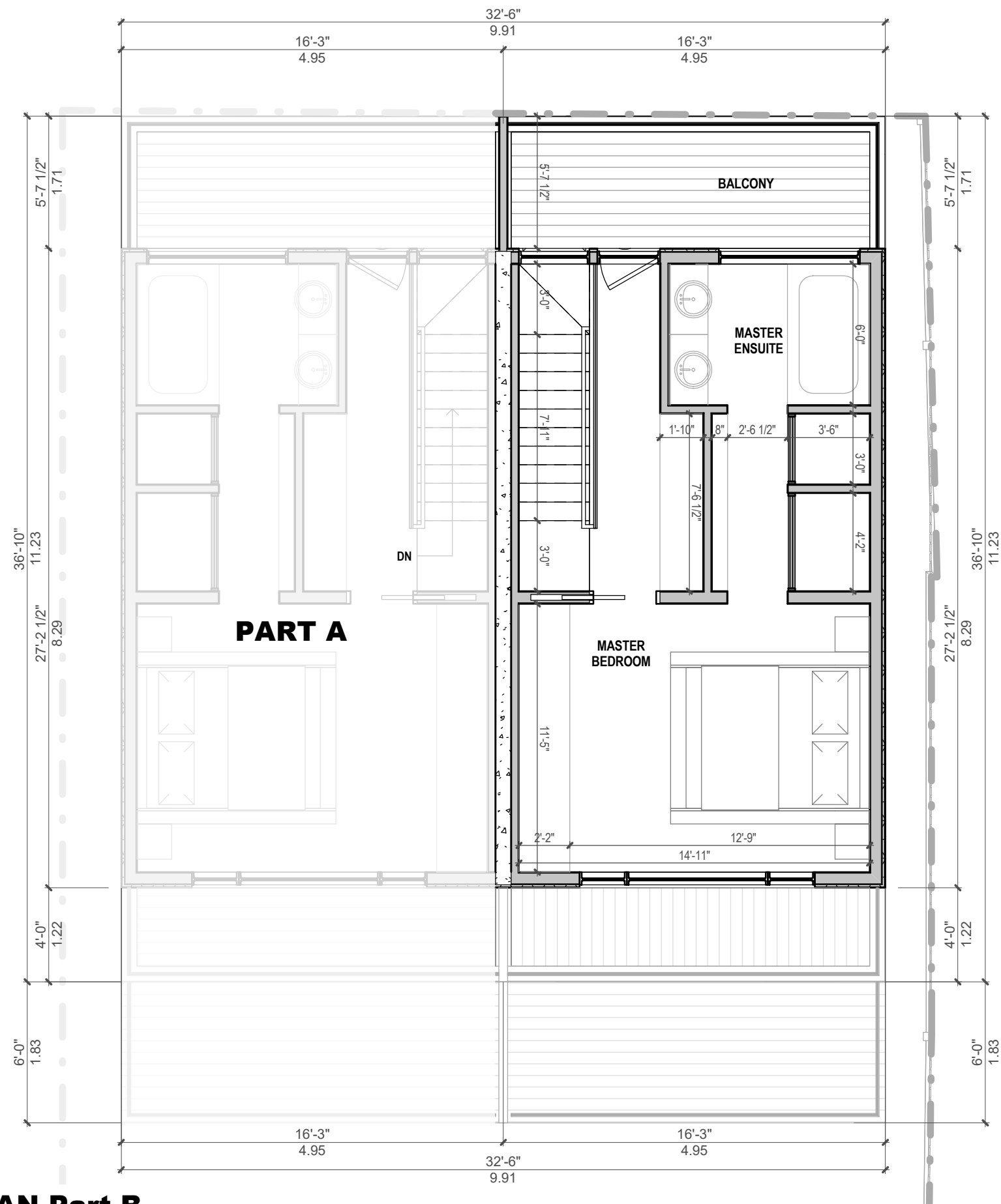


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Sheet Title: **3RD FLOOR PLAN**

Drawn: <u>Author</u>	Sheet No:
Checked: <u>Checker</u>	
Project No: <u>16-146</u>	
Date: <u>JULY 2018</u>	
Scale: <u>3/16" = 1'-0"</u>	

**A1-04-B**



**1 4th FLOOR PLAN-Part B**

Scale: 3/16" = 1'-0"

Project: **393 HARBORD St.**  
TORONTO ONTARIO

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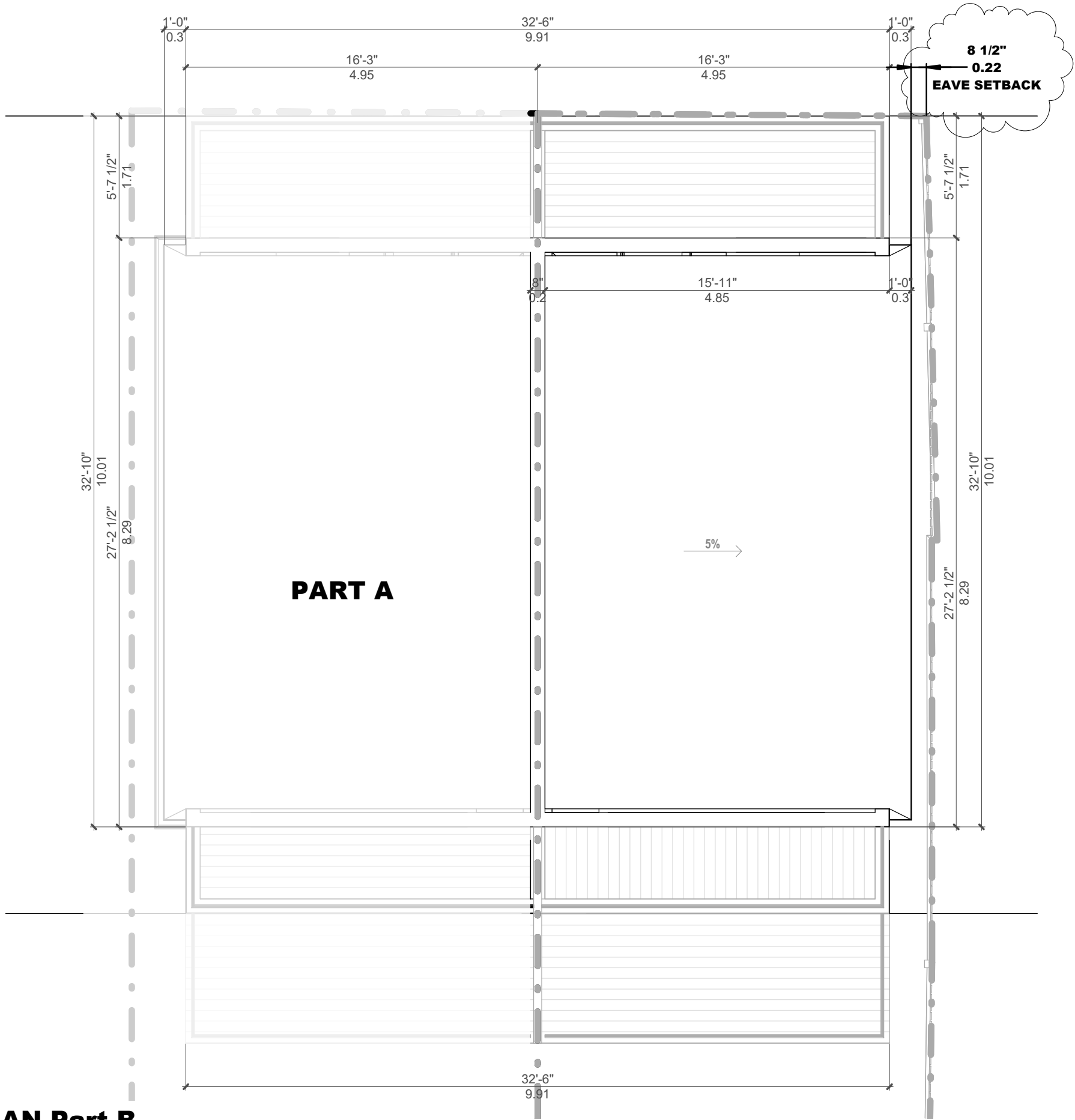


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Sheet Title: **4TH FLOOR PLAN**

Drawn: <b>Author</b>	Sheet No:
Checked: <b>Checker</b>	
Project No: <b>16-146</b>	
Date: <b>JULY 2018</b>	
Scale: <b>3/16" = 1'-0"</b>	

**A1-05-B**



1

ROOF PLAN-Part B

Scale: 3/16" = 1'-0"

Project: **393 HARBORD St.**  
TORONTO ONTARIO

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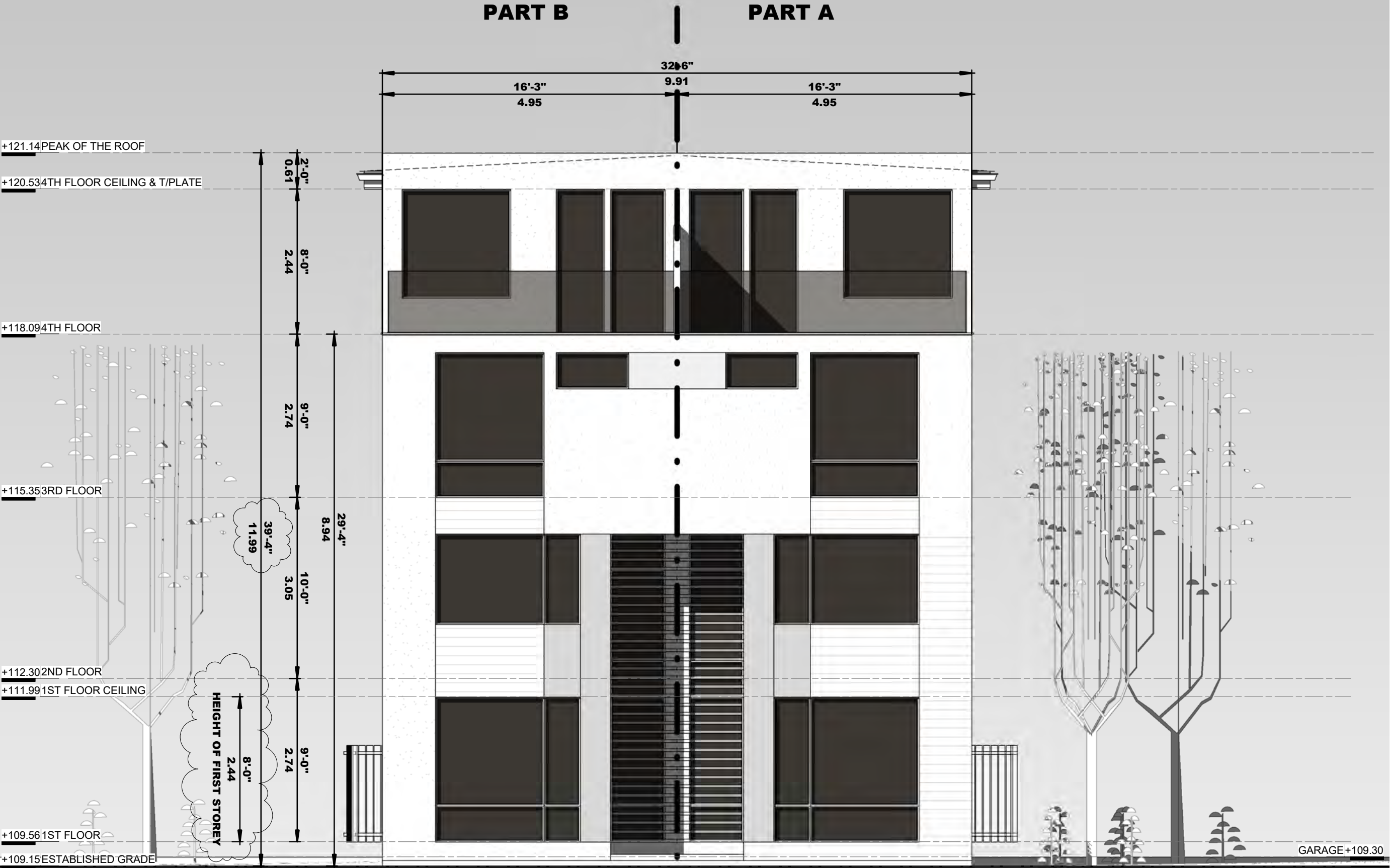
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Sheet Title: **ROOF PLAN**

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Checked: <u>Checker</u>	
Project No: <u>16-146</u>	
Date: <u>JULY 2018</u>	<b>A1-06-B</b>
Scale: <u>3/16" = 1'-0"</u>	



**1 NORTH ELEVATION**  
**Scale: 3/16" = 1'-0"**

STUCCO SHALL BE APPLIED IN ACCORDANCE WITH O.B.C. 9.28 AND MANUFACTURER'S SPECIFICATIONS. ALL ALUMINUM FLASHING TRIM AND WEEP SCREEDS SHALL BE SEPERATED FROM STUCCO BY AN IMPERVIOUS MEMBERANE OR COATING. STUCCO SHALL BE NOT LESS THAN 200mm ABOVE FINISHED GROUND LEVEL, EXCEPT WHEN IT IS APPLIED OVER CONCRETE OR MASONARY STUCCO LATH SHALL BE HELD NOT LESS THAN 6mm AWAY FROM THE BACKING BY MEANS OF SUITABLE SELF-FURRING DEVICES. AT BASE OF WALL AND OVER ALL WINDOWS AND DOORS, A WEEP SCREED SHALL BE INSTALLED TO PROVIDE ADEQUATE DRAINAGE AS PER MANUFACTURER'S SPECIFICATIONS.

Project: **393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart			
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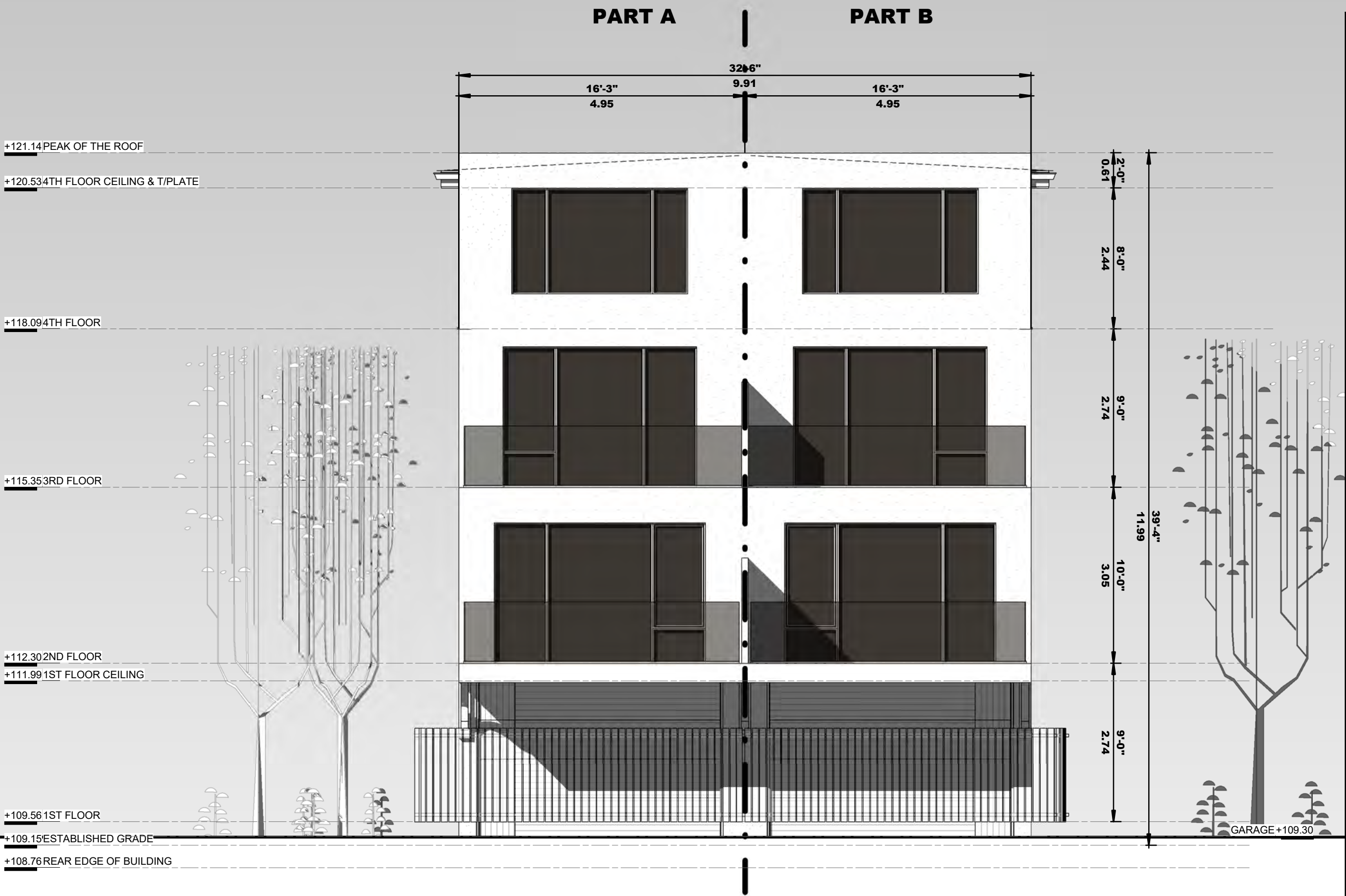
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Sheet Title: **MAIN ELEVATION**

Drawn:	Author	Sheet No:
Checked:	Checker	
Project No:	16-146	
Date:	JULY 2018	
Scale:	3/16" = 1'-0"	

**A2-01**





# 1 SOUTH ELEVATION

Scale: 3/16" = 1'-0"

Project: **393 HARBORD St.**  
TORONTO ONTARIO

Submission Chart			
No.	Date:	Issued For:	By:
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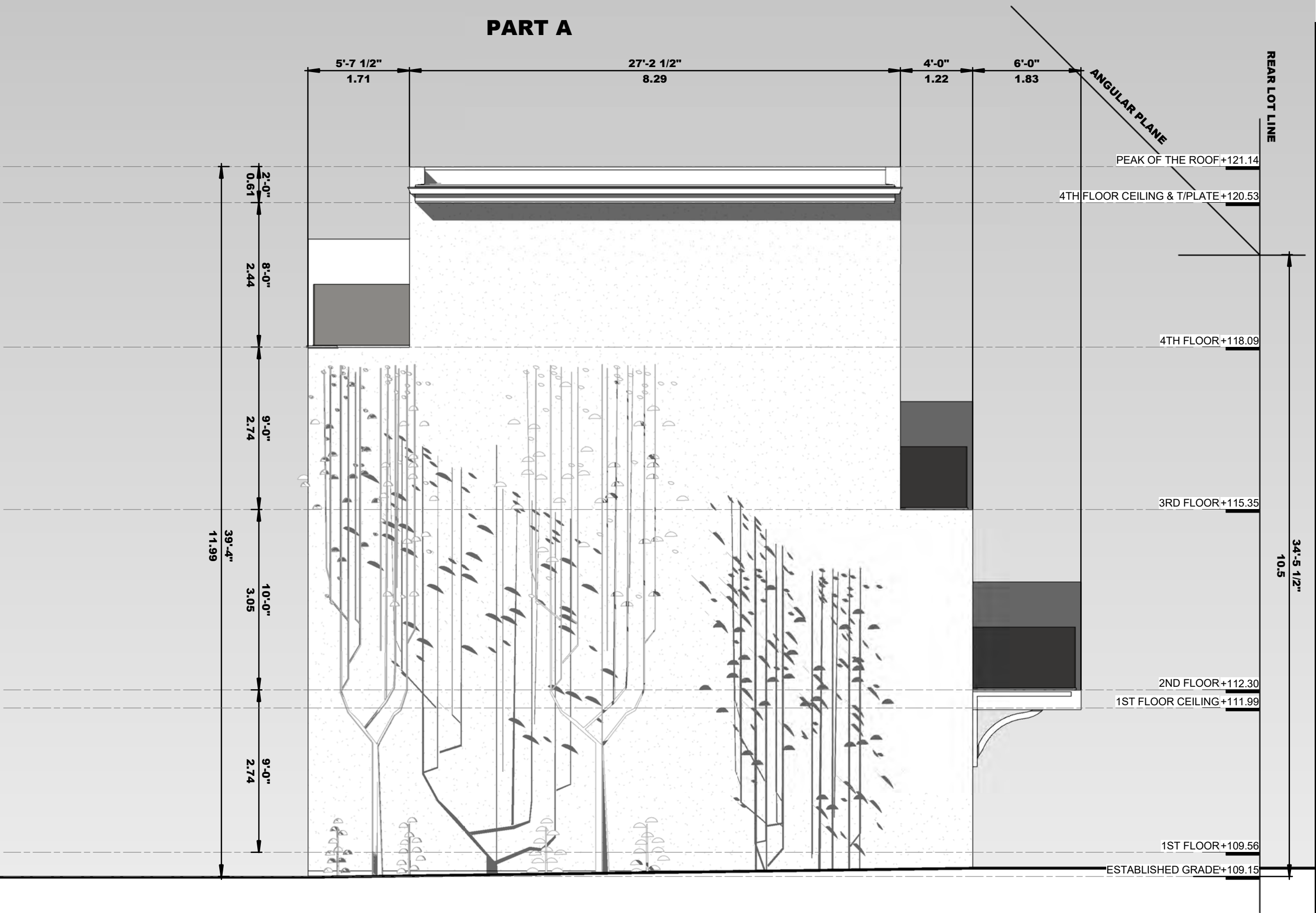
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Sheet Title: **REAR ELEVATION**

Drawn:	Author	Sheet No:
Checked:	Checker	
Project No:	16-146	
Date:	JULY 2018	
Scale:	3/16" = 1'-0"	

**A2-02**

PART A



1

WEST ELEVATION

Scale: 3/16" = 1'-0"

STUCCO SHALL BE APPLIED IN ACCORDANCE WITH O.B.C. 9.28 AND MANUFACTURER'S SPECIFICATIONS. ALL ALUMINUM FLASHING TRIM AND WEEP SCREEDS SHALL BE SEPERATED FROM STUCCO BY AN IMPERVIOUS MEMBERANE OR COATING. STUCCO SHALL BE NOT LESS THAN 200mm ABOVE FINISHED GROUND LEVEL, EXCEPT WHEN IT IS APPLIED OVER CONCRETE OR MASONARY STUCCO LATH SHALL BE HELD NOT LESS THAN 6mm AWAY FROM THE BACKING BY MEANS OF SUITABLE SELF-FURRING DEVICES. AT BASE OF WALL AND OVER ALL WINDOWS AND DOORS, A WEEP SCREED SHALL BE INSTALLED TO PROVIDE ADEQUATE DRAINAGE AS PER MANUFACTURER'S SPECIFICATIONS.

Project:

393 HARBORD St.  
TORONTO ONTARIO

Submission Chart

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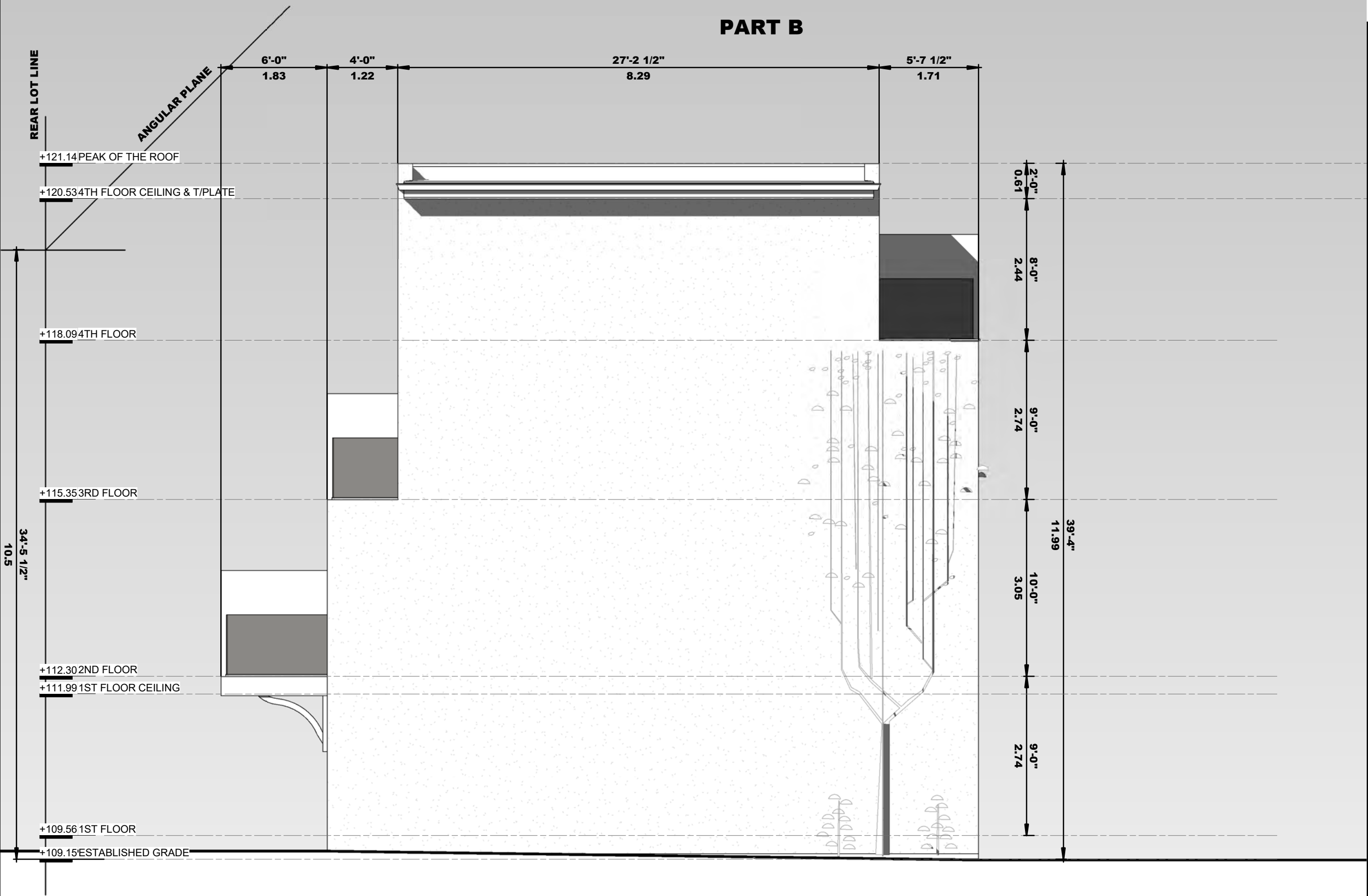
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Sheet Title:

SIDE ELEVATION

Drawn:	Author	Sheet No:
Checked:	Checker	
Project No:	16-146	
Date:	JULY 2018	
Scale:	3/16" = 1'-0"	

A2-03



**1 EAST ELEVATION**

Scale: 3/16" = 1'-0"

STUCCO SHALL BE APPLIED IN ACCORDANCE WITH O.B.C. 9.28 AND MANUFACTURER'S SPECIFICATIONS.  
ALL ALUMINUM FLASHING TRIM AND WEEP SCREEDS SHALL BE SEPERATED FROM STUCCO BY AN IMPERVIOUS MEMBERANE OR COATING.  
STUCCO SHALL BE NOT LESS THAN 200mm ABOVE FINISHED GROUND LEVEL, EXCEPT WHEN IT IS APPLIED OVER CONCRETE OR MASONARY  
STUCCO LATH SHALL BE HELD NOT LESS THAN 6mm AWAY FROM THE BACKING BY MEANS OF SUITABLE SELF-FURRING DEVICES.  
AT BASE OF WALL AND OVER ALL WINDOWS AND DOORS, A WEEP SCREED SHALL BE INSTALLED TO PROVIDE ADEQUATE DRAINAGE AS PER  
MANUFACTURER'S SPECIFICATIONS.

Project:

**393 HARBORD St.**  
TORONTO ONTARIO

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Sheet Title: **SIDE ELEVATION**

Drawn:	Author	Sheet No:
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Project No:	16-146	
Date:	JULY 2018	
Scale:	3/16" = 1'-0"	

**A2-04**