

DECISION AND ORDER

Decision Issue Date Friday, December 13, 2019 and corrected pursuant to Rule 30.1 on January 14 and 15, 2020

PROCEEDING COMMENCED UNDER Section 45(12), subsection 45(1) of the Planning Act, R.S.O. 1990, c. P.13, as amended (the "Act")

Appellant(s): THEODOSIOS MARGARITIS

Applicant: THEODOSIOS MARGARITIS

Property Address/Description: 83 PEARS AVE

Committee of Adjustment Case File: 18 139417 STE 27 MV (A0358/18TEY)

TLAB Case File Number: 18 239143 S45 27 TLAB

Hearing date: Monday July 29, 2019, Tuesday July 30, 2019, Wednesday July 31, Monday, October 14, 2019

DECISION DELIVERED BY T. Yao

REGISTERED PARTIES AND PARTICIPANTS

Appellant	Theodosios Margaritis
Appellant's Legal Rep.	Amber Stewart, Anthony Soscia
Party	ABC Residents Association
Party	Mary Helen Spence
Party's Legal Rep.	Andrew Biggart
Participant	Rachael Rafelman
Participant	Stefan Coolican
Participant	Donald Milne

Decision of Toronto Local Appeal Body Panel Member: T. Yao
TLAB Case File Number: 18 239143 S45 27 TLAB

Participant	Munaza Chaudhry
Participant	Mike Jackson
Participant	Michael Killinger
Expert Witness	Michael Qarcopone
Expert Witness	John Lohmus
Expert Witness	Michael Spaziani

INTRODUCTION

Theodosios Margaritis wishes to build a third floor and rear addition to 83 Pears Ave, which is the end unit of a three-unit row house. To do so he needs the following variances

Table 1. Variances sought for 83 Pears Ave			
		Required	Proposed
Variances from Zoning By-law 569-2013			
1	Max. permitted depth of townhouse	14 m	16.35 m
2	Floor Space Index	1.0 times the area of the lot	1.19 times the area of the lot

On September 26, 2018, the Committee of Adjustment dismissed Mr. Margaritis's application and Mr. Margaritis appealed. At the TLAB a mediation took place on March 7, 2019. No settlement was reached, although I am grateful to my colleague, TLAB Member Burton, who undoubtedly narrowed the issues. She set three hearing days for July 2019, at which time all of Mr. Margaritis' witnesses testified, including his planner Michael Quarcopone. In opposition: I also heard from Munaza Chaudhry, Donald Milne, and Mary Helen Spence.

A fourth day, October 11, 2019, was reserved for the testimony of John Lohmus and Michael Spaziani. On that day the parties requested the hearing time be converted to a second mediation session, to which I agreed. The parties succeeded in agreeing on all the issues and a full settlement resulted.

MATTERS IN ISSUE

I must be satisfied that the applications meet the four tests under s. 45(1) of the *Planning Act*, that is, whether they individually and cumulatively:

Remove

- maintain the general intent and purpose of the Official Plan;
- maintain the general intent and purpose of the Zoning By-laws;
- are desirable for the appropriate development or use of the land; and
- are minor.

ANALYSIS, FINDINGS, REASONS

Since this is a settlement, I will not review the evidence. I did hear sufficient evidence from Mr. Quarcopone to satisfy myself the settlement is one to which I should give deference. I would refuse a settlement only if it was contrary to the *Planning Act*, which it is not. It is reasonable and meets the statutory tests.

Through this case I heard much evidence. I wish to thank the parties for their cooperation and to thank the late Mr. Margaritas senior for his service to this country.

DECISION AND ORDER

The variances in Table 1 are authorized, subject to the following conditions:

1. The proposed dwelling shall be constructed substantially in accordance with the Site Plan and Elevations attached hereto¹. In accordance with the annotations on the attached plans numbered A-01 through A-11, and for greater certainty:
 - (a) the front elevation on the ground and second floor (including the balcony parapet) shall be brick;
 - (b) the basement shall not be extended beyond the existing basement wall;
 - (c) no balcony shall be added to the rear of the second or third storeys.

In the event that a building addition or balcony is added to 85 Pears after the date of approval of this application, this condition shall no longer be in force or applicable.

¹ Note: the revised plans dated Dec 9, 2019 (11 pages) and the July 24, 2019 Central Tree Addendum Report (13 pages), are attached to this decision following the signature line.

Decision of Toronto Local Appeal Body Panel Member: T. Yao
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2. The Applicant shall provide a copy of all engineering and City inspection reports related to the west wall construction, underpinning, junctions above grade and waterproofing to the owner of 85 Pears Avenue. The reports shall be provided to the owner of 85 Pears Avenue within 14 days after the interior final inspection. Thereafter, all reports issued after the interior final inspection shall also be provided to the owner of 85 Pears Avenue within 14 days after the close of the building permit.
3. The Applicant shall install insulation for the purpose of soundproofing with a minimum R22 value along the west wall.
4. The Applicant shall not excavate within the tree protection zone of the Honey Locust Tree in the rear yard of 85 Pears Avenue, except to install helical piers to support the new addition and to complete any necessary pruning to construct the third floor. This work will be done in accordance with the processes recommended by Central Tree Care Limited in its report of July 24, 2019, attached hereto, in relation to helical piers and pruning (except that the tree may be pruned after the framing of the rear addition and third floor addition is complete), and will be subject to the approval of the City of Toronto's Urban Forestry Department.

X



Ted Yao
Panel Chair, Toronto Local Appeal Body

ZONING DESIGNATION: R (f5.0 : d1.0) (x485)

SCOPE OF WORK:

1. PROPOSED ADDITION TO THE SOUTH
2. NEW PARTIAL 3RD STOREY ADDITION
3. INTERIOR RENOVATION.

STATS	EXISTING	PROPOSED	REQUIRED
LOT AREA	169.5 sq.m.	169.5 sq. m.	
LOT FRONTAGE	5.28 m	5.28 m.	Min. 5.00 m
COVERAGE	33.6 %	46 %	
TOTAL G.F.A.	114 sq.m.	202 sq. m.	
BASEMENT G.F.A.	57 sq. m	57 sq. m.	
GROUND FLOOR G.F.A.	57 sq. m	76 sq. m.	
SECOND FLOOR G.F.A.	57 sq. m	66 sq. m.	
THIRD FLOOR G.F.A.	0	60 sq. m.	
CAR PORT G.F.A.	25 sq. m.	25 sq. m	
FSI		1.19	Max. 1.00
FRONT SETBACK	3.60 m.	3.60 m.	Min. 6.00 m
SIDE SETBACK	0.59 m.	0.59 m.	
REAR SETBACK	15.10 m.	12.14 m	
BLDG. DEPTH	13.38 m.	16.35 m	Max. 14.00 m.
BLDG. LENGTH @ LOT C.L	13.38 m.	16.35 m	
NUMBER OF STOREYS	2 storeys	3 storeys	
ESTABLISHED GRADE	110.18 m.	110.18 m.	
HEIGHT	8.40 m.	9.50 m	Max.9.50 m.
PARKING SPACES			
FRONT SOFT LANDSCAPE	49.68 %	11.96sm	75 % min
REAR SOFT LANDSCAPE		22.6sm	



1 LOCATION PLAN

Scale: NTS

DRAWING LIST:

- A.01 - COVER, LOCATION PLAN, CONTEXT AND STATS
- A.02 - SITE PLAN
- A.03 - BASEMENT FLOOR PLAN
- A.04 - GROUND FLOOR PLAN
- A.05 - SECOND FLOOR PLAN
- A.06 - THIRD FLOOR PLAN
- A.07 - ROOF PLAN
- A.08 - FRONT ELEVATION
- A.09 - REAR ELEVATION
- A.10 - SIDE ELEVATION
- A.11 - LONGITUDINAL SECTION

Revision / Submission

03	20180730	PM	ZONING REVIEW
02	20180725	PM	ZONING REVIEW
01	20180405	PM	ZONING REVIEW
No.	Date	By	Comment

Final Plans - December 9, 2019

Project Title

83 PEARS AVENUE
ADDITION

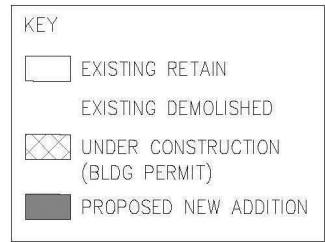
83 PEARS AVENUE
TORONTO, ON

Sheet Title

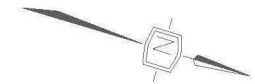
LOCATION PLAN, DRAWING LIST AND STATS

Scale AS NOTED	Date 20180405
Drawn PM	Checked
Project No.	Drawing No.

A.01

[illegible]

Final Plans - December 9, 2019



Project Title

83 PEARS AVENUE
ADDITION

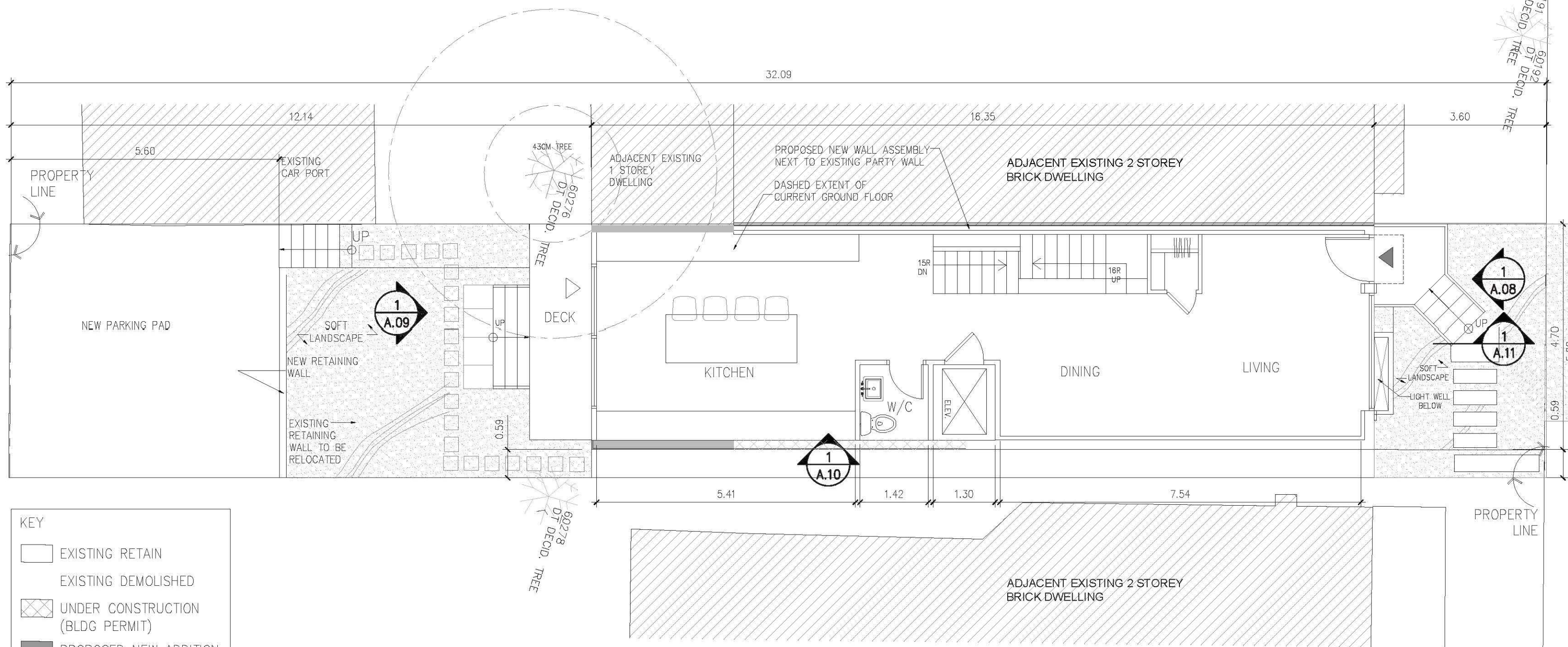
83 PEARS AVENUE
TORONTO, ON

Sheet Title

REVISED BASEMENT FLOOR PLAN

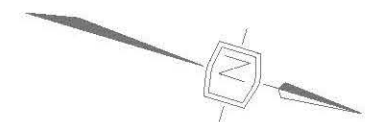
Scale AS NOTED	Date 20180405
Drawn PM	Checked
Project No.	Drawing No.

A.03



Revision / Submission			
03	20180730	PM	ZONING REVIEW
02	20180725	PM	ZONING REVIEW
01	20180405	PM	ZONING REVIEW
No.	Date	By	Comment

Final Plans - December 9, 2019



Project Title

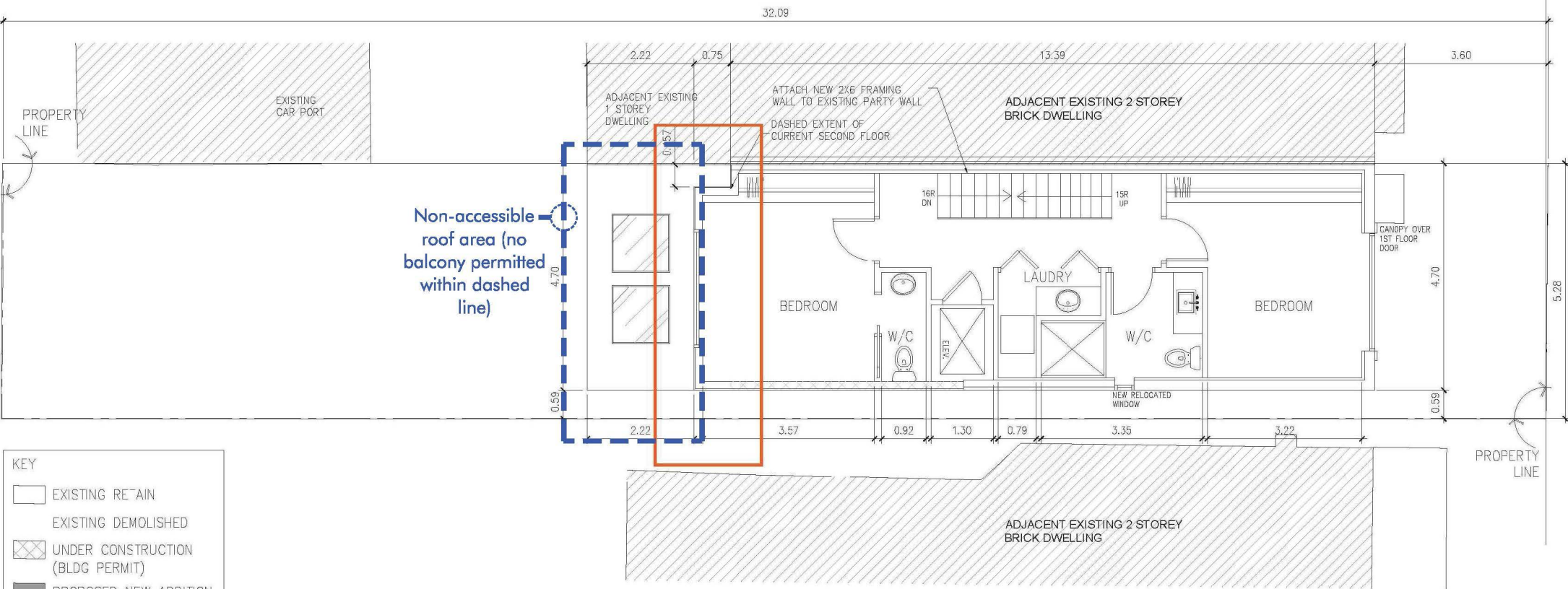
**83 PEARS AVENUE
ADDITION**

83 PEARS AVENUE
TORONTO, ON

Sheet Title

**GROUND
FLOOR PLAN**

Scale AS NOTED	Date 20180405
Drawn PM	Checked
Project No.	Drawing No. A.04

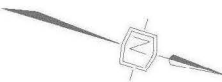


KEY	
	EXISTING RETAIN
	EXISTING DEMOLISHED
	UNDER CONSTRUCTION (BLDG PERMIT)
	PROPOSED NEW ADDITION

1 SECOND FLOOR PLAN
Scale: 1:75 MTS

Revision / Submission			
02	20180730	PM	ZONING REVIEW
01	20180405	PM	ZONING REVIEW
No.	Date	By	Comment

Final Plans - December 9, 2019



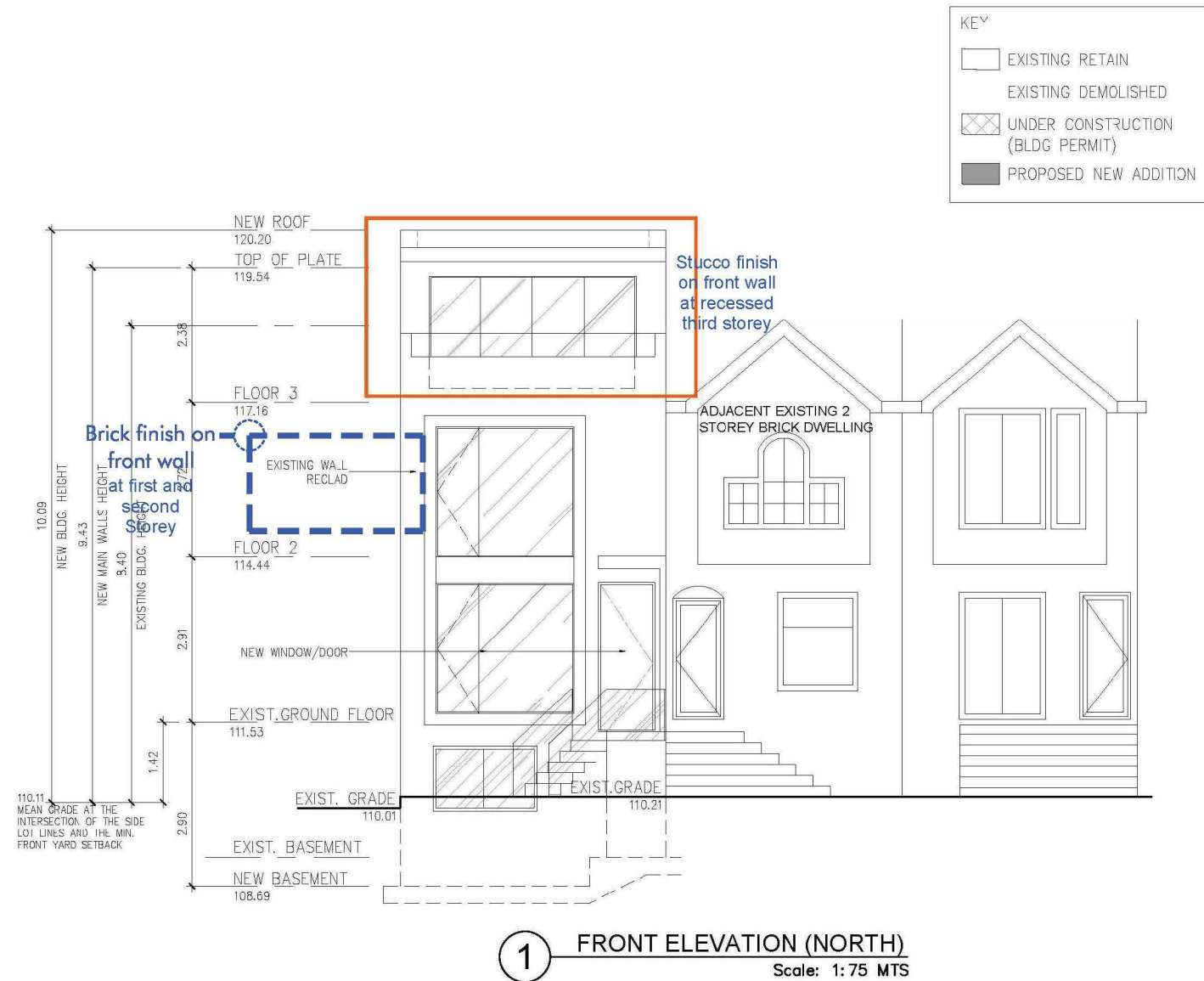
Project Title
**83 PEARS AVENUE
ADDITION**

83 PEARS AVENUE
TORONTO, ON

Sheet Title
**SECOND
FLOOR PLAN**

Scale AS NOTED	Date 20180405
Drawn PM	Checked
Project No.	Drawing No.

A.05



Revision / Submission

02	20180730	PM	ZONING REVIEW
01	20180405	PM	ZONING REVIEW
No.	Date	By	Comment

Final Plans - December
9, 2019

Project Title

83 PEARS AVENUE
ADDITION

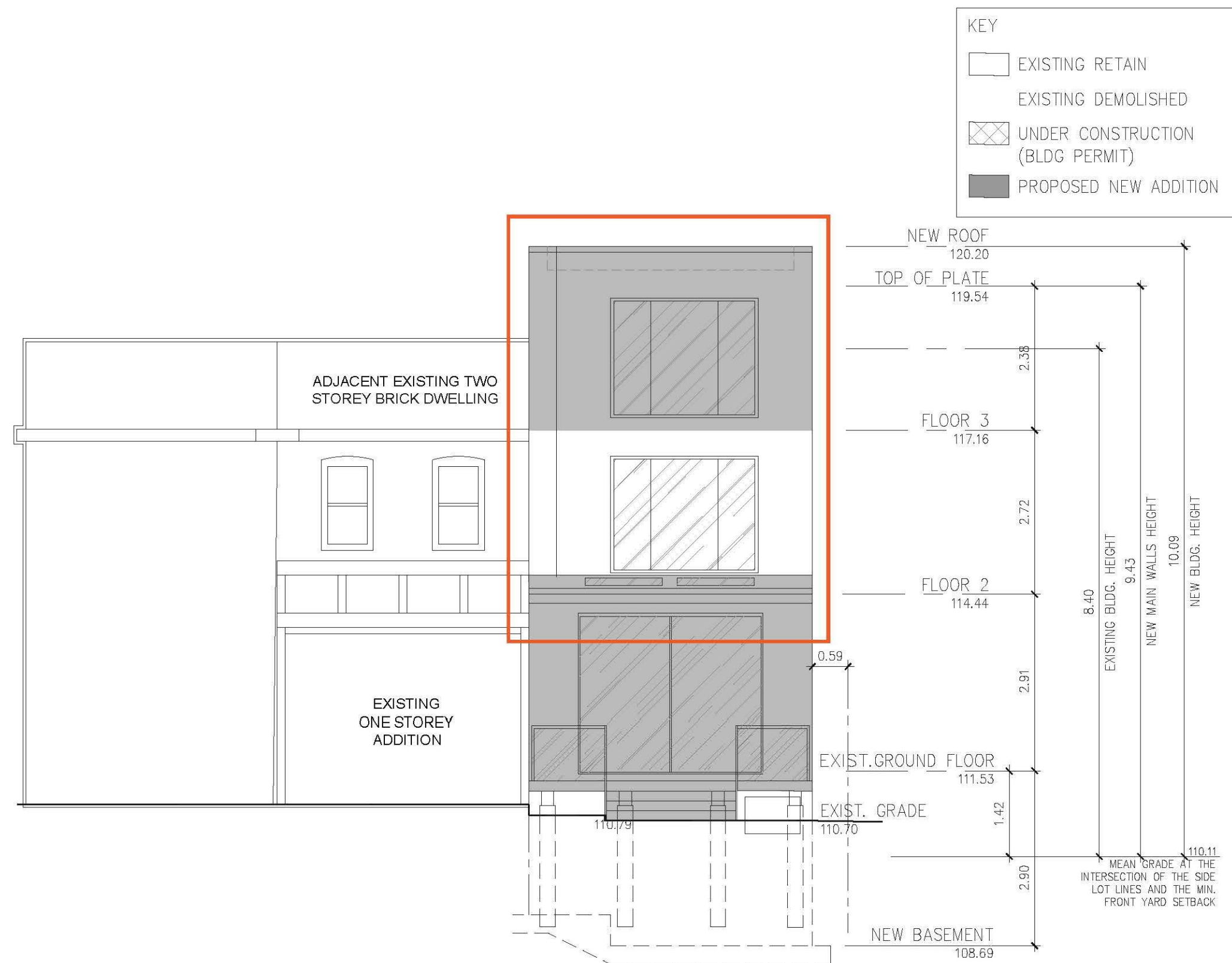
83 PEARS AVENUE
TORONTO, ON

Sheet Title

NORTH ELEVATION

Scale AS NOTED	Date 20180405
Drawn PM	Checked
Project No.	Drawing No.

A.08



1 REAR ELEVATION (SOUTH)
Scale: 1:75 MTS

Revision / Submission

03	20180802	PM	ZONING REVIEW
02	20180730	PM	ZONING REVIEW
01	20180405	PM	ZONING REVIEW
No.	Date	By	Comment

Final Plans - December 9, 2019

Project Title

83 PEARS AVENUE ADDITION

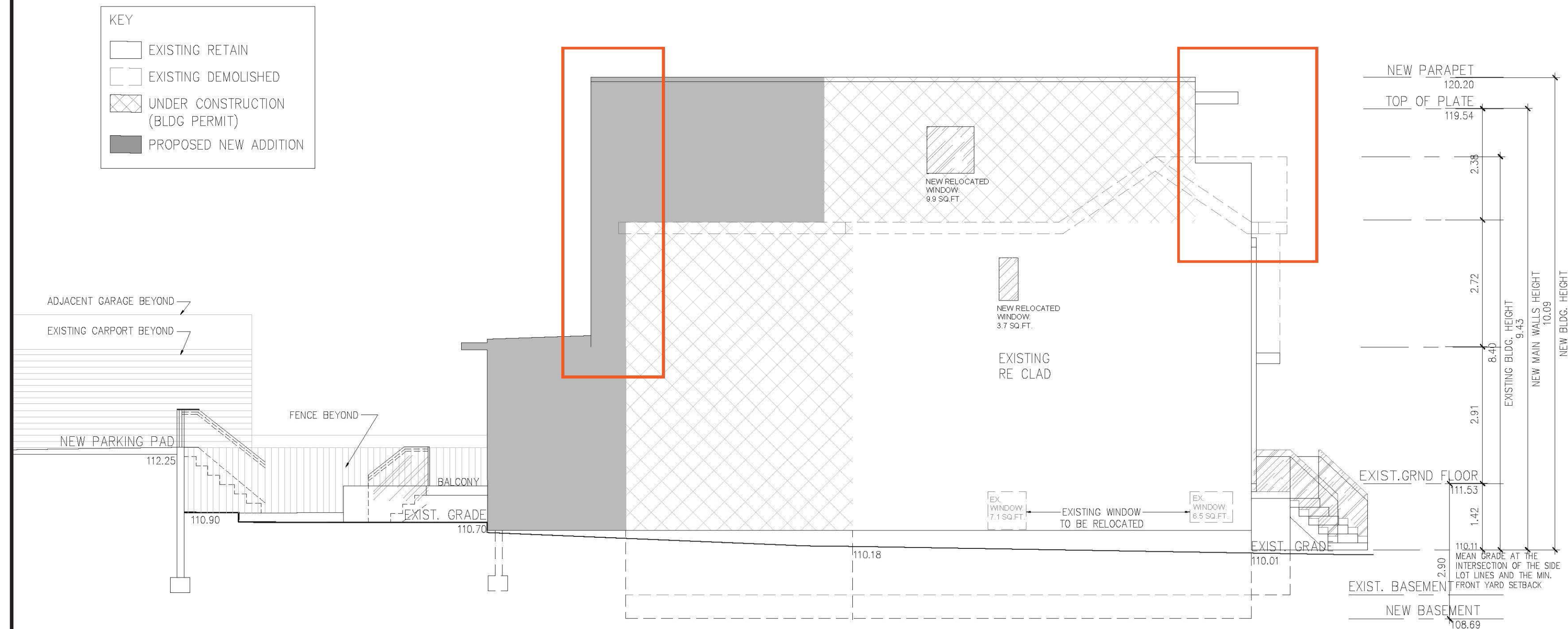
83 PEARS AVENUE
TORONTO, ON

Sheet Title

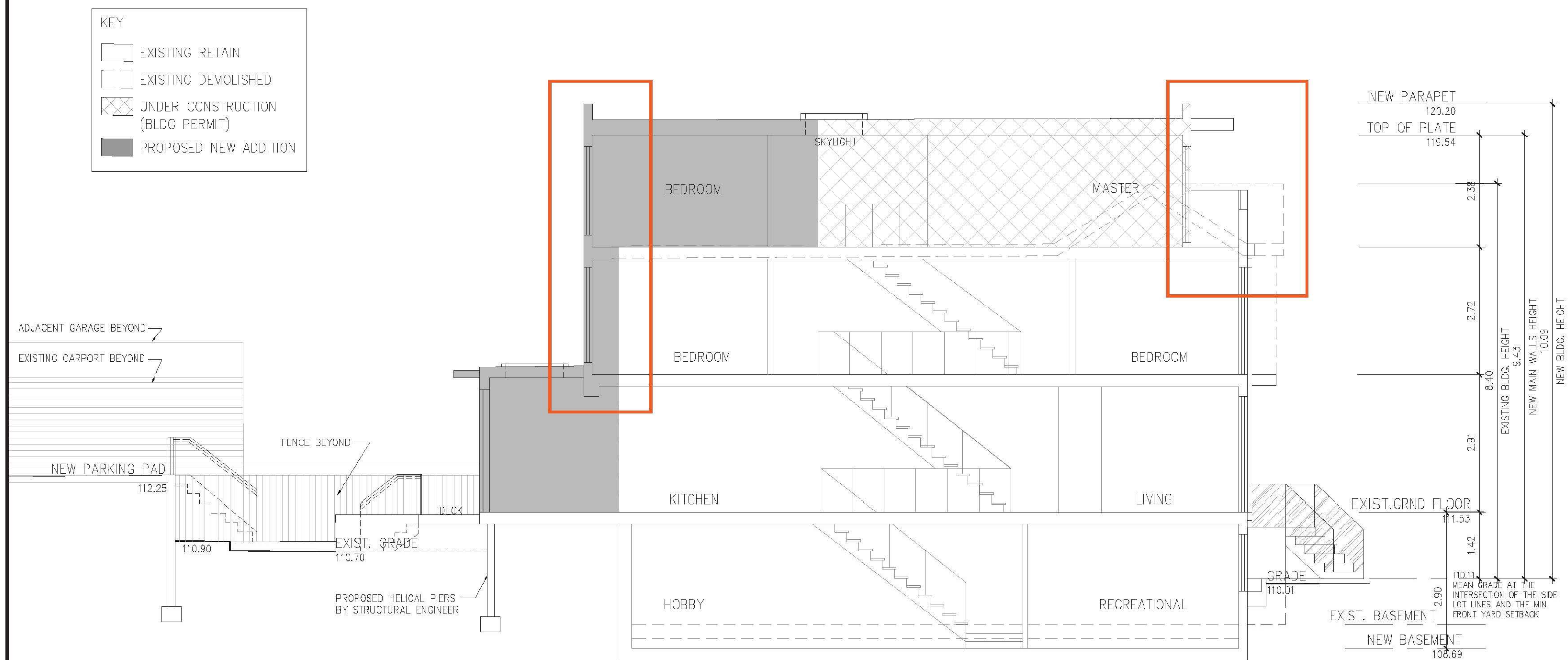
SOUTH ELEVATION

Scale AS NOTED	Date 20180405
Drawn PM	Checked
Project No.	Drawing No.

A.09



A.10

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Project Title

83 PEARS AVENUE
TORONTO, ON

Scale AS NOTED	Date 20180405
Drawn PM	Checked
Project No.	Drawing No.



ELISSA CHU ISA CERTIFIED ARBORIST
48 St. Quentin Avenue, Toronto, ON M1M 2M8
P: 416 285 4750 F: 416 285 4749
elissa@centraltreecare.com

Since 1996

centraltreecare.com

July 24, 2019

Tree Protection & Plan Review

50 Booth Ave, 2nd Flr.
Toronto, ON M4M 2M2
T: (416) 392-7391
E: tpprsouth@toronto.ca

Theo Margaritis

83 Pears Ave
Toronto, ON M5R 1S9
T (416) 357-8344
E theo@twgcommunications.com

Re: 83 Pears Avenue (Ward 11)

Addendum Arborist Report – Construction/Tree Protection

Central Tree Care Ltd. has been retained by Theo Margaritis to provide an addendum arborist report for the proposed construction at 83 Pears Avenue

The nature of the work includes the construction of a rear and third storey addition.

To facilitate the proposed construction:

	Privately-Owned	Privately-Owned Neighbouring / Boundary Trees	City-Owned Trees
Injury	-	1	-
Removal	-	-	-
Exemption	-	-	-

This arborist report and the attached Tree Protection Plan are based on the assumption that *no additional trees will be injured or removed*.

LIMITATIONS

Inspection of the trees on site was limited to a visual assessment from the ground only. No inspection via climbing, exploration below grade, probing, or coring were conducted, unless stated otherwise. Any observations and data collected from site are based on conditions at the time of inspection. Diameters of trees located on neighbouring properties were estimated to avoid trespassing. It must be noted that trees are living organisms and their conditions are subject to change.

This report was completed using the site plan titled “83 Pears Avenue Addition – Revised Basement Floor Plan A.03” dated “Blackwell Markups 2019-02-27”. If there are any changes to the noted site plan, the consulting arborist must be notified immediately. It is the assumption that no further work, other than what has been presented in the attached site plan, has been proposed.

TREE INVENTORY

Permit-sized trees on and within 6.0m of the work area were inspected on September 20, 2018 by Adam Vandermeij ON-1562A. The below inventory was taken from the arborist report prepared by Central Tree Care Ltd. dated September 25, 2018.

Tree #	Species	Latin Name	DBH (cm)	Canopy Radius (m)	Height (m)	Category	TPZ Radius (m)	Health	Structure	Assessment	Action
1	Honey locust	<i>Gleditsia triacanthos</i>	50–44	9	17	5	3	good	good		Requires a permit to injure as per arborist report dated September 25, 2018
2	Cherry species	<i>Prunus sp.</i>	5	1	3	5	1.2	good	good		Fully protected as per arborist report dated September 25, 2018
3	Honey locust	<i>Gleditsia triacanthos</i>	49	6	16	2	3	good	good	1 x 17cm limb requires pruning from over top of subject house to permit third storey addition.	Requires a permit to injure as per arborist report dated September 25, 2018

- Category #:
0. Tree NOT regulated under City of Toronto Tree by-laws
 1. Trees with diameters of 30cm or more, situated on private property on the subject site.
 2. Trees with diameters of 30cm or more, situated on private property, within 6m of subject site.
 3. Trees of all diameters situated on City owned parkland within 6m of subject site.
 4. Trees of all diameters situated within lands designated under City of Toronto Municipal Code, Chapter 658, Ravine Protection.
 5. Trees of all diameters situated within the City road allowance adjacent to the subject site.
 6. Trees of all diameters situated within the City road allowance adjacent a neighbouring property.

DISCUSSION

Please refer to “Recommendations” section for further details on tree preservation and how to conduct work within a Tree Protection Zone (TPZ).

Addition Foundation

The new rear foundation will extend in an “L” shaped fashion towards the south-east corner of the dwelling to avoid constructing a full basement within the TPZ of **Tree #3**; the remaining above ground structures of the addition and deck will be constructed on one helical pier and cantilevered over the TPZ.

Excavation for the new foundation has been confirmed by the homeowner on July 24, 2019 that the overdig will not exceed 18in (0.45m). Based on the overdig requirement, excavation is anticipated to encroach as close as 1.5m from the base of Tree #3. Although there is a possibility of encountering significant roots or root mats, the existing sunroom located on 85 Pears Avenue may have served to curb root growth and there may not be any significant roots or root mats within the proposed work area.

In addition to the foundation, one pier will be located within the TPZ of Tree #3 for the rear cantilevered deck and will encroach as close as 2.0m from its base. At this distance, the chances of encountering significant roots or root mats are minor.

In order to fully determine the impact of the foundation and pier installation, the following should be undertaken:

1. Root Exploration to be completed as per “Recommendations for Excavation within a TPZ”, detailed below, under the supervision of an arborist and a document of the findings to be sent to the Forestry Planner.
 - a. If no significant roots measuring a minimum diameter of 5cm or a dense root mat are discovered, work can proceed as originally proposed.
 - b. If significant roots measuring a minimum diameter of 5cm or a dense root mat are encountered, Forestry planner must be contacted for further consultation.
 - i. If there are significant roots or root mats within the pier location, the pier must be shifted to accommodate the root system
 - ii. If there are significant roots or root mats within the foundation excavation, the following will need to be considered:
 - Alternate construction methods to limit excavation even further
 - Basement foundation to be scaled back to accommodate the root system

Rear Three-Storey Addition and Third Storey Addition

To provide clearance for the new dwelling height, a 17cm limb belonging to Tree #3 will require removal. Refer to the “Pruning Plan” for more details. The loss of the 17cm limb is expected to be well within pruning requirements of no more than 25% of live canopy.

Overall Workflow

1. Completion of root exploration and submission to Forestry. The below recommendations are based on approval being granted by Forestry.
2. Installation of horizontal tree protection hoarding within the TPZ of Tree #3.
3. 17cm limb to be removed as per "Pruning Plan" detailed below.
4. Excavation for the new foundation to be completed by hand under the supervision of an arborist to ensure that roots are pruned according to current arboriculture standards.
5. When it is time to install the pile, the section of horizontal tree protection hoarding within the proposed pile location is to be removed. The pile location is to be excavated by hand under arborist supervision and roots are to be pruned according to current arboriculture standards.
6. "Remedial Care" as outlined below are to be adhered throughout the construction process to help mitigate the impact of root loss.

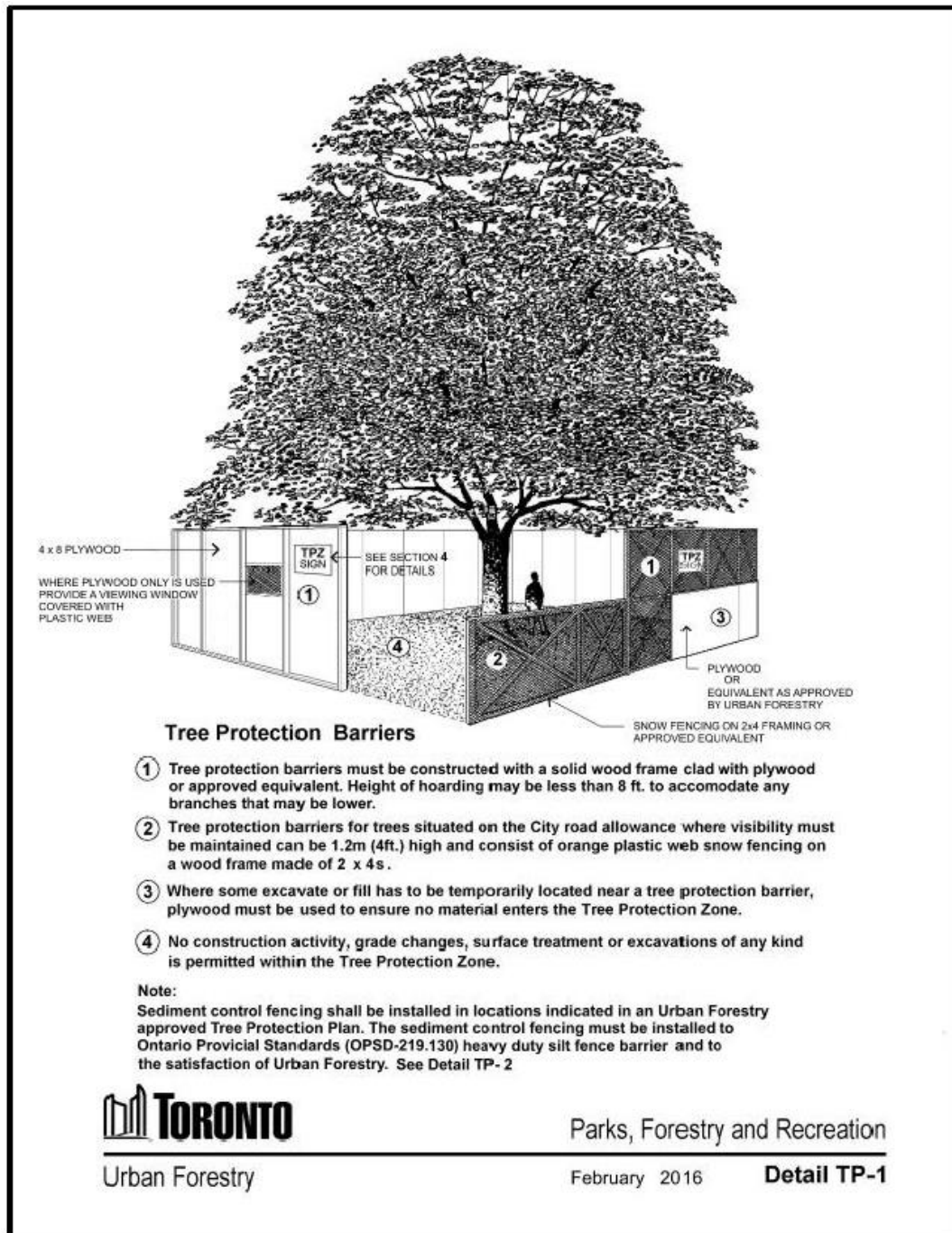
If all the above is adhered, the impact is anticipated to be well within tolerable levels as Honey Locust trees have a good tolerance to root pruning¹ and canopy loss is not expected to exceed 25%.

¹ Nelda Matheny and James R. Clark, *Trees and Development: A Technical Guide to Preservation of Trees During Land Development* (Champaign, International Society of Arboriculture, 1998), 171.

RECOMMENDATIONS

Recommendations for Hoarding

Hoarding must be installed by a qualified contractor and put in place as accurately as possible using the scale plan as the reference. It must conform to the recommendation put forth by the City of Toronto and recommendations within this report. All the protective fencing must be maintained throughout the construction project and its removal must be approved by the Forestry planner. All hoarding must be installed before demolition or construction commences and approved by the Forestry planner.

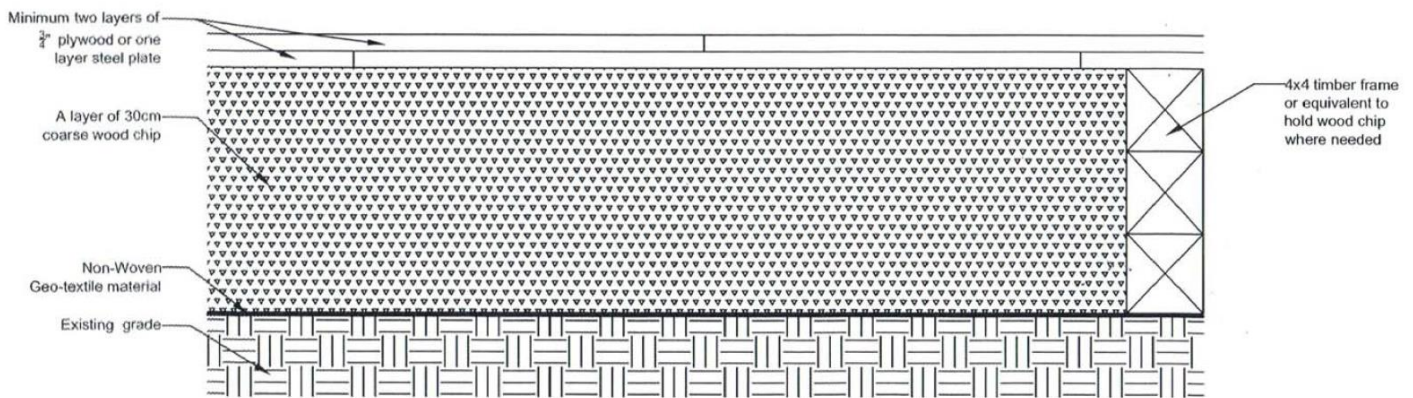


The TPZ is established on construction sites to help protect the trees from

- Alteration of existing grades
- Changes in grade by excavating and scraping
- Movement of construction vehicles and people
- Disposal of foreign materials
- Storage of waste of construction materials

The tree protection barriers can be constructed from:

- 4ft. high plywood hoarding that can be lowered around limbs, with the supports on the outside
- 4ft. high orange plastic snow fence on a 2"X 4" frame work, this is recommended where visibility is an issue. This is recommended for city trees
- If fill or excavates are going to be placed near the plastic fence a plywood barrier must be used to stop these materials from entering the TPZ.
- For minimizing compaction within the TPZ, horizontal plywood hoarding may be used. Horizontal hoarding consists of landscape fabric applied to grade, 30cm layer of mulch, and two layers of plywood secured together above the mulch.
- For more information on the construction of a tree protection zone please see the City of Toronto's forestry's web site and go to By-laws and Policies.



Horizontal Tree Protection (Wood Chip)



Urban Forestry Services

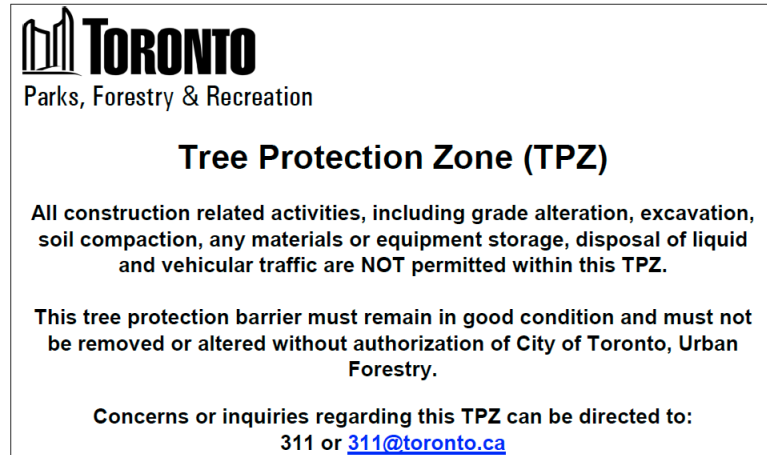
Parks and Recreation Division

December 2013

Detail HTP - 1

Tree protection signage:

- This sign will be mounted on each TPZ, and should be a minimum of 40cm x 60cm and made on white gator board.
- The sign must say in bold letters as a heading: Tree Protection Zone (TPZ) the rest of the text is as follows: No grade changes, storage of materials or equipment is permitted within this TPZ. Tree protection barriers must not be removed without written authorization of the City of Toronto, Urban Forestry Services. For info call Urban Forestry Services at (416) 338-5566, or the project consultant at 647-500-9669.



Implementation of protection:

- All TPZ must be erected before any type of construction commences on the subject site.
- Before construction begins the TPZ must be inspected by city forestry staff and the consulting arborist.
- Before any digging commences around a tree subject to injury by permit, the consulting arborist must be informed.
- To dig near a tree subject to injury by permit the consulting arborist must be on site to supervise the excavation.
- Hoarding cannot be removed until all construction is finished

Recommendations for Excavation within a TPZ

To minimize the impact of the proposed work, the following must be adhered to:

- A qualified arborist must be on site for the complete duration of each excavation. It is the arborist's duty to instruct the laborers and minimize damage to the tree.
- The arborist is also responsible for all root pruning, and to promote 'working around' roots whenever possible.
- Roots within the proposed work area shall first be exposed prior to any root pruning taking place
- All root pruning is to be conducted to proper arboricultural standards with sharp, sanitized tools and exposed roots to be recovered with parent soil
- All excavation/digging is to be done by hand or air spade to the required depth of the proposed work
- If roots measuring a minimum of 5cm in diameter or if a large mass of roots are found, the impact of the proposed work shall be evaluated with Urban Forestry, and other methods of construction must be considered in order to preserve the subject tree
- All excavation within the minimum TPZ of a protected tree is to be documented; a report of the findings should then be submitted to Urban Forestry

Recommendations for Remedial Care

Prior to the start of construction, all trees slated for preservation located within the work area are to receive a deep root fertilization treatment to prepare the trees for the impact of the proposed work. Stela Maris®, a seaweed-based extract, is recommended to be used to help improve overall plant health, improve root growth and development, improve plant vigor, and to help trees overcome periods of stress.

To aid in the affected trees' recovery, the subject trees should be consistently watered throughout the construction process to have the soil kept moist, but not wet, as too much water can suffocate the root system and cause anaerobic conditions.

Pruning Plan

All pruning is to be completed by a component tree worker prior to the start of construction:

- All pruning is to be conducted to proper arboriculture standards as a part of ISA Best Management Practices ANSI A300
- Climbing spurs shall not be used when climbing trees, except to climb a tree to be removed or to perform an aerial rescue of an injured worker
- Equipment and work practices that damage bark or cambium should be avoided
- Rope injury from loading out heavy limbs should be avoided

Canopy required for pruning:



SUMMARY

The owner of 83 Pears Avenue is proposing a rear three-storey and third storey addition.

To facilitate the proposed work:

	Privately-Owned	Privately-Owned Neighbouring / Boundary Trees	City-Owned Trees
Injury	-	1	-
Removal	-	-	-
Exemption	-	-	-

If there are any questions or concerns regarding the contents of this report, please feel free to contact me at elissa@centraltreecare.com

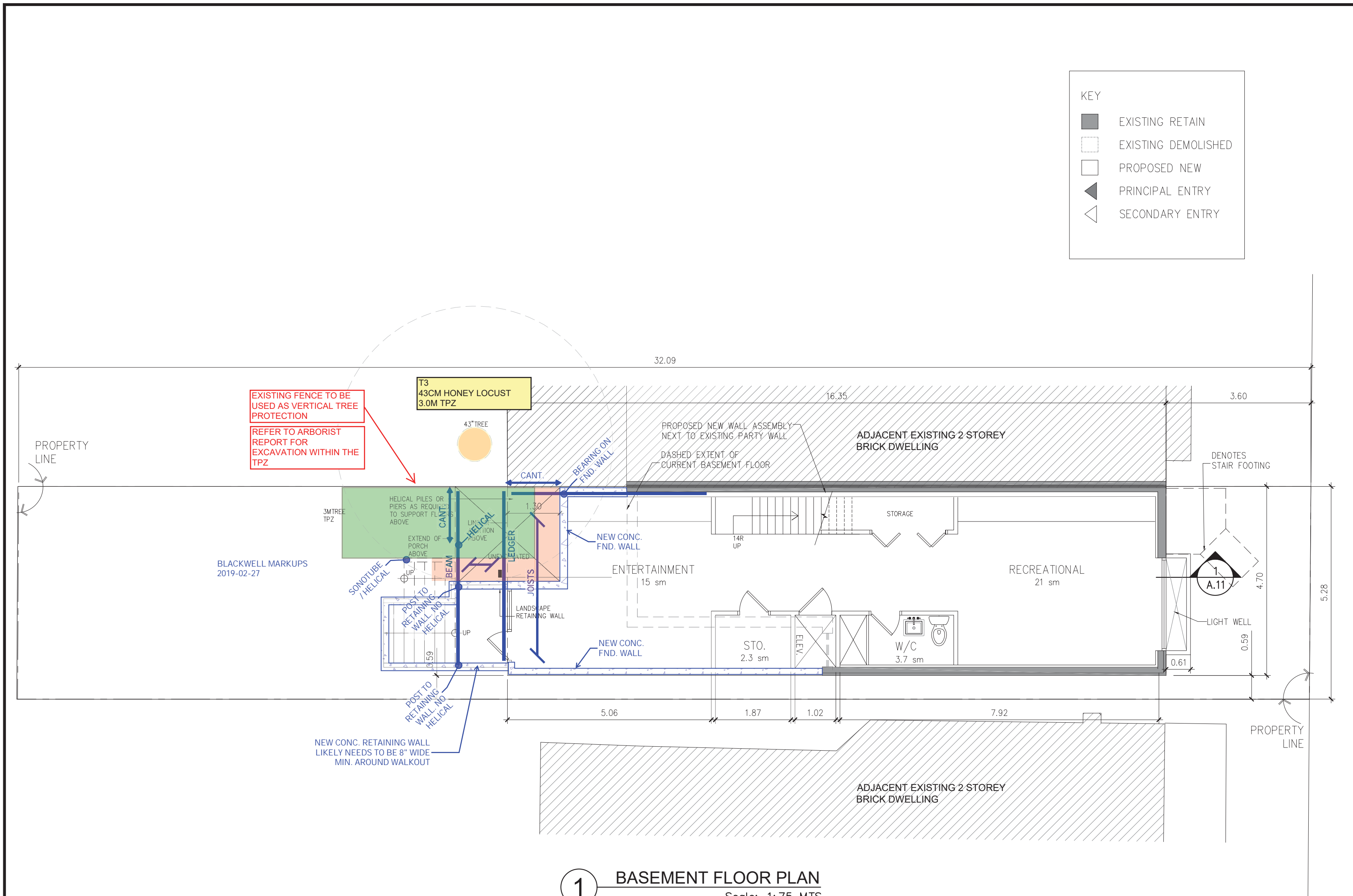
Thank you,

c/o Elissa Chu
Mike Spencley
Central Tree Care Ltd.

ON-2185A
ON-1379A



ON-1379A



1 BASEMENT FLOOR PLAN
Scale: 1: 75 MTS

KEY

- EXISTING RETAIN
- EXISTING DEMOLISHED
- PROPOSED NEW
- PRINCIPAL ENTRY
- SECONDARY ENTRY

PERMIT TREE PROPOSED FOR INJURY

TPZ OF PERMIT TREE

AREA OF ROOT EXPLORATION

HORIZONTAL TREE PROTECTION HOARDING

CENTRAL TREE CARE LTD

TREE PROTECTION PLAN

MUST BE READ IN CONJUNCTION WITH ADDENDUM ARBORIST REPORT PREPARED BY CENTRAL TREE CARE LTD. DATED JULY 24, 2019

JULY 24, 2019

Revision / Submission			
03	20180730	PM	ZONING REVIEW
02	20180719	PM	ZONING REVIEW
01	20180405	PM	ZONING REVIEW
No.	Date	By	Comment

Project Title

83 PEARS AVENUE
ADDITION

83 PEARS AVENUE
TORONTO, ON

Sheet Title

REVISED BASEMENT
FLOOR PLAN

Scale AS NOTED	Date 20180405
Drawn PM	Checked
Project No.	Drawing No. A.03

In the R zone, the permitted maximum floor space index is 1.0 times the lot area; 10.10.40.40(1)(3) (a)

40(1)(2) A-103 GROUND FLOOR

A-104	SECOND FLOOR
A-105	THIRD FLOOR
A-106	ROOF PLAN
A-107	FRONT 'NORTH' ELEVATION
A-108	REAR 'SOUTH' ELEVATION
A-109	EAST SIDE ELEVATION
A-110	CROSS-SECTION A-A & DETAILS
A-111	WALL SECTION B-B
A-112	WALL SECTION C-C
A-113	TYP. DETAILS
A-114	GENERAL NOTES

STRUCTURAL PLANS

S-001	GENERAL NOTES
S-002	GENERAL NOTES
S-003	GENERAL NOTES
S-004	GENERAL NOTES
S-005	GENERAL NOTES
S-101	BASEMENT FLOOR/FOUNDATION
S-102	BASEMENT FLOOR PLAN/ GROUND FLOOR FRAMING
S-103	GROUND FLOOR PLAN/ SECOND FLOOR FRAMING
S-104	SECOND FLOOR PLAN/ THIRD FLOOR FRAMING
S-105	THIRD FLOOR PLAN/ ROOF LEVEL FRAMING
S-201	FOUNDATIONS SECTIONS
S-202	FRAMING SECTION

A diagram of a tree with a snow fence. The tree has a trunk and a canopy. A horizontal line labeled "DRIPLINE" is drawn around the base of the canopy. A vertical line labeled "SNOW FENCE" is drawn at the base of the trunk. A horizontal line labeled "EXISTING GRADE" is drawn at the base of the tree. A vertical dimension line on the left is labeled "EFT 2'".

1. ALL DIMENSIONS IN METRES.
2. INSTALLATION: 2.4m LENGTH T-BARS SPACED 1.5m O.C WIRED TO THE INSIDE OF A STANDARD SNOW FENCE AT THREE LOCATIONS WITH #10 WIRE.
3. DO NOT SECURE ANY FENCING TO TREES

LEGEND:

----- EXISTING TREES TO BE SAVED AND PROTECTED
DURING CONSTRUCTION

----- EXISTING TREES TO BE REMOVED
BEFORE CONSTRUCTION BEGINS

EXISTING

5.28m
EXISTING

FRONT YARD LANDSCAPING DETAIL & CALCS

FRONT YARD LANDSCAPING

PROPOSED PORCH AND STEPS (PERMITTED PROJECTIONS):	3.54m ²
LANDSCAPE WALKWAY:	2.42m ²
WINDOW WELL:	1.11m ²
LANDSCAPED SODDED AREAS:	11.92m ²
FRONT YARD AREA:	(19m ² - 3.54m ²) = 15.46m ²

FRONT YARD
LANDSCAPING: 15.46m² (100%)

FRONT YARD 'SOFT' L'SCAPING

FRONT YARD AREA:
(EXCLUDING PERMITTED PROJECTIONS)

FRONT YARD
SOFT
LANDSCAPING: 11.92m² (77%)

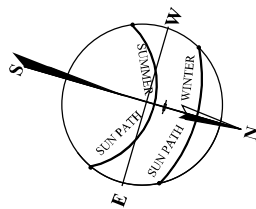
83 PEARS AVENUE
TORONTO, ON

KEY PLAN

General Notes:

DRAWINGS MUST NOT BE SCALED.
CONTRACTOR MUST CHECK AND SITE VERIFY ALL DIMENSIONS
AND REPORT ANY DISCREPANCIES TO THE HOMEOWNER PRIOR TO
PROCEEDING WITH THE WORK. ALL WORK SHALL COMPLY WITH
THE LAWS AND REGULATION OF AUTHORITIES HAVING JURISDICTION
TO THE SITE. ALL WORK SHALL CONFORM TO SPECIFICATIONS
FOR GENERAL CONDITIONS, MATERIALS AND WORKMANSHIP.
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER
DRAWINGS AND DOCUMENTS WITH REFERENCE TO THIS SITE.

<i>No.</i>	<i>Date</i>	<i>Description</i>
1	JAN 03, 2019	ISSUED FOR REVIEW
2	JAN 22, 2019	ISSUED FOR PERMIT



The undersigned has reviewed and takes responsibility for this design, and is exempt to comply with 3.2.5.1(3)(b) as the construction of this building is owned by the person noted below:

Theodosios Margaritis

NAME	SIGNATURE
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Project Name **PROPOSED 3RD STOREY ADDITION + INT. ALTS**

Project Location 83 PEARS AVENUE

<i>Drawing's Title</i>	SITE PLAN
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Project Number

Scale AS SHOWN

Sheet No. _____

A-101