

AMENDING DECISION AND ORDER

Decision Issue Date Monday, August 24, 2020

PROCEEDING COMMENCED UNDER Section 45(12), subsection 45(1) of the Planning Act, R.S.O. 1990, c. P.13, as amended (the "Act")

Appellant(s): 1628139 Ontario Inc

Applicant: Bousfields Inc

Property Address/Description: 940 Wilson Ave

Committee of Adjustment Case File: 18 144991 NNY 09 MV (A0313/18NY)

TLAB Case File Number: 18 187061 S45 09 TLAB

Hearing date: November 07, 2018

DECISION DELIVERED BY Ian James Lord

INTRODUCTION

A Decision and Order was issued in respect of this Application and Appeal on November 12, 2018. A request has been made to entertain revisions to the approved plans to facilitate and second access/egress to an approved roof deck.

BACKGROUND

The issued terms and conditions in respect of this matter included plans and conditions detailing, to a degree, the location, enclosure and scale of a roof deck amenity space for users of the *crisis care facility* proposed on the subject property.

In the course of the preparation of final plans and construction, the City Buildings Department advised of the necessity for an additional and second access/egress stair to the proposed roof deck.

The request envisaged the requirement for an amended Decision and Order both to recognize revisions to the Plans and to respond to the request by the TLAB for certain particulars as to the source and origin of the revisions.

MATTERS IN ISSUE

The Decision and Order required 'substantial compliance', on construction, with the approved plans. At issue is the ability to address the requests so long after the Decision and Order issuance and whether the requested amendments need recognition and should be granted.

JURISDICTION

The *Rules of Practice and Procedure* of the Toronto Local Appeal Body (TLAB), *Rule 30*, provide jurisdiction for the correction of technical or minor errors and the clarification of the meaning or intent of a decision.

EVIDENCE

On behalf of the operator, a request was made for the correction of the Decision and Order to reflect that the approved plans, drawings and conditions be amended to accommodate a request from the Plans Examiner on building permit issuance. Namely, that a roof deck be afforded a second egress/access.

Upon inquiry as to the basis of the request, the TLAB was supplied confirmation from Toronto Buildings that the interpretation of the requirement stemmed from the application of the *Ontario Building Code*, section 3.4.2.1, which provides as follows:

Under Part 3 in item 3.4.2.1 (1),
3.4.2.1. Minimum Number of Exits

(1) Except as permitted by Sentences (2) to (4) and (6), every *floor area* intended for occupancy shall be served by at least two *exits*.

The response from City Buildings also states that none of the referenced exceptions apply.

As a consequence, revised plans showing the location of the second stairwell, drawn by the Applicants architect, were submitted showing, in 'bubbling', the additional structural improvements.

The plans provided are **Appendix A**, hereto. The correspondence from the Applicant and Toronto Buildings is on the TLAB file.

ANALYSIS, FINDINGS, REASONS

This matter was the subject of an extensive Hearing and the Decision and Order resulting attempted to respond to the Applicants plans and matters of concern to the Parties and Participants. A roof deck was under scrutiny and the terms of the approval granted addressed it in some detail. That Decision and Order reads as follows:

“The decision of the COA is set aside and the variances identified in **Attachment 1** are approved.

This approval is subject to the following Conditions:

1. Construction shall be substantially in accordance with the Revised Site Plan and Elevation Plans contained in **Attachment 2** hereto, except as hereinafter varied.
2. Despite the roof deck third floor Plan found in **Attachment 2**, the roof deck shall be cordoned off, except at its point of access, with the setbacks and in the location shown on the third floor roof Plan by an anchored solid wood or board-on-board fence maintained in a good state of repair and not less than 1.52 m in height throughout, such that and to the end that access to any other part of the roof shall be prohibited, except for maintenance purposes.
3. The owner/Appellant and the tenant CMHA, for so long as the use of a Crisis Care Facility continues, shall post and maintain current signage on the Wilson Avenue frontage identifying the title and office telephone and contact particulars of personnel on the site at the subject property and, as well, the owner's representative. No occupancy permit shall be issued for the expanded space until the requirement of this condition is met to the satisfaction of the Chief Building Official.
4. The owner/Appellant or designate shall communicate with the Business Improvement Area Executive Director, or equivalent, and co-operate on an agreed landscape design or feature to mutually address objectives for the landscaping of the agreed converted parking pad at the front of the subject property as shown on the Revised Site Plan found in **Attachment 2**. No occupancy permit shall be issued for the expanded space until the requirement of this condition is met or secured to the satisfaction of the Chief Building Official.

No other variances are authorized. If there are difficulties in the implementation of this decision and order, the TLAB may be spoken to.”

It is apparent from the request that no other variances are sought and that the Plans revision and request are solely the derivative of the City Buildings imposition of the requirement of a second egress/access point and a consequent non-compliance with the submissions to date.

I am not aware that the roof deck constitutes “*floor area* intended for occupancy” as described in the Regulation but have no reason to dispute the authenticity of the requested revision. Indeed, it encapsulates an improvement to the health and safety of occupants of the rooftop amenity space and in that sense is desirable.

On that basis I can support an amendment as required of the above Decision and Order.

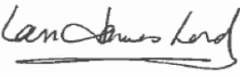
DECISION AND ORDER

The Decision and Order issued November 12, 2018 is amended by:

1. The substitution into **Attachment 1** thereof, the revisions shown as ‘bubbled’ on the plans attached as **Appendix A**, hereto.
2. The Conditions of approval are amended as shown in italics, below:
 1. “Construction shall be substantially in accordance with the Revised Site Plan and Elevation Plans contained in **Attachment 2** *as amended by Appendix A* hereto, except as hereinafter varied.
 2. Despite the roof deck third floor Plan found in **Attachment 2**, the roof deck shall be cordoned off, except at its points of access, with the setbacks and in the location shown on the third floor roof Plan *and Appendix A* by an anchored solid wood or board-on-board fence maintained in a good state of repair and not less than 1.52 m in height throughout, such that and to the end that access to any other part of the roof shall be prohibited, except for maintenance purposes.
 3. The owner/Appellant and the tenant CMHA, for so long as the use of a Crisis Care Facility continues, shall post and maintain current signage on the Wilson Avenue frontage identifying the title and office telephone and contact particulars of personnel on the site at the subject property and, as well, the owner’s representative. No occupancy permit shall be issued for the expanded space until the requirement of this condition is met to the satisfaction of the Chief Building Official.

4. The owner/Appellant or designate shall communicate with the Business Improvement Area Executive Director, or equivalent, and co-operate on an agreed landscape design or feature to mutually address objectives for the landscaping of the agreed converted parking pad at the front of the subject property as shown on the Revised Site Plan found in **Attachment 2**. No occupancy permit shall be issued for the expanded space until the requirement of this condition is met or secured to the satisfaction of the Chief Building Official.

Subject to the amendments so noted, the Decision and Order dated November 12, 2018 is confirmed.

X 

Ian Lord
Panel Chair, Toronto Local Appeal Body
Signed by: Ian Lord

APPENDIX A

Attached Amended Plans



SITE PLAN
SCALE: 1:100

ONTARIO ASSOCIATION
OF
ARCHITECTS
William Chang
WILLIAM CHANG WONG
LICENCE
6185

ONTARIO ASSOCIATION
of
ARCHITECTS
William Chang Wong
WILLIAM CHANG WONG
LICENCE
6185

Contractor must check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the work.

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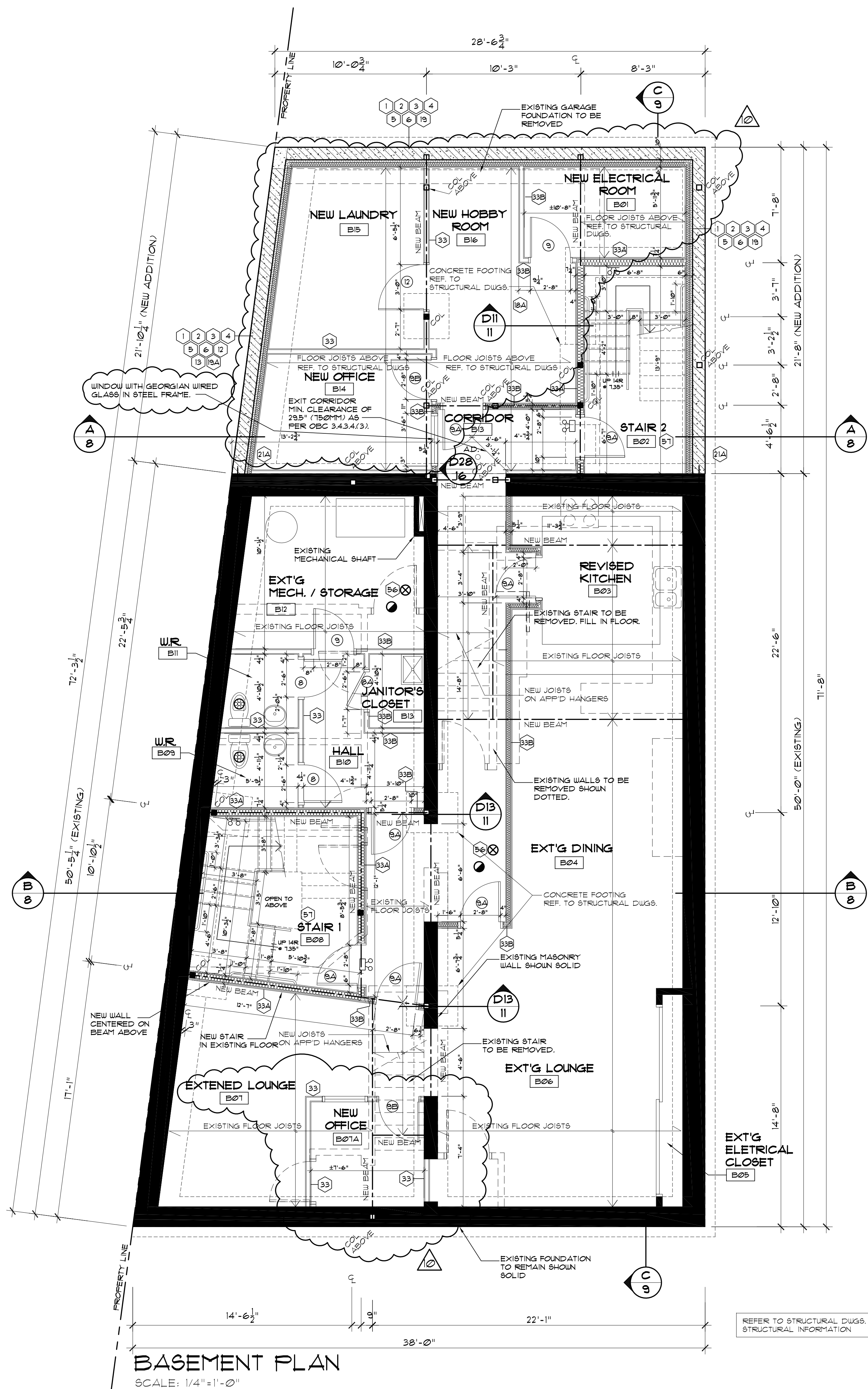
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Date: 13 MAY '19



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212-290 North Queen Street, Etobicoke, Ontario M9C 5L2
Telephone (416)364-0494 Fax (416)364-0518

LOCATION		
940 WILSON AVENUE TORONTO, ONTARIO		
TITLE		
SITE PLAN 4 BUILDING SECTION		
SCALE		
AS SHOWN		DRAWN A.B.
DATE		
FEBRUARY 2019		RR.
PROJECT No.	DRAWING No.	REVISION No.
P1303	1	10



- LEGEND**
- EXIST. WALL, PARTITION OR COLUMN.
 - EXIST. WALL, PARTITION OR COLUMN PROPOSED TO BE REMOVED.
 - NEW PARTITION 1/2" THICK G.W.B. EACH SIDE OF 2"x4" WOOD STUDS @16" O.C. FINISHED WITH PAINT AS SELECTED BY OWNER.
 - NEW ONE HOUR FIRE RESISTANCE RATED WALL AS PER U.L.C. DESIGN W-301. (SEE TYP. DETAILS ATTACHED HEREWITH).
 - PERIMETER BRICK/VENEER WALL, SEE CONSTRUCTION NOTES 9,10.
 - PERIMETER FRAME WALL, SEE CONSTRUCTION NOTES 9,11.
 - 4" DIA. WEAVING TILE OR PIPE SEE CONSTRUCTION NOTES 14.
 - PROPOSED STRUCTURAL MEMBER ABOVE, SEE FLOOR PLAN FOR DETAILS.
 - SECTION OR DETAIL NUMBER.
 - DRAWING OR SHEET NUMBER.
 - DOOR NUMBER, SEE DOOR SCHEDULE.
 - BATHROOM/WASHROOM MECHANICAL VENTILATION TO EXTERIOR, AS PER OBC.3.32.2.
 - STOVE EXHAUST FAN/hood TO EXTERIOR, AS PER OBC.3.32.3.
 - DRYER VENT TO EXTERIOR, AS PER OBC.3.32.3.
 - FURNACE, HOT WATER HEATER, FIREPLACE INTAKE DUCT FOR COMBUSTION AIR, AS PER OBC.3.32.
 - U.L.C. APPROVED SMOKE ALARM AS PER OBC.3.10.1.8. AND INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
 - CARBON MONOXIDE DETECTOR WITH AN ALARM AUDIBLE THROUGHOUT THE HOUSE OR INTERCONNECTED WITH THE SMOKE ALARMS SO THAT WHEN THE CARBON MONOXIDE DETECTOR IS ACTIVATED, IT WILL ACTIVATE THE SMOKE ALARMS, AS PER OBC.3.32.3.8.
 - AREA DRAIN, NOTE: SLOPE MIN. 1% CONCRETE SLAB TO DRAIN.
 - EMERGENCY LIGHT AND EXIT SIGN.
 - EMERGENCY LIGHT.

COLUMN SCHEDULE

C1	2 - 2" X 4"
C2	3 - 2" X 4"
C3	2 - 2" X 6"
C4	3 - 2" X 6"
C5	4 - 2" X 6"
C6	4" X 4" H88
C7	4 - 2" X 4"

NOTE: ALL STEEL COLUMNS TO HAVE 12"x8"x8" ST. TOP PLATE FLUSH WITH EXTERIOR AND 12"x8"x8" ST. BASE PLATE W/ 4 HOLES ON SOLID MASONRY COURSE OR POURED FOUNDATION (TYPICAL).

LINTEL SCHEDULE

W1	2 - 2" X 4"
W2	2 - 2" X 6"
W3	2 - 2" X 8"
W4	2 - 2" X 10"
W5	2 - 2" X 12"
W6	3 - 2" X 10"
W7	3 - 2" X 12"

(MIN. 3 1/2" LENGTH OF BEARING AT END SUPPORTS.)

S1	ST. L - 3.5" X 3.5" X 1/4"	(3'11" MAX. SPAN)
S2	ST. L - 3.5" X 3.5" X 5/16"	(4'11" MAX. SPAN)
S3	ST. L - 4" X 3.5" X 5/16"	(6'11" MAX. SPAN)
S4	ST. L - 5" X 3.5" X 5/16"	(7'10" MAX. SPAN)
S5	ST. L - 5" X 3.5" X 3/8"	(8'10" MAX. SPAN)
S6	ST. L - 6" X 4" X 3/8"	(9'10" MAX. SPAN)

(MIN. 5 1/8" LENGTH OF BEARING AT END SUPPORTS AND ON SOLID MASONRY COURSE.)

DOOR SCHEDULE

(SHOW THIS ON FLOOR PLANS. ALL FOR PAINT FINISH. CALL ALL REQUIRED HARDWARE STYLE AS SELECTED BY OWNER.)

1	PAIR 36"x80"x1 3/4" INSULATED DOOR AND FRAME CALL WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE. ALSO TO COMPLY WITH OBC.3.6.1.
1A	PAIR 36"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE, PANIC HARDWARE. ALSO TO COMPLY WITH OBC.3.6.1.
2	PAIR 36"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE. ALSO TO COMPLY WITH OBC.3.6.1. PANIC HARDWARE.
3	PAIR 36"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE. ALSO TO COMPLY WITH OBC.3.6.1.
4	SLIDING DOOR 72"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE. ALSO TO COMPLY WITH OBC.3.6.1.
5	SLIDING DOOR 60"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE. ALSO TO COMPLY WITH OBC.3.6.1.
6	18"x80"x1 3/4" HOLLOW CORE.
7	24"x80"x1 3/4" HOLLOW CORE.
8	30"x80"x1 3/4" HOLLOW CORE.
8A	30"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & LOCKING DEVICE.
9	32"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & LOCKING DEVICE.
9A	32"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & PANIC HARDWARE.
9B	32"x80"x1 3/4" HOLLOW CORE. - LOCKING DEVICE.
10	34"x80"x1 3/4" HOLLOW CORE.
10A	34"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & PANIC HARDWARE.
11	36"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & PANIC HARDWARE.
12	36"x80"x1 3/4" HOLLOW CORE.
13	38"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & PANIC HARDWARE.
14	38"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & LOCKING DEVICE.
15	PAIR 30"x80"x1 3/4" HOLLOW CORE.
16	PAIR 32"x80"x1 3/4" HOLLOW CORE.
17	PAIR 36"x80"x1 3/4" HOLLOW CORE.
18	24"x80"x1 3/4" POCKET DOOR.
19	30"x80"x1 3/4" POCKET DOOR.
20	32"x80"x1 3/4" POCKET DOOR.
21	36"x80"x1 3/4" POCKET DOOR.
22	PAIR 24"x80"x1 3/4" POCKET DOOR.
23	PAIR 30"x80"x1 3/4" POCKET DOOR.
24	PAIR 32"x80"x1 3/4" POCKET DOOR.
25	PAIR 36"x80"x1 3/4" POCKET DOOR.
26	96"x80" OVERHEAD GARAGE DOOR.
27	108"x80" OVERHEAD GARAGE DOOR.

NOTE: ALL L.V.L. TO BE GRADE 2550 PD-120 E



NO.	DATE	REVISION	BY
10	13 MAY '20	PERMIT REVISION	A.B.
09	21 APR '20	GENERAL REVISION	A.B.
08	6 MAR '20	PLAN REVISION	A.B.
07	6 FEB '20	GROUND FLOOR LOBBY	A.B.
06	24 JAN '20	CITY COMMENTS	A.B.
05	13 SEP '19	CITY COMMENTS	A.B.
04	7 AUG '19	GENERAL REVISION	A.B.
03	19 JUL '19	ROOF TOP FENCE	A.B.
02	13 MAY '19	PRI-SUBMISSION SET	A.B.
01	13 MAY '19		A.B.

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Date: 13 MAY '19

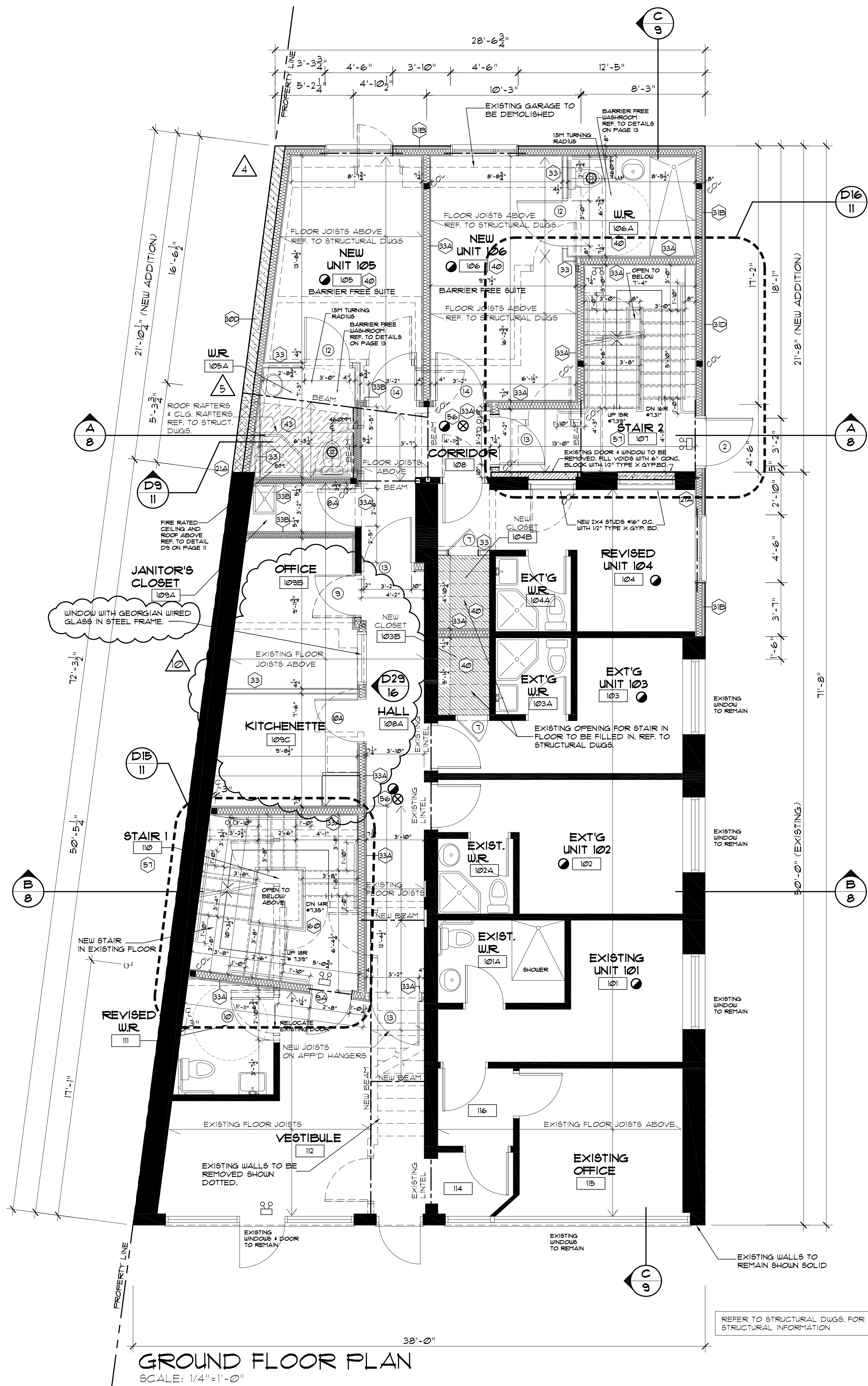
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LOCATION		
940 WILSON AVENUE TORONTO, ONTARIO		
TITLE		
BASEMENT PLAN		
SCALE		
AS SHOWN	DRAWN	A.B.
DATE		
FEBRUARY 2019 R.R.		
PROJECT NO.	DRAWING NO.	REVISION NO.
P1903	2	10



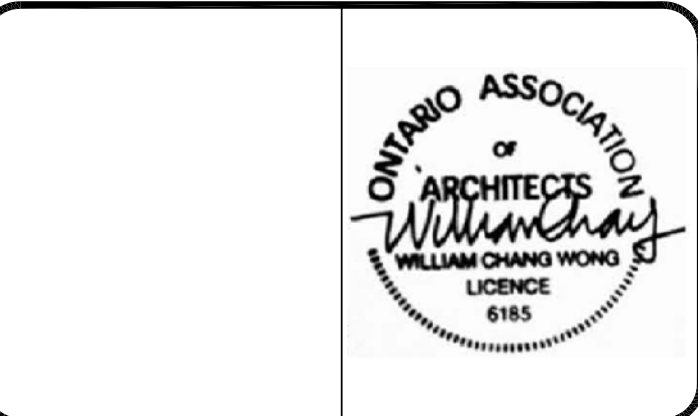
GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

- LEGEND**
- EXIST. WALL, PARTITION OR COLUMN.
 - EXIST. WALL, PARTITION OR COLUMN PROPOSED TO BE REMOVED.
 - NEW PARTITION 1/2" THICK G.I.B. EACH SIDE OF 2"x4" WOOD STUDS #16" O.C. FINISHED WITH PAINT AS SELECTED BY OWNER.
 - NEW ONE HOUR FIRE RESISTANCE RATED WALL AS PER U.L.C. DESIGN W-301. (SEE TYP. DETAILS ATTACHED HEREWITH.)
 - PERIMETER BRICK/VENEER WALL, SEE CONSTRUCTION NOTES 9.0.
 - PERIMETER FRAME WALL, SEE CONSTRUCTION NOTES 9.1.
 - 4" DIA. KEEPING TILE OR PIPE SEE CONSTRUCTION NOTES 9.4.
 - PROPOSED STRUCTURAL MEMBER ABOVE, SEE FLOOR PLAN FOR DETAILS.
 - SECTION OR DETAIL NUMBER.
 - DRAWING OR SHEET NUMBER.
 - DOOR NUMBER, SEE DOOR SCHEDULE.
 - BATHROOM/WASHROOM MECHANICAL VENTILATION TO EXTERIOR, AS PER OBC.9.32.2.
 - STOVE EXHAUST FANHOOD TO EXTERIOR, AS PER OBC.9.32.3.
 - DRYER VENT TO EXTERIOR, AS PER OBC.9.32.3.
 - FURNACE, HOT WATER HEATER, FIREPLACE INTAKE DUCT FOR COMBUSTION AIR, AS PER OBC.9.32.
 - U.L.C. APPROVED SMOKE ALARM AS PER OBC.9.10.18. AND INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
 - CARBON MONOXIDE DETECTOR WITH AN ALARM AUDIBLE THROUGHOUT THE HOUSE OR INTERCONNECTED WITH THE SMOKE ALARMS SO THAT WHEN THE CARBON MONOXIDE DETECTOR IS ACTIVATED, IT WILL ACTIVATE THE SMOKE ALARMS, AS PER OBC.9.3.8.
 - AREA DRAIN, NOTE: SLOPE MIN. 1% CONCRETE SLAB TO DRAIN.
 - EMERGENCY LIGHT AND EXIT SIGN.

- COLUMN SCHEDULE**
- | Column | Dimensions |
|--------|-------------|
| C1 | 2 - 2" X 4" |
| C2 | 3 - 2" X 4" |
| C3 | 2 - 2" X 6" |
| C4 | 3 - 2" X 6" |
| C5 | 4 - 2" X 6" |
| C6 | 4" X 4" H88 |
| C7 | 4 - 2" X 4" |
- NOTE: ALL STEEL COLUMNS TO HAVE 1/2"x8"x8" ST. TOP PLATE FLUSH WITH EXTERIOR AND 1/2"x8"x8" ST. BASE PLATE W/ 4 HOLES ON SOLID MASONRY COURSE OR POURED FOUNDATION (TYPICAL).

- LINTEL SCHEDULE**
- | Lintel | Dimensions |
|--------|--------------|
| W1 | 2 - 2" X 4" |
| W2 | 2 - 2" X 6" |
| W3 | 2 - 2" X 8" |
| W4 | 2 - 2" X 10" |
| W5 | 2 - 2" X 12" |
| W6 | 3 - 2" X 10" |
| W7 | 3 - 2" X 12" |
- (MIN. 3 1/2" LENGTH OF BEARING AT END SUPPORTS.)
- | Lintel | Dimensions | Notes |
|--------|-----------------------------|-------------------|
| S1 | ST. L - 3.5" X 3.5" X 1/4" | (3'11" MAX. SPAN) |
| S2 | ST. L - 3.5" X 3.5" X 5/16" | (4'11" MAX. SPAN) |
| S3 | ST. L - 4" X 3.5" X 5/16" | (6'11" MAX. SPAN) |
| S4 | ST. L - 5" X 3.5" X 5/16" | (7'10" MAX. SPAN) |
| S5 | ST. L - 5" X 3.5" X 3/8" | (8'10" MAX. SPAN) |
| S6 | ST. L - 6" X 4" X 3/8" | (9'10" MAX. SPAN) |
- (MIN. 5 1/8" LENGTH OF BEARING AT END SUPPORTS AND ON SOLID MASONRY COURSE.)

- DOOR SCHEDULE**
- (SHOW THIS ON FLOOR PLANS, ALL FOR PAINT FINISH, CALL ALL REQUIRED HARDWARE STYLE AS SELECTED BY OWNER)
- | Door | Dimensions | Notes |
|------|---|-------|
| 1 | 36"x80" 3/4" INSULATED DOOR AND FRAME CALL WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE, ALSO TO COMPLY WITH OBC.9.6.1. | |
| 1A | 36"x80" 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE, ALSO TO COMPLY WITH OBC.9.6.1. | |
| 2 | 36"x80" 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE, ALSO TO COMPLY WITH OBC.9.6.1. | |
| 3 | PAIR 36"x80" 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE, ALSO TO COMPLY WITH OBC.9.6.1. | |
| 4 | BUILDING DOOR 32"x80" 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE, ALSO TO COMPLY WITH OBC.9.6.1. | |
| 5 | BUILDING DOOR 36"x80" 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE, ALSO TO COMPLY WITH OBC.9.6.1. | |
| 6 | 18"x80" 3/4" HOLLOW CORE. | |
| 7 | 24"x80" 3/4" HOLLOW CORE. | |
| 8 | 30"x80" 3/4" HOLLOW CORE. | |
| 8A | 30"x80" 3/4" SOLID CORE - 45MIN RATED WITH SELF CLOSER & LOCKING DEVICE | |
| 9 | 32"x80" 3/4" SOLID CORE - 45MIN RATED WITH SELF CLOSER & LOCKING DEVICE | |
| 9A | 32"x80" 3/4" SOLID CORE - 45MIN RATED WITH SELF CLOSER & PANIC HARDWARE | |
| 9B | 32"x80" 3/4" HOLLOW CORE - LOCKING DEVICE | |
| 10 | 34"x80" 3/4" HOLLOW CORE. | |
| 10A | 34"x80" 3/4" SOLID CORE - 45MIN RATED WITH SELF CLOSER & PANIC HARDWARE | |
| 11 | 36"x80" 3/4" SOLID CORE - 45MIN RATED WITH SELF CLOSER & PANIC HARDWARE | |
| 12 | 36"x80" 3/4" HOLLOW CORE. | |
| 13 | 38"x80" 3/4" SOLID CORE - 45MIN RATED WITH SELF CLOSER & PANIC HARDWARE | |
| 14 | 38"x80" 3/4" SOLID CORE - 45MIN RATED WITH SELF CLOSER & LOCKING DEVICE | |
| 15 | PAIR 30"x80" 3/4" HOLLOW CORE. | |
| 16 | PAIR 32"x80" 3/4" HOLLOW CORE. | |
| 17 | PAIR 36"x80" 3/4" HOLLOW CORE. | |
| 18 | 24"x80" 3/4" POCKET DOOR | |
| 19 | 30"x80" 3/4" POCKET DOOR | |
| 20 | 32"x80" 3/4" POCKET DOOR | |
| 21 | 36"x80" 3/4" POCKET DOOR | |
| 22 | PAIR 24"x80" 3/4" POCKET DOOR | |
| 23 | PAIR 30"x80" 3/4" POCKET DOOR | |
| 24 | PAIR 32"x80" 3/4" POCKET DOOR | |
| 25 | PAIR 36"x80" 3/4" POCKET DOOR | |
| 26 | 96"x80" OVERHEAD GARAGE DOOR | |
| 27 | 108"x80" OVERHEAD GARAGE DOOR | |
- NOTE: ALL L.V.L. TO BE GRADE 2950 PD-120 E



NO.	DATE	REVISION	BY
10	13 MAY '20	PERMIT REVISION	A.B.
09	21 APR '20	GENERAL REVISION	A.B.
08	6 MAR '20	PLAN REVISION	A.B.
07	6 FEB '20	GROUND FLOOR LOBBY	A.B.
06	24 JAN '20	CITY COMMENTS	A.B.
05	13 SEP '19	CITY COMMENTS	A.B.
04	7 AUG '19	GENERAL REVISION	A.B.
03	19 JUL '19	ROOF TOP FENCE	A.B.
02	13 MAY '19	PRI-SUBMISSION SET	A.B.
01	13 MAY '19		A.B.

Contractor must check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the work.

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Date: 13 MAY '19

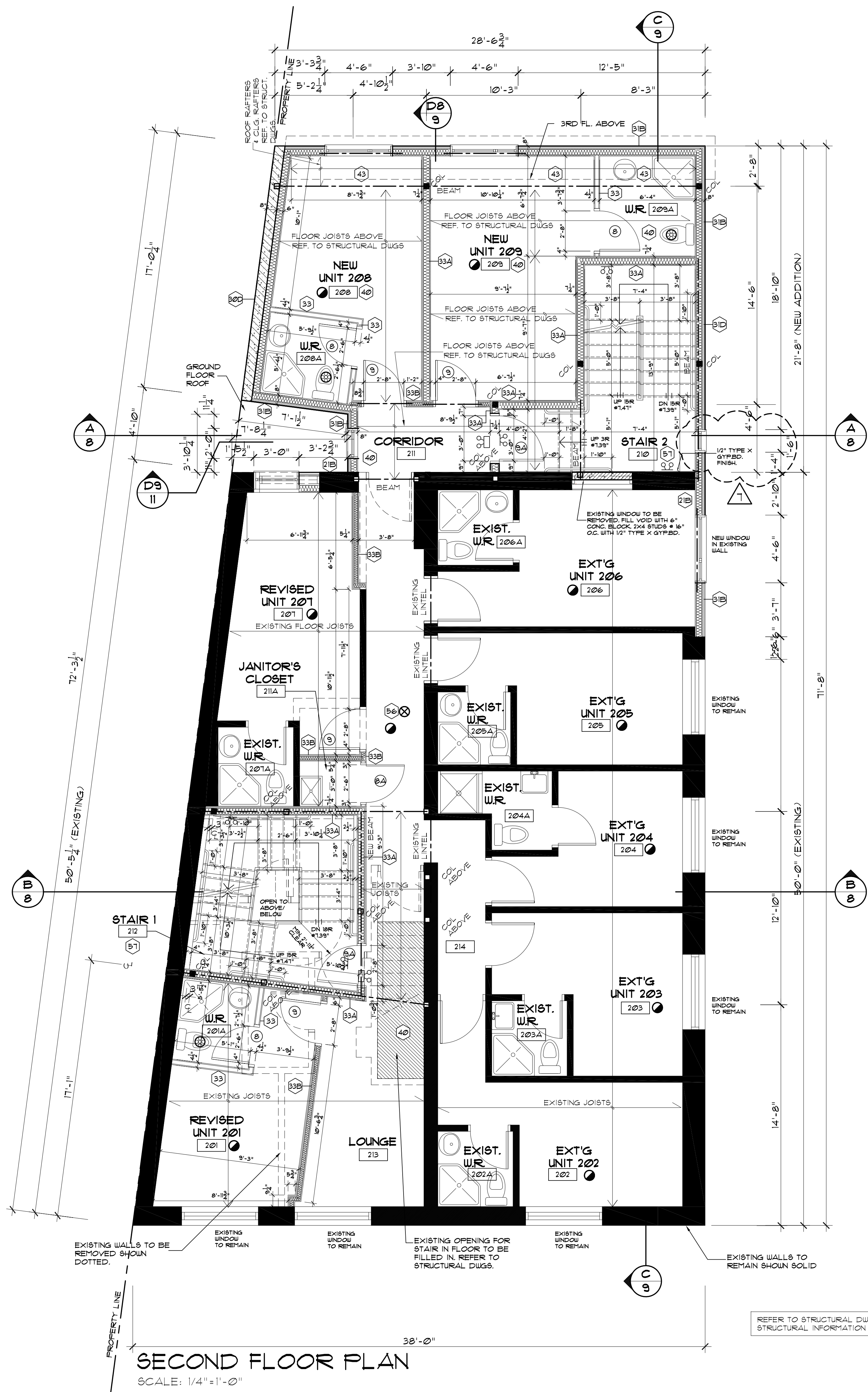
ID IsometricaDesign architects

98 Bedford Park Ave. Toronto, ON M5M 1J1

M.J. DESIGN PARTNERS INC.

212-290 North Queen Street, Etobicoke, Ontario M9C 5L2
Telephone (416)364-0494 Fax (416)364-0518

LOCATION	940 WILSON AVENUE TORONTO, ONTARIO
TITLE	GROUND FLOOR PLAN
SCALE	AS SHOWN
DRAWN	A.B.
DATE	FEBRUARY 2019 R.R.
CHECKED	
PROJECT NO.	P1903
DRAWING NO.	3
REVISION NO.	10

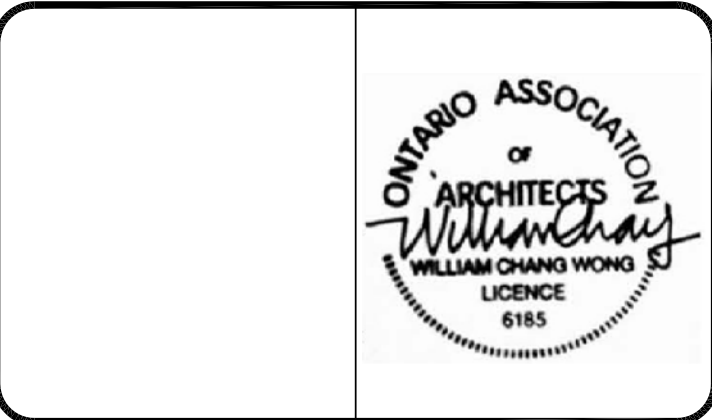


- LEGEND**
- EXIST. WALL, PARTITION OR COLUMN.
 - EXIST. WALL, PARTITION OR COLUMN PROPOSED TO BE REMOVED.
 - NEW PARTITION 1/2" THICK G.W.B. EACH SIDE OF 2"x4" WOOD STUDS #16" O.C. FINISHED WITH PAINT AS SELECTED BY OWNER.
 - NEW ONE HOUR FIRE RESISTANCE RATED WALL AS PER U.L.C. DESIGN W-301. (SEE TYP. DETAILS ATTACHED HEREWITH).
 - PERIMETER BRICK/VENEER WALL, SEE CONSTRUCTION NOTES #30.
 - PERIMETER FRAME WALL, SEE CONSTRUCTION NOTES #31.
 - 4" DIA. KEEPING TILE OR PIPE SEE CONSTRUCTION NOTES #4.
 - PROPOSED STRUCTURAL MEMBER ABOVE, SEE FLOOR PLAN FOR DETAILS.
 - SECTION OR DETAIL NUMBER.
 - DRAWING OR SHEET NUMBER.
 - DOOR NUMBER, SEE DOOR SCHEDULE.
 - BATHROOM/WASHROOM MECHANICAL VENTILATION TO EXTERIOR, AS PER OBC.3.32.2.
 - STOVE EXHAUST FAN/HOOD TO EXTERIOR, AS PER OBC.3.32.3.
 - DRYER VENT TO EXTERIOR, AS PER OBC.3.32.3.
 - FURNACE, HOT WATER HEATER, FIREPLACE INTAKE DUCT FOR COMBUSTION AIR, AS PER OBC.3.32.
 - U.L.C. APPROVED SMOKE ALARM AS PER OBC.3.10.1.8. AND INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
 - CARBON MONOXIDE DETECTOR WITH AN ALARM AUDIBLE THROUGHOUT THE HOUSE OR INTERCONNECTED WITH THE SMOKE ALARMS SO THAT WHEN THE CARBON MONOXIDE DETECTOR IS ACTIVATED, IT WILL ACTIVATE THE SMOKE ALARMS, AS PER OBC.3.32.3.8.
 - AREA DRAIN, NOTE: SLOPE MIN. 1% CONCRETE SLAB TO DRAIN.
 - EMERGENCY LIGHT AND EXIT SIGN.
 - EMERGENCY LIGHT.

- COLUMN SCHEDULE**
- | | |
|----|-------------|
| C1 | 2 - 2" X 4" |
| C2 | 3 - 2" X 4" |
| C3 | 2 - 2" X 6" |
| C4 | 3 - 2" X 6" |
| C5 | 4 - 2" X 6" |
| C6 | 4" X 4" H88 |
| C7 | 4 - 2" X 4" |
- NOTE: ALL STEEL COLUMNS TO HAVE 12"x8"x6" ST. TOP PLATE FLUSH WITH EXTERIOR AND 1/2"x8"x8" ST. BASE PLATE W/ 4 HOLES ON SOLID MASONRY COURSE OR POURED FOUNDATION (TYPICAL).

- LINTEL SCHEDULE**
- | | |
|----|--------------|
| W1 | 2 - 2" X 4" |
| W2 | 2 - 2" X 6" |
| W3 | 2 - 2" X 8" |
| W4 | 2 - 2" X 10" |
| W5 | 2 - 2" X 12" |
| W6 | 3 - 2" X 10" |
| W7 | 3 - 2" X 12" |
- (MIN. 5 1/2" LENGTH OF BEARING AT END SUPPORTS.)
- | | | |
|----|-----------------------------|-------------------|
| S1 | ST. L - 3.5" X 3.5" X 1/4" | (3'11" MAX. SPAN) |
| S2 | ST. L - 3.5" X 3.5" X 5/16" | (4'11" MAX. SPAN) |
| S3 | ST. L - 4" X 3.5" X 5/16" | (6'11" MAX. SPAN) |
| S4 | ST. L - 5" X 3.5" X 5/16" | (7'10" MAX. SPAN) |
| S5 | ST. L - 5" X 3.5" X 3/8" | (8'10" MAX. SPAN) |
| S6 | ST. L - 6" X 4" X 3/8" | (9'10" MAX. SPAN) |
- (MIN. 5 1/8" LENGTH OF BEARING AT END SUPPORTS AND ON SOLID MASONRY COURSE.)

- DOOR SCHEDULE**
- (SHOW THIS ON FLOOR PLANS. ALL FOR PAINT FINISH, CALL ALL REQUIRED HARDWARE STYLE AS SELECTED BY OWNER)
- 36"x80"x1 3/4" INSULATED DOOR AND FRAME CALL WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE, ALSO TO COMPLY WITH OBC.3.6.1.
 - 36"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE, ALSO TO COMPLY WITH OBC.3.6.1.
 - PAIR 36"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE, ALSO TO COMPLY WITH OBC.3.6.1.
 - SLIDING DOOR 72"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE, ALSO TO COMPLY WITH OBC.3.6.1.
 - SLIDING DOOR 60"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE, ALSO TO COMPLY WITH OBC.3.6.1.
 - 18"x80"x1 3/4" HOLLOW CORE.
 - 24"x80"x1 3/4" HOLLOW CORE.
 - 30"x80"x1 3/4" HOLLOW CORE.
 - 32"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & LOCKING DEVICE.
 - 32"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & LOCKING DEVICE.
 - 32"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & LOCKING DEVICE.
 - 32"x80"x1 3/4" HOLLOW CORE. - LOCKING DEVICE.
 - 34"x80"x1 3/4" HOLLOW CORE.
 - 34"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & LOCKING DEVICE.
 - 36"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & LOCKING DEVICE.
 - 38"x80"x1 3/4" SOLID CORE. - 45MIN RATED WITH SELF CLOSER & LOCKING DEVICE.
 - PAIR 30"x80"x1 3/4" HOLLOW CORE.
 - PAIR 32"x80"x1 3/4" HOLLOW CORE.
 - PAIR 36"x80"x1 3/4" HOLLOW CORE.
 - 24"x80"x1 3/4" POCKET DOOR.
 - 30"x80"x1 3/4" POCKET DOOR.
 - 32"x80"x1 3/4" POCKET DOOR.
 - 36"x80"x1 3/4" POCKET DOOR.
 - PAIR 24"x80"x1 3/4" POCKET DOOR.
 - PAIR 30"x80"x1 3/4" POCKET DOOR.
 - PAIR 32"x80"x1 3/4" POCKET DOOR.
 - PAIR 36"x80"x1 3/4" POCKET DOOR.
 - 96"x80" OVERHEAD GARAGE DOOR.
 - 108"x80" OVERHEAD GARAGE DOOR.
- NOTE: ALL L.V.L. TO BE GRADE 2950 PD-120 E



NO.	DATE	REVISION	BY
10	13 MAY '20	PERMIT REVISION	A.B.
09	21 APR '20	GENERAL REVISION	A.B.
08	6 MAR '20	PLAN REVISION	A.B.
07	6 FEB '20	GROUND FLOOR LOBBY	A.B.
06	24 JAN '20	CITY COMMENTS	A.B.
05	13 SEP '19	CITY COMMENTS	A.B.
04	7 AUG '19	GENERAL REVISION	A.B.
03	19 JUL '19	ROOF TOP FENCE	A.B.
02	13 MAY '19	PRI-SUBMISSION SET	A.B.
01	13 MAY '19		A.B.

Contractor must check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the work.

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Date: 13 MAY '19

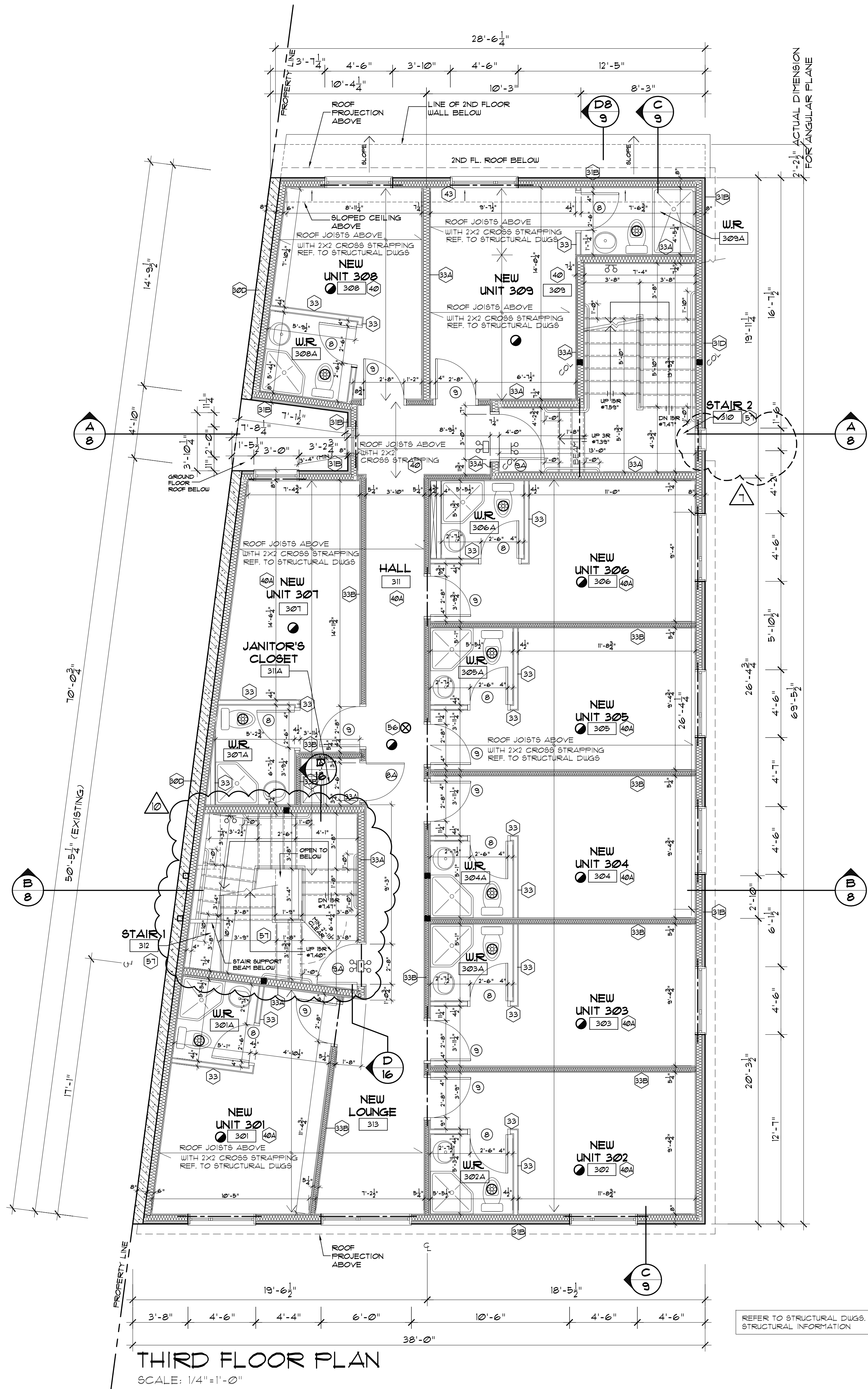
ID IsometricaDesign architects

98 Bedford Park Ave. Toronto, ON M5M 1J1

M.J. DESIGN PARTNERS INC.

212-290 North Queen Street, Etobicoke, Ontario M9C 5L2
Telephone (416)364-0494 Fax (416)364-0518

LOCATION		
940 WILSON AVENUE TORONTO, ONTARIO		
TITLE		
SECOND FLOOR PLAN		
SCALE AS SHOWN		
DRAWN A.B.		
DATE FEBRUARY 2019 R.R.		
CHECKED		
PROJECT NO. P1303	DRAWING NO. 4	REVISION NO. 10



THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

- LEGEND**
- EXIST. WALL, PARTITION OR COLUMN.
 - EXIST. WALL, PARTITION OR COLUMN PROPOSED TO BE REMOVED.
 - NEW PARTITION - 1/2" THICK G.W.B. EACH SIDE OF 2"x4" WOOD STUDS @6" O.C. FINISHED WITH PAINT AS SELECTED BY OWNER.
 - NEW ONE HOUR FIRE RESISTANCE RATED WALL AS PER U.L.C. DESIGN W-301. (SEE TYP. DETAILS ATTACHED HEREWITH).
 - PERIMETER BRICK/VENEER WALL, SEE CONSTRUCTION NOTES 9,2.
 - PERIMETER FRAME WALL, SEE CONSTRUCTION NOTES 9,1.
 - 4" DIA. KEEPING TILE OR PIPE SEE CONSTRUCTION NOTES 4,1.
 - PROPOSED STRUCTURAL MEMBER ABOVE, SEE FLOOR PLAN FOR DETAILS.
 - SECTION OR DETAIL NUMBER.
 - DRAWING OR SHEET NUMBER.
 - DOOR NUMBER, SEE DOOR SCHEDULE.
 - BATHROOM/WASHROOM MECHANICAL VENTILATION TO EXTERIOR, AS PER OBC.9.32.2.
 - STOVE EXHAUST FAN/hood TO EXTERIOR, AS PER OBC.9.32.3.
 - DRYER VENT TO EXTERIOR, AS PER OBC.9.32.3.
 - FURNACE, HOT WATER HEATER, FIREPLACE INTAKE DUCT FOR COMBUSTION AIR, AS PER OBC.9.32.
 - U.L.C. APPROVED SMOKE ALARM AS PER OBC.9.10.1.8. AND INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
 - CARBON MONOXIDE DETECTOR WITH AN ALARM AUDIBLE THROUGHOUT THE HOUSE OR INTERCONNECTED WITH THE SMOKE ALARMS SO THAT WHEN THE CARBON MONOXIDE DETECTOR IS ACTIVATED, IT WILL ACTIVATE THE SMOKE ALARMS, AS PER OBC.9.32.3.8.
 - AREA DRAIN, NOTE: SLOPE MIN. 1% CONCRETE SLAB TO DRAIN.
 - EMERGENCY LIGHT AND EXIT SIGN.
 - EMERGENCY LIGHT

COLUMN SCHEDULE

C1	2 - 2" X 4"
C2	3 - 2" X 4"
C3	2 - 2" X 6"
C4	3 - 2" X 6"
C5	4 - 2" X 6"
C6	4" X 4" H88
C7	4 - 2" X 4"

NOTE: ALL STEEL COLUMNS TO HAVE 1/2"x8"x8" ST. TOP PLATE FLUSH WITH EXTERIOR AND 1/2"x8"x8" ST. BASE PLATE W/ 4 HOLES ON SOLID MASONRY COURSE OR POURED FOUNDATION (TYPICAL).

LINTEL SCHEDULE

W1	2 - 2" X 4"
W2	2 - 2" X 6"
W3	2 - 2" X 8"
W4	2 - 2" X 10"
W5	2 - 2" X 12"
W6	3 - 2" X 10"
W7	3 - 2" X 12"

(MIN. 3 1/2" LENGTH OF BEARING AT END SUPPORTS.)

S1	ST. L - 3.5" X 3.5" X 1/4"	(3'11" MAX. SPAN)
S2	ST. L - 3.5" X 3.5" X 5/16"	(4'11" MAX. SPAN)
S3	ST. L - 4" X 3.5" X 5/16"	(6'11" MAX. SPAN)
S4	ST. L - 5" X 3.5" X 5/16"	(7'10" MAX. SPAN)
S5	ST. L - 5" X 3.5" X 3/8"	(8'10" MAX. SPAN)
S6	ST. L - 6" X 4" X 3/8"	(9'10" MAX. SPAN)


(MIN. 5 1/8" LENGTH OF BEARING AT END SUPPORTS AND ON SOLID MASONRY COURSE.)

DOOR SCHEDULE

(SHOWN THIS ON FLOOR PLANS. ALL FOR PAINT FINISH. CALL ALL REQUIRED HARDWARE STYLE AS SELECTED BY OWNER.)

1	36"x80"x1 3/4" INSULATED DOOR AND FRAME CALL WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE. ALSO TO COMPLY WITH OBC.9.6.1.
1A	36"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE. ALSO TO COMPLY WITH OBC.9.6.1.
2	36"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE. ALSO TO COMPLY WITH OBC.9.6.1.
3	PAIR 36"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE. ALSO TO COMPLY WITH OBC.9.6.1.
4	BUILDING DOOR 32"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE. ALSO TO COMPLY WITH OBC.9.6.1.
5	BUILDING DOOR 36"x80"x1 3/4" INSULATED DOOR AND FRAME CALL SAFETY GLASS PANEL, WEATHER-STRIPPING, THRESHOLD, LOCKING DEVICE. ALSO TO COMPLY WITH OBC.9.6.1.
6	18"x80"x1 3/4" HOLLOW CORE.
7	24"x80"x1 3/4" HOLLOW CORE.
8	30"x80"x1 3/4" HOLLOW CORE.
8A	30"x80"x1 3/4" SOLID CORE. - 45MIN. RATED WITH SELF CLOSER & LOCKING DEVICE.
9	32"x80"x1 3/4" SOLID CORE. - 45MIN. RATED WITH SELF CLOSER & LOCKING DEVICE.
9A	32"x80"x1 3/4" SOLID CORE. - 45MIN. RATED WITH SELF CLOSER & PANIC HARDWARE.
9B	32"x80"x1 3/4" HOLLOW CORE. - LOCKING DEVICE.
10	34"x80"x1 3/4" HOLLOW CORE.
10A	34"x80"x1 3/4" SOLID CORE. - 45MIN. RATED WITH SELF CLOSER & PANIC HARDWARE.
11	36"x80"x1 3/4" SOLID CORE. - 45MIN. RATED WITH SELF CLOSER & PANIC HARDWARE.
12	36"x80"x1 3/4" HOLLOW CORE.
13	38"x80"x1 3/4" SOLID CORE. - 45MIN. RATED WITH SELF CLOSER & PANIC HARDWARE.
14	38"x80"x1 3/4" SOLID CORE. - 45MIN. RATED WITH SELF CLOSER & LOCKING DEVICE.
15	PAIR 30"x80"x1 3/4" HOLLOW CORE.
16	PAIR 32"x80"x1 3/4" HOLLOW CORE.
17	PAIR 36"x80"x1 3/4" HOLLOW CORE.
18	24"x80"x1 3/4" POCKET DOOR.
19	30"x80"x1 3/4" POCKET DOOR.
20	32"x80"x1 3/4" POCKET DOOR.
21	36"x80"x1 3/4" POCKET DOOR.
22	PAIR 24"x80"x1 3/4" POCKET DOOR.
23	PAIR 30"x80"x1 3/4" POCKET DOOR.
24	PAIR 32"x80"x1 3/4" POCKET DOOR.
25	PAIR 36"x80"x1 3/4" POCKET DOOR.
26	96"x80" OVERHEAD GARAGE DOOR.
27	108"x80" OVERHEAD GARAGE DOOR.

NOTE: ALL L.V.L. TO BE GRADE 2850 PD-2.0 E



ONTARIO ASSOCIATION OF ARCHITECTS
WILLIAM CHANG WONG
LICENSE
6165

10	13 MAY '20	PERMIT REVISION	A.B.
09	21 APR '20	GENERAL REVISION	A.B.
08	6 MAR '20	PLAN REVISION	A.B.
07	6 FEB '20	GROUND FLOOR LOBBY	A.B.
06	24 JAN '20	CITY COMMENTS	A.B.
05	13 SEP '19	CITY COMMENTS	A.B.
04	7 AUG '19	GENERAL REVISION	A.B.
03	19 JUL '19	ROOF TOP FENCE	A.B.
02	13 MAY '19	PRI-SUBMISSION SET	A.B.
01	13 MAY '19		A.B.
NO	DATE	REVISION	BY

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IsometricaDesign
architects
98 Bedford Park Ave. Toronto, ON M5M 1J1

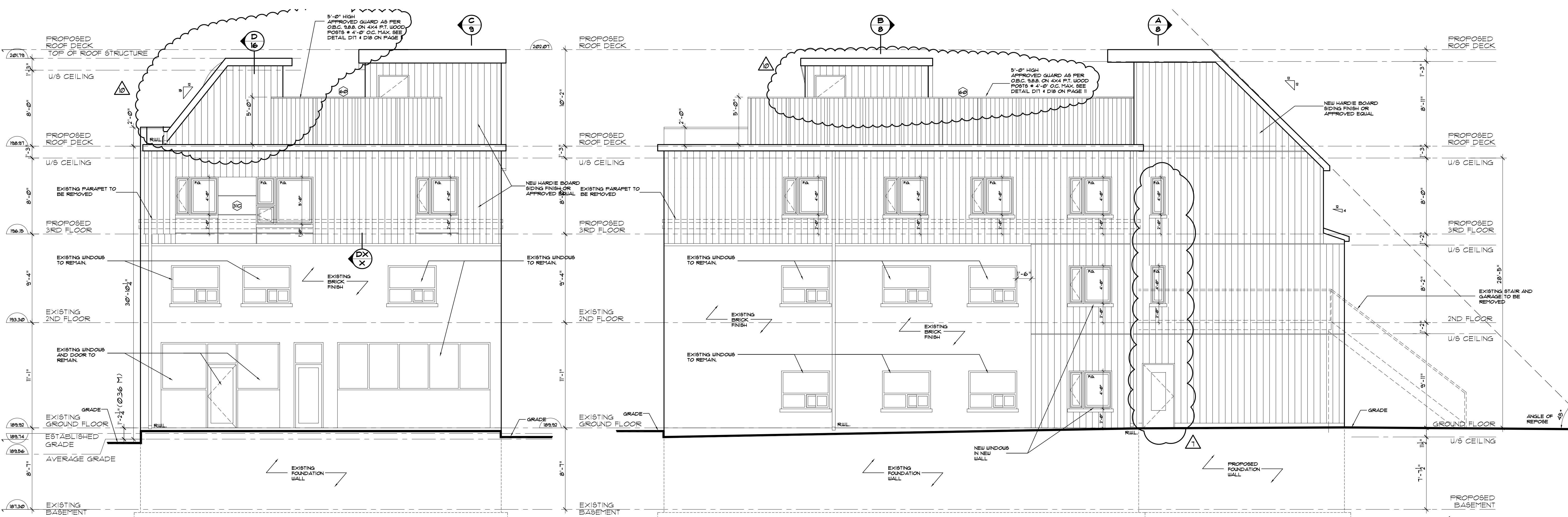


M.J. DESIGN PARTNERS INC.
212-290 North Queen Street, Etobicoke, Ontario M9C 5L2
Telephone (416)364-0494 Fax (416)364-0518

LOCATION		
940 WILSON AVENUE TORONTO, ONTARIO		
TITLE		
THIRD FLOOR PLAN		
SCALE AS SHOWN		
DRAWN A.B.		
DATE FEBRUARY 2019 R.R.		
CHECKED		
PROJECT NO. P1303	DRAWING NO. 5	REVISION NO. 10

940 WILSON AVE - PERMIT - 2020 05 MAY 13.DWG



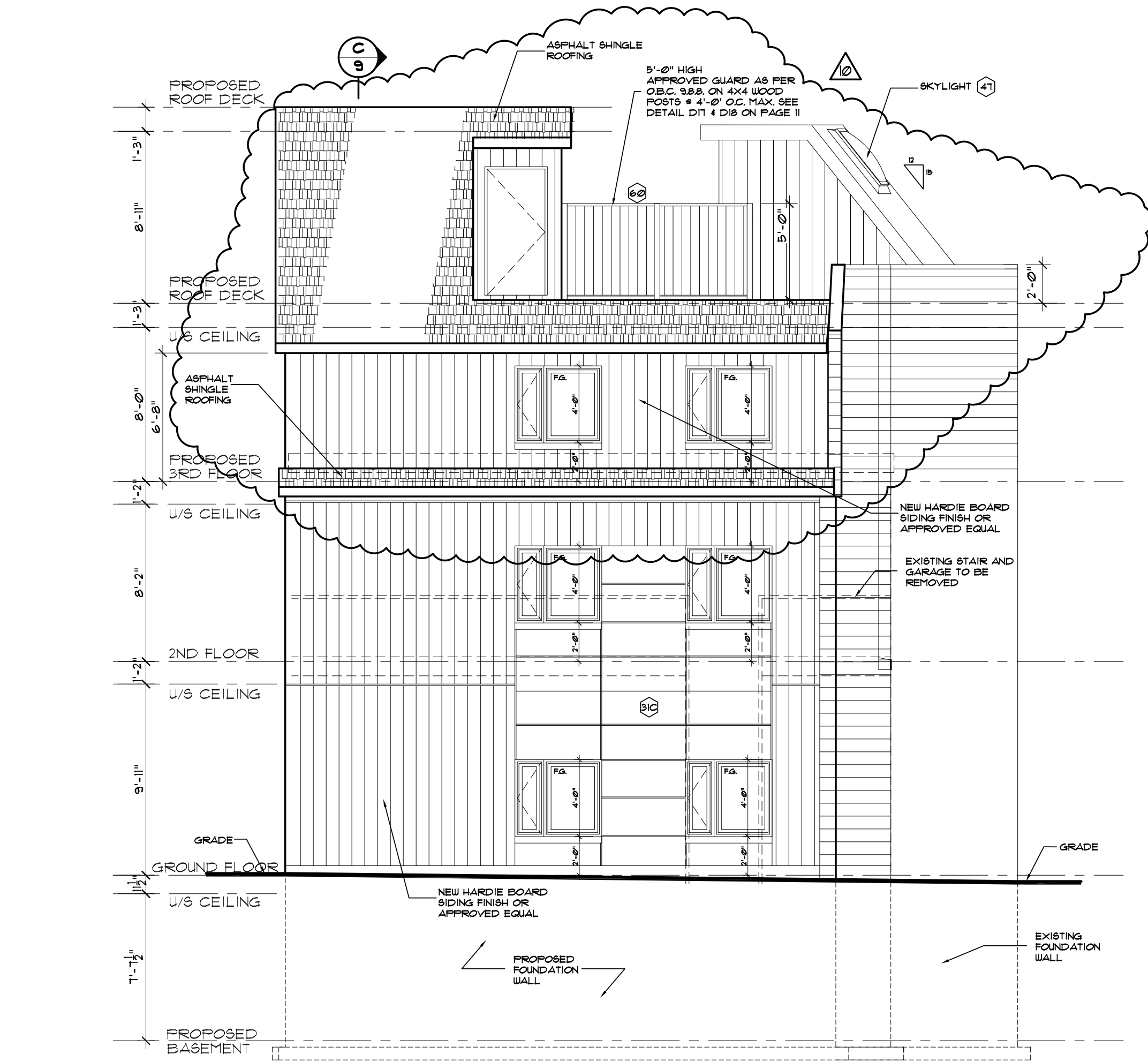


SOUTH ELEVATION

SCALE: 3/16"=1'-0"

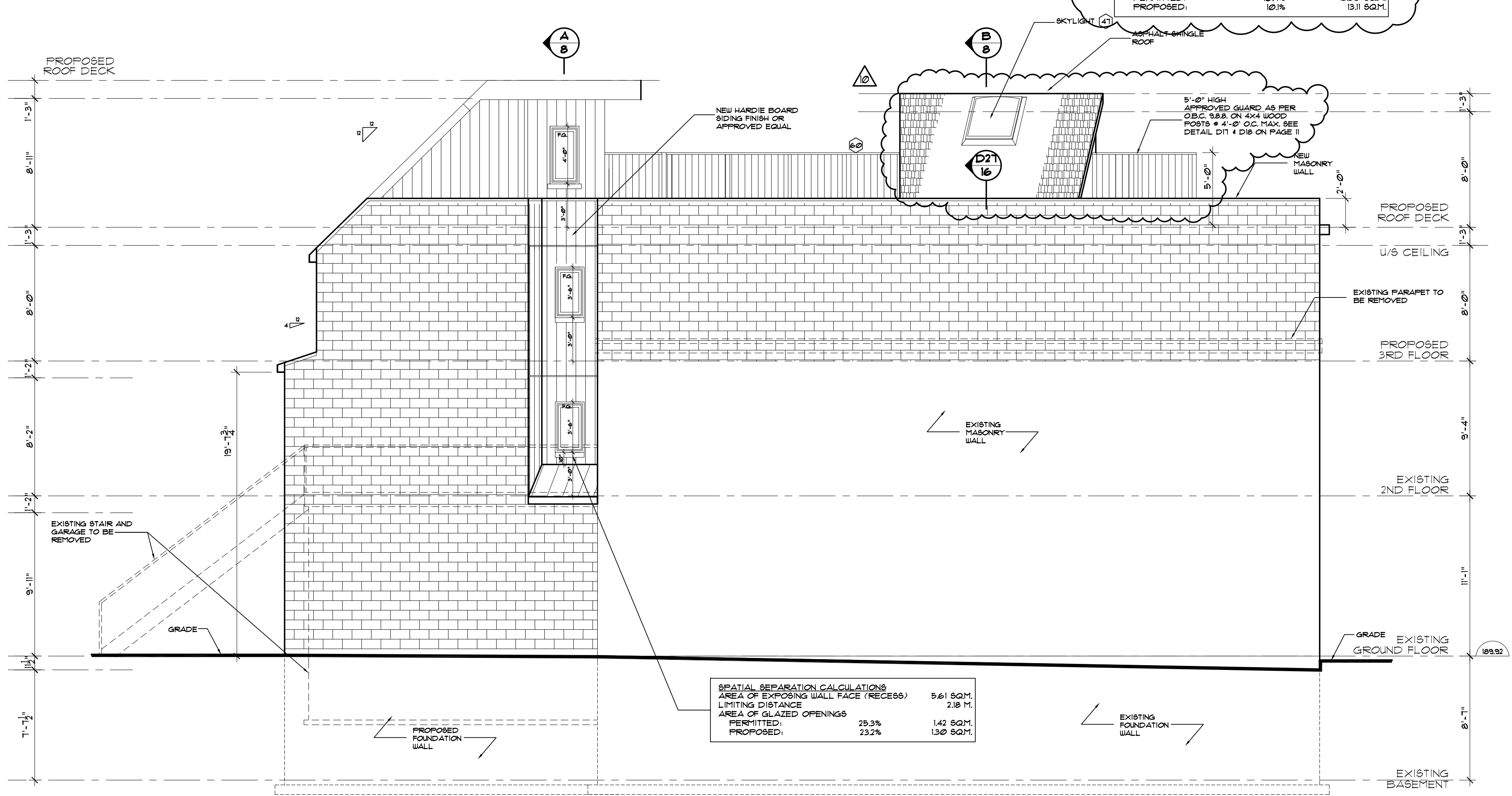
EAST ELEVATION

SCALE: 3/16"=1'-0"



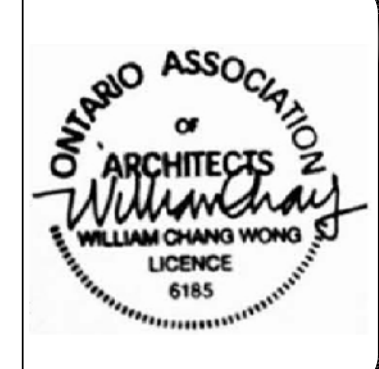
NORTH ELEVATION

SCALE: 3/16"=1'-0"



WEST ELEVATION

SCALE: 3/16"=1'-0"



NO.	DATE	REVISION	BY
10	13 MAY '20	PERMIT REVISION	A.B.
09	21 APR '20	GENERAL REVISION	A.B.
08	06 MAR '20	PLAN REVISION	A.B.
07	06 FEB '20	GROUND FLOOR LOBBY	A.B.
06	24 JAN '20	CITY COMMENTS	A.B.
05	19 SEP '19	CITY COMMENTS	A.B.
04	1 AUG '19	GENERAL REVISION	A.B.
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01	13 MAY '19		A.B.

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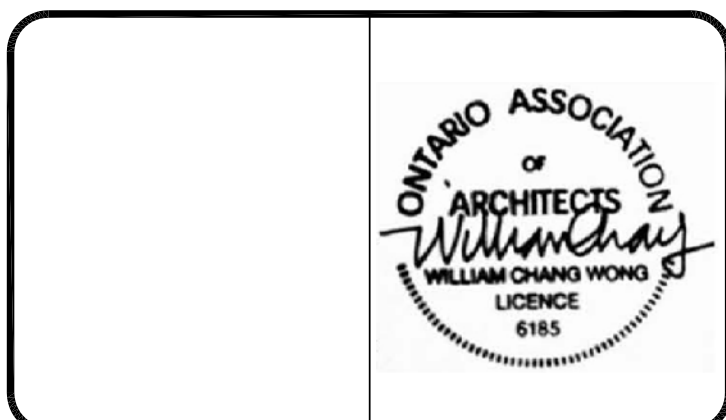
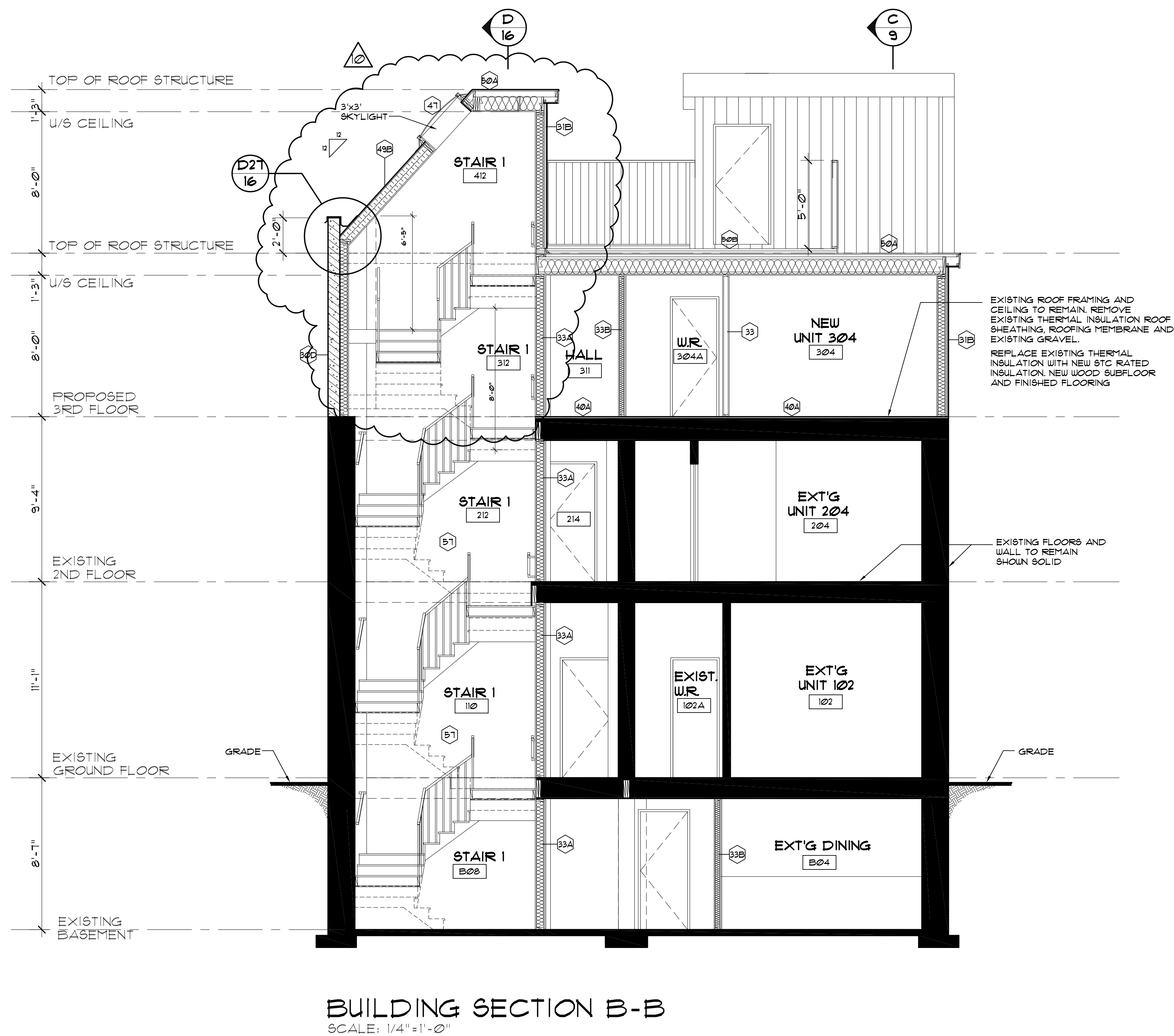
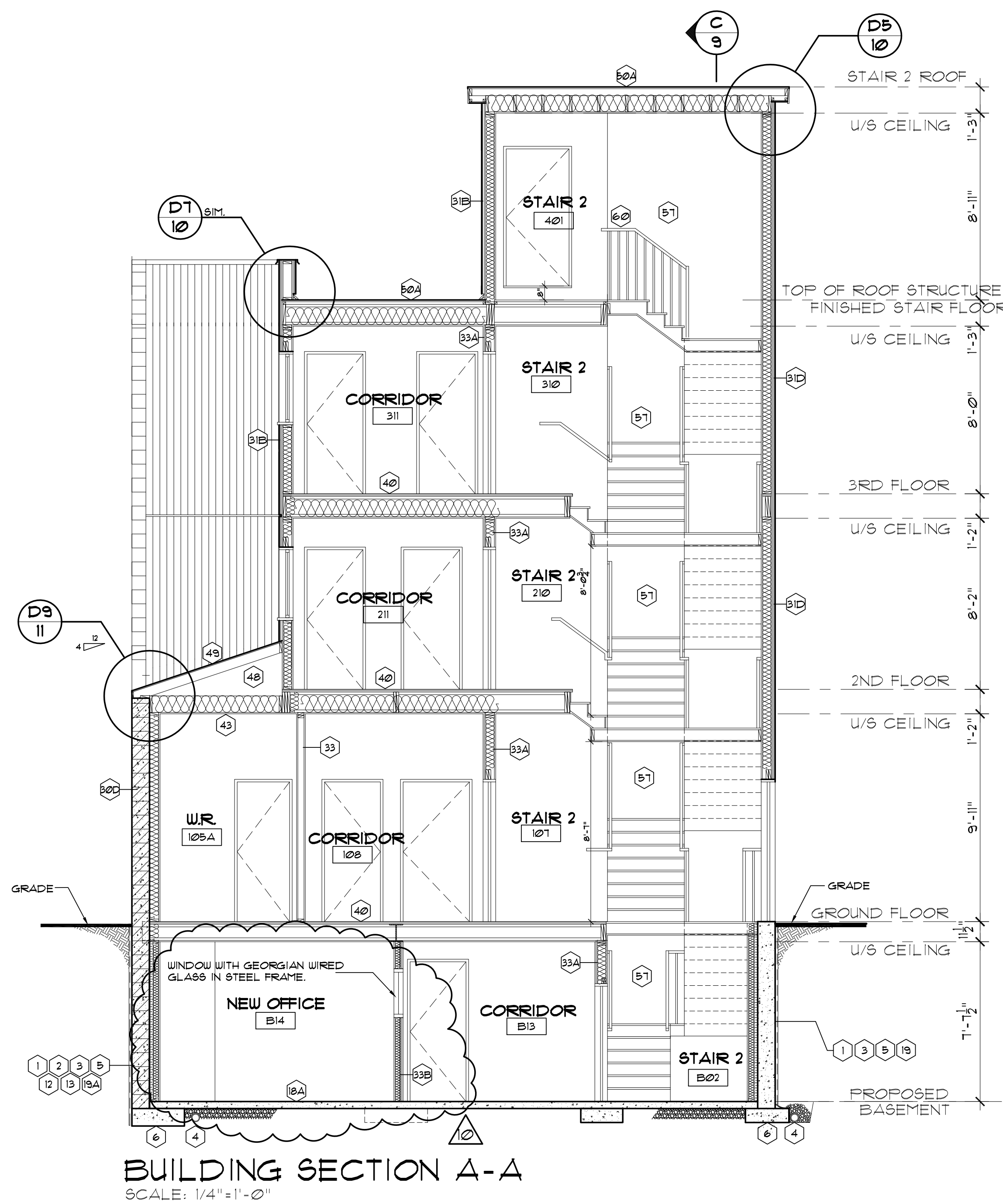
ID IsometricaDesign architects

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M.J. DESIGN PARTNERS INC.

212-290 North Queen Street, Etobicoke, Ontario M9C 5L2
Telephone (416)364-0494 Fax (416)364-0518

LOCATION		
940 WILSON AVENUE TORONTO, ONTARIO		
TITLE		
ELEVATIONS		
SCALE		
A5 SHOWN	DRAWN	
	A.B.	
DATE		
FEBRUARY 2019	CHECKED	
PROJECT NO.		
P1903	DRAWING NO.	
	7	
REVISION NO.		
	10	



NO.	DATE	REVISION	BY
10.	13 MAY '20	PERMIT REVISION	A.B.
09.	21 APR '20	GENERAL REVISION	A.B.
08.	6 MAR '20	PLAN REVISION	A.B.
07.	6 FEB '20	GROUND FLOOR LOBBY	A.B.
06.	24 JAN '20	CITY COMMENTS	A.B.
05.	13 SEP '19	CITY COMMENTS	A.B.
04.	7 AUG '19	GENERAL REVISION	A.B.
03.	13 JUL '19	ROOF TOP FENCE	A.B.
02.	13 MAY '19	PRE-SUBMISSION SET	A.B.
01.	13 MAY '19		A.B.
NO.	DATE	REVISION	BY

Contractor must check and verify all dimensions and conditions on the job and report discrepancies to the designer before proceeding with the work.

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Date: 13 MAY '19



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LOCATION		
940 WILSON AVENUE TORONTO, ONTARIO		
TITLE		
BUILDING SECTION A-A BUILDING SECTION B-B		
SCALE		
AS SHOWN	DRAWN A.B.	
DATE		
FEBRUARY 2019	CHECKED R.R.	
PROJECT NO.	DRAWING NO.	REVISION NO.
P1303	8	10