

The background of the entire page is a dark blue map of Toronto, showing the city's street grid and major water bodies. A thick yellow crosshair is superimposed on the map, with a vertical line running from the top to the bottom and a horizontal line running from the left to the right, intersecting in the center. The title text is positioned to the right of the vertical line, and the subtitle is positioned below the horizontal line.

# MIDTOWN ZONING REVIEW

## Background Report

LAND ACKNOWLEDGMENT FOR TORONTO

We acknowledge that the City of Toronto is located on the traditional territory of many nations including the Mississaugas of the Credit, the Anishnabeg, the Chippewa, the Haudenosaunee and the Wendat peoples and is now home to many diverse First Nations, Inuit and Métis. We also acknowledge that Toronto is covered by Treaty 13 with the Mississaugas of the Credit.

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# 01 INTRODUCTION

View of the Merton and Davisville area over Mount Pleasant Cemetery

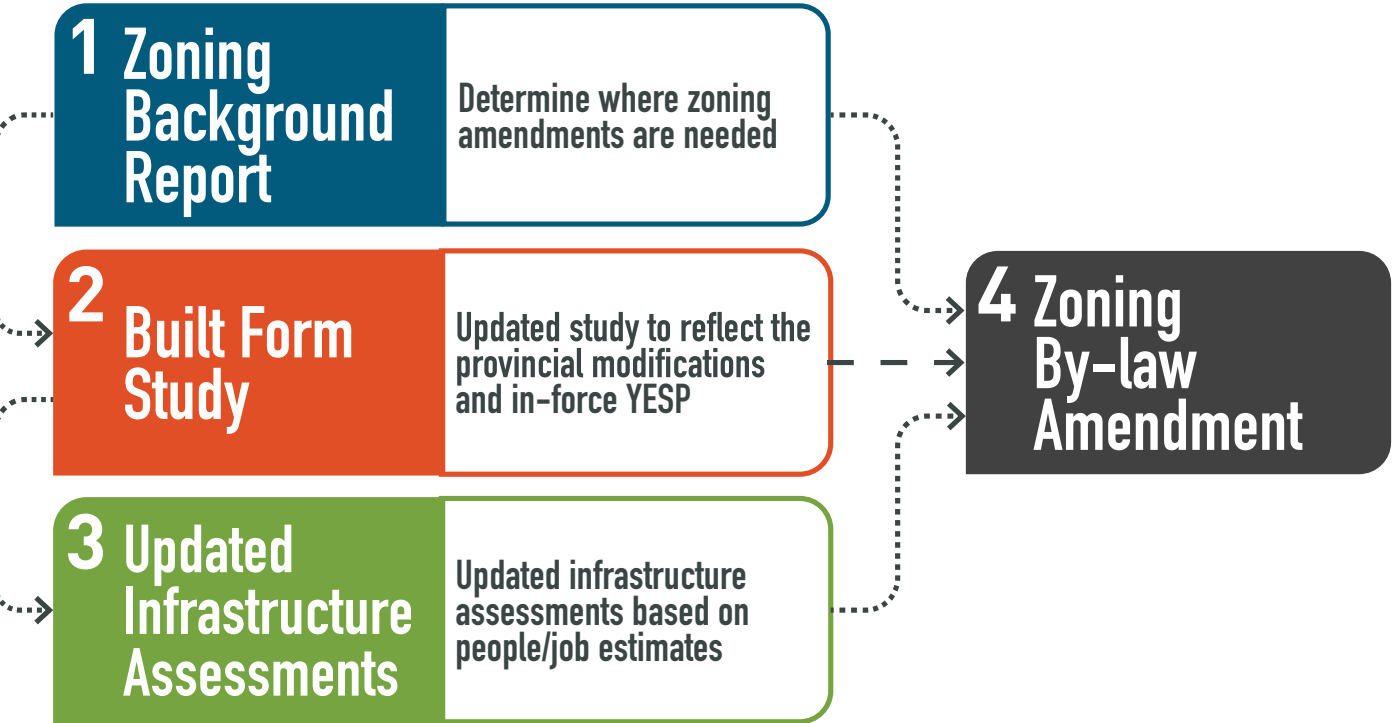


# 1.1 Purpose of the Report

The City Planning Division, at the direction of Toronto City Council, is undertaking a comprehensive, City-initiated zoning review for Midtown’s 22 Character Areas, referred to as the Midtown Zoning Review. The purpose of the Zoning Review is to align the zoning in the area to the recently approved Yonge-Eglinton Secondary Plan (YESP), and to allow housing to get to market quicker without the need for one-off development approvals.

The Midtown Zoning Review is being informed by a number of different streams of work. The first stream of the Zoning Review consisted of background analysis to understand the existing regulatory framework in Midtown and identify key issues and opportunities.

This background report summarizes the outcomes of this background analysis and provides a detailed overview of the existing zoning regime in the Midtown area. It also identifies key issues and opportunities to be addressed as part of the Zoning Review that takes into consideration provincial plans and policies, as well as the City’s Official Plan. This report will help to inform amendments to existing zoning by-law in order to improve clarity, certainty and effectiveness of this important planning tool.



# 1.2 Midtown

The Midtown area encompasses the Yonge-Eglinton Secondary Plan area, covering 600 hectares around the intersection of Yonge Street and Eglinton Avenue, as illustrated in Figure 1. This area has a diverse residential population in a number of different neighbourhoods, and a concentration of employment uses with busy retail streets. As of 2019, the area was home to approximately 61,000 residents, and 34,000 employees, making Midtown one of the most densely populated areas in the Greater Toronto and Hamilton Area.

Midtown has a wide range of land uses, built form character and public realm amenities. This area includes a number of designated and listed heritage properties, single- and semi-detached detached dwellings, duplexes and double duplexes, low-rise walk-up apartment buildings, slab apartment buildings surrounded by open space popular in the 1960 and 1970s, major office buildings, fine-grain retail streets and recent mixed-use tall buildings.

An equally varied public realm supports these uses, including a number of public parks ranging in size and function. Within the apartment neighbourhoods,

the open space character of the slab apartment buildings contributes to the public realm character of the area. Mount Pleasant Cemetery is another major open space that accommodates public recreation and supports connectivity.

From a mobility perspective, Midtown has several existing and planned higher-order transit routes. This includes the Line 1 Subway with stops at Eglinton and Davisville, and the Eglinton Crosstown LRT with five planned stations at major intersections along Eglinton Avenue.

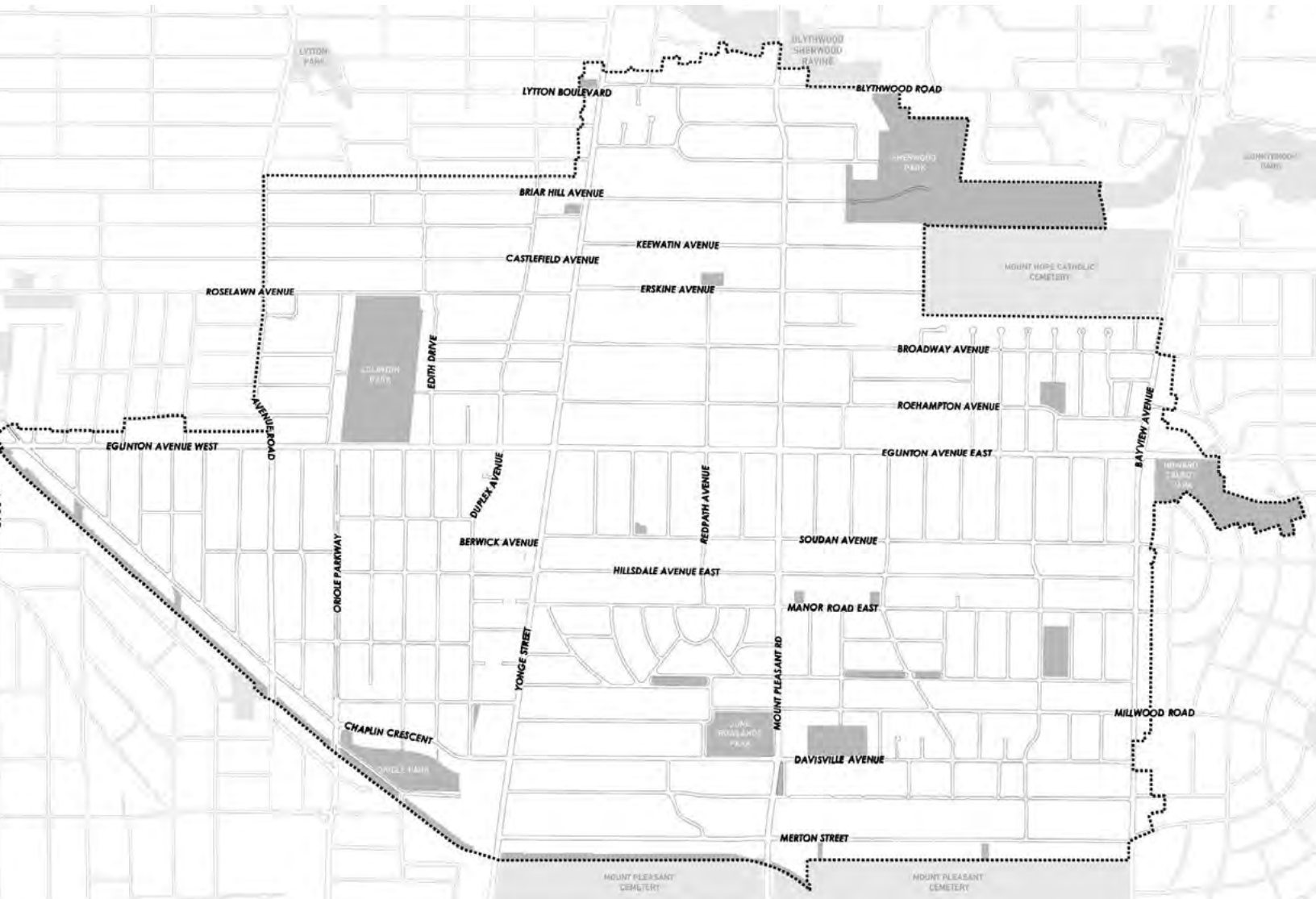
Choice and variety are distinct qualities of Midtown which contribute to its liveability. This liveability has also attracted significant and sustained development activity in Midtown since the early 2000s. As Midtown continues to grow and intensify, the City must address the challenge of ensuring harmonious relationships and transition between different land uses and physical forms.



Yonge Street



FIGURE 1: YONGE- EGLINTON SECONDARY PLAN AREA



1.3 How to Read this Report

This report should be read in its entirety in order to understand the complete context and zoning framework within Midtown. However, it does not represent an exhaustive reference of all applicable zoning regulations and should not be relied upon to determine zoning compliance for specific development applications.

The report is organized as follows:

- Chapter 2 provides background and context on the Midtown area, the Midtown in Focus study, and relevant policy frameworks, including provincial policies and plans and the Official Plan
- Chapter 3 summarizes recent development activity in Midtown between 2010 and 2020, including information on proposed residential and non-residential uses as well as the location and scale of development

- Chapters 4 and 5 describe applicable zoning regulations that apply in Midtown. Chapter 4 summarizes the general zoning categories and outlines common exceptions found in this area. Chapter 5 details the specific zoning regulations applicable to each Character Area within Midtown, taking into account provisions of the comprehensive zoning by-laws as well as those contained in exceptions. Topics covered include permitted uses, height, density, setbacks at grade and other performance standards
- Chapter 6 identifies a number of key issues and opportunities the Midtown Zoning Review will address, including phasing the Review
- Chapter 7 provides an overall conclusion to the report



Yonge Street near Davisville



# 02 BACKGROUND & POLICY CONTEXT



Image of the Yonge-Eglinton area looking southeast from Eglinton Park



## 2.1 Provincial Policies & Plans

Provincial Policy Statements and geographically specific Provincial Plans, along with municipal Official Plans, provide a policy framework for planning and development in Ontario. This framework is implemented through a range of land use controls, such as Secondary Plans, zoning by-laws, plans of subdivision and site plans and is illustrated in Figure 2.

### Section 2 of the Planning Act

The Planning Act establishes the basis for land use planning in Ontario. The Act provides for a provincially-led planning system, integrating matters of provincial interest into all planning decisions. Section 2 of the Act establishes matters of provincial interest that municipalities are required to have regard to.

### Provincial Policy Statement (2020)

The Provincial Policy Statement 2020 (the “PPS”) provides policy direction province-wide on land use planning and development to promote strong communities, a strong economy, and a clean and healthy environment. The PPS is issued under Section 3 of the Planning Act. All decisions affecting planning matters are required to be consistent with the PPS.

### A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2019)

A Place to Grow: Growth Plan for the Greater Golden Horseshoe (2019) [the Growth Plan 2019] came into effect on May 16, 2019. This new plan replaces the Growth Plan for the Greater Golden Horseshoe, 2017. The Growth Plan 2019 continues to provide a strategic framework for managing growth and environmental protection in the Greater Golden Horseshoe region, of which Toronto forms an integral part. All land use planning decisions are required to conform to the Growth Plan (2019).

The Growth Plan 2019 builds upon the policy

foundation provided by the PPS and provides more specific land use planning policies to address issues facing the GGH region. The policies of the Growth Plan 2019 take precedence over the policies of the PPS to the extent of any conflict, except where the relevant legislation provides otherwise.

Zoning is specifically identified as a key tool for municipalities to implement a number of policies within the Growth Plan 2019. Zoning allows municipalities to plan for a variety of heights, densities, and other site design elements to achieve the desired urban form, and minimum intensification and density targets in the Growth Plan.

Certain policies within the Growth Plan 2019 are required to be implemented through a Municipal Comprehensive Review (MCR). An MCR, often implemented as an Official Plan amendment initiated under Section 26 of the Planning Act, comprehensively applies policies and schedules of the Growth Plan 2019. The Minister of Municipal Affairs and Housing is the approval authority for the conformity exercises and MCRs, and there is no appeal of the Minister’s approval. Growth Plan 2019 policies required to be implemented through an MCR include the Growth Plan’s major transit station area (MTSA) policies and policies on the conversion of provincially significant employment zones, among others.

MTSAs are defined in the Growth Plan 2019 as areas within an approximate 500-800 metre radius of a transit station and representing a 10-minute walk. The Growth Plan 2019 prescribes minimum density targets of MTSAs. Municipalities must delineate the boundaries of MTSAs and demonstrate that each MTSA is planned for the prescribed minimum density targets. MTSAs may also be delineated outside of a municipality’s MCR as Protected Major Transit Station Areas (PMTSAs). PMTSAs allow municipalities to restrict appeals of certain parts of official plans and zoning by-law amendments in order to encourage transit-supportive development. In order to delineate a PMTSA prior to the

FIGURE 2: PLANNING SYSTEM





completion of an MCR, a municipality must have the following in its Official Plan for the transit station area:

- the delineation of the transit station area
- permitted land uses
- minimum number of residents and jobs per hectare
- minimum densities for buildings.

The delineation of PMTSAs also allows municipalities to implement inclusionary zoning, which is a planning tool that can require new residential developments to include affordable housing units.

## 2.2 Overview of Midtown in Focus

Midtown in Focus was a two-phase interdivisional study to ensure that growth positively contributes to the vitality and livability of one of Toronto’s most dynamic neighbourhoods. The study resulted in an updated planning framework for Midtown, including a new Yonge-Eglinton Secondary Plan. A series of infrastructure plans, strategies and assessments to ensure that infrastructure capacity keeps pace with development and maintains the quality of life in Midtown supported the new Secondary Plan.

The first phase of Midtown in Focus began in 2012 with the goal of improving the public realm in Midtown. This phase concluded in 2014 with the Midtown in Focus: Parks, Open Space and Streetscape Master Plan (MIF Master Plan), which established a vision for the public realm, identified a series of priority projects and informed amendments to the Yonge-Eglinton Secondary Plan (Official Plan Amendment (OPA) 289).

In 2015, City Council directed staff to undertake a second phase of work to complete a growth analysis of the area, assess infrastructure capacity, and provide more robust policy direction for the area’s built form.

The City is currently advancing a three-phased implementation approach to delineate and set targets for all MTSAs in the City as part of the City’s MCR. Phase 1 MTSAs include areas that do not required local areas studies, or have been the subject of a recently completed study, and have station areas that are already planned to meet or exceed required minimum densities, among other criteria. Where appropriate, Phase 1 MTSAs will be prioritized to advance as PMTSAs prior to the completion of the MCR.

The Midtown area includes a number of transit station areas that have been identified as Phase 1 MTSAs including Eglinton Crosstown LRT stations at Avenue, Chaplin, Eglinton and Mount Pleasant, Eglinton and Bayview, and Line 1 –Yonge University subway stations at Eglinton and Davisville.

In July 2018, Council adopted a comprehensive Official Plan amendment (OPA 405) for the area that included a new Secondary Plan. City Council also endorsed a Parks and Public Realm Plan and Community Services and Facilities Strategy for Midtown. Council directed staff to advance a series of additional follow-on implementation work, including a comprehensive zoning review for Midtown’s 22 Character Areas.

The Council-adopted Secondary Plan provided detailed direction to guide both intensification and infrastructure improvements. A foundational aspect of the Secondary Plan included the identification of 22 Character Areas and establishing a vision for each area. The Secondary Plan also included detailed policy direction on permitted uses, heights and other building performance standards. The level of detail provided in Council-adopted Secondary Plan reflected the need for clarity and certainty in an area experiencing rapid growth and to account for the diversity of Midtown’s neighbourhoods which vary greatly in terms of scale, function and character. This detailed policy direction was provided both on an area-wide and Character Area-specific basis.

OPA 405 was submitted to the Province for approval as a Section 26 amendment under the Planning in August 2018. The Minister issued its decision approving the OPA with modifications in June 2019. In many instances, the Minister’s decision signaled that the Province expected much of the specificity to be included in the City’s Zoning By-law, rather than the Secondary Plan.

The Minister’s decision also generally reflected proposed amendments to the Planning Act at the time introduced through Bill 108, such as the

## 2.3 Official Plan

The City’s Official Plan provides a long-term vision for how Toronto should grow. It is a comprehensive policy document that guides development in the City, providing direction for managing the size, location, and built form of different land uses. It also addresses transportation and the provision of municipal services and facilities, among other matters. The *Planning Act* requires municipalities to have official plans. The PPS recognizes Official Plans as the most important document for its implementation. The *Planning Act* requires amendments to a municipality’s Zoning By-law to conform to its Official Plan.

The City’s Official Plan identifies the area around the intersection of Yonge Street and Eglinton Avenue as a *Centre* on Map 2 – Urban Structure. It requires that each *Centre* have a Secondary Plan and zoning to implement the Secondary Plan’s policies. Zoning within a *Centre* must establish minimum and maximum densities, minimum and maximum parking standards, restrictions on vehicle-related uses, and appropriate holding zones where it has been determined that full development build-out is dependent on the construction and the provision of infrastructure.

Holding by-laws are important tools for ensuring that necessary conditions are in place before land redevelops. The *Planning Act* enables a city to use holding by-laws where its official plan contains provisions relating to the use of the holding symbol. Policy 5.1.2 of the Official Plan sets out these

proposed community benefits charge (Section 37 of the Planning Act) and amendments to Section 42 of the Planning Act related to parkland dedication. These legislative changes were not proclaimed and the Province recently passed Bill 197 – the COVID-19 Economic Recovery Act, 2020, which modifies the original proposed community benefits charge framework and enables municipalities to continue have an alternative parkland dedication requirement.

provisions and identifies the conditions for applying a holding by-law may relate to transportation or servicing improvements; parks and open space, recreational, and community services and facilities; and technical studies to assess potential development impact, among others.

The Official Plan also includes built form policy direction, including criteria for ensuring that new development fits harmoniously into its existing and/or planned context, and limits negative impacts on neighbouring streets, parks and open space, and improves safety and accessibility of streets, among others. Particular focus is given to tall buildings. The Official Plan recognizes that tall buildings are desirable in some areas but do not belong everywhere, and do not represent the only form of intensification. The Official Plan emphasizes the importance of appropriately-scaled base buildings and tower floor plates in ensuring that tall building fit within their existing and/or planned contexts.

### 2.3.1. Yonge-Eglinton Secondary Plan

The Yonge-Eglinton Secondary Plan sets out a long-term vision for Midtown as a liveable and complete community where growth occurs in tandem with infrastructure investment. It places an emphasis on the importance of maintaining the character of Midtown’s diverse neighbourhoods, heritage conservation and high-quality public realm improvements. In recognition of these qualities,

the Secondary Plan identifies 22 distinct Character Areas (see Figure 5), grouped into Midtown Villages, Midtown Apartment Neighbourhoods, Apartment High Streets, Midtown Cores and Midtown Special Places.

Area Structure

Section 2 of the Secondary Plan describes Midtown’s urban structure. It clarifies that not all areas will experience the same levels of intensification and that the intensity of development, building types, heights and land uses set out in the Secondary Plan will ensure Midtown is a complete community, maintains the vitality and liveability of Midtown’s collection of character areas, ensures development and infrastructure are planned in tandem, and results in built form that is transit-supportive and compatible with surrounding areas. Key elements of Midtown’s urban structure includes:

- the *Urban Growth Centre* at Yonge-Eglinton Centre;
- *Midtown Transit Station Areas* (including nodes, corridors, and built-up areas) with minimum density targets
- more detailed land use designations (*Mixed Use Areas A, B and C; Apartment Neighbourhoods; and Neighbourhoods A and B*); and
- direction for *Retail Streets*.

Parks and Public Realm

The Plan establishes area-wide public realm policies and targeted Public Realm Moves. Area-wide park and public realm policies are intended to maintain and enhance the green, landscaped character of Midtown, improve and expand the park and open space network and create high-quality public realm and streetscapes to support local vitality and quality of life. Targeted Public Realm Moves, illustrated on Map 21-7 of the Plan, include the Eglinton Green Line, Yonge Street Squares, the Park Street Loop, and the Davisville Community Street, among others. Direction is provided on the

design and implementation of these initiatives. Map 21-8 of the Plan illustrates the Parks and Open Space Network Plan, including existing parks, potential park expansion areas and new parks. Collectively these additions are anticipated to result in approximately 14 hectares of new parks. The Plan also identifies other important open spaces including schools, libraries, cemeteries and privately-owned publicly-accessible spaces (POPS), which all play an important role in supporting the overall network of parks and open spaces in Midtown.

Mobility

Section 4 of the Secondary Plan provides policy direction to achieve an overall Midtown Mobility Network. This network includes a hierarchy of streets, laneways, midblock connections and multi-use trails, and is illustrated on Map 21-9 of the Plan. The goals of this network are to improve mobility and accessibility for all, enable continued movement of goods and services, accommodate a range of mobility activities, and balance the role of streets as both movement corridors and civic spaces.

Built Form

Section 5 of the Secondary Plan includes built form principles, more detailed policy direction for different building types and height guidance for buildings by Character Area. The built form principles speak to the range of building types and scales that will be developed in Midtown, while emphasizing the importance of built form transitions and maintaining the unique qualities of Midtown’s Character Areas. The vital role of public realm and open spaces is also recognized, particularly in terms of promoting walkability and ensuring comfortable pedestrian environments. Preservation of heritage resources and views to important civic destinations is also promoted.

The Plan provides more detailed built form direction based on different building types that include Midtown low-rise buildings, mid-rise buildings,

tall buildings, and infill development on apartment sites. This includes direction for setbacks at grade, landscaping, step-backs and transition, among others.

Guidance on building height is provided through several policy sections. In many instances, Character Area statements indicate anticipated building types and provide direction for where the tallest buildings within a Character Area should be located. Section 5 also includes anticipated height ranges in storeys for each Character Area. Specific heights are to be determined through zoning by-law amendments, such as a City-initiated amendment. A number of Special Study Areas are identified which require further built form analysis. These include the Canada Square lands, the Davisville Yard and school sites.

Policy direction on sunlight and pedestrian comfort and other built form guidelines must also be taken into consideration for determining appropriate building heights. The Secondary Plan places emphasis on maintaining adequate sunlight on existing parks and limiting wind impacts on the public realm. This section also outlines amenity space requirements, such as criteria for outdoor amenity space.

Community Services and Facilities

Section 6 acknowledges that meeting future community needs in a mature urban context requires creative solutions to maximize the use of existing public assets, advance partnerships, emphasize integration, to co-locate community services where possible, and respond to identified priorities.

Policy direction is provided on the timely delivery and equitable distribution of community service facilities across Midtown. A requirement to replace existing community space where redevelopment of a community service or facility is contemplated is also established.

Housing

Section 7 of the Secondary Plan provides policy direction for housing, and generally aligns with the Official Plan policies on the need to provide a full range of housing to meet the needs of all household size and income levels. The Secondary Plan outlines minimum requirements for two and three bedroom units for developments in buildings with more than 80 units. Affordable housing is encouraged.

Energy and Resilience

Section 8 includes policy direction on energy and water. The policies in this section encourage development to achieve environmentally sustainable design, and target net-zero emissions through initiatives such as integrated storm water capture, pollinator-friendly plantings, thermal energy networks and on-site energy production.

Making it Happen (Implementation)

The final section of the Secondary Plan, Section 9, addresses the Plan’s implementation. It indicates the City will advance Infrastructure Implementation Strategies and identifies a number of additional tools the City will use to implement the Plan over and above those included in the Official Plan. The Infrastructure Implementation Strategies will assist in ensuring infrastructure upgrades and new infrastructure is provided in a timely matter. They will also detail a framework for ongoing monitoring. Context Plans may be required as part of the development review process in order to effectively coordinate built form, public realm, site access and circulation, and other matters. Construction Management Plans are identified as a requirement for Site Plan Control applications in Mixed Use Areas and Apartment Neighbourhoods designated lands.



# 03 RECENT DEVELOPMENT ACTIVITY

Construction on the east side of Yonge Street



This section provides an overview of recent development activity in the Midtown area, focusing on the period from 2010 to 2020. Information was collected through the City’s Application Information Centre, provided by the Planning Research and Analytics Unit within City Planning, or through LPAT decisions. This summary focuses on active applications, which are defined as those applications that have been approved but not yet built or under construction and applications that are under review.

The Midtown area is notable for its intense and sustained development activity. The Yonge-Eglinton Secondary Plan Area was the busiest Secondary Plan area outside of the King-Spadina area from 2014 to 2018. The Yonge-Eglinton Secondary Plan Area only covers approximately 1 per cent of the City’s total land area but accounted for 10 per cent of the City’s total active development applications from 2014 to 2018.

Since 2010, there have been 73 development applications that have required a zoning by-law amendment within the Midtown Character Areas. This includes 15 built projects, 17 buildings under construction, 23 approved but unbuilt projects and 18 applications currently under review (including two withdrawn applications with resubmissions). Of the 23 developments that have been approved but that are not yet built, 18 (78 per cent) were approved by the LPAT with the remainder approved by City Council. There are currently 41 active applications within Midtown’s 22 Character Areas as of August 2020.

The land uses proposed in these active applications are generally consistent with the local context. Applications for residential developments are generally in Character Areas with existing residential properties, such as the Redpath Park Street Loop. In these neighbourhoods, there are several infill developments that are additions to existing buildings or are separate buildings on the same lot with existing buildings. Applications for mixed-use developments typically involve demolition and redevelopment and are concentrated

along major streets such as Yonge Street and Eglinton Avenue. All mixed-use applications include residential units, except for the approved application that proposed expansion of the Yonge-Eglinton Centre office complex.

Development activity is not uniform across Midtown. Table 1 provides a snapshot of development activity in each Character Area. For infill proposals on sites with existing buildings to remain, the proposed residential units and proposed non-residential GFA shown does not include existing uses that are proposed to be retained, except where office replacement or rental residential replacement is proposed. The average FSI includes retained uses. The 41 active applications across Midtown’s 22 Character Areas propose over 13,000 residential units and over 125,000 square metres of non-residential GFA.

Much of this activity is concentrated in the Redpath Park Street Loop Character Area (B2). This area currently has eight active applications, which propose a total of 4,092 residential units and 4,752 square metres of non-residential uses. In addition to these active applications, the Redpath Park Street Loop Character Area includes seven developments which were recently built or are under construction. These applications combined introduce a total of 3,425 residential units and 7,537 square metres of non-residential uses.

The Davisville Character Area (B4) is the subject of four active applications. These applications propose 1,507 residential units and 2,059 square metres of non-residential uses in total. This area has one recently built development which contains 522 residential units.

The Yonge-Eglinton Crossroad Character Area (D1) is also notable for its development activity. It has four active applications. This includes the tallest application in the Secondary Plan Area with a height of 65 storeys and 32.3 FSI. These four applications propose 1,887 residential units and 44,587 square metres of non-residential uses. Another five developments since 2010 have been

built or are under construction in this Character Area, representing a total of 3,211 residential units and 22,920 square metres of non-residential uses.

Nearby, the Eglinton Green Line Character Area (E1) has three active applications which propose a total of 11,346 residential units and 35,708 square metres of non-residential uses. In addition, there are also two recently built applications with a total of 912 residential units and 6,912 square metres of non-residential uses. These two Character Areas also have the highest concentration of proposed non-residential uses.

There are a number of Character Areas that have no active applications but do have developments that have been recently completed or are under construction. These include Erskine and Keewatin, Soudan and Davisville Station Character Areas. In total, 2,505 residential units and 531 square metres of non-residential spaces has been developed in these Character Areas since 2010.

Several other Character Areas are stable areas with no active or recent applications. This includes Eglinton Park, Mount Pleasant Gateway and Davisville Community Street.

Table 1: Development Activity by Character Area

Character Area	No. of Active Applications	Total Proposed Res Units	Total Proposed Non-Res GFA	Average FSI	Tallest Height (ST)
A3 – Eglinton East	1	76	0	2.8	11
B2 – Redpath Park Street Loop	8	4,092	4,752	9.1	44
B4 – Davisville	4	1,507	2,059	8.4	38
C1 – Eglinton Way	1	72	189	5.8	9
C2 – Yonge Street North	2	163	1,592	5.5	14
C3 – Yonge Street South	4	227	1,117	7.1	13
C5 – Bayview-Leaside	2	180	486	4.2	9
D1 – Yonge-Eglinton Crossroads	5	1,887	44,587	20.8	65
D3 – Mount Pleasant Station	3	926	1,060	9	44
D4 – Bayview Focus Area	1	412	4,032	3.6	16
E1 – Eglinton Green Line	3	1,346	35,709	18.9	52
E2 – Montgomery Square	2	1,067	13,536	11.3	37
E3 – Henning	2	534	6,999	11	32
E5 – Merton Street	3	585	10,500	7.3	37
Total	41	13,074	126,617		





Development activity in the Yonge-Eglinton area current to January 2020

FIGURE 3: RECENT DEVELOPMENT ACTIVITY (3D MASSING)

- Existing
- Under Construction
- Approved
- Current Applications



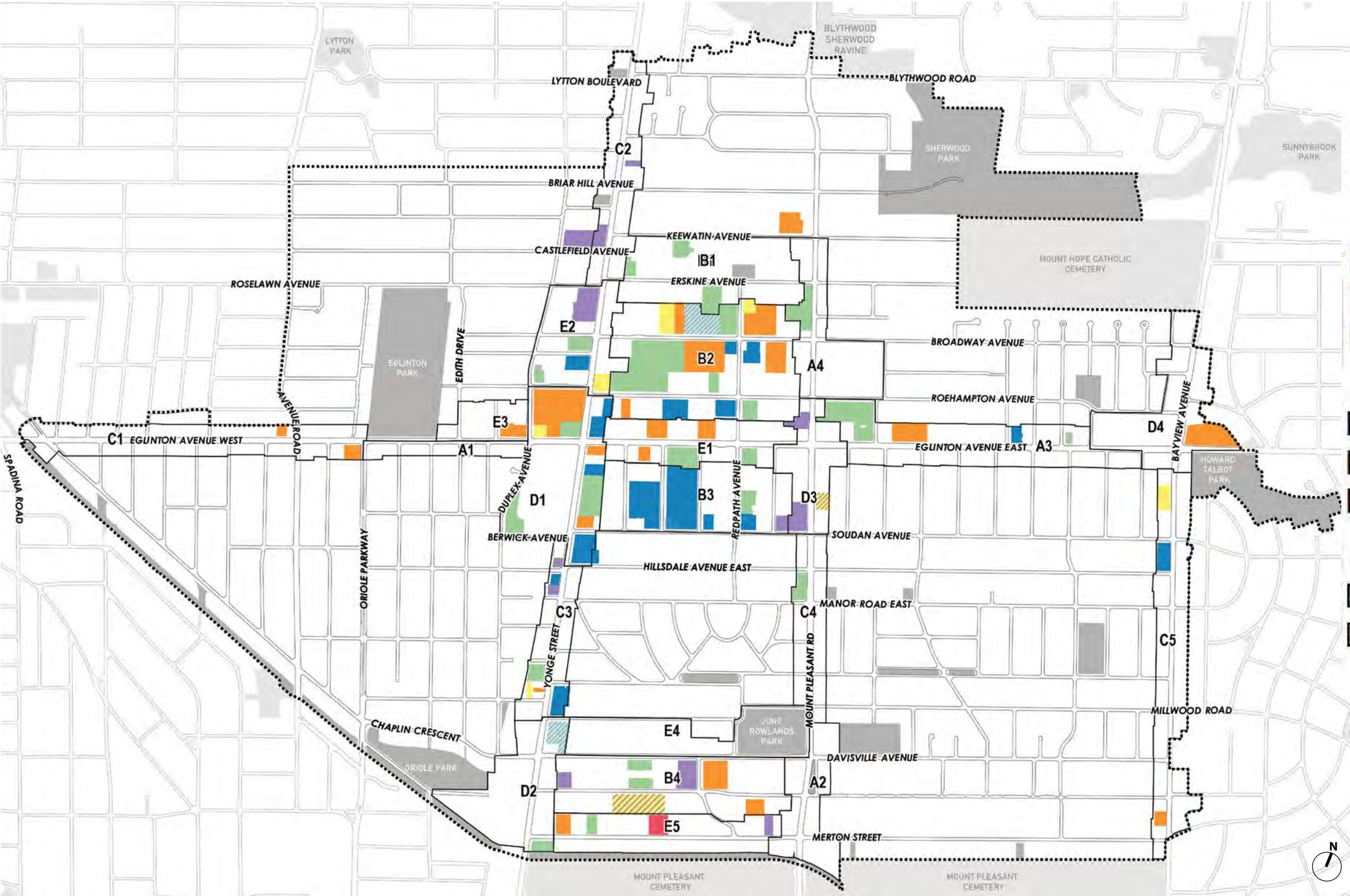


FIGURE 4: RECENT DEVELOPMENT ACTIVITY (PLAN VIEW)

- Yonge-Eglinton Secondary Plan Area
- Character Areas
- Developments Since 2002
  - Approved by Council and/or LPAT
  - Under Construction
  - Built
- Current Rezoning Applications
  - Submitted Prior to June 5, 2019
  - Submitted Post June 5, 2019
  - Housing Now
- Withdrawn Rezoning Applications
  - Withdrawn and no new application
  - Withdrawn and a new application submitted Post June 5, 2019



3.1. Development Activity by Character Area

This section provides a summary of active applications in each of Midtown’s 22 Character Areas. A detailed table summarizing the active applications is included in Appendix 1.

A3 - Eglinton East

There is one active development application in the Eglinton East Character Area. The application is for an eleven-storey addition to an existing 13-storey apartment building. A minimum six metre setback is proposed on the north side of Eglinton Avenue for the addition. Together with existing uses, this application proposes an FSI of 2.83. This application was approved by the LPAT in August 2019, however zoning by-laws have not yet been finalized.

B2 - Redpath Park Street Loop

This Character Area contains a significant level of development activity. Currently, there are eight active development applications in this Character Area. The majority of these applications (five) have received approvals through the LPAT but are yet to have finalized zoning by-laws. One application at 55 to 65 Broadway Avenue was approved by the LPAT in January 2020 and has finalized by-laws. Two applications at 40 to 44 Broadway Avenue and at 241 Redpath Avenue are currently under review by the City. These applications propose a total of 4,752 square metres of non-residential GFA and 4,092 residential units.

Active applications are concentrated along Broadway Avenue. All but one application propose buildings greater than 30 storeys, with the tallest building having a proposed height of 44 storeys. The height of base buildings range from two to eleven storeys. Two applications propose infill development whereby new buildings are developed as additions or adjacent to existing apartment buildings.

FIGURE 5: MIDTOWN CHARACTER AREAS



Applications are primarily residential. The application at 40 to 44 Broadway Avenue proposes the demolition and replacement of a place of worship, and a new residential tall building.

All but one application are located along the Park Street Loop Public Realm Move and include a minimum 7.5 metre setback at grade along Broadway Avenue. The application at 55 Erskine Avenue proposes 284 square metres of on-site parkland dedication fronting Broadway Avenue. The application at 75 Broadway Avenue includes a privately-owned publically accessible space (POPS) along Broadway Avenue.

Since receiving LPAT approval, the applications at 110, 114 and 120 Broadway Avenue and at 100 Broadway Avenue and 223 to 225 Redpath Avenue are being advanced as a combined application. The combined application proposes a 746 square metre park at the corner of Redpath and Broadway Avenues, in addition to a POPS along the remaining Broadway Avenue frontage and along the eastern property line to provide a mid-block connection.

B4 - Davisville

This Character Area has four active development applications. Two of these applications are currently under review and were submitted on May 2016 and November 2017. In addition, the original application at 95 to 155 Balliol Street was withdrawn. A new application was resubmitted for this site and is currently under review. A settlement was approved for the application at 265 Balliol Street and is pending a finalized zoning by-law. These applications propose a total of 2,059 square metres of non-residential GFA and 1,507 residential units.

Two applications are located on the south side of Balliol Street. The other two applications are on the north side of Balliol Street and south side of Davisville Avenue. All applications consist of a tower on a base building model and are greater than 16 storeys, with the tallest building having a proposed height of 38 storeys. The height of base buildings range from three to nine storeys. All

except the application at 22 Balliol Street are infill developments whereby new buildings are developed as additions or adjacent to existing apartment buildings.

Applications are primarily residential, with two developments permitting retail and daycare uses in base buildings. The 22 Balliol Street application proposes a mixed-use building.

Applications along Balliol Street propose setbacks at grade generally from six to 7.5 metres, with one application proposing 3.5 metres. For properties fronting onto Davisville Avenue, two applications propose setbacks at grade of 6.3 and 7.5 metres. The application at 265 Balliol Street includes a publicly accessible pedestrian walkway and a potential second walkway to serve as a mid-block connection.

C1 – Eglinton Way

The Eglinton Way Character Area is located along Eglinton Avenue West and is bound to the west by the Beltline Trail and to the east by Oriole Parkway. This area includes two future Eglinton Crosstown LRT stations. There is one active development application in this area, which the LPAT approved in August 2018 and is pending a finalized zoning by-law. In total, it proposes 189 square metres of non-residential GFA and 72 residential units. The application is located on the north side of Eglinton Avenue West. It proposes a mid-rise, mixed-use building with commercial uses at grade and a front setback of 1.4 metres.

C2 – Yonge Street North

This Character Area has two active development applications. These applications were received in June 2018 and May 2019 and both remain under review. A total of 1,592 square metres of non-residential GFA and 163 residential units are proposed by these applications.

Both applications are located along Yonge Street and propose mixed-use buildings with retail uses at grade. Proposed setbacks are minimal at 0.3 and

zero metres. The proposal for 2490 to 2514 Yonge Street includes a publicly accessible pedestrian walkway.

C3 – Yonge Street South

This Character Area has four active development applications. One application was approved in June 2018. The remaining three applications were received between March 2018 and October 2019 and remain under review. A total of 1,117 square metres of non-residential GFA and 227 residential units are proposed by these applications.

All applications are located on the west side of Yonge Street. Most applications are for mixed-use developments with retail uses at grade, except for a proposed residential building at 24 to 26 Imperial Street. The application at 1982 and 1984 Yonge Street also includes 333 square metres of office replacement. All proposed buildings fall within a height range of nine to 13 storeys. Proposed setbacks at grade along Yonge Street are minimal, ranging from zero to 1.2 metres.

C5 – Bayview-Leaside

This Character Area has two active applications. In January 2020, Council approved an application at 1408 to 1420 Bayview Avenue. The other application at 1718 to 1734 Bayview Avenue was received in June 2020 and remains under review. In total, these applications propose 486 square metres of non-residential GFA and 180 residential units. Both applications are located on the west side of Bayview Avenue and propose mixed-use developments with retail uses at grade. Both applications include a three metre setback from Bayview Avenue.

D1 - Yonge-Eglinton Crossroads

This Character Area has been the focus of considerable development activity and includes the tallest proposed heights across the Secondary Plan Area. It also includes Eglinton Station on the Line 1 Subway and the future Eglinton Station on the Eglinton Crosstown LRT. There are currently five active development applications in this Character

Area. Four applications have received approvals but have not yet been built. A new application at 36 Eglinton Avenue West, which is the site of a previously approved development application, was received in July 2020 and is under review. These applications propose a total of 44,587 square metres of non-residential GFA and 1,887 residential units.

Four of the active applications propose mixed-use tall buildings with a primarily residential tower component above a base building with retail and office uses. The remaining application at 2300 Yonge Street proposes several additions to an existing office building complex, and no additional residential uses aside from the existing 782 units. Notably, this is the only active application in the Secondary Plan Area that does not include additional residential units. A portion of this application has been constructed but the remainder is approved and unbuilt. The applications at 2161 Yonge Street and 1 Eglinton Avenue East both include minimum GFA for office replacement.

The two tallest applications propose 65-storey tall buildings on five-storey and nine-storey base buildings. These are respectively located on the northeast corner of Yonge Street and Duplex Avenue, and the southeast corner of Yonge Street and Eglinton Avenue East. These are the tallest applications within the Secondary Plan area.

Proposed setbacks along Eglinton Avenue and Yonge Street are minimal, ranging from zero to one metre. All applications, except for 2300 Yonge Street and 36 Eglinton Avenue West, include a 0.4 metre road widening for Yonge Street or Eglinton Avenue.

D2 - Davisville Station

This Character Area includes Davisville Station on the Line 1 Subway. There are currently no active development applications in the Character Area. One application at 1925 to 1951 Yonge Street was recently withdrawn from the LPAT appeals process. It had proposed a mixed-use building with two towers at 34 and 25 storeys, containing 450 residential units and 8,232 square metres of non-residential uses. A resubmission on this site is anticipated.



D3 - Mount Pleasant Station

The Mount Pleasant Station Character Area is the site of a future Eglinton Crosstown LRT station. There are three active development applications in this Character Area. These applications proposed a total of 1,060 square metres of non-residential GFA and 926 residential units.

The original application at 717-733 Mount Pleasant Road was withdrawn. A new application was resubmitted for this site and is currently under review. Another application was appealed to the LPAT on the basis of no decision from City Council. A prehearing for this application has not been scheduled.

All three applications propose residential tall buildings on five and seven-storey base buildings. Two applications at 808 Mount Pleasant Road and 717 to 733 Mount Pleasant Road include retail at grade. The application associated with the existing retirement home at 700 to 730 Mount Pleasant Road includes retirement dwelling units. The application at 808 Mount Pleasant Road also maintains a 25 metre separation distance from an adjacent 15-storey building.

Setbacks at grade from Mount Pleasant Road range from 1.8 to 4.8 metres, and five metres from Brownlow Avenue and Soudan Avenue.

D4 - Bayview Focus Area

The Bayview Focus Area Character Area includes the future Eglinton Crosstown LRT station. There is one active development application in this Character Area which proposes 4,032 square metres of non-residential GFA and 412 residential units. This application received LPAT approval in December 2016. However, the zoning by-law for this application has yet to be finalized.

This application is located on the north side of Eglinton Avenue, east of Bayview Avenue. It proposes a mixed-use development with two buildings at 16 and 12 storeys with retail at grade. A minimum two metre setback at grade is proposed

along Bayview Avenue, and a minimum 2.7 metre setback at grade is proposed along Eglinton Avenue East.

E1 - Eglinton Green Line

There are three active development applications in this Character Area. These applications have been approved but are unbuilt, and propose a total of 35,709 square metres of non-residential GFA and 1,346 residential units.

All three applications are tall buildings with a residential tower component above a base building with retail and/or office uses. The tallest application is at 90 Eglinton Avenue East which proposes a 52-storey tower with a 9-storey base building. The approved applications have tower with heights at 46 and 50 storeys, above six-storey base buildings. The application at 150 Eglinton Avenue East includes a 100 per cent office replacement requirement.

The applications on the north side of Eglinton Avenue East (90 and 150 Eglinton Avenue East) maintain a minimum 12 metre setbacks at grade.

E2 - Montgomery Square

There are two active development applications in this Character Area, which are both under review. One application at 2400 to 2444 Yonge Street was submitted in June 2017 and another application at 2323 to 2329 Yonge Street was submitted in June 2020. In total, these applications propose 13,536 square metres of non-residential and 1,067 residential units.

Both applications propose mixed-use developments containing residential and retail uses. For the application at 2323 to 2329 Yonge Street, 6,596 square metres of office uses are included. A 412 square metre public park is also proposed, located off Roselawn Avenue. The proposed setbacks at grade along Yonge Street range from 2.75 to zero metres, in addition to a 0.4 metre road widening conveyance at 2400 to 2444 Yonge Street.

E3 - Henning

This area currently has two active development applications, which are adjacent to each other on the north side of Eglinton Avenue West. These applications have been approved by the LPAT but are yet to be constructed. In total, these applications propose 6,999 square metres of non-residential GFA and 534 residential units.

Both applications propose tall buildings comprised of primarily residential tower on a base building containing retail and office uses. The tallest proposed height is found on the application closest to Yonge Street (50 to 60 Eglinton Avenue West), at 32 storeys. The application at 90 Eglinton Avenue West includes 2,941 square metres for office replacement.

The applications maintain a two metre setback from Eglinton Avenue West, in addition to a 0.4 metre conveyance for road widening.

E5 - Merton Street

This area includes three active development applications, all of which are on the north side of

Merton Street. These applications propose a total of 10,500 square metres of non-residential GFA and 585 residential units.

City Council recently approved a City-led proposal at 140 Merton Street. This proposal was part of the Housing Now Initiative, and is comprised by a tower component with market and affordable housing units, and community spaces and ancillary uses in a five-storey base building.

One of the two privately-led applications at 30 Merton Street was submitted in August 2017 and was approved for settlement at the LPAT in July 2020. The other application was submitted in June 2018 and remains under review.

The tallest proposed building height is 37 storeys at 30 Merton Street, which is located near Yonge Street. The applications at 140 and 30 Merton Street are comprised of a tower element above a base building, whereas the application at 276 to 290 Merton proposes a single building element with multiple step-backs above the fourth storey. Setbacks at grade range from 3.9 and four metres on the private applications to 7.4 metres on the City-led application.





# 04 CURRENT ZONING FRAMEWORK



Eglinton Green Line Character Area looking east.



This Chapter provides an overview of the current zoning framework in Midtown, including the applicable zoning categories and background on the evolution of this framework. The overview includes a detailed description of permitted uses, lot requirements and performance standards for each zone and an outline of common exceptions. This chapter is to be read in conjunction with the Chapter 5, which identifies the specific zone labels that apply within each Character Area and includes further detail on exceptions that are unique to certain areas.

#### 4.1. Overview and Background of Midtown Zoning

Zoning by-laws are planning tools authorized by Section 34 of the Planning Act. They implement the goals, objectives and policies of the City's Official Plan. Zoning by-laws regulate permitted uses, building types, the location, height, density, spacing and character of buildings, as well as parking and loading requirements, among others.

The Yonge-Eglinton Secondary Plan area is subject to several zoning by-laws, including the City of Toronto Zoning By-law 569-2013, the Former City of Toronto Zoning By-law 438-86 and the Former City of North York By-law No. 7625. Figure 6 illustrates where these by-laws apply and where there are exceptions.

The mixed nature of zoning in Midtown results from a number of factors. First, changes in zoning regulations are necessary in any geography in order to respond to shifts in development patterns and city-building objectives. Historically, retail main streets took shape along Midtown's former streetcar routes that included Mount Pleasant Road, Bayview Avenue, Yonge Street and Eglinton Avenue. With the introduction of the Yonge subway in 1954, parts of Midtown underwent considerable redevelopment based on master planning exercises for larger blocks and codified through zoning. These comprehensive block plans often followed the tower-in-the-park building form popular at the time, which introduced tall buildings surrounding

FIGURE 6: APPLICABLE ZONING BY-LAWS





by open space and generous landscaped setbacks. In the decades following this initial transformation, more incremental redevelopment occurred, largely consisting of office and commercial developments along main streets.

In 1979, the City undertook a planning study for Midtown, resulting in the Yonge-Eglinton Part II Plan (Part II Plans are now referred to as Secondary Plans). The objectives of this Plan were to maintain and reinforce the stability of residential neighbourhoods, ensure a predominant ground floor retail character of shopping districts to maintain their pedestrian nature, and to redevelop commercial lands without encroachment on adjacent residential neighbourhoods, among others. The 1979 Part II Plan was the last instance of comprehensive planning in Midtown. A series of zoning by-law amendments accompanied the Part II Plan.

The latest wave of intensification in Midtown began in the mid-2000s. Development in this wave is generally characterized by the City's tall building form, comprised of a base building, residential tower and a top. These developments advanced through site-specific zoning by-law amendments with detailed zoning provisions reflective of individual development proposals.

In 2013, the City completed a zoning by-law harmonization exercise that resulted in the enactment of Zoning By-law 569-2013. This exercise focused on compiling and reconciling the various zoning regimes of the former municipalities into a consolidated by-law. Approximately 8,000 sites in the City of Toronto remain subject to the zoning by-laws of former municipalities.

Consequently, there are several base by-laws (By-law 569-2013, 438-86 and 7625) and dozens of exceptions to these by-laws that apply in the Midtown area. Many of the regulations in the by-laws do not conform to the policy direction of the Official Plan, and more specifically of the Yonge-Eglinton Secondary Plan. This presents a significant challenge in managing how and where Midtown will continue to grow.

4.1.1. City of Toronto Zoning By-law 569-2013

Toronto City Council enacted the City of Toronto Zoning By-law 569-2013 on May 9, 2013. Portions of the By-law remain under appeal at the Local Planning Appeal Tribunal. For sites that remain under appeal, a dual-review of both the former By-laws and By-law 569-2019 are undertaken with the more restrictive regulations generally applied.

By-law 569-2013's structure consists of several layers of applicable regulations, including the Zoning By-law Map, Overlay Maps, tables and text. Chapter 5's regulations apply to all zones. Regulations for specific zone categories, such as the Residential Zone Category and the Commercial Residential Zone Category, are in Chapters 10 through 100. Each of these Chapters have specific regulations for each zone, such as permitted uses, lot requirements, principle building requirements, parking and loading. Lot requirements may include minimum lot frontage, minimum lot area and maximum lot coverage. Principle building requirements typically regulate height, floor area (density), setbacks and minimum separation distances, among others.

Zone symbols form part of the zone labels on the Zoning By-law Map. The zone labels consist of the applicable zone that applies to a particular site (e.g. R or CR), and may also include requirements for lot frontage (f), lot area (a), lot area per dwelling unit (au), maximum dwelling units (u) and maximum floor space index (d). The information presented in the Map must be read in conjunction with the regulations contained in tables and text elsewhere in the By-law.

In addition to the Zoning By-law Map, By-law 569-2013 contains several Overlay Maps that illustrate other regulations based on geography. Overlay Maps that apply city-wide are contained in Chapter 995. These include Policy Area Overlay Maps, the Height Overlay Map, Lot Coverage Overlay Map and the Rooming House Overlay Map. Chapter 600 provides an additional overlay that applies to specific geographies. These are often used for local area studies or to regulate certain matters in a

defined geography, such as building separation or retail streets.

Chapter 900 of By-law 569-2013 contains all Exceptions. Exceptions include site specific provisions, prevailing by-law sections and prevailing by-laws. Prevailing by-law sections or by-laws are from previous site or area specific zoning by-laws that continue to apply. Site specific provisions are commonly from recent amendments to allow for specific developments, but may also contain general provisions.

4.1.2. Former City of Toronto By-law 438-86

Zoning By-law 438-86 is the former City of Toronto Zoning By-law, which applied to much of Midtown. By-law 438-86 has a similar structure to By-law 569-2013, consisting of several layers of regulations. Under By-law 438-86, zoning is based on Districts. These include Parks Districts, Residential Districts, Reinvestment Area Districts, Mixed-Use Districts and Industrial Districts. It also includes density zones to indicate the maximum FSI permitted on a property.

Section 4 of the By-law includes regulations that apply to all districts. Sections 5 through 9 include regulations specific to each District. These include regulations on permitted uses, density, setbacks, open space, parking and loading, and lot requirements.

Section 11 consists of exceptions which apply to all Districts. Section 12 contains exceptions which apply to a broad geography, area or specific sites. There are two types of Section 12 exceptions – permissive and restrictive.

By-law 438-86 has two Zoning Maps. The first map provides the zoning (Districts and density zones) for properties across the former City. The second regulates maximum heights and minimum lot frontages.

4.1.3. Former City of North York By-law 7625

Several properties located north of Eglinton Avenue East and west of Bayview Avenue are subject to the Former City of North York By-law 7625.

By-law 7625 consists of eleven General Zone Categories, each with a subset of zone titles. For example, the Commercial Zone Category contains six zone titles. Section 6 of the By-law includes regulations that apply to all zones. Sections 7 to 46 provides regulations that apply to specific zones or zone categories. Section 64 of the By-law includes exceptions.

By-law 7625 also includes a number of Zoning Maps which, among other matters, provide the zoning classifications, exception numbers where applicable, and gross floor area and building height limitations.

4.2. Applicable By-law 569-2013 Zone Categories

4.2.1. Residential Zone Category

By-law 569-2013's Residential Zone category permits uses generally associated with the Neighbourhoods and Apartment Neighbourhoods designations in the Official Plan. It permits a range of residential building types in different zones. Zones within this category also include permissions for parks and local institutions.

There are three residential zones that apply within the Secondary Plan area - Residential (R), Residential Multiple Dwelling (RM) and Residential Detached (RD). The most common zone in the Secondary Plan area is the R zone. The permitted residential building types in each zone are highlighted in Table 2, and applicable zones are shown on Figure 7.



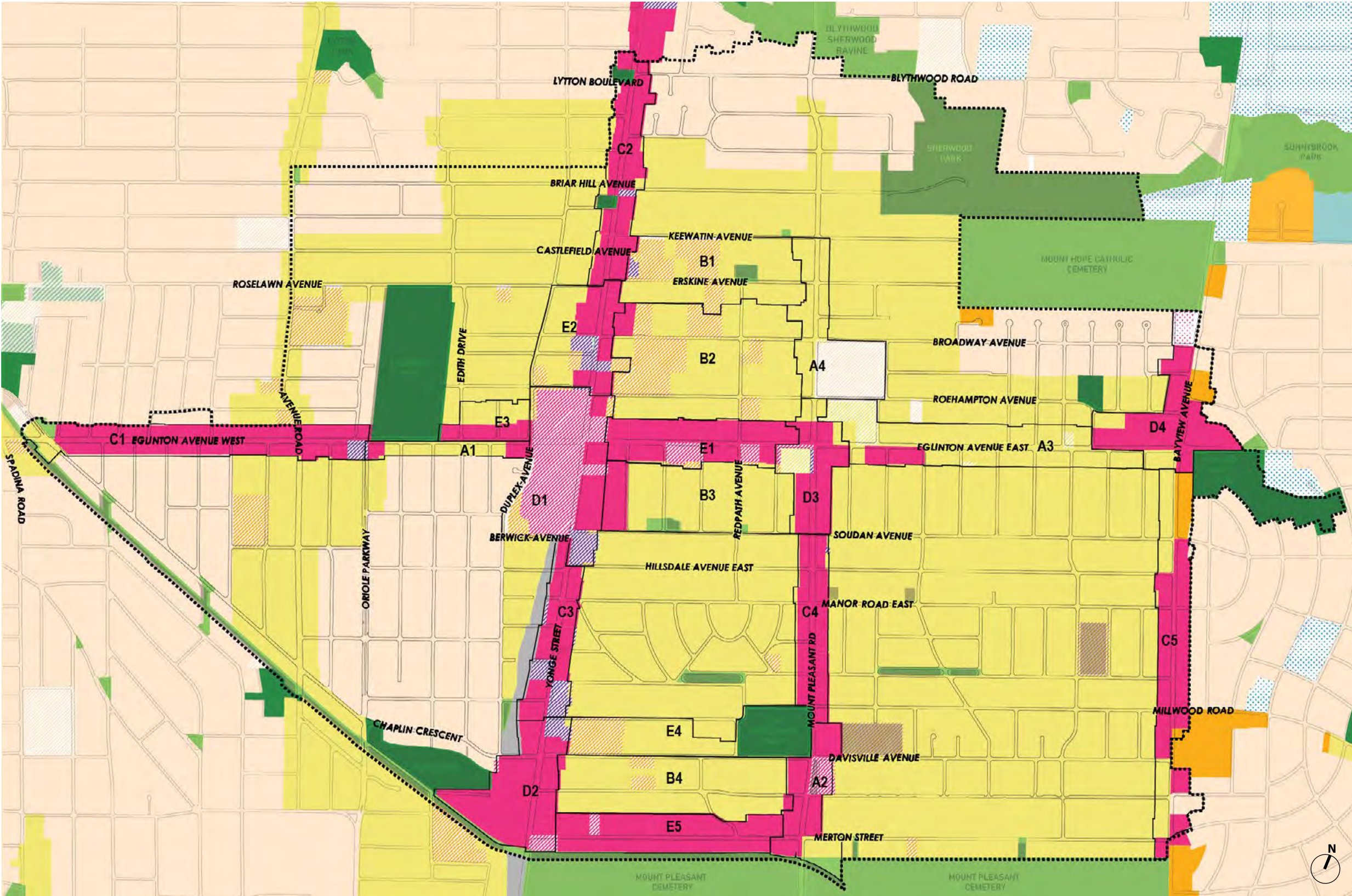


FIGURE 7: APPLICABLE ZONING

- Yonge-Eglinton Secondary Plan Area
- Character Areas
- Zoning By-law 569-2013**
  - Residential Detached Zone (RD)
  - Residential Multiple Zone (RM)
  - Residential Zone (R)
  - Commercial Residential Zone (CR)
  - Open Space Zone (O)
  - Open Space - Recreation Zone (OR)
- Former Zoning By-law 438-88**
  - Residential District R1, R1S
  - Residential District R2
  - Residential Districts R4 or R4A
  - Mixed Use District CR
  - Mixed Use District MCR
  - Open Space
- Former Zoning By-law 7625**
  - General Commercial -C1



Table 2: Permitted Residential Building Types

Residential Building Type	R	RD	RM
Detached House	Permitted	Permitted	Permitted
Semi-Detached House	Permitted	Not Permitted	Permitted
Townhouse	Permitted	Not Permitted	Not Permitted
Duplex	Permitted	Not Permitted	Permitted
Triplex	Permitted	Not Permitted	Permitted
Fourplex	Permitted	Not Permitted	Permitted
Apartment Building	Permitted	Not Permitted	Permitted

Residential (R) Zone

Permitted Use

The R zone generally permits all residential building types including detached houses, duplexes, townhouses and apartment buildings as well as municipal shelters and parks. The R zone also permits certain non-residential uses with conditions including day nurseries, places of worship, libraries, police stations and other community uses.

Lot Requirements

Lot requirements include regulations on lot area, lot frontage, and lot coverage for the R zone. Minimum lot area can be indicated through the zone label with a number following the letter “a”, representing square metres. Where the label does not include an “a” value, the minimum require lot area is the minimum required lot frontage multiplied by 30 metres.

Minimum lot frontage can be indicated through the zone label with a number following the letter “f”, representing metres. Otherwise, the minimum lot frontage requirement is generally six metres for all residential building types except for semi-detached houses and townhouses. For these, lot frontage is the cumulative required minimum frontage for each dwelling unit. If there are units in a townhouse not directly fronting onto a street, the required minimum lot frontage is 30 metres or as indicated in the zone label.

Maximum lot coverage can be directly regulated through the Lot Coverage Overlay Map and indirectly through minimum landscaping requirements. The Lot Coverage Overlay Map indicates maximum percentage for lot coverage. There are no R-zoned sites within the Secondary Plan area that are subject to this map. Instead, there are separate landscaping requirements within the R zone for apartment buildings and for all other residential building types.

Apartment buildings in all Residential Zone categories are required to have 50 per cent of the lot area for landscaping, with 50 per cent of this requirement as soft landscaping. A 1.5 metre buffer of soft landscaping is also required along lot lines that abut a Residential Zone category.

All other residential buildings types within a Residential Zone category are required to have a minimum of 50 to 70 per cent landscaping for front yards, depending on lot frontage, and a minimum of 75 per cent of the landscape requirement must be soft landscaping. For corner lots, side yards must include 60 per cent landscaping, with 75 per cent of the landscaping requirement as soft landscaping. Rear yards must have between 25 and 50 per cent soft landscaping depending on lot frontage.

Principle Building Requirements

Required front yard setbacks in the R-zone depend on the zoning of adjacent properties. If a lot is beside another lot in the Residential Zone category,

the setback must match that of the adjacent residential lots. Where a lot is located between two residentially-zoned lots, front yard setbacks must match the average between these. If there are no adjacent residentially-zoned lots, the required setback is six metres. The required minimum rear yard setback is 7.5 metres. The required minimum side yard setback is 0.45 to 7.5 metres. Greater setbacks are required for apartment buildings with a height of 12 metres or greater, where there are units not directly fronting a street, or for non-residential buildings. Setbacks can be reduced by 0.45 metres for certain building types if there are no windows or doors adjacent to the side property line.

Above-ground separation distances of two, 5.5 or 11 metres are required for townhouses and apartment buildings where main walls are opposite each other and depending on the presence of openings, such as windows and doors.

Residential Detached (RD) Zone

Permitted Uses

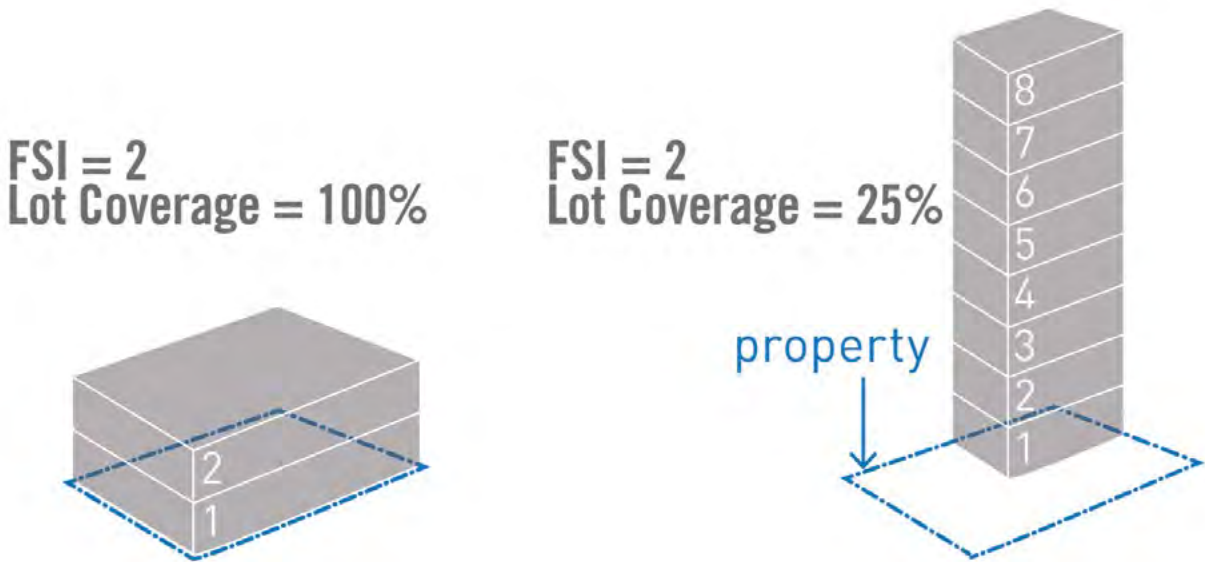
The RD Zone is the least permissive zone in terms of building types and uses, allowing only detached houses, municipal shelters and parks.

It also permits certain non-residential uses with conditions, including day nurseries, places of worship, libraries, police stations and other community uses.

Lot Requirements

Lot requirements include regulations on lot area, lot frontage, and lot coverage for the RD zone. Minimum lot area is regulated through the zone label, or if it does not include an “a” value, then minimum lot area is the lot frontage times 30. Minimum lot frontage is also regulated through the zone label, or if it does not include an “f” value, then minimum lot frontage is 12 metres.

Maximum lot coverage can be directly regulated through the Lot Coverage Overlay Map and indirectly through minimum landscaping requirements. The Lot Coverage Overlay Map indicates maximum percentage for lot coverage, which applies to several areas zoned RD within the Secondary Plan area. Minimum landscaping requirements are consistent across the Residential Zone Category and are described in the R Zone section above.



Lot Coverage and Resulting Floor Space Index (FSI)



Principle Building Requirements

If a lot is beside another lot in the Residential Zone category, the setback must match that of the adjacent residential lots. Where a lot is between two residentially-zoned lots, the setbacks must match the average between these. If there are no adjacent residential lots, the required setback is six metres. The minimum rear yard setback requires the greater of 7.5 metres or 25 per cent of the lot depth. The minimum side yard setback requirement is 0.6 to 3.0 metres depending on the minimum lot frontage, with wider frontages requiring greater setbacks.

Residential Multiple Dwelling (RM) Zone

Permitted Uses

The RM Zone generally permits most residential building types including detached houses, duplexes and apartment buildings, with the exception of townhouses. Municipal shelters and parks are permitted. The RM zone also permits certain non-residential uses with conditions, including day nurseries, places of worship, libraries, police stations and other community uses.

Lot Requirements

Lot requirements include regulations on lot area, lot frontage, and lot coverage for the RM zone.

Minimum lot area is regulated through the zone label, or where this does not include an “a” value, the minimum lot area depends on whether the building is on two lots in the RM Zone. The general requirement is the minimum lot frontage times 30. In cases with double lots, this is requirement is halved. Minimum frontage is regulated through the zone label, or where this does not include an “f” value, the frontage depends on building type and lot consolidation. For buildings wholly located on one lot, the minimum lot frontage ranges from 12 metres for detached houses to 24 metres for apartment buildings or non-residential buildings. Where a semi-detached house, fourplex or apartment building is located on two lots in the RM Zone, the requirement for each lot is halved.

Maximum lot coverage can be directly regulated through the Lot Coverage Overlay Map and indirectly through minimum landscaping requirements. There are several RM-zoned sites within the Secondary Plan area that are regulated though the Lot Coverage Overlay Map. Landscaping requirements are consistent across the Residential Zone Category, and described in the R zone summary above.

Principle Building Requirements

Other regulated performance standards include setbacks and above-ground separation. Similar to the R and RD Zones, if a lot is beside another lot in the Residential Zone category, the setback must

match that of the adjacent residential lot. Where a lot is between two residentially-zoned lots, the setbacks must match the average between these. If there are no adjacent residentially-zoned lots, the required setback is six metres. The minimum rear yard setback requires the greater of 7.5 metres or 25 per cent of the lot depth. The minimum side yard setback is 1.2 to 2.4 metres depending on the building type.

Above-ground separation distances of 5.5 or 11 metres are required for apartment buildings where a line projected outward at a right angle from a main wall intersects with another main wall, depending on whether each wall has an opening.

4.2.2. Commercial Residential Zone Category

The Commercial Residential Zone category permits uses generally associated with the Mixed-Use Areas designation in the Official Plan, and includes a range of commercial, residential and institutional uses, as well as parks.

The Commercial Residential (CR) Zone is the only zone within this category. The purpose of the CR Zone is to allow for a broad range of uses, including retail, service commercial, office and residential uses, often in mixed-use buildings.

Commercial Residential (CR) Zone

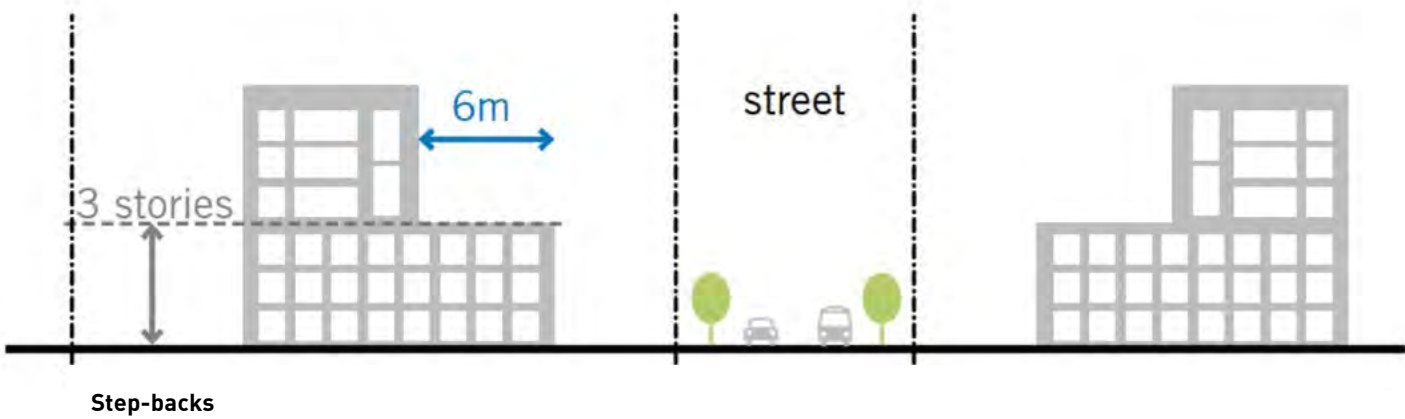
Permitted Uses

The CR Zone generally permits a variety of commercial uses, including offices, financial institutions, retail stores and vehicle-related uses. Permitted institutional and public uses include community centres, education uses and places of worship. Permitted residential building types include apartment buildings and mixed-use buildings. In Policy Areas 1 and 2, townhouses are also permitted. Other residential uses are also permitted, such as nursing homes and student residences. A number of non-residential uses are permitted with conditions, including day nurseries, recreation uses, retail service, service shops and hotels. Many of these conditions limit the maximum gross floor area of the use.

Lot Requirements

Lot requirements in the CR zone regulate lot frontage and lot coverage. There is no requirement for minimum lot area in the CR zone. Minimum lot frontage is nine metres for all sites and building types in the CR zone.

Maximum lot coverage can be directly regulated through the Lot Coverage Overlay Map and indirectly through minimum landscaping requirements. There are several CR zoned sites within the Secondary Plan Area that are included on the Lot Coverage Overlay Map. Landscaping requirements depend





on whether the lot is subject to a Development Standard Set. All CR zoned properties in the Secondary Plan area are subject to Development Standard Set 2 (SS2), which has no minimum landscaping requirement aside from a required 1.5 metre wide strip of soft landscaping adjacent where adjacent to a Residential Zone category.

Principle Building Requirements

The CR zone is subject to number of principle building requirements, most of which are organized based on Development Standard Set.

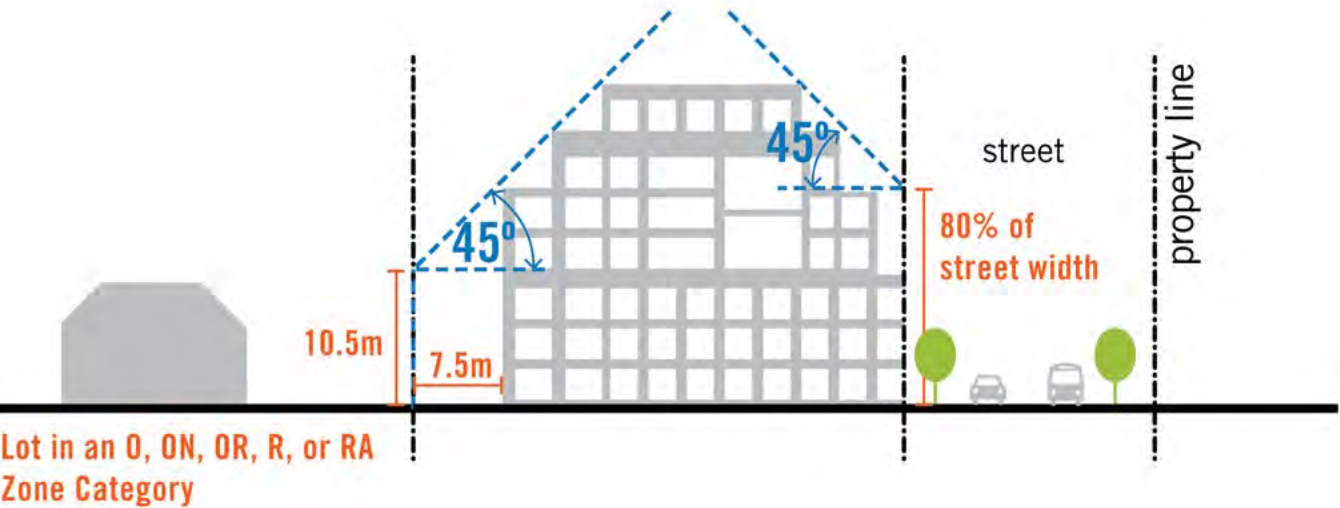
All CR-zoned properties in the Secondary Plan area are subject to SS2, which contains provisions on height, setbacks, angular plane, and separation, among others. Under SS2, the minimum front setback requires the main wall facing the front lot line to be between zero and three metres from the lot line for 75 per cent of the main wall. The minimum side yard setback requirement may be zero, three or 5.5 metres, depending on abutting lots and openings on main walls, such as doors and windows. The minimum rear yard setback requirement is 7.5 metres.

There is a 45 degree angular plane requirement along the rear yard setback where a lot abuts a

lot in the Residential Zone category or certain Open Space Zone categories. This angular plane requirement is applied at a height of 7.5 metres above the rear yard setback for deep lots and 10.5 metres above the rear yard setback for shallow lots. The type of lot is determined based on the width of the street the lot fronts onto and the depth of the lot. For instance, a lot fronting a 20 metre street with a lot depth less than 32.6 metres is a shallow lot. A 45 degree angular plane is also required along front and side lot lines that abut a street. This 45 degree angular plane is applied at a height of 80 per cent of street width.

Separation requirements between buildings apply to buildings with heights that are equal to or less than the abutting street width. Above-ground separation distances of 5.5 or eleven metres are required where a line projected outward at a right angle from a main wall intersects with another main wall, and depending on whether both walls have windows.

Where a lot is in the CR-zone and within the Policy Area 1, 2, 3, or 4 on the Policy Areas Overlay Map, a minimum building height requirement applies. This requirement is 10.5 metres and the building must have at least three storeys. The CR zone also requires a minimum height of the first storey of 4.5 metres.



Shallow Lot Angular Plane

4.2.3. Open Space Zone Category

The Open Space Zone category permits uses associated with the Parks and Open Space Areas designation in the Official Plan. This Zone Category generally permits parks, recreational, cultural and educational uses, as well as the conservation of lands. Within the study area, there are properties zoned as Open Space (O) and Open Space Recreation (OR).

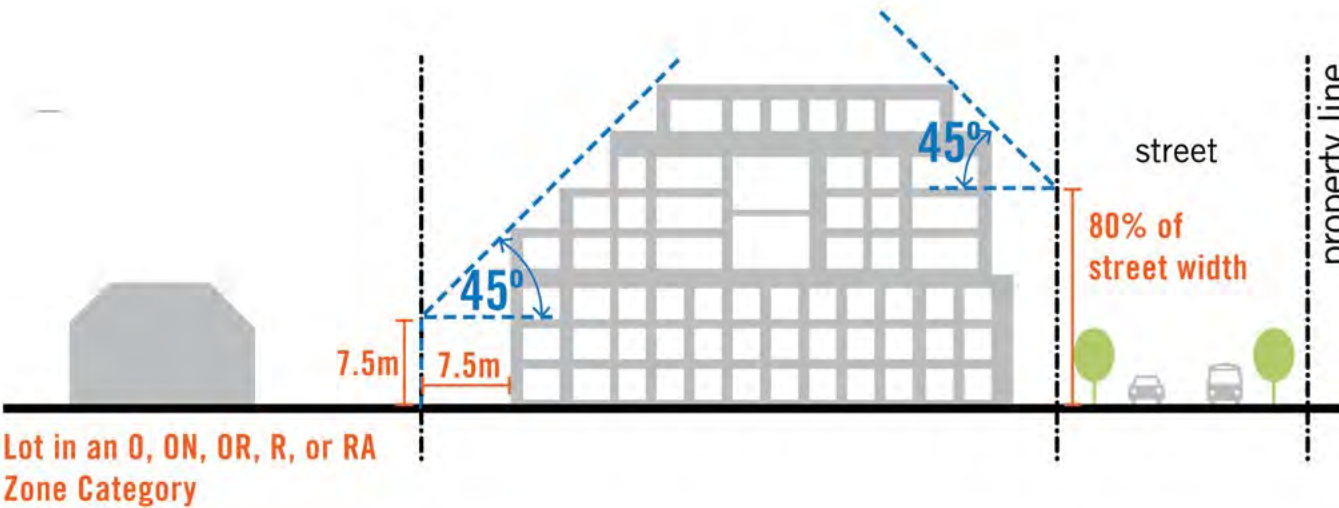
Open Space (O) Zone

Permitted Uses

Permitted uses on lands zoned O only include parks, public utilities or transportation uses. A limited range of other uses may also permitted, such as a club, education use or renewable energy, subject to meeting conditions. In these instances, the maximum permitted gross floor area of a building in an O Zone is 50 square metres.

Other Performance Standards

Minimum setbacks from all lot lines are 1.5 metres or three metres depending on building height. There are no performance standards with respect to lot coverage, step-backs and or building separation.



Deep Lot Angular Plane

Open Space Recreation (OR) Zone

Permitted Uses

The OR zone generally permits a range of public uses, including community centres, parks, museums and recreational uses. The OR Zone also permits certain uses, such as a club, retail store, education or renewable energy, subject to satisfying conditions. Certain commercial uses have a maximum interior floor area of 500 square metres.

Principle Building Requirements

The minimum front yard setback requirement is the average of the existing front yard setback of adjacent properties, or six metres otherwise. If the OR lot is adjacent to a residentially-zoned lot, the minimum rear and side yard setbacks are equal to the setback of the residential lots. Otherwise, the minimum required rear and side yard setback is three metres. There are no performance standards with respect to lot coverage, step-backs or building separation.



4.3. Applicable By-law 438-86 Zoning Districts

4.3.1. Residential Districts

There are four Residential Districts that apply within the Secondary Plan area - R1S, R2, R4 and R4A. Of these Districts, the most common in the Secondary Plan area is R2. The permitted residential building types in each District are shown in Table 3.

Permitted Uses

The R1S, R2, R4 and R4A Districts permit various residential building types, including detached houses and duplexes. The R4 and R4A Districts permit all residential building types. Some forms of housing are permitted with conditions in certain Districts. For example, a rooming house is permitted in R2, R3, R4 and R4A subject to a number of conditions.

Residential Districts also permit certain non-residential uses, such as community centres, public schools and hospitals. The main difference between Residential Districts is the range of permitted non-

residential uses, with some uses only permitted in R4 and R4A Districts.

Lot Requirements

Minimum lot frontage is indicated on the Height and Minimum Lot Frontage Overlay Map for residential buildings types within the Residential District. If the site is not indicated on the Height and Minimum Lot Frontage Overlay Map, then the minimum frontage is six metres. There are no requirements for minimum lot area or for maximum lot coverage.

However, minimum landscaping requirements effectively regulate lot coverage in combination with setback requirements. There are minimum landscaping requirements that apply to the overall lot and others that are specific to front yards. A minimum of 30 or 35 per cent of a lot must be provided as landscaped open space, depending on the permitted density of the lot. Sites with permitted density of 2 FSI or greater must provide 35 per cent landscaping. Apartment buildings are required to have a minimum of 50 per cent of the lot area as landscaped open space.

Front yard landscaping requirements are dependent on building type. A semi-detached duplex, semi-detached triplex, row house (which do not have a direct driveway) or rowplex is required to provide at least 50 per cent of the front yard as landscaped open space. A minimum 30 or 40 per cent of this required landscaping must be soft landscaping depending on lot frontage. A detached house, semi-detached house, duplex or row house (with a direct driveway) is required to have a minimum of 50 per cent of the front yard as landscaping depending on frontage, with 75 per cent as soft landscaping.

Other Performance Standards

The same performance standards apply to all Residential Districts. If a property is adjacent to other residentially-zoned properties, the front yard setback must match the existing setback of these adjacent properties. Otherwise, the front yard setback requirement is six metres. The minimum side yard setback is 0.45 to 7.5 metres depending on the building type, height, lot depth, if a dwelling unit front directly on a street and whether there are windows or doors.

Minimum separation distance requirements apply to all building types that have main walls facing each other, except for detached houses, semi-detached houses, duplexes and triplexes. Where required, minimum separation distance is two or 11 metres, depending on the presence of openings, such as doors and windows.

4.3.2. Mixed-Use Districts

There are two Mixed-Use Districts that apply within the study area - CR and MCR. While similar in terms of permitted uses, the CR district allows for several uses not permitted in MCR zones, including concert halls and stadiums. Additional detail on permitted uses and key performance standards is summarized below.

CR District

Permitted Uses

The CR District permits a range of residential building types, including apartment buildings, triplexes, rowhouses, duplexes and detached houses. Permitted non-residential uses include community centres, day nurseries, places of worship, hospitals, and various retail and commercial uses. A number of other uses are permitted with conditions. These include clubs, restaurants and parking stations.

Lot Requirements

Lot requirements for the CR District include minimum lot frontage. There are no requirements for minimum lot area or maximum lot coverage.

Minimum lot frontage is indicated on the Height and Minimum Lot Frontage Overlay Map for residential buildings types within the CR District. If the site is not indicated on the Height and Minimum Lot Frontage Overlay Map, then the minimum frontage is six metres. There are no minimum lot frontage requirements for mixed-use buildings or non-residential buildings.

Table 3: Permitted Residential Building Types in Residential Districts Under By-law 438-86

Residential Building Type	R1S	R2	R4	R4A
Detached House	Permitted	Permitted	Permitted	Permitted
Semi-Detached House	Permitted	Permitted	Permitted	Permitted
Duplex	Permitted	Permitted	Permitted	Permitted
Semi-Detached Duplex	Permitted	Permitted	Permitted	Permitted
Triplex	Not permitted	Permitted	Permitted	Permitted
Semi-Detached Triplex	Not permitted	Permitted	Permitted	Permitted
Row House	Not permitted	Permitted	Permitted	Permitted
Rowplex (series of duplexes and/or triplexes)	Not permitted	Not permitted	Permitted	Permitted
Apartment Building	Not permitted	Permitted	Permitted	Permitted



Mixed use buildings



Other Performance Standards

The minimum setbacks for non-residential buildings and non-residential parts of mixed-use buildings are three metres from a Residential District. Above-ground separation distances of 5.5 or 11 metres are required for the walls of residential and mixed-use buildings where there are windows of dwelling units. The required minimum separation depends on the abutting lots and if existing adjacent buildings have windows. There are no performance standards with respect to step-backs.

MCR District

Permitted Uses

Similar to the CR District, the MCR District permits a range of residential building types including apartment buildings, triplexes, rowhouses, duplexes and detached houses. Permitted non-residential uses include community centres, day nurseries, places of worship, hospitals, and various retail and commercial uses. A number of uses are permitted subject to satisfying conditions. These include clubs, restaurants and parking stations.

Lot Requirements

Lot requirements are consistent across Mixed-Use Districts, and are summarized above under the CR District.

Other Performance Standards

Any building in an MCR District must be setback a minimum distance of 7.5 metres from any lot in a Residential (R) District, or Park (G) District, unless the MCR District is adjacent to a side lot line in the R or G District in which case this requirement does not apply. There are two circumstances where buildings are required to fit under a 45-degree angular plane. A 45-degree angular plane requirement applies along any rear lot line adjacent to an R or G District, measured at a height of 10 metres. A 45-degree angular plane requirement also applies to any lot line which abuts a street.

This is measured along the lot line at a height of 13 metres for buildings under 18 metres in height, and at a height of 16 metres for buildings greater than or equal to 18 metres in height.

Above-ground separation distances between buildings of 5.5 or 11 metres are required for the walls of residential and mixed-use buildings that have windows and contain more than five dwelling units. The required minimum separation distance depends on the abutting lots and the presence of other windows.

4.4. Common Exceptions

This section provides an overview common exceptions under By-laws 569-2013 and 438-86. Exceptions contain regulations that override the general provisions in base by-laws. Some sites are subject to multiple exceptions. There are three types of exceptions:

- Site Specific Provisions: These are additional regulations that apply to some properties regulated within By-law 569-2013
- Prevailing By-law Sections: These are regulations from former zoning by-laws and are often



applicable on an area-wide basis

- Prevailing By-laws: These are standalone by-laws, often to permit specific developments that do not comply with the principal building requirements

Within By-law 569-2013, exceptions are listed in Chapter 900. Within By-law 438-86, exceptions are listed in Sections 11 and 12. Section 11 includes exceptions that apply to all Districts and Section 12 includes exceptions that apply to specific areas.

4.4.1. Common Site Specific Provisions

Exception R 5

This exception only permits dwelling units in a detached house, semi-detached house, duplex or semi-detached duplex. Both types of duplexes have minimum side setback requirements of three metres.

Exception R 7

This exception conditionally permits nursing homes, retirement homes and religious residences subject to an existing residential building type being located on the lot and distance to a major street.

Exception CR 2

This exception sets out minimum parking rates depending on the number of dwelling units.

Site Specific Provisions enacted through Eglinton Connects

A number of properties along Eglinton Avenue are subject to site specific provisions that were introduced as part of the Eglinton Connects planning study, which updated zoning in anticipation of the Eglinton Crosstown LRT. These provisions are:

- A maximum permitted height of 25.5 metres (approximately eight storeys) or 22.5 metres (approximately seven storeys)
- At least 75 per cent of main wall facing Eglinton Avenue must setback between zero to 0.5 metres
- 100 per cent of main walls facing Eglinton Avenue must be setback between zero to 5.5 metres
- Requires a minimum 1.5 metres step-back above 13.5 metres

4.4.2. Common Prevailing By-law Sections

Many properties are subject to certain prevailing by-law sections of By-law 438-86 that apply on an area-wide basis. The most common prevailing by-laws sections that apply area-wide, are illustrated in Figures 8 and 9, covering much of the Secondary Plan

Section 12(1) 3(b) allows for replacing or reconstructing a building due to a fire, explosion, or natural causes without complying with non-residential GFA, height and common outdoor space requirements in 438-86, up to the level of the previous building.

Section 12(1) 61 allows for a residential building to be used as a converted or rooming house that is operated by a government agency, charity or non-profit group.

Section 12(1) 166 allows for replacing or reconstructing a building due to a fire, explosion, or natural causes without complying with non-residential GFA and height requirements in 438-86, if lawfully used on June 18, 1981 and only up to the level of the previous building.

Section 12(2) 63 prohibits apartment buildings, residential buildings with more than six dwelling units and a series of more than three row houses.

Section 12(2) 63 prohibits apartment buildings, residential buildings with more than six dwelling units and a series of more than three row houses.



Section 12(2) 107 applies to lands within the Yonge-Lawrence Commercial Area, which includes properties on either side of Yonge Street from Briar Hill Avenue north to McNairn Avenue. This area was originally outside of the Yonge-Eglinton Area, as defined by By-law 438-86, but the most southerly portions now fall within the Yonge Eglinton Secondary Plan Area. Its provisions are similar to those contained in Sections 12(2) 118 and Section 12(2) 1119.

Section 12(2) 118 was developed as part of a broader planning exercise for the Yonge Eglinton area in 1980, in order to limit uses in the CR zones that were not compatible with the goals of the Official Plan at that time. It prohibits certain uses such as a car wash, sales garage, hotel, guest home and cold storage.

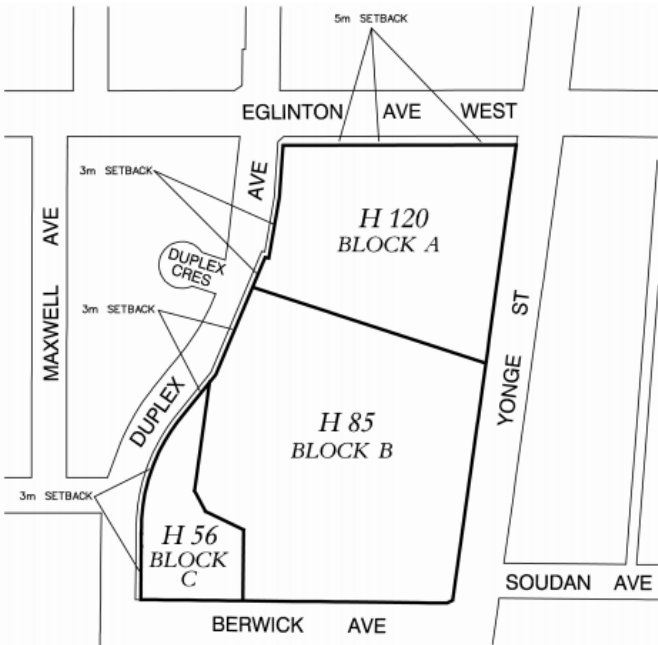
Section 12(2) 119 was also established as part of a broader planning exercise for the Yonge Eglinton area in 1980. It includes a number of provisions that affect height, setbacks at grade, and step-backs, with the intent of ensuring compatibility between non-residential and mixed-use buildings and adjacent residential areas, and to preserve the pedestrian nature of main streets. Provision enacted through the 1980 planning study included the following:

- Buildings on a CR or MCR-zoned lot must be set back at least 6.1 metres from a Residential District.
- Non-residential and mixed-use buildings must be set back within 0.15 to 1.5 metres from lot lines facing a public sidewalk, with some exceptions including along Holly Street and portions of Bayview Avenue.
- For properties zoned MCR T3.0 C2.0 R2.5 and CR T2.5 C2.0 R2.5 (often located along Yonge Street, Eglinton Avenue, Mount Pleasant Avenue and Bayview Avenue), building massing must fit within a 60 degree angular plane projected from ten metres above the lot line facing a residential lot as well as parallel to the lot line facing a public highway.

- For properties north of Eglinton Avenue and fronting onto Duplex Avenue, building massing must fit within a 45 degree angular plane projected from ten metres above the east lot line.
- For properties fronting onto Helendale Avenue, building massing must fit within a 30 degree angular plane projected from ten metres above the east lot line.
- For properties zoned MCR T3.0 C2.0 R2.5 (primarily located on Yonge Street and Eglinton Avenue), retail uses must have primary access on Yonge Street or Eglinton Avenue.

Section 12(2) 119 was amended in 2009 through a City-initiated rezoning for an area known as Canada Square (bounded by Yonge Street, Eglinton Avenue West, Duplex Avenue and Berwick Avenue), after these lands were declared surplus by the Toronto Transit Commission. A number of regulations were introduced for this area including:

- Maximum heights are 69 metres for lands closest to Eglinton Avenue West and 56 metres for lands closest to Berwick Avenue.



Maximum permitted heights in metres above established grade for the Canada Square lands from Section 12(2) 119

- For properties closest to Berwick Avenue, building massing must fit within a 45-degree angular plane project from ten metres above Berwick Avenue.
- For properties closest to Eglinton Avenue, building massing must fit within a 60-degree angular plane project from ten metres above Duplex Avenue.
- Section 12(2) 193 requires additions and extensions above the first storey of a detached house to comply with setbacks.
- Section 12(2) 212 states that detached houses, semi-detached houses and row houses cannot be used as rooming or converted houses.

Section 12(2) 227 restricts restaurant, caterer's shop, take-out restaurant, place of amusement and club to a maximum GFA of 200 square metres subject to parking or existing use conditions.

Section 12(2) 270(a) restricts non-residential GFA to the existing amount in July 20, 1993 plus 1,800 square metres up to the maximum density permitted by the zone label. No single retail or service use may exceed 8,000 square metres unless existing on August 29, 1994. Sites subject to this exception are illustrated in Figure 9.

4.5. Common Prevailing By-laws

There are several standalone by-laws that apply to a number of properties within the Secondary Plan area.

By-law 138-2003 (Municipal Shelter By-law)

Municipal shelters are generally regulated through By-law 569-2013 across the city. Municipal shelters proposed on properties subject to 438-86 are regulated through By-law 138-2003 for transitional reasons. This By-Law was approved by the Ontario Municipal Board (OMB) in 2004, and amended in 2019. The 2019 amendment removed certain location restrictions, allowing municipal shelters in all Zones or Districts provided that new buildings comply with other applicable zoning provisions.

By-law 569-2013 does not permit shelters in every Zone unlike By-law 138-2003. For instance, By-law 569-2013 does not permit municipal shelters in most industrial zones.

By-law 333-2002 (Seniors Community House By-law)

This By-law applies to some sites regulated under By-law 438-86 in order to match the as-of-right seniors community housing provisions under By-law 569-2013. It permits seniors community houses in all Zones or Districts in which residential uses are permitted expect for certain identified areas, and outlines certain other condition such as only one seniors community house is permitted per lot.

By-law 1198-2009

This By-law applies to some sites regulated under By-law 438-86. It prohibits below-grade entrances to a parking garage are for most residential building types except apartment buildings.

By-law 22535

This By-law contains a comprehensive set of regulations on land use, height, density and other performance standards including minimum landscaping as part of a 1965 master planned area, known as Greenwin Place, within lands generally located between Yonge Street and Mount Pleasant Road, between Davisville Avenue and Merton Street. Greenwin Place originally consisted of four apartment buildings and five row-house buildings.

By-law 1967-0362

This By-law contains a comprehensive set of regulations for land use, height, density, and other performance standards, such as minimum landscaping, as part of a 1967 master planned block in the Erskine and Keewatin Character Area comprised of four apartment buildings.





**FIGURE 8: PREVAILING SECTIONS 12(2) 107, 118, AND 119 OF BY-LAW 438-86**

- Yonge-Eglinton Secondary Plan Area
- Character Areas
- Section 107
- Section 118
- Sections 118 and 119
- Section 119- Location-specific
- No Prevailing Sections



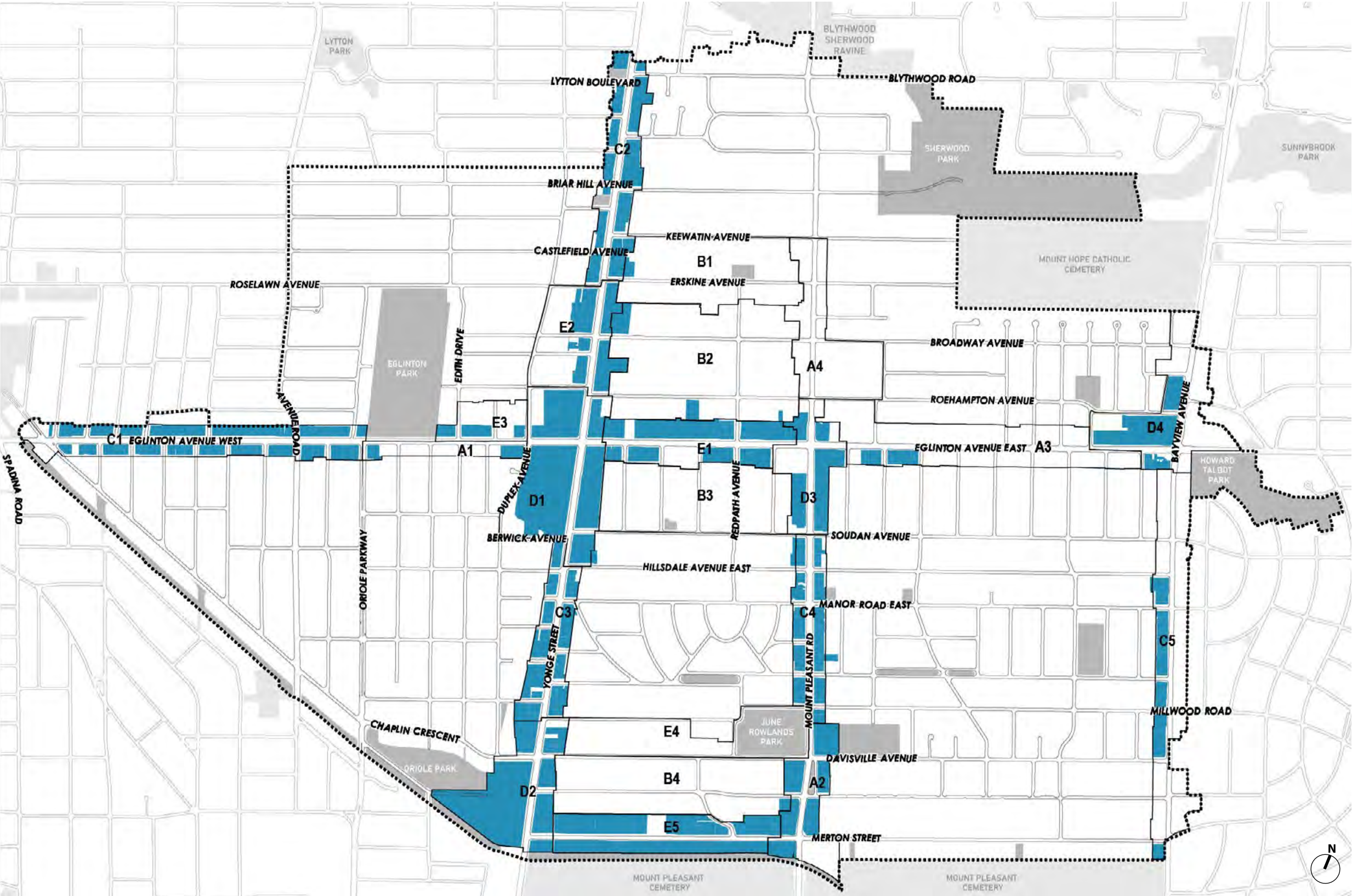


FIGURE 9: PREVAILING SECTIONS 12(2) 270 OF BY-LAW 438-86

- Yonge-Eglinton Secondary Plan Area
- Character Areas
- Section 270



An aerial photograph of a city neighborhood. The foreground and middle ground are filled with a dense residential area consisting of small, single-story houses with dark roofs, interspersed with trees. Some trees have yellow and orange autumn foliage. A few streets with parked cars are visible. In the background, the city skyline is visible, featuring several tall, modern high-rise buildings. The sky is blue with scattered white clouds. A dark blue banner with white text is overlaid on the top right corner.

# 05 CHARACTER AREA ZONING SUMMARIES



This Chapter summarizes applicable zoning regulations specific to Midtown’s 22 Character Areas, including detail on permitted uses, height, density, setbacks at grade and other performance standards. Appendix 2 provides a summary of all applicable zone labels for each Character Area. This Chapter should be read with Chapter 4, which summarizes general applicable zoning regulations in Midtown including common area-wide exceptions.

The Character Area zoning summaries in this Chapter first outline base zoning per By-laws 569-2013, 438-86 and 7625 for the Character Area, and then highlight instances where exceptions apply on an area or site specific basis. Exceptions are generally addressed in order of specificity, starting with exceptions that apply area-wide, followed by more detailed or site specific exceptions. The site specific exceptions are often associated with development applications.

For the purposes of this report and where there are conflicting regulations within exceptions for a site or area, the more specific and recent regulations are generally interpreted to take precedence. In practice, case-by-case interpretations of zoning for particular sites determines the applicable zoning regulations.

The zoning summaries by Character Area are based on in force zoning and approved and finalized site-specific by-laws associated with development applications, including finalized by-laws that have

yet to be consolidated into By-law 569-2013. The summaries do not reflect applications that are currently under review by the City or appeal at the LPAT, or instances where a by-law associated within a Council or LPAT approved application has not been finalized. Chapter 3 provides an overview of development activity in Midtown.

The zoning in the area generally regulates building heights through metres, storeys or combination thereof. Where the zoning for a site only regulates building height in storeys, this report uses an approximate storey height of three metres to estimate the height of buildings in metres, and excludes permitted projections above maximum permitted heights, such as mechanical penthouses.

In some areas, zoning regulates maximum permitted density through gross floor area (GFA), rather than Floor Space Index (FSI). For these, the zoning summaries include estimated FSI based on approximate site area and maximum permitted GFA.

The zoning summaries presented in this Chapter are not an exhaustive list of all applicable zoning regulations for each property in Midtown. Regulations on parking requirements, loading requirements and several other performance standards are not addressed. This document should not be relied on for determining zoning compliance.

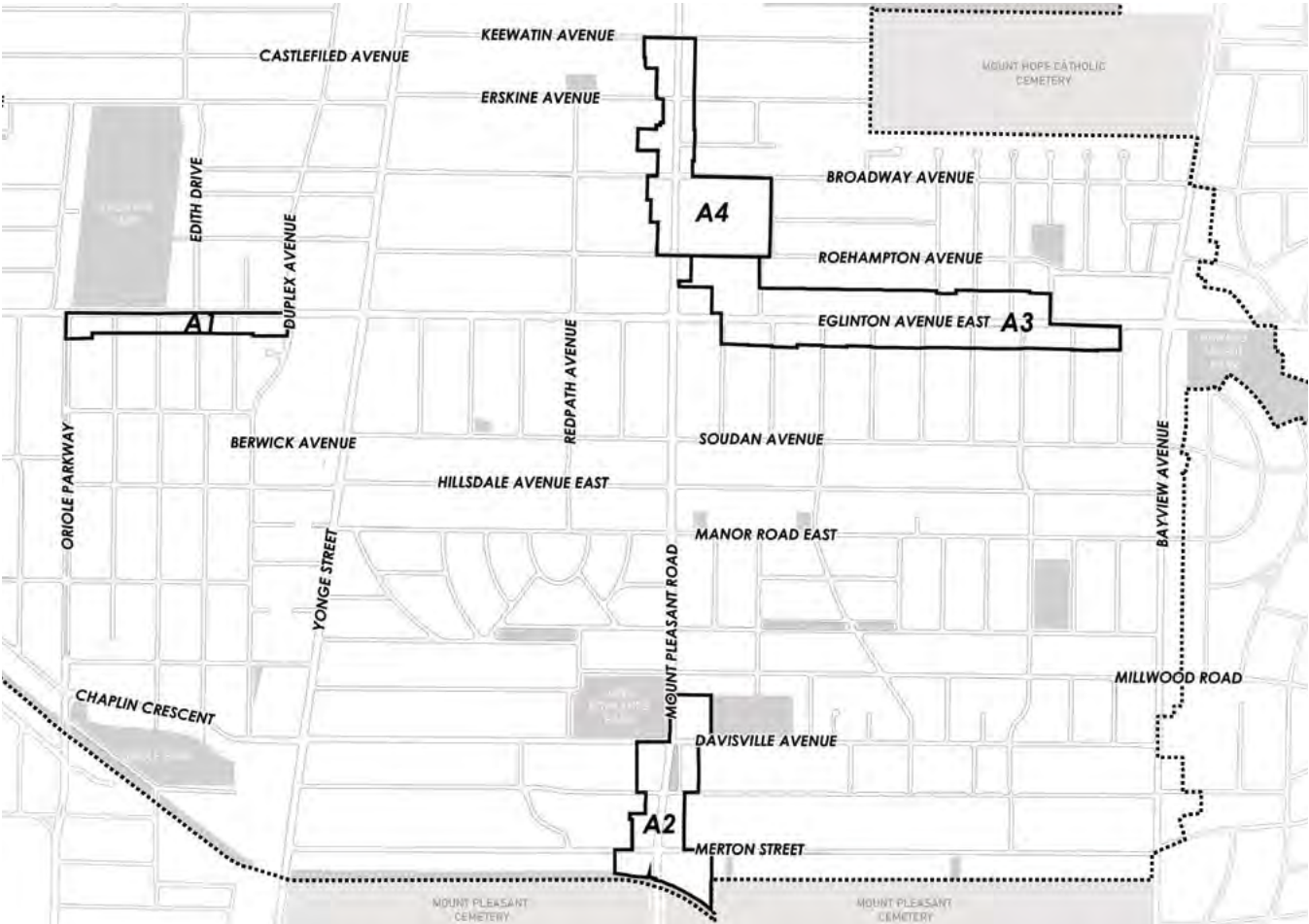


Merton Street Character Area

# 5.1 Apartment High Streets (A)

The Apartment High Street Character Areas are linear residential neighbourhoods along either side of a street segment. The Yonge-Eglinton Secondary Plan encourages incremental infill development in these areas to support improving the public realm and contribute to a diversity of buildings types and housing forms in the Secondary Plan area while reinforcing distinguishing features of each area. The Apartment High Street Character Areas include:

- A1 – Eglinton Park
- A2 – Mount Pleasant Gateway
- A3 – Eglinton East
- A4 – Mount Pleasant North



Apartment High Street Character Areas



5.1.1. A1 – Eglinton Park

The Eglinton Park Character Area includes approximately 24 properties on the south side of Eglinton Avenue West, generally between Oriole Parkway to the west and Duplex Avenue to the east. These properties fall under four zone labels, and are all subject to Zoning By-law 569-2013. Exceptions apply to all properties.

Permitted Uses

The majority of properties (18) are zoned Residential (R). The remaining six properties are zoned Commercial Residential (CR) and located at the edges of the Character Area near Duplex Avenue and Oriole Parkway.

A number of common exceptions that further regulate permitted uses apply in this area. All properties are subject to prevailing section 12(2) 118 of By-law 438-86, which limits certain non-residential uses in order to protect residential character. All CR-zoned properties are subject to prevailing section 12(2) 270(a) which limits the size of retail and service shops. The R-zoned properties from 115 to 137 Eglinton Avenue West are subject to a site specific provision that allows certain uses, such as nursing homes and retirement homes, subject to satisfying conditions.

The R-zoned properties from 151 to 211 Eglinton Avenue West are subject to a site specific provision which permits office uses. The CR-zoned property at 75 Eglinton Avenue West is subject to a site specific provision which prohibits residential uses on the ground floor.

Height

The tallest permitted building heights in this Character Area are found on the CR-zoned properties and associated with the Eglinton Connects study. Site specific provisions for these properties permit a mid-rise height of either 22.5 metres or 25.5 metres (approximately seven and eight storeys respectively).

The lowest maximum permitted heights are found on R-zoned properties generally west of Lascelles Boulevard (151 to 211 Eglinton Avenue West). The Height Overlay Map in By-law 569-2013 allows buildings up to nine metres (approximately three storeys). The remainder of the R-zoned properties have a permitted height of 15 metres based on the By-law 569-2013’s Height Overlay Map.

All CR-zoned properties under By-law 569-2013 in this Character Area are subject to Policy Area 3, which requires a minimum building height of 10.5 metres and three storeys.

Density

CR-zoned properties are not subject to specific maximum density provisions. Instead, density is controlled through height restrictions and performance standards, such as setbacks and angular plane requirements.

The maximum density for R-zoned properties is regulated through the zone label in By-law 569-2013. R-zoned properties have a maximum density of 2.0 FSI generally west of Lascelles Boulevard, and 1.0 FSI generally east of Lascelles Boulevard.

Setbacks at Grade

The minimum required front, rear and side yard setbacks for most properties are generally regulated through the principal building requirements in By-law 569-2013. For residentially-zoned properties, the minimum required front yard setback is based on the existing setbacks of adjacent residentially-zoned properties. This would result in no setback requirement for all properties except 173 Eglinton Avenue West, which would have a setback requirement of three metres. Development Standard Set 2 (SS2) under By-law 569-2013 establishes the minimum front, side and rear yard setback requirement for all CR-zoned properties.

Several exceptions apply to properties in this area which modify setback requirements. Prevailing section 12(2) 119 of By-law 438-86 applies to all

properties, which modifies required setbacks for mixed-use and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR-zoned lots abutting a Residential District to 6.1 metres where . All CR-zoned properties are also subject to site specific provisions which establishes minimum and maximum front yard setbacks.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulating yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86. For R-zoned properties, lot requirements include minimum lot area and lot frontage. Principal building requirements regulate a number of matters, such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties in this Character Area are subject to SS2, which establishes minimum separation distances between building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

The CR-zoned properties in this Character Area are subject to prevailing section 12(2) 119 of By-law 438-86. This section modifies the angular plane requirement on these sites to a 60 degree angular plane measured from a lot line adjacent to a Residential District under By-law 438-86 or a public street. Site specific provisions enacted through the Eglinton Connects study also apply to these

CR-zoned properties, and require a 1.5 metre step-back above a height of 13.5 metres.

5.1.2. A2 – Mount Pleasant Gateway

The Mount Pleasant Gateway Character Area includes approximately 28 properties along Mount Pleasant Road, generally north of the Mount Pleasant Cemetery and south of Millwood Road. These properties fall under seven zone labels. All but ten properties are subject to By-law 569-2013. Exceptions apply to all properties.

Permitted Uses

More than half of all properties (16) in this Character Area are zoned Commercial Residential (CR) under By-law 569-2013. Ten properties are zoned Mixed-Use District (CR) under By-law 438-86. These properties are located on the east side of Mount Pleasant Road between Davisville Avenue and Balliol Street and consist of the Greenwood College School. The two remaining properties at 345 and 375 Merton Street are zoned Residential (R) under By-law 569-2013.

There are a number of exceptions that apply in this area that further regulate permitted uses. All properties except 319 to 335 Merton Street are subject to prevailing section 12(2) 118 of By-law 438-86, which limits specific uses in order to reinforce the residential, non-retail character of the area. All CR-zoned properties are subject to prevailing section 12(2) 270(a), which limits the size of retail and service shops, and all CR-zoned properties, except 319 to 335 Merton Street, are subject to prevailing section 12(2) 227. This prevailing section restricts the GFA of certain uses, such as restaurants and clubs, to 200 square metres.

The CR-zoned properties from 421 to 443 Mount Pleasant Road are also subject to prevailing sections 12(2) 193, which requires additions to detached houses to comply with setbacks, and 12(2) 212, which prohibits some building types from being used as rooming or converted houses. The



R-zoned property at 375 Merton Street is subject to prevailing section 12(2) 63, which prohibits some higher-density building types and limits dwelling units. Prevailing section 12(1) 308 applies to CR-zoned properties at 319 to 335 Merton Street, which permits the uses existing on these lands as of 1992.

Height

The tallest permitted heights in this Character Area are found on the properties south of Merton Street (319, 335 and 345 Merton Street) where two prevailing by-laws permit heights of 38.4 metres (13 storeys).

The lowest maximum permitted height is found on the R-zoned property at 375 Merton Street, which allows for nine metres based on the Height Overlay Map of By-law 569-2013. The maximum permitted height of most CR-zoned properties is generally 21 metres on the west side of Mount Pleasant Road and 18 metres on the east side, regulated through the Height Overlay Map of By-law 569-2013 or the height map of By-law 438-86.

Two properties have maximum heights established in prevailing by-laws from specific development applications. The CR-zoned property at 245 Davisville Avenue has a maximum permitted height of 28.9 metres (nine storeys) and the CR-zoned property at 477 Davisville Avenue has a maximum permitted height of 19.8 metres (approximately six storeys).



Eglinton Park Character Area near Maxwell Avenue

Density

The greatest permitted density in this Character Area is at 319 Merton Street, which is zoned CR and subject to a prevailing by-law that permits a maximum GFA of 19,608 square metres (approximately 4.9 FSI).

The lowest permitted density is found on the R-zoned property at 375 Merton Street, which has a maximum density of 0.6 FSI based on the zone label under By-law 569-2013. Most of the remaining CR-zoned properties have a maximum permitted total density of 2.5 FSI, based on the respective zone label for the sites.

Two properties are subject to prevailing by-laws that regulate maximum density and are associated with specific development applications. The CR-zoned property at 245 Davisville Avenue permits a maximum residential GFA of 11,902 square metres (approximately 3.7 FSI). The R-zoned property at 345 Merton permits a maximum density of 3.4 FSI.

Setbacks at Grade

Most CR-zoned properties are subject to the principal building requirements in Development Standard Set 2 (SS2) under By-law 569-2013 that regulates front, rear and side yard setbacks. However, a number of exceptions apply to both CR and R zoned properties, which affect setback requirements.



Commerical uses in Mount Pleasant Gateway

All properties, except 319 and 335 Merton Street, are subject to prevailing section 12(2) 119 of By-law 438-86. This section modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86.

Several CR-zoned properties on the west side of Mount Pleasant Road are also subject to site specific provisions which permit reduced rear yard setbacks under SS2. The CR-zoned property at 319 Merton Street is subject to a prevailing by-law that requires front yard setbacks along Merton Street ranging from 2.5 to four metres. The CR-zoned property at 245 Davisville Avenue is subject to a prevailing by-law that requires setbacks along Davisville Avenue between two and 8.6 metres, and setbacks along Mount Pleasant Road of 1.5 metres.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. Principal building requirements regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which

establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards. CR-zoned properties under By-law 438-86 are not subject to angular plane requirements.

All properties, except 319 and 335 Merton Street, are subject to prevailing section 12(2) 119 of By-law 438-86. This section modifies the angular plane requirements for these sites to a 60 degree angular plane measured from a lot line adjacent to a Residential District under By-law 438-86 or a public street.

The CR-zoned properties west of Mount Pleasant Road and on 381 Mount Pleasant Road, are subject to a site specific provision which removes the 45 degree angular plane requirement of SS2.

Several properties are subject to prevailing by-laws which establish other performance standards. These set out the following requirements:

- Step-backs and minimum separation distances of 13 metres between buildings at 319 Merton Street
- Minimum landscaping of 60 per cent of the lot area at 345 Merton Street
- Step-backs at 245 Davisville Avenue and 300 Balliol Street

5.1.3. A3 – Eglinton East

The Eglinton East Character Area includes approximately 177 properties along Eglinton Avenue East and Roehampton Avenue, generally between Taunton Road and Bayview Avenue. These properties fall under five zone labels. All but 15 properties are subject to By-law 569-2013. Exceptions apply to all properties.

There are two active developments with LPAT approvals. One at 368-386 Eglinton Avenue East, and the other at 492 to 498 Eglinton Avenue East and 3 to 7 Cardiff Road. Zoning by-laws have not been finalized for these sites.



Permitted Uses

The majority of properties (139) are zoned Residential (R) under By-law 569-2013. There are 23 CR-zoned properties. These are generally found on the south side of Eglinton Avenue East near Mount Pleasant Road. The remaining 15 properties are zoned R4A under By-law 438-86, and concentrated north of Eglinton Avenue East near Mount Pleasant Road.

All properties in the Character Area are subject to prevailing section 12(2) 118 of By-law 438-86, which limits certain non-residential uses intended to protect the residential character. Most R-zoned properties and detached dwellings within CR-zoned properties are subject to a site specific provision which permit certain residential uses, such as nursing homes and retirement homes, subject to satisfying conditions.

All R4A properties are subject to prevailing section 12(1) 61, which permits and regulates rooming houses operated by government or non-profit groups. Several R4A-zoned properties near Mount Pleasant Road and south of Roehampton Avenue are also subject to prevailing section 12(1) 68 which permits certain residential buildings types, such as row houses and semi-detached houses.

Several R-zoned properties north of Eglinton Avenue East are subject to a number of site specific provisions that address residential buildings types and maximum number of dwelling units. This includes:

- a maximum of three units in a townhouse
- conditional permissions for townhouses, triplexes, fourplexes and apartment buildings
- conditional permissions for secondary suites
- In addition, R-zoned properties fronting side streets north of Eglinton Avenue East are permitted a maximum of two dwelling units, based on the zone label.

Height

The tallest permitted height in this Character Area is found on the R4A-zoned properties at 299 to 305 Roehampton Avenue and 815 Mount Pleasant Road, where prevailing by-law section 12(1) 486 of By-law 438-86 allows several tall buildings with heights of 73.1 metres (approximately 19 storeys), 50.3 metres (approximately 12 storeys) and 43 metres (approximately 15 storeys).

The R-zoned properties north of Eglinton Avenue East that front onto Banff Road, Bruce Park Avenue, Cardiff Road and Walder Avenue have the lowest permitted height of nine metres (approximately three storeys), based on By-law 569-2013’s Height Overlay Map.

Most R-zoned properties along Eglinton Avenue East have a maximum permitted height of 18 metres based on the Height Overlay Map. All CR-zoned properties have a site specific provision enacted through Eglinton Connects that permits mid-rise buildings with a height of 25.5 metres (approximately eight storeys).

Several properties are subject to prevailing by-laws that regulate maximum heights, which are often the result of specific development applications. The R4A-zoned properties at 538 to 540 Eglinton Avenue East have a maximum height of 14.7 metres (approximately five storeys). The R-zoned property at 398 Eglinton Avenue East has a maximum height of 30 metres (approximately ten storeys).

All properties zoned CR under By-law 569-2013 in this Character Area are subject to Policy Area 3 based on the Policy Overlay Map, which requires a minimum building height of 10.5 metres and three storeys.

Density

The CR-zoned properties along Eglinton Avenue East are not subject to specific maximum density provisions. Density is controlled through maximum permitted height and performance standards, such as setbacks and angular plane requirements in By-law 569-2013.

For properties with specific density provisions, the R4A-zoned properties at 299 to 305 Roehampton and 322 Eglinton Avenue East properties subject to prevailing section 12(1) 486 of By-law 438-86 have greatest permitted densities which are. The maximum permitted GFA for these properties is 46,326 square metres (approximately 3.7 FSI).

The lowest permitted density is found on R-zoned properties that front on side streets north of Eglinton Avenue East, where a density of 0.6 FSI is permitted based on the zone label in By-law 569-2013. The majority of R-zoned properties and the R4-zoned property at 87 Petman Avenue have a maximum permitted density of 2.0 FSI based on the zone labels in By-law 569-2013 and By-law 438-86.

The R-zoned property at 398 Eglinton Avenue East is subject to a prevailing by-law which permits a maximum residential gross floor area (GFA) of 7,015 square metres (approximately 3.5 FSI). The R4A-zoned properties at 536 to 540 Eglinton Avenue East are subject to a prevailing by-law which permits a maximum total GFA of 1,464 square metres (approximately 2.2 FSI).

Setbacks at Grade

CR-zoned properties are subject to the principal building requirements in Development Standard Set 2 (SS2) in By-law 569-2013 which regulates front, rear and side yard setbacks. For R-zoned properties, the minimum required front yard setback is generally based on the existing setbacks of adjacent residential properties. Existing front yard setbacks for residentially-zoned properties range from zero to six metres along Eglinton Avenue East, and approximately one to six metres on side streets such as Taunton Road and Banff Road.

A number of exceptions apply in this area affect setback requirements. All properties are subject to prevailing section 12(2) 119 of By-law 438-86. This section modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks

for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86.

All CR-zoned properties south of Eglinton Avenue are also subject to a site specific provision which further regulates required setbacks for main walls facing Eglinton Avenue (75 per cent must be between zero to 0.5 metres, and 100 per cent must be between zero and 5.5 metres).

There are several prevailing by-laws associated with specific development applications in this area. These have precise setback requirements, which are shown Table 4.

Table 4: Eglinton East Character Area Site-specific Front Lot Line Setbacks

Address	Required Front Lot Line Setbacks (metres)
322 Eglinton Avenue East	9.1
398 Eglinton Avenue East	2
536 to 540 Eglinton Avenue East	0.3 to 0.8
299 to 305 Roehampton Avenue	11.9 to 12.8

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. R-zoned properties north of Eglinton Avenue East have a minimum required lot frontage of nine metres based on the zone label. Principal building requirements regulate a number of matters such as



minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

Several properties are subject to prevailing by-laws which establish the following additional performance standards:

- Requirements for step-backs, minimum separation distances and minimum landscaping of 368 square meters (approximately three per cent of the total site area) at 299 to 305 Roehampton Avenue and 322 Eglinton Avenue East

- Requirements for step-backs, minimum separation distance and minimum landscaping of 57 square metres (approximately nine per cent of the total site area) at 536 to 540 Eglinton Avenue East
- Requirements for step-backs at 398 Eglinton Avenue East

#### 5.1.4. A4 – Mount Pleasant North

The Mount Pleasant North Character Area includes approximately 65 properties along Mount Pleasant Road, generally bounded by Roehampton Avenue to the south and Keewatin Avenue to the north. These properties fall under five zone labels. All but one property is subject to By-law 569-2013. Exceptions apply to all properties.

#### Permitted Uses

All properties are zoned Residential (R) under By-law 569-2013 except the Northern Secondary School at 851 Mount Pleasant Road. This property is zoned Residential (R1S) under By-law 438-86.

A number of exceptions apply within this area, which further regulate permitted uses. All properties except 175 Keewatin Avenue are subject to prevailing section 12(2) 118 of By-law 438-86, which limits certain non-residential uses and intended to protect the residential character.

The R-zoned properties south of Erskine Avenue and at 175 Keewatin Avenue are subject to prevailing section 12(2) 63. This prevailing section prohibits some higher-density building types and limits dwelling units. The R-zoned properties south of Erskine Avenue are also subject to site specific provisions which permit offices, and allow for other non-residential uses, such as nursing homes and retirement homes, subject to satisfying conditions.

The R-zoned properties east of Mount Pleasant Road and north of Erskine Avenue are subject to a site specific provision concerning residential building types. This includes a maximum of three units in a townhouse, conditional permissions for townhouses, triplexes, fourplexes and apartment buildings, and conditional permissions for secondary suites.

#### Height

The tallest permitted height in this Character Area is found at 890 Mount Pleasant Road, where a prevailing by-law permits a maximum height of approximately 57 metres (19 storeys). Also of note is 898 to 938 Mount Pleasant Road, where a prevailing by-law permits a height of 53 metres (19 storeys).

The lowest maximum permitted height is nine metres (approximately three storeys), based on the By-law 569-2013's Height Overlay Maps and By-law 438-86's Height Map. This height limit applies to most residentially-zoned properties. The maximum permitted height of the remaining R-zoned properties is also regulated through By-law 569-2013's Height Overlay Map.

A prevailing by-law at 1000 Mount Pleasant Road and 175 Keewatin Avenue establishes a maximum permitted height of 38 metres (approximately 12 storeys).



Residential buildings in the Eglinton East Character Area



Northern Secondary School fronting on Mount Pleasant Road



Density

The greatest permitted density is found at 898 to 938 Mount Pleasant Road where a prevailing by-law allows a maximum GFA of 24,500 square metres (approximately 4.1 FSI). Also of note is 1000 Mount Pleasant Road and 175 Keewatin Avenue, where a prevailing by-law permits a maximum GFA of 18,400 square metres (approximately 3.2 FSI).

The lowest maximum density is 0.6 FSI, which applies to the R-zoned properties north of Erskine Avenue and to the R1S-zoned property at 851 Mount Pleasant Road based on the zone labels in By-laws 569-2013 and 438-86. The balance of R-zoned properties have a maximum permitted density of 1.0 FSI based on the zone labels in By-law 569-2013, except for 890 Mount Pleasant Road where a maximum GFA of 9,801 square metres (approximately 2.2 FSI) is permitted.

Setbacks at Grade

For residentially-zoned properties, the minimum required front yard setbacks are generally established based on the existing setbacks of adjacent residentially-zoned lots. The existing front yard setbacks along Mount Pleasant Road range from two to four metres. There are a few properties between Erskine Avenue and Keewatin Avenue that are set back up to 14 metres. Additionally, the R-zoned properties west of Mount Pleasant Road and north of Erskine Avenue are subject to a site specific provision which requires a minimum three metre side yard setback for duplexes.

All properties, except 175 Keewatin Avenue, are subject to prevailing section 12(2) 119 of By-law 438-86, which modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86.

Several properties are subject to prevailing by-laws associated with developments, which require specific minimum setbacks. At 898 to 938 Mount

Pleasant Road, setbacks of between 1.5 to three metres are required along Mount Pleasant Road. At 1000 Mount Pleasant Road, a 3.4 metre setback is required.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

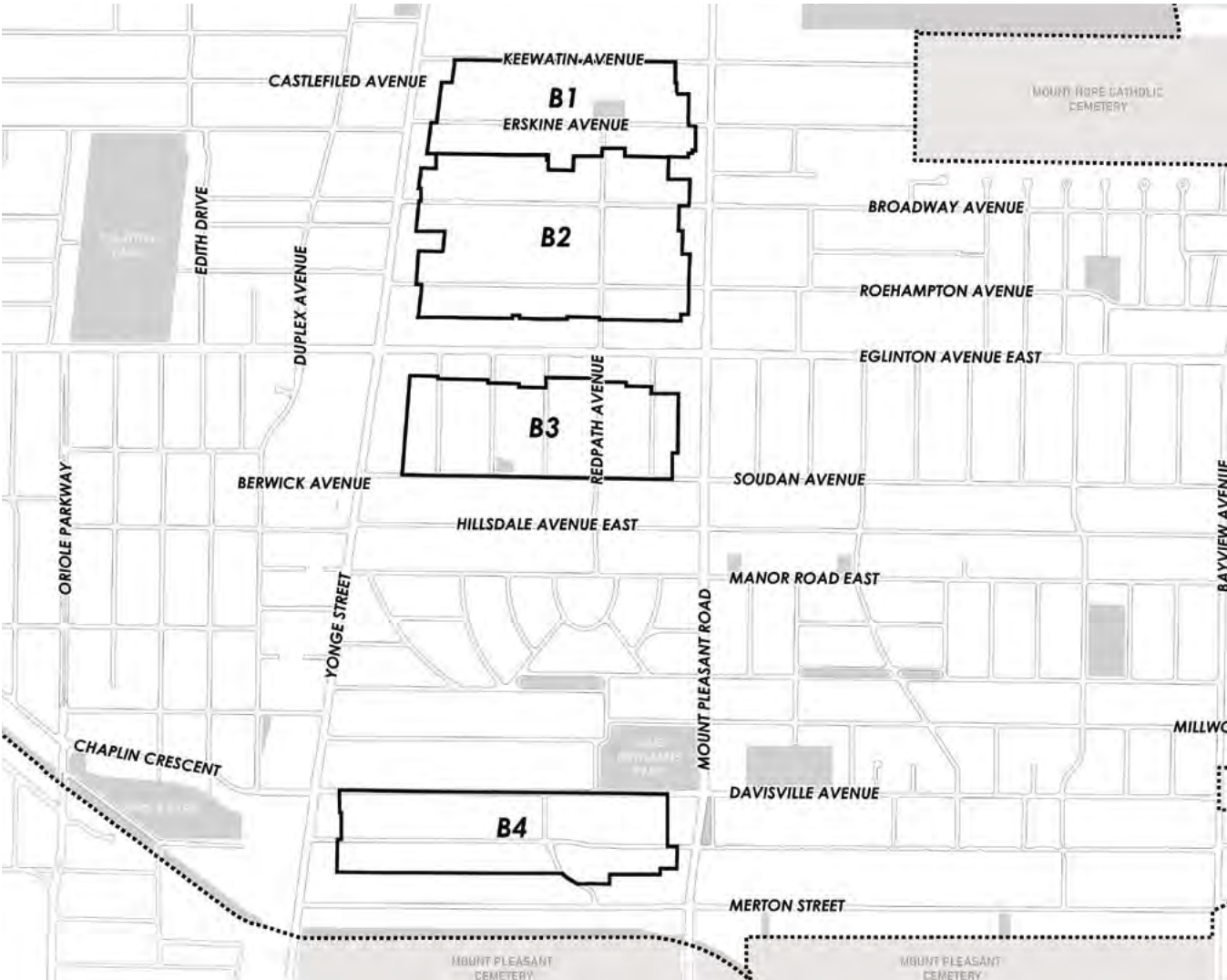
For R-zoned properties, lot requirements include minimum lot area and lot frontage. The R-zoned properties east of Mount Pleasant Road and north of Erskine Avenue have a minimum frontage requirement of 7.5 metres, and maximum of two dwelling units per lot based on the zone label. Principal building requirements regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

The property at 900 Mount Pleasant Road is subject to several prevailing by-laws with landscape-related performance standards including a minimum of 2,300 square metres of landscaped open space, and detailed planting requirements. Detailed step-back requirements also apply to 1000 Mount Pleasant and 175 Keewatin Avenue through a prevailing by-law.

5.2 Apartment Neighbourhoods (B)

The Apartment Neighbourhood Character Areas include several residential neighbourhoods between Yonge Street and Mount Pleasant Road. These Character Areas have a variety of building types including mid-century apartment towers, walk-up apartment buildings and townhouses which are generally within an open and generous landscaped setting. The Yonge-Eglinton Secondary Plan directs that infill development and redevelopment will be designed and located to complement the existing built form fabric and to provide for adequate sunlight on streets, parks and open spaces. The Apartment Neighbourhood Character Areas include:

- B1 – Erskine and Keewatin
- B2 – Redpath Park Street Loop
- B3 – Soudan
- B4 – Davisville



Apartment Neighbourhood Character Areas



5.2.1. B1 – Erskine and Keewatin

The Erskine and Keewatin Character Area includes approximately 54 properties. The area is generally bounded by Keewatin Avenue to the north, midpoint between Erskine Avenue and Broadway Avenue to the south, Yonge Street to the west and Mount Pleasant Road to the east. These properties fall within seven zone labels. All but 12 properties are regulated through By-law 569-2013, and all but one property is subject to exceptions.

There is one active development application at 55 Erskine Avenue that has been approved by the LPAT. However, the zoning by-law for this site has not been finalized. Chapter 3 provides additional information in Chapter 3.

Permitted Uses

The majority of properties (41) are zoned Residential (R) under By-law 569-2013. The Redpath Parkette at the terminus of Redpath Avenue is zoned Open Space (O) under By-law 569-2013. Seven properties west of Redpath Avenue are zoned R2 under By-law 438-86.

Five properties on the north side of Erskine Avenue near Yonge Street are zoned Mixed-Use District (MCR) under By-law 438-86. These properties are subject to a prevailing by-law that prohibits non-residential uses.

All properties, except Redpath Parkette and 101 and 107 Erskine Avenue, are subject to prevailing section 12(2) 118, which limits certain non-residential uses in order to protect the residential character. Five properties, located on the north side of Erskine Avenue, are subject to prevailing sections 12(1) 61 and 12(2) 212 of By-law 438-86. These prevailing sections allow some organizations to operate a rooming or converted house and prohibit these uses in certain building types, respectively.

Height

The tallest permitted building height applies to the MCR-zoned properties at 18 to 30 Erskine Avenue

near Yonge Street, where a prevailing by-law permits a height of 101.5 metres (35 storeys). Also of note is 101 and 107 Erskine Avenue, where a prevailing by-law permits a height of 101.25 metres (32 storeys).

The lowest maximum permitted building height is also found on 101 and 107 Erskine Avenue, where infill townhouses located to the rear of the permitted tall building have a maximum permitted height of 13.5 metres (approximately four storeys) through a prevailing by-law. There are also several properties that have frontage on Keewatin Avenue, which have a maximum permitted height of 14 metres (approximately four storeys) based on the Height Overlay Map in By-law 569-2013. The O-zoned property has a maximum permitted height of four metres for uses that may be located in the park.

Most of the remaining properties along Erskine Avenue have a maximum height of 38 metres (approximately 12 storeys) through the Height Overlay Map in By-laws 569-2013 and height map in By-law 438-86. Some properties are subject to prevailing by-laws which further regulate maximum permitted height. At 160 Erskine Avenue, the maximum permitted height is 70.1 metres (approximately 23 storeys). At 73 to 79 Keewatin and 88 Erskine, the maximum permitted height for an infill building is 28.98 metres (approximately nine storeys), in addition to an existing building at 79.2 metres (approximately 26 storeys).

Density

The area of greatest density is found on the MCR-zoned properties at 18 to 30 Erskine Avenue near Yonge Street, where a prevailing by-law permits a GFA of 21,000 square metres (approximately 14.2 FSI).

The lowest density limits are found on the R2-zoned properties at 32 to 40 Erskine Avenue and 85 Keewatin Avenue, and most R-zoned properties north of Erskine Avenue. Here, the zone labels in By-laws 569-2013 and 438-86 permit a density of 0.6 FSI.

The balance of remaining properties in the area have a maximum permitted density of 2.0 FSI through the zone labels in By-laws 569-2013 and 438-86, or are subject to prevailing by-laws associated with specific development applications.

Of particular note is the prevailing by-law that applies to 160 Erskine Avenue. This 1967 by-law initially applied to several adjacent sites as part of a master planned block. While other sites have since been redeveloped, the original by-law still applies to 160 Erskine Avenue and allows a GFA of 97,246 square metres across the block (approximately 2.5 FSI across the full site).

Other sites governed by maximum permitted densities in prevailing by-laws include:

- 32,350 square metres of GFA (approximately 5.9 FSI) at 107 Erskine Avenue
- 7,200 square metres of GFA (approximately 3.2 FSI including an existing building) at 73 to 79 Keewatin Avenue and 88 Erskine Avenue
- A density is 1.0 FSI for properties east of Redpath Avenue and south of Erskine Avenue

Setbacks at Grade

For residentially-zoned properties, the minimum required front yard setbacks are generally established based on the existing setbacks of adjacent residentially-zoned lots. Existing front yard setbacks range from 6.8 to nine metres on the south side of Keewatin Avenue, from two to nine metres on the north side of Erskine Avenue and from 5.5 to 12 metres on the south side of Erskine Avenue. Several properties have setbacks that are far greater, and largely on account of the irregular block pattern in this area.

All properties, except Redpath Parkette and 101 and 107 Erskine Avenue, are subject to prevailing section 12(2) 119 of By-law 438-86. This section modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86.

Several prevailing by-laws associated with specific development applications apply in this area, which contain precise setback requirements. Detailed setback requirements are shown in Table 5.

Table 5: Erskine and Keewatin Character Area Site-specific Front Lot Line Setbacks

Address	Required Front Lot Line Setbacks (metres)
18 to 30 Erskine Avenue	7.5
88 Erskine Avenue	42.3*
101 to 107 Erskine Avenue	9.1
160 Erskine Avenue	15.2
73 to 79 Keewatin Avenue	7.5 to 45.7*

\*denotes existing building setbacks in an infill context.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. Principal building requirements regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

A number of exceptions further regulate performance standards in this area. The MCR-zoned properties at 18 to 30 Erskine Avenue are subject to prevailing section 12(2) 119 of By-law 438-86. This section modifies the angular plane requirements for



these sites to a 60 degree angular plane measured from a lot line adjacent to a Residential District under By-law 438-86 or a public street.

At 160 Erskine Avenue, a prevailing by-law establishes minimum landscaping requirement of 70 per cent of the total lot area. This 1969 by-law initially applied to a larger area as part of a master planned block, but currently only applies to 160 Erskine Avenue. Other prevailing by-laws establish the following requirements:

- Step-back requirements apply to 18 to 30 Erskine Avenue and to 101 to 107 Erskine Avenue
- Minimum landscaping requirement of 40.55 per cent of the total lot area applies at 15 Erskine Avenue
- Requirements for step-backs and minimum 13 metre separation distances between infill and existing buildings applies at 73 to 79 Keewatin and 88 Erskine Avenue

5.2.2. B2 – Redpath Park Street Loop

The Redpath Park Street Loop Character Area is comprised of approximately 112 properties south of Erskine Avenue, north of Eglinton Avenue East, east of Yonge Street and west of Mount Pleasant Road. These properties fall within six zone labels. All but 27 properties are regulated under By-law 569-2013. Exceptions apply to all properties.

This area has experienced significant development activity since 2002. There are currently six active developments along Broadway Avenue and Roehampton Avenue which are under review or recently approved by the LPAT. By-laws have not been finalized for the recently approved sites. Chapter 3 summarizes current development activity in more detail.

Permitted Uses

Most properties (82) in this Character Area are zoned Residential (R) under By-law 569-2013. Another 27 properties are zoned as Residential District (R2) under By-law 438-86. The remaining

three properties are zoned Commercial Residential (CR) under By-law 569-2013, and are located nearest to Yonge Street on Broadway Avenue.

All residentially-zoned properties, except 85 to 91 Broadway Avenue and 194 to 200 Redpath Avenue, are subject to prevailing section 12(2) 118 of By-law 438-86, which limits certain non-residential uses in order to protect residential character. A number of residentially-zoned properties are also subject to prevailing sections 12(1) 61 and 12(2) 212 of By-law 438-86. These prevailing sections allow some organizations to operate a rooming or converted house within certain building types, respectively.

The CR-zoned properties are subject to prevailing section 12(2) 270(a) which limit the size of retail and service shops. An apartment building with retail and restaurant uses at grade is permitted at 183 to 195 Roehampton Avenue and 139 to 155 Redpath Avenue through a prevailing by-law.

Height

The tallest permitted height is found on Roehampton Avenue near Yonge Street (39 to 41 Roehampton Avenue), where a site specific provision permits a height of 157.5 metres (46 storeys).

The lowest maximum permitted height is on the R-zoned property at 140 Roehampton Avenue where the maximum permitted height is 12.8 metres (approximately four storeys) based on a prevailing by-law. Also of note are the CR-zoned properties at 8 to 12 Broadway Avenue where the Height Overlay Map of By-law 569-2013 permits 16 metres (approximately five storeys).

All R-zoned properties under By-law 438-86 are subject to prevailing by-laws, except 14 Broadway Avenue which permits 38 metres through the height map. Some R-zoned properties, generally along Roehampton Avenue and parts of Broadway Avenue, permit a 38 metres in By-law 569-2013’s Height Overlay Map. Table 6 identifies height limits regulated by prevailing by-laws.

Table 6: Site-specific Height Limits in the Redpath Park Street Loop Character Area

Address	Maximum Permitted Height (metres)**	Storeys
39 and 41 Roehampton Avenue	157.5, 38	46, 12
151 to 177 Roehampton Avenue and 140 to 150 Redpath Avenue	135.3, 12.8	38, 4
85 to 91 Broadway Avenue and 198 and 200 Redpath Avenue	123.5	37
183 to 195 Roehampton Avenue and 139 to 145 Redpath Avenue	120.5	34
89 and 101 Roehampton Avenue	116, 57(e)	38, 19e*
95 to 107 Broadway Avenue and 191 to 195 Redpath Avenue	110, 110	36, 36
30 Roehampton Avenue	104	33
60 and 66 Broadway Avenue and 101 Erskine Avenue***	101.2, 60(e),13.5	32*, 20e*, 4
17 to 25 Broadway Avenue and 70 Roehampton Avenue	86, 79.5, 20.5	27*, 24*, 4*
88 Broadway Avenue	65.6	20*
150 and 152 Roehampton Avenue	44.5	16
5 to 11 Broadway Avenue	37.5	13
188 Redpath Avenue	23.1	8
140 Roehampton Avenue	12.8	4

\* Instance where maximum height in storeys is included in the zoning by-law  
(e) denotes height of an existing building in an infill context  
\*\*\* Existing building at 66 Broadway is in Character Area B2, infill development at 101 Erskine is in Character area B1.

Table 7: Site-specific Maximum Permitted Densities in the Redpath Park Street Loop Character Area

Address	Maximum Permitted GFA (square metres)	FSI
95 to 107 Broadway Avenue and 191 to 197 Redpath Avenue,	59,000	20.2
85 to 91 Broadway Avenue and 198 Redpath Avenue	23,900	17.7
39 to 41 Roehampton Avenue	33,300	15.9
89 to 101 Roehampton	28,700i**	6.5i**
151 to 177 Roehampton Avenue and 140 to 150 Redpath Avenue	34,250	11
183 to 195 Roehampton Avenue and 139 to 145 Redpath Avenue	29,070	10.9
30 Roehampton Avenue	36,250	10.9
150 and 152 Roehampton Avenue	9,800	5.3
82 to 90 Broadway Avenue	22,161	4.7
60 and 66 Broadway Avenue and 101 Erskine Avenue***	32,350	4.4**
188 Redpath Avenue	7,216	3.7
17 to 25 Broadway Avenue and 70 Roehampton Avenue	62,130	2.9
5 to 11 Broadway Avenue	9,065	2.8
177 Redpath Avenue and 200 Roehampton Avenue	Not specified	2.5*
95 to 107 Broadway Avenue and 191 to 195 Redpath Avenue	Not specified	2.5*

\* Indicates where maximum density is expressed as FSI in the by-law rather than GFA  
\*\*i denotes an infill context with a maximum total GFA shared between new and existing buildings  
\*\*\* Existing building at 66 Broadway is in Character Area B2, infill development at 101 Erskine is in Character area B1.



Density

The area of greatest permitted density is found at 95 to 107 Broadway Avenue and 191 to 197 Redpath Avenue, where a prevailing by-law permits a GFA of 59,000 square metres (approximately 20.2 FSI).

The lowest density limit is found on the R-zoned property at 241 Redpath Avenue, where a prevailing by-laws permits a density of 1.0 FSI.

The CR-zoned properties have a maximum permitted density of 3.0 FSI based on the zone label in By-law 569-2013. Some R-zoned properties along Broadway Avenue and Roehampton Avenue have a maximum permitted density of 2.0 FSI based on the zone label in By-law 569-2013. A summary of maximum densities regulated by prevailing by-laws is provided in the Table 7.

Setbacks at Grade

Development Standard Set 2 (SS2) regulates minimum front, rear and side yard setbacks for the CR-zoned properties at 8 to 12 Broadway Avenue. The minimum required front yard setback for R-zoned properties is generally established based on the existing setbacks of adjacent residentially-zoned lots. Existing setbacks for residential zones range from one to 12 metres along Broadway Avenue; zero to nine metres along Roehampton Avenue, and zero to six metres along Redpath Avenue. A few properties have setbacks which are far greater as a result of the irregular block pattern in this area.

All properties, except the CR-zoned properties and the lands on 85 to 91 Broadway Avenue and 194 to 200 Redpath Avenue, are subject to prevailing section 12(2) 119 of By-law 438-86. This section modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86.

There are many site specific provisions and prevailing by-laws in this area that affect setback

requirements. Required setbacks on Redpath Avenue range from one to 3.4 metres. Required setbacks on Roehampton Avenue range from one to 10.9 metres. Required setbacks on Broadway Avenue range from 1.9 to 13.11 metres. Detailed setback requirements are shown in Table 8.

Table 8: Redpath Park Street Loop Character Area Site-specific Front Lot Line Setbacks

Address	Required Front Lot Line Setbacks (metres)
5 to 11 Broadway Avenue	1.9
17 to 25 Broadway Avenue	7
60 and 66 Broadway Avenue	22(e)
82 to 90 Broadway Avenue	3
85 to 91 Broadway Avenue	6 to 7.5
95 to 107 Broadway Avenue	1.85
139 to 145 Redpath Avenue	1.25
177 Redpath Avenue	13.1
188 Redpath Avenue	3.4 to 4.4
191 to 197 Redpath Avenue	2
198 Redpath Avenue	1
220 Redpath Avenue	3
30 Roehampton Avenue	1
39 to 41 Roehampton Avenue	7.5
70 Roehampton Avenue	3
89 to 101 Roehampton	7.5 to 9.25*
140 to 150 Redpath Avenue	1.7
150 and 152 Roehampton Avenue	6
151 to 177 Roehampton Avenue	3.6
183 to 195 Roehampton Avenue	3.5
200 Roehampton Avenue	10.9

\* denotes existing building setbacks in an infill context

Setbacks of 7.5 metres and greater along Broadway Avenue and Redpath Avenue support the Park Street Loop, a key public realm move in the Secondary Plan which provides a multi-modal green linkage connecting Eglinton Park to communities east of Mount Pleasant Road. Setbacks less than

7.5 metres were generally approved prior to the development of the Park Street Loop concept.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. Principal building requirements regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

A number of exceptions apply in this area, which further regulate performance standards. The CR-zoned properties at 8 to 12 Broadway Avenue are subject to prevailing section 12(2) 119 of By-law 438-86. This section modifies the angular plane requirements for these sites to a 60 degree angular plane measured from a lot line adjacent to a Residential District under By-law 438-86 or a public street.

There are also a number of prevailing by-laws that include detailed performance standards associated with specific development applications. These are summarized in Table 9.





Table 9: Site-specific Performance Standards in the Redpath Park Street Loop Character Area

Address	Step-backs	Separation Distance*	Minimum Landscaping	Other
17 to 25 Broadway Avenue and 70 Roehampton Avenue	Yes	Yes		
60 and 66 Broadway Avenue and 101 Erskine Avenue**	Yes	Yes		
82 to 90 Broadway Avenue	Yes			
85 to 91 Broadway Avenue and 198 Redpath Avenue	Yes			
95 to 107 Broadway Avenue and 191 to 197 Redpath Avenue	Yes	Yes		
188 Redpath Avenue	Yes		50 per cent lot area	50 degree angular plane from north lot line
39 and 41 Roehampton Avenue	Yes	Yes	23 per cent of lot area on 39 Roehampton Avenue	
183 to 195 Roehampton Avenue and 139 to 145 Redpath Avenue	Yes		13 per cent of lot area	
89 to 101 Roehampton Avenue	Yes	4.1 to 11.0 metres	30 per cent lot area	
150 and 152 Roehampton Avenue	Yes		295 square metres (15 per cent lot area)	
151 to 177 Roehampton Avenue and 140 to 150 Redpath Avenue	Yes	Yes		
177 Redpath Avenue and 200 Roehampton Avenue			70 per cent of lot area	

\*Separation distances are inferred by detailed step-back requirements. Where precise distances are shown in zoning by-law, these are reflected in the table.

\*\* Existing building at 66 Broadway is in Character Area B2, infill development at 101 Erskine is in Character area B1

5.2.3. B3 - Soudan

The Soudan Character Area includes approximately 118 properties south of Eglinton Avenue East, north of Soudan Avenue, east of Cowbell Lane and west of Mount Pleasant Road. These properties fall within eight zone labels that are all subject to By-law 569-2013. Most properties are subject to exceptions.

There has been significant development activity in this Character Area, resulting in many site specific provisions and prevailing by-laws. Chapter 3 provides more detailed information on recent development activity.

Permitted Uses

Most properties (104) within the Character Area are zoned as Residential (R) under By-law 569-2013. Eight properties located between Holly Street and Cowbell Lane are zoned as Commercial Residential (CR) under By-law 569-2013. The remaining six properties are zoned Open Space (O) under 569-2013.

The R-zoned properties at 69 to 75 Holly Street, 70 Dunfield Avenue, 60 to 74 Soudan Avenue and 111 Redpath Avenue are subject to a site specific provision that enables certain uses, such as nursing homes, subject to meeting certain conditions. A

site specific provision at 111 Redpath Avenue also permits an office use.

All CR-zoned properties are subject to a site specific provision which prohibits nightclubs. Additionally, all CR-zoned properties and most R-zoned properties, except those between Lillian Street and Dunfield Avenue and mid-block properties between Dunfield Avenue and Holly Street, are subject to prevailing section 12(2) 118 By-law of 438-86, which limits certain non-residential uses in order to protect residential character.

A prevailing by-law applies at 50 to 60 Holly Street limits commercial uses to the first five storeys and prohibits dwelling units below the fifth storey. At 108 Redpath Avenue, a prevailing by-law permits an accessory parking station to an office building.

All properties zoned CR under By-law 569-2013 in this Character Area are subject to Policy Area 2 based on the Policy Overlay Map, which applies a minimum building height of 10.5 metres and three storeys.

Height

The tallest permitted building heights are at 25 to 33 Holly Street and 44 to 50 Dunfield Avenue, where a site specific provision permits two infill apartment buildings with heights of 108.6 metres (34 storeys) and 84.5 metres (27 storeys), and recognizes the height of two existing apartments buildings at 40 metres (14 storeys).



The lowest maximum permitted height is at 66 to 72 Redpath Avenue where a prevailing by-law permits four row houses with heights of 12.5 metres. The O-zoned properties permit buildings and structures up to four metres in height.

The CR-zoned properties west of Holly Street permit heights of 61 metres based on the Height Overlay Map in By-law 569-2013. The R-zoned properties generally permit a height of 38 metres, except along Soudan Avenue where the height limit is 14 metres based on the Height Overlay Map in By-law 569-2013. A summary of the heights regulated by prevailing by-laws is provided in Table 10.

Density

The area of greatest permitted density is found on the R-zoned properties at 11 Lillian Street and 132 to 142 Soudan Avenue, where a site specific provision permits gross floor area (GFA) of 12,550 square metres, or approximately 11.5 FSI.

The lowest density limits are found on the R-zoned properties along Redpath Avenue and Brownlow Avenue, as well as some of the properties along Soudan Avenue east of Lillian Street with a maximum density of 0.6 FSI through the zone label. The O-zoned properties have a maximum permitted density of 50 square metres.

The R-zoned properties at 60 to 74 Soudan Avenue and 111 Redpath Avenue have a maximum permitted density of 2.0 FSI based on the By-law 569-2013 zone label. The CR-zoned properties along Holly Street are subject to a site specific provision that limits density for a transportation use to 1.0 FSI. A summary of sites with maximum density regulated by prevailing by-laws is provided in Table 11.



Table 10: Maximum Permitted Heights in Prevailing By-laws in the Soudan Character Area

Address	Maximum Permitted Height(metres)	Storeys
25 to 33 Holly Street and 44 to 50 Dunfield Avenue	108.6, 84.5, 40**, 40**	34, 27, 14**, 14**
33 to 77 Dunfield Avenue and 44 Lillian Street	80.6**, 73.5, 70.3, 53.3	28**, 26, 24, 17**
18 Brownlow Avenue and 75A to 83 Redpath Avenue	71.5, 56.6**, 12	21*, 19**, 4*
71 to 73 Redpath Avenue and 174 to 188 Soudan Avenue	63.2	21
11 Lillian Street and 132 to 142 Soudan Avenue	53	17
88 Redpath Avenue and 65 Lillian Street	43.4**, 28.2	14**, 10
83 to 89 Lillian and 98 to 108 Redpath Avenue	18.9	4
66 to 72 Redpath Avenue	12.5	4

\* Instance where maximum height in storeys is included in the zoning by-law  
\*\*(e) denotes existing building heights in an infill context

Table 11: Maximum Permitted Densities by Prevailing By-law in the Soudan Character Area

Address	Maximum Permitted GFA (square metres)	FSI
11 Lillian Street and 132 to 142 Soudan Avenue	12,550	11.5
25 to 33 Holly Street and 44 to 50 Dunfield Avenue	66,500**	6.6**
33 to 77 Dunfield Avenue and 44 Lillian Street	90,000**	5.7**
18 Brownlow Avenue and 75A to 83 Redpath Avenue	29,920**	4**
88 Redpath Avenue and 65 Lillian Street	20,834**	3.2**
71 to 73 Redpath Avenue and 174 to 188 Soudan Avenue	14,300	6.9
11 Lillian Street and 132 to 142 Soudan Avenue	8,350	6
55 Brownlow Avenue	8,082	2
83 to 89 Lillian and 98 to 108 Redpath Avenue	5,528	2
66 to 72 Redpath Avenue	640	2
50 to 60 Holly Street	Not specified	2*

\* Notes where FSI is stated in the by-law rather than an estimated based on approximate site area  
\*\* denotes an infill context with a maximum total GFA shared between new and existing buildings

Setbacks at Grade

For R-zoned properties, the minimum required front yard setback is based on the existing setbacks of adjacent residentially-zoned lots. Existing setbacks for R-zoned properties range from six to seven metres along Holly Street, 4.5 to 15 metres along Dunfield Avenue, 1.5 to four metres along Lillian Street, 2.5 to 16 metres along Redpath Avenue, 0.25 to 16.5 metres along Brownlow Avenue and 0.25 to seven metres along the north side of Soudan Avenue.

The CR-zoned properties west of Holly Street are subject to the requirements within Development Standard Set 2 (SS2). These properties are also subject to site specific provisions which permit reduced rear yard setbacks.

All properties, except 25 to 33 Holly Street, 44 to 50 Dunfield Avenue and the properties between Dunfield Avenue and Lillian Street, are subject to prevailing section 12(2) 119 of By-law 438-86. This section modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86, and requires a 6.1 metre setback from lots abutting Holly Street.

In addition to these regulations, there are several site specific provisions and prevailing by-laws that establish precise setback requirements for properties in the area. Detailed setback requirements are illustrated in the Table 12.



Soudan Character Area near Eglinton Avenue

Table 12: Soudan Character Area Site-specific Front Lot Line Setbacks

Address	Required Front Lot Line Setbacks (metres)
25 to 33 Holly Street	7.8 to 12.7*
44 to 50 Dunfield Avenue	6.4 to 12*
33 to 77 Dunfield Avenue	3 to 32.7*
65 Lillian Street	2.1
44 Lillian Street	3 to 32.5*
83 to 89 Lillian Street	2.0
66 to 72 Redpath Avenue	2
75A to 83 Redpath Avenue	3.3 to 4.8
88 Redpath Avenue	18*
98 to 108 Redpath Avenue	2.0
111 Redpath Avenue	3
18 Brownlow Avenue	15.8*
55 Brownlow Avenue	6.1

\* denotes existing building setbacks in an infill context.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. The zone label for the four R-zoned properties between Dunfield Avenue and Lillian Street require a minimum lot frontage of 12 metres, and minimum lot area of 400 square metres. Principal building requirements under the R zone regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements.



Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

A number of exceptions apply in this area, which further regulate performance standards. Prevailing section 12(2) 38 of By-law 438-86 applies to 88 Redpath Avenue, and requires minimum

landscaping of 60 per cent of the lot area. The CR-zoned properties subject to site specific provisions remove the 45 degree angular plane requirements in the principal building requirements in By-law 569-2013.

A number of prevailing by-laws establish detailed performance standards reflecting specific development applications. These are summarized in Table 13.

Table 13: Other Performance Standards Regulated by Prevailing By-law in the Soudan Character Area

Address	Step-backs	Separation Distance*	Minimum Landscaping
25 to 33 Holly Street and 44 to 50 Dunfield Avenue	Yes	24 metres	30 per cent of lot area
44 Lillian Street and 33 to 77 Dunfield Avenue		10.8 to 43.7 metres	27 per cent of lot area
88 Redpath Avenue and 65 Lillian Street	Yes	32.2 metres	45 per cent of lot area
83 to 89 Lillian and 98 to 108 Redpath Avenue		6.3 to 9 metres	Minimum 3,300 square metres (43 per cent of lot area)
18 Brownlow Avenue and 75A to 83 Redpath	Yes	Yes	
66 to 72 Redpath Avenue			Minimum 65 square metres (20 per cent of lot area)
71 to 73 Redpath Avenue and 174 to 188 Soudan Avenue	Yes		40 per cent of lot area
11 Lillian Street and 132 to 142 Soudan Avenue	Yes		7.8 per cent of lot area
20 Holly Street			70 per cent of total area (inclusive of above grade green space)
50 to 60 Holly Street			37 per cent of lot area

\*Separation distances are inferred by detailed step-back requirements. Where precise distances are shown in zoning by-laws, these are reflected in the table.

5.2.4. B4 – Davisville

The Davisville Character Area includes approximately 114 properties south of Davisville Avenue and south of Balliol Street generally between Yonge Street and Mount Pleasant Road. These properties fall within eight zone labels. All but 22 properties are regulated under By-law 569-2013, and all properties are subject to exceptions.

A large portion of this Character Area was developed through a 1965 master planned community known as Greenwin Place. There are a number of recent and active development applications in this area. These are summarized in Chapter 4.

Permitted Uses

The majority of properties (93) are zoned Residential (R) under By-law 569-2013. Another 22 properties are zoned R2 under By-law 438-86. The remaining six properties are zoned Commercial Residential (CR) under By-law 569-2013, and are located nearest Mount Pleasant Road.

All properties except 60 Balliol Street are subject to prevailing section 12(2) 118 of By-law 438-86, which limits certain non-residential uses in order to protect residential character. The R2-zoned properties are also subject to prevailing sections 12(1) 61 and 12(2) 212. Respectively, these prevailing sections allow some organizations to operate a rooming or converted house in certain building types.

Height

The tallest permitted building height is found at 108 to 128 Balliol Street where a prevailing by-law permits 91.5 metres (approximately 30 storeys). This same prevailing by-law permits a height of 46 metres at 87 to 107 Davisville Avenue (approximately 14 storeys).

The lowest maximum permitted building height is 9.14 metres (approximately three storeys). This applies to a number of sites which were developed

as rowhouses through the 1965 Greenwin Place master plan, including 216 to 240 Balliol Street and 195 to 221 Davisville Avenue. This maximum permitted height also applies to 239 to 251 Balliol Street through a separate prevailing by-law.

Most of the remaining R-zoned properties have a maximum permitted height of 38 metres, based on the By-law 569-2013’s Height Overlay Map. The maximum permitted height for CR-zoned properties is 21 metres, likewise regulated through the Height Overlay Map. Several exceptions apply in this area that further regulate height. These include a maximum permitted height of:

- 14.5 metres (approximately three storeys) at 22 Balliol Street
- 67.06 metres (20 storeys) at 141 Davisville Avenue
- 10.6 metres (approximately three storeys) for infill rowhouses and 23 storeys for the existing apartment building

Density

The greatest permitted density is found on the R-zoned properties at 108 to 128 Balliol Street, where a prevailing by-law permits a total residential GFA of 21,400 square metres (approximately 9.6 FSI). The same by-law permits total residential GFA of 11,500 square metres (approximately 5.3 FSI) at 87 to 107 Davisville Avenue.

The lowest density limit is 0.6 FSI, which is found on several R-zoned properties. This includes 216 to 240 Balliol Street and 195 to 221 Davisville Avenue, part of the 1965 Greenwin Place master plan, as well as 57 to 131 Balliol Street.

Generally, the maximum permitted density for CR-zoned properties is 3.0 FSI, established through the zone label in By-law 569-2013. All CR-zoned properties are also subject to prevailing by-law sections 12(2) 227 and 270(a) of By-law 438-86, which limits the size of certain non-residential uses, such as retail and service shops.



The remaining properties are subject to prevailing by-laws that establish specific maximum GFA or FSI. These are summarized in Table 14.

Table 14: Maximum Densities Regulated by Prevailing By-laws in the Davisville Character Area

Address	Maximum Permitted GFA (square metres)	FSI
111 Davisville Avenue	Not specified	3.11*
141 Davisville Avenue	17,718	3.6
45 Balliol Street	19,887	3.5
155 Balliol Street	19,887	3.5
200 Balliol Street	28,210**	3.2
221 Balliol Street and 239 to 265 Balliol Street	Not specified	3.0*
225 Davisville Avenue	Not specified	2.95*
31 to 33 Davisville Avenue and 60 Balliol Street	15,561	2.9
22 Balliol Street	2,922**	1.5

\* Notes where FSI is stated in the by-law rather than an estimated based on approximate site area  
\*\* denotes an infill context with a maximum total GFA shared between new and existing buildings

Setbacks at Grade

For R-zoned properties, the minimum required front yard setbacks are typically established based on the existing setbacks of adjacent residentially-zoned lots. Existing setbacks for residentially-zoned properties range from zero to 46 metres along the south side of Davisville Avenue, from 6.1 to 39.6 metres on the north side of Balliol Street and from 5.8 to 14.9 metres on the south side of Balliol Street.

All CR-zoned properties are subject to Development Standard Set 2 (SS2) through By-law 569-2013 which contains specific provisions on front, rear and side yard setbacks. However, these properties are

also subject to prevailing section 12(2) 119 of By-law 438-86. On these sites, it modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86.

Most properties are subject to prevailing by-laws with precise setback requirements, as shown in Table 15.

Table 15: Davisville Character Area Site-specific Front Lot Line Setbacks

Address	Required Front Lot Line Setbacks (metres)
22 Balliol Street	6.1
57 to 131 Balliol Street	5.8
108 to 128 Balliol Street	5.6
200 Balliol Street	0.7 to 8
221 Balliol Street	14.3
239 to 251 Balliol Street	6.1
265 Balliol Street	6.1
216 to 240 Balliol Street	6.1 to 12.2
33 Davisville Avenue	9.8
87 to 107 Davisville Avenue	5.6
111 Davisville Avenue	7.6
141 Davisville Avenue	51.8
195 to 221 Davisville Avenue	6.1 to 9.1
225 Davisville Avenue	30.5 to 33.5

\*Bold denotes existing building setbacks in an infill context.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage.

Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. Principal building requirements under the R zone regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013

in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

Most sites in this Character Area are subject to exceptions which modify these performance standard requirements. Many sites have minimum landscaping requirements that reflect the master plan for Greenwin Place. Recent applications have deviated significantly from the prevailing pattern of lot coverage and landscaping. These and other performance standards established through prevailing by-laws are outlined in Table 16.

Table 16: Other Performance Standards Regulated by Prevailing By-law in the Davisville Character Area

Address	Step-backs	Separation Distance*	Minimum Landscaping
111 Davisville Avenue		Yes	73 per cent of lot area
141 Davisville Avenue			70 per cent of lot area
45 Balliol Street		Yes	60 per cent of lot area
155 Balliol Street		Yes	60 per cent of lot area
57 to 131 Balliol Street		Yes	60 per cent of lot area
200 Balliol Street		Yes	Minimum 5,325 square metres (60 per cent lot area)
87 to 107 Davisville Avenue	Yes	Yes	34.4 per cent of lot area
108 to 128 Balliol Street	Yes	Yes	38.4 per cent of lot area
221 Balliol Street and 239 to 265 Balliol Street		15.2	60 per cent of lot area
225 Davisville Avenue		Yes	73 per cent of lot area
31 to 33 Davisville Avenue and 60 Balliol Street			75 per cent of lot area
22 Balliol Street	Yes		
216 to 240 Balliol Street		Yes	60 per cent of lot area
195 to 221 Davisville Avenue		Yes	60 per cent of lot area

\*Separation distances are often inferred by detailed set-back requirements. Where precise separation distances are articulated in zoning by-law, these are reflected in the table.



5.3 Villages (C)

The Villages Character Areas includes linear residential neighbourhoods along either side of Yonge Street, Eglinton Avenue West, Mount Pleasant Road and Bayview Avenue. The Yonge-Eglinton Secondary Plan encourages a mix of uses in these areas while reinforcing the local character of each area through narrow retail frontages, frequent entrances and active uses at grade. The Villages Character Areas include:

- C1 – Eglinton Way
- C2 – Yonge Street North
- C3 – Yonge Street South
- C4 – Mount Pleasant South
- C5 – Bayview-Leaside

5.3.1. C1 – Eglinton Way

The Eglinton Way Character Area includes approximately 263 properties along Eglinton Avenue West, generally between the Beltline Trail and Oriole Parkway. These properties fall within 13 zone labels. All but three properties are regulated under By-law 569-2013. All properties are subject to exceptions.

There is one active development application at 346 to 356 Eglinton Avenue West that was approved by the LPAT. The zoning by-law has not been finalized for this site. Chapter 3 provides additional background on development activity in the area.

Permitted Uses

Most properties (255) are zoned Commercial Residential (CR) under By-law 569-2013. Three properties on the southwest corner of Eglinton Avenue West and Oriole Parkway are zoned Mixed-Use District (MCR) under By-law 438-86. Another three properties west of Chaplin Crescent are zoned Residential (R) under By-law 569-2013. The remaining two properties near Chaplin Crescent and Eglinton Avenue West are zoned Open Space (O) under By-law 569-2013.

All MCR-zoned and CR-zoned properties, except 641 Eglinton Avenue West, are subject to prevailing sections 12(2) 118 and 12(2) 270(a) of By-law 438-86. The former limits certain non-residential uses in order to protect residential character. The latter limits the size of retail and service shops.

Most CR-zoned properties west of Avenue Road are subject to prevailing section 12(2) 132 of By-law 438-86, which prohibits commercial and private parking garages. A site specific provision applies to all CR-zoned properties except 248 to 250 and 641 Eglinton Avenue West. The site specific provision requires dwelling units to be located above the first floor.

Height

The tallest permitted building heights in the Character Area are established through the Eglinton Connects study in site specific provisions associated with CR-zoned properties, and consist of mid-rise buildings with heights of 22.5 and 25.5 metres (approximately 7 and 8 storeys respectively).

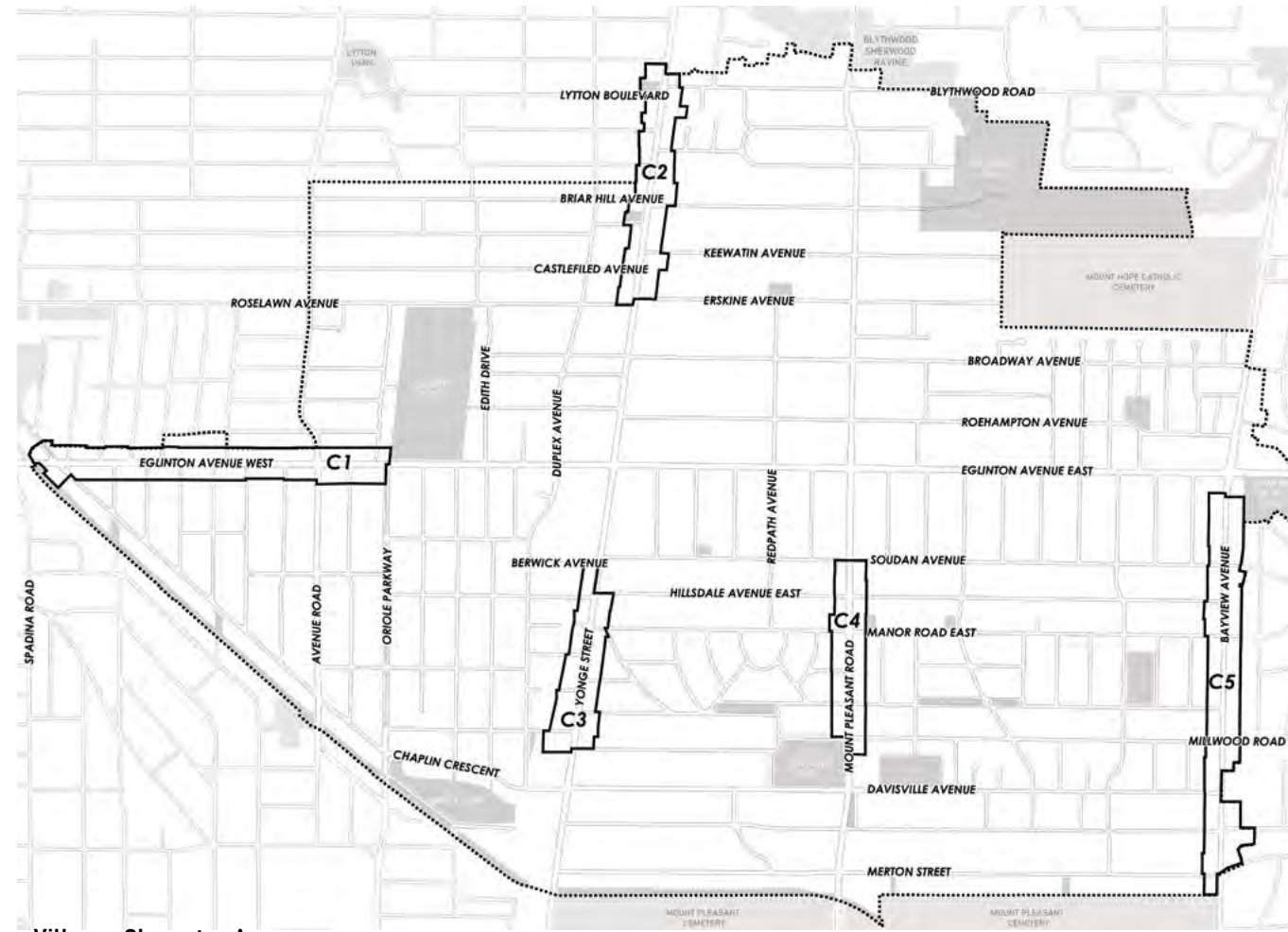
The lowest maximum permitted height is 16 metres (approximately five storeys) at 641 Eglinton Avenue West, based on the Height overlay map in By-law 569-2013. The O-zoned properties have a maximum building height of eleven metres.

The R-zoned properties have a maximum permitted height 18 metres (approximately six storeys), based on the Height Overlay Map in By-law 569-2013. A site specific provision permits a replacement up to the height of a building that existed as of February 28, 1977. A couple of additional exceptions apply in this area and further regulated permitted heights as follows:

- At 239 to 243 Eglinton Avenue West and 500 Oriole Parkway, a prevailing by-law permits height of 18.2 metres (approximately six storeys).
- At 351 to 381 Eglinton Avenue West and 136 to 138 Braemar Avenue, a site specific provision permits height of 19.5 metres (approximately six to seven storeys).
- All properties in this Character Area are subject to Policy Area 3 based on the Policy Overlay Map, which applies a minimum building height of 10.5 metres and three storeys.

Density

Most CR-zoned properties are not subject to specific maximum density provisions. Densities on these properties are controlled through provisions on height and performance standards in By-law 569-2013, such as setbacks and angular plane requirements. Generally, the permitted density based on heights and performance standards is approximately 4.0 FSI.



Villages Character Areas



Of the properties that do have specific density regulations, the greatest permitted maximum density is at 641 Eglinton Avenue West. A maximum density of 3.0 FSI is permitted on this Cr-zoned property based on the zone label in By-law 569-2013. A site specific provision limits the density of transportation uses on this site to 1.0 FSI.

The lowest density limit is found on the R-zoned lands west of Chaplin Crescent where the zone label in By-law 569-2013 permits an FSI of 0.6. The MCR-zoned properties at 239 to 243 Eglinton Avenue West and 500 Oriole Parkway are subject to a prevailing by-law permitting a maximum GFA of 8,780 square metres (approximately 2.6 FSI).

**Setbacks at Grade**

All CR-zoned properties are subject to Development Standard Set 2 (SS2) through By-law 569-2013 which contains specific provisions for front, rear and side yard setbacks. For R-zoned properties, the minimum required front yard setback is based on the existing setbacks of adjacent residential properties, which ranges from approximately 2.8 to six metres.

A number of exceptions apply to the MCR and CR-zoned properties, which further regulate setbacks at grade. All MCR-zoned and CR-zoned properties, except for 641 Eglinton Avenue West, are subject to prevailing section 12(2) 119 of By-law 438-86. This prevailing modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86.

These properties are also subject to site specific provisions that further modify the setback requirements for main walls facing Eglinton Avenue West.

Finally, a prevailing by-law for the MCR-zoned properties at 239 to 243 Eglinton Avenue West and 500 Oriole Parkway requires a 0.7 metre setback along Eglinton Avenue West.

**Other Performance Standards**

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. Principal building requirements under the R zone regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.



Redevelopment along Eglinton Avenue West

All MCR-zoned and CR-zoned properties, except for odd-numbered addresses between 555 and 643 Eglinton Avenue West and 540 and 555 Russell Hill Road, are subject to prevailing section 12(2) 119 of By-law 438-86. This section modifies the angular plane requirements for these sites to a 60 degree angular plane measured from a lot line adjacent to a Residential District under By-law 438-86 or a public street.

All CR-zoned properties except 641 Eglinton Avenue West are subject to a site specific provision enacted through the Eglinton Connects study that requires a 1.5 metre step-back above a building height of 13.5 metres. A prevailing by-law at 243 Eglinton Avenue West and 500 Oriole Parkway includes detailed step-back requirements.

**5.3.2. C2 – Yonge Street North**

The Yonge Street North Character Area includes approximately 266 properties along Yonge Street, generally between Blythwood Road to the north and Erskine Avenue to the south. These properties fall within eleven zone labels. All but three properties are regulated under By-law 569-2013. All properties are subject to exceptions, except Snider Parkette at 2672 Yonge Street.

**Permitted Uses**

Most properties (261) are zoned Commercial Residential (CR) under By-law 569-2013. There are three properties zoned as Mixed-Use District (MCR) under By-law 438-86. The St. Clements – Yonge Parkette and Snider Parkette are zoned Open Space – Recreation (OR) under By-law 569-2013.

All CR and MCR-zoned properties are subject to prevailing section 12(2) 270(a) of By-law 438-86, which limits the size of retail and service shops. All CR and MCR-zoned properties south of Blythwood Road are also subject to prevailing section 12(2) 118, which limits certain non-residential uses in order to ensure compatibility with and protection of residential character. This is despite the distinctive retail character along this portion of Yonge Street.

Prevailing section 12(2) 107 applies to several properties north of Blythwood Road Area, which generally restricts the same non-residential uses as outlined in section 12(2) 118.

A prevailing by-law at 2567 Yonge Street permits senior citizens housing, and a site specific provision permits a day nursery in the St. Clements – Yonge Parkette.

**Height**

The tallest permitted building height of 18 metres (approximately six storeys) in this Character Area are found on the properties north of Blythwood Road based on the By-law 569-2013 Height Overlay Map.

The lowest maximum permitted heights are found on the OR-zoned properties where height is limited to ten metres (approximately three storeys) based on the Height Overlay Map. The majority of the remaining properties permit buildings up to 16 metres (approximately five storeys) based on the Height Overlay Map.

A prevailing by-law applies to 2567 Yonge Street. This by-law permits a height of 17.5 metres (approximately five to six storeys). A site specific provision at 2532 Yonge Street permits a height of 14 metres (approximately four to five storeys).

The properties zoned CR under By-law 569-2013 in this Character Area are subject to Policy Area 2 or 3 based on the Policy Overlay Map, both of which apply a minimum building height of 10.5 metres and three storeys.

**Density**

The permitted density for all MCR and CR-zoned properties is 3.0 FSI based on the By-law 569-2013 zone label. The prevailing by-law applicable to 2567 Yonge Street limits the number of dwelling units to 105, and does regulate FSI or GFA.



Setbacks at Grade

All CR-zoned properties are subject to Development Standard Set 2 (SS2) through By-law 569-2013 which regulates front, rear and side yard setbacks. However, prevailing by-law sections apply to all CR-zoned sites that modify many of the setback requirements.

Properties north of Blythwood Road are subject to prevailing section 12(2) 107 of By-law 438-86. Properties south of Blythwood Road are subject to prevailing section 12(2) 119. These prevailing sections modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86. The prevailing by-law at 2567 Yonge Street requires a zero metre setback along Yonge Street.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

Properties north of Blythwood Road are subject to prevailing section 12(2) 107 of By-law 438-86. Properties south of Blythwood Road are subject to prevailing section 12(2) 119. This section modifies

the angular plane requirements for these sites to a 60 degree angular plane measured from a lot line adjacent to a Residential District under By-law 438-86 or a public street. The prevailing by-law for 2567 Yonge Street requires a 13.8 metre separation distance between the buildings permitted on the site.

5.3.3. C3 – Yonge Street South

The Yonge Street South Character Area includes approximately 188 properties along Yonge Street, generally south of Hillsdale Avenue East and north of Millwood Road. These properties fall within eleven zone labels. All but 29 properties are regulated under By-law 569-2013. All properties are subject to exceptions.

Permitted Uses

Most properties (157) are zoned Commercial Residential (CR) under By-law 569-2013. There are 29 properties near Belsize Drive that are zoned Mixed-Use District (MCR) under By-law 438-86. The remaining two properties are zoned Residential (R) under By-law 569-2013.



A number of exceptions apply in this area which further regulate permitted uses. All properties in this Character Area, except 1982 to 1984 and 2112 to 2114 Yonge Street, are subject to prevailing section 12(2) 118 of By-law 438-86, which limits certain non-residential uses in order to protect residential character.

All CR and MCR-zoned properties are subject to prevailing section 12(2) 270(a), which limits the size of retail and service shops. For MCR-zoned properties, prevailing sections 12(1) 61, 12(2) 63 and 12(2) 212 of By-law 438-86 also apply. These sections regulate rooming houses and limit the number of dwelling units in apartments and row houses. Prevailing section 12(2) 63 applies to R-zoned properties. It prohibits some higher-density building types and limits number of dwelling units.

Height

The tallest permitted building heights within the Character Area are associated with the MCR-zoned properties at the western terminus of Belsize Drive, where a prevailing by-law permits a height of 39.7 metres (approximately 13 storeys).

The lowest permitted maximum heights are found on the R-zoned properties along Hillsdale Avenue East where a prevailing by-law permits row houses and semi-detached dwellings up to ten metres (approximately three storeys).

Most CR-zoned and MCR-zoned properties have a maximum permitted height of 16 metres based on the Height Overlay Map in By-law 569-2013 and the height map in By-law 438-86. However, there are a number of exceptions which establish new maximum heights. A summary of the heights regulated by prevailing by-laws is included in Table 17.

The properties zoned CR under By-law 569-2013 in this Character Area are subject to Policy Area 3 based on the Policy Overlay Map, which applies a minimum building height of 10.5 metres and three storeys.

Table 17: Maximum Heights Regulated by Prevailing By-law in the Yonge Street South Character Area

Address	Maximum Permitted Height (metres)	Storeys
1994 to 2008 Yonge Street and 17 to 23 Glebe Road West	39.7	13
2112 to 2114 Yonge Street	35.6	10
1982 to 1984 Yonge Street	33.5	9
1953 to 1985 Yonge Street	31.7	8
2079 to 2111 Yonge Street,	20.6	6
9 and 11 Hillsdale Avenue East, and 12 to 16 Manor Road East	10	3
20 Glebe Road West	14	5

Density

The greatest permitted density is found at 1982 to 1984 Yonge Street where a prevailing by-law permits a total GFA of 3,300 square metres, or approximately 8.5 FSI. Also of note is 2112 to 2114 Yonge Street, where the zone label in By-law 569-2013 permits a density of 6.7 FSI.

The lowest density limit 2.5 FSI, which applies to 20 Glebe Road West through a prevailing by-law. The majority of remaining properties have a maximum permitted density of 3.0 FSI based on the zone labels in the By-laws 569-2013 and 438-86, or are subject to prevailing by-laws that further regulate maximum density through gross floor area (GFA). The permitted densities in prevailing by-laws are summarized in Table 18.



Table 18: Maximum Densities Regulated by Prevailing By-law in the Yonge Street Character Area

Address	Maximum Permitted GFA (square metres)	FSI
1982 to 1984 Yonge Street	3,300	8.5
2112 to 2114 Yonge Street	7,200	6.7*
1994 to 2008 Yonge Street and 17 to 23 Glebe Road West	16,500	6.2
1953 to 1985 Yonge Street	22,000	5.1
2079 to 2111 Yonge Street, 9 and 11 Hillsdale Avenue East, and 12 to 16 Manor Road East**	12,921	2.9
20 Glebe Road West	Not specified	2.5*

\* Notes where FSI is stated in the by-law rather than an estimate based on approximate site area  
\*\* Applies to sites outside of the character areas including 21 Hillsdale Avenue and 12 to 16 Manor Road East

Setbacks at Grade

All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes front, rear and side yard setback requirements. Prevailing by-law sections modify many of the setback requirements for all CR-zoned sites.

All CR-zoned properties are subject to prevailing section 12(2) 119 of By-law 438-86, except for 1982 to 1984 and 2112 to 2114 Yonge Street. This prevailing section modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86.

Several properties are subject to exceptions that establish further setback requirements, as shown

in Table 19. Notably, a number of properties along Yonge Street require no setbacks at grade.

Table 19: Yonge Street South Loop Character Area Site-specific Front Lot Line Setbacks

Address	Required Front Lot Line Setbacks (metres)
1953 to 1985 Yonge Street	0.5
1982 to 1984 Yonge Street	1.1
1994 to 2008 Yonge Street	0
2079 to 2111 Yonge Street	0
2112 to 2114 Yonge Street	0
17 to 23 Glebe Road West	0
9 and 11 Hillsdale Avenue East	3

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. Principal building requirements under the R zone regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of

building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

All CR and MCR-zoned properties, except for 1982 to 1984 and 2112 to 2114 Yonge Street, are also subject to prevailing section 12(2) 119 of By-law 438-86. This prevailing section modifies the angular plane requirements for these sites to a 60 degree angular plane measured from a lot line adjacent to a Residential District under By-law 438-86 or a public street.

A number of properties are subject to exceptions that establish detailed step-back requirements. These include 1953 to 1985 Yonge Street, 1994 to 2008 Yonge Street, 2112 to 2114 Yonge Street and 1982 to 1984 Yonge Street.

5.3.4. C4 – Mount Pleasant South

The Mount Pleasant South Character Area includes approximately 212 properties on either side of Mount Pleasant Road, generally between Soudan Avenue to the north and Millwood Road to the south. These properties fall within three zone labels. All properties are regulated through By-law 569-2013 and are subject to exceptions.

Permitted Uses

All properties are zoned Commercial Residential (CR) under By-law 569-2013. All properties are subject to prevailing sections 12(2) 118, 227 and 270(a) of By-law 438-86. These sections limit certain non-residential uses in order to protect residential character and limit the size of restaurants, clubs and other retail and service shops.

Height

The tallest permitted building height is found on the northwest corner of Mount Pleasant Road and Manor Road (650 to 658 Mount Pleasant Road), where a prevailing by-law permits heights of 25 metres (approximately eight storeys). All other properties have a maximum permitted height of 16 metres (approximately five storeys) based on the

Height Overlay Map of By-law 569-2013.

All properties in this Character Area are subject to Policy Area 4 based on the Policy Overlay Map, which applies a minimum building height of 10.5 metres and three storeys.

Density

The greatest permitted density likewise applies to 650 to 658 Mount Pleasant Road, which has a maximum permitted total GFA of 24,699 square metres (approximately 8.7 FSI) through a prevailing by-law. All other properties have a maximum permitted density of 3.0 FSI based on the zone label.

Setbacks at Grade

All residential buildings in the CR Zone are subject to the front, rear and side yard setback requirements within Development Standard Set 2 (SS2) in By-law 569-2013.

Prevailing section 12(2) 119 of By-law 438-86 applies to all properties in this Character Area. It modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86. A prevailing by-law applicable to 650 to 658 Mount Pleasant Road requires no setbacks at grade along Mount Pleasant Road.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.



For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards

All properties are subject to prevailing section 12(2) 119 of By-law 438-86, which modifies the angular plane requirements for these sites to a 60 degree angular plane measured from a lot line adjacent to a Residential District under By-law 438-86 or a public street prevailing by-law that applies to 650 to 658 Mount Pleasant Road includes detailed step-back requirements.

5.3.5. C5 – Bayview-Leaside

The Bayview-Leaside Character Area includes approximately 298 properties on either side of Bayview Avenue, generally south of Eglinton Avenue East and north of Mount Pleasant Cemetery. These properties fall with seven zone labels. All properties are subject to By-law 569-2013 and most are subject to exceptions.

There are two active development applications which have received approvals but do not have finalized by-laws. One application at 701 to 713 Soudan Avenue and 1674 to 1684 Bayview Avenue was approved by the LPAT, the other at 1408 to 1420 Bayview Avenue was approved by Council. Chapter 3 provides additional information on development activity.

Permitted Uses

The majority of properties (220) are zoned Commercial Residential (CR) under By-law 569-2013. These are primarily concentrated in the middle of the Character Area.

There are 58 properties zoned Residential (R), which are located in two sections along the west side of Bayview Avenue. Another 19 properties on the east side of Bayview Avenue are zoned as Residential

Multiple Dwelling (RM). Finally, 1399 Bayview Avenue is zoned as Residential Detached (RD).

CR-Zoned properties on the west side of Bayview Avenue, except for 1408 to 1420 Bayview Avenue, are subject to prevailing section 12(2) 270(a) of By-law 438-86. This section limits the size of retail and services shops. All properties on the west side of Bayview Avenue, except for 1408 to 1420 Bayview Avenue, are subject to prevailing section 12(2) 118, which limits certain non-residential uses in order to protect residential character. Properties on the east side of the street are subject to a site specific provision that requires dwelling units to be located above the first floor.

Height

The tallest permitted height is 27.85 metres (approximately 8 storeys), which applies to 1408 to 1420 Bayview Avenue through a site specific provision. Also of note is 1746 to 1748 Bayview Avenue, where a prevailing by-law permits a height of 25.3 metres (seven storeys).

The lowest maximum permitted height is 8.5 metres (approximately two storeys) based on the Height Overlay Map of By-law 569-2013, which applies to the RD-zoned property at 1399 Bayview Avenue. The Height Overlay Map establishes maximum permitted heights for the remainder of the properties in this Character Area. Maximum permitted height is 16 metres (approximately 5 storeys) for RM-zone properties, 14 metres (approximately four to five storeys) for R-zoned properties south of Davisville Avenue, and nine metres (approximately three storeys) for R-zoned properties south of Hillsdale Avenue. CR-zoned properties have a maximum permitted height of 12.2 metres (approximately four storeys) east of Bayview Avenue and 14 metres (approximately four to five storeys) west of Bayview Avenue.

Most properties zoned CR under By-law 569-2013 in this Character Area are subject to Policy Area 4 based on the Policy Overlay Map, which applies a minimum building height of 10.5 metres and three storeys. This Policy Area does not apply to the

CR-zoned properties at the southern end of this Character Areas at 1386 to 1376 Bayview Avenue and 1391 to 1397 Bayview Avenue.

Density

The greatest permitted density is found on the CR-zoned properties at 1408 to 1420 Bayview Avenue where the zone label permits a total FSI of 4.25.

Maximum permitted densities are established based on zone label for all other properties in this Character Area, except for 1746 and 1748 Bayview Avenue. These properties are subject to a prevailing by-law that also includes several properties along Eglinton Avenue East (outside of this Character Area) with a maximum total permitted GFA of 9,206 square metres (approximately 3.2 FSI) across the properties.

The R-zoned properties north of Hillsdale Avenue and the RD-zoned property at 1399 Bayview Avenue have the lowest density permissions of 0.6 FSI. The CR-zoned properties permit a maximum density of 3.0 FSI west of Bayview Avenue, and 2.0 FSI

east of Bayview Avenue, except for 1376 to 1386 Bayview Avenue, which has a maximum density of 2.5 FSI. The remaining RM and R-zoned properties have a maximum density of 1.25 FSI and 1.0 FSI respectively.

Setbacks at Grade

The minimum required front yard setback for residentially-zoned properties is generally established based on the existing setbacks of adjacent residentially-zoned lots. The existing residential front yard setbacks generally range from approximately 3.5 to 7.5 metres on both sides of Bayview Avenue.

All properties on the west side of Bayview Avenue are subject to prevailing section 12(2) 119 of By-law 438-86. For properties with an underlying CR or MCR zone based on By-law 438-86, it requires a three metre setback along Bayview Avenue south of Hillsdale Avenue and a 6.1 metre setback adjacent to a Residential District under By-law 438-86. For the R-zoned properties, it modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres.



Retail uses within the Bayview Leaside Character Area



A prevailing by-law establishes setback requirements at 1746 and 1748 Bayview Avenue, permitting a minimum front setback of zero to one metre.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For RD and RM-zoned properties, lot requirements include minimum lot area, lot frontage and lot coverage. For the RD zone, the zone label establishes minimum lot frontage of 12 metres and minimum lot area of 370 square metres, and the Lot Coverage Overlay Map establishes maximum lot coverage of 30 per cent. For the RM zone, the zone label establishes minimum lot frontage of 30 metres and minimum lot area of 930 square metres, and the Lot Coverage Overlay Map establishes maximum lot coverage of 35 per cent. Principal building requirements under the RD zone do not regulate separation distance, minimum landscaping, or angular plane requirements. Separation distances between buildings wall is regulated for the RM zone, but landscaping and angular plane is not.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. In this Character Are, the Lot Coverage Overlay Map establishes maximum lot coverage of 80 per cent for CR zones. All CR-zoned properties in this Character Area are also subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

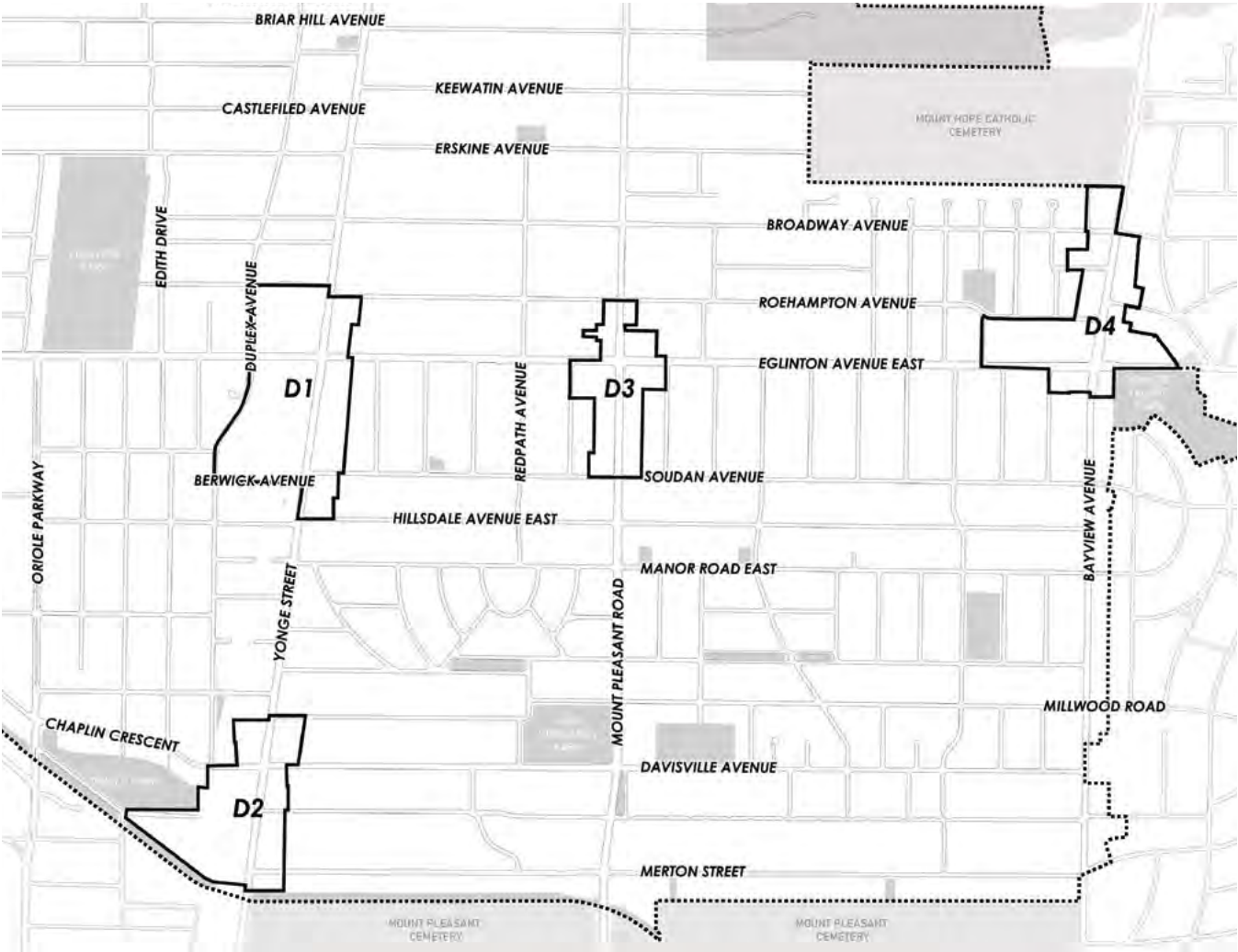
All CR-zoned properties on the west side of Bayview Avenue, except 1376 to 1386 Bayview Avenue and 1408 to 1420 Bayview Avenue, are subject to prevailing section 12(2) 119 of By-law 438-86. This section modifies the angular plane requirements for these sites to a 60 degree angular plane measured from a lot line adjacent to a Residential District under By-law 438-86 or a public street.

Step-back requirements apply to 1746 and 1748 Bayview Avenue through a prevailing by-law, and to 1408 to 1420 Bayview Avenue through a site specific provision. The latter also removes the landscaping requirements established by SS2 to 1408 to 1420 Bayview Avenue. The prevailing by-law applicable to 1746 and 1748 Bayview Avenue includes step-back requirements.

5.4 Midtown Cores (D)

The Midtown Core Character Areas are vibrant mixed-use areas centred on Midtown’s higher-order transit stations. The Yonge-Eglinton Secondary Plan states that Cores will function as mixed-use nodes with office, institutional, residential and cultural uses, and that intensity of development will differ between Cores. The Midtown Core Character Areas include:

- D1 – Yonge-Eglinton Crossroads
- D2 – Davisville Station
- D3 – Mount Pleasant Station
- D4 – Bayview Focus Area



Cores Character Areas



5.4.1. D1 – Yonge-Eglinton Crossroads

The Yonge-Eglinton Crossroads Character Area includes approximately 95 properties located around the intersection of Eglinton Avenue and Yonge Street. These properties fall under six zone labels, most of which are subject to By-law 438-86. All properties are subject to exceptions.

This Character Area has been a focus of recent development activity with the greatest heights and densities in the Secondary Plan area. It also has a concentration of office and retail uses. The Canada Square site, located at the southwest corner of Yonge Street and Eglinton Avenue, was the subject of a City-initiated study resulting in an Official Plan amendment and rezoning in 2009.

There is currently one active development at 2161 Yonge Street that received LPAT approval in 2019. By-laws for this development have not been finalized and are not reflected in this summary. Chapter 3 provides more information on development activity.

Permitted Uses

The majority of properties (48) have Commercial Residential District (CR and MCR) zoning through By-law 438-86. MCR-zoned properties are located south of Soudan Avenue. There are 20 properties to the southeast of Yonge and Eglinton intersection zoned Commercial Residential (CR) in By-law 569-2013. The remaining 27 properties are zoned R2 under By-law 438-86 and are largely located along Berwick Avenue with some properties along Roehampton Avenue.

- There are several sites in this Character Areas subject to holding provisions that restrict permitted uses until certain conditions are met. Holding provisions apply to the Canada Square lands (2180 to 2210 Yonge Street and 20 to 46 Berwick Avenue) and 1 Eglinton Avenue East.

A number of prevailing sections from By-law 438-86 apply in this area and further regulate permitted uses. Prevailing section 12(2) 118 applies to all properties except 1 and 1A Eglinton Avenue East,

and prevailing section 12(2) 270(a) applies to all CR and MCR properties except 1 and 1A Eglinton Avenue East. The former prevailing section limits certain non-residential uses in order to protect residential character. The latter limits the size of retail and service shops.

Prevailing sections 12(1) 61 and 12(2) 112 apply to all MCR and R2 zoned properties. These sections provide conflicting direction on rooming houses. Section 12(1) 61 takes precedence, and allows rooming houses operated by government or non-profit groups in residential zones. Prevailing section 12(2) 63 applies to the MCR-zoned property at 32 Hillside Avenue East, which prohibits apartment buildings and limits row houses.

Prevailing section 12(2) 132 applies to 30 to 42 Eglinton Avenue West and 405 Duplex Avenue and prohibits parking garages. These properties are also subject to a prevailing by-law that prohibits automobile retail and services.

There are also several other exceptions that apply in this area. These include:

- A prevailing by-law permits a parking station and a public park at 32 Hillside Avenue East
- A site specific provision prohibits nightclubs at 2161 to 2201 Yonge Street and 2239 to 2245 Yonge Street
- A prevailing by-law permits an office building but prohibits retail uses at 30 Soudan Avenue
- A prevailing by-law prohibits automobile retail or services at 2290 to 2340 Yonge Street, 411 Duplex Avenue and 33 Orchard View Boulevard
- A minimum of 10,550 square metres of office use must be provided at 1 and 1A Eglinton Avenue East, reflecting the office replacement requirement of OPA 231 and the Yonge-Eglinton Secondary Plan

Height

The tallest permitted building height is found at the southeast corner of Yonge Street and Eglinton Avenue (1 and 1A Eglinton Avenue East), where a site specific provision permits a height of 205.25 metres (65 storeys).

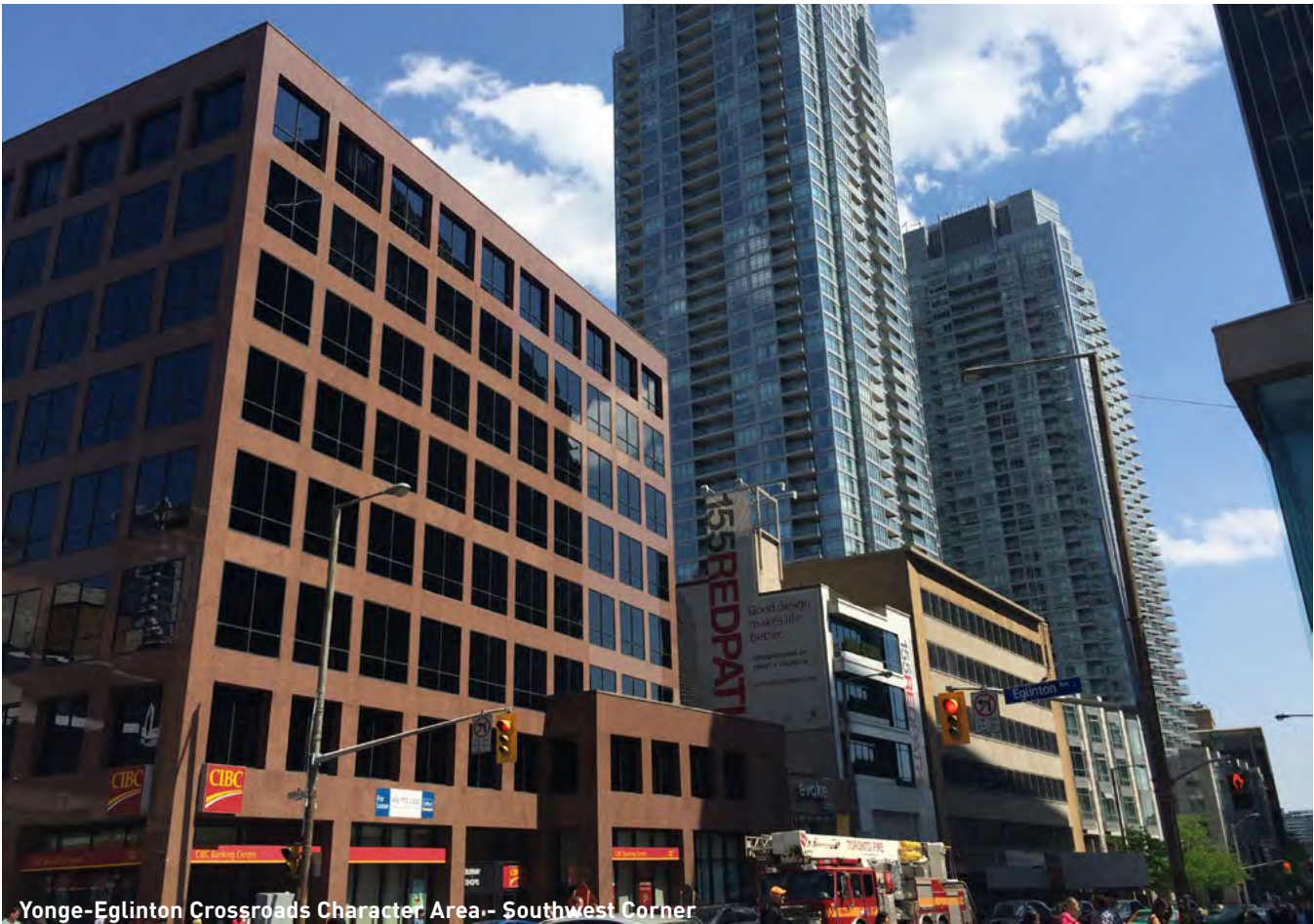
The lowest maximum permitted height is at 30 Soudan Avenue, where a prevailing by-law permits an office building up to 25 metres (six storeys). Four CR-zoned properties near Eglinton Avenue East and Soudan Avenue have a maximum permitted height of 61 metres (approximately 20 storeys) through the Height Overlay Map in By-law 569-2013.

Two prevailing by-laws regulate heights for the Canada Square lands on a block basis. Block A, adjacent to Eglinton Avenue West, has a maximum permitted height of 120 metres (approximately 39

storeys). Block B has a maximum permitted height of 85 metres (approximately 28 storeys). Block C has permissions for buildings 59 metres (approximately 19 storeys) in height. These maximum permitted heights are illustrated in Figure XX. Prevailing section 12(2) 119 of By-law 438-86, which establishes height limitations, continues to apply to the Canada Square lands. However, the heights for each block in the prevailing by-laws take precedence.

Table 20 summarizes maximum permitted building heights regulated through prevailing by-laws.

The properties zoned CR under By-law 569-2013 on the east side of Yonge Street are subject to Policy Area 2 based on the Policy Overlay Map, which applies a minimum building height of 10.5 metres and three storeys.



Yonge-Eglinton Crossroads Character Area:- Southwest Corner



Table 20: Maximum Permitted Heights Regulated through Prevailing By-laws in the Yonge-Eglinton Crossroads Character Area

Address	Maximum Permitted Height (metres)	Storeys
1 and 1A Eglinton Avenue East	202.25	65*
2263 to 2287 Yonge Street, 2 to 10 Eglinton Avenue East and 15 to 25 Roehampton Avenue	195.75, 118	58, 38
2221 to 2235 Yonge Street	183.5	56
2165 to 2201 Yonge Street	160, 118	53, 39
2290 to 2340 Yonge Street, 411 Duplex Avenue and 33 Orchard View Boulevard	148.5, 70**	49, 23
30 to 42 Eglinton Avenue West and 405 Duplex Avenue	122.55	40
Canada Square	120, 85, 59	39, 28, 19
2131 to 2149 Yonge Street, 5 Soudan Avenue and 8 to 32 Hillsdale Avenue East	92.9, 44.7	28*, 12*
30 Soudan Avenue	25	8

\* Instance where maximum height in storeys is included in the zoning by-law, rather than approximated based on an average of 3 metres per storey.  
\*\* denotes existing building heights in an infill context

Table 21: Maximum Permitted Heights Regulated through Prevailing By-laws in the Yonge-Eglinton Crossroads Character Area

Address	Maximum Permitted GFA (square metres)	FSI
1 and 1A Eglinton Avenue East	55,000	27.7
2221 to 2235 Yonge Street	40,875	21.6
30 to 42 Eglinton Avenue West and 405 Duplex Avenue	25,500	18.3
2263 to 2287 Yonge Street, 2 to 10 Eglinton Avenue East and 15 to 25 Roehampton Avenue	66,900	12.5
2165 to 2201 Yonge Street	87,680	11.3
2290 to 2340 Yonge Street, 411 Duplex Avenue and 33 Orchard View Boulevard	170,000*	8.7
2131 to 2149 Yonge Street, 5 Soudan Avenue and 8 to 32 Hillsdale Avenue East	51,075	8.1
Canada Square	269,250	6.3
30 Soudan Avenue	2,950	4
32 Hillsdale Avenue East**	535	0.71

\* denotes an infill context with a maximum total GFA shared between new and existing buildings  
\*\* Regulation only applies to non-residential additions to the property

Density

The greatest permitted density in this Character Area is found at 1 and 1A Eglinton Avenue East. A site specific provision for this site permits a gross floor area (GFA) of up to 55,000 square metres (approximately 27.7 FSI). Also of note are the properties at 2221 to 2235 Yonge Street, where a prevailing by-law permits a GFA up to 40,875 square metres (approximately 21.6 FSI).

The lowest permitted density is found at 30 Soudan Avenue, where a prevailing by-law permits an office use with a maximum GFA of 2,950 square metres (approximately 4.0 FSI).

The Canada Square prevailing by-laws regulate density for this site on a block basis. Block A permits a maximum GFA of 136,900 square metres (approximately 9.5 FSI). Block B permits a maximum GFA of 112,800 square metres (approximately 4.7 FSI). Block C permits a maximum GFA of 19,550 square metres (approximately 4.1 FSI). Overall, Canada Square has a total permitted maximum GFA of 269,250 square metres (approximately 6.3 FSI).

Four CR-zoned properties near Eglinton Avenue East and Soudan Avenue have a maximum permitted density of 5.0 FSI through the zone label in By-law 569-2013. A summary of density regulations is provided in Table 21.



Tall building on Yonge Street near Soudan Avenue

Setbacks at Grade

By-law 569-2013’s SS2 standards typically regulate front, rear and side yard setbacks for CR-zoned properties regulated by By-law 569-2013. However, all properties in this Character Area are subject to exceptions which impact setback requirements.

Generally, setbacks from Yonge Street range from zero to 16 metres along the west side of the street, and zero to 8.9 metres along the east side of the street. Setbacks from Eglinton Avenue generally range from zero to 20 metres along the north side of the street, and 0.4 to 18.6 metres on the south side of the street. Larger setbacks typically reflect a plaza or square requirement, which aligns with the Yonge Street Squares, a key public realm move in the Secondary Plan.

Development of the Canada Square lands requires a five metre setback along Eglinton Avenue East, two to three metre setbacks along Duplex Avenue, and no setback along Yonge Street or Berwick Avenue.

In addition to these setback regulations, there are several site specific provisions and prevailing by-laws that establish precise setback requirements for properties in the area, and are summarized in Table 22.



Office development near the Yonge-Eglinton Crossroads



Table 22: Yonge-Eglinton Crossroads Character Area Site-specific Front Lot Line Setbacks

Address	Required Front Lot Line Setbacks (metres)
1 and 1A Eglinton Avenue East	0.4 to 18.6
2263 to 2287 Yonge Street	0 to 1.2
2 to 10 Eglinton Avenue East	4.5 to 7.5
15 to 25 Roehampton Avenue	0
2221 to 2235 Yonge Street	1.7
2165 to 2201 Yonge Street	0.9
2290 to 2340 Yonge Street	0(e) to 16
411 Duplex Avenue	8.5*
33 Orchard View Boulevard	7.5* to 8.5*
30 to 42 Eglinton Avenue West	0
405 Duplex Avenue	0
2210 Eglinton Avenue West (Canada Square)	5
191 to 233 Duplex Avenue (Canada Square)	2 to 3
20 to 74 Berwick Avenue (Canada Square)	0
2180 to 2210 Yonge Street (Canada Square)	0
2131 to 2149 Yonge Street	0
5 Soudan Avenue	0
8 to 32 Hillsdale Avenue East	0
30 Soudan Avenue	0 to 6.9

\* denotes existing building setbacks in an infill context.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in

By-law 569-2013 and equivalent regulations under By-law 438-86.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

A number of exceptions also apply in this area, which further regulate performance standards.

Prevailing section 12(2) 119 of By-law 438-86 modifies angular plane requirements for several properties. For MCR-zoned properties south of Soudan Avenue, a 60 degree angular plane is required, measured from any lot line facing a Residential District under By-law 438-86 or a public street. A 60 degree angular plane requirement also applies along Duplex Avenue closest to Eglinton Avenue East in the Canada Square lands, with a 45 degree angular plane required for the remainder of Duplex Avenue frontage towards Berwick Avenue. The 45 degree angular plane requirement taken from Duplex Avenue applies to 411 Duplex Avenue as well.

Several prevailing by-laws establish detailed performance standards associated with development applications, shown in Table 23.



Davisville Station Character Area

Table 23: Other Performance Standards Regulated by Prevailing By-law in the Yonge-Eglinton Crossroads Character Area

Address	Step-backs	Separation Distance*	Minimum Landscaping	Other
1 and 1A Eglinton Avenue East	Yes			
2263 to 2287 Yonge Street, 2 to 10 Eglinton Avenue East and 15 to 25 Roehampton Avenue	Yes	20 metres		
2221 to 2235 Yonge Street	Yes	25 metres from 2191 Yonge Street		
2165 to 2201 Yonge Street	Yes	Yes		Minimum 460 square metres of POPS (5.9 per cent of lot area)
2290-2340 Yonge Street, 411 Duplex Avenue and 33 Orchard View Boulevard	Yes	Yes	Minimum 4,435 square metres of landscaping (22.7 per cent of lot area)	
30 to 42 Eglinton Avenue West and 405 Duplex Avenue	Yes			
Canada Square				60 degree angular plane from Duplex Avenue closest to Eglinton Avenue and 45 degree angular plane from Duplex Avenue closest to Berwick Avenue
2131 to 2149 Yonge Street, 5 Soudan Avenue and 8 to 32 Hillsdale Avenue East	Yes			

\*Separation distances are inferred by detailed step-back requirements. Where precise distances are shown in zoning by-law, these are reflected in the table.

5.4.2. D2 – Davisville Station

The Davisville Station Character Area includes approximately 41 properties within the vicinity of the Davisville Subway Station. There are 12 zone labels that apply here. All but seven properties are regulated by By-law 569-2013. All properties are subject to exceptions.

This Character Area also includes the Davisville Yard, a TTC facility with operation, storage, and servicing functions that received zoning permissions to deck over the Yard in 1979.

Permitted Uses

The majority of properties (32) are zoned Commercial Residential (CR) by By-law 569-2013. By-law 438-86 applies to seven properties. It zones five properties MCR and two CR. The remaining properties (17 to 21 Millwood Road) are zoned Residential (R) by By-law 569-2013.

Prevailing section 12(2) 118 of By-law 438-86 applies to all properties, which limits certain non-residential uses in order to protect residential character. All properties, except for R-zoned areas, are subject to prevailing section 12(2) 270(a), which



limits the size of retail and service shops. R-zoned properties are also subject to prevailing section 12(2) 63, which prohibits apartments and limits dwelling units and row houses.

A number of exceptions further regulate permitted uses for specific properties as follows:

- Public transportation uses are permitted at 1920 to 1944 Yonge Street, along with regulations on the type of retail and services shops permitted on the ground floor of buildings that also apply at 1881 Yonge Street
- An office building can only be used for business offices at 1867 Yonge Street
- Permitted uses are limited to wholly commercial or institutional uses at 1835 and 1819 Yonge Street and 18 to 24 Merton Street
- The type of non-residential uses are regulated at 1800 Yonge Street (Davisville Yard)

Height

The tallest permitted height in the Character Area is found at the southeast corner of Yonge Street and Merton Street (1815 Yonge Street and 25 Merton Street), where a prevailing by-law permits 78 metres (approximately 24 storeys). Tall buildings are also permitted at the Davisville Yard site, where a prevailing by-law allows a mixed-use development. The tallest permitted building in the Yard site is approximately 69 metres or 23 storeys.

Maximum permitted building heights for most properties is regulated through the Height Overlay Map in By-law 569-2013 or By-law 438-86’s height map. The majority of properties have a maximum permitted height of 16 metres (approximately five storeys). Several properties east of Yonge Street have a maximum permitted height of 38 metres. A summary of the heights regulated by prevailing by-laws is shown in Table 24.

The properties zoned CR under By-law 569-2013 in this Character Area which front onto Yonge Street are subject to Policy Area 3 based on the Policy

Overlay Map. This applies a minimum building height of 10.5 metres and three storeys.

Table 24: Other Performance Standards Regulated by Prevailing By-law in the Davisville Station Character Area

Address	Maximum Permitted Height (metres)	Storeys
1815 Yonge Street and 25 Merton Street	78	24
1800 Yonge Street, 29 Lascelles Boulevard and 25 Chaplin Crescent**	69, 24, 18	23*, 8*, 6*
1881 Yonge Street	36.8	7
1867 Yonge Street**	33	11
1920 to 1944 Yonge Street	24	8

\* Instance where maximum height in storeys is included in the zoning by-law, rather than approximated based on an average of 3 metres per storey.  
\*\* Notes addresses where maximum height in metres are estimated based on three metres per storey

Density

The areas of greatest permitted density are found on the CR-zoned properties at the southeast corner of Yonge Street and Merton Street (1815 Yonge Street and 25 Merton Street) where a prevailing by-law permits a residential GFA of 16,720 square metres (approximately 6.8 FSI). Also of note is the CR-zoned property at 1867 Yonge Street immediately south of Balliol Street, where a prevailing by-law permits total GFA of 10,535 square metres (approximately 6.7 FSI).

The R-zoned properties fronting Millwood Road have the lowest permitted density, where the zone label in By-law 569-2013 permits an FSI of 0.6. The majority of remaining properties (21) have a maximum permitted total density of 3.0 FSI, regulated through the zone label in either By-laws 569-2013 or 438-86.

The prevailing by-law for the Davisville Yard permits a mixed-use development with a conditional maximum permitted density of 2.5 FSI if seniors housing is included or 2.0 FSI if it is not. Non-residential GFA is limited to 0.5 FSI. The prevailing by-law also regulates GFA of specific non-residential uses that include supermarkets and retail uses. Table 25 provides a summary of sites with maximum densities regulated by prevailing by-laws.

Table 25: Maximum Regulated Heights by Prevailing By-law in the Davisville Station Character Area

Address	Maximum Permitted GFA (square metres)	FSI*
1815 Yonge Street and 25 Merton Street	16,720	6.8
1867 Yonge Street	10,535	6.7
1819 to 1835 Yonge Street	Not specified	5*
1920 to 1944 Yonge Street	12,615	4.1
1881 Yonge Street	9,750	3.9
1800 Yonge Street	Not specified	2.5**

\* Notes where FSI is stated in the by-law rather than an estimated based on approximate site area  
\*\* 2.5 FSI permitted for seniors housing, otherwise 2.0 FSI

Setbacks at Grade

By-law 569-2013’s SS2 standards typically regulate front, rear and side yard setbacks for CR-zoned properties governed by this Bylaw. For R-zoned properties under By-law 569-2013, the minimum required front yard setbacks are generally established based on the existing setbacks of adjacent residentially-zoned lots. Existing setbacks of residential properties are approximately between one and three meters. Exceptions apply to all properties in this Character Area, which modify the standard setback requirements contained in By-laws 569-2013 and 438-86.

Most CR-zoned properties on the east side of Yonge Street from Davisville Avenue to the south side of Merton Street are subject to site specific provisions that reduce rear yard setback requirements. These site specific provisions also apply to CR-zoned properties south of Chaplin Crescent and west of Yonge Street.

All properties are subject to prevailing section 12(2) 119 of By-law 438-86, which modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86.

There are also several prevailing by-laws associated with development applications apply in this area and contain specific requirements for front, side and rear yard setbacks. Detailed front yard setback requirements are illustrated in the Table 26.

Table 26: Site-specific Front Lot Line Setbacks in the Davisville Station Character Area

Address	Required Front Lot Line Setbacks (metres)
1815 Yonge Street	0 to 2.8
25 Merton Street	0 to 3
1800 Yonge Street	0 to 30.5
29 Lascelles Boulevard	9.14
25 Chaplin Crescent	4.2
1881 Yonge Street	1.5
1920 to 1944 Yonge Street	0 to 1.9

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage.



Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. Principal building requirements under the R zone regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

A number of exceptions apply in this area. These further regulate performance standards. Several CR-zoned properties south of Davisville Avenue regulated through By-law 569-2013 are subject to site specific provisions which remove the 45 degree angular plane requirement.

All MCR-zoned properties north of Davisville Avenue are subject to prevailing section 12(2) 119 of By-law 438-86. This establishes a 60 degree angular plane requirement measured from a lot line adjacent to a Residential District under By-law 438-86 or a public street.

Approximately 38 per cent (15,106 square metres) of the Davisville Yard site must consist of landscaped open space at grade, and another 5,323 square metres must be provided above grade. Step-back and separation distances are also required. Step-back requirements apply at 1815 Yonge Street.

5.4.3. D3 – Mount Pleasant Station

The Mount Pleasant Station Character Area includes 68 properties around the intersection of Mount Pleasant Avenue and Eglinton Avenue East, which is the site of the future Mount Pleasant LRT station. These properties fall within ten zone labels. All but one property is subject to By-law 569-2013 and all properties are subject to exceptions.

**Permitted Uses**

Most properties (58) are zoned Commercial Residential (CR) under By-law 569-2013. Another nine properties are zoned Residential (R) under By-law 569-2013. The remaining property is zoned R4 under By-law 438-86.

A number of exceptions apply to properties in this area and further regulate permitted uses. All properties, except for 808 Mount Pleasant Road and 226 Soudan Avenue, are subject to prevailing by-law section 12(2) 118 of 438-86, which limits certain non-residential uses in order to protect residential character.

All CR-zoned properties are subject to prevailing section 12(2) 270(a) of By-law 438-86, which limits the size of retail and service shops. Most CR-zoned properties south of Eglinton Avenue East are also subject to prevailing section 12(2) 227, which limits the size of restaurants and clubs subject to conditions.

A site specific provision applies to 245 Eglinton Avenue East and regulates conditions for nursing homes, retirement homes and religious residences. The following sites are also subject to prevailing by-laws that affect permitted uses:

- A hotel and surface parking lot is permitted at 808 Mount Pleasant Road
- A seniors residential building with nursing care facilities, retail and below grade parking garage are permitted at 226 Soudan Avenue and 700 to 730 Mount Pleasant Road
- Seniors citizens housing, retail and service shops are permitted at 801 to 803 Mount Pleasant Road

Height

The tallest permitted building heights in the Mount Pleasant Station Character Area are found in the CR-zoned properties at the northwest corner of Eglinton Avenue East and Mount Pleasant Road, where the Height Overlay Map of By-law 569-2013 permits a maximum height of 48 metres (approximately 16 storeys).

The lowest maximum permitted heights are found on the R-zoned properties near Roehampton Avenue and Mount Pleasant Road, and on Eglinton Avenue East, east of Mount Pleasant Road. The Height Overlay Map of By-law 569-2013 permits maximum building heights of nine metres (approximately three storeys) for these areas.

The R4-zoned property at 223 Eglinton Avenue East has a maximum permitted height of 14 metres (approximately four to five storeys) based on the height map of By-law 438-86. Most other CR-zoned properties have a maximum permitted height of 16 metres regulated through the height Overlay Map of By-law 569-2013, or maximum building heights are regulated through prevailing by-laws. Table 27 summarizes the heights regulated by prevailing by-laws.

The properties zoned CR under By-law 569-2013 in this Character Area are subject to Policy Area 3 or 4 based on the Policy Overlay Map, both of which apply a minimum building height of 10.5 metres and three storeys.

Table 27: Site-specific Front Lot Line Setbacks in the Mount Pleasant Station Character Area

Address	Maximum Permitted Height (metres)	Storeys
700 to 730 Mount Pleasant Road	36.4*, 28.8	12, 10
801 to 803 Mount Pleasant Road	36	12
245 Eglinton Avenue East	25.5	8
226 Soudan Avenue	10.3*	3*

\* denotes existing building heights in an infill context

Density

The areas of greatest permitted density are found on the CR-zoned properties on the northwest corner of Bayview Avenue and Eglinton Avenue East, where the zone label in By-law 569-2013 permits an FSI of 5.0.

The R-zoned property at 226 Soudan Avenue has the lowest permitted density based on a prevailing by-law. This by-law permits a maximum GFA of 400 square metres (approximately 0.8 FSI), reflecting the existing detached residential building.

Other R-zoned properties have maximum permitted densities ranging from 1.0 to 2.0 FSI, regulated through the zone labels in By-law 569-2013. The R4 zoned property also has a maximum FSI of 1.0, regulated through the zone label in By-law 438-86.

Most of the remaining CR-zoned properties have a maximum permitted density of 3.0 FSI, regulated through the zone label in By-law 569-2013 unless there are exceptions. Several properties are subject to prevailing by-laws that further regulate density, and are summarized in Table 28.

Table 28: Densities Regulated Through Prevailing By-laws in the Mount Pleasant Station Character Area

Address	Maximum Permitted GFA (square metres)	FSI
700 to 730 Mount Pleasant Road	16,350	4.8
801 to 803 Mount Pleasant Road	Not specified	4.8*
808 Mount Pleasant Road	7,624	3.3
245 Eglinton Avenue East	12,964.5	2.7
226 Soudan Avenue	400**	0.8

\* Notes where FSI is stated in the by-law rather than an estimated based on approximate site area  
\*\* Notes where maximum permitted GFA applies solely for an existing building



Setbacks at Grade

For residentially-zoned properties, the minimum required front yard setback is generally established based on the existing setbacks of adjacent residentially-zoned lots. Existing setbacks for R-zoned properties are approximately four metres along Roehampton Avenue and Mount Pleasant Road. By-law 569-2013’s SS2 standards regulate front, rear and side yard setback for all CR-zoned properties; however, exceptions often modify these setback requirements.

All properties are subject to prevailing section 12(2) 119 of By-law 438-86, which modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86.

Several CR-zoned properties at the northwest corner of Mount Pleasant Road and Eglinton Avenue East are also subject to a site specific provision which further reduces required setbacks from residential zones. This provisions reduces rear setback requirements to three metres where adjacent to a Residential Zone, and to zero metres where adjacent to any other zone. The CR-zoned property at 245 Eglinton Avenue East is subject to site specific provision brought forward through Eglinton Connects which modifies setback requirements along Eglinton Avenue. Several prevailing by-laws associated with development applications also apply in this area. Detailed setback requirements are summarized in Table 29.



Mixed use residential development on Bayview Avenue

Table 29: Site-specific Front Lot Line Setbacks in the Mount Pleasant Station Character Area

Address	Required Front Lot Line Setbacks (metres)*
700 to 730 Mount Pleasant Road	0
801 to 803 Mount Pleasant Road	3.06
808 Mount Pleasant Road	0
245 Eglinton Avenue East	0
226 Soudan Avenue	6(e) to 8.2(e)

*\*(e) denotes existing building setbacks in an infill context.*

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. Principal building requirements under the R zone regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

A number of exceptions apply which further regulate performance standards. For the CR-zoned properties at 745, 693 to 759, and 801 to 803 Mount Pleasant Road and 252 to 262 Soudan Avenue, prevailing section 12(2) 119 of By-law 438-86 applies. This section modifies the angular plane requirements for these sites to a 60 degree angular plane measured from a lot line adjacent to a Residential District under By-law 438-86 or a public street.

The CR-zoned properties at 250 to 258 Eglinton Avenue East and 794 to 808 Mount Pleasant Road are subject to a site specific provision that removes the 45 degree angular plane requirement established under By-law 569-2013. At 245 Eglinton Avenue East, a site specific provision enacted through the Eglinton Connects study requires a 1.5 metre step-back above a height of 13.5 metres along Eglinton Avenue East.

A prevailing by-law at 700 to 730 Mount Pleasant Road includes detailed step-back requirements. The same by-law applies to 226 Soudan Avenue and requires that 28 per cent of this lot be landscaped open space.

D4 – Bayview Focus Area

The Bayview Focus Area includes approximately 70 properties around the intersection of Bayview Avenue and Eglinton Avenue East. These properties fall within 14 zone labels. Most properties are regulated by By-law 569-2013. Five properties are regulated by the Former North York Zoning By-law 7625. There are 22 properties that are not subject to exceptions.

There is one active development at 660 Eglinton Avenue East approved through a 2016 LPAT decision. However, zoning by-laws have not been finalized for this application. Chapter 3 provides more information on development activity.

Permitted Uses

More than half of all properties (39) fall within a Residential Zone Category under By-law 569-2013 (Residential Detached (RD), Residential (R)

or Residential Multiple Dwelling (RM)). Another 26 properties are zoned Commercial Residential (CR) under By-law 569-2013. The five remaining properties are zoned General Commercial (C1) under North York Zoning By-law 7625.

A number of exceptions apply to properties in this area and further regulate permitted uses. Most residential properties, except for seven properties on the east side of Bayview Avenue between Broadway Avenue and Craig Crescent, are subject to prevailing section 12(2) 118 of By-law 438-86. All CR-zoned properties, except for 1787 Bayview Avenue and 2 to 26 Glazebrook Avenue, are subject to prevailing by-law sections 12(2) 118 and 12(2) 270(a) of 438-86. These prevailing sections limit certain non-residential uses in order to protect residential character and limit the size of retail and service shops respectively.

Site specific provisions allow office uses at 589 to 597 Eglinton Avenue East and 65 to 67 Mann Avenue. A prevailing by-law on the R-zoned properties at 595 Eglinton Ave and 1750 to 1752 Bayview Avenue permits a mixed use building with residential units, retail and services shops, and office uses.

Prevailing by-law section 64.23(46) of By-law 7625 applies to 1840 Bayview Avenue, which permits only automobile-related uses, including repair shops, and gas stations and accessory uses. The C1-zoned properties at 1860 to 1870 Bayview Avenue and 396 Broadway Avenue are also subject to Exception 64.23 C1 (134) of By-law 7625, which permits car dealerships and repair shops.

Height

The tallest and the lowest permitted maximum building heights are found on the CR-zoned properties at the northeast corner of Bayview Avenue and Eglinton Avenue East, where prevailing by-law section 6.11.1 of the former Town of Leaside Zoning By-law 1916 applies. A maximum height of nine storeys (approximately 27 metres) applies to a portion of the site. One storey buildings are permitted on the balance of the site.



Most residentially-zoned properties have maximum permitted heights established through the Height Overlay Map in By-law 569-2013. RD-zoned properties have permitted heights ranging from 8.5 to 10 metres (approximately two to three storeys). R-zoned properties on Roehampton Avenue have a maximum permitted height of nine metres (approximately three storeys), and 18 metres (approximately six storeys) on Eglinton Avenue East. RM-zoned properties at 1833 to 1835 Bayview Avenue have a maximum permitted height of 16 metres (approximately five storeys).

Maximum heights for most CR-zoned properties are also established through the Height Overlay Map. Most CR-zoned properties along Bayview Avenue and Eglinton Avenue East have a maximum permitted height of 18 metres (approximately six storeys), except for 1787 Bayview Avenue which has a maximum permitted height of 12.2 metres (approximately four storeys). CR-zoned properties along Glazebrook Avenue have a maximum permitted height of 10.5 metres or three storeys.

There are a number of exceptions which establish supersede these maximum heights for specific sites. A summary of the heights regulated by prevailing by-laws is included in Table 30.

Density

The greatest permitted total density is found on the R-zoned properties at the southwest corner of Bayview Avenue and Eglinton Avenue East (595 to 607 Eglinton Avenue East and 1750 to 1752 Bayview Avenue), where a prevailing by-law permits maximum total gross floor area (GFA) of 9,206 square metres (approximately 4.8 FSI).

The lowest permitted maximum densities are found on the R-zoned properties along Roehampton Avenue, and RD-zoned properties on the east side of Bayview Avenue. These properties have a maximum density of 0.6 FSI based on the zone label in By-law 569-2013.

Table 30: Maximum Heights Regulated through Prevailing By-laws in the Bayview Focus Character Area

Address	Maximum Permitted Height (metres)	Storeys
660 Eglinton Avenue East and 1801 Bayview Avenue***	27, 3	9, 1
595 to 607 Eglinton Avenue East and 1750 to 1752 Bayview Avenue	25.3, 11**	7*, 3**
1860 to 1870 Bayview Avenue and 396 Broadway Avenue	17	2*

\* Instance where maximum height in storeys is included in the zoning by-law, rather than approximated based on an average of 3 metres per storey.  
\*\* denotes existing building heights in an infill context  
\*\*\* Notes addresses where maximum height in metres are estimated based on three metres per storey

Maximum density in this Character Area is largely regulated through the zone label in By-law 569-2013 as follows:

- 2.5 FSI for most CR-zoned properties north of Eglinton Avenue East and west of Bayview Avenue
- 2.2 FSI at 1787 Bayview Avenue
- 2.0 FSI at 589 to 597 Eglinton Avenue East
- 1.25 FSI at 1833 to 1835 Bayview Avenue
- 1.1 FSI for properties fronting Glazebrook Avenue
- 1.0 FSI at 1840 Bayview Avenue

Exceptions regulate maximum densities for the remaining properties, and are summarized in Table 31.

Table 31: Densities Regulated through Prevailing By-laws in the Bayview Focus Character Area

Address	Maximum Permitted GFA (square metres)	FSI
595 to 607 Eglinton Avenue East and 1750 to 1752 Bayview Avenue*	9,206	4.8
1860 to 1870 Bayview Avenue and 396 Broadway Avenue	6,840	1.4
660 Eglinton Avenue East and 1801 Bayview Avenue	13,750	1.2

\* Maximum GFA only applies to new infill building, although FSI includes full site

Setbacks at Grade

The minimum required front yard setback for residentially-zoned properties is generally established based on the existing setbacks of adjacent residentially-zoned lots. Existing setbacks for residentially-zoned properties ranges from 1.5 to 8.5 metres along Bayview Avenue, from zero to 5.8 metres along Eglinton Avenue East, and from 5.5 to eight metres along Roehampton Avenue. All CR-zoned properties are subject to Development Standard Set 2 (SS2) under By-law 569-2013 which regulates front, rear and side yard setbacks.

There are a number of applicable exceptions which modify the standard setback requirements described above. Most properties, except for properties on Glazebrook Avenue and 1787, 1801, 1833 to 1845 and 1980 Bayview Avenue, are subject to prevailing section 12(2) 119 of By-law 438-86. This section modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks for CR and MCR zoned lots to 6.1 metres where abutting a Residential District under By-law 438-86. Prevailing by-law section

64.23(46) of By-law 7625 reduces side yard setback requirements at 1840 Bayview Avenue.

Several prevailing by-laws associated with development applications apply in this area, which contain specific requirements for front, side and rear yard setbacks. Table 32 summarizes the setback requirements.

Table 32: Site-specific Front Lot Line Setbacks in the Bayview Focus Character Area

Address	Required Front Lot Line Setbacks (metres)
660 Eglinton Avenue East	Approx. 25
1801 Bayview Avenue	1.2 to 5
595 to 601 Eglinton Avenue East	0 to approx. 7*
1750 to 1752 Bayview Avenue	0 to 1
1860 to 1870 Bayview Avenue	1
396 Broadway Avenue	2

\* denotes existing building setbacks in an infill context.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements under By-law 569-2013 include minimum lot area and lot frontage. Principal building requirements under the R zone regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for the R zone.



For RD and RM-zoned properties, lot requirements under By-law 569-2013 include minimum lot area, lot frontage and lot coverage. For the RD zone properties, the zone label establishes minimum lot frontage of 12 metres and minimum lot area of 370 square metres, and the Lot Coverage Overlay Map establishes maximum lot coverage of 35 per cent. For the RM zone properties, the zone label establishes minimum lot frontage of 30 metres and minimum lot area of 930 square metres, and the Lot Coverage Overlay Map establishes maximum lot coverage of 30 per cent. Principal building requirements under the RD zone do not regulate separation distance, minimum landscaping, or angular plane requirements. Separation distances between buildings wall is regulated for the RM zone, but landscaping and angular plane is not.

For CR-zoned properties, lot requirements under By-law 569-2013 include minimum lot frontage and maximum lot coverage. The Lot Coverage Overlay Map applies a maximum lot coverage of 33 percent to 2 to 28 Glazebrook Avenue. All CR-zoned properties under By-law 569-2013 in

this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

- A number of exceptions apply in this area which modify the performance standards described above. Maximum lot coverage for 1860 to 1870 Bayview is increased to 93 percent by Exception C1 (134) of North York Zoning By-law 7625.

The CR-zoned properties northwest of Eglinton Avenue East and Bayview Avenue up to the south side of Glazebrook Avenue are subject to prevailing by-law section 12(2) 119 of 438-86. This section establishes a 60 degree angular plane requirement for these properties measured from lot lines adjacent to residential properties and public streets.

A number of prevailing by-laws associated with specific developments establish detailed performance standards, which are summarized in Table 33.

Table 33: Other Performance Standards Regulated through Prevailing By-laws in the Bayview Focus Character Area

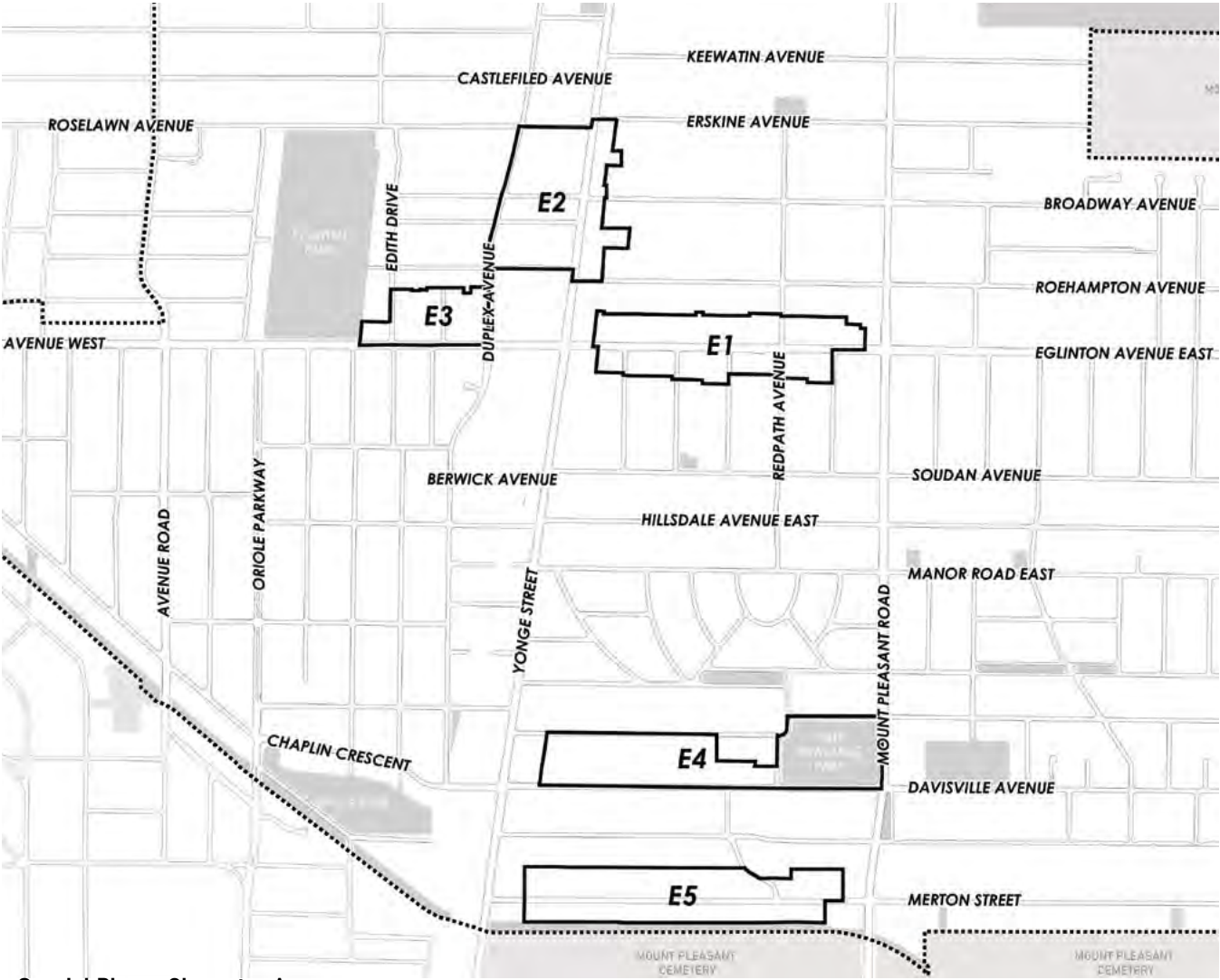
Address	Step-backs	Separation Distance*	Other
660 Eglinton Avenue East and 1801 Bayview Avenue	Yes	Yes	
595 to 601 Eglinton Avenue East and 1750 to 1752 Bayview Avenue	Yes		
1860 to 1870 Bayview Avenue and 396 Broadway Avenue			Maximum lot coverage 93 percent

\*Separation distances are interred by detailed step-back requirements. Where precise distances are shown in zoning by-law, these are reflected in the table.

5.5 Midtown Special Places (E)

The Midtown Special Places are important office, institutional or civic destinations in Midtown. These are distinctive places in Midtown. The Yonge-Eglinton Secondary Plan recognizes that the form and scale of development within Midtown Special Places will vary dramatically from other Character Areas. Landscaped settings with setbacks are key characteristic of the majority of these Character Areas. The Midtown Special Places Character Areas, include:

- E1 – Eglinton Green Line
- E2 – Montgomery Square
- E3 – Henning
- E4 – Davisville Community Street
- E5 – Merton Street



Special Places Character Areas



5.5.1. E1 – Eglinton Green Line

The Eglinton Green Line Character Area includes approximately 84 properties, generally located along Eglinton Avenue East between Yonge Street and Mount Pleasant Road. Most properties are subject to By-law 569-2013, and all properties are subject to exceptions.

There is one active development application at 55 Eglinton Avenue East that has been approved by the LPAT in 2019. However, zoning by-laws have not been finalized for this application. More information on development activity is provided in Chapter 3.

Permitted Uses

Most properties (59) are zoned Commercial Residential (CR) under By-law 569-2013. Another eight properties are zoned CR under By-law 438-86. The remaining properties are zoned for residential purposes, of which 16 are zoned RA under By-law 438-86 and one is zoned R under By-law 569-2013.

All properties are subject to prevailing section 12(2) 118 of By-law 438-86, which limits certain non-residential uses in order to protect residential character. All CR-zoned properties are subject to prevailing section 12(2) 270, which limits the size of retail and service shops. A site specific provision prohibits nightclubs on a number of CR-zoned properties on either side of Eglinton Avenue East nearest to Yonge Street.

Height

The tallest permitted building heights are found on the CR-zoned properties at 150 Eglinton Avenue East, where a site specific provisions permits height of 167.3 metres, or 46 storeys. The lowest maximum heights are found at 40 to 46 Eglinton Avenue East where a prevailing by-law permits height of 31.7 metres (approximately ten storeys).



Most CR-zoned properties have a maximum permitted height of 48 metres (approximately 16 storeys) based on the Height Overlay Map in By-law 569-2013. Several CR-zoned properties nearest Yonge Street have maximum permitted heights of 61 metres (approximately 20 storeys) also based on the Height Overlay Map. The remaining properties are subject to prevailing by-laws that establish specific heights. Table 34 summarizes the maximum permitted heights for these properties.

The properties zoned CR under By-law 569-2013 in this Character Area are subject to Policy Area 2 based on the Policy Overlay Map, which applies a minimum building height of 10.5 metres and three storeys.

Table 34: Maximum Heights Regulated through Prevailing By-laws in the Eglinton Green Line Character Area

Address	Maximum Permitted Height (metres)	Storeys
150 Eglinton Avenue East	167.3	46*
161 to 175 Eglinton Avenue East and 115 to 125 Redpath Avenue	107.5	29
79 to 89 Dunfield Avenue, 85 to 117 Eglinton Avenue East, and 98 to 108 Lillian	105.5, 95.8	29*, 26*
123 Eglinton Avenue East	54	17
130 Eglinton Avenue East	39.6	15*
40 to 46 Eglinton Avenue East	31.69	10

\* Instance where maximum height in storeys is included in the zoning by-law, rather than approximated based on an average of 3 metres per storey.

Density

The greatest permitted total density is found on the CR-zoned property at 150 Eglinton Avenue East where a site specific provision permits total GFA of 45,910 square metres (approximately 15.25 FSI). The lowest permitted maximum density is found at 43 Eglinton Avenue East, which allows a density of 4.0 FSI based on a site specific provision. However, this site specific provision also allows a building with office uses to exceed this maximum density of 4.0 FSI.

Most of the CR-zoned properties have a maximum density of 5.0 FSI based on the By-law 569-2013 zone label. The remaining properties are subject to prevailing by-laws that establish maximum permitted density. At 130 Eglinton Avenue East, maximum density for non-residential uses is regulated through maximum GFA (840 square metres) and for residential uses through maximum number of dwelling units (266). All prevailing by-laws regulate density through total maximum gross floor area. These are summarized in the Table 35.

Table 35: Densities Regulated through Prevailing By-laws in the Eglinton Green Line Character Area

Address	Maximum Permitted GFA (square metres)	FSI
150 Eglinton Avenue East	45,910	15.25
161 to 175 Eglinton Avenue East and 115 to 125 Redpath Avenue	29,602	13.2
79 to 89 Dunfield Avenue, 85 to 117 Eglinton Avenue East, and 98 to 108 Lillian	55,000	10
123 Eglinton Avenue East	21,620	5.6
40 to 46 Eglinton Avenue East	10,416	5



Setbacks at Grade

All CR-zoned properties are subject to Development Standard Set 2 (SS2), which establishes front, rear and side yard setbacks requirements. However, most properties are subject to exceptions which modify these standard setback requirements.

Prevailing section 12(2) 119 of By-law 438-86 applies to all properties in this Character Area, and modifies setback requirements depending on location and the underlying zoning based on By-law 438-86. For all properties with an underlying CR or MCR zoning based on 438-86, a minimum setback of 6.1 metres is required from any Residential District under By-law 438-86. A general setback requirement of between 0.15 to 1.5 metres applies to most mixed-used and non-residential buildings. This requirement does not apply to certain portions of Eglinton Avenue East, where a setback of 1.5 to five metres is required, or to properties fronting onto Holly Street where the minimum setback is 6.1 metres.

Most CR zone properties are also subject to a site specific provision which reduces minimum rear yard setbacks to three meters where adjacent to a Residential Zone Category under By-law 569-2013 or zero metres where adjacent to any other zone. This only applies to CR-zoned lots which have permitted building heights greater than the width of the abutting street.

The remaining properties are subject to exceptions which establish specific setback requirements. Along Eglinton Avenue East, setbacks generally range from zero to 12 metres on the north side, and from zero to 6.3 metres on south side.

Several prevailing by-laws associated with development applications apply in this area with specific requirements for front, side and rear yard setbacks. Detailed setback requirements are summarized in the Table 36. The 12 metre setback at 150 Eglinton Avenue reflects the Eglinton Green Line Public Realm Move, which is envisioned in the Secondary Plan to extend along the north side of Eglinton Avenue from Eglinton Park to Mount Pleasant Road.

Table 36: Site-specific Front Lot Line Setbacks in the Eglinton Green Line Character Area

Address	Required Front Lot Line Setbacks (metres)
85 to 117 Eglinton Avenue East	0 to 1.1
123 Eglinton Avenue East	6.3
130 Eglinton Avenue East	0 to 9.1
161 to 175 Eglinton Avenue East	0.8
150 Eglinton Avenue East	12
115 to 125 Redpath Avenue	0.3 to 3.0
79 to 89 Dunfield Avenue	1.6 to 3.1
98 to 108 Lillian Street	0 to 1.1

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

Most CR-zoned properties, except 150 Eglinton Avenue East, are subject to a common site specific provision which removes the angular plane requirements established under SS2 for any properties with permitted heights that are greater than the width of the abutting street.

All properties subject to prevailing by-laws have step-back requirements, except 40 to 46 and 130 Eglinton Avenue East. The prevailing by-law for 130 Eglinton Avenue East also includes minimum landscaping requirements illustrated in a diagram.

E2 – Montgomery Square

The Montgomery Square Character Area includes approximately 156 properties, generally located north of Orchard View Boulevard, east of Duplex Avenue, south of Roselawn Avenue and including properties on the east side of Yonge Street. These properties fall under ten zone labels. Most properties are subject to By-law 569-2013, and all properties are subject to exceptions.

Permitted Uses

A total of 72 properties are zoned Commercial Residential (CR) under By-law 569-2013. Another 28 properties near Helendale Avenue are zoned MCR under By-law 438-86. A portion of the MCR-zoned properties at 2384-2388 Yonge Street are zoned G under By-law 438-86, reflecting parkland dedication. The remaining properties are zoned Residential, including 51 properties zoned R under By-law 569-2013, and four properties zoned R2 under By-law 438-86. Generally, the residentially-zoned properties are found along the western edges of the Character Area while the commercially-zoned properties are concentrated along Yonge Street.

All properties are subject to prevailing section 12(2) 118 of By-law 438-86, which limits certain non-residential uses in order to protect residential character. All CR and MCR-zoned properties are subject to prevailing section 12(2) 270(a), which limits the size of retail and service shops. There are also some site specific provisions and prevailing by-laws that further regulate permitted uses as follows:

- Vehicle dealerships or service shops are permitted at 2391 to 2405 and 2400 Yonge Street, provided these uses do not include the sale or maintenance of motorcycles

- Uses involving the selling or servicing of motorcycles are prohibited at 2391 to 2405 Yonge Street
- certain retail uses are permitted at 2384 to 2388 Yonge Street, including open air markets, and community-related uses are permitted in the G-zoned portion of the site
- Certain non-residential uses are permitted at 2360 to 2372 Yonge Street and 31 to 37 Helendale Avenue
- Retail uses are limited to the first floor at 2345 Yonge Street
- A public library, office and retail uses and parking garage are permitted at 40 Orchard View Boulevard (Northern District Toronto Public Library), with some limits on the size of some non-residential uses

Height

The tallest permitted building heights are found at 2360 to 2372 Yonge Street and 31 to 37 Helendale Avenue, where a prevailing by-law permits heights of 94 metres (approximately 29 storeys). The lowest maximum permitted heights are found on the portions of the R-zoned area closest to Duplex Avenue, where the Height Overlay Map in By-law 569-2013 permits a maximum height of nine metres (approximately three storeys).

Most properties have maximum permitted height established in the Height Overlay Map in By-law 569-2013. CR-zoned properties have a maximum height of 16 metres (approximately five storeys), while R-zoned properties have a maximum height of 14 metres (approximately four storeys).

The remaining properties are subject to prevailing by-laws that establish specific heights, and are summarized in Table 37.

The properties zoned CR under By-law 569-2013 in this Character Area are subject to Policy Area 2 or 3 based on the Policy Overlay Map, both of which apply a minimum building height of 10.5 metres and three storeys.



Table 37: Maximum Heights Regulated through Prevailing By-laws in the Montgomery Square Character Area

Address	Maximum Permitted Height (metres)	Storeys
2360 to 2372 Yonge Street and 31 to 37 Helendale Avenue	94	29
2384 to 2388 Yonge Street and 31 Montgomery Avenue	79.9	27
58 to 68 Orchard View Boulevard and 439 to 445 Duplex Avenue	60.2	20
38 and 40 Orchard View Boulevard	53	18
2345 Yonge Street	37.5, 32	12, 10
2346 Yonge Street	24.9	8

\* Instance where maximum height in storeys is included in the zoning by-law, rather than approximated based on an average of 3 metres per storey.

Density

The greatest permitted density is found on 2360 to 2372 Yonge Street and 31 to 37 Helendale Avenue, where a prevailing by-law permits maximum total GFA of 33,170 square metres (approximately 10.9 FSI). Also of note is 58 Orchard View Boulevard where a prevailing by-law permits a total residential GFA of 15,000 square metres (approximately 10 FSI).

The lowest permitted maximum density is found on most R-zoned properties, which have a maximum permitted density of 1.0 FSI based on the By-law 569-2013 zone label. Most CR-zoned properties have a maximum permitted density of 3.0 FSI, based on the By-law 569-2013 zone label. Table 38 summarizes maximum permitted densities for specific properties established through prevailing by-laws.

Table 38: Densities Regulated through Prevailing By-laws in the Montgomery Square Character Area

Address	Maximum Permitted GFA (square metres)	FSI
2360 to 2372 Yonge Street and 31 to 37 Helendale Avenue	33,170	10.9
58 to 68 Orchard View Boulevard and 439 to 445 Duplex Avenue	15,000	10
2384 to 2388 Yonge Street and 31 Montgomery Avenue	20,600	7.2
2346 Yonge Street	5,163	4.0
2345 Yonge Street	22,275	3.2

At 38 and 40 Orchard View Boulevard, a prevailing by-law permits a total GFA of 7,943 square metres (approximately 1.3 FSI). Another prevailing by-law permits an addition but does not regulate maximum GFA of this addition.

Setbacks at Grade

By-law 569-2013’s SS2 standards regulate front, rear and side yard setbacks for all CR-zoned properties. For properties zoned MCR under By-law 438-86, setbacks are regulated by the general provisions in Part II – Setbacks of this by-law. Chapter 4 provides detail on the standard setback requirements under By-laws 569-2013 and 438-86.

For residentially-zoned properties, the minimum required front yard setback is generally established based on the existing setbacks of adjacent residentially-zoned lots. Existing setbacks range from zero to 4.5 metres on Helendale Avenue, from zero to 4.2 metres on Montgomery Avenue, and from 5.8 to 7.8 metres on Roselawn Avenue.

Several properties are subject to exceptions which modify the setback requirements described above. All properties are subject to prevailing section 12(2) 119 of By-law 438-86, which modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks from a Residential District under By-law 438-86 to 6.1 metres.

Setback requirements are further regulated for certain properties through site specific provisions and prevailing by-laws. Setbacks along Yonge Street range from 0.15 to 8.8 metres on the west side and 0.15 to 9.1 metres on the east side. Larger setbacks typically reflect a park dedication or plaza requirement, which aligns with the Yonge Street Squares, a key public realm move in the Secondary Plan. Detailed setback requirements are listed in Table 39.

Table 39: Site-specific Front Lot Line Setbacks in the Montgomery Square Character Area

Address	Required Front Lot Line Setbacks (metres)
2345 Yonge Street	2.4 to 9.1
2346 Yonge Street	0.15 to 1.5
2360 to 2372 Yonge Street	1.5
2384 to 2388 Yonge Street	8.8
31 to 37 Helendale Avenue	3 to 6
38 and 40 Orchard View Boulevard	4.5
58 to 68 Orchard View Boulevard	0.7
439 to 445 Duplex Avenue	0.4
31 Montgomery Avenue	1.5

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. Principal building requirements under the R zone regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

All properties are subject to prevailing section 12(2) 119 of By-law 438-86. For the CR-zoned properties, this section modifies the angular plane requirements for these sites to a 60 degree angular plane measured from a lot line adjacent to a Residential District under By-law 438-86 or a public street. For properties fronting Helendale Avenue, this section establishes a 30 degree angular plane requirement measured from the south street line on Helendale Avenue.

There are also several prevailing by-laws applicable to this area that modify performance standards, which are summarized in Table 40.



Table 40: Other Performance Standards Regulated through Prevailing By-laws in the Montgomery Square Character Area

Address	Step-backs	Separation Distance*	Minimum Landscaping
2360 to 2372 Yonge Street and 31 to 37 Helendale Avenue	Yes		
58 to 68 Orchard View Boulevard and 439 to 445 Duplex Avenue	Yes		
38 and 40 Orchard View Boulevard			Yes – shown in diagram
2346 Yonge Street	Yes		
2345 Yonge Street	Yes	19.8 metres	Yes – shown in diagram
2384 to 2388 Yonge Street and 31 Montgomery Avenue	Yes		

\*Separation distances are often inferred by detailed set-back requirements. Where precise separation distances are articulated in zoning by-law, these are reflected in the table.

5.5.2. E3 – Henning

The Henning Character Area includes approximately 53 properties, generally located north of Eglinton Avenue West, between Duplex Avenue and Eglinton Park. These properties fall under six zone labels. All properties are subject to By-law 569-2013 and to exceptions.

There is one active development application at 50 to 60 Eglinton Avenue West approved by the LPAT in 2019. Zoning by-laws for this application have not been finalized. Chapter 3 provides more information on development activity.

Permitted Uses

The majority of properties (43) are zoned Residential (R) under By-law 569-2013. The remaining properties (ten) are zoned Commercial Residential (CR) under By-law 569-2013 and are concentrated along Eglinton Avenue West.

There are several prevailing sections of By-law 438-86 that apply in this area and regulate permitted use. All properties are subject to prevailing by-law section 12(2) 118 of 438-86, which limits certain non-residential uses in order to protect residential character. CR-zoned properties are subject to

section 12(2) 270(a), which limits the size of retail and service shops. R-zoned properties along Henning Avenue are subject to section 12(2) 32, which prohibits parking stations and parking areas.

At 88 to 90 Eglinton Avenue West and 17 to 19 Henning Avenue, a site specific provision applies a holding symbol, which limits use to those purposes existing on the site as of 2016 until the ‘h’ symbol has been removed.



Height

The tallest permitted building height in this Character Area is found on the CR-zoned properties at 88 to 90 Eglinton Avenue West and 17 to 19 Henning Avenue, where a site specific provision permits heights of 86.8 metres or 24 storeys. The lowest permitted maximum height is nine metres (approximately three storeys), which applies to R-zoned properties based on the Height Overlay Map in By-law 569-2013.

Other CR-zoned properties are also subject to site specific provisions brought forward through Eglinton Connects. At 50 to 60 Eglinton Avenue West, maximum permitted height is 25.5 metres (approximately 8 storeys), and at 110 to 124 Eglinton Avenue West, maximum permitted height is 22.5 metres (approximately 7 to 8 storeys). The remaining CR-zoned properties have a maximum permitted height of 15 metres through the Height Overlay Map in By-law 569-2013.

The properties zoned CR under By-law 569-2013 in this Character Area are subject to Policy Area 3 based on the Policy Overlay Map, which applies a minimum building height of 10.5 metres and three storeys.

Density

Several CR-zoned properties are not subject to specific maximum density provisions. Density is instead controlled through maximum permitted height and performance standards such as setbacks and angular plane requirements in By-law 569-2013.

Of the properties that do have specific density regulations, the greatest permitted maximum density is found at 88 to 90 Eglinton Avenue West and 17 to 19 Henning Avenue, where a site specific provision permits total gross floor area (GFA) of 19,440 square metres (approximately 8.7 FSI).

The lowest permitted maximum density is found on the R-zoned properties, where a maximum density of 0.6 FSI is permitted based on the By-law

569-2013 zone label. The remaining CR-zoned properties have permitted density of 3.0 FSI, also based on the zone label.

Setbacks at Grade

For residentially-zoned properties, the minimum required front yard setback is generally established based on the existing setbacks of adjacent residentially-zoned lots. Existing setbacks range from 1.3 to three metres on Henning Avenue, from 1.5 to 5.2 metres on Duplex Avenue and are generally 1.8 metres on Edith Avenue.

All CR-zoned properties are subject to Development Standard Set 2 (SS2) under By-law 569-2013 which regulates front, rear and side yard setbacks. A number of exceptions apply in this area which modify standard setback requirements.

All properties are subject to prevailing section 12(2) 119 of By-law 438-86, which modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks from a Residential District under By-law 438-86 to 6.1 metres.

At 50 to 60 Eglinton Avenue West and 110 to 124 Eglinton Avenue West, a site specific provision brought forward as part of Eglinton Connects further modifies minimum setback requirements along Eglinton Avenue.

A site specific provision also applies to 88 to 90 Eglinton Avenue West and 17 to 19 Henning Avenue, which requires a two metre setback along Eglinton Avenue West and along Henning Avenue.

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage.



Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. Principal building requirements under the R zone regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

A site specific provision enacted through the Eglinton Connects study applies to 50 to 60 and 110 to 124 Eglinton Avenue West. This requires a 1.5 metre step-back above a height of 13.5 metres. The prevailing by-law for 80 to 90 Eglinton Avenue West and 17 to 19 Henning Avenue requires step-backs associated with a specific development.



June Rowlands Park

5.5.3. E4 – Davisville Community Street

The Davisville Community Street Character Area includes approximately 38 properties, located north of Davisville Avenue and south of Millwood Road, generally between Yonge Street and Mount Pleasant Road. These properties fall under three zone labels. All but two properties are subject to By-law 569-2013. All properties but 220 Davisville Avenue, the site of June Rowlands Park, are subject to exceptions.

Permitted Uses

Most properties are zoned Residential (R) under By-law 569-2013. Two properties at 41 to 43 Millwood Road are zoned R2 under By-law 438-86, and are currently under redevelopment by the TDSB to accommodate the new Davisville Junior Public School. The remaining property at 220 Davisville Avenue, the site of June Rowlands Park, is zoned Open Space Recreation (OR) under By-law 569-2013.

All properties except 220 Davisville Avenue are subject to prevailing sections 12(2) 63 and 118 of By-law 438-86. These prohibit apartment buildings and limit dwelling units and row houses, and limits certain non-residential uses in order to protect residential character. A site specific provision permits a retirement home at 84 Davisville Avenue.

Height

All properties in this Character Area have a maximum permitted height of nine metres (approximately three storeys) based on the Height Overlay Map in By-law 569-2013.

Density

All properties, except 220 Davisville Avenue, have a maximum permitted density of 0.6 FSI based on the zone labels in By-laws 569-2013 and 438-86.

Setbacks at Grade

For residentially-zoned properties, the minimum required front yard setback is generally established based on the existing setbacks of adjacent residentially-zoned lots. Existing setbacks along the north side of Davisville Avenue range from 1.5 to 20 metres. Existing setbacks along the south side of Millwood Avenue range from 1.8 to 12.5 metres.

All properties, except 220 Davisville Avenue, are subject to prevailing section 12(2) 119 of By-law 438-86 which modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres. A site specific provision applies to 84 Davisville Avenue, which requires a minimum rear yard setback of 30 metres.

Setbacks of three metres on the north side and of five metres on the south side of Davisville Avenue align with the Davisville Community Street, a key public realm move in the Secondary Plan

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For R-zoned properties, lot requirements include minimum lot area and lot frontage. Principal building requirements under the R zone regulate a number of matters such as minimum separation distances of building walls and minimum landscaping requirements. Angular plane requirements are not specifically regulated under the principal building requirements for this Zone.

5.5.4. E5 – Merton Street

The Merton Street Character Area includes approximately 75 properties, generally located on either side of Merton Street between Yonge Street and Mount Pleasant Road. These properties fall under four zone labels. All but one property are regulated under By-law 569-2013. All properties are subject to exceptions.

There has been significant development activity in this Character Area, resulting in many site specific provisions and prevailing by-laws. Chapter 3 summarizes current development activity.

Permitted Uses

Almost all properties are zoned as CR under By-law 569-2013, with property at 68 Merton Street zoned CR under By-law 438-86. All properties in the Character Area are subject to prevailing section 12(2) 270(a) of By-law 438-86, which limits the size of retail and service shops.

The properties between 276 to 314 Merton Street near Mount Pleasant Road are subject to prevailing section 12(2) 118, which limits certain non-residential uses in order to protect residential character.

A site specific provision applies to 140 Merton Street, which is the site of the City-initiated rezoning in support of the Housing Now initiative. Non-residential uses are limited to a community centre, or certain ancillary commercial and office uses to the community centre that must be located on the first or second storey.

Height

The tallest permitted height in this Character Area is found at 140 Merton Street, which has a maximum permitted height of 63 metres (approximately 18 storeys) based on a prevailing by-law. Also of note is 35 Merton Street near Yonge Street, which has a maximum permitted height of 52.5 metres (approximately 15 storeys) based on a prevailing by-law.



The lowest maximum permitted height is 21 metres (approximately seven storeys) based on the Height Overlay Map in By-laws 569-2013 or 438-86, which applies to all properties that do not have exceptions that impact height. The remaining properties are subject to prevailing by-laws that establish specific heights, and are summarized in Table 41.

**Table 41: Maximum Heights Regulated through Prevailing By-laws in the Merton Street Character Area**

Address	Maximum Permitted Height (metres)	Storeys
140 Merton Street	63	18
119 and 139 Merton Street	46	12
64 and 84 Merton Street	31.5	10*
68 Merton Street	41.5	13
165 to 253 Merton Street	38.7	12
100 Merton Street	32.8	11
71 Merton Street	29	10*
260 Merton Street	21	8

\* Instance where maximum height in storeys is included in the zoning by-law, rather than approximated based on an average of 3 metres per storey.

Density

The greatest permitted density is found at 68 Merton Street, where a prevailing by-law permits total residential GFA of 10,885.5 square metres (approximately 5.9 FSI). The lowest permitted maximum density is 2.0 FSI based on the By-law 569-2013 zone label. This applies to most properties that are not subject to prevailing by-laws.

Some properties north of Merton Street near Mount Pleasant Road have a maximum permitted total density of 3.0 FSI based on the By-law 569-2013 zone label. Prevailing by-laws establish maximum permitted density based on GFA or FSI on a number of properties, which are summarized in Table 42.

The prevailing by-law at 71 Merton Street does not regulate maximum gross floor area (GFA) or FSI, but states the maximum number of dwelling units is 167.

**Table 42: Maximum Heights Regulated through Prevailing By-laws in the Bayview Focus Character Area**

Address	Maximum Permitted GFA (square metres)	FSI
68 Merton Street	10,885	5.9
35 Merton Street	11,030	5.1
140 Merton Street	16,650	4.9
119 and 139 Merton Street	16,350	4.4
165 to 253 Merton Street (three buildings)	32,103	4.0
260 Merton Street	5,300	3.5
100 Merton Street	12,195	3.4
64 and 84 Merton Street,	10,760	3.0

Setbacks at Grade

All properties except 68 Merton Street are subject to the SS2 standards, which includes requirements for front, rear and side yard setbacks. Prevailing section 12(2) 119 of By-law 438-86 applies to properties between 276 to 314 Merton Street near Mount Pleasant Road. This modifies required setbacks for mixed-used and non-residential buildings to between 0.15 to 1.5 metres, and modifies minimum required setbacks from a Residential District under By-law 438-86 to 6.1 metres.

A site specific provision applies to all properties but 68 and 140 Merton Street. This reduces rear setback requirements to three metres or less depending on location of windows or doors.

Many properties have specific setback requirements that are detailed in prevailing by-laws associated with developments. Minimum required front yard setbacks along Merton Street range from 0.5 to five metres on the north side and from zero to 7.6 metres on the south side. Setbacks of 4 metres on the north side of Merton and 3 metres on the south side of Merton align with the Merton Street Promenade, a key public realm move in the Secondary Plan. Table 43 summarizes detailed setback requirements along Merton Street.

**Table 43: Site-specific Front Lot Line Setbacks in the Merton Street Character Area**

Address	Required Front Lot Line Setbacks (metres)
35 Merton Street	0 to 5.5
64 and 84 Merton Street	0.5 to 3.8
68 Merton Street	0
71 Merton Street	4.4 to 7.6
100 Merton Street	0.5 to 1.6
119 Merton Street	0 to 3
140 Merton Street	7.4 to 12
165 to 253 Merton Street	2.0 to 3.4
260 Merton Street	3.6 to 5.0

Other Performance Standards

By-law 569-2013 includes a set of principle building requirements which regulate other performance standards and a set of lot requirements for each Zone. Depending on the Zone, this may include regulations on matters such as yards and landscaping, separation distances, angular plane requirements, and lot area, frontage and coverage. Chapter 4 provides further detail on principal building requirements and lot requirements in By-law 569-2013 and equivalent regulations under By-law 438-86.

For CR-zoned properties, lot requirements include minimum lot frontage and maximum lot coverage. All CR-zoned properties under By-law 569-2013 in this Character Area are subject to SS2, which

establishes minimum separation distances of building walls, minimum landscaping requirements and 45-degree angular plane requirements among other performance standards.

All properties, except 68 and 140 Merton Street, are subject to a site specific provision which removes the angular plane requirements under SS2. All properties subject to prevailing by-laws have specific step-back requirements. The setback requirements for 119 Merton Street effectively regulate minimum separation distances between building elements on this site. A minimum separation distances of 14.7 metres is required between the three buildings on 165 to 253 Merton Street, based on the prevailing by-law. In addition, 71 Merton Street has minimum landscaping requirements shown in a diagram.



# 06 KEY ISSUES AND OPPORTUNITIES



Davisville Station Character Area



This section highlights key issues and opportunities to be addressed in the Zoning Review based on the comprehensive review of existing zoning, recent development activity and trends, and Official Plan policy direction. The matters identified below relate to both the structure and content of existing zoning by-laws. Zoning amendments will be driven by the requirement to ensure conformity with the policy directions in the Yonge-Eglinton Secondary Plan.

6.1. Complexity

The Yonge-Eglinton Secondary Plan Area is subject to three zoning by-laws (By-law 569-2013, By-law 438-86, and By-law 7625), as well as over 100 exceptions. The majority of properties are subject to exceptions, which may include site specific provisions, prevailing by-law sections, stand-alone prevailing by-laws or a combination thereof. Interpretation of these exceptions can be challenging, as these are often conditional and require referencing former by-laws. Exceptions may conflict with one another, presenting further challenges for interpretation.

There are several sites across the Midtown area that are subject to prevailing by-laws dating to the 1960s to the 1980s. These legacy by-laws sometimes use different units of measurement, different definitions and inconsistent municipal addresses compared to contemporary zoning by-laws. In some instances, the development permissions allowed through a legacy by-law were never realized. These remain in force but no longer represent a desirable development outcome in today’s context.

Lastly, a comprehensive zoning by-law amendment provides an opportunity to identify and address minor technical errors, such as instances where prevailing by-laws have not been applied to the correct addresses. These minor corrections would improve accuracy and clarity.

6.2. Permitted Uses

The Secondary Plan identifies more detailed land use designations for Midtown’s 22 Character Areas, shown in Figure 10. The land use designations include Mixed Use Areas “A”, “B”, and “C”; Apartment Neighbourhoods; Neighbourhoods “A” and “B”; and Parks. There are several inconsistencies when comparing permitted uses under current zoning with those in the lands use designations of the Secondary Plan. Most Character Areas have a single land use designation, but several have more than one.

The underlying zoning needs to align to the land use designations. This is not achieved with current zoning. For instance, the Bayview Character Area is designated as Mixed Use Area “C” in the Secondary Plan, but has sites that are zoned R, RD, RM and CR. Mixed Use Areas “A”, “B” and “C” should be zoned CR, Apartment Neighbourhoods as RAC, and Neighbourhoods “A” and “B” as R. An open space zone category should be applied (O or OR) to areas designated as Parks and Open Spaces in the Secondary Plan.

Finally, it is important to carefully compare the permitted uses in zone categories with policy direction in the Secondary Plan. Although an area may have the appropriate zone category, additional amendments are often required to ensure conformity with all Secondary Plan policies. For instance, the CR zone category aligns with Mixed Use Areas “A”, “B” and “C”, but would require additional amendments to address office replacement and prohibit vehicle-related uses, among others. Several sites have zoning exceptions that permit land uses that conflict with the policy direction in the Secondary Plan, such as permissions for commercial parking garages. There are also several location-specific policies on permitted uses in that need to be reflected on the relevant sites.

Table 43 below identifies the zoning category that most closely aligns with each land use designations and summarizes additional amendments for permitted uses that would be required to ensure conformity with all Secondary Plan policies.

FIGURE 10: YESP LAND USE DESIGNATIONS

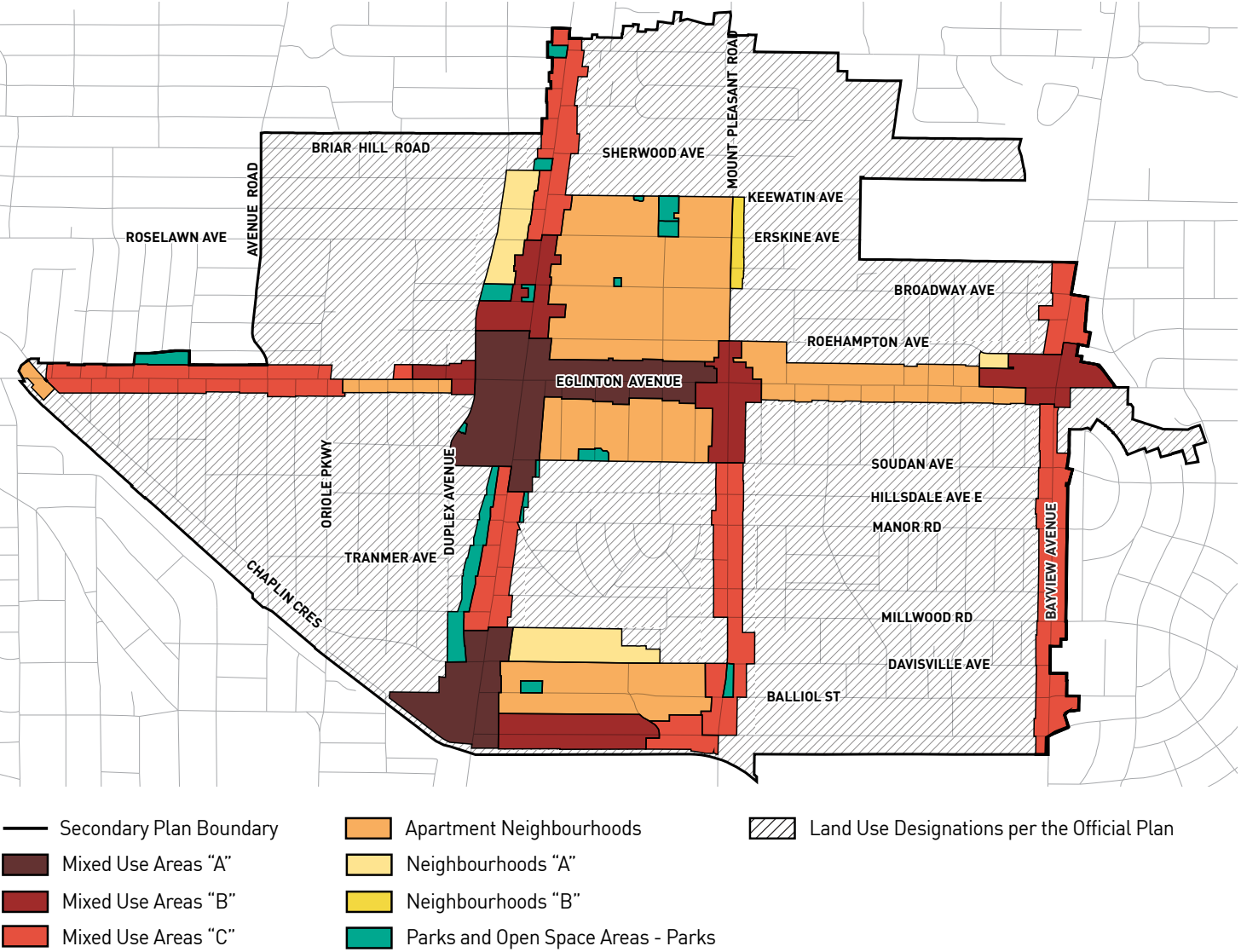




Table 43: Aligning Zoning with Midtown’s Land Use Designations

Secondary Plan Land Use Designation	Secondary Plan Permitted Uses	Aligned Zoning	Additional Amendments
Mixed Use Areas “A”	<ul style="list-style-type: none"><li>Residential, retail and service, office, institutional, entertainment, and cultural uses.</li><li>No single use residential, stand-alone retail or vehicle related used.</li><li>Large developments must provide 100% office replacement</li></ul>	CR	<ul style="list-style-type: none"><li>No single use residential</li><li>No vehicular uses</li><li>Retail GFA limit</li><li>No stand-alone retail</li><li>Office replacement</li></ul>
Mixed Use Areas “B”	<ul style="list-style-type: none"><li>Residential, retail and service, office, institutional, entertainment, and cultural uses.</li><li>No stand-alone retail or vehicle related used.</li><li>Large developments must provide 100% office replacement</li></ul>	CR	<ul style="list-style-type: none"><li>No vehicular uses</li><li>Retail GFA limit</li><li>No stand-alone retail</li><li>Office replacement</li></ul>
Mixed Use Areas “C”	<ul style="list-style-type: none"><li>Residential, retail and service, office, institutional, entertainment, and cultural uses.</li><li>No, stand-alone retail, or vehicle related used.</li></ul>	CR	<ul style="list-style-type: none"><li>No vehicular uses</li><li>Retail GFA limit</li><li>No stand-alone retail</li></ul>
Apartment Neighbourhoods	<ul style="list-style-type: none"><li>Residential, local institutional and cultural uses</li><li>Small-scale retail and service uses on the first floor</li></ul>	RAC	<ul style="list-style-type: none"><li>Permit townhouses</li><li>Allow certain institutional uses such as schools</li><li>Retail GFA limit</li></ul>
Neighbourhoods “A”	<ul style="list-style-type: none"><li>Low-rise residential and local institutional uses, community service facilities and schools</li></ul>	RM	<ul style="list-style-type: none"><li>Permit additional institutional uses (schools, recreational uses, etc.)</li></ul>
Neighbourhoods “B”	<ul style="list-style-type: none"><li>Low-rise residential, local institutional, small scale retail and office uses.</li></ul>	R	<ul style="list-style-type: none"><li>Allow retail stores in low-rise buildings</li></ul>

Some of the Secondary Plan’s retail streets policies require permitted use regulations to be updated. The Secondary Plan restricts at-grade uses to pedestrian-oriented retail and service uses and/or community service facilities along Priority Retail Streets. It also provides specific direction on the location, size and location of entrances for retail uses. Most areas along identified Priority Retail Streets are zoned CR and subject to SS2. Amendments along the Priority Retail Streets are required to limit permitted uses to those identified in the Secondary Plan and to introduce other applicable regulations that do not currently exist under the CR zone.

6.3. Height

The Secondary Plan provides general height guidance for each Character Area and requires that specific maximum heights be determined through zoning by-law amendments. It also includes direction on minimum building heights. In many instances, the Plan’s height guidance is provided in the form of height ranges with direction for transitions in height within a Character Area. Heights are often directed to peak near transit stations and transition down with distance from transit stations.

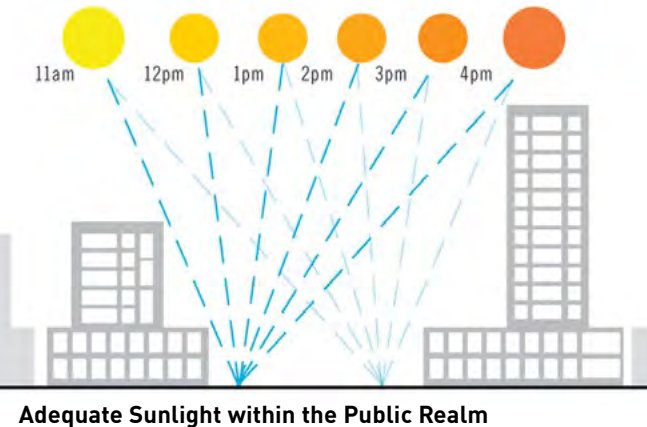
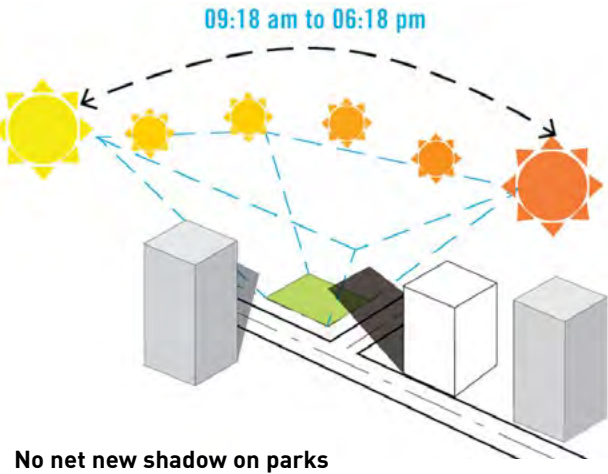
The Secondary Plan also includes policy direction on buildings types anticipated in each Character Area, which will likewise inform buildings height permissions. Direction is also provided on

minimizing potential negative impacts of buildings, such as wind and shadows, which may inform building height permissions.

All relevant Secondary Plan policies are to be considered in conjunction in order to determine appropriate buildings heights for individual sites or areas. This requires additional built form analysis that will consider all relevant policies and the cumulative impact of current and future development. This assessment will build on the previous Midtown built form study, which identified recommended building heights based on a number of objectives.

Where the Secondary Plan direction aligns with the previous built form study, additional analysis is generally not needed. This applies to many of the Midtown Village Character Areas where the Secondary Plan aligns with previous recommended heights of six to eight storeys depending on the Character Area. In these instances, zoning amendments will only be required where current zoning is not consistent with Secondary Plan height guidance.

In areas where the Secondary Plan direction does not align with the previous built form study, additional analysis is needed to evaluate the height guidance in the context of other relevant Secondary Plan policies and objectives, with specific attention to matters such as wind, shadow, sky views and privacy. Additional built form analysis is also needed





to understand where tall and mid-rise buildings should be located and associated heights. Zoning amendments will reflect the outcomes of this updated analysis.

The Soudan Character Area, for example, is an area where further analysis and amendments are needed. The Secondary Plan's height guidance for this Character Area is 20 to 35 storeys, yet the Character Area statement states that new development is to include mid-rise buildings. The previous built-form study supported mid-rise buildings up to seven storeys in this Character Area with the potential for an additional storey. Many of the sites in this Character Areas have an as-of-right height permission of 38 metres (approximately eleven storeys) under current zoning.

Amendments will also be required to reflect the Secondary Plan's minimum building heights. The Secondary Plan requires buildings be a minimum height of two to four storeys, depending on Character Area and land use designation. Under current zoning, only certain CR-zoned properties within Policy Areas have a minimum building height requirement of 10.5 metres and three storeys.

A comprehensive zoning amendment on building heights provides an opportunity to improve the overall consistency and clarity of the current zoning by-laws. By-law 569-2013 includes a Height Overlay Map, but in many cases, exceptions apply which supersede the maximum permitted height shown on the Overlay Map. Figures 11 and 12 show areas where maximum permitted height is regulated by the Height Overlay Maps of By-laws 569-2013 or 428-86 versus areas where it is regulated through exceptions. A preferred approach would be to identify all applicable height regulations, including minimum and maximum requirements, on the Height Overlay Map of By-law 569-2013.

## 6.4. Density

The Secondary Plan addresses density in the form of population and employment targets and associated with the Midtown Transit Station Area rather than on Character Area basis. These targets

are to be applied to a defined boundary around the transit station rather than on an individual site-by-site basis, and do not need to be codified in zoning regulations. The Secondary Plan includes general policy direction for the greatest densities to be achieved nearest to higher order transit stations. It does not include specific minimum or maximum densities as Floor Space Indices (FSI) for individual sites or areas. The intent at the time was to use urban standards, such as specific setbacks and step-back requirements, coupled with height restrictions to govern density.

Current zoning regulations generally control density through maximum GFA or FSI provisions. However, a number of sites along Eglinton Avenue have neither and rely on detailed height and massing provisions to control density. Amendments to the by-laws should provide a consistent approach to regulating density through FSI in the zone label where possible.

Additional built form analysis will be required before FSIs can be introduced across Midtown's Character Areas to assess and interpret all relevant Secondary Plan policies into maximum and minimum FSI requirements for individual sites. This analysis will also consider the FSI required to align with the Secondary Plan's minimum height direction and other considerations within the Midtown Transit Station Areas.

Aligning the density permissions in the Midtown Transit Station Area would allow the City to meet criteria for advancing the delineation Major Transit Station Areas (MTSA) as Protected MTSA as enabled by the Growth Plan 2019 and Planning Act, and subsequently would allow the implementation of inclusionary zoning for these areas. An amendment to the City's Official Plan is also needed to advance Protected MTSA as the Secondary Plan does not currently include minimum densities (e.g. FSI). Chapter 2 provides more information on MTSA.

Minimum density requirements are not a standard provision for all zones under the principle building requirements in By-law 569-2013. A comprehensive

zoning by-law amendment presents an opportunity to standardize an approach for regulating minimum density which could then be utilized in other areas of the city.

## 6.5. Setbacks at Grade

Policy direction on setbacks is contained throughout the Secondary Plan and is particularly important in the context of the Public Realm Moves. The Secondary Plan requires reasonable setbacks to be established to support these expanded and improved public spaces. Setback policies generally speak to front yard conditions, but in some instances address rear and side yard conditions as well. This is often applicable to areas adjacent to lands designated as Neighbourhoods in order to ensure appropriate transition. Considerable detailed study was previously completed on determining reasonable setbacks in Midtown.

Setback requirements under current zoning vary greatly between sites. The comprehensive by-laws regulate setbacks under principle building requirements, however many sites are subject to exceptions which modify these standard requirements. Prevailing by-law section 12(2) 119 of By-law 438-86 is of note, as this applies to many areas and further modifies setback requirements

based on zone category, land use and streets. Many other sites have detailed setback requirements brought forward through individual development applications. There are several instances where direction on setbacks conflict between applicable exceptions.

A comprehensive zoning amendment provides an opportunity to establish a more consistent and coordinated approach to setbacks, address conflicting regulations and implement previous findings from the detailed review of setbacks. This is critical to the successful implementation of the Public Realm Moves outlined in the Secondary Plan and to supporting local character. The Zoning Review will address front yard setback requirements, as well as rear yard setbacks for Character Areas where transition is a notable issue, and side yard setbacks where these are defining features of a Character Area.

## 6.6. Landscaping and Lot coverage

The Secondary Plan recognizes landscaped setbacks and settings as a defining feature within many Character Areas. In addition to contributing to local character, landscaping is acknowledged for its heritage value and ability to support transition.



An example of a generous front setback in the tower-in-the-park form





**FIGURE 11: MAXIMUM HEIGHT REGULATED THROUGH HEIGHT OVERLAY MAPS**

- Yonge-Eglinton Secondary Plan Area
- Character Areas
- 60 m to 104 m (20 to 34 storeys)
- 38 m to 59 m (12 to 19 storeys)
- 25.5 m to 37 m (8 to 12 storeys)
- 12 m to 25 m (4 to 8 storeys)
- Less than 12 m (Less than 4 storeys)

Note: The height ranges shown in this Figure do not reflect actual height permissions for each individual site. Height permissions are shown as ranges for illustrative purposes. For the precise existing height permission for a site refer to the Height Overlay Maps in By-law 569-2013 or 438-86.



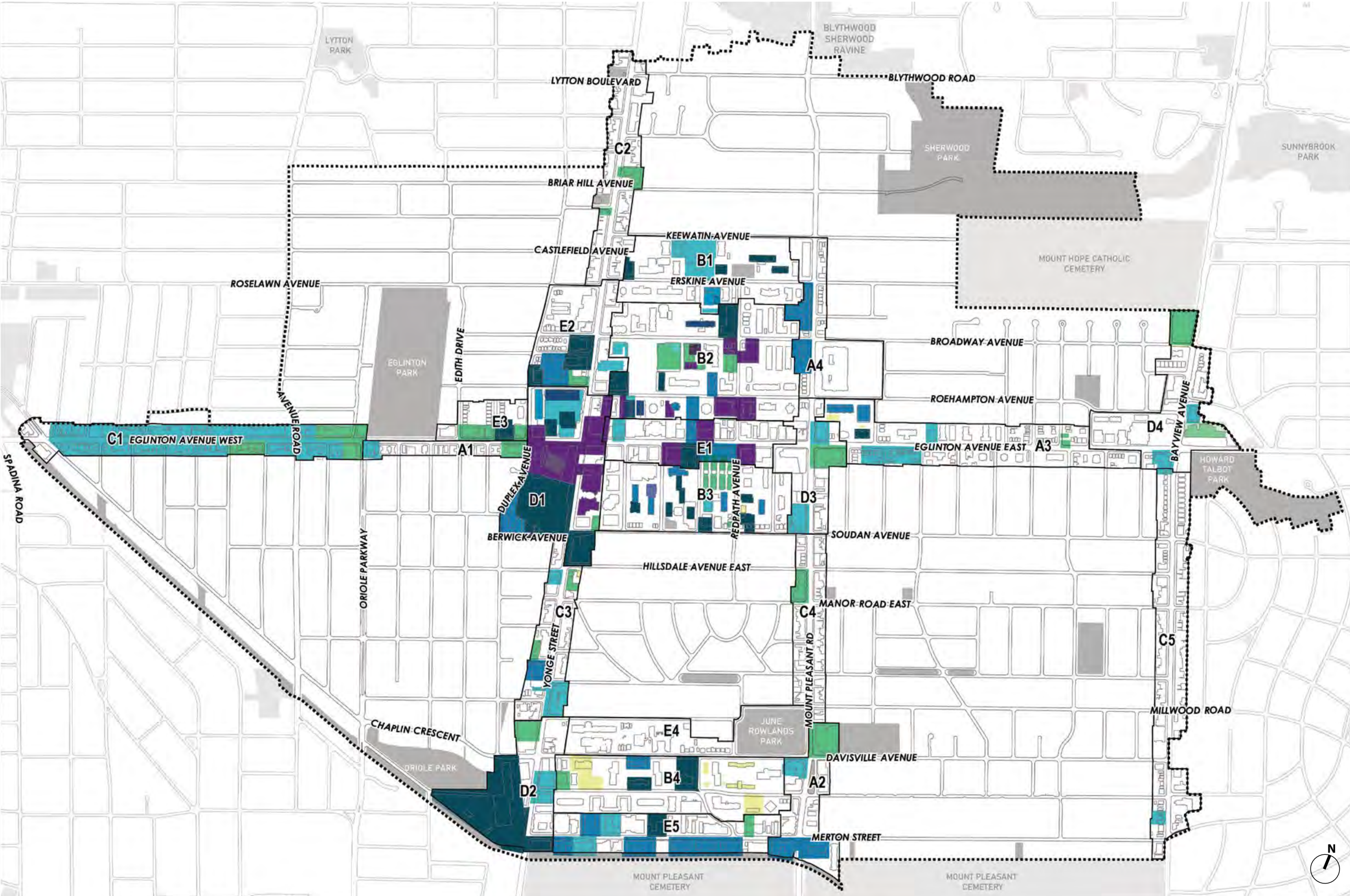


FIGURE 12: MAXIMUM HEIGHT REGULATED THROUGH EXCEPTIONS

- Yonge-Eglinton Secondary Plan Area
- Character Areas
- More than 105 m (more than 34 storeys)
- 60 m to 104 m (20 to 34 storeys)
- 38 m to 59 m (12 to 19 storeys)
- 25.5 m to 37 m (8 to 12 storeys)
- 12 m to 25 m ( 4 to 8 storeys)
- Less than 12 m ( Less than 4 storeys)

Note: The height ranges shown in this Figure do not reflect actual height permissions for each individual site. Height permissions are shown as ranges for illustrative purposes. Where different height permissions apply on a site, building footprints and the tallest height for each building are generally shown. For the precise existing height permission for a site refer to the exception for the site in By-law 569-2013 or 438-86.



In the Apartment Neighbourhoods the previous built form analysis tested and confirmed that redevelopment or infill development could support 55 per cent of site area as open space, the majority of which would be landscaped space.

Regulations on landscaping and lot coverage vary between different zones under By-law 569-2013. Some zones, such as those within the Residential Zone Category, have minimum landscaping requirements for front, side and rear yards. In the CR zone subject to SS2, a minimum 1.5 metres landscaped strip is required adjacent to residentially-zoned lands. However, sites may also be subject to maximum lot coverage requirements, which effectively controls the amount of building footprint versus open space on a lot. Many other properties are subject to exceptions with precise landscaping requirements associated with specific developments.

Whatever the mechanism, current zoning regulations on landscaping and lot coverage must align with the local character of an area and support the Public Realm Moves as described in the Secondary Plan. For example, minimum landscaping requirements are a key feature of many of the legacy by-laws that permit tower-in-the-park type developments popular in the 1960s and 1970s. These requirements enshrine important qualities that help define many of the Apartment

Neighbourhood Character Areas, and should generally be carried forward and modernized in the Zoning Review to protect and reinforce local character.

6.7. Building Massing

The Secondary Plan speaks to building massing as an important factor in ensuring livable and comfortable spaces and supporting local character and heritage. Building massing is shaped primarily through setback requirements at grade, step-back requirements, and base buildings height limits for tall buildings. Overall policy direction on ensuring sunlight access and privacy, minimizing wind impacts, preserving local character and providing transition must also be considered with respect to massing.

Step-backs at the second or third storey are generally required for low-rise buildings. Step-backs requirements for mid-rise and tall buildings range from the second to the seventh storey along street depending on the Character Area. There are also requirements for building massing to be stepped-back adjacent to Neighbourhoods for mid-rise buildings, and for appropriate transition of tall buildings abutting Neighbourhood designated land. The recommended height for base buildings for tall buildings ranges from four to eight storeys depending on Character Area.

The principle building requirements in the zoning by-laws do not specifically regulate step-backs or base building heights, which presents a significant issue in terms of conformity. However, a number of sites along Eglinton Avenue are subject to a common site specific provision that requires a step-back above the fourth storey. Step-back and base building heights requirements are also commonly applied on a site-by-site basis, driven by individual development applications.

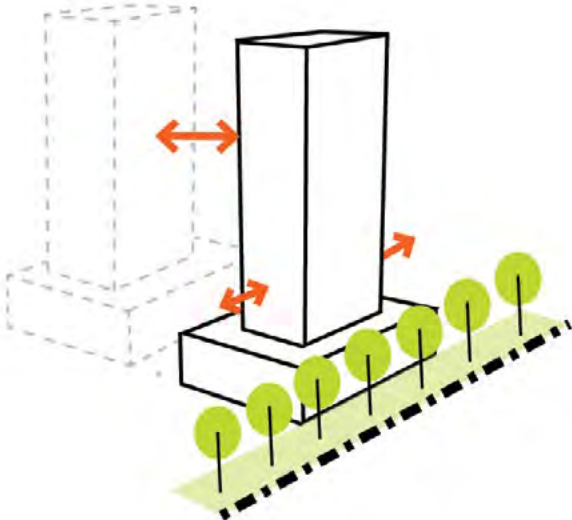
Further analysis on building massing is required in a number of areas. Secondary Plan policies on step-backs and base building heights need to be reviewed in the context of new height guidance and other broader policy objectives such as sunlight access and transition. For instance, additional step-backs or deeper step-backs may be required in areas with increased height guidance. Base building heights will also need to be established for Character Areas that now contemplate tall buildings as a result of provincial modifications. Consideration should be given to which zoning tools are most appropriate to achieve the desired building massing. For example, in some low-rise residential areas, simple step-back requirements may be more appropriate than detailed angular plane policies.

6.8. Tower Separation Distance

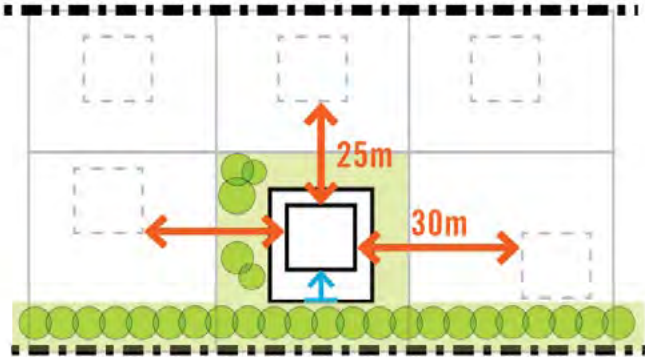
The Secondary Plan addresses tower separation with general policy direction and requires that minimum distances be specified in implementing zoning by-law. Built form principles in the Secondary Plan speak to the importance of tower separation as a contributor to Midtown’s green and landscaped character. Separation distance is noted as a key development criterion for new buildings in the Midtown Apartment Neighbourhoods and for any new tall buildings more broadly.

With respect to zoning, tower separation is typically regulated on a site-by-site basis, and is most common in the Apartment Neighbourhoods, Special Places and Core Character Areas. These requirements typically apply to tall buildings within the same site rather than distances between tall buildings on adjacent sites. In the latter scenario, distances are sometimes regulated through minimum side yard setbacks and landscaping requirements that effectively control tower separation between lots. These generous separation distances are often defining features of Character Areas within Midtown and should be continue to be protected.

The previous Midtown built form study included detailed analysis on residential tower separation



Tower separation distances and landscaped open space



SMALLER FLOORPLATES



LARGER FLOORPLATES

Tower floor plate sizes and impact on skyviews



distances in order to ensure adequate sky views, sunlight access and privacy. Based on these findings, previously recommended minimum tower separation was 25 metres for tall buildings at or below 40 storeys, and 30 metres for tall buildings above 40 storeys. Within the Apartment Neighbourhood Character Area the recommended minimum tower separation distance was generally 30 metres, reflecting the open and orderly building pattern that is well-established in these areas.

Given the changes in height guidance, the tower separation analysis will need to be revisited. This updated analysis will consider areas with potential increased height permissions and areas where tall buildings are newly contemplated, including the Mount Pleasant North, Yonge Street North and Yonge Street South Character Areas.

## 6.9. Maximum Tower Floor Plates

The Secondary Plan limits the tower portion of a tall building to a maximum floor plate of 750 square metres to maximize access to sunlight and sky views. Floor plates for non-residential buildings may exceed this, in recognition of the various internal layout requirements for important uses such as offices and institutions. Current zoning regulations do not specifically regulate maximum floor plate size through principle building requirements.

## 6.10. Holding Provisions

City Council can apply a holding symbol “H” on any site in order to restrict permitted uses until certain conditions are met. The Official Plan recognizes holding by-laws as important tools for implementing Secondary Plans for areas designated as Centres. This includes the Yonge-Eglinton Centre. Specifically, the Official Plan requires that holding provisions be considered as part of the implementing zoning for a Secondary Plan, where it has been demonstrated that full build-out is dependent on the provision of infrastructure.

At its July 23, 2018 meeting, City Council directed staff to consider applying holding provisions for the

provisions of physical infrastructure and community services facilities where necessary as part of the zoning review for Midtown.

The Midtown in Focus initiative included a series of detailed infrastructure assessments, with the outcomes intended to inform the potential use of holding by-laws. The previous infrastructure assessments require updating to reflect the potential for increased heights and densities in certain areas. The Council-directed Infrastructure Implementation Strategies provide the opportunity to both update the previous assessments and identify potential holding provisions and conditions for different sites and/or geographies.

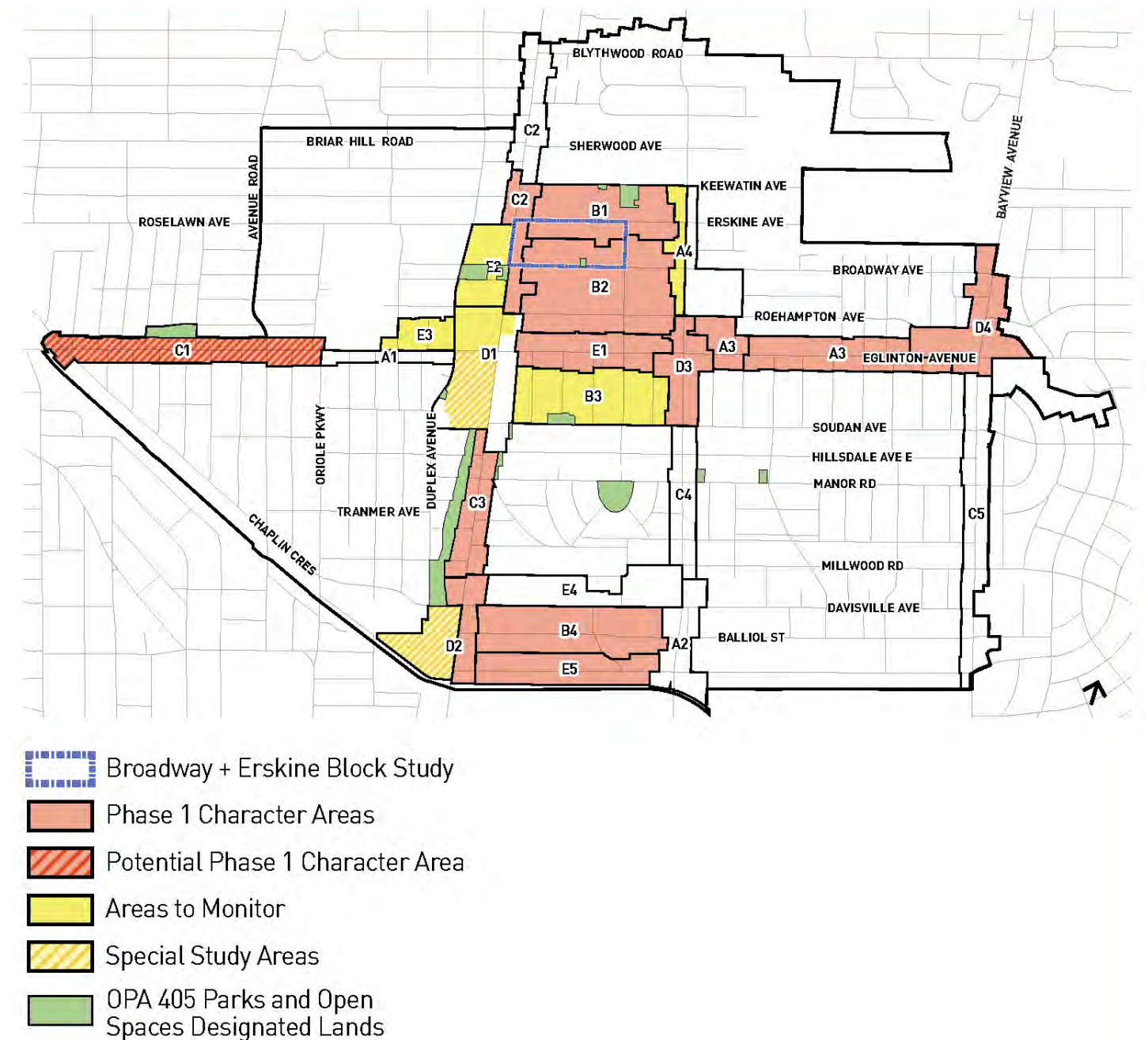
## 6.11. PHASING THE ZONING REVIEW

Midtown’s Character Areas vary widely in terms of existing and planned context. Development pressure also varies significantly across Midtown. While growth presents opportunities to support the vitality of Midtown, it also presents challenges in securing necessary improvements to infrastructure and the public realm in a timely manner. These matters can be addressed in part through updated zoning and reviewing these issues from a cumulative perspective.

A phased approach to the Midtown Review responds to Council’s 2018 direction to undertake a zoning review for all of Midtown’s 22 Character areas. It also enables the consideration of holding provisions (PG31.7) and infrastructure needs (CC9.8) as directed by Council. Phasing the Zoning Review also enables the City to respond to the level of development activity occurring in different areas and to expedite the Review for key areas.

The Canada Square Special Study Area will be addressed through any application that seeks to amend zoning permissions from the 2009 Focused Review. The Davisville Yard Special Study will be advanced concurrent with the Zoning Review and updated may be reflected in the phased Zoning Review. Some Character Areas that have experienced significant development pressure and that have few remaining sites that can be

FIGURE 13: PHASE 1 CHARACTER AREAS





redeveloped will be monitored. If new pressures emerge in these Character Areas, they can be addressed in one of the phases of the Zoning Review as needed.

Phase 1: High Priority Character Areas & Parks

The Phase 1 Zoning By-law will address the Character Areas illustrated in Figure 13. This would include Character Areas where the Provincial modifications of OPA 405 substantively increased anticipated heights and where significant development activity exists or is anticipated. Phase 1 will address eleven Character areas (or portions thereof) and include the Erskine and Keewatin, Redpath Park Street Loop, Soudan, Davisville, Eglinton Way, part of Yonge Street North, Yonge Street South, part of Davisville Station, Mount Pleasant Station, Bayview Focus Area and Merton Street Character Areas.

The Phase 1 By-law will be advanced as a comprehensive by-law and include regulations on:

- permitted uses and office replacement policies
- Minimum and maximum heights and densities
- setbacks at grade

Some performance standards have already been determined through the previous built form study conducted as part of Midtown in Focus. This include regulations on setbacks, mid-rise step-backs, and maximum floor plates. In other instances, additional analysis is required in order to interpret and respond to modifications to the Secondary Plan.

Phase 2: Remaining Character Areas & Neighbourhoods

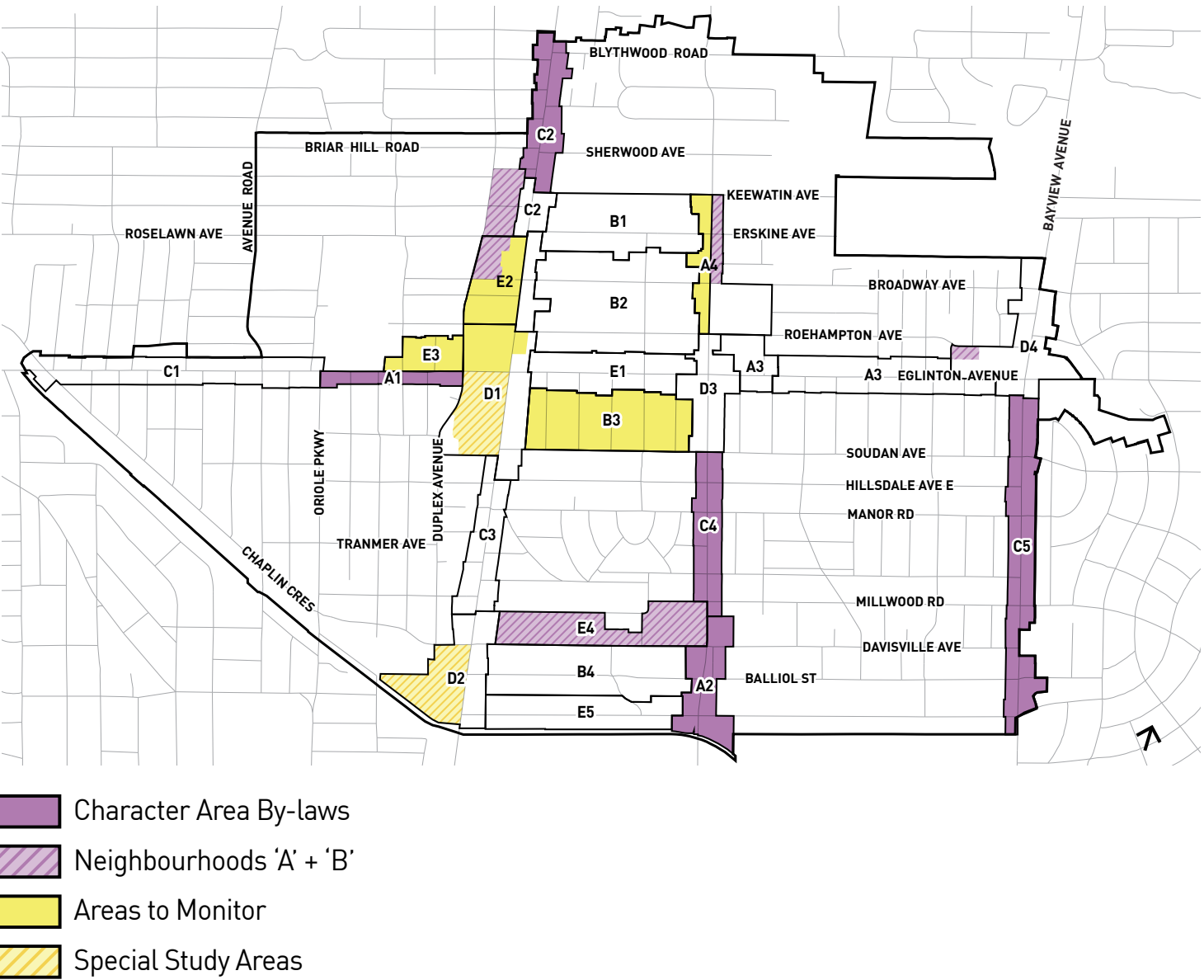
A Phase 2 Zoning By-law would apply to the remaining Character Areas where the provincial modifications generally align with original recommended height limits. This would likewise be a comprehensive by-law addressing matters such as permitted use, heights, densities, land use and performance standards. Specific regulations are anticipated to be largely based on the findings of previous built form study.

Phase 2 is anticipated to cover seven Character Areas including Eglinton Park, Mount Pleasant Gateway, Eglinton East, portions of Yonge Street North, Mount Pleasant South, Bayview-Leaside, and Davisville Community Street. Areas designated as Neighbourhoods “A” and “B” would also be included. These areas are shown in Figure 14.



Eglinton Park Character Area near Colin Avenue

FIGURE 14: PHASE 2 CHARACTER AREAS





# 07 CONCLUSION



The Midtown Zoning Background Report represents a first step in advancing the implementation of the in force Yonge-Eglinton Secondary Plan. The Secondary Plan sets out a long-term vision for Midtown to ensure the area continues to develop as a complete community, unique local character is maintained and land use planning is integrated with infrastructure investments. The City is required to ensure conformity between zoning by-law and the Official Plan, including Secondary Plans.

A comprehensive analysis of the current zoning framework in Midtown points to a number of challenges and opportunities in updating zoning to align with the policy direction of the Secondary Plan. Midtown has not been the focus of a comprehensive planning and rezoning exercise since 1979. Zoning by-law amendments have instead been largely driven by individual development applications on a site-by-site basis. The resulting zoning framework is complex and inconsistent, with the Midtown area subject to three base by-laws, as well as over 100 exceptions.

Additional built form analysis is needed to implement all relevant Secondary Plan policies as modified by the Minister as part of the approval of the Secondary Plan. The built form analysis will also position the City to delineate Major Transit Station Areas as part of the City’s Municipal Comprehensive Review or as Protected Major Transit Station Areas. The built form analysis will also define updated estimates on the number of residents and employees in Midtown to inform additional infrastructure assessment.

This report recommends a comprehensive and phased approach to a City-led rezoning exercise for Midtown. This approach allows cumulative impacts of development to be clearly understood and supports prioritization of areas where greatest intensification is anticipated. A timely and evidence-based zoning by-law amendment will ensure conformity with the Secondary Plan and will also support a more predictable, simple and streamlined approach to managing future development applications in an area that continues to grow.

# APPENDIX 1



Pedestrians and retail uses on Yonge Street



ACTIVE APPLICATIONS IN MIDTOWN'S CHARACTER AREAS

\* Denotes infill development where the FSI includes the GFA of retained buildings.  
\*\*Denotes height of existing building in an infill context

No.	Address	Character Area	Proposal Summary	Status	FSI	Proposed Non-Residential GFA (m2)	Proposed Residential Units	Height (m)	Height (ST)
1	368, 386 Eglinton Avenue East	A3	Infill residential tall building, retaining an existing 13-storey apartment	Approved	2.8*	0	76	34**, 29	13**, 11
2	40, 44 Broadway Avenue	B2	Mixed-use 44-storey residential tower with a place of worship	Under Review	7.5	2,546	398	132	44
3	55 Erskine Avenue	B2	Infill residential tall building, retaining an existing 17-storey apartment	Approved	2.9*	0	103	45**, 35	17**, 11
4	100 Broadway Avenue; 223-225 Redpath Avenue	B2	Mixed-use residential tall building with 1 tower on a 5-storey base building, incl. rental.	Approved	11.1	100	412	108	36
5	110, 114, 120 Broadway Avenue	B2	Residential tall building with 2 towers on a 8-storey base building	Approved	8.2	606	751	104; 68	33; 21
6	55, 65 Broadway Avenue	B2	Residential tall building with 2 towers on a 4-storey base building, incl. rental replacement	Approved	11	800	777	126; 126	39; 39
7	75 Broadway Avenue	B2	Infill residential tall building, retaining an existing 10-storey apartment	Approved	5.9*	0	336	117; 28**	38; 10**
8	117, 127 Broadway Avenue	B2	Mixed-use residential tall building with 2 towers on a 9-storey base building including childcare space.	Approved	10.2	700	928	109; 100	36; 33
9	241 Redpath Ave	B2	Residential tall building with 1 tower on a 11-storey base building	Under Review (Post-June 2019)	15.8	0	387	113	35
10	22 Balliol Street	B4	Mixed-use residential tall building with 1 tower on a 9-storey base building	Under Review (Pre-June 2019)	15.1	1,882	425	119	38
11	141 Davisville Avenue	B4	Infill residential tall building with 1 tower on a 3-storey base building, retaining an existing 20-storey apartment	Under Review (Pre-June 2019)	6.0*	0	313	54**, 54	20**, 16
12	265 Balliol Street	B4	Infill residential tall building with 1 tower on a 4-storey base building, retaining an existing 26-storey apartment	Approved	6.5*	177	233	87; 73**	27; 26
13	155 Balliol Street	B4	Infill residential tall building with 2 towers on an 5-storey base building, retaining an existing 18-storey apartment	Withdrawn with Resubmission	6.0*	0	536	124; 50**, 40	38; 18*; 11
14	346, 350, 352, 356 Eglinton Avenue West	C1	Mixed-use development with retail at grade and residential uses above	Approved	5.8	189	72	30	9
15	2577, 2579, 2581 Yonge Street	C2	Mixed-use development with retail at grade and residential uses above	Under Review (Pre-June 2019)	4.8	189	13	34.1	9
16	2490-2514 Yonge Street; 10-12 and 20 Castlefield Avenue; 567 Duplex Avenue	C2	Mixed-use development with retail at grade and residential uses above	Under Review (Pre-June 2019)	6.2	1,403	150	50	14
17	2128 Yonge Street	C3	Mixed-use development with retail at grade and residential uses above	Under Review (Pre-June 2019)	7.8	230	79	43	13
18	2100-2110 Yonge Street; 8-12 Manor Road West	C3	Mixed-use development with retail at grade and residential uses above	Under Review (Pre-June 2019)	7.3	287	98	38	12
19	1982, 1984 Yonge Street	C3	Mixed-use development with retail at grade and residential uses above	Approved	8.9	600	20	28	9
20	24, 26 Imperial Street	C3	Residential development	Under Review (Post-June 2019)	4.6	0	30	30	9
21	1408-1420 Bayview Avenue	C5	Mixed-use development with retail at grade and residential use above	Approved	4.0	150	57	28	8



ACTIVE APPLICATIONS IN MIDTOWN'S CHARACTER AREAS (CONTINUED)

\* Denotes infill developments where the FSI includes the GFA of retained buildings.  
\*\*Denotes height of existing building in an infill context

No.	Address	Character Area	Proposal Summary	Status	FSI	Proposed Non-Residential GFA (m2)	Proposed Residential Units	Height (m)	Height (ST)
22	1718-1734 Bayview Avenue	C5	Mixed-use development with retail at grade and residential use above	Under Review (Post-June 2019)	4.3	336	123	31	9
23	2300 Yonge Street; 20 Eglinton Avenue West; 411 Duplex Avenue	D1	Infill non-residential addition to existing office building complex for retail and office uses	Approved	8.7*	23,666	0	149; 110; 70**	37; 27; 23**
24	36 Eglinton Avenue West	D1	Mixed-use residential tall building with 1 tower on a 6-storey base building with retail at grade	Approved	18.1	338	320	123	39
25	36 Eglinton Avenue West	D1	Mixed-use residential tall building with 1 tower on a 5-storey base building with retail at grade	Under Review (Post-June 2019)	32.3	550	663	208	65
26	1 Eglinton Avenue East	D1	Mixed-use residential tall building with 1 tower on a 9-storey base building with office and retail uses	Approved	28.2	11,500	600	205	65
27	2161 Yonge Street	D1	Mixed-use residential tall building with 1 tower on a 6-storey base building with retail and office uses	Approved	16.6	8,533	304	115	35
28	808 Mount Pleasant Road	D3	Mixed-use residential tall building with 1 tower on a 7-storey base building with retail at grade	Under Review (Pre-June 2019)	13.7	473	457	143	44
29	717, 719, 723, 733 Mount Pleasant Road	D3	Mixed-use residential tall building with 1 tower on a 5-storey base building with retail at grade	Withdrawn with Resubmission	6.7	587	264	86	27
30	700-730 Mount Pleasant Road; 214-226 Soudan Avenue; 19-21 Brownlow Avenue	D3	Residential tall building on a 4-storey base building, with primarily retirement home dwelling untis	Under Review (Pre-June 2019)	6.5	0	205	63	20
31	660 Eglinton Avenue East	D4	Mixed-use residential tall buildings with 2 towers and retail at grade	Approved	3.6	4,032	412	56; 44	16; 12
32	90 Eglinton Avenue East	E1	Mixed-use residential tall building with 1 tower on a 9-storey base building with retail and office uses	Approved	14.7	17,651	456	181	52
33	150 Eglinton Avenue East	E1	Mixed-use residential tall building with 1 tower on a 6-storey base building with retail and office uses	Approved	15.2	11,416	429	161	46
34	55 Eglinton Avenue East	E1	Mixed-use residential tall building with 1 tower on a 6-storey base building with retail uses	Approved	26.8	6,641	461	168	50
35	2400, 2430, 2440, 2444 Yonge Street	E2	Mixed-use tall buildings with 2 towers on a 12-storey base building, and 3-storey townhouses	Under Review (Pre-June 2019)	6.6	6,030	687	97; 85	27; 23
36	2323-2329 Yonge Street	E2	Mixed-use residential tall building on a 10-storey base building	Under Review (Post-June 2019)	15.9	7,506	380	133	37
37	50-60 Eglinton Avenue West	E3	Mixed-use residential tall building with a 32-storey tower on a shared 3-storey base building	Approved	13.5	3,199	292	106	32
38	90 Eglinton Avenue West	E3	Mixed-use residential tall building with a 26-storey tower on a shared 3-storey base building	Approved	8.6	3,800	242	87	24
39	30 Merton Street	E5	Mixed-use residential tall building on a 5-storey base building including commercial parking	Approved	12.1	8,350	334	120	37
40	140 Merton Street	E5	Mixed-use residential tall building on a five-storey base building	Approved	4.9	2,150	180	56	18
41	276 Merton Street	E5	Residential development with stepbacks above the 4th storey	Under Review (Pre-June 2019)	5.1	0	71	47	13
					TOTALS	126,617	13,074		



# APPENDIX 2

## APPLICABLE ZONE LABELS IN MIDTOWN'S CHARACTER AREAS

Character Area	Zone Label	Base By-law	No. of Properties (approx)
Apartment Hight Streets			
A1 – Eglinton Park	R (d1.0) (x844)	569-2013	10
	R (d2.0) (x813)	569-2013	8
	CR SS2 (x2623)	569-2013	5
	CR SS2 (x2627)	569-2013	1
A2 – Mount Pleasant Gateway	CR T2.5 C2.0 R2.5	438-86	10
	CR 2.5 (c2.0; r2.5) SS2 (x2418)	569-2013	7
	CR 2.5 (c2.0; r2.5) SS2 (x2209)	569-2013	5
	CR 2.0 (c2.0; r2.0) SS2 (x2063)	569-2013	2
	CR 3.0 (c3.0; r3.0) SS2 (x2502)	569-2013	2
	R (d0.6) (x930)	569-2013	1
	R (d2.0) (x918)	569-2013	1
A3 – Eglinton East	R (d2.0) (x943)	569-2013	53
	R (f9.0; d2.0) (x942)	569-2013	48
	R (f9.0; u2; d0.6) (x956)	569-2013	38
	CR SS2 (x2637)	569-2013	23
	R4A Z2.0	438-86	15
A4 – Mount Pleasant North	R (d1.0) (x941)	569-2013	47
	R (f7.5; u2; d0.6) (x958)	569-2013	15
	R (d0.6) (x755)	569-2013	1
	R (d0.6) (x916)	569-2013	1
	R1S Z0.6	438-86	1
Apartment Neighbourhoods			
B1 – Erskine and Keewatin	R (d2.0) (x912)	569-2013	33
	R (d0.6) (x916)	569-2013	7
	R2 Z0.6	438-86	5
	MCR T3.0 C2.0 R2.5	438-86	5
	R2 Z2.0	438-86	2
	R (d2.0) (x717)	569-2013	1
	O	569-2013	1
B2 – Redpath Park Street Loop	R (d2.0) (x912)	569-2013	64
	R2 Z2.0	438-86	27



APPLICABLE ZONE LABELS IN MIDTOWN'S CHARACTER AREAS (CONTINUED)

Character Area	Zone Label	Base By-law	No. of Properties (approx)
B2 – Redpath Park Street Loop	R (d11.0) (x14)	569-2013	12
	R (d2.0) (x53)	569-2013	7
	R (d2.0) (x924)	569-2013	4
	CR 3.0 (c2.0; r2.5) SS2 (x1222)	569-2013	3
	R (d2.0) (x55)	569-2013	2
	R (d2.0) (x66)	569-2013	2
	R(d2.0)(x74)	569-2013	2
B3 – Soudan	R (d0.6) (x914)	569-2013	64
	R (d0.6) (x61)	569-2013	8
	R (d2.0) (x689)	569-2013	11
	R (d2.0) (x921)	569-2013	10
	CR 5.0 (c4.0; r3.0) SS2 (x2507)	569-2013	8
	O	569-2013	6
	R (f12.0; a400) (x22)	569-2013	4
	R (d2.0) (x42)	569-2013	4
B4 – Davisville	R (d2.0) (x917)	569-2013	38
	R2 Z0.35	438-86	22
	R (d0.35) (x920)	569-2013	13
	R (d0.35) (x915)	569-2013	13
	R (d0.6) (x913)	569-2013	12
	R (d2.0) (x919)	569-2013	9
	CR 2.5 (c2.0; r2.5) SS2 (x2209)	569-2013	6
	R (d0.35) (x216)	569-2013	1
Villages			
C1 - Eglinton Way	CR SS2 (x2631)	569-2013	166
	CR SS2 (x2627)	569-2013	41
	CR SS2 (x2648)	569-2013	22
	CR SS2 (x2626)	569-2013	13
	CR SS2 (x2629)	569-2013	9
	MCR T3.0 C2.0 R2.5	438-86	3
	CR SS2 (x2625)	569-2013	2
	R (d0.6) (x543)	569-2013	2

Character Area	Zone Label	Base By-law	No. of Properties (approx)
C1 - Eglinton Way	O	569-2013	2
	CR SS2 (x2647)	569-2013	1
	CR 3.0 (c0.5; r3.0) SS2 (x143)	569-2013	1
	R (d0.6) (x539)	569-2013	1
C2 – Yonge Street North	CR 3.0 (c2.0; r2.5) SS2 (x2227)	569-2013	103
	CR 3.0 (c2.0; r2.5) SS2 (x2424)	569-2013	68
	CR 3.0 (c2.0; r2.5) SS2 (x2422)	569-2013	52
	CR 3.0 (c2.0; r2.5) SS2 (x2432)	569-2013	27
	CR 3.0 (c0.5; r3.0) SS2 (x2234)	569-2013	4
	CR 3.0 (c2.0; r2.5) SS2 (x2407)	569-2013	4
	MCR T3.0 C2.0 R2.5	438-86	3
	CR 3.0 (c0.5; r3.0) SS2 (x2272)	569-2013	2
	CR 3.0 (c2.0; r2.5) SS2 (x2274)	569-2013	1
	OR	569-2013	1
C3 – Yonge Street South	OR (x80)	569-2013	1
	CR 3.0 (c2.0; r2.5) SS2 (x2430)	569-2013	66
	CR 3.0 (c2.0; r2.5) SS2 (x2424)	569-2013	41
	CR 3.0 (c2.0; r2.5) SS2 (x2425)	569-2013	31
	MCR T3.0 C2.0 R2.5	438-86	29
	CR 3.0 (c2.0; r2.5) SS2 (x2236)	569-2013	8
	CR 3.0 (c2.0; r2.5) SS2 (x2407)	569-2013	3
	CR 3.0 (c2.0; r2.5) SS2 (x2227)	569-2013	3
	CR 6.7 (c0.37; 6.34) SS2 (x23)	569-2013	2
	CR 3.0 (c2.0; r2.5) SS2 (x157)	569-2013	2
	R (d0.6) (x722)	569-2013	2
	CR 3.0 (c2.0; r2.5) SS2 (x2409)	569-2013	1
C4 – Mount Pleasant South	CR 3.0 (c2.0; r2.5) SS2 (x2417)	569-2013	203
	CR 3.0 (c2.0; r2.5) SS2 (x2276)	569-2013	5
	CR 3.0 (c2.0; r2.5) SS2 (x2302)	569-2013	4
C5 – Bayview-Leaside	CR 2.0 (c2.0; r1.3) SS2 (x1163)	569-2013	125
	CR 3.0 (c2.0;r2.5) SS2 (x2227)	569-2013	87
	R (d1.0) (x690)	569-2013	36



APPLICABLE ZONE LABELS IN MIDTOWN'S CHARACTER AREAS (CONTINUED)

Character Area	Zone Label	Base By-law	No. of Properties (approx)
C5 – Bayview-Leaside	R (d1.0) (x760)	569-2013	2
	RM (f30.0; a930; d1.25)	569-2013	19
	CR 4.25(c0.10;r4.15) SS2 (x240)	569-2013	6
	CR 2.5 (c2.0;r2.0) SS2 (x2236)	569-2013	2
	RD (f12.0; a370; d0.6)	569-2013	1
Cores			
D1 – Yonge-Eglinton Crossroads	CR T5.0 C4.0 R3.0	438-86	27
	R2 Z4.0	438-86	27
	CR 5.0 (c4.0; r3.0) SS2 (x2507)	569-2013	18
	CR T7.0 C5.5 R5.5 (H)	438-86	15
	MCR T3.0 C2.0 R2.5	438-86	6
	(h)CR 5.0 (c4.0; r3.0) SS2 (x127)	569-2013	2
D2 – Davisville Station	CR 3.0 (c2.0; r2.5) SS2 (x2424)	569-2013	8
	CR 3.0 (c2.0; r2.5) SS2 (x2305)	569-2013	5
	MCR T3.0 (c2.0; r2.5)	438-86	5
	CR 3.0 (c3.0; r2.5) SS2 (x2506)	569-2013	4
	CR 3.0 (c3.0; r2.5) SS2 (x2508)	569-2013	4
	CR 3.0 (c2.0; r2.5) SS2 (x2299)	569-2013	3
	CR 3.0 (c3.0; r2.5) SS2 (x2505)	569-2013	3
	CR 2.0 (c1.0; r2.0) SS2 (x2464)	569-2013	3
	R (d0.6) (x931)	569-2013	2
	CR T3.0 (c3.0; r2.5)	438-86	2
	CR 3.0 (c3.0; r2.5) SS2 (x2498)	569-2013	1
	CR 3.0 (c2.0; r2.5) SS2 (x2236)	569-2013	1
D3 – Mount Pleasant Station	CR 3.0 (c2.0; r2.5) SS2 (x2417)	569-2013	43
	CR 5.0 (c3.0; r3.0) SS2 (x2497)	569-2013	10
	R (d1.0) (x941)	569-2013	6
	R (f9.0; d2.0) (x942)	569-2013	2
	CR 3.0 (c2.0; r2.5) SS2 (x2415)	569-2013	2
	R (d0.6) (x218)	569-2013	1
	CR 5.0 (c3.0; r3.0) SS2 (x1218)	569-2013	1
	CR 3.0 (c2.0; r2.5) SS2 (x2543)	569-2013	1

Character Area	Zone Label	Base By-law	No. of Properties (approx)
D3 – Mount Pleasant Station	CR 3.0 (c2.0; r2.5) SS2 (x2635)	569-2013	1
	RM Z1.0	438-86	1
D4 – Bayview Focus Area	R (d0.6) (x948)	569-2013	18
	CR 1.1 (c1.0;r1.0) SS2	569-2013	13
	R (d1.0) (x680)	569-2013	8
	R (d2.0) (x943)	569-2013	6
	CR 2.5 (c2.0;r2.5) SS2 (x2208)	569-2013	6
	RD (f12.0; a370; d0.6)	569-2013	5
	C1(134)	7625	5
	CR 1.2(c0.4;r0.8) SS2 (x1164)	569-2013	2
	CR 2.5 (c2.0; r2.5) SS2 (x2275)	569-2013	2
	RD (f9.0; a275)	569-2013	1
	RM (f30.0; a930; d1.25)	569-2013	1
Special Places	CR 1.0 (c1.0; r0.0) SS3 (x86)	569-2013	1
	CR 2.2 (c2.2;r1.5) SS2 (x1163)	569-2013	1
	CR 2.5 (c2.0;r2.5) SS2 (x2248)	569-2013	1
E1 – Eglinton Green Line	CR 5.0 (c3.0; r3.0) SS2 (x2497)	569-2013	46
	RA Z2.0	438-86	16
	CR T5.0 (C3.0 R 3.0)	438-86	8
	CR 5.0 (c4.0; r3.0) SS2 (x2306)	569-2013	6
	CR 5.0 (c4.0; r3.0) SS2 (x2500)	569-2013	5
	CR 5.0 (c4.0; r3.0) SS2 (x2507)	569-2013	1
	CR 5.0 (c3.0; r3.0) SS2 (x148)	569-2013	1
	R (d11.0) (x14)	569-2013	1
E2 – Montgomery Square	R (d1.0) (x768)	569-2013	51
	CR 3.0 (c2.0; r2.5) SS2 (x2424)	569-2013	33
	MCR T3.0 C2.0 R2.5	438-86	28
	CR 3.0 (c2.0; r2.5) SS2 (x2407)	569-2013	17
	CR 3.0 (c2.0; r2.5) SS2 (x2432)	569-2013	9
	CR 3.0 (c2.0; r2.5) SS2 (x2433)	569-2013	7
	CR 3.0 (c2.0; r2.5) SS2 (x2522)	569-2013	5



APPLICABLE ZONE LABELS IN MIDTOWN'S CHARACTER AREAS (CONTINUED)

Character Area	Zone Label	Base By-law	No. of Properties (approx)
E2 – Montgomery Square	R2 Z1.0	438-86	4
	CR 3.0 (c2.0; r2.5) SS2 (x2521)	569-2013	1
	G	438-86	1
E3 – Henning	R (d0.6) (x721)	569-2013	28
	R (d0.6) (x767)	569-2013	15
	CR 3.0 (c3.0; r2.0) SS2 (x2236)	569-2013	3
	CR SS2 (x2625)	569-2013	3
	(h)CR 3.0 (c3.0; r2.0) SS2 (x2237)	569-2013	2
	CR SS2 (x2623)	569-2013	2
E4 – Davisville Community Street	R (d0.6) (x931)	569-2013	35
	R2 Z0.6	438-86	2
	OR	569-2013	1
E5 – Merton Street	CR 2.0 (c2.0; r2.0) SS2 (x2495)	569-2013	53
	CR 3.0 (c3.0; r1.5) SS2 (x2214)	569-2013	14
	CR 2.0 (c2.0; r2.0) SS2 (x2063)	569-2013	5
	CR 4.9 (c2.0; r4.3) SS2 (x224)	569-2013	1
	CR T2.0 C2.0 R2.0	438-86	1



