

DECISION AND ORDER

Decision Issue Date Wednesday, December 16, 2020

PROCEEDING COMMENCED UNDER Section 45(12), subsection 45(1) of the Planning Act, R.S.O. 1990, c. P.13, as amended (the "Act")

Appellant(s): SUKHVAIR SINGH

Applicant: NURUN NABI

Property Address/Description: 318 RHODES AVENUE

Committee of Adjustment Case File: 19 194011 STE 14 MV (A0798/19TEY)

TLAB Case File Number: 20 111602 S45 14 TLAB

Hearing date: Thursday, November 26, 2020

DECISION DELIVERED BY JUSTIN LEUNG

APPEARANCES

NAME	ROLE	REPRESENTATIVE
Nuru Nabi	Applicant	
Sukhvair Singh	Appellant	Nurun Nabi
Gerald Ian Campbell	Party	
Nicole Hanson	Party	

INTRODUCTION

This is an appeal from a decision of the Toronto-East York Committee of Adjustment (COA) pertaining to a request to permit a variance for 318 Rhodes Avenue (subject property).

The variance had been sought through the COA to permit the construction of a two storey detached dwelling with an at grade integral garage.

This property is located in the Greenwood-Coxwell neighbourhood of the City of Toronto (City) which is situated south of Fairford Avenue and bounded by Craven Road to the west and Coxwell Avenue to the east. The property is located on Rhodes Avenue, south of Fairford Avenue and north of Gerrard Street East.

At the beginning of the hearing, I informed all parties in attendance that I had performed a site visit of this subject property and the neighbourhood and had reviewed all materials related to this appeal.

BACKGROUND

The Application consists of the following requested variances:

1. Chapter 10.10.40.40.(1)(A), by-law 569-2013:

The maximum permitted floor space index is 0.6 times the area of the lot (153.34 m²). The floor space index will be 1.18 times the area of the lot (301.45 m²).

This variance was heard and refused at the January 15, 2020 Toronto-East York COA meeting.

Subsequently, an appeal was filed by the owner on February 3, 2020, by Sukhvir Singh, property owner of 318 Rhodes Avenue, within the 20 day appeal period as outlined by the *Planning Act*. The TLAB received the appeal and scheduled a hearing on November 26, 2020 for all relevant parties to attend. It is noted that the matter had a previously scheduled hearing date which had been suspended due to the emergency period imposed by the province. This new date in November 2020 was scheduled due to a TLAB directive for the gradual re-establishing of TLAB operations consistent with overall operations of the City to ensure continuity of municipal business to serve residents.

MATTERS IN ISSUE

The variance applicant has acted concertedly to address both staff and resident concerns with their proposal. As a result, there is now a proposal being presented to the TLAB which, although an appeal, has no opposing parties. Even so, the tribunal must assess the proposal to determine if it supports principles of good planning to ensure broader public interest is upheld.

JURISDICTION

Provincial Policy – S. 3

A decision of the Toronto Local Appeal Body ('TLAB') must be consistent with the 2014 Provincial Policy Statement ('PPS') and conform to the Growth Plan of the Greater Golden Horseshoe for the subject area ('Growth Plan').

Minor Variance – S. 45(1)

In considering the applications for variances from the Zoning By-laws, the TLAB Panel must be satisfied that the applications meet all of the four tests under s. 45(1) of the *Planning Act*. The tests are whether the variances:

- maintain the general intent and purpose of the Official Plan;
- maintain the general intent and purpose of the Zoning By-laws;
- are desirable for the appropriate development or use of the land; and
- are minor.

EVIDENCE

At the commencement of the hearing, the agent for the applicant/appellant, Narun Nabi, indicated to the tribunal that changes to the proposal had been made. As a result, the original variance was now requested to be revised to the following:

1. Chapter 10.10.40.40.(1)(A), by-law 569-2013:

The maximum permitted floor space index is 0.6 times the area of the lot (153.34 m²). The floor space index will be 0.88 times the area of the lot (225.28 m²).

The variance request for an increased floor space index (FSI) permission has now been reduced, with new site plan and drawings submitted to reflect a new building type. Mr. Nabi further opined that the proposal had been presented to the single interested party for this matter, Gerry Campbell, who had reviewed it and was now agreeable to the proposal. The tribunal requested that Mr. Nabi ensure that all materials pertaining to the changes as presented at the hearing be provided and reflected in the City's Application Information Centre (AIC) database. It was explained that this is necessary to ensure I have all relevant material so as to make a decision on the matter. Mr. Nabi affirmed that this would be done in a prompt manner.

Ms. Nicole Hanson, a land use planner representing the applicant/appellant, then spoke to the tribunal. She reiterated what had been discussed by Mr. Nabi in outlining how, after the requisite COA meeting, changes had been made to the proposal to reduce the variance request for floor space index (FSI). In her summation, the changes will act to meet the four tests for a variance, as per the *Planning Act*, while also acting to incorporate recommendations as expressed in the City Planning report and also through discussions with the neighbouring resident, Mr. Campbell.

I noted that the disclosure documents which are found on the City's Application Information Centre (AIC) for this matter appear quite concise, in comparison to other similar TLAB files which I have handled previously. Ms. Hanson noted that due to the emergency period as a result of COVID-19 pandemic, they had not been able to submit additional materials to the TLAB. She further explained that due to this current situation she elected to obtain party status for the matter and not register as an expert witness.

The single interested party, Gerald Campbell, then spoke. He stated that the applicant/appellant had engaged in discussions with him on this appeal and the revised proposal. These discussions have resulted in Mr. Campbell revising his original opposition to the matter, to now supporting it. He described that his support would be contingent on the revised matter being provided to the TLAB for me to review and consider.

This concluded the evidence and statements to the tribunal. It is noted that the property-owner, Sukhvir Singh, was in attendance but did not make presentations to the TLAB.

ANALYSIS, FINDINGS, REASONS

The material, as described by Mr. Nabi, focus on acting to reduce the variance request to provide a more appropriate development for this immediate neighbourhood context. Most notably, the City Planning report, dated January 9, 2019, provides a conceptual overview of the proposal. The planner, Stephanie Hong, did not support the original request which was for a FSI variance of 1.18 times the area of the lot (301.45 m²). The report further recommended that this request be reduced to 0.84 times the area of the lot (214.4 m²) FSI, exclusive of the basement level. It is further noted that the City Parks, Forestry & Recreation staff also produced a report, dated January 9, 2018, which outlines a series of conditions if the original variance application had been approved by COA. Here, it further states that Forestry staff would prefer two outcomes for the matter:

- A) deferral of the application so further information could be obtained on potential impact to trees on the property
- B) or that the COA refuse the application in its entirety.

Here, the COA elected the latter and refused the application. The applicant/appellant did exercise their legal right to appeal this matter to the TLAB for further review and consideration. The tribunal recognizes that the proposal that is now before the TLAB has substantially changed from its original iteration. The reduction to 0.88 times the area of the lot (225.28 m²) FSI, is closer to the figure which City Planning staff had recommended as an acceptable change to the proposal. It is further noted that the applicant/appellant has engaged in a fruitful discussion with the interested party Mr. Campbell to secure his support of this new proposal as well. In such respect, the revised proposal is seen to be more consistent with policies such as Official Plan Amendment 320 (OPA) by altering the proposal to ensure it more adequately reflect the neighbourhood context. The four tests for a variance, as per the *Planning Act*, were also

considered by the land use planner, Ms. Hanson, to demonstrate that the new proposal is able, in her opinion, to meet these tests when placed under appropriate scrutiny.

I find that the requested alteration is a reduction and that no further notice is required pursuant to Section 45 (18.1.1) of the *Planning Act*.

The tribunal notes that this proposal does incorporate an integral garage as part of the proposed dwelling design. I have handled other TLAB matters in other parts of the City where an integral garage is governed by requisite municipal policies and regulations, such as in parts of the former City of North York. The material which is associated with this appeal do not contain such requirements, or to be put simply such policies are not applicable here. In addition, the applicant/appellant did provide photographs depicting an in-fill house with an integral garage at 89 Rhodes Avenue. This visual representation was presented to demonstrate that such a building typology has been built previously in this area. I further note that I did observe this house when I conducted my site visit of the area. The tribunal recognizes that due to the smaller and narrower lots indicative of this neighbourhood that the use of an integral garage for a detached dwelling can be seen as appropriate, if assessed in relation to local site characteristics.

I am considering here to alter the pre-filing *TLAB Rules* and allow the evidence of a new expert, not entire disclosed as such, in circumstances where the Rules have not been demonstrated to have been considered or applied, even with the emergency period the City is currently subject to. While there are procedural matters and are substantive, and while it is the responsibility of the planning profession to make itself cognizant of the *Rules of Practice and Procedure of the TLAB*, it is not the responsibility of the tribunal to education or to created additional issues where a matter can be addressed within appropriate parameters of fairness and disclosure. Here, all Parties are ad item on the revision; there is no additional Notice required for the revision; it is responsive to City Staff commentary; and there is alleged to have been some confusion in the ending of the emergency period. As such, no useful purpose is apparent or requested for an adjournment.

With the material presented before me, the tribunal accepts the evidence as proffered by the applicant/appellant. Sufficient attempts have been made to revise the proposal to meet City comments on the application which act to ameliorate resident concerns, as evident in Mr. Campbell's altered position to now support the proposal.

This replacement house will now be more 'in keeping' with neighbourhood dynamics and will not act to conflict with municipal policy directives for this area.

This further demonstrates that constructive dialogue between applicants and local residents can provide a preferable outcome for all parties involved.

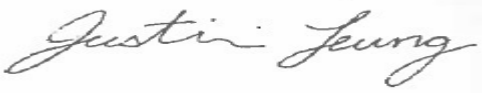
The TLAB recognizes the comments of both the Planning and Forestry staff and believe that their proposed conditions should be recognized and continue to be enforced as part of the issuance of this Decision. They have provided cogent reasons as to why they should be included with an approval of this variance application as they ensure certain municipal interests are preserved.

Here, an approval would deviate slightly from the proposed variance request as recommended by Planning staff. As well, the condition wording can also be altered to include the variance request as presented by the applicant/appellant and accepted by the TLAB. As referenced earlier, the tribunal finds that substantive efforts have been made to reduce the FSI request to be more complimentary to neighbourhood, staff and resident concerns.

The tribunal finds the difference between what Planning staff recommendation and what the applicant/appellant has proffered to be materially similar. An approval as requested will ensure a detached dwelling which is able to adapt to the neighbourhood context in which it will be built.

DECISION AND ORDER

The appeal is allowed, and the variances in Appendix 1 approved subject to the conditions therein and subject to the further condition that the dwelling must be constructed substantially in accordance with the plans, excluding internal layouts, contained in Appendix 2.

X 

Justin Leung
Panel Chair, Toronto Local Appeal Body

Appendix 1

List of proposed variances

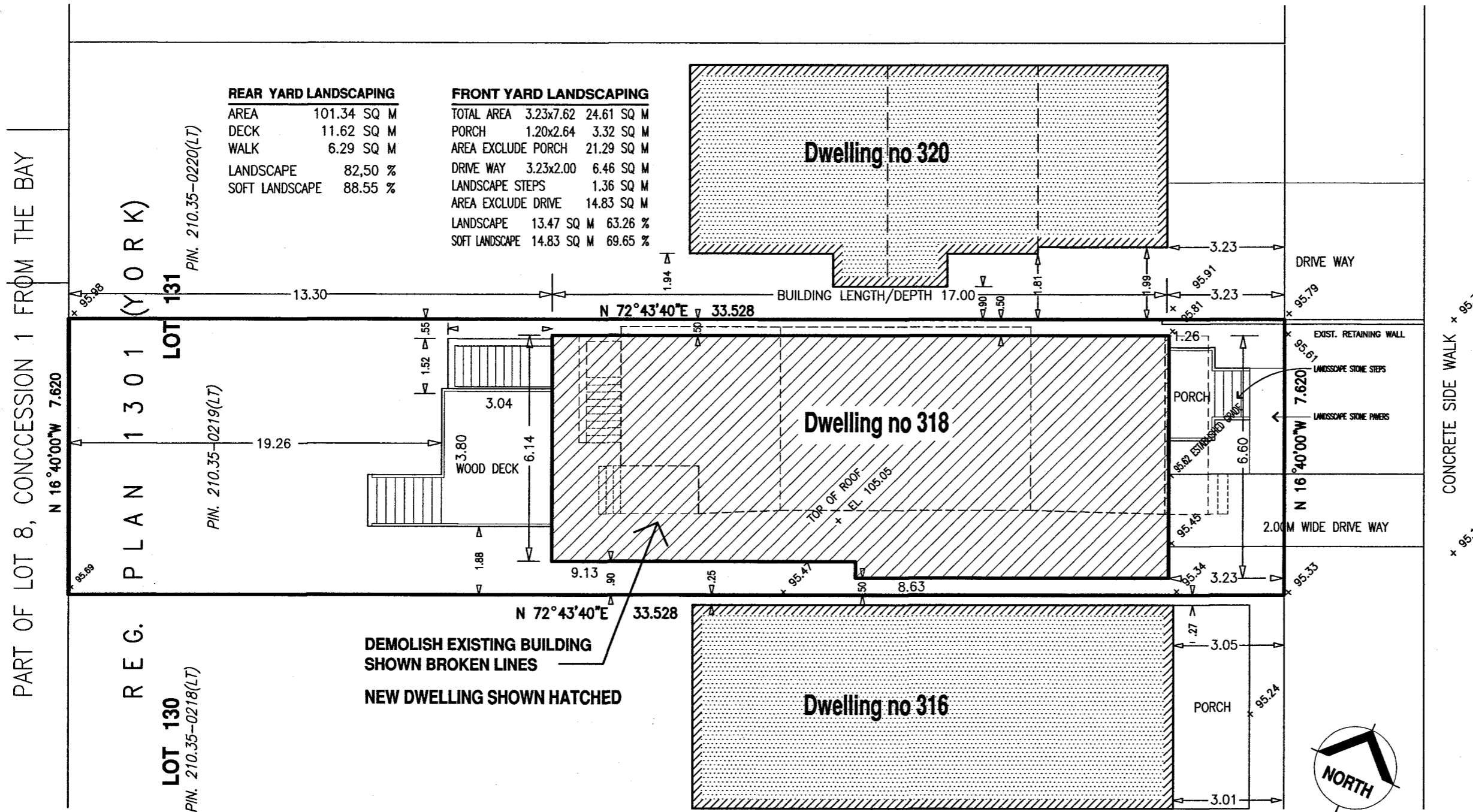
1. Chapter 10.10.40.40.(1)(A), by-law 569-2013:

The maximum permitted floor space index is 0.6 times the area of the lot (153.34 m²). The floor space index will be 0.88 times the area of the lot (225.28 m²).

List of proposed conditions

- 1) The floor space index of the proposed dwelling exclusive of the basement level shall be limited to 0.88 times the area of the lot (225.28 m²).
- 2) Submission of a complete application for a permit to injure or remove a City owned tree(s), as per City of Toronto Municipal Code Chapter 813, Trees Article II Trees on City Streets.
- 3) Submission of a complete application for a permit to injure or remove a privately owned tree(s), as per City of Toronto Municipal Code Chapter 813, Trees Article III Private Trees Protection.
- 4) Where there is no existing street tree, the owner shall provide payment in lieu of planting of one street tree on the City road allowance abutting each of the site involved in the application. The current cash-in-lieu payment is \$583/tree.

Appendix 2



REAR YARD LANDSCAPING

AREA	101.34 SQ M
DECK	11.62 SQ M
WALK	6.29 SQ M
LANDSCAPE	82.50 %
SOFT LANDSCAPE	88.55 %

FRONT YARD LANDSCAPING

TOTAL AREA	3.23x7.62	24.61 SQ M
PORCH	1.20x2.64	3.32 SQ M
AREA EXCLUDE PORCH		21.29 SQ M
DRIVE WAY	3.23x2.00	6.46 SQ M
LANDSCAPE STEPS		1.36 SQ M
AREA EXCLUDE DRIVE		14.83 SQ M
LANDSCAPE	13.47 SQ M	63.26 %
SOFT LANDSCAPE	14.83 SQ M	69.65 %

REFERENCE
 INFORMATION TAKEN FROM SURVEY PL
 SHOWING PART OF LOT 131 & 130
 REGISTERED PLAN 1301 (YORK)
 CITY OF TORONTO

THIS SURVEY DRAWING WAS PREPARED BY
 DONALD E. ROBERTS LTD.
 ONTARIO LAND SURVEYORS
 111 RAILSIDE ROAD, SUITE 304
 TORONTO, ONTARIO, M3A 1B2
 PHONE 416 755-5320

DONALD E. ROBERTS
 DATE : SEPTEMBER 4, 2018

SITE STATISTICS

LOT AREA	255.57 SQ.
	2,750.00 SQ.
BASEMENT	83.64 SQ.
	900.06 SQ.
GROUND FLOOR	108.96 SQ.
	1,172.47 SQ.
FRONT PORCH	3.32 SQ.
	35.81 SQ.
SECOND FLOOR	106.91 SQ.
	1,150.36 SQ.
1 CAR GARAGE	25.31 SQ.
	272.41 SQ.
REAR WOOD DECK	11.62 SQ.
	125.00 SQ.
TOTAL HABITABLE FLOOR AREA (1172.47 + 1150.36) SQFT	215.87 SQ.
	2,322.83 SQ.
FLOOR AREA INDEX	0.84
ALLOWED .60	153.34 SQ.
	1650.00 SQ.
LOT COVERAGE WITH FRONT PORCH	45.20 %

LOT GRADING
 RETAIN EXISTING GRADE
 LAND SURVEYOR SHALL PREPARE LOT
 GRADING AND GARAGE FLOOR ELEVATION

NOTE
 THIS DRAWING PACKAGE CONTAINS SHEET 1
 A-1 TO A-11 & LAND/TOPO SURVEY

DIMENSIONS ARE SHOWN IN METRIC SCALE. CAN
 CONVERTED TO IMPERIAL, DIVIDING BY .3048

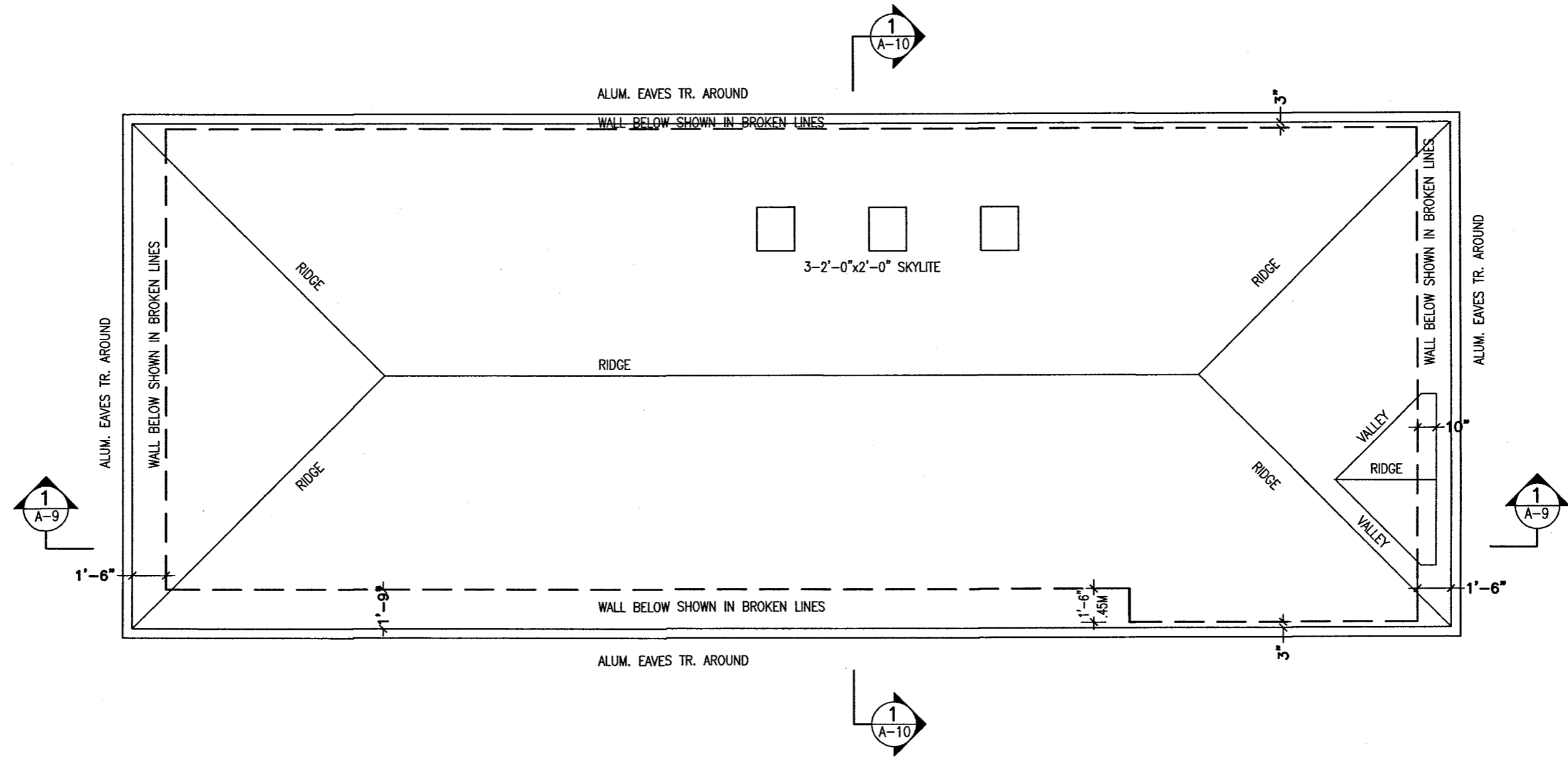
SITE PLAN

SCALE 1 : 125

Demolish existing dwelling & build new dwelling at
318 Rhodes Avenue
 Toronto, Ontario, M4L 3A3

4	25 Sept 2019	C A Revision
3	13 May 2019	C A
2	09 Apr 2019	PPR Revised
1	15 Feb 2019	PPR
No	Date	Remarks

Drawing No **A-1**



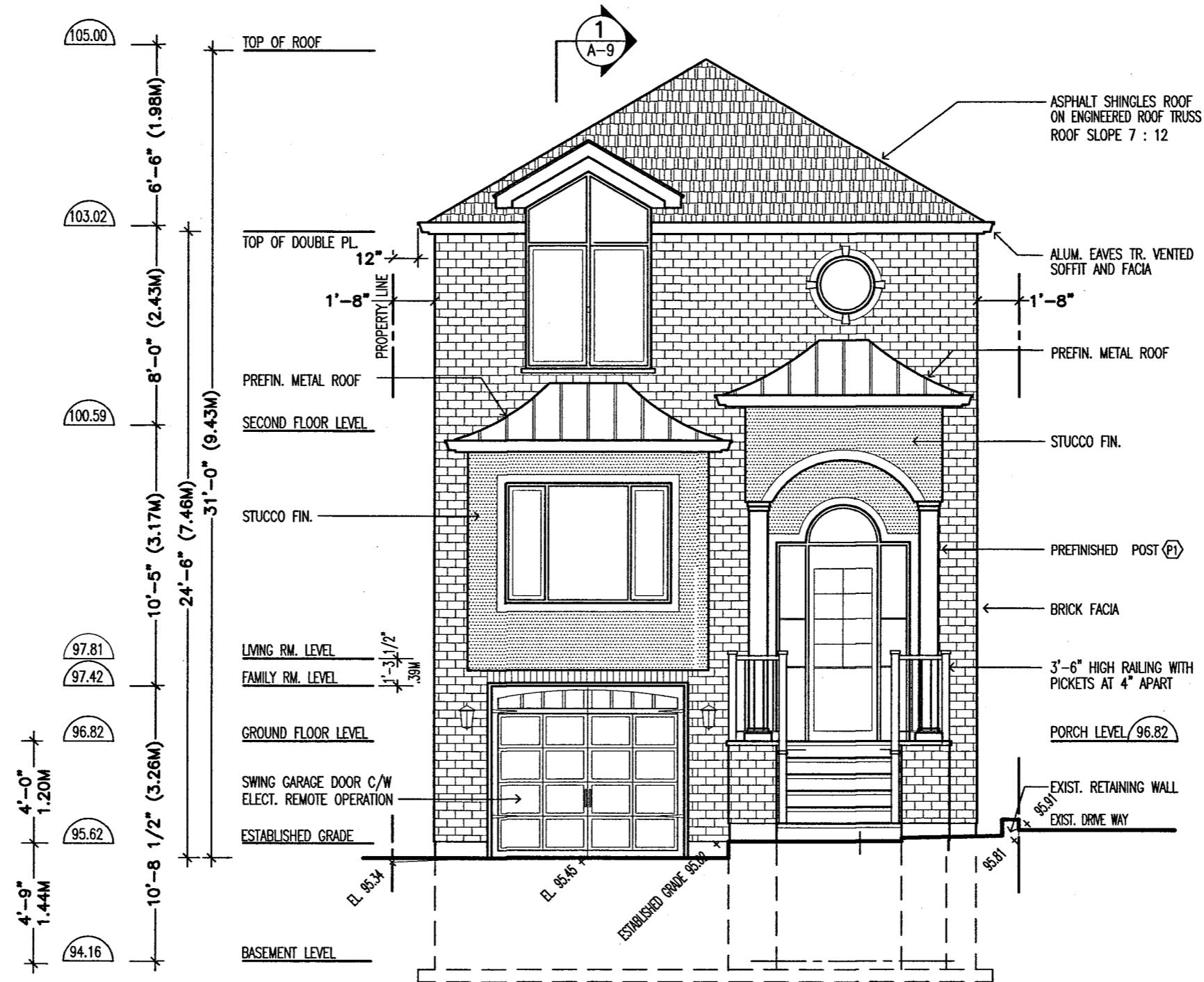
ROOF PLAN

SCALE : 3/16" = 1'-0"

Demolish existing dwelling & build new dwelling at
318 Rhodes Avenue
 Toronto, Ontario, M4L 3A3

4	25 Sept 2019	C A Revision
3	13 May 2019	C A
2	09 Apr 2019	PPR Revised
1	15 Feb 2019	PPR
No	Date	Remarks

Drawing No **A-5**



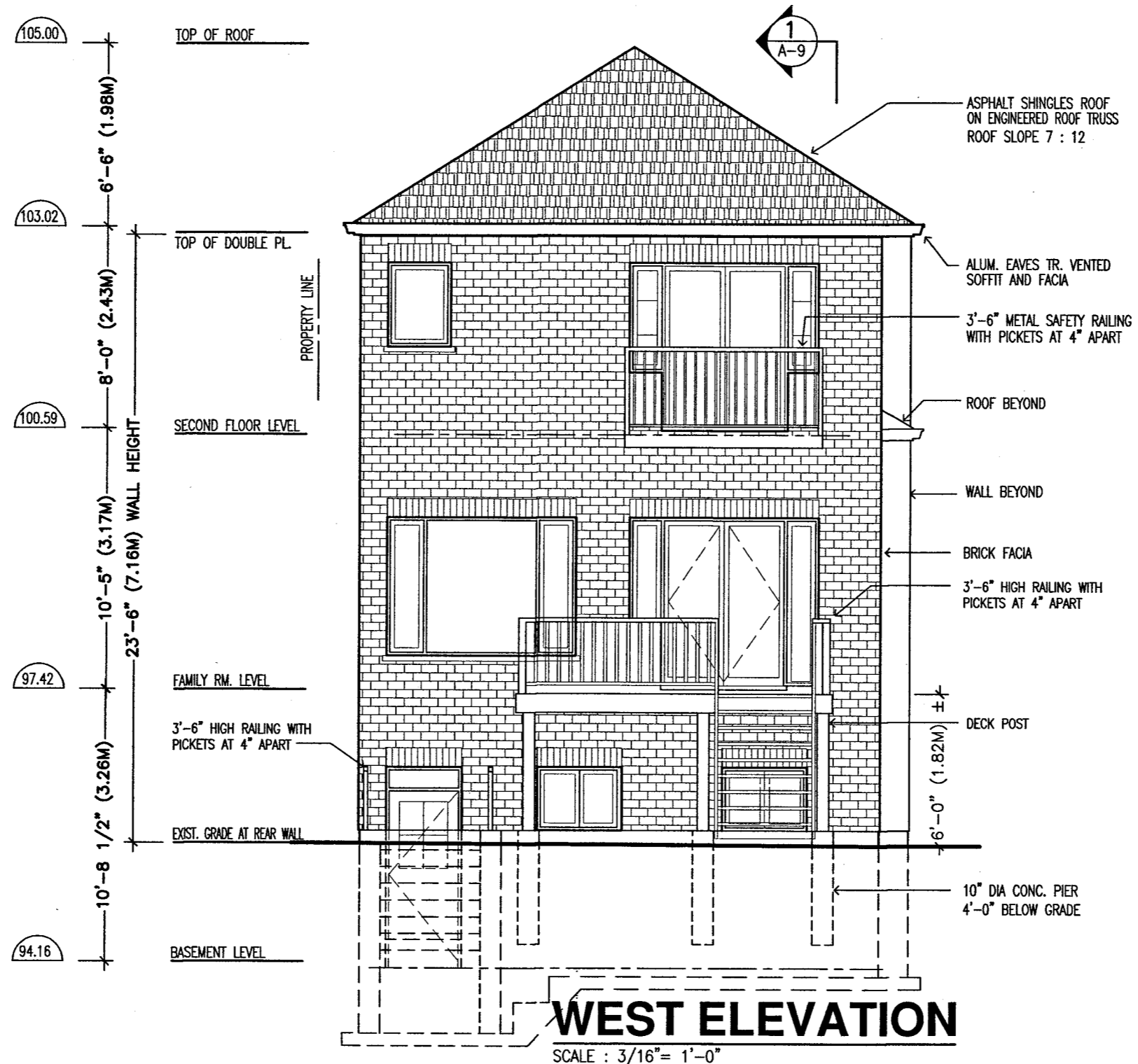
EAST ELEVATION

SCALE : 3/16" = 1'-0"

Demolish existing dwelling & build new dwelling at
318 Rhodes Avenue
 Toronto, Ontario, M4L 3A3

4	25 Sept 2019	C A Revision
3	13 May 2019	C A
2	09 Apr 2019	PPR Revised
1	15 Feb 2019	PPR
No	Date	Remarks

Drawing No **A-6.1**



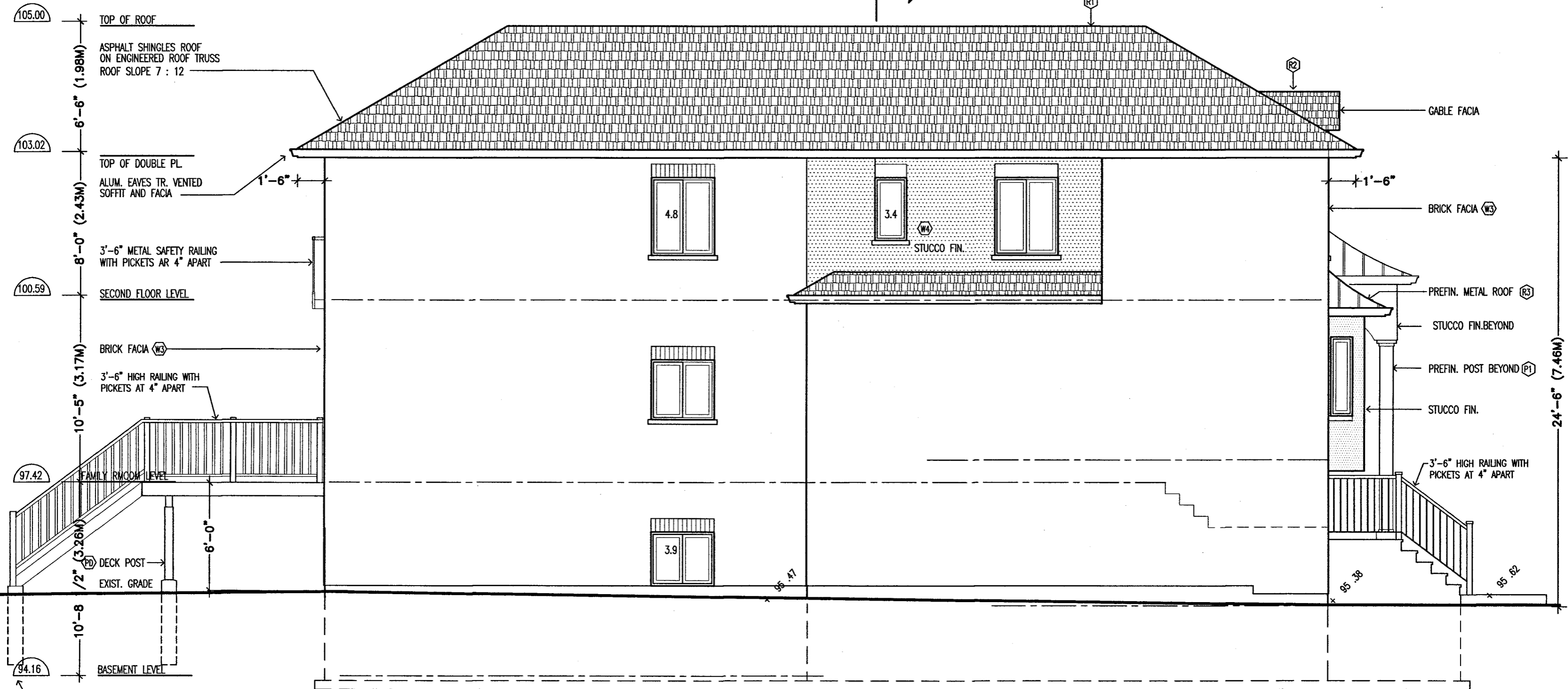
Demolish existing dwelling & build new dwelling at
318 Rhodes Avenue
 Toronto, Ontario, M4L 3A3

4	25 Sept 2019	C A Revision
3	13 May 2019	C A
2	09 Apr 2019	PPR Revised
1	15 Feb 2019	PPR
No	Date	Remarks

Drawing No **A-6.2**

ALL WINDOW SET BACK AT SOUTH WALL ARE 3'-0" FROM PROPERTY LINE

1
A-10



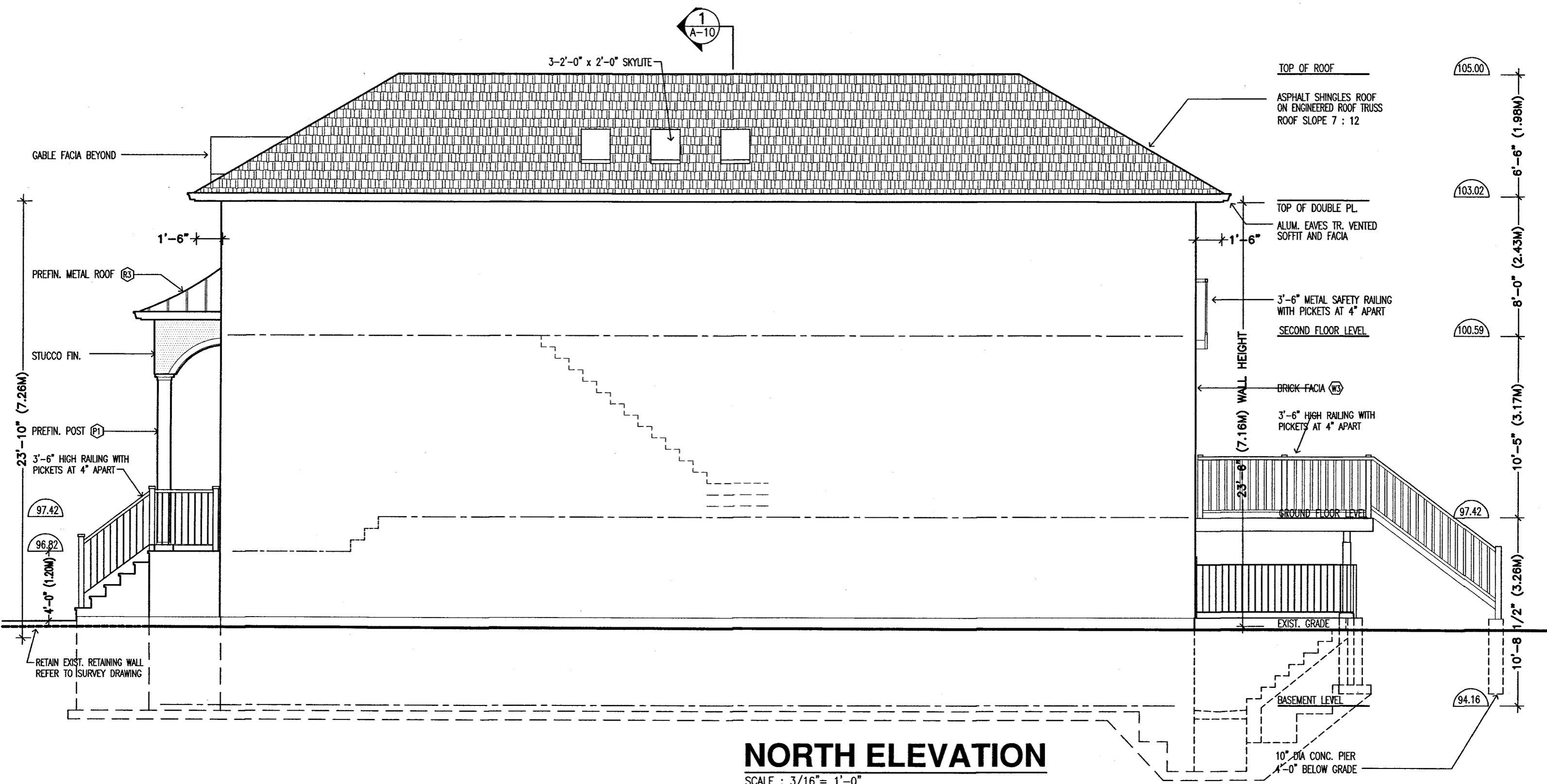
SOUTH ELEVATION

SCALE : 3/16" = 1'-0"

Demolish existing dwelling & build new dwelling at
318 Rhodes Avenue
 Toronto, Ontario, M4L 3A3

4	25 Sept 2019	C A Revision
3	13 May 2019	C A
2	09 Apr 2019	PPR Revised
1	15 Feb 2019	PPR
No	Date	Remarks

Drawing No **A-7**



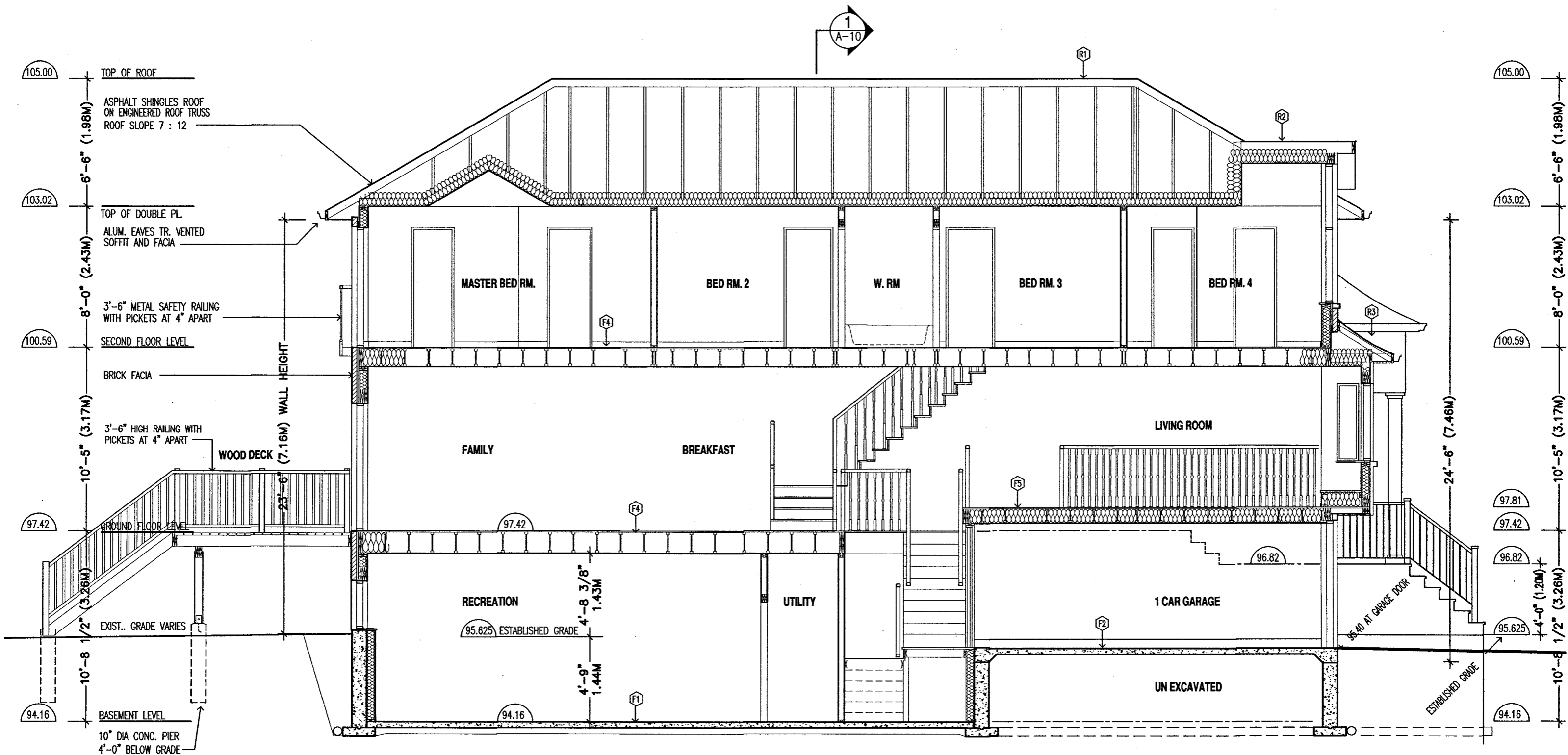
NORTH ELEVATION

SCALE : 3/16" = 1'-0"

Demolish existing dwelling & build new dwelling at
318 Rhodes Avenue
 Toronto, Ontario, M4L 3A3

4	25 Sept 2019	C A Revision
3	13 May 2019	C A
2	09 Apr 2019	PPR Revised
1	15 Feb 2019	PPR
No	Date	Remarks

Drawing No **A-8**

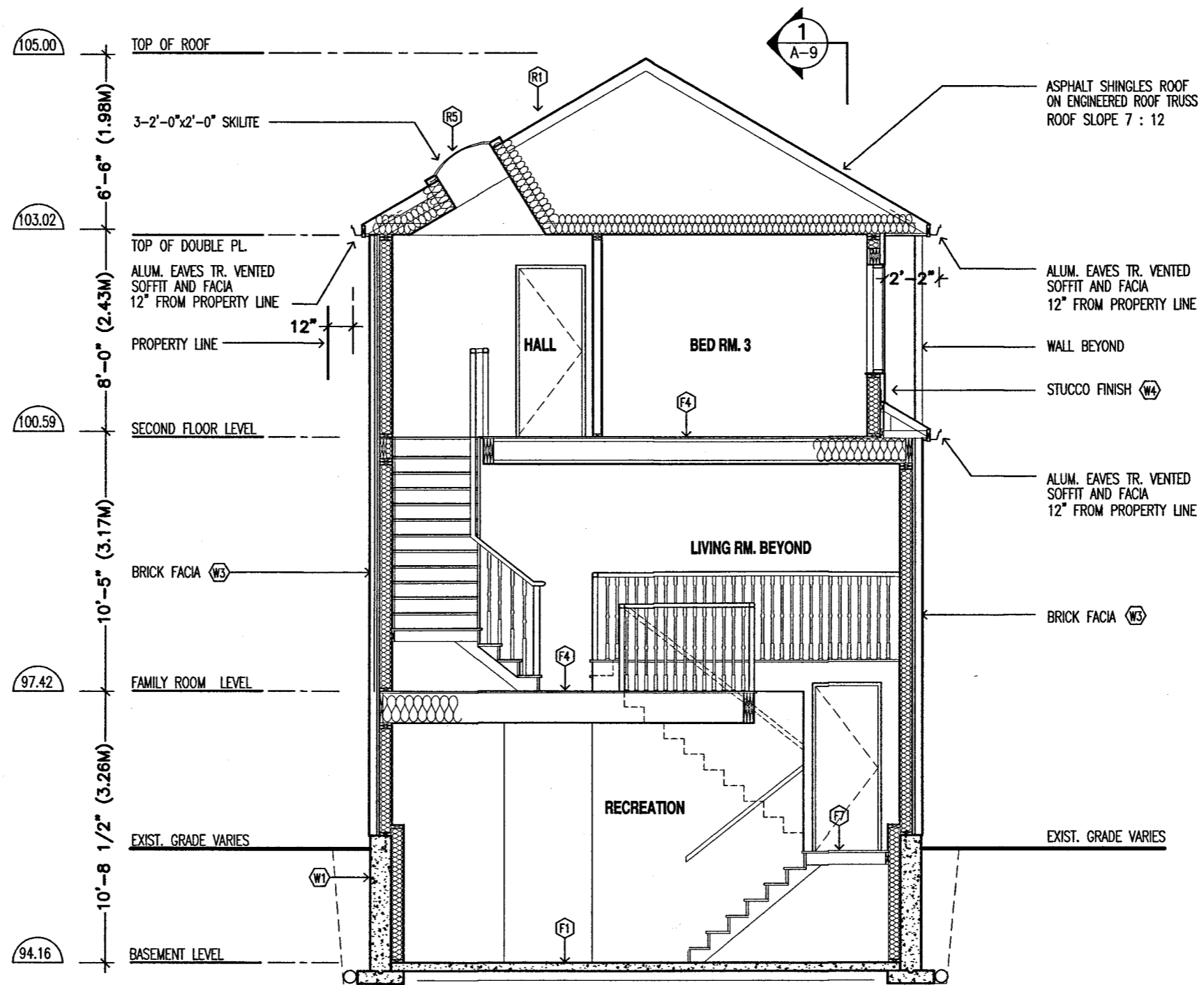


SECTION
 1 A-9 SCALE: 3/16" = 1'-0"

Demolish existing dwelling & build new dwelling at
318 Rhodes Avenue
 Toronto, Ontario, M4L 3A3

4	25 Sept 2019	C A Revision
3	13 May 2019	C A
2	09 Apr 2019	PPR Revised
1	15 Feb 2019	PPR
No	Date	Remarks

Drawing No **A-9**



1 SECTION
 A-10 SCALE : 3/16" = 1'-0"

Demolish existing dwelling & build new dwelling at
318 Rhodes Avenue
 Toronto, Ontario, M4L 3A3

4	25 Sept 2019	C A Revision
3	13 May 2019	C A
2	09 Apr 2019	PPR Revised
1	15 Feb 2019	PPR
No	Date	Remarks

Drawing No **A-10**

NOTES ON CONSTRUCTION DETAIL

GENERAL NOTES

1. WORK ON THIS PROJECT SHALL CONFORM TO THE PROVISION OF THE LATEST EDITION OF ONTARIO BUILDING CODE.
WORK ALSO HAS TO COMPLY WITH THE REQUIREMENTS OF ALL AUTHORITIES THAT HAS JURISDICTION ON THIS PROJECT.
ANY CHANGES OR REVISIONS TO THE PERMIT DRAWINGS SHALL BE CONSULTED WITH THE ENGINEERS AND DESIGNERS.
 2. EXCAVATION SHALL BE DONE IN SUCH A MANNER TO PREVENT DAMAGE TO NEIGHBOURING STRUCTURE
 3. REMOVE WOOD DEBRIS OR VEGETABLE MATTER FROM BACK FILL
 4. ALL MATERIALS, FINISHES, COLOURS, ETC ARE SUBJECT TO OWNERS AGREEMENT WITH BUILDER.
 5. DOWNSPOUTS SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING
- GRADING
6. EXISTING GRADING REMAINS ALMOST SAME REFER TO SITE AND TOPOGRAPHIC SURVEY
 7. RETAIN EXISTING RETAINING WALL ON FRONT NORTH EAST CORNER
 8. DO NOT SCALE DRAWING

EXTERIOR WALL

W5 BASEMENT FOUNDATION WALL

- 10" POURED CONCRETE WALL ON 22"x 6" DEEP CONC. FOOTING. FOOTING WITH 2 15M CONT. 32 MPa MIN. FOR WALLS AND FOOTINGS
- RECESSED CONCRETE WALL TO TERMINATE MIN 6" ABOVE FINISHED GRADE
- A. 4" DIA BIG 'O' BLACK PLASTIC WEeping TILE LAID WITH CRUSHED STONE COVER
 - B. 1/2" GYP BD ON 6 MIL POLY VAPOUR BARRIER ON WARM SIDE ON 2x6 WOOD STRAPPING WITH R-22 MIN. N/C INSULATION
 - C. 2x6 WOOD SILL PL. ANCHORED TO FOUNDATION WALL WITH 1/2" DIA BOLT MIN 6" EMBEDDED @ 4'-0" O/C MAX.
 - D. DAMPROOFING BITUMINUS DAMPROOFING AND DRAINAGE LAYER OR A B.M.E.C APPROVED DRAINAGE LAYER

W2 FRONT PORCH BASEMENT LEVEL WALL

- 8" POURED CONCRETE WALL ON 20"x6" DEEP CONC. FOOTING. FOOTING WITH 2 15M CONT.
- ### W3 1 1/2" THIN BRICK FACIA
- WITH WEEP HOLES @ 24" O.C AT STARTER COURSE TO BE LEFT CLEAN BASE FLASHING TO BE CARRIED MIN 6" UP BEHIND WALL SHEATHING PAPER GALV. METAL TIES 22 G.A THICK & 7/8" WIDE SPACED @ 16" HORIZ. & 24" VERT. 15# BLDG. PAPER, LAYERS TO OVERLAP 1/2" EXTERIOR TYPE PLYWOOD OR SHEATHING 2x6 WD. STUDS @ 16" O.C FILLED WITH R=30 INSULATION (N/C) 2x6 WD. BLOCKING @ MID-HEIGHT DOUBLE PL. @ TOP, SINGLE PL. @ BOTTOM VAPOUR BARRIER AT WARM SIDE SEALED & CONTINUOUS. 1/2" GYP BD. FIN. HEADER COURSE AND BAND, SEE ELEVATION

W4 STUCCO FIN ON 2" INSUL. BD

- SEE ELEVATION
1/2" EXTERIOR TYPE PLYWOOD OR SHEATHING 2x6 WD. STUDS @ 16" O.C FILLED WITH R=30 INSULATION (N/C) 2x6 WD. BLOCKING @ MID-HEIGHT DOUBLE PL. @ TOP, SINGLE PL. @ BOTTOM VAPOUR BARRIER AT WARM SIDE SEALED & CONTINUOUS.

INTERIOR WALL

W5 2x4 WD STUDS @ 16" O.C

- 1/2" GYP BD. ON BOTH SIDES DOUBLE PL. AT TOP SINGLE PL. AT BOTTOM 2x4 WD. BLOCKING AT MID HEIGHT
- ### W6 WASH ROOM
- SAME AS W5
1/2" GYP BD. ON ONE SIDE 1/2" WATERPROOF BD. OR 1/2" CEMENT BD. ON BATH TUB OR SHOWER SIDE FINISHED TILE WALL

GARAGE INTERIOR WALL

- ### W7 1/2" TYPE X GYP BD. FIN
- CONTINUOUS SMOKE SEAL AT WALL AND CEILING INTERSECTION
- 1/2" TYPE X GYP BD. FIN ON GARAGE SIDE CONTINUOUS SMOKE SEAL AT WALL, CEILING 2x6 WD. STUDS @ 16" O.C FILLED WITH R=30 INSULATION (N/C) 2x6 WD. BLOCKING @ MID-HEIGHT DOUBLE PL. @ TOP, SINGLE PL. @ BOTTOM VAPOUR BARRIER AT WARM SIDE SEALED & CONTINUOUS. 1/2" GYP BD. FIN. PROVIDE SEALED DOOR FOR SMOKE PROTECTION

POSTS

- PROVIDE SOLID BLOCKING AT ALL POSTS (TYP)
- ### P1 FRONT PORCH POST
- DECORATIVE PREFINISHED 5" DIA POST C/W POST BASE AND CAP TIES REFER TO BUILDING PERMIT DRAWINGS

DECK POST

- ### P2 6x6 PT WD. POST WITH COL. CAP BY SIMPSONS
- ANCHORED TO 12" DIA CONC. PIER WITH METAL SHOE & 1/2" DIA BOLT MIN 6" INTO CONCRETE. CONCRETE PIER MIN 4'-0" BELOW GRADE AND MIN 6" ABOVE GRADE
- ### P3 POST FOR GIRDER TRUSS
- 3-2x6 LOCATION REFER TO TRUSS LAYOUT DRAWING

BEAMS

- ### B1 REFER TO BUILDING PERMIT DRAWINGS

JOISTS

- USE APPROVED JOISTS HANGERS WHERE APPLICABLE
- ### J1 TJI 11 7/8" @ 16" O.C
- ### J2 DOUBLE TJI JOISTS AT WALL ABOVE

LINTEL

- ### L1 REFER TO BUILDING PERMIT DRAWINGS

FLOORS

- ### F1 BASEMENT FLOOR
- 4" CONC. SLAB (20MPa) ON 5" THICK 3/4" CRUSHED STONE ON 95% COMPACTED SOIL ON 6 MIL POLY VAPOUR BARRIER SLABS TO HAVE 5% TO 7% AIR ENTRAINMENT
- ### F2 GARAGE FLOOR
- 4" CONC. SLAB (25MPa) WITH MESH 6x6 -6-6 ON 5" THICK 3/4" CRUSHED STONE ON 95% COMPACTED SOIL SLABS TO HAVE 5% TO 7% AIR ENTRAINMENT
- ### F3 FRONT PORCH AND STEPS
- 5" CONC. SLAB (25MPa) WITH MESH 6x6 -6-6 ON 5" THICK 3/4" CRUSHED STONE ON 95% COMPACTED SOIL SLABS TO HAVE 5% TO 7% AIR ENTRAINMENT
- ### F4 TYPICAL WOOD FLOOR
- FIN FLOOR ON T & G PLYWOOD SUB FLOOR ON 11 7/8" TJI S 41 JOISTS (SEE FLOOR PLAN) GLUE & SCREWD DOUBLE JOISTS @ UNDER PARTITION, UNLESS OTHERWISE NOTED HEADER CONT. RIM BD W/ AIR BARRIER WRAP R-40 ROXUL COMFORT INSULATION DOUBLE LVL RIM BD ON WEST WALL
- ### F5 GARAGE CEILING
- SAME AS F4 WITH R=40 INSUL IN FIL SMOKE SILL ENTIRE GARAGE CEILING AND WALL INTERSECTION. USE TYPE - X GYP BD PROVIDE SEALED DOOR FOR SMOKE PROTECTION
- ### F7 STAIR LANDING WOOD FLOOR
- FIN FLOOR ON T & G PLYWOOD SUB FLOOR ON 2x6 @ 16" O/C

ROOF

- ### R1 ENGINEERED ROOF TRUSS
- REFER TO TRUSS SUPPLIER DRAWINGS 210# SELF - SEALING ASPHALT SHINGLES ON 1/2" PLYWOOD SHEATHING CW/ "H" CLIPS COFFER & CATHEDRAL CEILING SEE FLOOR PLAN 6 MIL POLY VAPOUR BARRIER ON WARM SIDE R40 INSULATION OVER ENTIRE CEILING AREA

- EAVES TR. ON 2x6 WD. FR. & AL FACIA FLASHING AT ROOF & WALL INTERSECTION (TYP) VENTED AL SOFFIT (TYP)

- ### R2 SAME AS R1 ON CONVENTIONAL ROOF OVER TRUSS ROOF
- 2x6 RAFTERS @ 16" O.C PREFINISHED METAL ROOF
- ### R3 FRONT PORCH & ROOF OVER BAY WINDOW
- 2x4 FR. @ 16" O.C ATTACHED TO MAIN WALL FRAMING WITH 2x6 LEDGE AT TOP AND BOTTOM
- ### R4 ATTIC ACCESS
- R 40 INSULATED, C/W WEATHERSTRIP
- ### R5 SKILTE
- 2'-0" x 4'-0", INSTALL AS PER MANUFACTURERS SPEC. SHAFT ON 2x6 FRAMING @ 16" O.C R40 INSULATION 6 MIL POLY VAPOUR BARRIER ON WARM SIDE

ELECTRICAL NOTES

- ### E1 SMOKE ALARM SHALL BE PROVIDED ON EACH FLOOR LEVEL NEAR THE CEILING
- THE SMOKE ALARM SHALL BE CONNECTED TO THE THE BUILDING ELECTRICAL SUPPLY WITHOUT A DISCONNECT WALL SWITCH AND HAVING A CIRCUIT NOT INTERCONNECTED TO ANY WALL OUTLET
- ### E2 A SINGLE STATION ALARM TYPE CARBON MONOXIDE DETECTOR SHALL BE PERMANENTLY MOUNTED ON THE CEILING AND CONNECTED TO THE BUILDING ELECTRICAL SUPPLY WITHOUT A DISCONNECT WALL SWITCH AND HAVING A CIRCUIT NOT INTERCONNECTED TO ANY WALL OUTLET IT SHALL BE WIRED SO THAT ITS ACTIVATION WILL ACTIVATE THE SMOKE ALARM

MECHANICAL NOTES

- ### M1 GAS FIRE PLACE
- INSTALL TO CONFORM MANUFACTURERS MANUAL

Demolish existing dwelling & build new dwelling at
318 Rhodes Avenue
 Toronto, Ontario, M4L 3A3

4	25 Sept 2019	C A Revision
3	13 May 2019	C A
2	09 Apr 2019	PPR Revised
1	15 Feb 2019	PPR
No	Date	Remarks

Drawing No **A-11**