

Baby Point Heritage Conservation District Plan

Virtual Session #2: Architectural Policy Concepts

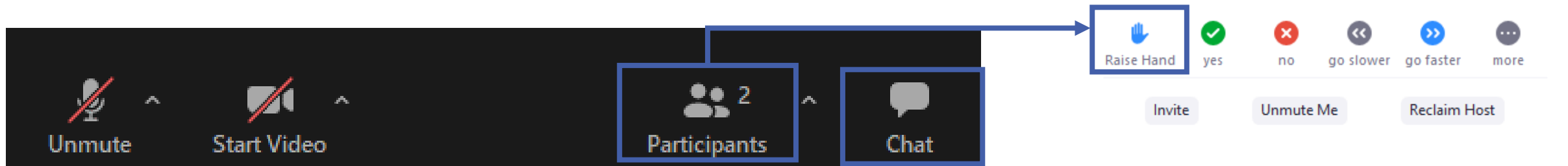
February 27, 2024

6:00-7:30 PM



Zoom Meeting Controls

If you are joining the meeting by the desktop or mobile Zoom app, a toolbar with these buttons appears at the bottom of your screen.



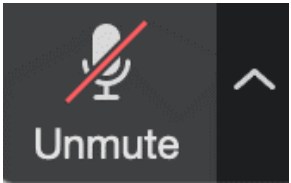
You can control your audio and video using the “Mute/Unmute” and “Video” buttons.

You will be muted by the Host until the Breakout Discussions portion of the meeting

To raise your hand to speak, click or tap the “Participants” button then click or tap the “Raise Hand” icon.

If you have a comment or question during the meeting at any time, you may type it into the chat.

Troubleshooting Tips



Can't hear the Host/Presenter?

Option 1 – Check your audio settings. Click or tap the “^” next to “Unmute” to select the appropriate source for your audio.

Option 2 – If you are using a headset, unplug it and listen through your device's speakers.

If this doesn't work, you can listen in by dialing **+1 6475580588**, followed by the Meeting ID **618 9978 2469#**, then the password **200514#**



Land Acknowledgment

We acknowledge the land we are meeting on is the traditional territory of many nations including the Mississaugas of the Credit, the Anishnabeg, the Chippewa, the Haudenosaunee and the Wendat peoples and is now home to many diverse First Nations, Inuit and Métis peoples. We also acknowledge that Toronto is covered by Treaty 13 with the Mississaugas of the Credit.











African Ancestral Acknowledgement

The City of Toronto acknowledges all Treaty peoples – including those who came here as settlers – as migrants either in this generation or in generations past – and those of us who came here involuntarily, particularly those brought to these lands as a result of the Trans-Atlantic Slave Trade and Slavery. We pay tribute to those ancestors of African origin and descent.



Councillor's Welcome

Agenda

-  6:00 p.m. **Welcome & Introductions**
-  6:10 p.m. **HCD Plan Update**
-  6:20 p.m. **HCD Plan 101**
-  6:25 p.m. **District History and Significance & Architectural Styles**
-  6:35 p.m. **Architectural Policy Concepts**
-  6:50 p.m. **Questions and Breakout Rooms**
-  7:20 p.m. **Next Steps and Wrap-Up**
-  7:30 p.m. **Adjourn**

Conduct



- Keep an open mind while listening to others.
- Be respectful. City of Toronto is an inclusive public organization. Racist or other forms of discriminatory, prejudicial, or hateful comments and questions will not be tolerated.
- Please be brief and limit yourself to one question or comment at a time, so that we may hear from others. There will be other opportunities to engage.

Introductions

Project Team Presenters

- Cecilia Nin Hernandez – Heritage Planner, City of Toronto – Project Lead
- Dima Cook, EVOQ Architecture, Principal – Project Manager, Lead Consultant
- Mark Elsworthy, EVOQ Architecture
- Emily Cheng, EVOQ Architecture
- Susan Hall, LURA Consulting – Lead Facilitator
- Alex Furneaux, LURA Consulting - Facilitator

City Staff & Partners

City Staff

- Tamara Anson-Cartwright, Program Manager, Heritage Planning
- Alison Torrie-Lapaire – Project Manager, Archaeology, City of Toronto
- Samantha Giguere, Heritage Planner
- Gary Miedema, Project Manager
- Amir Nissan, Heritage Planner
- Melanie Schneider, Senior Planner (Community Planner)
- Jessica Beare, Planner Urban Forestry, Forest Policy and Standards

Toronto and Region Conservation Authority (TRCA)

- Nicole Moxley, Senior Planner

Heritage Conservation District Plan Update



Heritage Conservation Districts



An area, defined by a boundary, with a **concentration of cultural heritage resources** that **distinguishes** it from its surroundings; it can include structures, spaces, archaeological sites, natural elements, views/vistas, land use patterns



HCD Plan is a planning tool that ensures **ongoing change** conserves and enhances **heritage value** through **policies and guidelines**



Protected under Part V of the **Ontario Heritage Act (OHA)** and meet prescribed criteria of the OHA, enabled by Official Plan Heritage Policies and Municipal Code



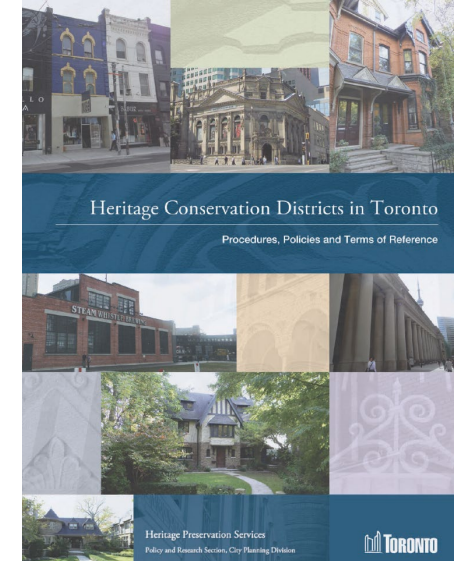
Baby Point HCD Plan Process

We Are Here

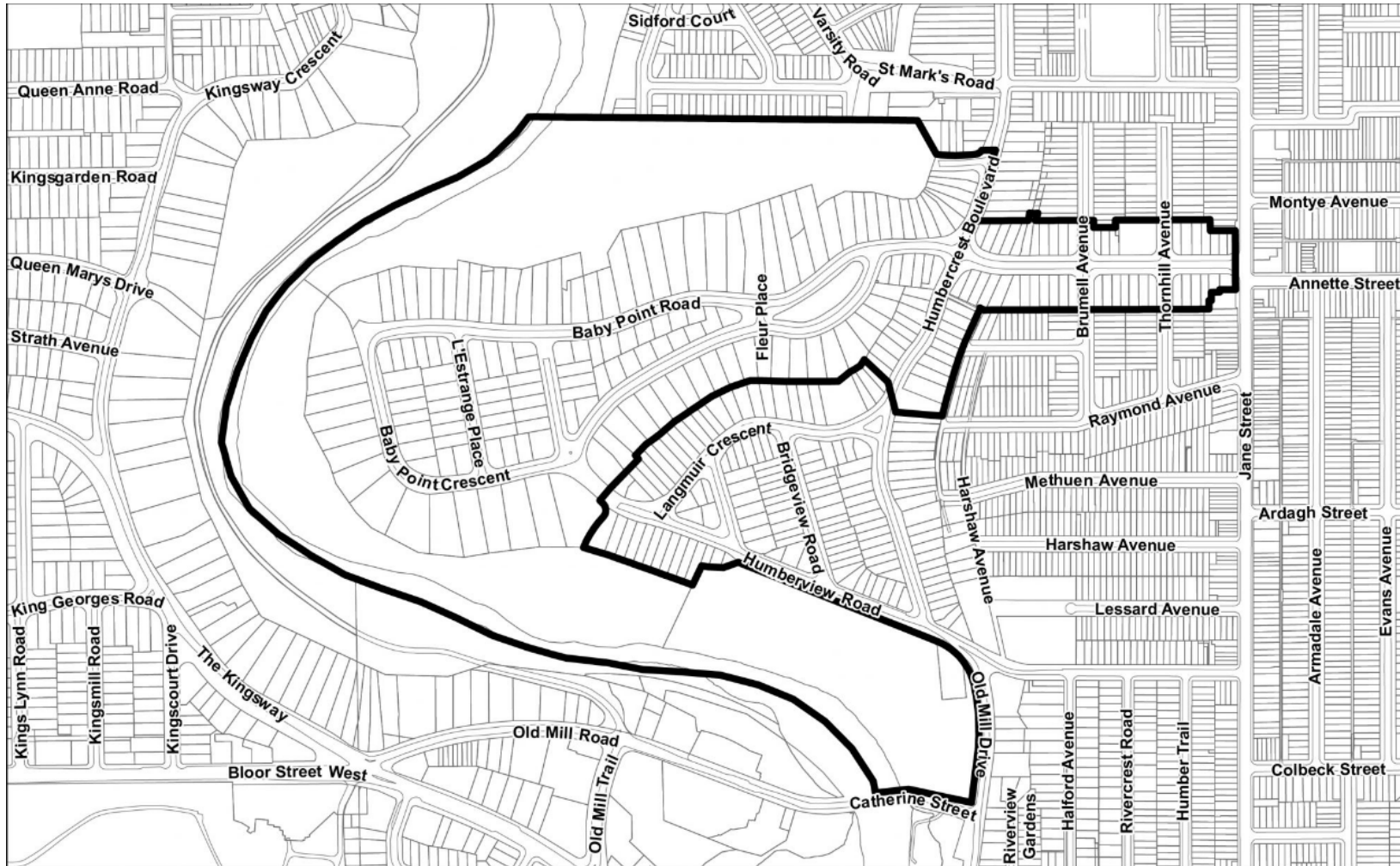


Project Purpose

- Prepare a Heritage Conservation District Plan (HCD) for Baby Point
- Develop HCD Draft Plan with Statement of Significance, Heritage Attributes, Objectives, Policy and Guidelines to conserve heritage resources that contribute to the HCD character and cultural heritage value of the area
- Prepare it in accordance with the Ontario Heritage Act, Regulation 9/06, City of Toronto's Official Plan, Municipal Code and Toronto's Terms of Reference for HCDs
- Builds upon the HCD Study recommendations that the area is a candidate for designation and Toronto Preservation Board endorsement to develop an HCD Plan for Council adoption



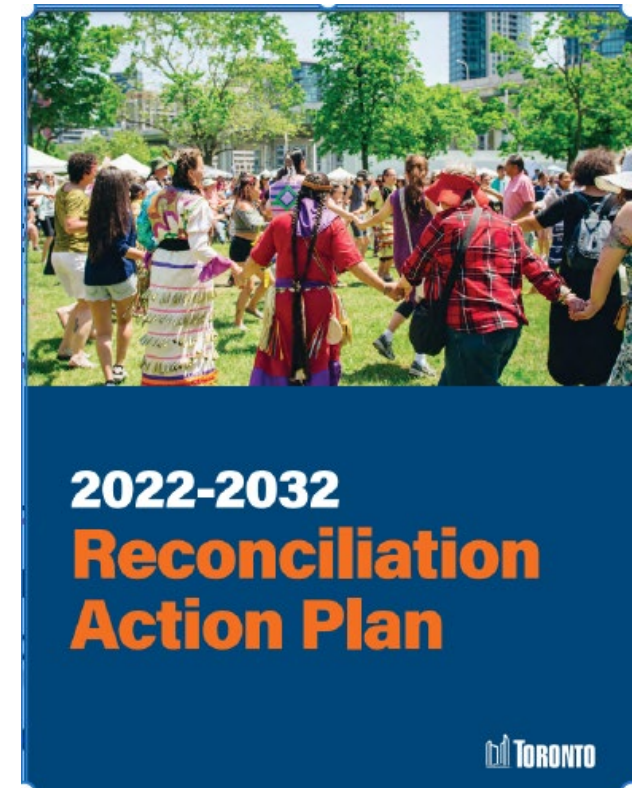
Recommended Boundary



HCD Plan Project confirms the same recommended boundary from the HCD Study (July 2018) endorsed by the Toronto Preservation Board.

Indigenous Engagement

- The City's first Reconciliation Action Plan guides the City's actions towards truth, justice and reconciliation from 2022 to 2032.
- City Planning is building on the City's existing commitments to Indigenous Peoples through meaningful and productive engagement with First Nations which are informing the HCD Plan to reflect what is important about the District to Indigenous Communities.
- The HCD area holds deep significance to First Nations as a site used by their ancestors for millennia, including as a place of burial.



Heritage Conservation Districts in Toronto



City of Toronto HCD Terms of Reference

Criteria for Determining Cultural Heritage Value

- **Design** value and **physical** value
- **Historical** value and **associative** value
- **Contextual** value
- **Social** value or **community** value
- **Natural** value and **scientific** value

A district must have physical **integrity** in order to communicate its significance

City of Toronto HCD Terms of Reference

Policy 6

- **Structures** and notable landscape features will be documented so that its **heritage resources** and **attributes** can be understood and monitored over time.

Policy 12

- **Alterations** to HCD properties must respect and reinforce the **cultural heritage values** and **integrity** of the district.

Policy 8

- The primary objective is the protection, conservation and management of the **attributes** and **heritage resources** of the district so that the area's historic significance, **cultural heritage values** and character are protected in the long-term.

Policy 13

- The **reconstruction or restoration of historic structures** within the district will only be permitted with thorough supporting research.

Scope and Structure of HCD Plans

The HCD Plan provides the **framework and requirements** for the conservation and management of an HCD.

It contains **policies, guidelines** and **procedures** for ensuring that **the cultural heritage values** of the District are conserved.

It defines **where** the district boundary lies, **what** within it merits conservation, and **why** and **how** it will be conserved.

Contents of HCD Plans

1. Statement of Objectives
2. Statement of Cultural Heritage Value & Interest
3. Description of Heritage Attributes
4. Policies and Guidelines
 - Archaeology (properties within the Archaeologically Sensitive area)
 - Landscape (all properties)
 - **Contributing properties (architecturally specific)**
 - **Non-contributing properties (architecturally specific)**
 - Streetscapes/Public Realm
5. Implementation, including deemed permits
6. Definitions
7. Statements of Contribution

Policies and Guidelines

Separate polices and guidelines have been developed for:

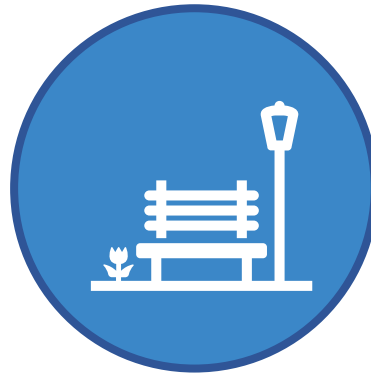
Landscape



Archaeology



Parks and
Public Realm



Contributing
Properties



Non-Contributing
Properties



*Landscape, Archaeology, and Parks and the Public Realm
addressed as part of a separate information session*

District History and Significance



Cultural Heritage in the District is Layered

1. Indigenous Presence

The promontory has held significance for Indigenous nations for time immemorial

Attributes include landscape features found in the lower level and sloped former riverbank zones, and Toronto Carrying Place

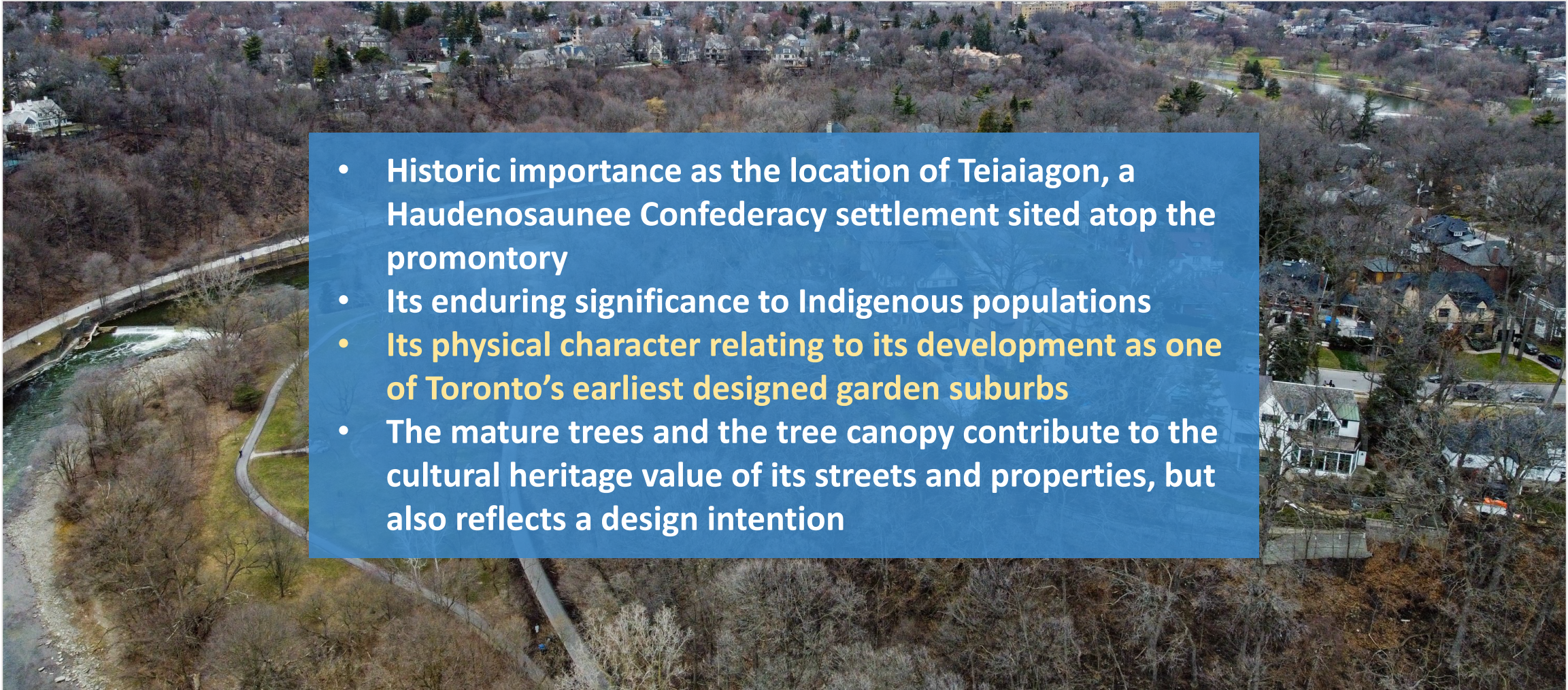
2. Indigenous Settlement and Agriculture

The promontory was a strategic location for Teiaiagon, a Haudenosanee Confederacy settlement

3. Designed Garden Suburb

A neighbourhood built as part of a planned Garden Suburb that include many examples of early 20th century architectural revival styles - valued for the quality of the architecture, picturesque leafy streetscapes and its setting on a promontory above the Humber River

Why Baby Point merits becoming a Heritage Conservation District

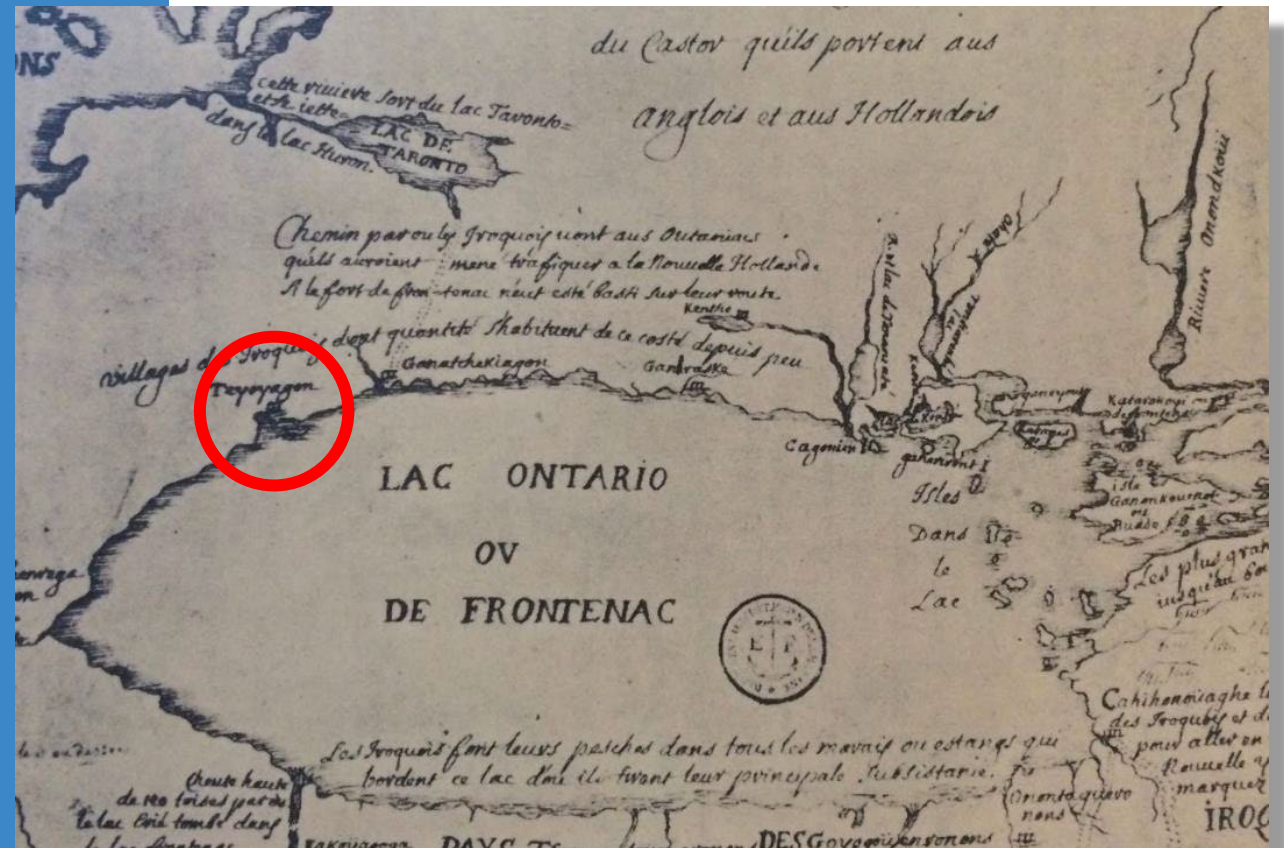
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- Historic importance as the location of Teiaiagon, a Haudenosaunee Confederacy settlement sited atop the promontory
 - Its enduring significance to Indigenous populations
 - Its physical character relating to its development as one of Toronto's earliest designed garden suburbs
 - The mature trees and the tree canopy contribute to the cultural heritage value of its streets and properties, but also reflects a design intention

Historic Overview - Indigenous Presence

Longstanding period where the natural resources are used

The Toronto Carrying Place Trail is part of the use of a much larger territory and is part of a network of connections

The promontory is a distinct landscape feature along the Humber River and Carrying Place Trail



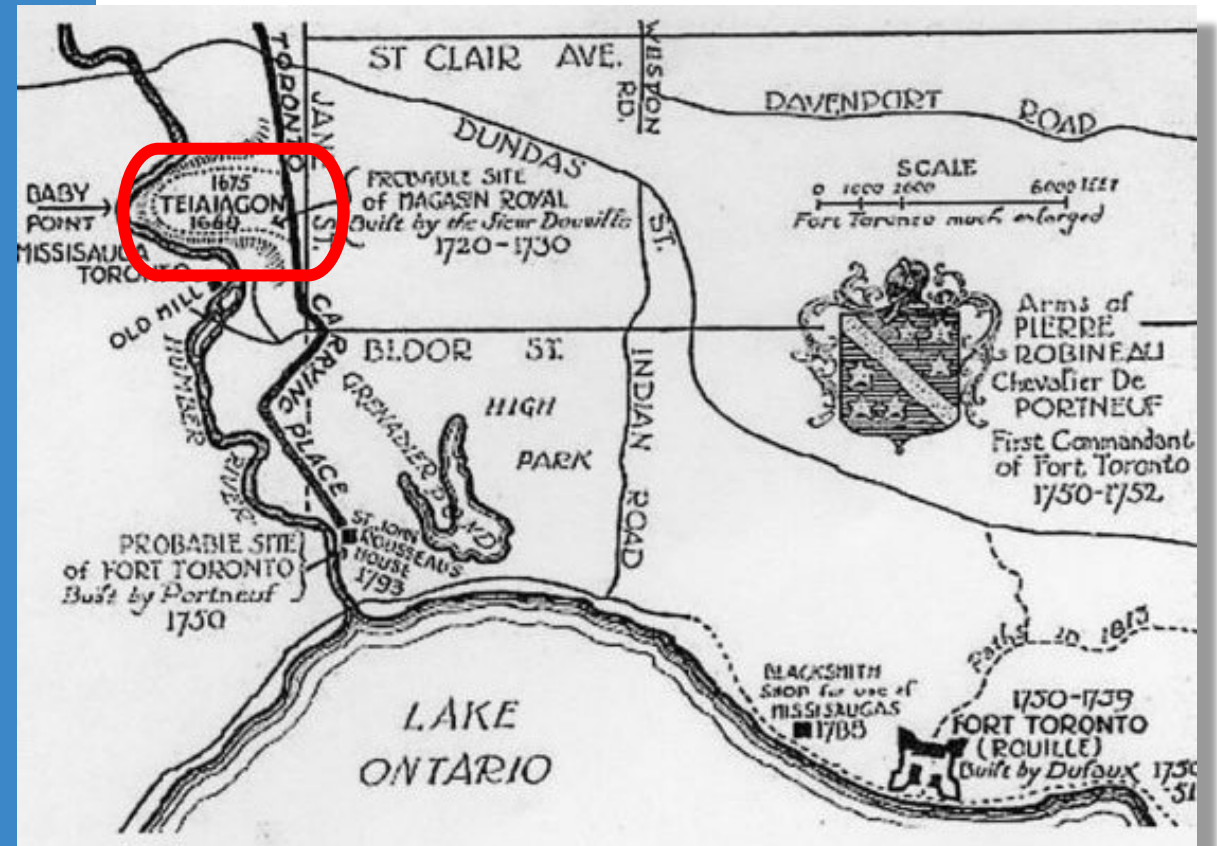
Historic Overview - Indigenous Habitation

Teiaiagon, a Haudenosaunee Confederacy settlement and a place of agricultural production is established

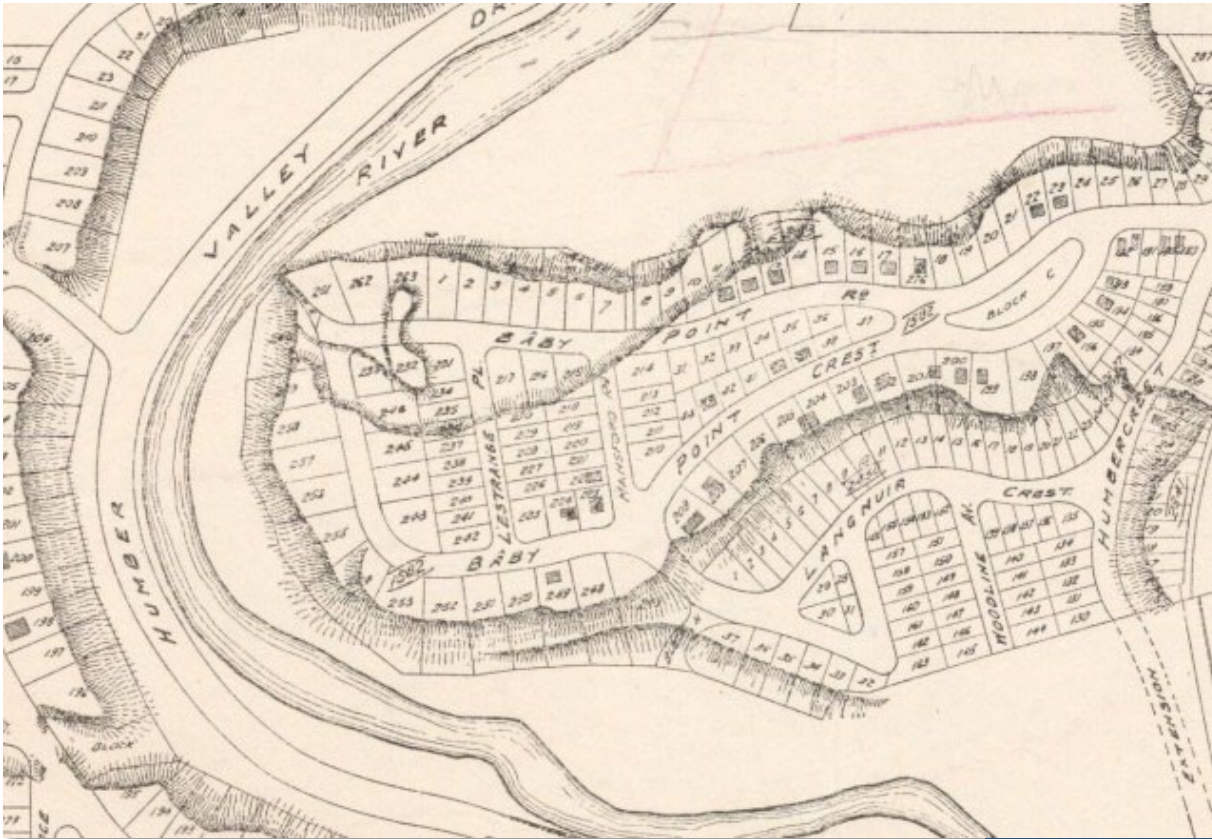
Teiaiagon was located on a promontory to the west of the Carrying Place Trail

It is estimated that Teiaiagon consisted of 20 to 30 longhouses that provided shelter for 500 to 800 people

It is likely that Teiaiagon was fortified with a defensive palisade

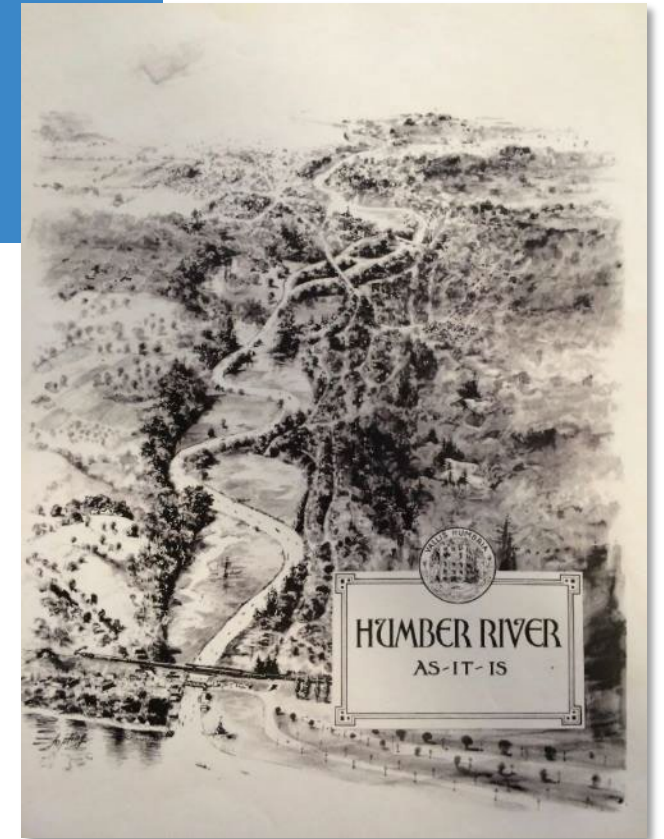


Historic Overview - Robert Home Smith Development



Idyllic natural aesthetic is a predominant design feature

Garden Suburb developed from 1911-1941



Historic Overview - Robert Home Smith Development I

Idyllic natural aesthetic where houses are nestled amongst the trees

Marketing by Home Smith referred this suburb as
*"A little bit of England
far from England"*



Historic Overview - **Robert Home Smith Development II**

Restrictions in force for a 30-year period from April 1911

- One detached house per property
- **Exterior walls: stone, brick or cement**
- **Designs by an architect of good standing**
- **Designs approved by Vendor's architect**
- position to be approved by Vendor
- No excavation save for construction operations
- No trees removed without Vendor's consent
- **No signs, bill boards**

BUILDING RESTRICTIONS

The following is a copy of the building restrictions in the form of Sale Agreement which shall run with the land and be in force for a period of thirty years from the First of April, 1911:

1. No attached or semi detached house shall be permitted, and one detached dwelling house and no more with or without suitable coach houses, out-houses and stabling of the prime cost (exclusive of the cost of any such coach houses, out-houses or stabling) of not less than

dollars may be erected and standing at any one time on any lot on said plan.

2. The external walls of each of said dwelling houses shall be constructed of stone, brick or cement, and such building shall be designed by some architect of good standing and the plans of such buildings shall be approved by the Vendor's architect, and all buildings are to be placed on the lands in positions to be approved by the Vendor.

3. In case it is desired to construct such external walls of any other material than stone, brick or cement, then the same shall only be done after first obtaining the written consent of the Vendor, and such dwelling house shall in that case be constructed in conformity in every respect with the plans, elevations, sections and specifications to be first approved of and signed by the Vendor, under the inspection and to the satisfaction of the Vendor or the architect for the time being of the Vendor and at the cost and charges of the applicant.

4. No such building or the land appurtenant thereto shall be used during such period for the purpose of any profession (save of a duly qualified doctor or dentist), business, trade, sport or employment or for any purpose which might be deemed a nuisance, but may be only used for residential purposes, but such residential purposes shall not include an apartment house or houses.

5. No excavations shall be made on any of the said lots except for the purpose of building on said lot, and at the time when the person holding said lot is commencing such building operations and no sand or earth shall be removed from any of the said lots except as part of such excavations.

6. No part of any such dwelling house, or its verandah, porch or steps shall be nearer to the street line than _____ feet. Without the vendor's consent no front or boundary fence shall be erected within _____ feet of the street line unless the same is of open construction and not higher than _____ inches, and no other line fence or obstruction shall be higher than _____ feet, and the style and character of all fences shall be subject to the approval of the Vendor.

7. On any of the bank lots as shown on said plan no trees situate between the summit and bottom of said bank shall be cut down or removed without obtaining the consent of the Vendor thereto in writing.

8. No signs, bill boards or advertising matter of any kind shall be placed upon said property without the consent of the Vendor in writing.

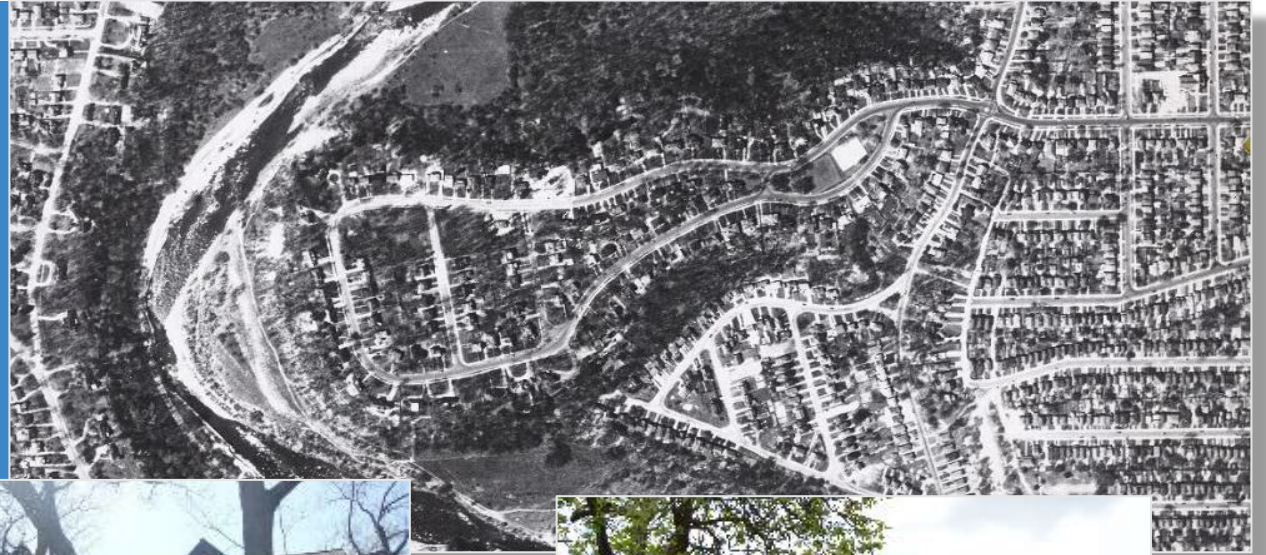
The Vendor, his heirs, executors, administrators or the assignee from him of this Agreement may agree to vary or cancel any of the above conditions or substitute other conditions in respect of this or any other Lot on said Plan.

The covenants in respect to the above restrictions shall extend and bind and may be taken advantage of by the respective heirs, executors, administrators, successors and assigns of the parties hereto.

Historic Overview - 20th Century to Present

Growth continues in a way that reflects many Garden Suburb principles

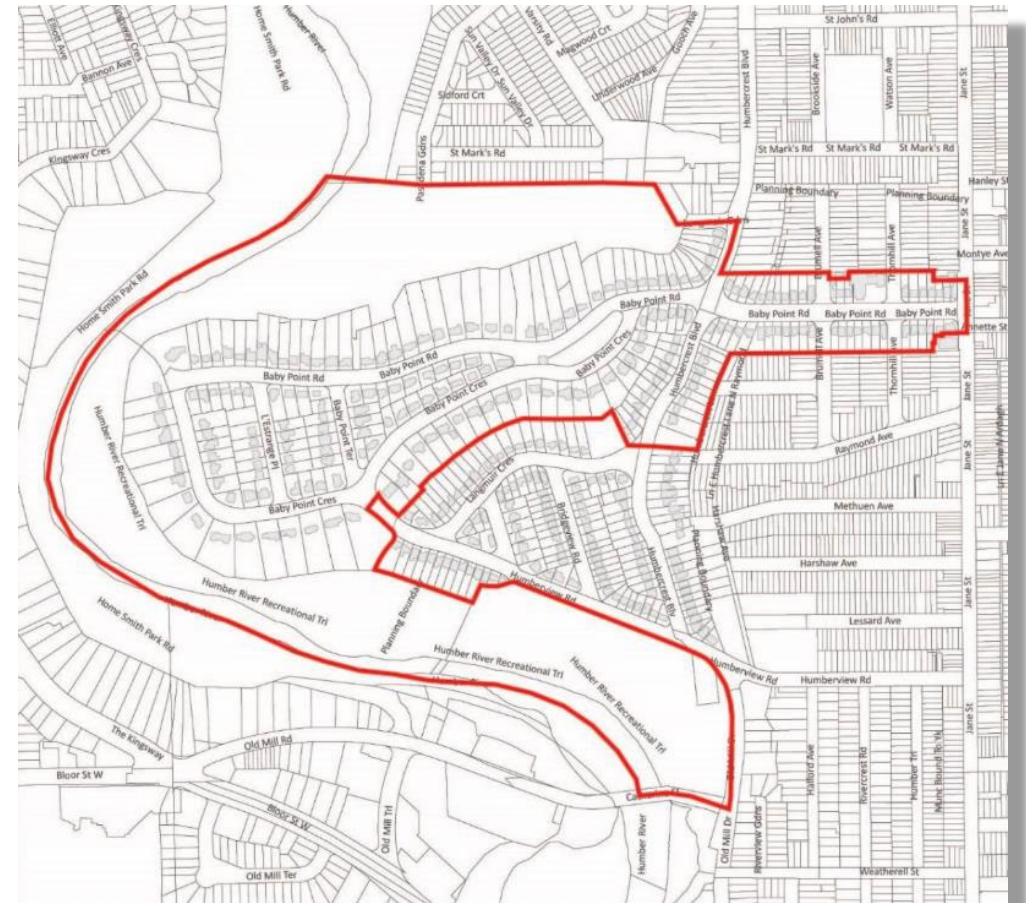
Township of York By-law 12,056 carried forward many of Robert Home-Smith's restrictions



District Boundary

Included within the boundary for the District:

- Properties that retain a high degree of integrity and are representative of the planned **Garden Suburb** envisioned and developed by Robert Home Smith
- The Baby Point clubhouse and the Humbercrest United Church
- The walls and masonry structure of the Baby Point Gates at the corner of Jane and Baby Point Road
- Part of the **Toronto Carrying Place Trail**, an important trade and transportation route between Lake Ontario and Lake Simcoe was integrated into Humbercrest Boulevard. Several properties front onto this boulevard.



Building Typologies – Part 1

Building typologies found with the District reflect the Home Smith restrictions

Building typologies refer to the shape and form of the buildings including massing, roof type, height, and number of bays that reflect that *pattern of building*.



A is a **2-to-2.5-storey** hipped or side gable structure with **3 to 5 bays**, a **central entrance** (usually), and often a **symmetrical composition**;



B is a **2-storey** hipped or side gabled roof structure with **2 bays** that can have a **central dormer**, an **off-centre entrance** next to a bay or picture window, and an exterior chimney on eaves;

Building Typologies – Part 2



C is a **1-to-2.5-storey** hipped or side gable structure with **2 to 3 bays**; off-center entrance next to a **bay or picture window**, or a central entrance with symmetrical **bay or picture windows** on either side; exterior chimney on eaves or gable wall; and a **predominant and/or protruding front gable bay**



D is a **2.5-storey** hipped structure with **3 to 5 bays**; **central or off-center entrance** next to a (or a series of) bay or picture window(s); exterior chimney on eaves or gable wall, or interior chimney on ridge or slope; has the same ridge height as the main gable or hipped roof and one or more predominant front gable bay(s) with slopes that extend multiple storeys; **is usually asymmetrical but can be symmetrical.**

Architectural Styles

Tudor Revival/English Cottage

The architectural styles in the District convey the rural English character of this garden suburb

This style drew from rural English Tudor cottages and often incorporated **stone and brick-clad walls**, projecting upper floors with **half timbering**, and a variety of **steeply pitched gables** and **cross gables** that may be clipped to form a hip-on-gable roof.

Typical details include **stone window surrounds**, **stone lintels** with carved stone drip moulds, **arched windows**, and elaborate chimneys.



Architectural Styles

Colonial Revival

This style can be defined as a hybrid of historic classical styles **developed during the 18th and early 19th centuries**. The Colonial Revival style combines various forms of the Georgian and Edwardian styles with other **classical elements** and incorporates elements from the Loyalist and French homes of Upper and Lower Canada.

The Colonial Revival style can often be identified by a **central entrance that may be accentuated with a pediment sitting on pilasters or extruded to sit on thin columns, and commonly surrounded by a fanlight and/or sidelights**.



This style became quite popular for the first half of the 20th century. **Bungalows can be defined by their 1-to-1.5-storey height, low pitched roof, extended roof covering a front porch, stone, or bricked chimneys, grouped windows, and little to no ornamentation.**

While less common than the revival styles, there are some Bungalows in the District.



Architectural Policy Concepts



Guiding Principles

Excerpts from Parks Canada's Standards and Guidelines for the Conservation of Historic Places (2010)

Preservation

- **“Do not remove, replace or substantially alter...**intact or repairable character-defining elements.”
- **“Conserve changes to an historic place** that, over time, have become character-defining elements in their own right.”
- **“Maintain character-defining elements** on an ongoing basis.”

Rehabilitation

- **“Repair rather than replace character-defining elements...**where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.”
- **“Conserve the heritage value and character-defining elements when creating any new additions** to an historic place or any related new construction. **Make the new work physically and visually compatible with, subordinate to and distinguishable from the historic place.”**

Restoration

- “Repair rather than replace character defining elements from the restoration period.”
- **“Replace missing features from the restoration period with new features whose forms, materials and detailing are based on sufficient physical, documentary and/or oral evidence.”**

Provincial Guiding Principles

8 Guiding Principles in the Conservation of Built Heritage Properties (Provincial)

- Respect for Documentary Evidence
- Respect for Original Location
- Respect for Historic Material
- Respect for Original Fabric
- Respect for the Building's History
- Reversibility
- Legibility
- Maintenance



Categorization of Properties



Contributing properties

(as it relates to buildings and structures)

In relation to real property, building or structure, landscape component or other feature of an HCD that supports the identified significant cultural heritage value, heritage attribute, and integrity of the District



Non-Contributing properties

(as it relates to buildings and structures)

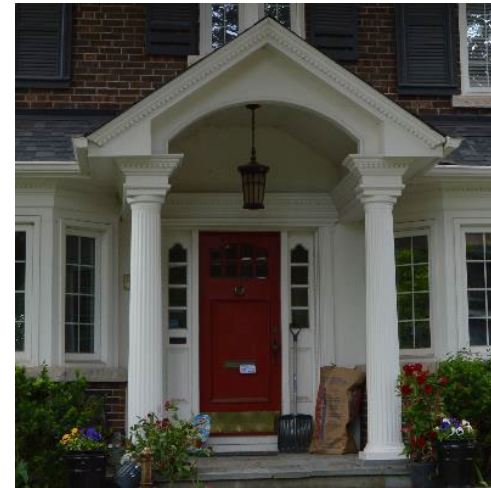
In relation to real property, structure, landscape component or feature of a district that does not support the overall cultural heritage values, character and integrity of the District

Contributing and Non-Contributing Properties

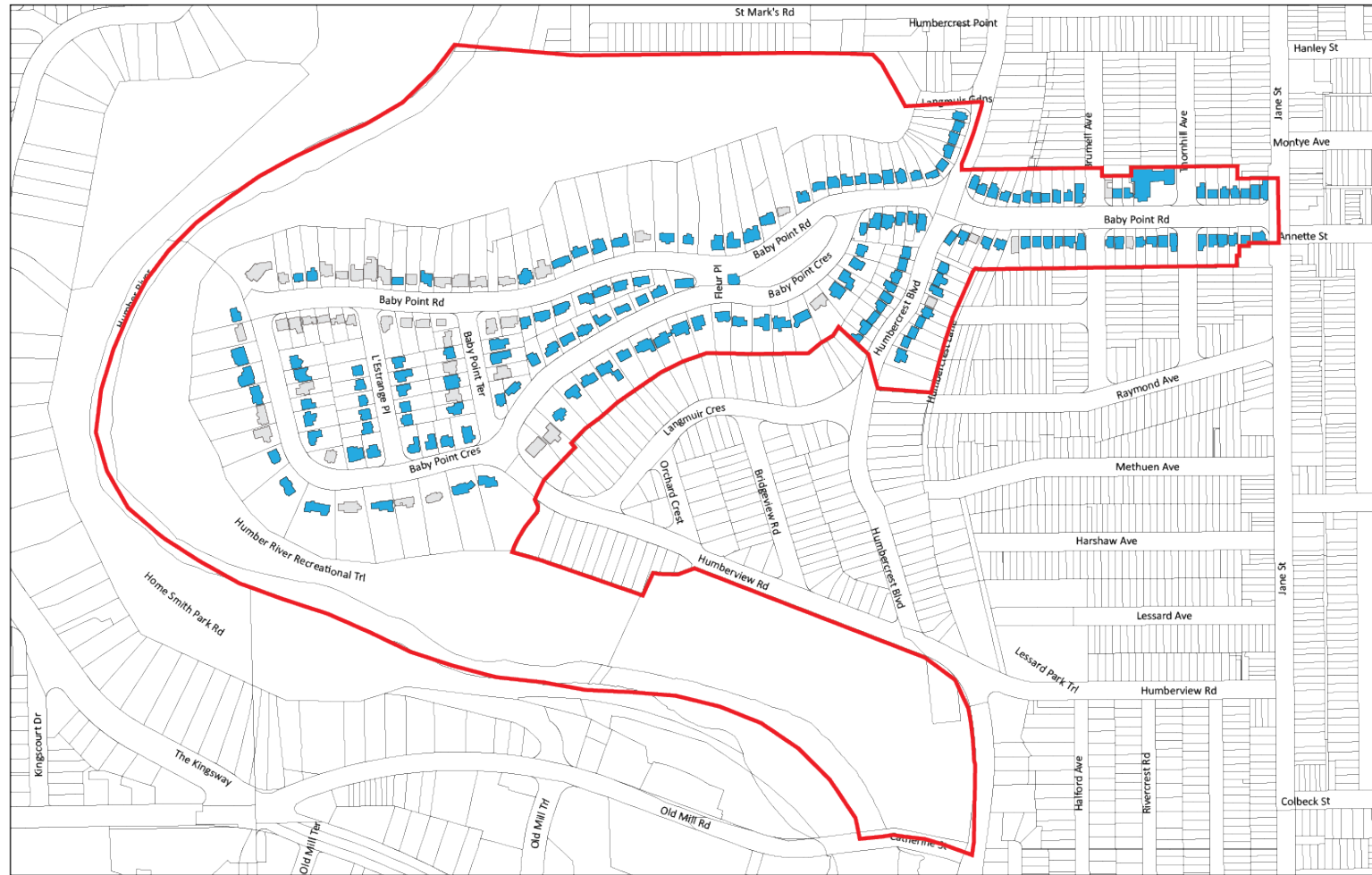
Architectural *heritage attributes* associated with *contributing properties* refer particularly to those reflected by the **building(s) and structures on those properties**

Separate architectural policies are being developed for *contributing* and *non-contributing properties*

Architectural Heritage Attributes



Map of Contributing and Non-Contributing Properties



Contributing Properties

Non-Contributing Properties

Baby Point HCD Boundary

Objectives for the Conservation of Architecture in the District I

- *Conserve and maintain the cultural heritage values of the District as expressed through **conservation of its heritage attributes**.*
- *Conserve and maintain the District's Part IV designated and listed properties.*
- *Conserve the legibility of the **District's Home Smith era period of significance** expressed through its landscape, **architecture** and public realm, reflecting its development as a planned Garden Suburb.*
- *Conserve the **pattern of building and siting of houses**, which include front yard setbacks, and a **rhythm of houses** nestled between mature trees.*

Objectives for the Conservation of Architecture in the District II

- Ensure *alterations to contributing properties* are *compatible* and *conserve and maintain the heritage attributes* of the District.
- Ensure that new construction and *additions* *conserve and maintain the cultural heritage values* of the District particularly with respect to archaeological resources, burials, **the historic scale, form, massing and materials of its contributing properties, pattern of building**, streetscape, and *public realm*.
- Encourage **high-quality architecture** in the design, material palette and construction of new buildings, *additions* and *alterations* that is *compatible* to the District's *cultural heritage value*.
- Ensure **compatibility of old and new materials and architectural features**, including but not limited to material type, colours, scale, finishes and details.

Policy and Guideline Concepts: Contributing Properties



Conservation

Conservation: A sequence of actions — from understanding the heritage resource, to planning for its protection and management, and intervening through projects or maintenance

Conservation is a way to manage change and guide the evolution of a place of cultural heritage value

Understanding

Considerations for managing change in the District:

- Contribution of the property to the District's *cultural heritage value* (through its *cultural heritage attributes*)
- **Historic architectural styles and building typologies**
- **The original design of the building**
- Changes that have been made to the building over time
- The causes of any damage or deterioration of a building's *heritage attributes*

Contributing Properties

Policies to support the conservation of heritage attributes

- *Additions and alterations* should be based on a firm understanding of how the property contributes to the District's *cultural heritage value* and *heritage attributes*.
- *Additions and alterations* should be planned according to recognized *conservation* practices and *treatments*.
- *Maintain properties* in a manner that will ensure the *conservation* and *integrity* of the District's *cultural heritage values* and *heritage attributes*.
- *Restoration* (re-instating attributes of a property) projects should be based on thorough supporting historic documentation and materials.

Contributing Property Goals

Policies goals for the massing of contributing properties

- *Conserve the massing, roofline and street proportions*
- *Front additions to a contributing property shall not be permitted*
- *Conserve the three-dimensional integrity*
- *Additions should be compatible with the façade articulations and architectural expression of the contributing property and should avoid blank walls*

Contributing Property Roofs

Roofs

Conserve the roof types, forms, types, profiles, and structural and decorative roof features and components



Contributing Property Walls

**Exterior
walls**

Conserve original exterior wall features, details, materiality, form, style, and proportions



Contributing Property Windows and Doors

Windows and doors

Conserve structural and architectural features of original windows and doors – including the form, placement, rhythm, and style



Contributing Property Porches and Entrances

Porches and Entrances

Conserve the form, placement, style, features and details of original entrances



Contributing Property Garages and Structures

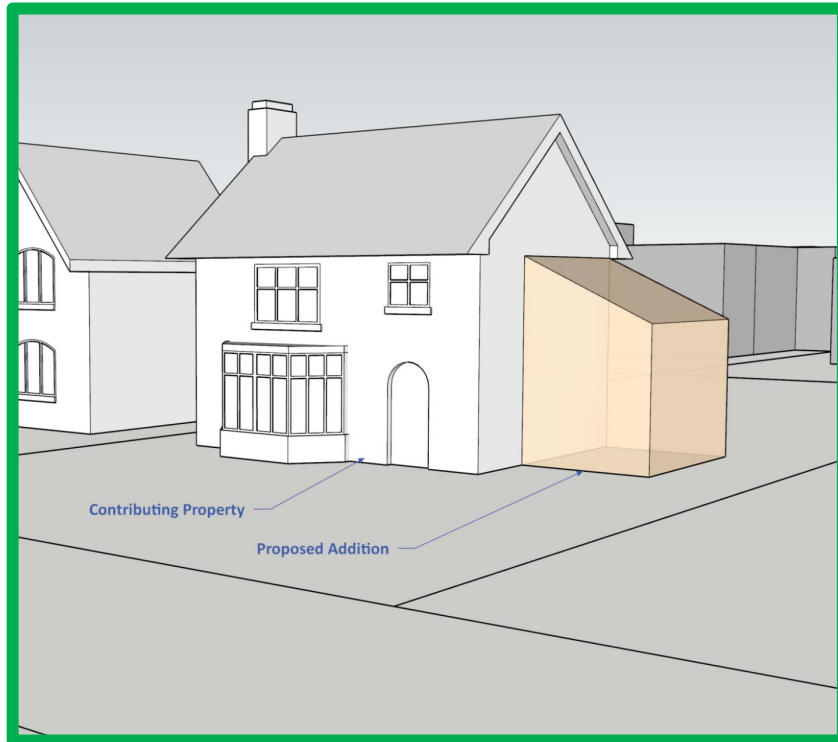
Garages and structures

Protect and maintain historic garages on contributing properties including exterior wall components, roof components, and windows and doors

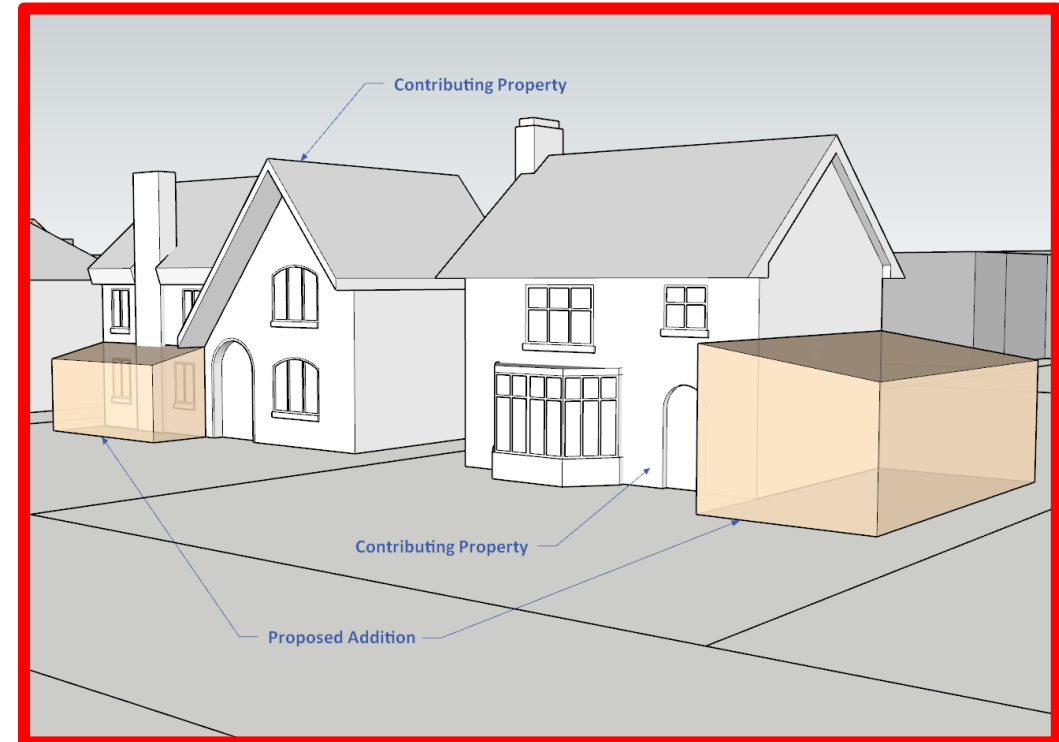


Contributing Property – Additions and Alterations

Policies goals for alterations and additions to contributing properties



Compatible addition (street view)



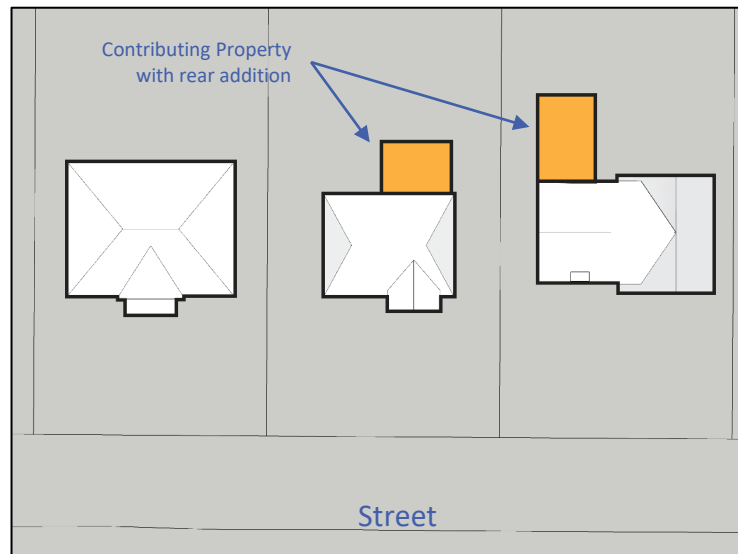
Incompatible addition (street view)

Contributing Property

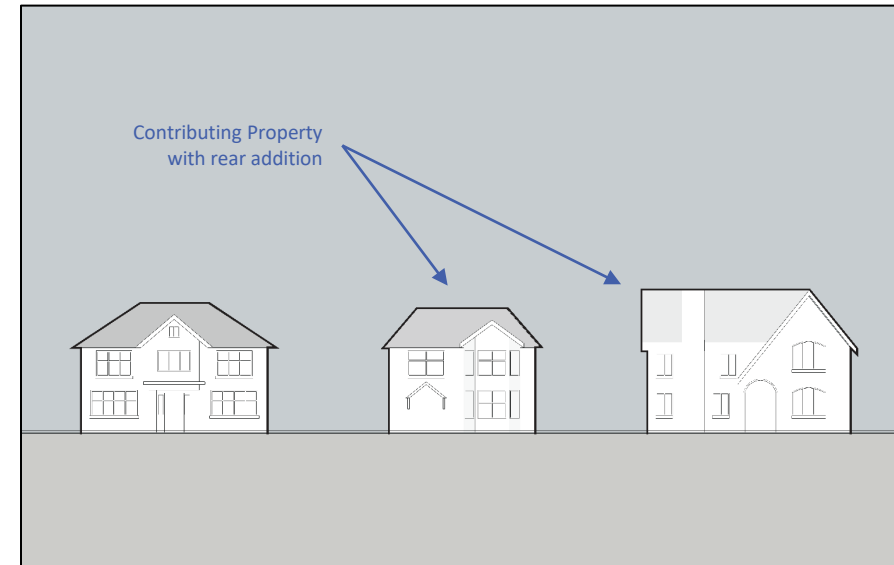
Rear additions

Rear additions not visible from the street are not addressed by architectural policies and guidelines.

However, Archaeological and Landscape policies, and guidelines may still apply.



Aerial View



View from street

Policy and Guideline Concepts: Non-Contributing Properties



Understanding Non-Contributing Properties

New construction and alterations on Non-Contributing Properties should be designed to conserve the *heritage attributes* of the District as a whole

When planning new construction or alterations, consider *adjacent contributing properties, archaeological resources*, and landscape *features* such as the *tree canopy* and characteristics associated with its planning as a Garden Suburb

Non-Contributing Property – Demolition

Policies goals for the demolition of non-contributing properties

- Demolition of buildings, including garages and accessory buildings on a *non-contributing* property **may** be permitted.
- Prior to demolishing a building or structure located on a *non-contributing* property, **the replacement project must be approved and have a heritage permit**

Non-Contributing Property – Additions and Alterations

Policies goals for alterations and additions to non-contributing properties

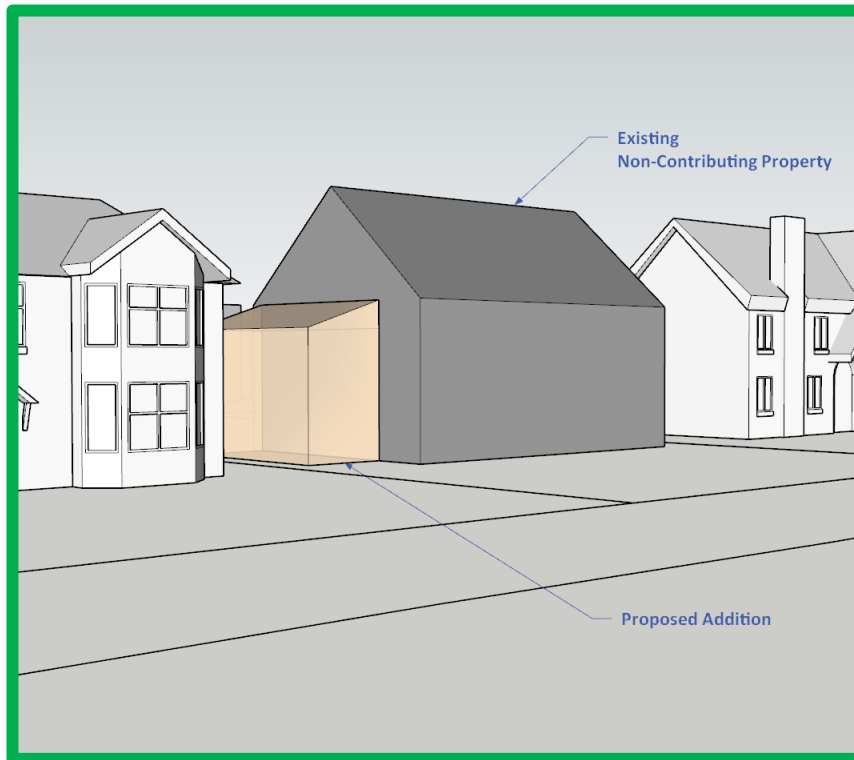
Buildings on *non-contributing properties* do not embody the *cultural heritage values* of the District. However, ***alterations***, including ***additions*** are reviewed for their impact on the District's heritage value.

Additions and alterations should

- **Support the cultural heritage value** and heritage attributes of the District
- Be **physically and visually compatible** with the cultural heritage values and heritage attributes of the District

Non-Contributing Property – Additions

Policies goals for alterations and additions to non-contributing properties



**Compatible addition
(view from street)**



**Incompatible addition (view
from street)**

Non-Contributing Property Goals

Policies goals for the massing of non-contributing properties

Consider the proportions of a building, its relationship to its neighbouring buildings, and its impact on the scale and character of the streetscape.

Alterations, including new construction and additions should:

- Conserve the **continuity of the District's pattern of building** and street proportions
- Conserve the **prevailing front-yard and side-yard setbacks of adjacent contributing properties**

Non-Contributing Property – New Build

Policies goals for the massing of non-contributing properties



Compatible construction



Incompatible construction

Non-Contributing Property - Roofs

Policies goals for the roofs of non-contributing properties

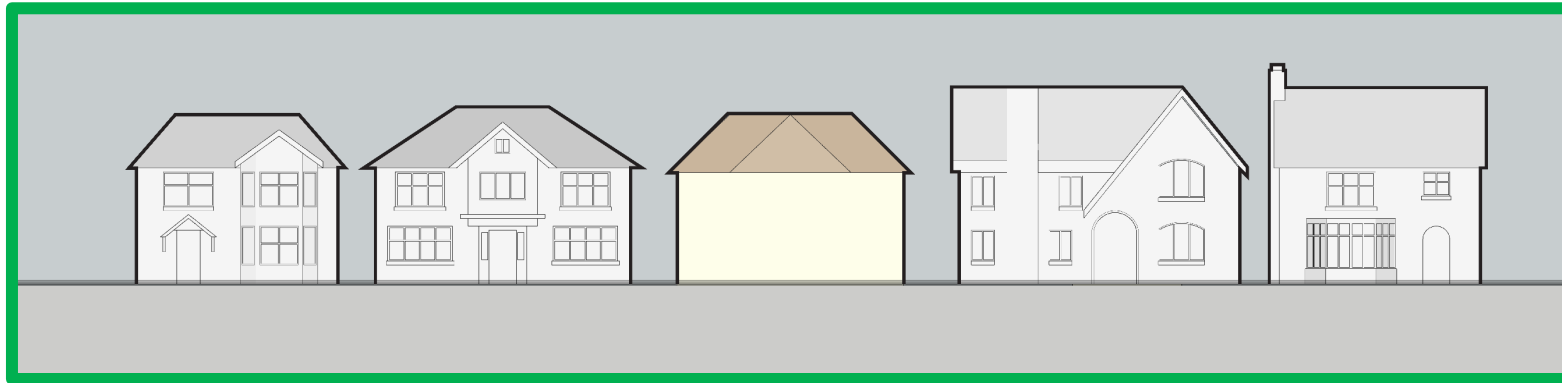
The roof form of a building helps to define its overall massing, proportions, and scale.

- New construction or alterations on a *non-contributing* property should **reflect the contributing roof forms or rooflines** of the District
- **New rooftop components** such as vents, drainage, sustainable technologies, skylights, metal chimneys, flues and decks should be located **out of view of the public realm**

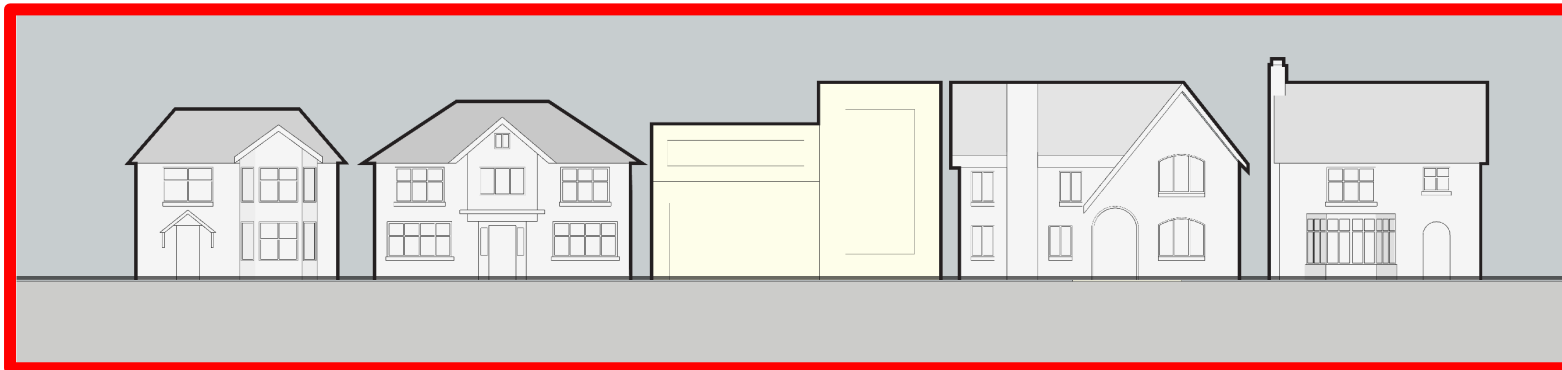
Non-Contributing Property – Street View

Policies goals for the roofs of non-contributing properties

**Compatible
new
construction**

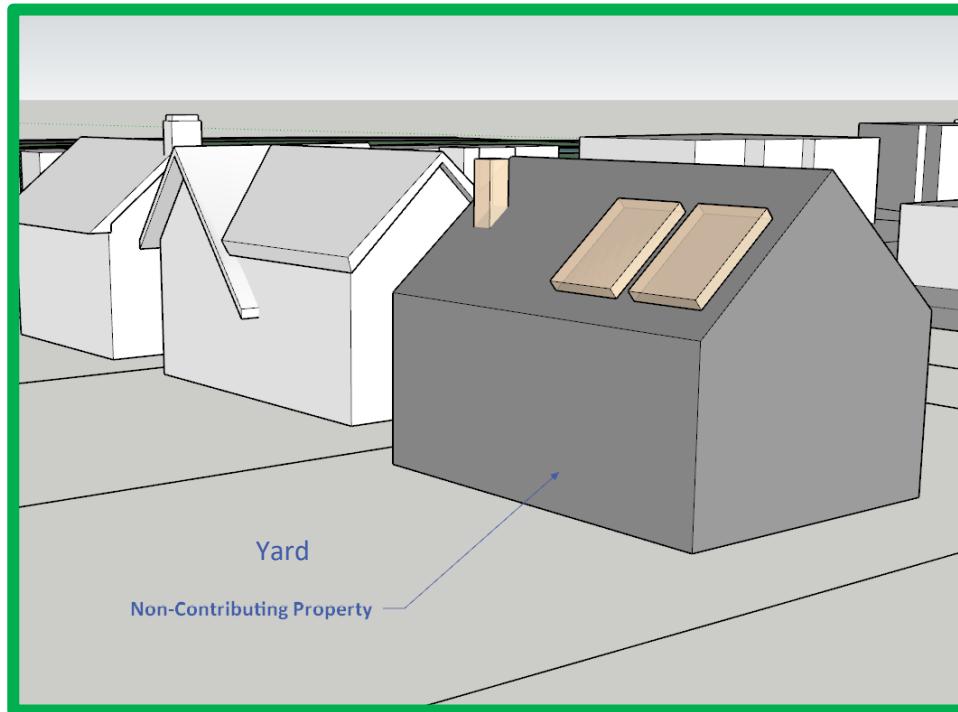


**Incompatible
new
construction**

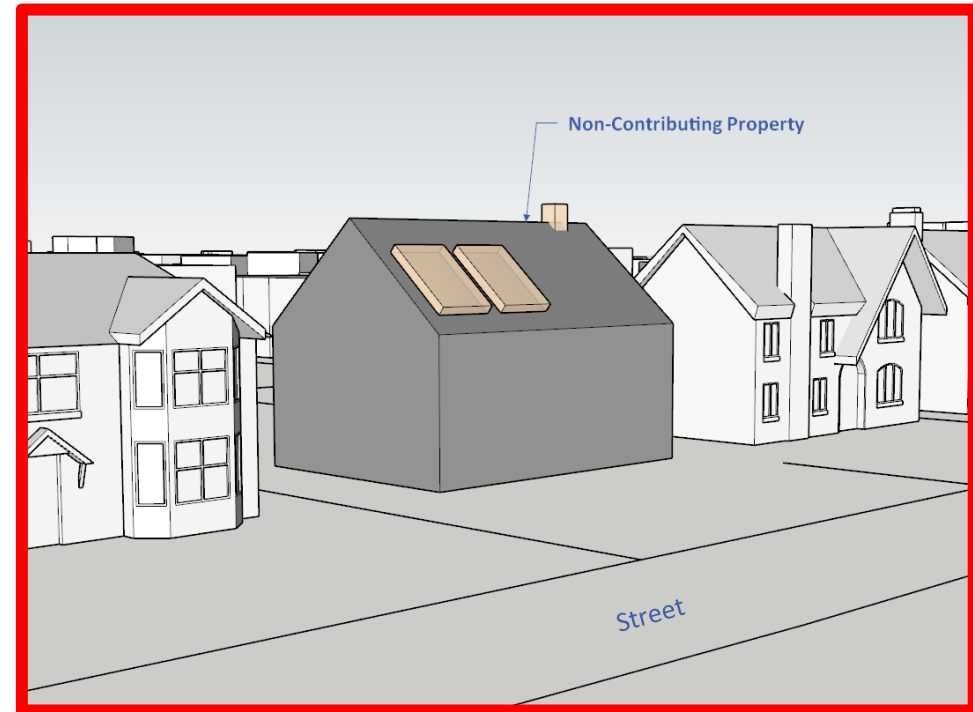


Non-Contributing Property – Roof Infrastructure

Policies goals for the roofs of non-contributing properties



**Compatible new roof
infrastructure (view from
rear of property)**



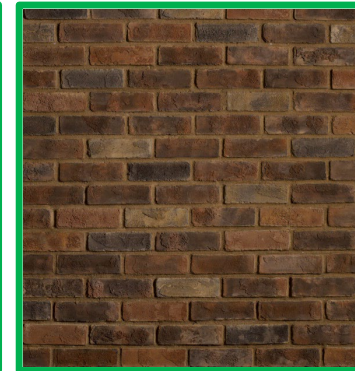
**Incompatible new roof
infrastructure (view from street)**

Non-Contributing Property – Materials

Policies goals for the exterior walls of non-contributing properties

The exterior walls for a *non-contributing* property are considered the face the building presents to the public realm.

- **Cladding materials** used on exterior walls that are visible from the public realm should be **physically and visually compatible** with the cultural heritage values and heritage attributes of the District

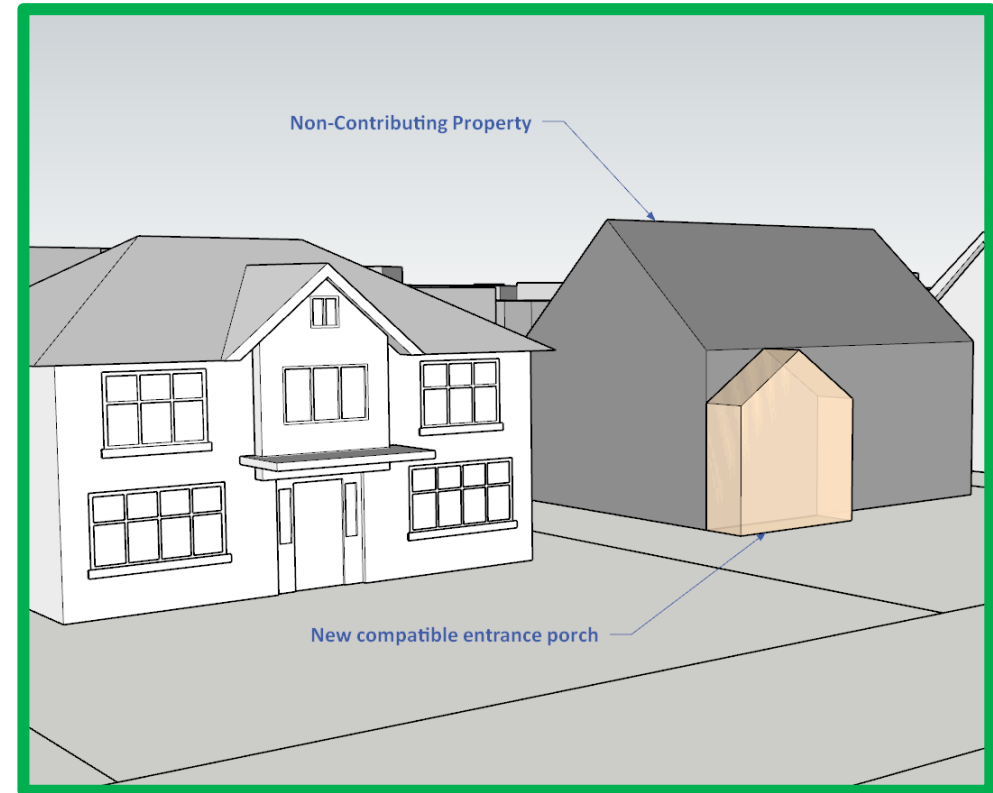


Non-Contributing Property – Entrances and Porches

Policies goals for the entrances and porches of non-contributing properties

Entrances and porches are both functional and aesthetic features in the District.

- New entrances on non-contributing properties shall be **physically and visually compatible** with the architecture of the existing building
- Additions and alterations to non-contributing properties may include **second storey balconies on side or rear façades**

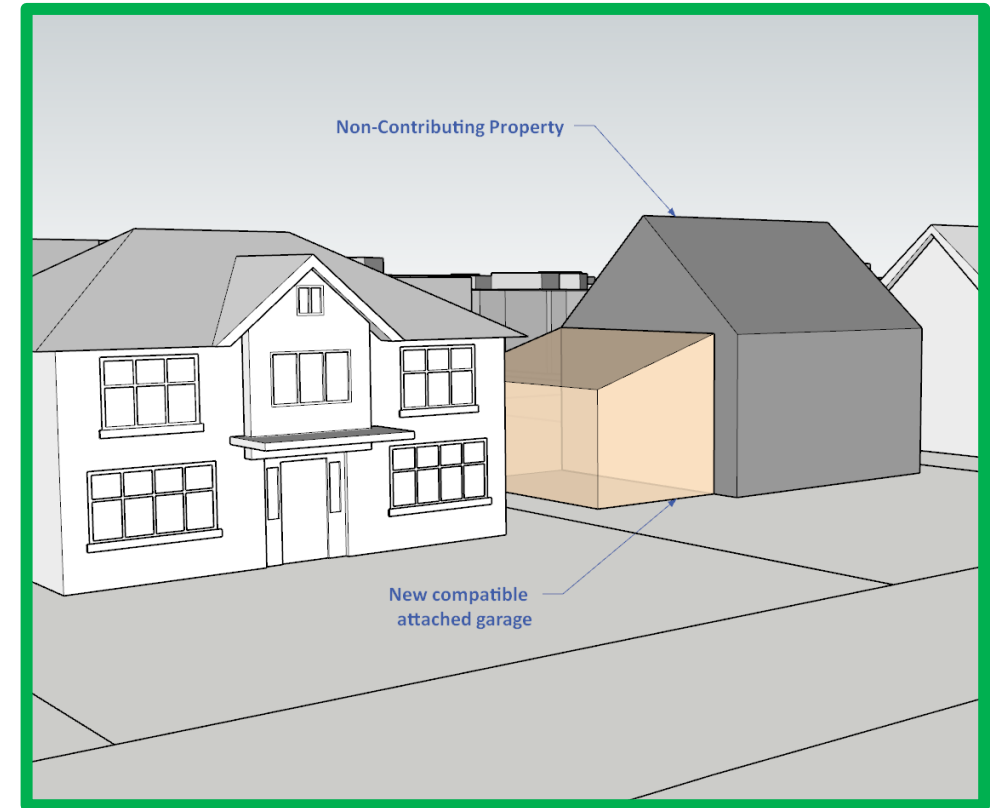


Non-Contributing Property – Garages and Accessories

Policies goals for garages and accessory buildings of non-contributing properties

Alterations or additions to garages or accessory buildings should not negatively impact the District's cultural heritage values and heritage attributes

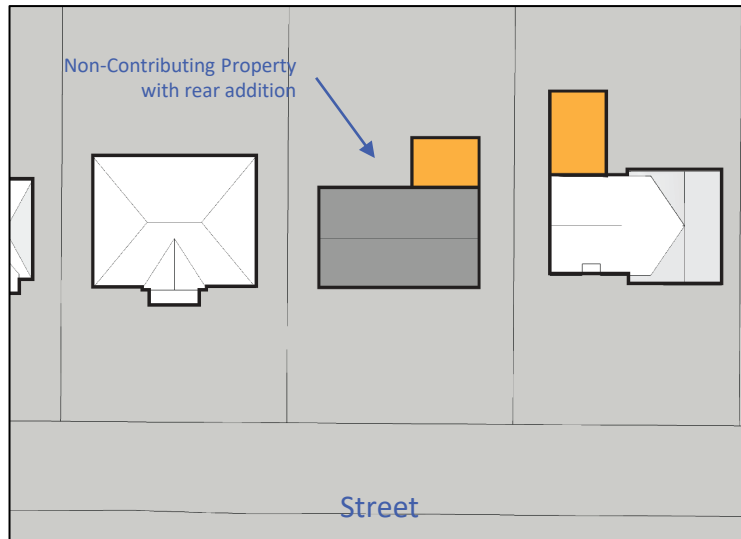
- New attached garages, should be subordinate to the main building
- New detached garages or accessory buildings should be **set back from the main façade** of the principal structure to maintain the **District's pattern of building.**



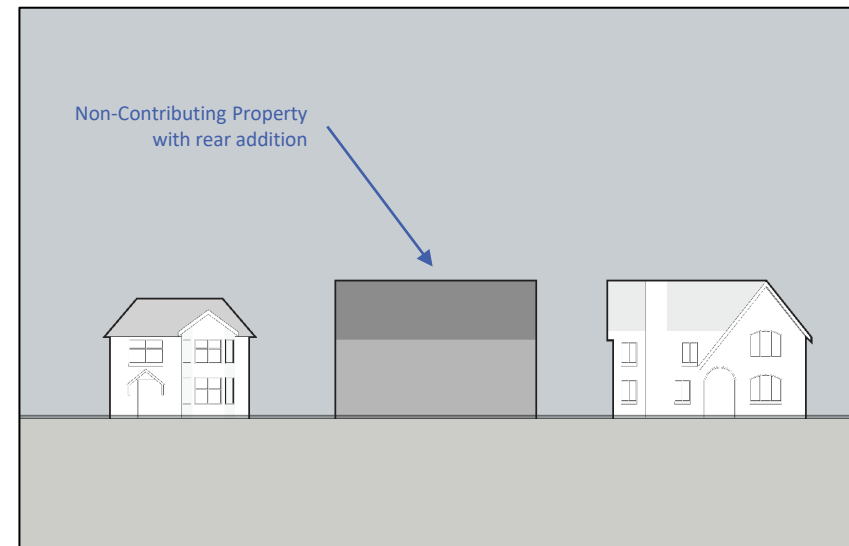
Non-Contributing Property Rear additions

Rear additions not visible from the public realm are not addressed by architectural policies and guidelines.

However, Archaeological and Landscape policies, and guidelines may still apply.



Aerial View



View from street

Process and Implementation - Architecture Policies

Type of Work

Erection, demolition, or removal of a structure within the HCD

Alteration of a structure within the HCD

Deemed approvals for work done within the HCD

Examples:

- *Construction of a new garage or outbuilding*
- *Additions to a Property*
- *Alterations including adding new units or garden suites*

Examples:

- *Renovations to a Property including*
 - *replacing roofing materials or*
 - *changing doors and windows in the same openings*

Examples:

- *General maintenance repairs*
- *Exterior lighting installation*

Required actions

Building Permit Application
+
Heritage Permit Application

Heritage Permit Application
only

No Heritage Permit
required

Questions?



Break-out Rooms

A Quick Overview



Policy Breakout Rooms Purpose

Breakout room discussions will focus on two discussion areas regarding architectural features and the evolution of the District.

Policy concepts for contributing properties aim to conserve their architectural heritage attributes that support the value of the District.

- Does this approach to managing additions to Contributing Properties make sense?*
- Does the list of attributes to conserve make sense? Are there any other built features in the neighbourhood than those identified and presented that merit consideration in the HCD?*

Policy concepts for non-contributing properties aim for them to play a supporting role to the District's heritage character.

- How will policy concepts allow for non-contributing properties to play a supporting role in the neighbourhood's character through future alterations?*

Policy Breakout Rooms

Participants will now be separated into breakout rooms – discussion groups will focus on policy concepts that affect *Contributing* and *Non-Contributing properties*.

Zoom Meeting Controls – Call-In Participants

Call-in participants can raise their hand and unmute or mute themselves with these keys.



*9 Raise/Lower Hand

To **raise your hand**, press ***9** on your telephone's keypad. Press ***9** again to **lower your hand**.

Note: You may hear an audio prompt if the host lowers your hand on your behalf.

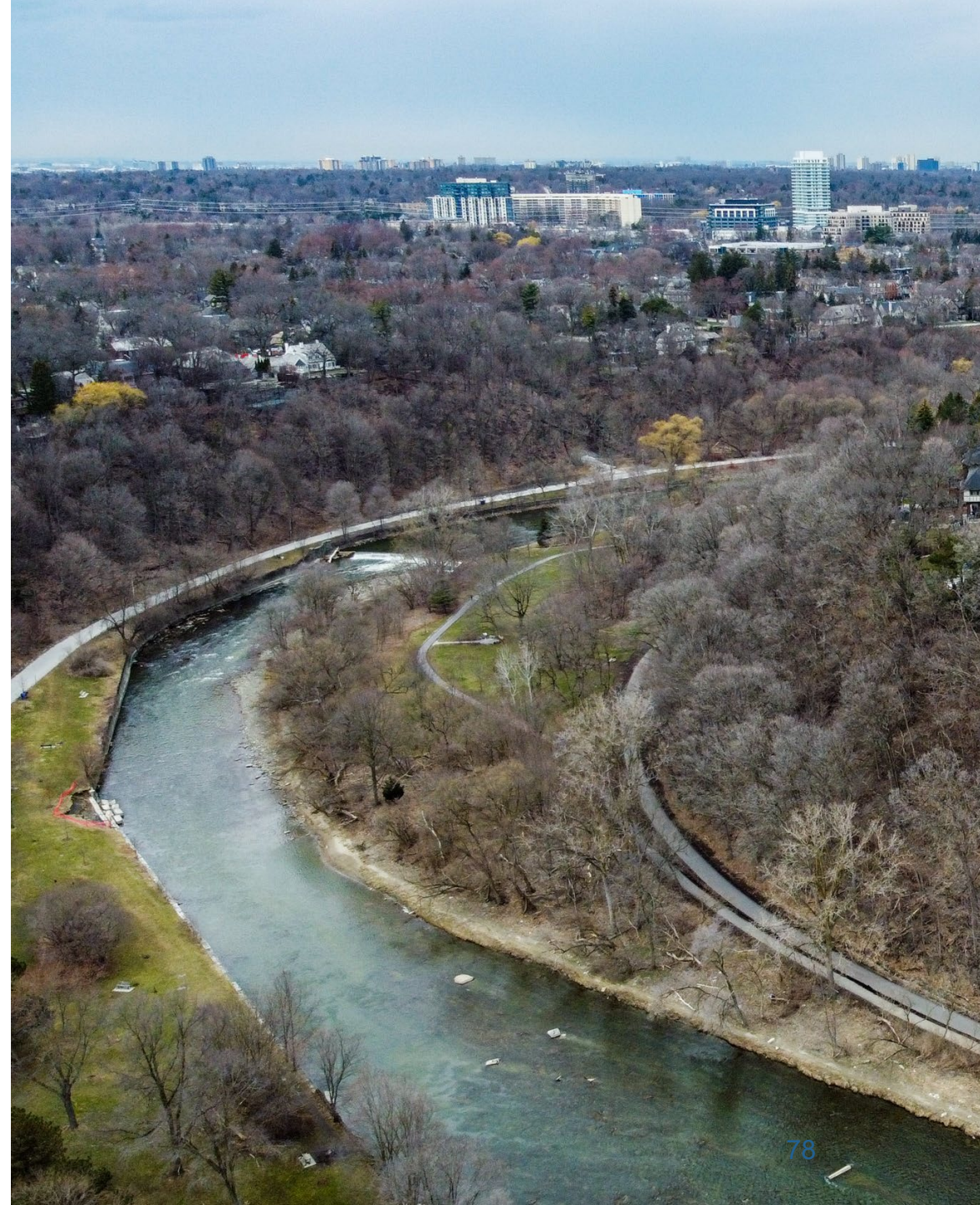
*6 Unmute/Mute

When the facilitator allows you to unmute, **unmute** yourself by pressing ***6** on your phone's keypad. Press ***6** again to **mute** when you are done speaking.

Note: You may hear an audio prompt if the host mutes you on your behalf.

Next Steps

- Indigenous engagement
- Consultation with urban Indigenous communities
- Community consultation meeting
- Integrate feedback and complete plan
- Present HCD Plan to Toronto Preservation Board and Council





Feedback

Cecilia Nin Hernandez, City of Toronto: Cecilia.Ninhernandez@toronto.ca

Please provide your feedback by **March 19, 2024**

Thank you!

