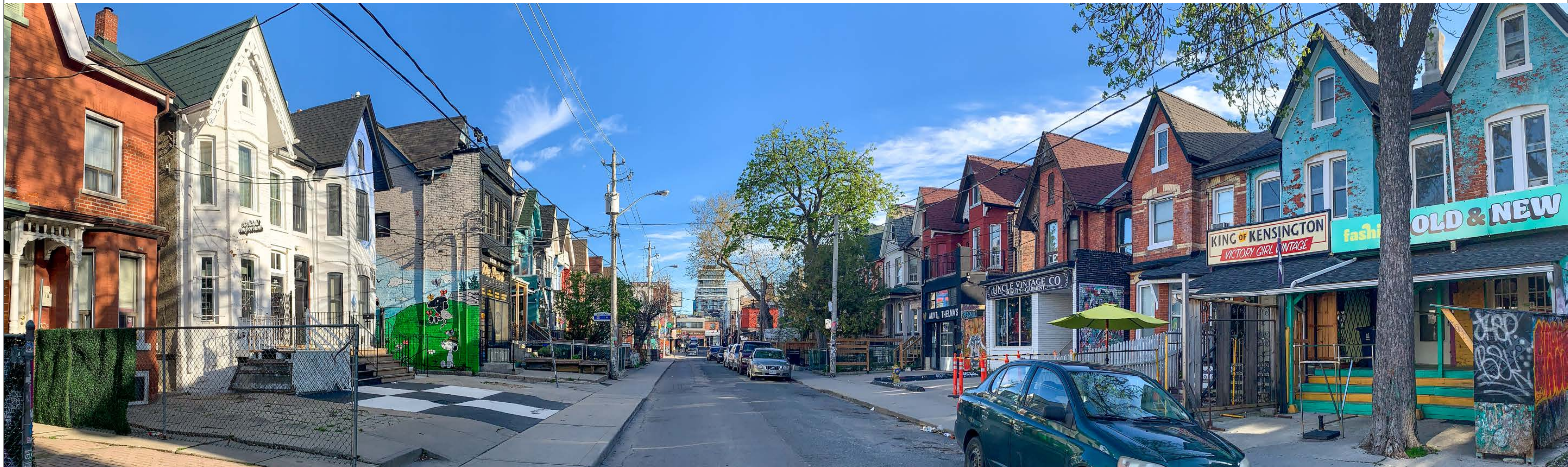


# WELCOME



## Kensington Market Heritage Conservation District Open House

November 18th, 2024, 4:00 to 7:30 pm

**Thank you for attending** today's open house. The purpose of today's meeting is for City Planning staff to show key elements of the Heritage Conservation District Plan for public feedback. The boards on display around the room explain different sections of the Plan and summarise its contents and planning goals.

Following the Open House, the boards will be made available online. City Planning staff look forward to answering your questions and hearing your feedback.



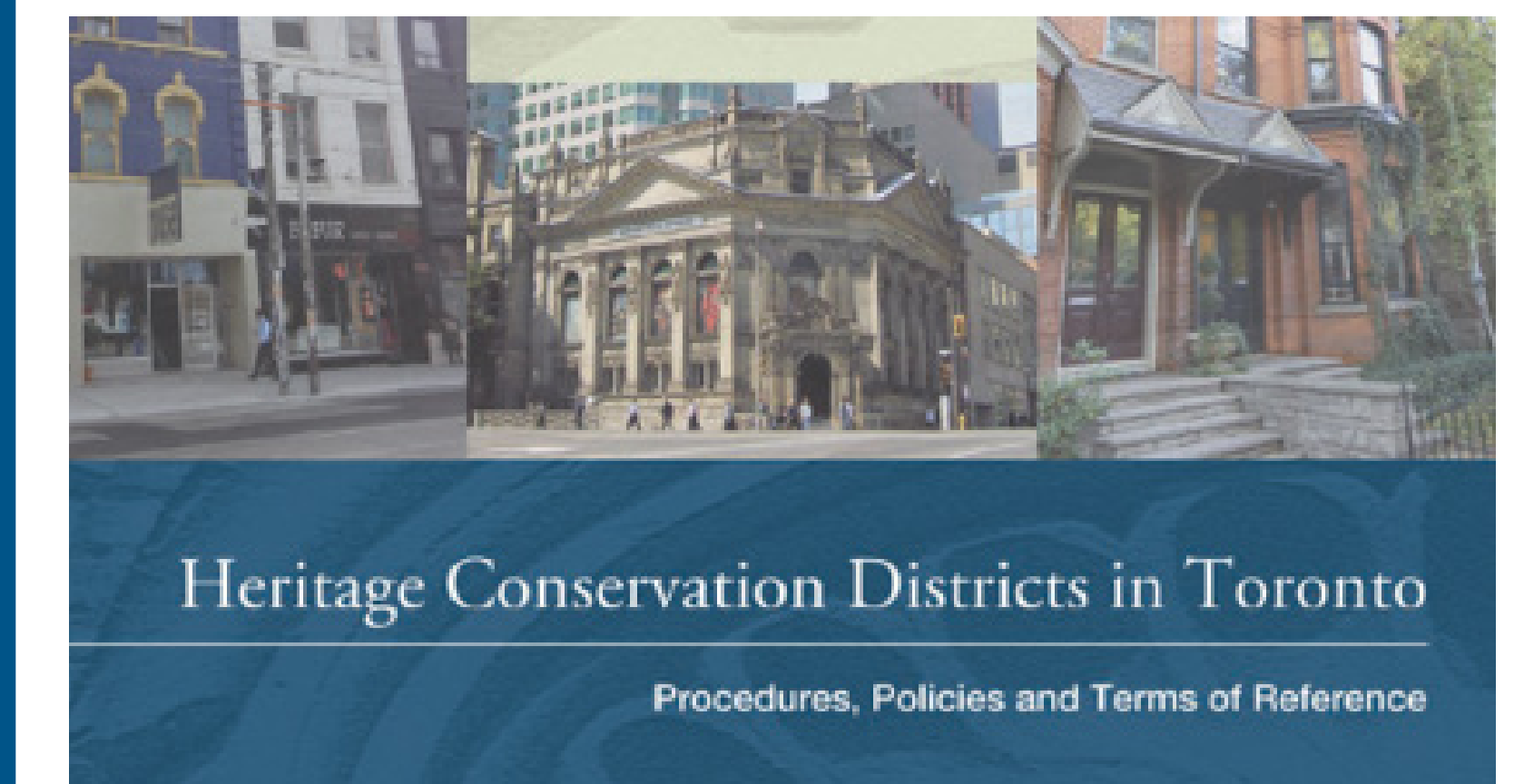
# Heritage Conservation Districts (HCDs) in Toronto

## About Toronto's Heritage Conservation Districts

Heritage Conservation Districts (HCDs) are designated under Part V of the Ontario Heritage Act and protected through municipal by-laws.

There are 26 HCDs in effect in Toronto, with an additional 1 under appeal, 3 plans in progress, and 4 being studied.

The nomination, study and planning of HCDs is guided by the City Council-adopted document Heritage Conservation Districts in Toronto: Procedures, Policies and Terms of Reference.



In addition to identifying and designating HCDs, City Planning is undertaking a number of planning studies that include heritage components, such as Cultural Heritage Resource Assessments (CHRAs), which provide an opportunity to identify heritage resources and inform the development of area-specific policies and guidelines. For more information on HCDs, visit the City's webpage by scanning the QR Code below.



SCAN HERE



### Heritage Conservation Districts

HCDs	
1	Fort York
2	Wychwood Park
3	East Annex
4	Draper Street
5	Yorkville - Hazelton
6	Cabbagetown Metcalfe
7	Rosedale South
8	Blythwood Road
9	Cabbagetown North
10	Rosedale North
11	Harbord Village   Phase 1
12	Cabbagetown South
13	Lyall Wood
14	Union Station
15	Weston   Phase 1
16	Queen Street West
17	Cabbagetown Northwest
18	Riverdale
19	Kingswood Road South
20	Harbord Village   Phase 2
21	St. Lawrence Neighbourhood
22	Historic Yonge Street
23	King-Spadina
24	West Annex   Phase 1
25	Garden District
26	Parkdale Main Street
HCDs under Appeal	
27	Cabbagetown Southwest
HCD Plans in Progress	
28	Baby Point
29	West Queen West
30	Kensington Market
HCDs under Study	
31	Bloor West Village
32	The Junction   Phase 1
33	Weston   Phase 2
34	West Annex   Phase 2

Map Not to Scale

City of Toronto, Province of Ontario, Esri Canada, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc., METI/NASA, USGS, EPA, NPS, USDA, NRCAN, Parks Canada, Esri Canada



# Heritage Conservation District Plans

## Content of a Heritage Conservation District (HCD) Plan

Each HCD requires an HCD Plan. The contents of a Heritage Conservation District Plan are directed by the Ontario Heritage Act. According to the Section 41.1 (5) of Part V of the Act, **an HCD Plan shall include:**

- A **statement of the objectives** to be achieved in designating the area as an HCD;
- A **statement explaining the cultural heritage value or interest** of the district;
- A **description of the heritage attributes** of the heritage conservation district and of properties in the district;
- **Policy statements, guidelines and procedures** for achieving the stated objectives and managing change in the heritage conservation district; and
- A **description of the alterations or classes of alterations that are minor in nature** and that the owner of property in the heritage conservation district may carry out or permit to be carried out on any part of the property, other than the interior of any structure or building on the property, without obtaining a permit under section 42.

The Ontario Heritage Act requires that a minimum of 25% of properties within a heritage conservation district must meet two of the nine provincial criteria for cultural heritage value or interest through the revised Ontario Regulation 9/06. These criteria relate to design or physical value, historical or associative value, and contextual value.

Since 2012, the City has applied a Terms of Reference that was adopted by Council to guide the creation of HCDs. It establishes a transparent set of required procedures and ensures a consistent approach to HCDs across the City.



**Allan Gardens** | The Allan Gardens Conservatory (constructed in 1910) is in the Garden District HCD.



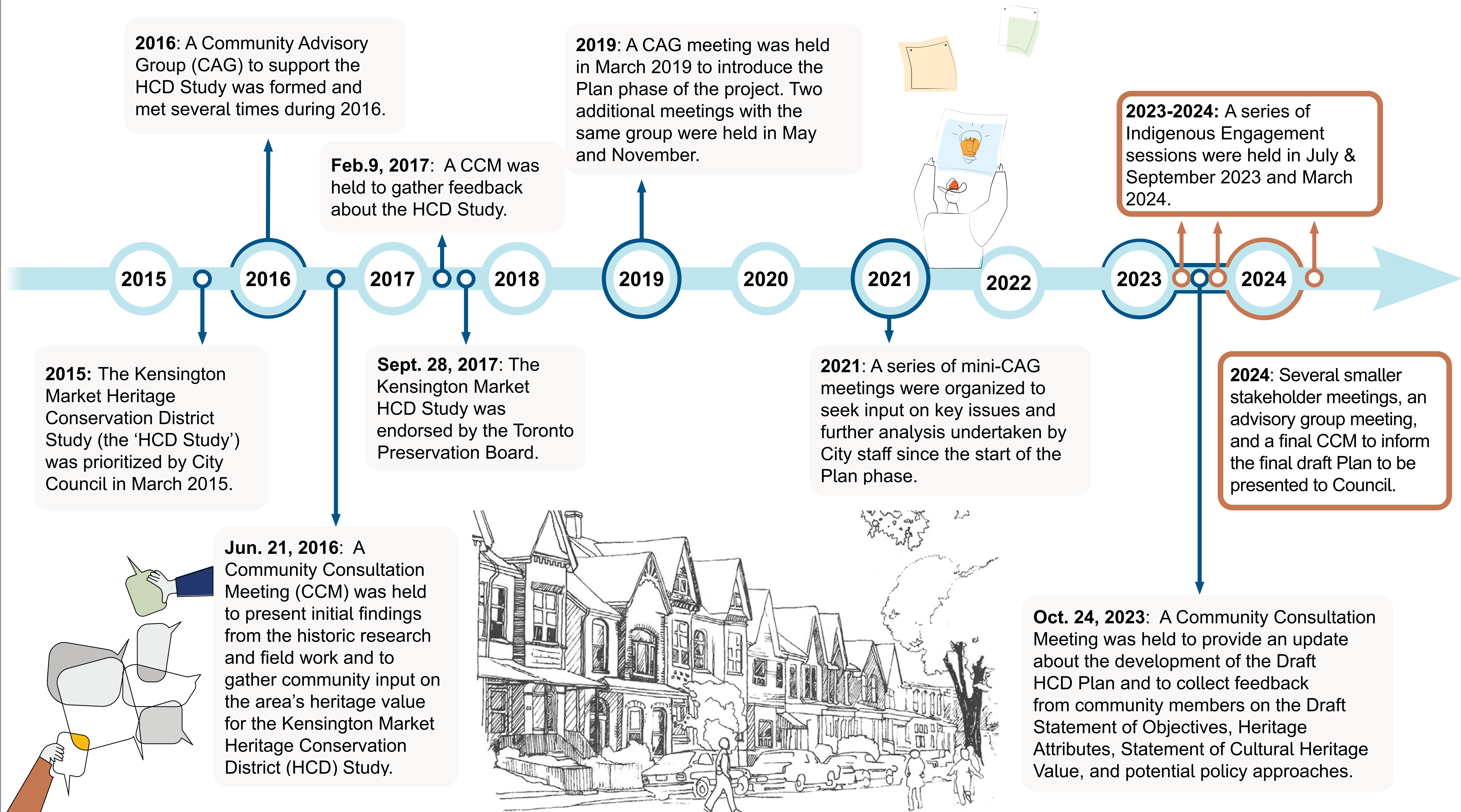
**Queen Street West** | The Queen Street West HCD, between University Avenue and Bathurst Street, was adopted in 2007.



**Harbord Village Phase II HCD** | 256-262 Robert St.



# Project Timeline





# A Heritage Conservation District for Kensington Market

Kensington Market, a National Historic Site, is a unique and important historic neighbourhood with a distinctive identity and sense of place in Toronto.

- The neighbourhood is a **microcosm of Canada's diverse immigrant population**, where many different ethnocultural communities have each added to the market's layers of heritage and contributed to a vibrant street life.
- It is a **distinctive urban district**, created by a network of narrow streets and laneways, closely built rows of small buildings, and cultural institutions such as the Kiever and Anshei Minsk synagogues.
- The built environment is a staging ground for the activities and uses that contribute to the neighbourhood's character and **intangible heritage**, including its sense of anarchy, inclusivity, and a history of experimentation.

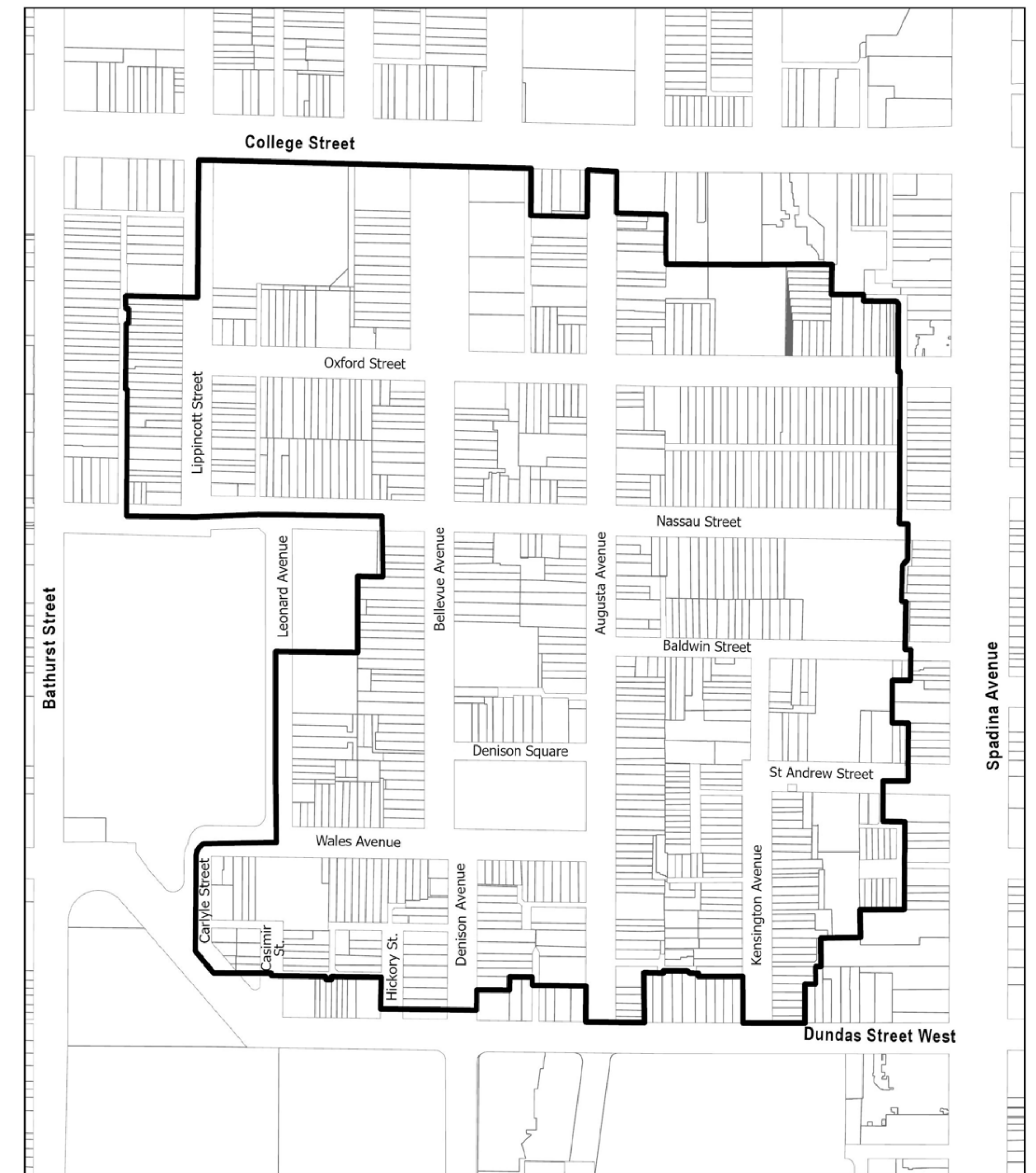
The HCD boundary was established through the HCD Study and community feedback to include the commercial market as well as the surrounding residential area. Both contribute to Kensington Market's identity as a distinctive neighbourhood in the city.



Augusta Avenue and Nassau Street |1950s (City of Toronto Archives).

## Did you know?

Kensington Market was designated as a **National Historic Site** in 2006. However, this is strictly commemorative in nature and does not afford real protection or guidance on managing change in the area. Implementing a Heritage Conservation District Plan will help to ensure the conservation of Kensington Market's character as a valuable part of Toronto.



 **TORONTO**  
Boundary Map

 Boundary

Kensington Market  
Heritage Conservation District

  
Not to Scale



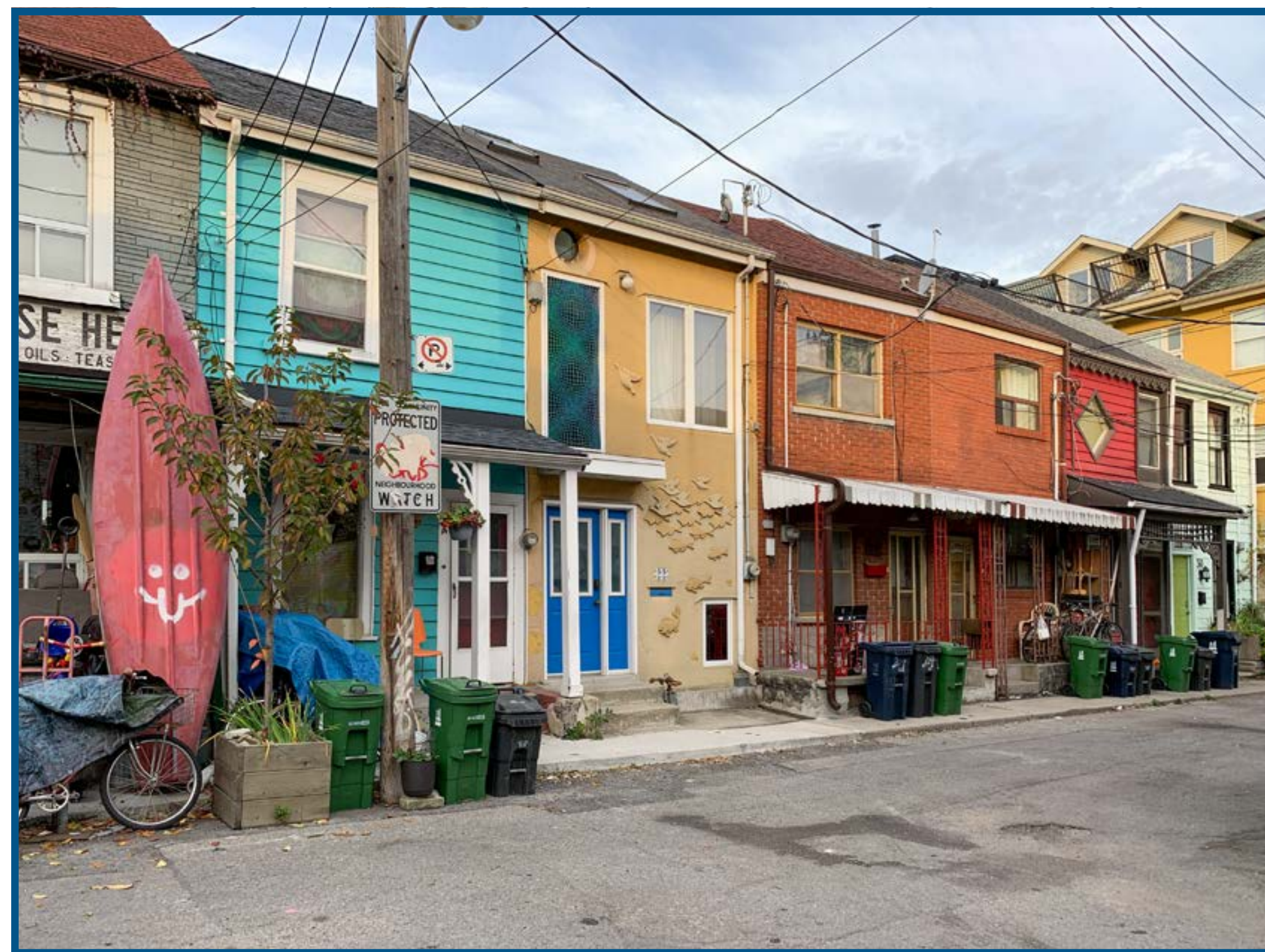
# District Significance

The HCD Plan will include a full **Statement of Cultural Heritage Value that describes Kensington Market's district significance**. The values identified in Kensington Market are summarized below.

## Historic and Associative Value

The District retains a number of buildings constructed for settlers arriving in the late nineteenth century from the British Isles, including a large concentration of workers' housing. The open-air display of goods in the market area, and patterns of commercial adaptation and building expansion, are a legacy established in the 1910s-1930s by Jewish merchants and businesses. An influx of Portuguese and Hungarian immigrants at mid-century contributed to the commercialization of Augusta Avenue, following the precedent set by the Jewish Market. Beginning in the 1960s, Chinese, Vietnamese, and Korean communities established themselves in proximity to Spadina Avenue, including through the foundation of Family and Community Associations that provided financial and social support.

The visible layering of building additions, particularly within the market area, represents the adaptation that occurred as these groups established homes and businesses in the District.



20-30 Kensington Place | Workers' laneway housing is valued as a reflection of the District's origins.

## Physical Value

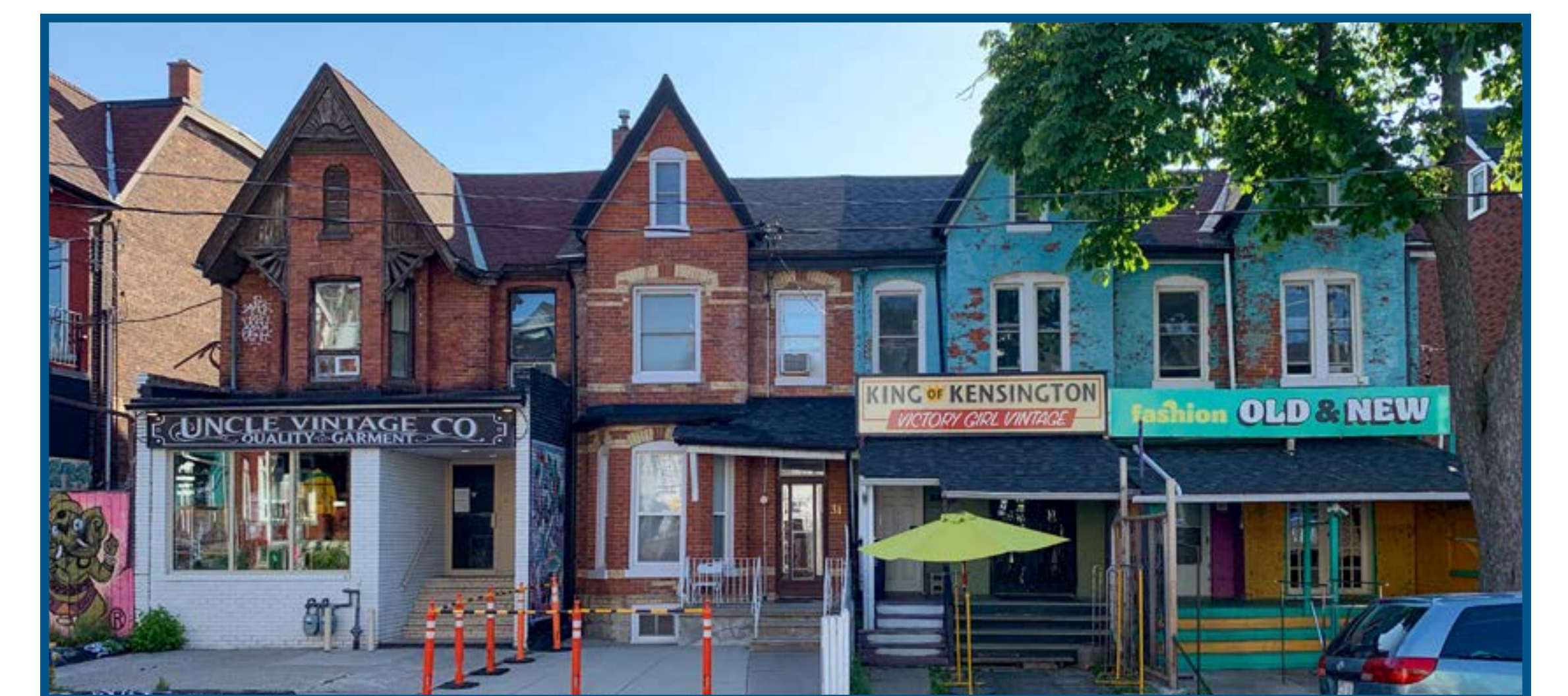
Kensington Market is valued for its fine-grain, low-scale streetscapes and concentration of late nineteenth- and early twentieth-century house-form and commercial buildings. The area maintains a unique street and block configuration that tells the story of the neighbourhood's ad hoc land subdivision, as seen in the wider right-of-way on Bellevue Avenue north of Oxford Street, which is a remnant of an early intention for the road to function as a grand avenue lined by trees, and Bellevue Square Park, which was donated to the City in the 1890s. Many of the District's properties reflect modifications made by new generations and new immigrant communities, while retaining their Victorian and early twentieth-century character.

## Contextual Value

The District's historic development patterns resulted in a complete community that sustains its own residential, commercial, and institutional activities. In many cases, the narrow property frontages of the working-class housing stock along Kensington Avenue, Augusta Avenue, and Baldwin Street were converted to stores. The resulting fine-grain commercial space has contributed to the concentration of independent retailers and food sellers that support a sense of place and a uniquely animated *public realm*.

## Social and Community Value

The District has value for its enduring identity and sense of place, centred on dynamism, resilience, and creativity. Fueled historically by the arrival of new and marginalized groups who were considered outsiders elsewhere in Toronto, and supported by an engaged community, the District evolved as a social enclave that supports innovation, small business, traditions of public art, diverse and alternative cultural expression, and social activism.



27-33 Kensington Avenue | Converted House-form buildings demonstrate the market's evolution over time.

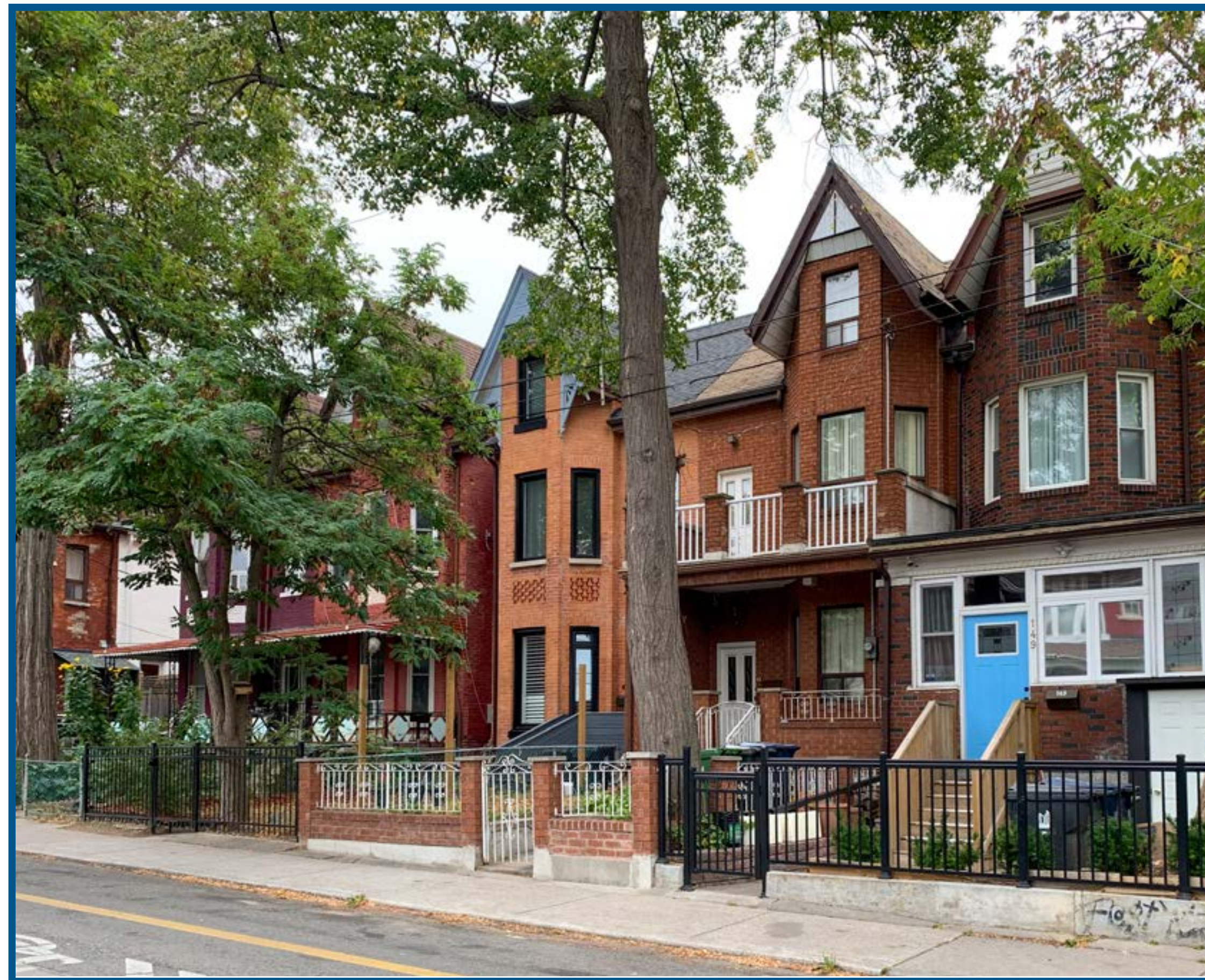


# Heritage Attributes

**Heritage attributes:** include physical, spatial and material elements within the District, including those related to natural, residential, commercial, institutional, industrial, landscape, streetscape, and archaeological resources.

## Heritage Attributes of the District

- The **fine-grain streetscapes** created by the narrow property frontages, including a high proportion that are smaller than 5.5m (18'), low-rise built form, and minimal or zero building setbacks from the public right-of-way
- The **visual character of contributing properties**, most of which reflect vernacular interpretations of Victorian and early twentieth-century architectural styles, dating to the District's early development as a residential neighbourhood
- The **concentration of House-form buildings**, distinguished by gable, mansard, and pitched roof forms that represent the District's early period of residential development from the 1850s to the early-1900s
- The **range of low-rise building typologies and configurations**, including many semi-detached and row groupings, as well as detached, and multi-residential buildings
- The contributing properties that reflect the District's development as a **working-class residential enclave**, including examples of Ontario Cottages, and the pockets of worker's cottages and infill housing located along laneways within the District



**149-153 Denison Avenue** | Contributing house-form buildings in the District reflect vernacular interpretations of Victorian and early twentieth-century styles.

- The **unique street and block patterns** that support the pedestrian character of the District, and which comprise:
  - a similar number of horizontal and vertical blocks, each having different dimensions
  - a high number of T-intersections and corner properties
  - a high percentage of east-west streets that commence and terminate within the District's boundaries
  - a wide range in the actual and perceived widths of public rights-of-way
  - the unplanned and evolved collection of laneways that terminate inside a block and provide access to only a few properties
- The **soft landscaping** that reflects the early residential character of the District



**25 Bellevue Avenue (Kiever Shul)** | One of several places of worship in Kensington Market, a self-contained neighbourhood and complete community.

- The presence of religious and institutional buildings, residential buildings, commercial retail, workplaces, and public parks in close proximity to each other that create the sense of a **self-contained neighbourhood and complete community**
- The visibly wider right-of-way on Bellevue Avenue between Oxford Street and College Street that reflects the early intention for a grand avenue
- Infrastructure, including social services, and cultural expressions such as public art that indicate a community that is highly active in local social, political, and economic matters.
- The District's archaeological resources

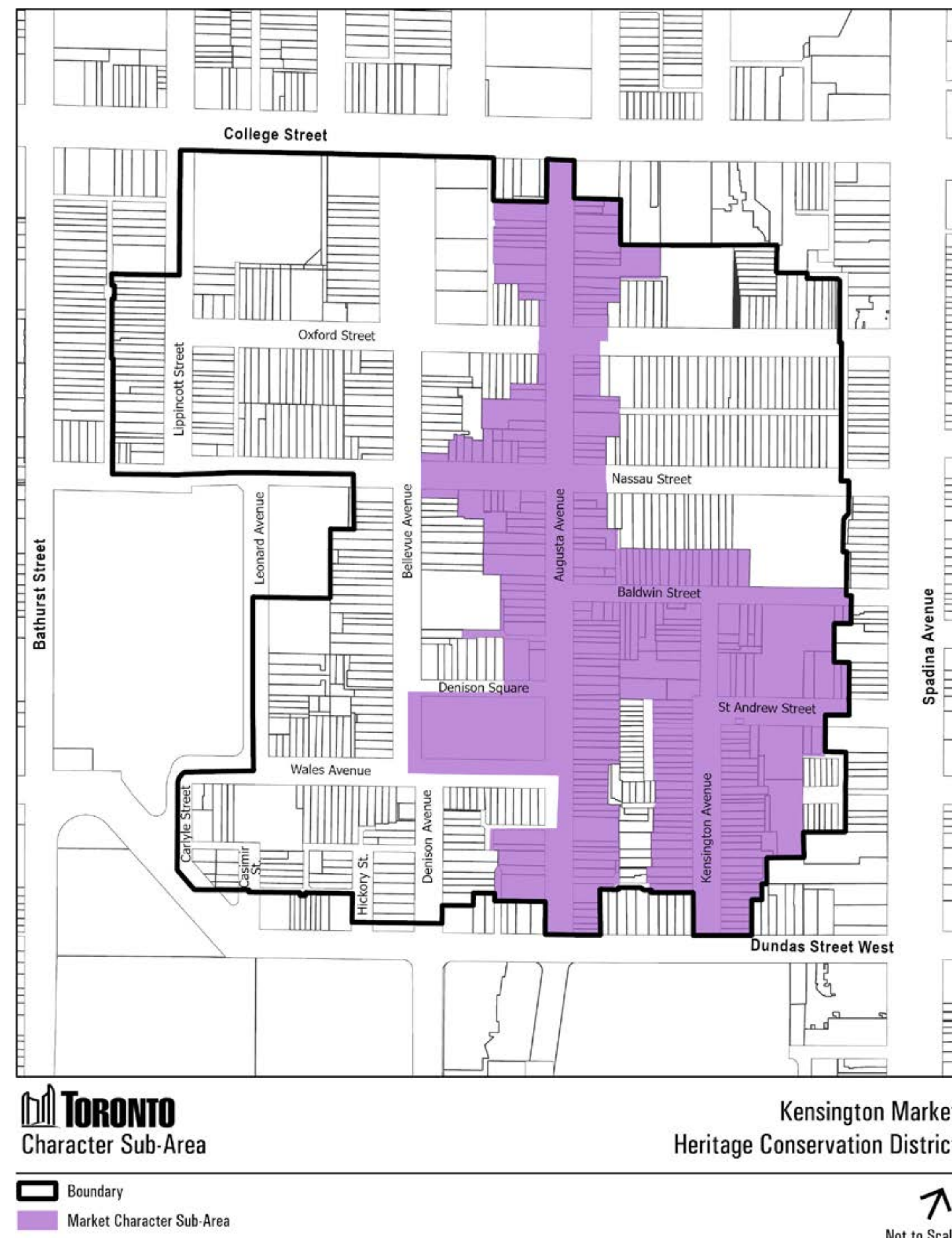


# Market Character Sub-Area of the District

One character sub-area has been identified in response to the distinct pattern of built form and public realm characteristics found in the District's core market area. This character sub-area helps illustrate the area's historic evolution and development.

Character sub-areas provide an opportunity to include policies that focus on guiding the compatible development of contributing and non-contributing properties in a way that better reflects the immediate context.

The Market Character Sub-Area is located along Augusta Avenue, Kensington Avenue, Baldwin Street, St. Andrew Street, and a portion of Nassau Street. Since its emergence as a Jewish market in the 1920s and 1930s, the tradition of converting residential buildings to serve commercial activities remains most concentrated in this area. It also contains the majority of the District's purpose-built commercial structures. Retail uses are physically reflected in the many front additions, awning displays, and first-storey enclosures that project into the public realm. These evolved buildings contribute to the market's vibrant and eclectic character, and reflect the changes made by the various communities who have lived and worked in the market.



**Augusta Avenue** | Streets in the Market Character Sub-Area are closed to vehicles once a month throughout the summer for Pedestrian Sunday events.

## Heritage Attributes of the Market Character Sub-Area

- The concentration of **House-form buildings that have been modified to accommodate commercial conversions**, resulting in a **visibly layered built form** where the original House-form building remains legible
- The **purpose-built commercial buildings** that reflect vernacular interpretations of early-twentieth-century architectural styles, dating to the emergence of the District's commercial market
- The **narrow storefronts**, which typically range from 4m to 8m wide
- The *contributing properties* that define **key intersections** through entrances with corner configurations and storefronts that address both street-facing elevations
- The **public realm patterns** that support the eclectic and bustling character of the commercial market, which is defined by the outdoor display of goods, and which facilitate a variety of public events and street festivals
- The presence of street trees, particularly on Kensington Avenue
- The evolving **murals, street art, and other forms of creative expression** that animate exterior walls, streets, and other surfaces within the *public realm*



# Statement of Objectives



178-194 Baldwin Street | Converted House-form buildings on Baldwin St. reflect the small storefronts, narrow lot frontages, and patterns of building adaptation.

Specific objectives of the HCD Plan are set out below. Although the following objectives are numbered, the numeric sequence does not establish a priority among them.

## Objectives:

1. **Conserve and maintain** the District's **cultural heritage value** as expressed through its heritage attributes, contributing properties, public realm, and archaeological resources.
2. Find opportunities to acknowledge and honour the historic and ongoing presence of Indigenous peoples in the District, including through **visual representation of Indigenous heritage**.
3. Find opportunities to acknowledge and honour the historic and ongoing **presence of multicultural immigrant communities** in the District.

4. Conserve the **legibility of the District's early periods of development** as expressed through the visual character of the District's contributing properties, which include architectural features popularized during the late nineteenth and early twentieth centuries.
5. Conserve the **patterns of building expansion and adaptation** that reflect the District's emergence as a market and the legacy of waves of immigrant communities.
6. *Conserve* the **pattern of small storefronts and narrow lot frontages**, which help facilitate the traditional food-based market uses in the District.
7. Conserve the District's low-rise, **fine-grain scale** defined by the District's building typologies and configurations, including many semi-detached and row groupings.
8. Conserve and maintain the **pockets of workers' housing** accessed by or fronting onto laneways.
9. Conserve the District's **unique block configuration** with irregular block sizes and many interior streets that both commence and terminate within the District.
10. Conserve, maintain and support the **vibrant character of the District's public realm** by encouraging its ongoing use for commercial activities, cultural events, public art, and cultural expression.
11. Conserve the **residential and institutional streetscape of Bellevue Avenue**, north of Oxford Street, including its historically wide right-of-way and soft landscaping within the public realm.

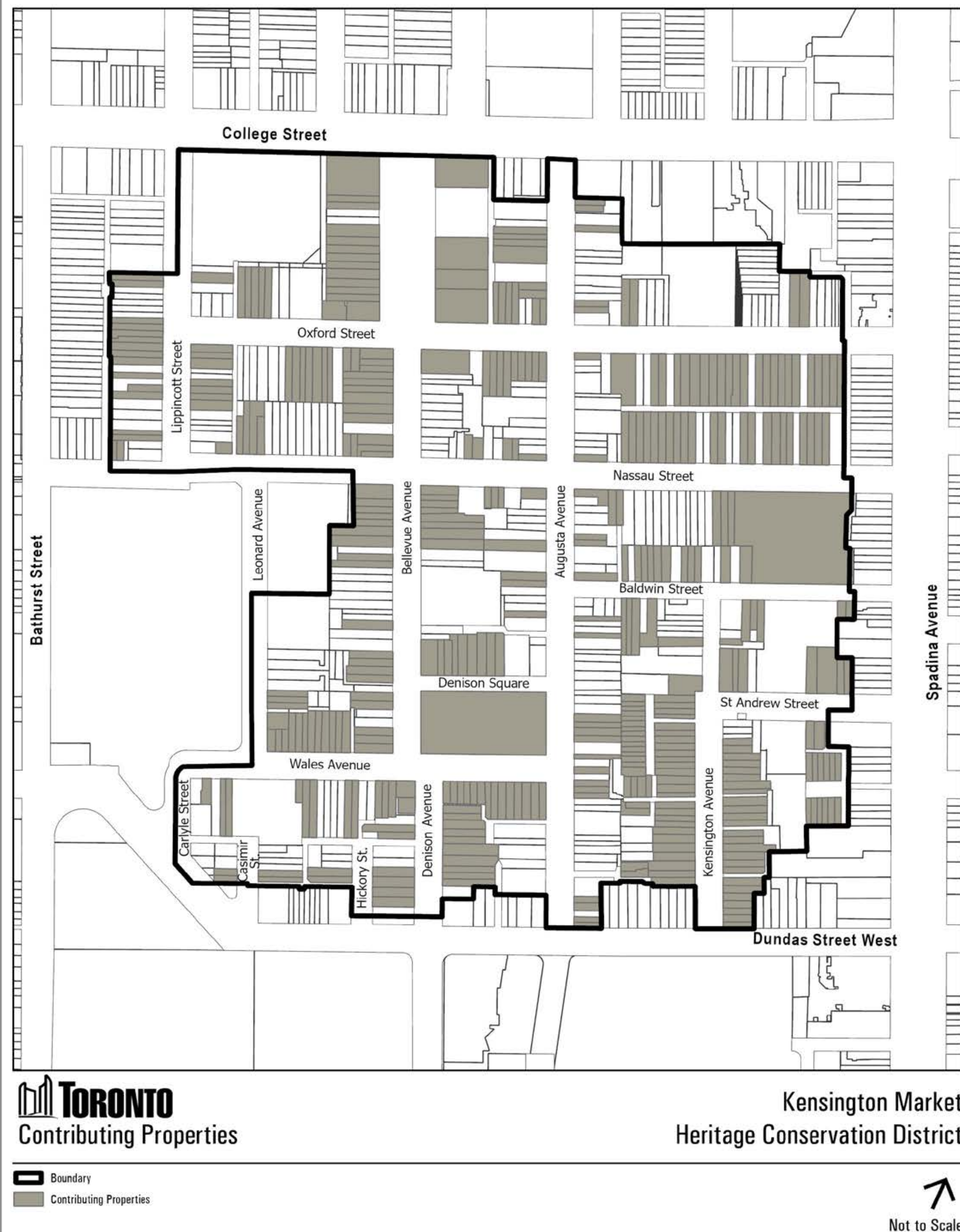
12. Ensure the **archaeological resources** are conserved.
13. Support and manage the ongoing evolution of the District through the **continuation of the measured, incremental change** that has resulted in the layered built fabric that represents the District's cultural heritage value.
14. Ensure that new development, additions, and alterations to existing built heritage resources conserve, maintain, and enhance the cultural heritage value of the District.
15. **Enhance the social, cultural, and community values of the District** such as by supporting opportunities for the creation of new affordable housing units, facilitating alterations to increase accessibility, and promoting sustainable building practices.



12-22 Bellevue Avenue | Late-nineteenth century House-form buildings contribute to the District's visual character.



# Contributing Properties



Every property within the boundary of a Heritage Conservation District is designated under Part V, Section 29, of the Ontario Heritage Act. The HCD Plan for Kensington Market will include separate policies and guidelines for contributing properties and non-contributing properties. The separate policies acknowledge that the properties have different ways of supporting the district as a whole.

## Identifying Contributing Properties in the District

Contributing properties directly relate to and reflect the District's cultural heritage value. They need to be conserved and maintained in order to protect the District's heritage character and integrity. In the Kensington Market HCD, over 400 contributing properties were identified. A property does not need to be an architectural landmark to be considered contributing. In fact, within Kensington Market, many contributing properties were identified because of the way they reflect the District's working-class origins and demonstrate the area's patterns of change over time.

### What does 'Integrity' mean?

Integrity, in relation to built heritage, is a measure of the **wholeness and intactness of the cultural heritage values** and heritage attributes of a contributing property or the District.

A property can retain integrity even when it has been altered, depending on the nature of the alterations and whether they reflect the cultural heritage value of the District.



77-79 Wales Avenue | Contributing properties in the Kensington Market HCD reflect the District's cultural heritage value. Many, such as these properties pictured, demonstrate the area's patterns of change over time.



# Contributing vs. Non-Contributing Properties

## Contributing and Non-Contributing Properties - What is the difference?



**17-27 Wales Avenue** | Contributing properties reflect the District's early development as a residential neighbourhood.



**270-274 Augusta Avenue** | Contributing properties include Converted house-form buildings with a visibly layered built form.



**207 Augusta Avenue** | Mid-century commercial infill buildings are non-contributing properties.



**102-106 Nassau Street** | Residential infill properties with large setbacks are non-contributing properties.

### Contributing Properties:

- Contributing properties are designated under Part V of the Ontario Heritage Act, and clearly reflect the District's cultural heritage value
- Policies for contributing properties seek to protect the identified heritage attributes, and include:
  - Policies to conserve massing, rooflines, and window patterns
  - Policies to ensure that alterations retain the legibility of the District's early and subsequent periods of development
  - Policies that ensure that additions retain the visual character of the heritage building
  - Policies that recognize the importance of existing trees and green spaces along public streets
- Contributing properties are eligible to apply for the City's Heritage Incentive Programs
- Contributing properties require conservation and maintenance to protect the District's cultural heritage value, and can only be demolished in exceptional circumstances

### Non-Contributing Properties:

- As non-contributing properties do not directly reflect the District's cultural heritage value, they may be redeveloped
- Non-contributing properties can be redeveloped to create opportunities for new infill construction that supports the District's heritage character
- Policies for non-contributing properties seek to ensure new development is sensitive to surrounding contributing properties and the District's sense of place, such as:
  - Policies that influence the massing and setbacks of a building or structure
  - Policies that influence the design and architectural style of a building or structure
  - Policies that influence the relationship between commercial activity and the public realm through storefront design



# Building Typologies

**Building typology:** a term that refers to the classification of buildings based on their physical form, use, and/or construction method. The Kensington Market HCD Plan groups contributing properties into six categories according to shared characteristics of original function and present-day form.



**House-form** | (L) 19-21 Oxford St.; (R) 130-136 Denison Ave.



**House-form:** buildings linked to the early development of the District, following the subdivision of the original large estates into narrow lots along streets and laneways. Much of the District's housing stock reflects working class origins.



**Converted House-form** | (L) 21-25 Kensington Ave.; (R) 147 Augusta Ave.

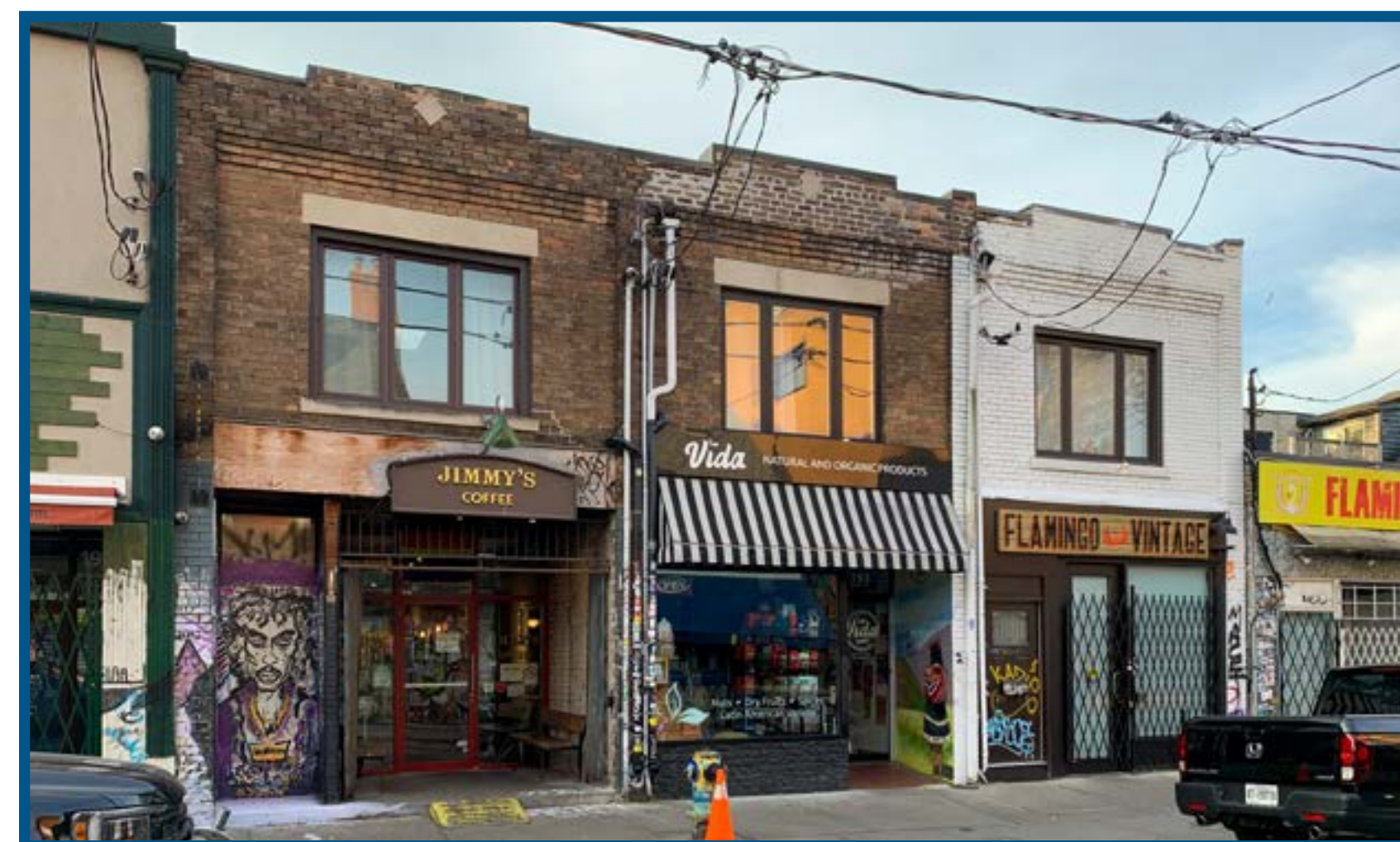


**Converted House-form:** buildings associated with the commercialization of the residential streets of Kensington Market, which are characterized by a House-form structure that has been adaptively reused or converted to commercial use primarily through ground floor *alterations*.



**Institutional** | Toronto Fire Station 315

**Institutional:** buildings that support community or civic activities and functions, sustaining the District's contextual value as a complete community. The typology includes places of worship, educational and community facilities.



**Commercial** | 191A-193-1/2 Baldwin St.

**Commercial:** any building originally constructed for commercial use on the ground floor or buildings constructed for residential use that have been *altered* for commercial use to an extent that none of the original built form, including the roof, is visible from the *public realm*.



**Multi-residential** | 88 Oxford St.

**Multi-Residential:** any building within the District that was purpose-built with living spaces for more than one tenant or family unit, often stacked entirely or partially above each other.



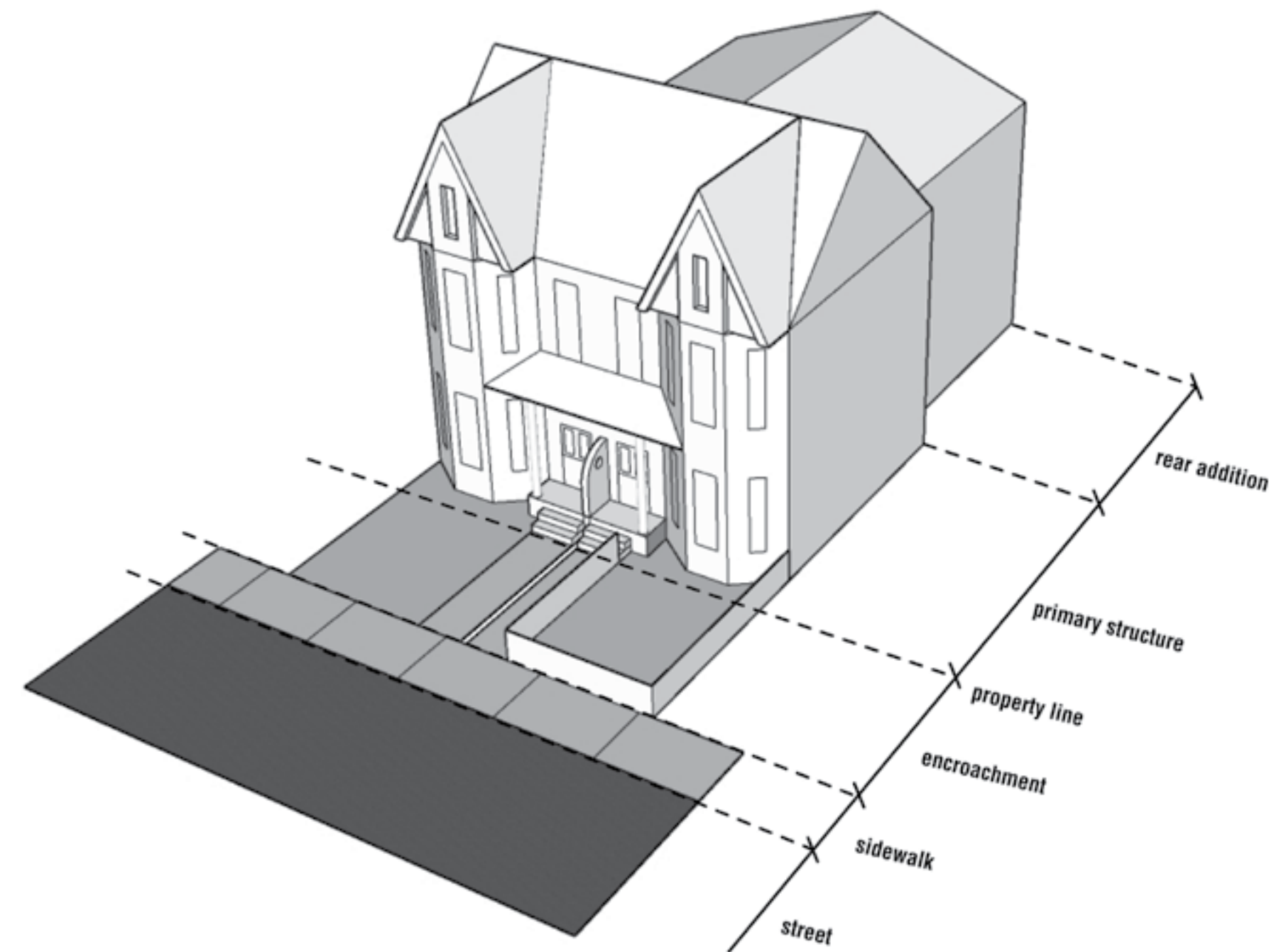
**Parks and Open Space** | Bellevue Square Park

**Parks and Open Space:** publicly owned lands used for recreational purposes and gathering spaces. They may or may not contain buildings within their boundaries that support the function of these spaces as parks.

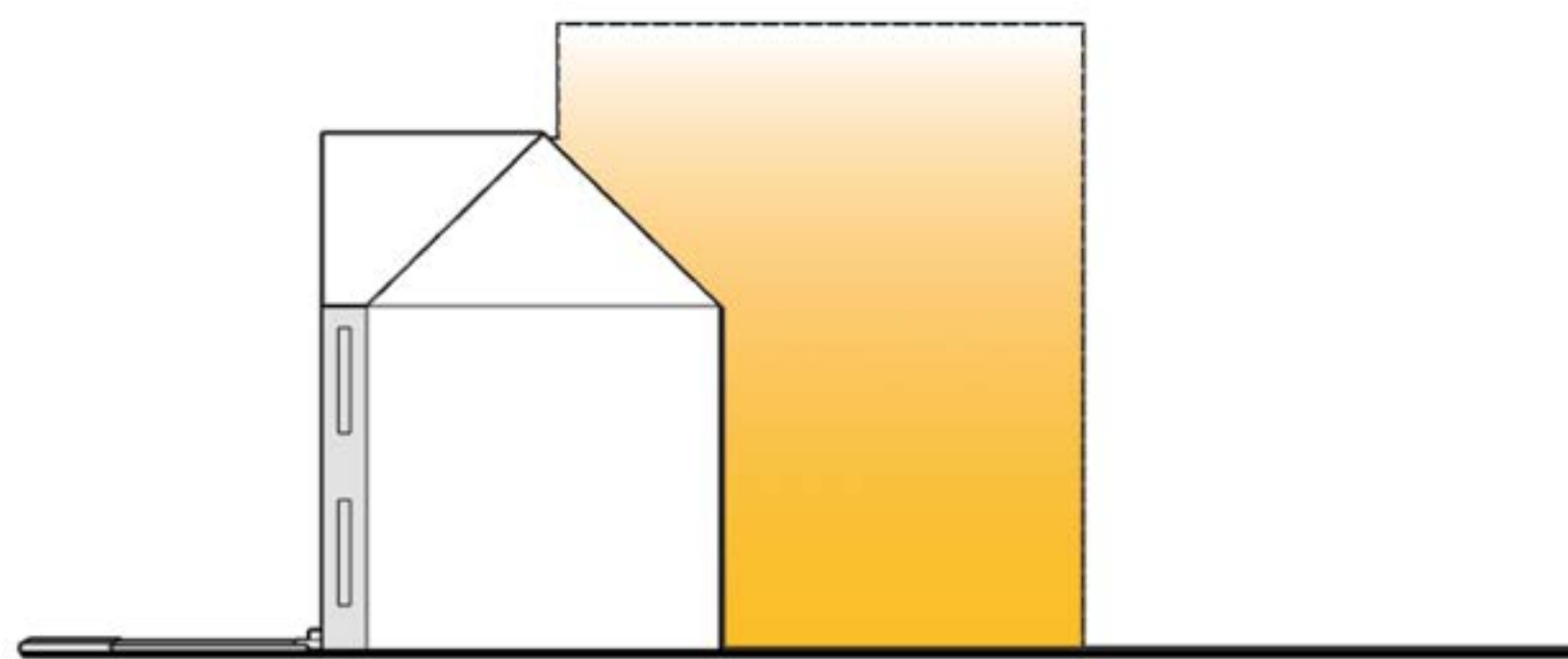


# Policies & Guidelines - Additions and Massing

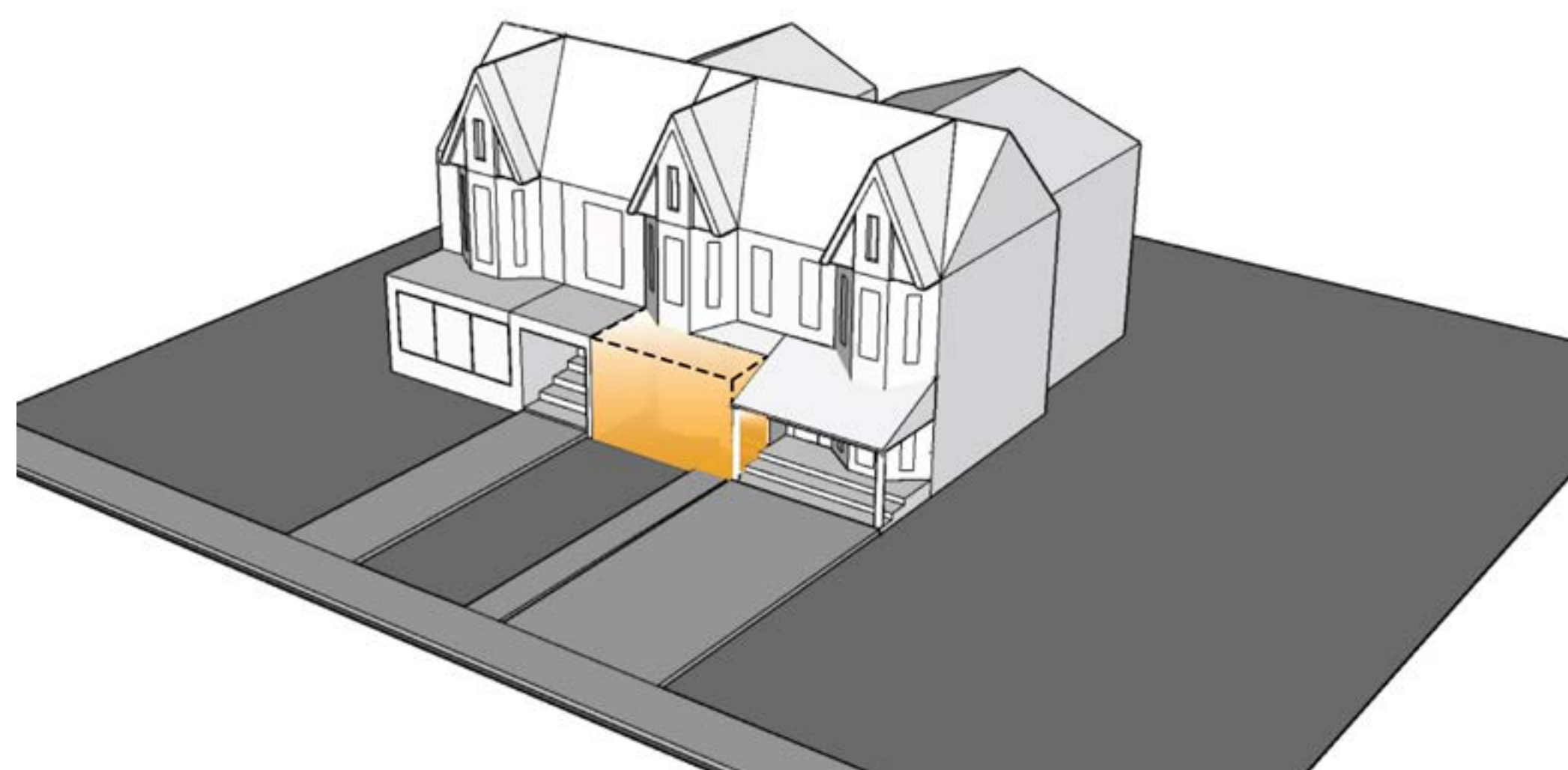
## House-form and Converted House-form buildings



**Primary Structure** | The main structure of a contributing property, in three dimensions, notwithstanding additions that are not visible from the public realm or that are unrelated to the property's Statement of Contribution. Encroachments are not considered to be part of a primary structure.



**Rear Addition** | Schematic diagram illustrating a new rear addition that conserves the primary structure of a House-form building.



**Front Addition** | Schematic diagram illustrating a new front addition that conserves the legibility of a property's architectural style and roof type.

### Contributing

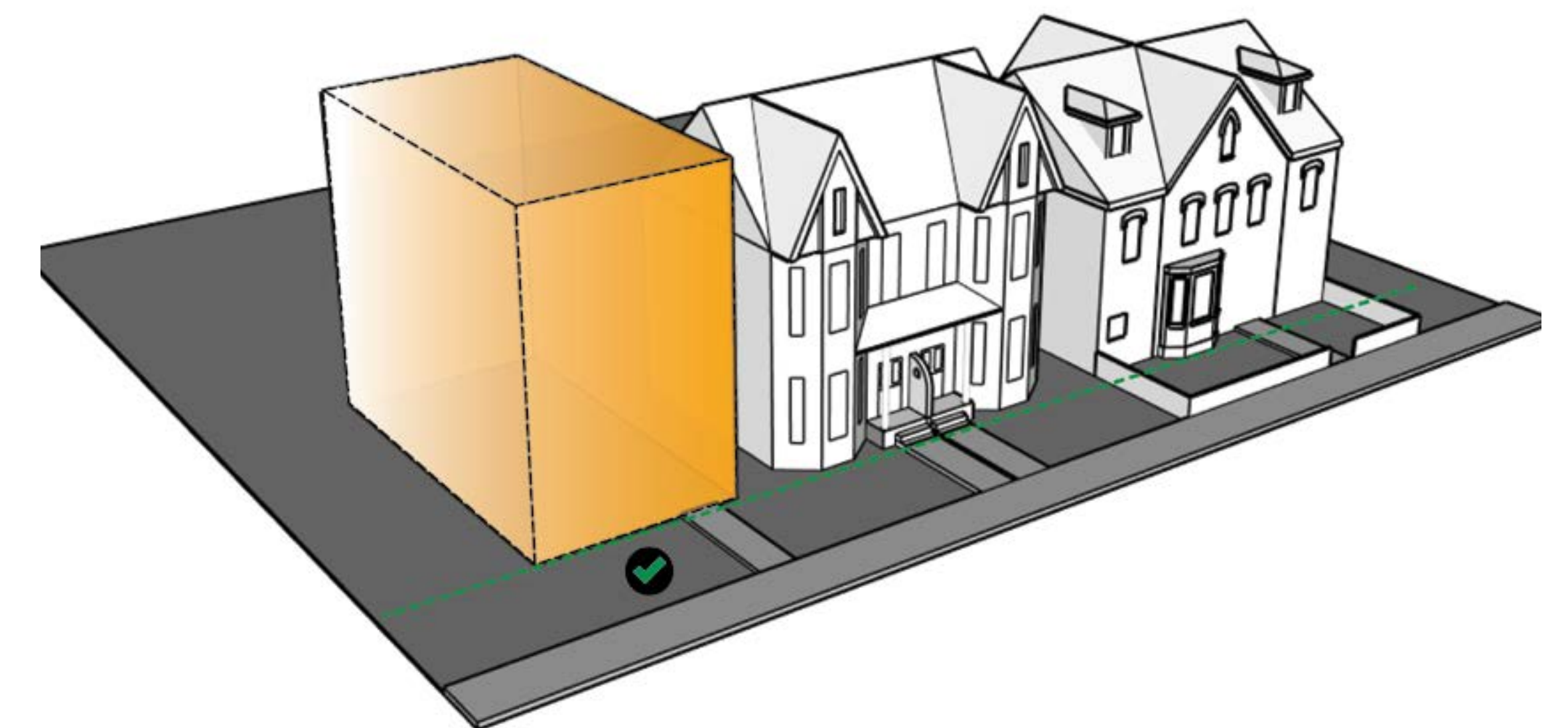
- Additions and alterations to **House-form typology buildings** on contributing properties shall conserve the primary structure of the contributing property so that its three-dimensional integrity is conserved as viewed from the street or laneway the property fronts on to, particularly if the property is part of a pair or row of contributing properties.
- Where zoning permits commercial use, front additions and alterations to House-form typology buildings on contributing properties to accommodate commercial activity may be permitted, providing they meet the policies and guidelines for Converted House-form buildings.
- Additions and alterations to **Converted House-form typology buildings** on contributing properties, including front additions, shall conserve the legibility of the property's architectural style and roof type when viewed from the street or laneway the property fronts on to.
- To conserve the legibility of the property's architectural style and roof type, front additions should generally be limited to one storey.

**Legibility** means that a property's architectural style and typology can be clearly identified and understood. Legibility relates to the appearance of a building, while integrity relates to how the property conveys cultural heritage value.

**Massing:** refers to the location, scale, and articulation of a building's form. This includes a building's setback, the width of its façade, its height and articulation, and any stepback of upper portions of a building.

### Non-Contributing

- New development and additions to non-contributing properties shall be designed to be complementary to the District's heritage attributes.
- New development on non-contributing properties should **generally reflect the scale and massing** of the District's contributing properties.
- New Development should **complement the visual character** of the District and its visibly layered built form by creating façades that variations in depth, materiality, and/or detailing.



**Setbacks** | Schematic diagram illustrating how setbacks on new developments should complement the District's heritage attributes, such as the fine-grain streetscapes with minimal setbacks.



# Policies & Guidelines - Additions and Massing

## Commercial, Multi-residential, and Institutional buildings

### How to Read the Policies and Guidelines:

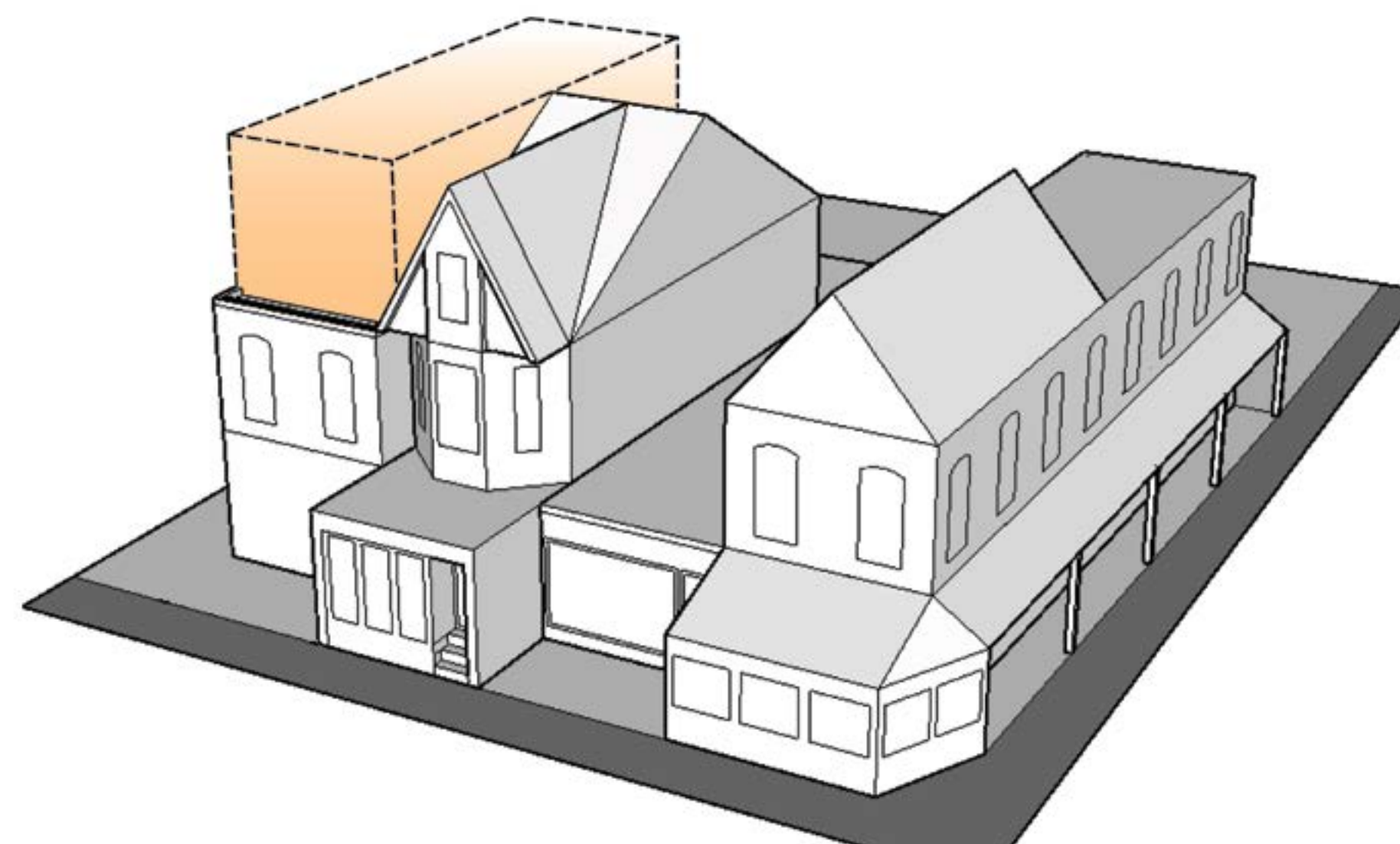
- **Policies** provide direction for the management of the District. They generally use either 'shall' or 'should' language and are to be interpreted accordingly. Policies that use 'should' acknowledge that there are circumstances where it is appropriate to provide some flexibility in meeting the policy.
- **Guidelines** are useful directions and suggest possible ways to meet the policies of the Plan. They are not mandatory.



Augusta Avenue north of Oxford Street | A mix of infill buildings and contributing properties on Augusta Ave.

### Contributing

- Additions and alterations to a **Commercial typology building or Multi-residential typology building** on a contributing property may be permitted if they are compatible with and distinguishable from the existing massing of the contributing property, provided the legibility of the property's architectural style is conserved.

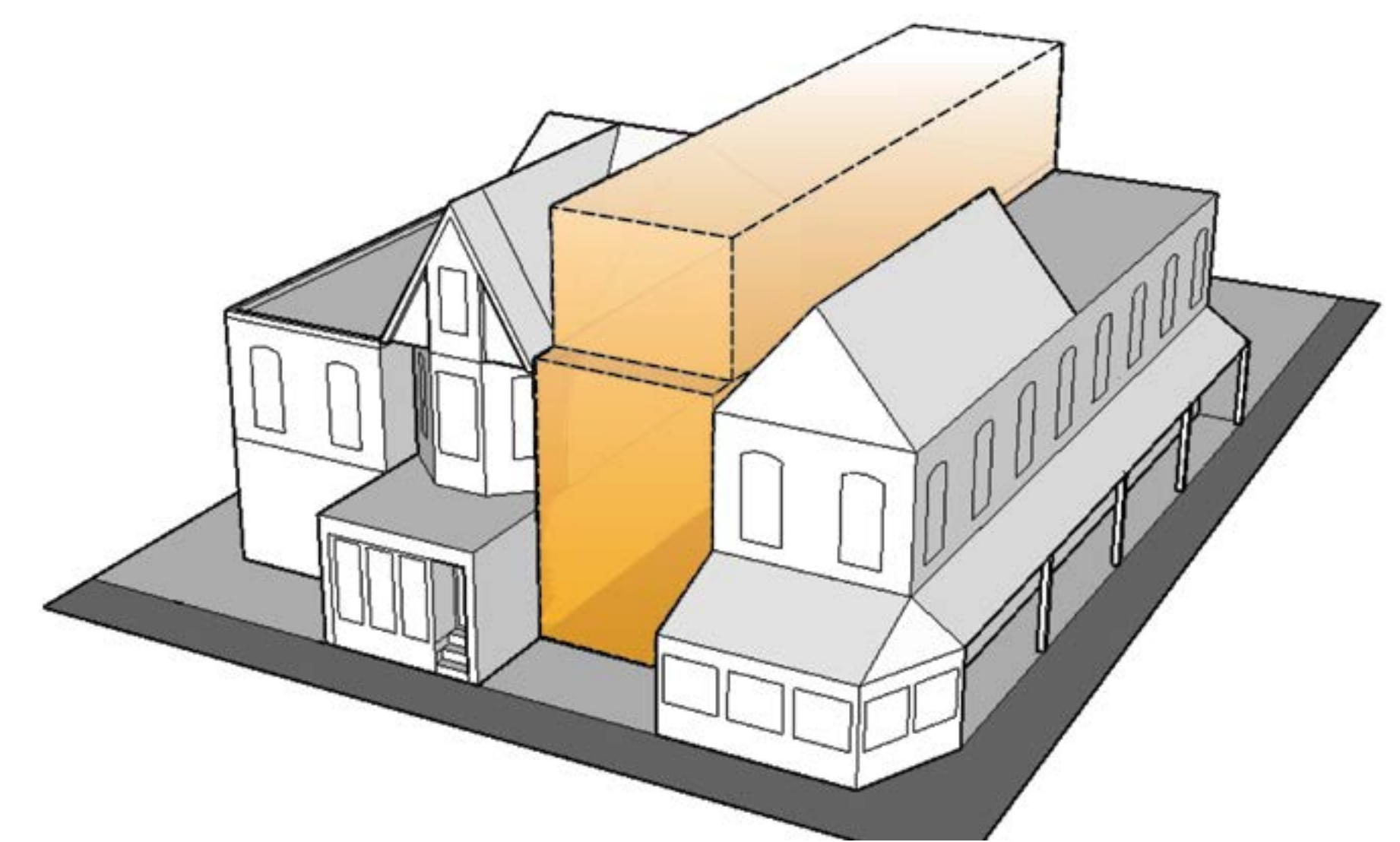


**Addition to Commercial Typology Building** | Additions and alterations to a commercial or multi-residential typology building may be distinguished either through stepbacks, variations in articulation or materiality, or other similar means.

- New development and additions to an **Institutional typology building** on a contributing property shall conserve the District's cultural heritage value and heritage attributes as determined within a Heritage Impact Assessment.
- Interventions including new development and additions to an Institutional typology building should be physically and visually compatible with, subordinate to, and distinguishable from the existing structure.

### Non-Contributing

- New development and additions to non-contributing properties shall be designed to be complementary to the District's heritage attributes.
- New development and additions to non-contributing properties should generally be consistent with the front yard setback condition of the District's contributing properties.
  - Larger setbacks on Institutional properties may be permitted where appropriate
  - Larger setbacks on properties may be considered where they introduce features that enhance the public realm.



**New Development** | Schematic diagram illustrating a new development that reflects the scale and massing of the District's contributing properties.



# Policies & Guidelines - Storefronts and Streetwall Composition

## Contributing

- **Existing storefronts and one-storey commercial additions** on contributing properties **may be altered or replaced**.
  - Alterations and replacements of existing storefronts and one-storey commercial additions should be visually and physically compatible with the contributing property's primary structure.
  - **Contemporary design and materials may be used** when altering or replacing an existing storefront or one-storey commercial addition.
- For **corner properties** in the Market Character Sub-Area, existing storefronts on contributing properties that continue onto street-facing secondary elevations may be altered or replaced, provided that they continue to be expressed on **both elevations**.
- Existing one-storey commercial additions on Converted House-form typology buildings may be removed.
- Where zoning permits commercial use, **new one-storey commercial additions on contributing properties may be permitted**, providing they meet all other policies and guidelines for the property's typology within the Plan.
- Existing two-storey commercial additions on contributing properties shall be conserved.



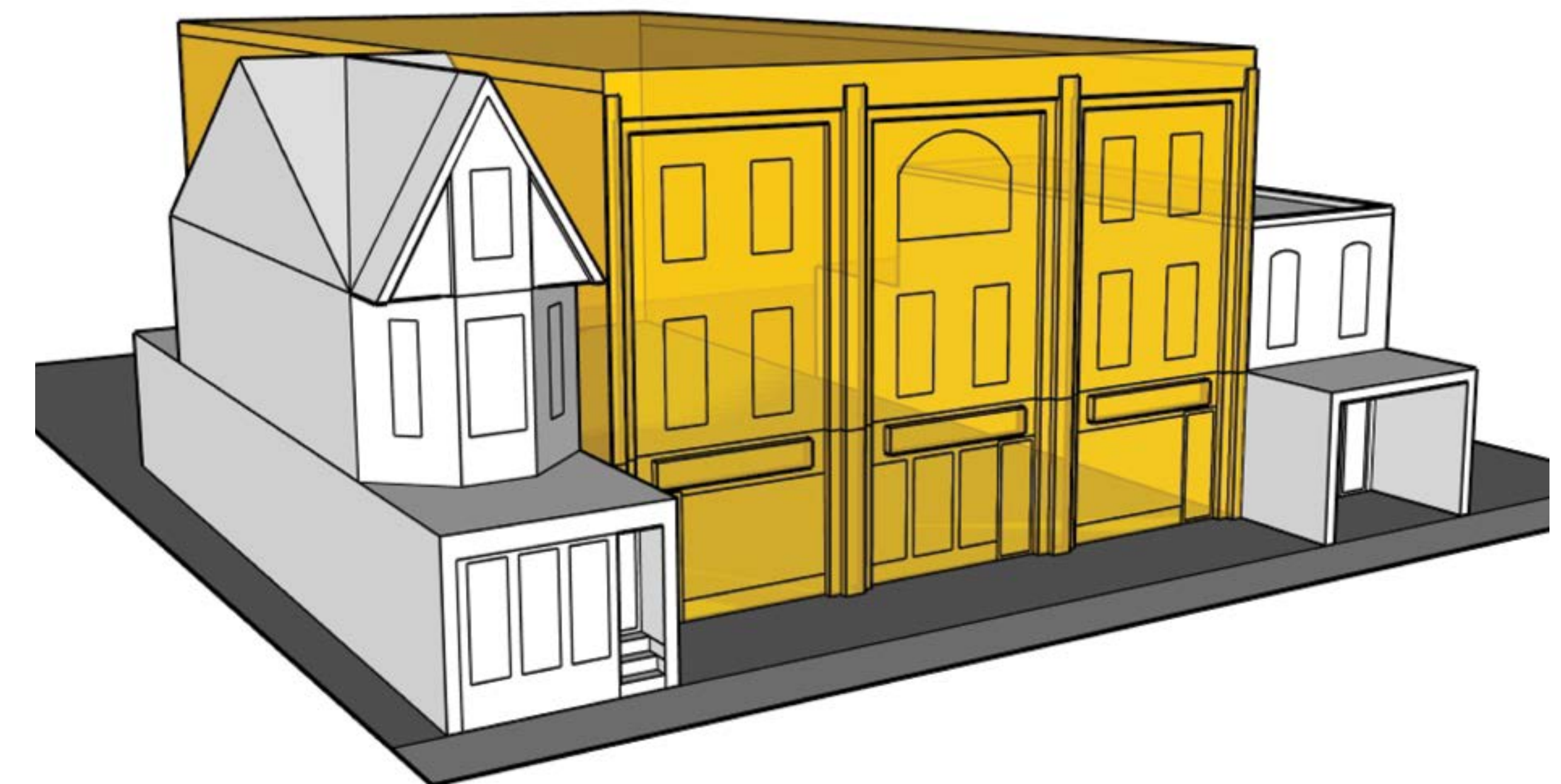
**3-13 Kensington Avenue and 560 Dundas Street West** | These contributing properties display a variety of commercial conversions, including some with one-storey commercial additions.



**270 Augusta Avenue** | An example of a Converted house-form building without a one-storey commercial addition.

## Non-Contributing

- New development on non-contributing properties shall have regard for the **fine-grain scale of the District and its pattern of historically narrow lots** by incorporating design measures to reflect the historic fabric.
  - The fine-grain scale and pattern of historically narrow lots may be articulated on the façade through subtle massing setbacks and stepbacks, projections, façade length breaks, cladding detail articulation, referencing the rhythm of window and door openings, and/or material selections.
- To conserve the **relationship between commercial activity and the public realm**, new storefront entrances shall be located at grade.
- For corner properties in the Market Character Sub-Area, new storefronts shall be expressed on both street-facing elevations.
- New development and/or additions on non-contributing properties shall **complement the District's fine-grain streetscapes** by providing separated storefronts of less than 9 metres and generally no higher than 1 storey that are expressed on the elevation of the new development and/or addition. Double height storefronts are not permitted.



**New storefronts** | Schematic diagram illustrating a new development that reflects the pattern of historically narrow lots.

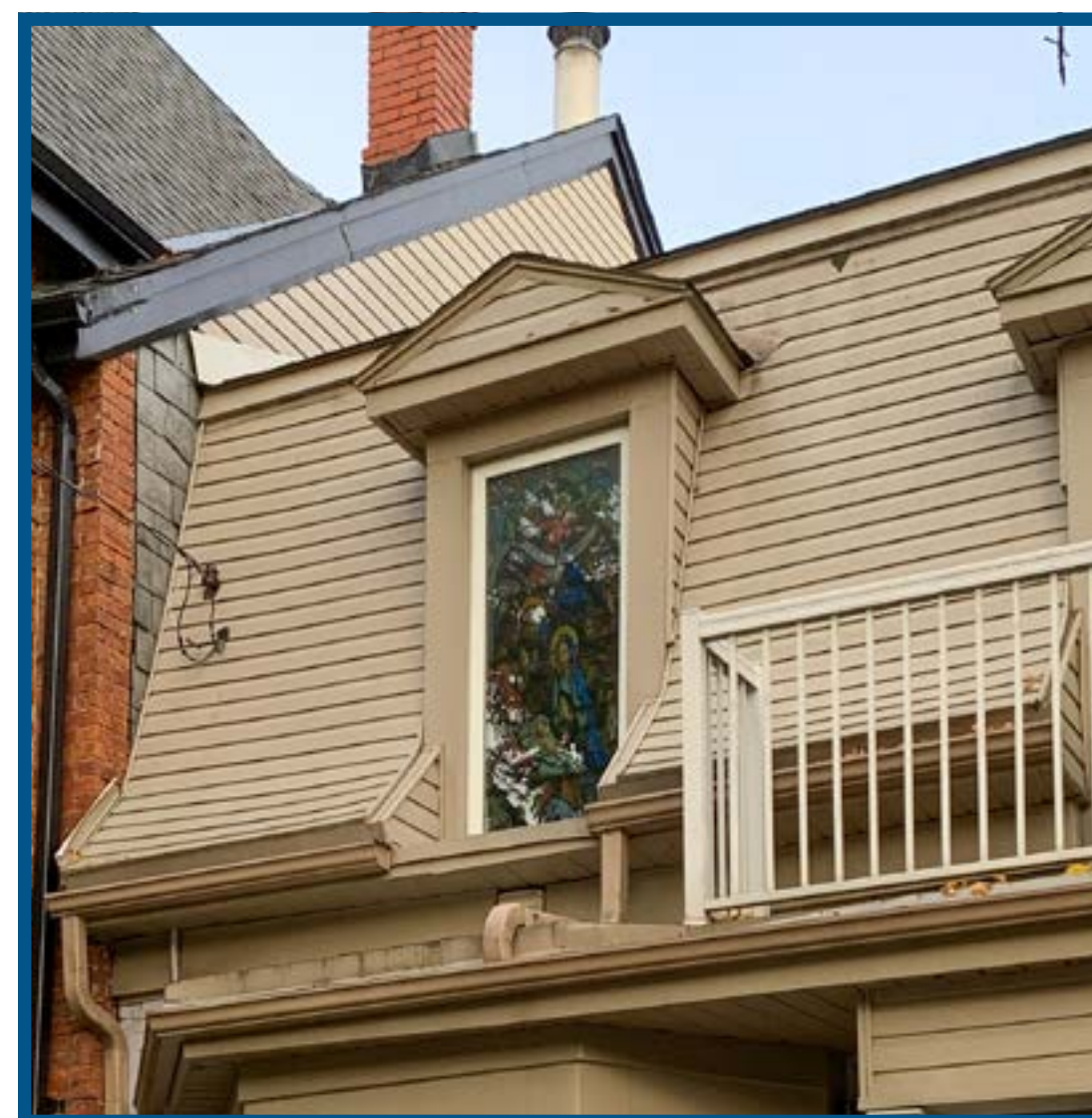
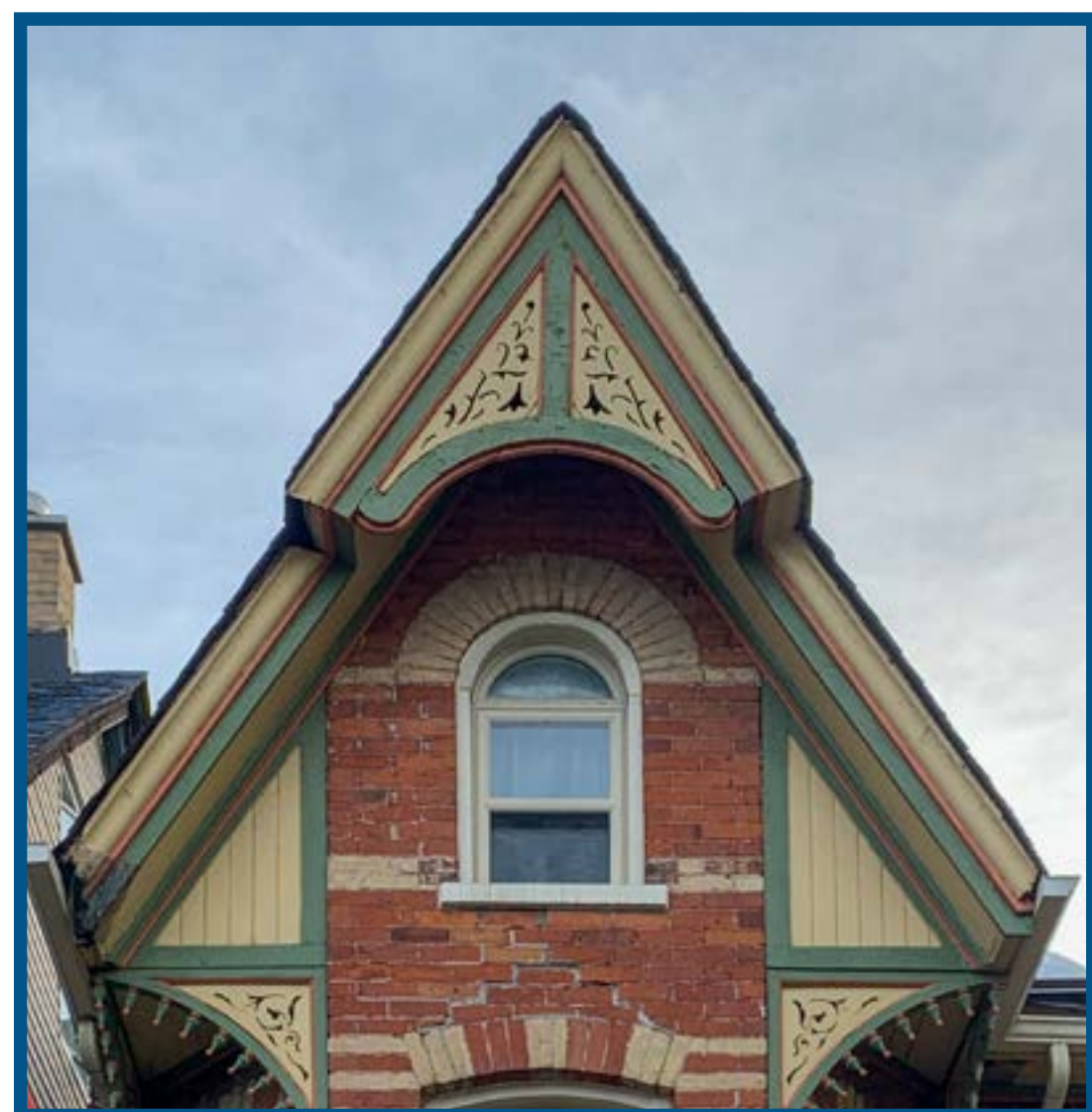


# Policies & Guidelines - Contributing Properties

## Roofs & Exterior Walls

### Roofs

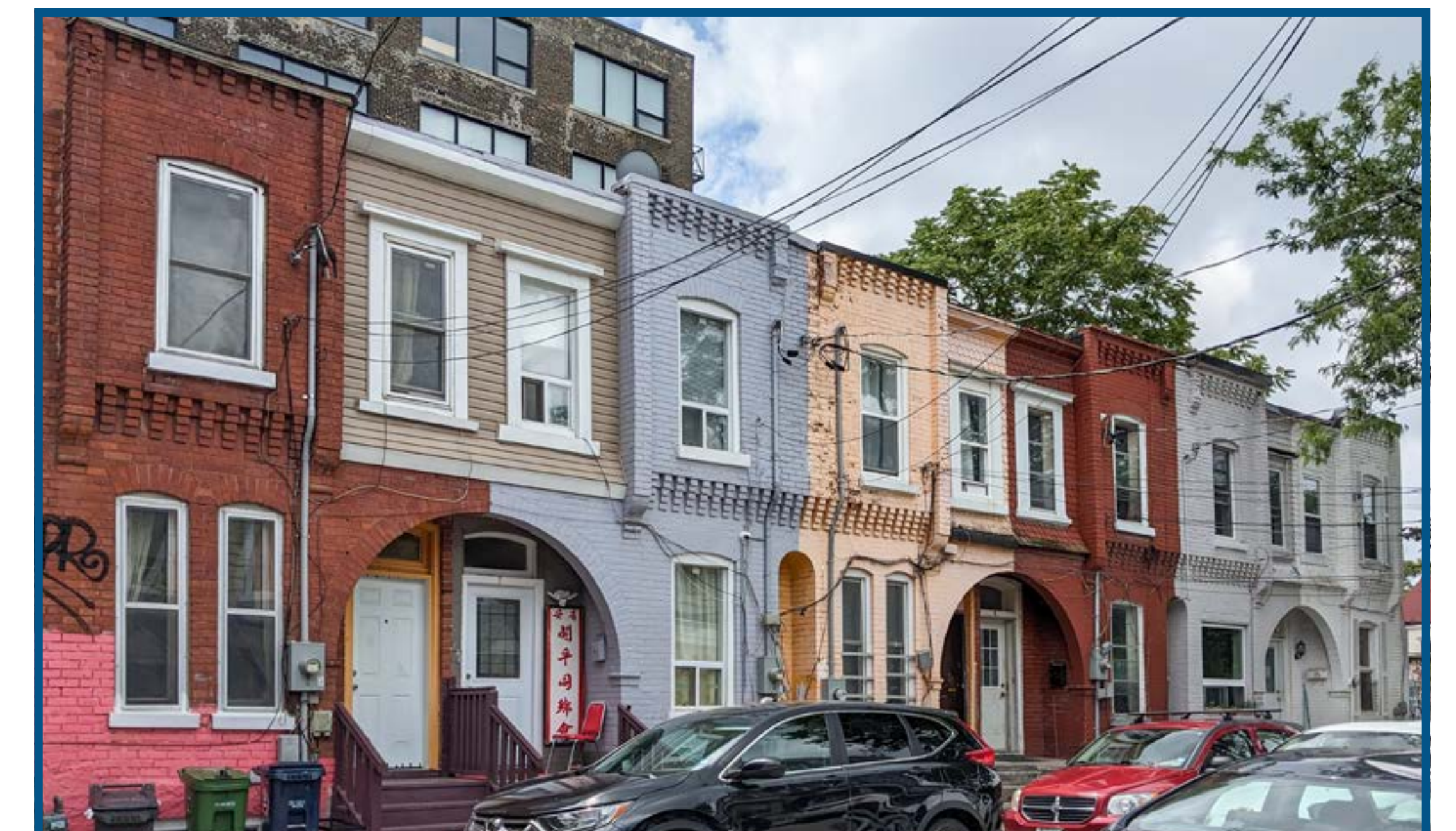
- Alterations to House-form and Converted House-form typology buildings on contributing properties **shall conserve the legibility of a building's roof type** as viewed from the street or laneway the property's primary elevation fronts on to.
  - Fences, guardrails, and new rooftop elements (including mechanical equipment, vents, drainage, sustainable technologies, telecommunications equipment, skylights, metal chimneys, flues, and decks) may be visible and extend above the roofline
- **Alterations shall conserve roof features** of contributing properties.
- Damaged or deteriorated roof features of a contributing property should be repaired rather than replaced.
- Where a roof of a contributing property is deteriorated beyond repair, replacements shall reference the type, profile, and features of the existing roof.
  - Replace only those roof features that have deteriorated beyond repair, rather than replacing the entire roof.
  - Replacement roofs and roof features should be physically compatible with the contributing property and the District's heritage attributes.



**Roof Features** | Roof features include aspects of practical and decorative architectural detail such as: gables, dormers, turrets, chimneys, brackets, raised parapets, fascias, and trim.

### Exterior Walls

- Alterations to exterior wall features of contributing properties **shall conserve the legibility of the primary structure's architectural style and typology**.
  - The legibility of a contributing property's architectural style and typology may relate to composition, materials, size, finishes, patterns, and detailing of exterior walls.
- Damaged and deteriorated exterior wall cladding or exterior wall features on contributing properties **should be repaired rather than replaced**.
  - Any application to replace exterior wall cladding or an exterior wall feature due to deterioration may require the submission of a letter or documentation from a qualified person who can demonstrate experience related to the required work, to the satisfaction of Heritage Planning.
- The application of new wall cladding should not be applied to exterior brick walls on contributing properties that have not been previously over-clad.



**Exterior Walls and Exterior Wall Features** | Exterior walls include foundation walls, raised basements, and walls from the ground through attic levels, and may include the walls of projecting elements such as parapets, dormers, bays, and turrets. Exterior wall features include decorative details, sills, lintels, and other features within the plane of the wall.

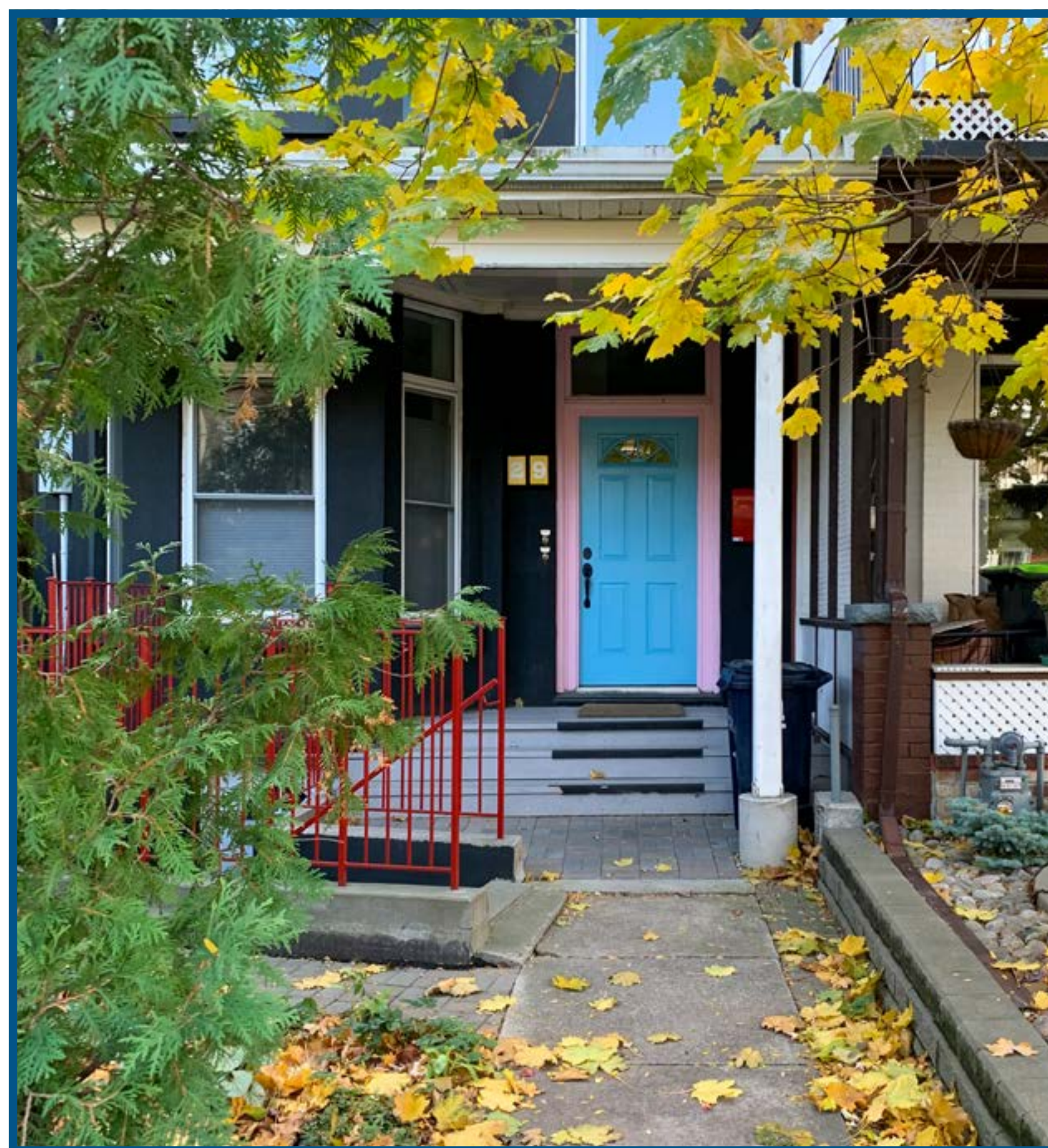


# Policies & Guidelines - Contributing Properties

## Windows, Doors, Entrances, Porches, & Balconies

### Windows and Doors

- Alterations to the **size, shape, and placement of windows and doors** shall conserve the legibility of the primary structure's architectural style and typology.
  - New windows should be compatible in terms of proportions, rhythm, and scale with a building's existing windows.
  - Alterations to doors to increase accessibility will be permitted.
- Alterations to the **features and details of windows and doors** shall conserve the legibility of the primary structure's architectural style and typology.
  - Conserving historical windows is encouraged, where they exist.
  - When retro-fitting windows with new sealed glazing units, original window assemblies, including muntin and glazing configuration, may be referenced.



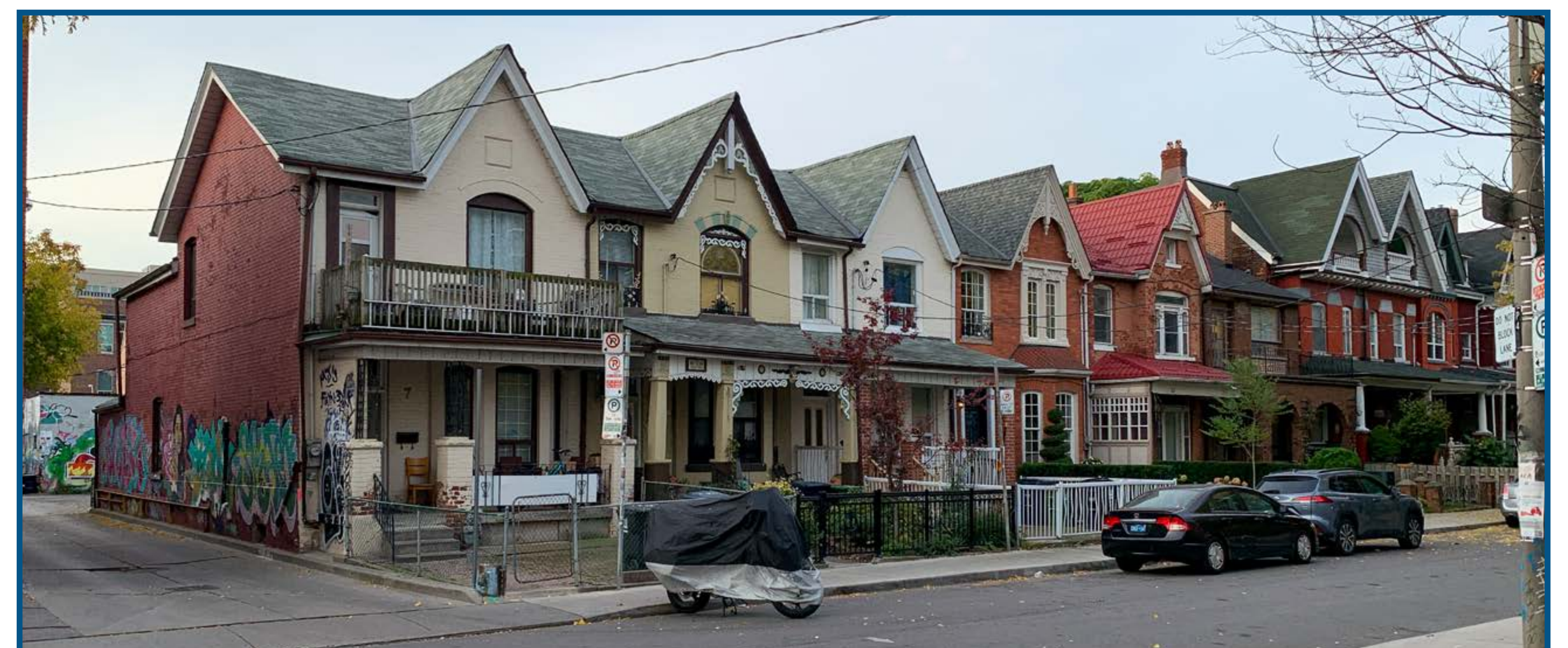
**29 Nassau Street** | New secondary and basement entrances on contributing properties may be permitted, but should minimize their impact on the primary facade where possible.



**78 Nassau Street** | This conversion of a window opening into a door to accommodate commercial use of the ground floor conserves the legibility of the contributing property's architectural style and typology.

### Entrances, Porches, & Balconies

- Alterations to the **features and details of entrances, porches, and balconies** shall conserve the legibility of the primary structure's architectural style and typology.
  - Historic wood railings and columns that are part of entrances, porches, and balconies should be conserved, where they exist.
  - Alterations to entrances or porches to increase accessibility may be permitted.
- **New entrances, porches, and balconies** shall be physically and visually complementary to the District's cultural heritage value and heritage attributes.
  - Contemporary design and materials may be used for new entrances, porches, and balconies.
  - New entrances, including **secondary entrances and basement entrances should be placed to minimize their visual and physical impact** on the primary facade where possible.
- Where zoning permits commercial use, entrance and porch features may be altered or removed to accommodate a storefront.



**7-15 Oxford Street** | This row of contributing properties illustrates a variety of porch and balcony features.



# Policies & Guidelines - Public Realm

## Market Character Sub-Area and Public Right-of-way

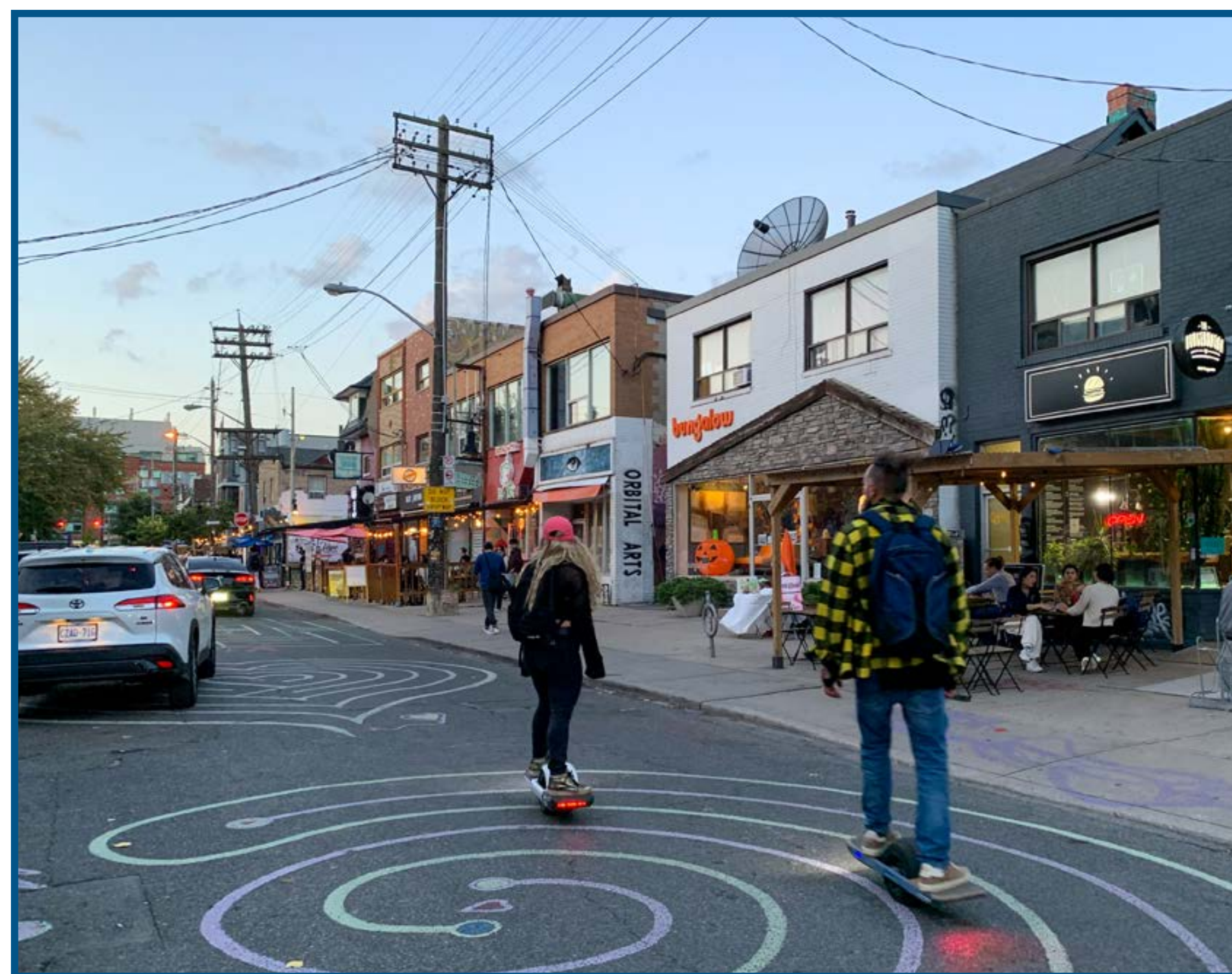
The public realm comprises the spaces where people experience public life most directly, including streets, sidewalks, laneways and pedestrian connections, parks and natural areas, and privately owned publicly accessible open spaces, walkways, or easements. Several characteristics of the public realm have been identified as heritage attributes.

- Public realm enhancements along Augusta Avenue should **reinforce the street's evolving role as the spine of cultural events and festivals** within the District.
- Public realm enhancements in the Market Character Sub-Area should consider incorporating elements that **animate the streetscape while complementing the ongoing commercial use of the public realm**.
- Enhancements to public art and signage at entrances to the Market Character Sub-Area on College Street and Dundas Street should reinforce the cultural heritage values of the District.
- New or replaced **underground infrastructure** should be consolidated and **located as close to the centre of the roadway as possible to allow ongoing and enhanced use of the public realm**.

- **Conserve soft landscaping within the public boulevard** adjacent to House-form and Institutional buildings.
  - Soft landscapes should be maximized.
- Street trees on Kensington Avenue that are injured, destroyed, or removed should be replaced.
- Look for opportunities to **increase access to the natural heritage of the area** through the introduction of pocket gardens or other landscaped features.
  - When choosing plants for new landscaped areas, prioritize the selection of native plant species.



**St. Andrew Street at Kensington Avenue** | The outdoor display of goods, such as pictured here, contributes to the District's highly animated public realm.



**East side of Augusta Avenue, between Nassau and Oxford streets** | Augusta Avenue is the spine of cultural events and festivals in Kensington Market.



**88 Nassau Street** | A recent infill development at 88 Nassau St. incorporated soft landscaping within the public boulevard adjacent to the property.



# Policies & Guidelines - Public Realm

## Placemaking, Placekeeping, Public Art & Cultural Expression

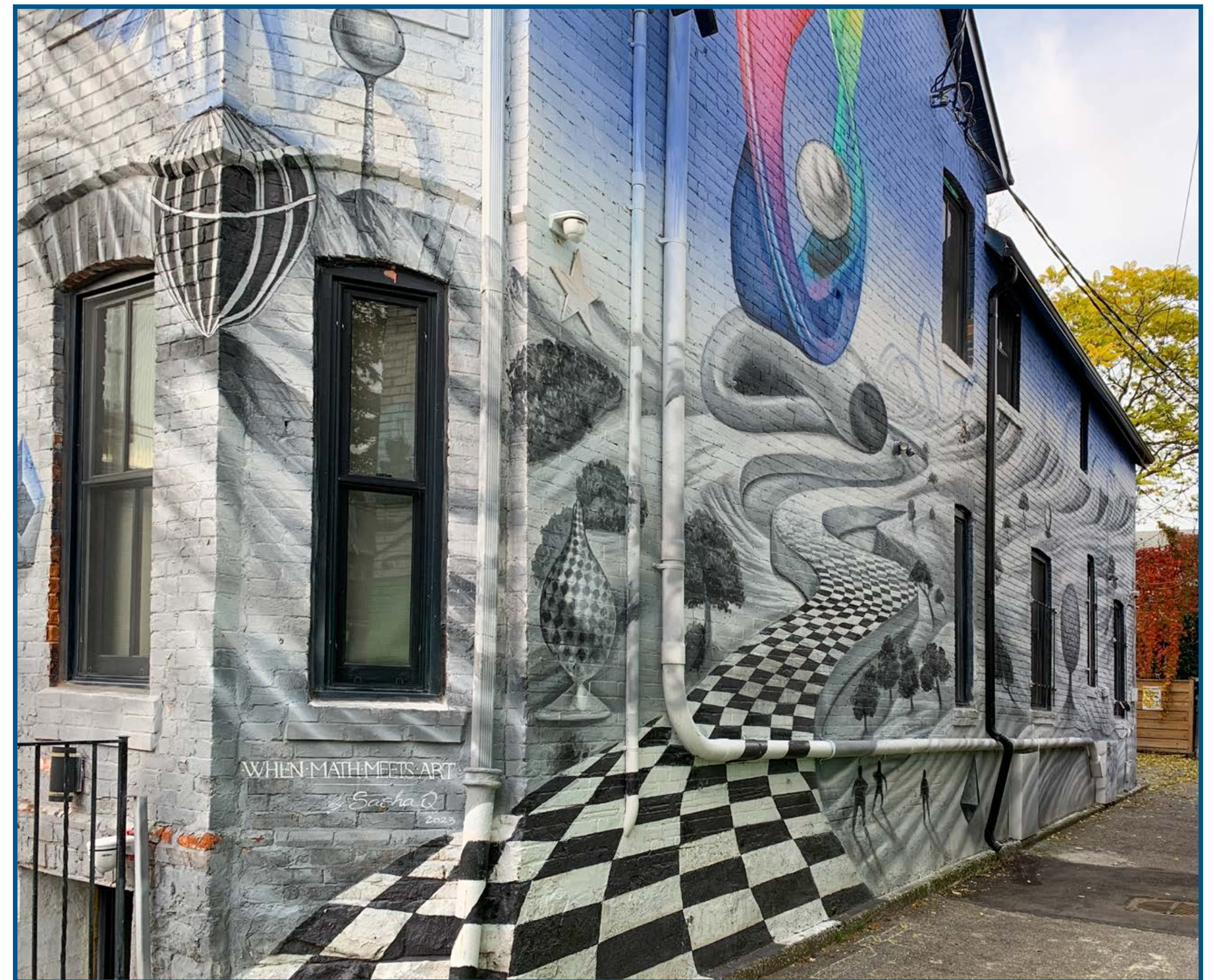
- Honour and commemorate the history of Kensington Market, including Indigenous heritage and the District's history of social and community activism, through **placemaking and placekeeping initiatives, public art, and cultural expression**.
  - In consultation with Indigenous communities and nations and the Aboriginal Affairs Advisory Committee,
    - **honour and recognize Indigenous heritage and languages** through the naming of streets, laneways, and public spaces.
    - **maintain and enhance the public realm through the creation of interpretive features, public art, or other art installations by Indigenous artists**; and
    - **prioritize the creation of spaces appropriate for Indigenous cultural and ceremonial practices** in Bellevue Square Park and Sonya's Parkette.
  - Maintain the tradition of public art along the remnant masonry walls in Sonya's Parkette.



**Sonya's Parkette** | The remnant masonry walls in Sonya's Parkette are from a former soda bottle manufacturing facility.



- **Applications for new development should include engagement and coordination with a range of stakeholders** including City programs, local agencies and groups, non-profit organizations and the Kensington Market BIA to assess placemaking, placekeeping, and public art opportunities in the community.
- **Murals on blank walls of existing buildings are strongly encouraged.** Consultation with the community is encouraged in the process of selection for murals.



**22 Kensington Avenue** | Many existing buildings in Kensington Market have colourful murals painted on the walls, which contributes to the vibrant character of the District.



# Heritage Permit Process

## When is a heritage permit not required?

Most day-to-day and seasonal work does not require a heritage permit. Other alterations in Kensington Market that are considered minor in nature and which will not require a heritage permit include:

- **Encroachments** into the public realm shall be subject to Chapter 743 of the Municipal Code; where an approval for an awning, patio, and other encroachment has been granted by Transportation Services, property owners are not required to obtain a heritage permit providing they do not alter the primary structure of the property above the ground floor
- **Commercial signage**
- **Painting**
- **Repair of existing features**, including roofs, wall cladding, dormers, cresting, cupolas, cornices, brackets, columns, balustrades, porches and steps, entrances, windows, foundations, and decorative wood, metal, stone or terra cotta, provided that they are repaired in-kind
- Installation of eavestroughs
- **Weatherproofing**, including installation of removable storm windows and doors, caulking, and weatherstripping Maintenance of existing building features on contributing properties
- **Landscaping** (hard and soft) that does not require subsurface excavation/grade changes
- Repair of existing utilities or public works
- **Temporary or seasonal installations**, such as planters and seasonal decorations

## When is a heritage permit required?

In general, an HCD Plan only guides changes to **exterior areas** as viewed from the street. A heritage permit is required for:

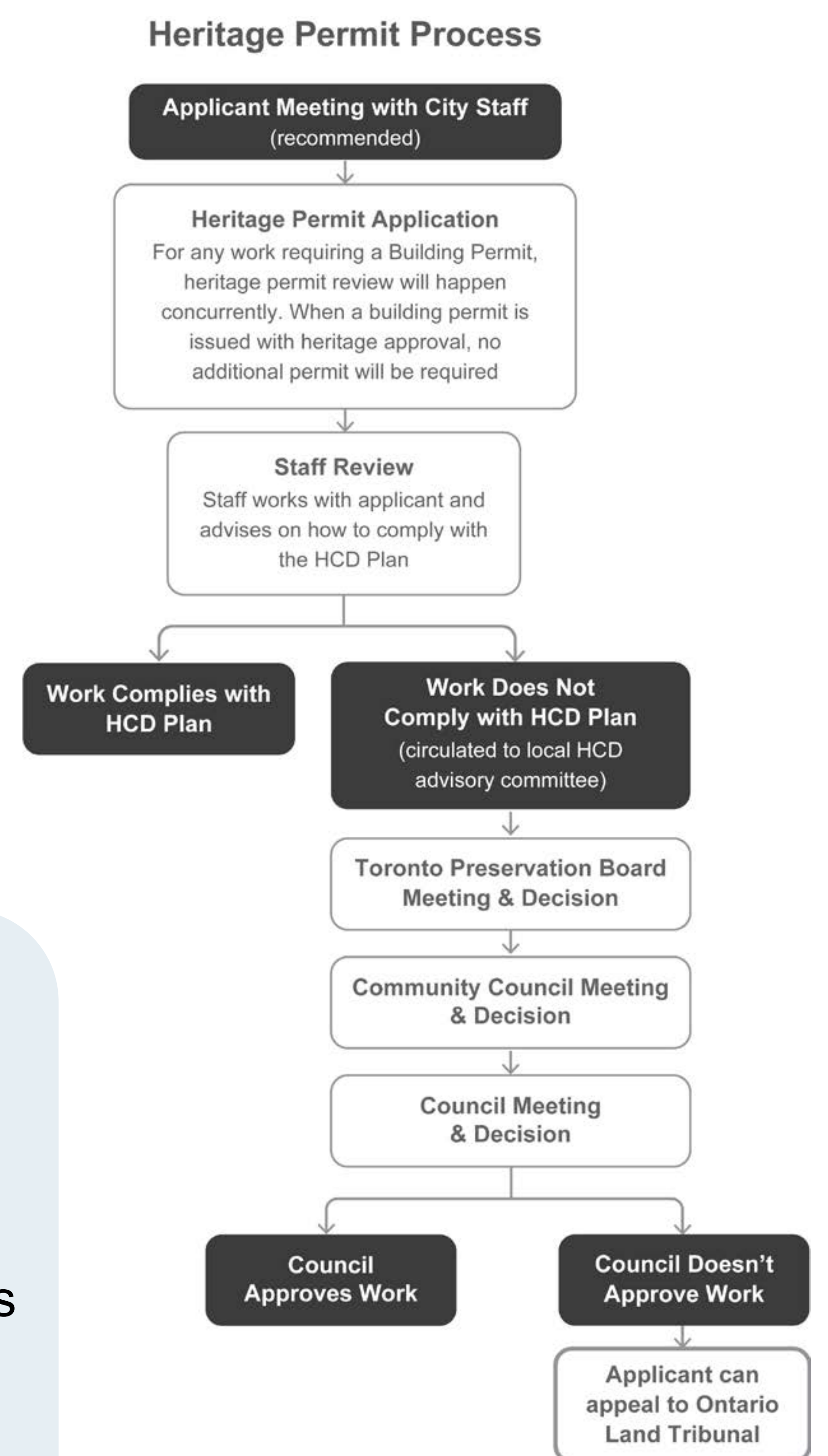
- **visible alterations** to properties within the HCD
- **new construction**
- **demolition** of buildings or structures.

Heritage permits are free, and for buildings within HCDs the process is integrated with the building permit process so that only one application is required.

### Would I need a heritage permit to change my windows?

Yes - Heritage Planning should be contacted to obtain a permit.

The HCD Plan for Kensington Market does allow owners of contributing properties to install new windows. The Plan includes some restrictions if there are changes proposed to the size, shape, or other details of the existing window openings.





# Heritage Incentive Programs

The City of Toronto offers two heritage incentive programs to assist owners of eligible heritage properties with the cost of conservation work. These programs provide funding support, and have assisted successful applicants in reaching the highest conservation standards possible for their project. A property's tax classification is used to determine the applicable program.

These programs are available to owners of properties that are designated either individually or as part of a Heritage Conservation District, subject to certain conditions. For full program details and eligibility criteria, visit the City's website:

<https://www.toronto.ca/city-government/planning-development/heritage-preservation/>



SCAN HERE

## Heritage Grant Program:

- For residential or tax-exempt properties
- Up to 50% of the estimated cost of eligible conservation work (some maximum limits apply)

The Toronto Heritage Grant Program has helped property owners repair and retain the defining heritage attributes of their properties. These attributes include, but are not limited to masonry, windows, doors, wood detailing, and slate roofs. The benefits of Heritage Conservation Districts can be observed in numerous areas, including Draper Street and Cabbagetown.

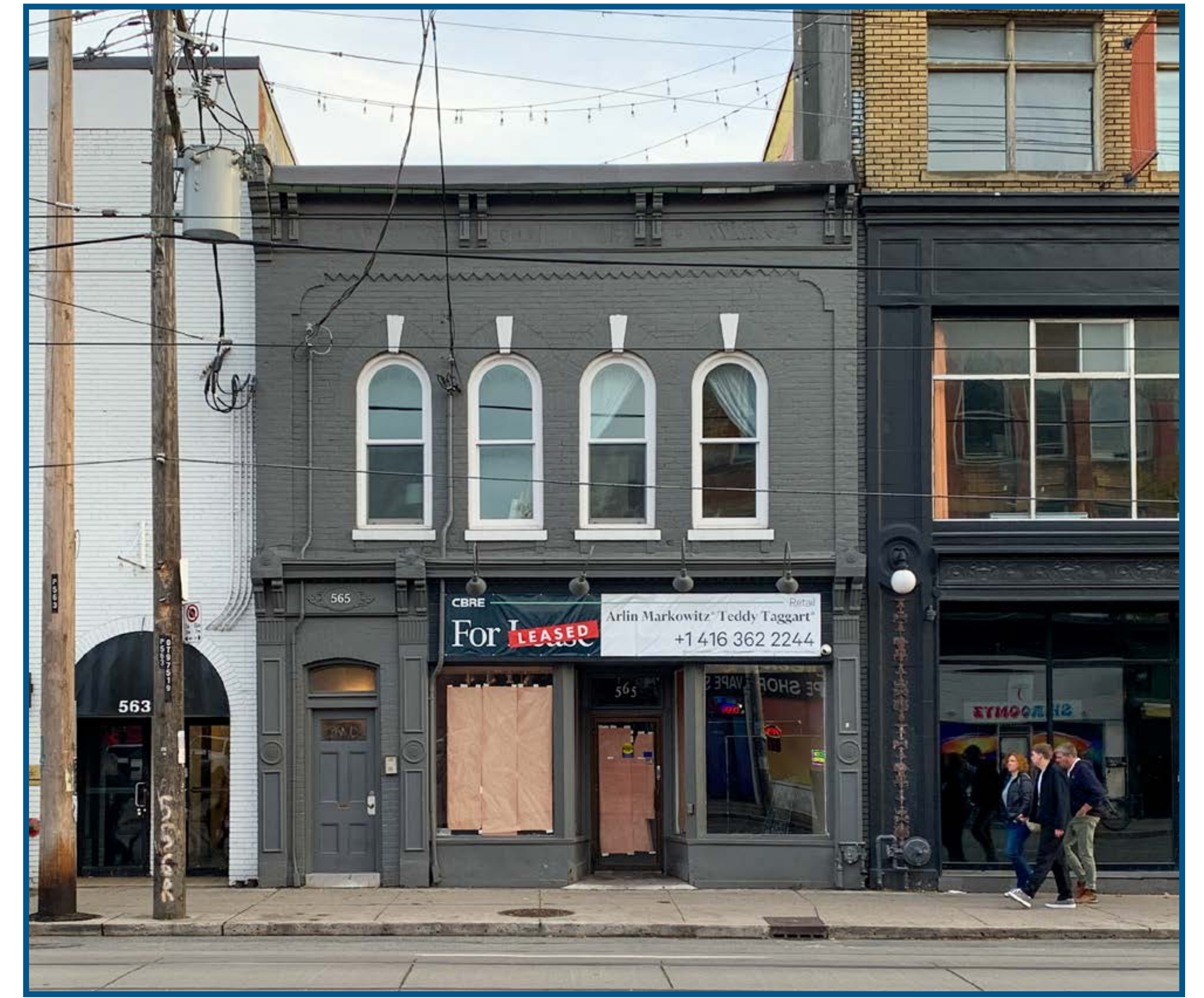


**Heritage Grant Program** | Funding support for masonry restoration was awarded to this property in the Cabbagetown Northwest Heritage Conservation District; Before conservation (left) and After conservation (right).

## Heritage Tax Rebate Program:

- For commercial and industrial properties
- A rebate of 50% of the cost of eligible work up to 40% of annual property taxes (some rebate limits may apply)

Like the Heritage Grant Program, the Heritage Property Tax Rebate Program has helped property owners repair and retain their properties' heritage attributes, including but not limited to exterior walls and facades, roofs, foundations, chimneys, windows, and doors. On a larger scale, the Heritage Property Tax Rebate Program has assisted in the conservation of several of Toronto's landmark buildings.



**Heritage Property Tax Rebate Program** | A commercial property in the Queen Street West Heritage Conservation District received funding support for window conservation.



# Kensington Market HCD Plan

## Comments & Additional Information

### Additional Information

For more information regarding the Kensington Market HCD plan, scan the QR Code below with your mobile device or visit the HCD Plan webpage at:

<https://www.toronto.ca/city-government/planning-development/planning-studies-initiatives/kensington-market-heritage-conservation-district-plan/>



SCAN HERE

### Further Comments

Have more to say? Fill out our online comment form by scanning the QR Code below with your mobile device:



SCAN HERE



24-28 Kensington Avenue | Contributing properties.



Augusta and Nassau Streets | Archival photo, 1974.



91 Oxford Street | Former Telephone Exchange Building.

### Contact Information:

For further information regarding the Heritage Conservation District for Kensington Market, or to provide any additional comments, please reach out to:

**Tatum Taylor Chaubal,**  
Senior Heritage Planner  
[Tatum.Taylor@toronto.ca](mailto:Tatum.Taylor@toronto.ca) | 416-338-5462

**Megan Albinger,**  
Heritage Planner  
[Megan.Albinger@toronto.ca](mailto:Megan.Albinger@toronto.ca) | 416-394-2789