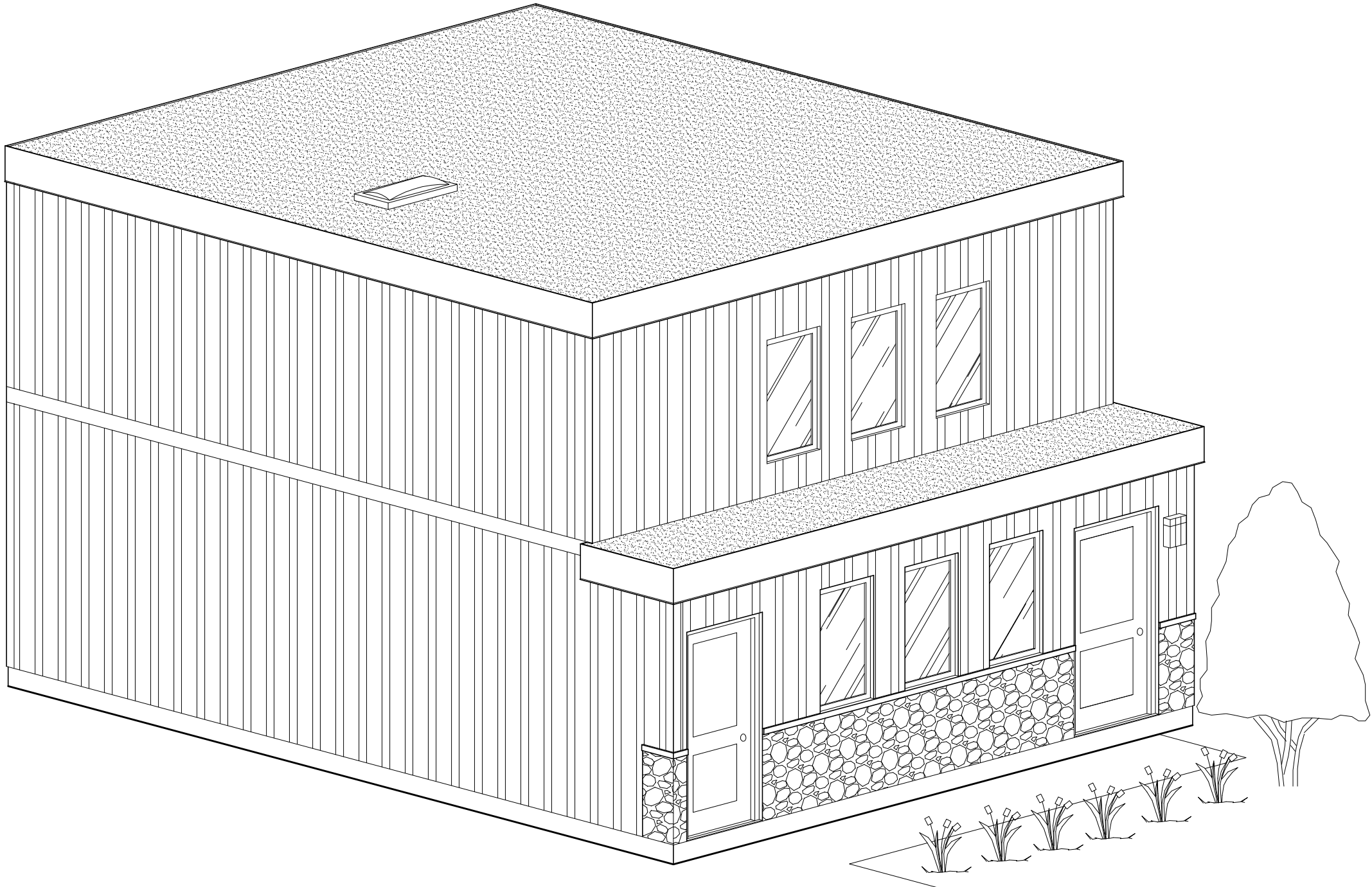


L2H-0 PACKAGE  
LANEWAY TWO  
BEDROOM HEAT  
PUMP- NO OPTION

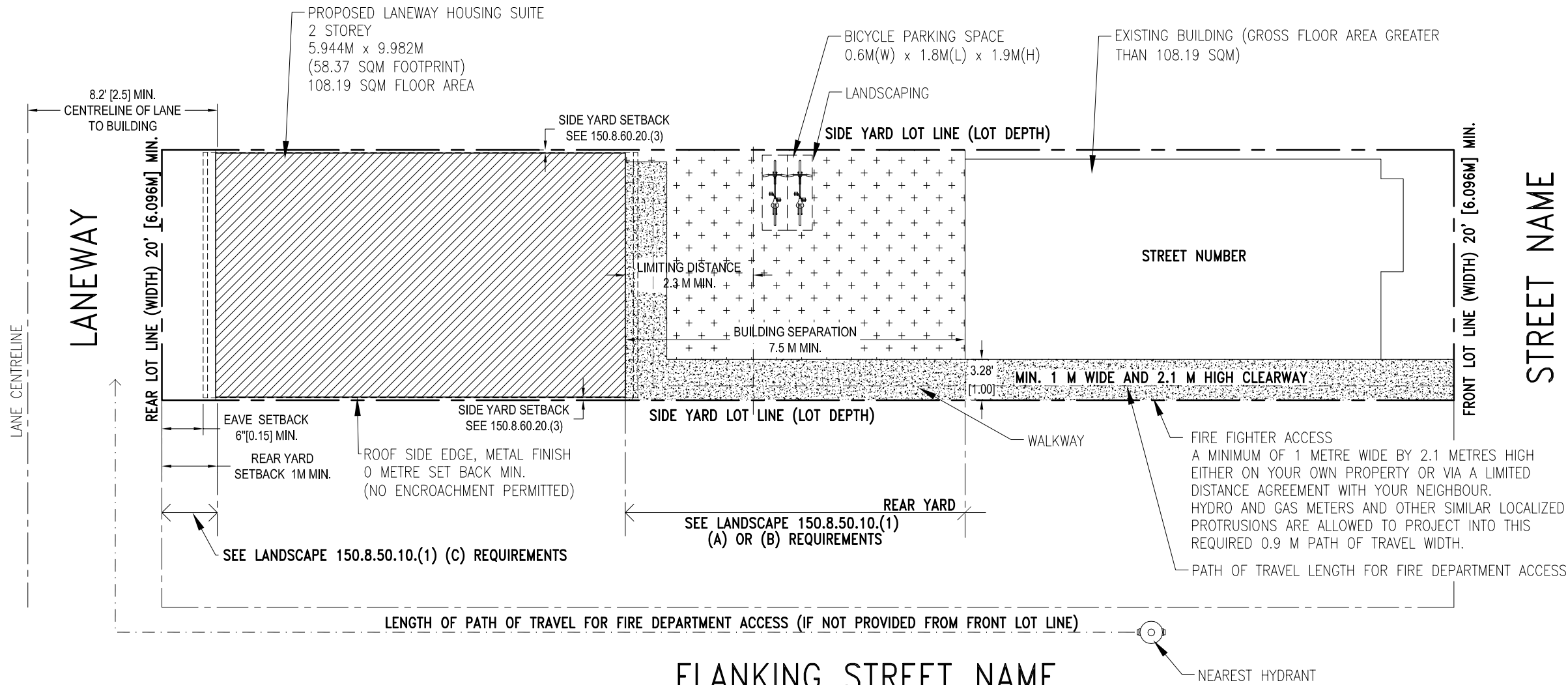
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# TWO BEDROOM LANEWAY HOUSING



CITY OF TORONTO  
TORONTO BUILDING DIVISION  
DEVELOPMENT AND GROWTH  
SERVICES  
100 QUEENS ST W  
TORONTO, ON, M5H 2N2



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LANEWAY TWO  
BEDROOM HEAT  
PUMP- NO OPTION

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SITE PLAN

### Zoning Bylaw 569-2013 related to Laneway Housing (Maximum 3 Dwelling Units on the Lot)

- Landscaping**  
150.8.50.10(1) GARDEN  
(A) LOT FRONTAGE WITH 6M OR LESS, MINIMUM OF 60% OF AREA BETWEEN REAR MAIN WALLS AND FRONT MAIN WALL OF ANCILLARY BUILDING MUST BE LANDSCAPING;  
(B) LOT FRONTAGE OF GREATER THAN 6M, A MINIMUM OF 85% OF THE AREA BETWEEN REAR MAIN WALLS OF RESIDENTIAL BUILDING AND FRONT MAIN WALL OF ANCILLARY BUILDING MUST BE SOFT LANDSCAPING, EXCLUDING 1.5M WALKWAY  
(C) AREA BETWEEN ANCILLARY BUILDING AND LOT LINE ABUTTING THE LANE EXCLUDING PERMITTED DRIVEWAY AND PEDESTRIAN WALKWAY MAX WIDTH OF 1.5M MUST BE LANDSCAPING OF WHICH MUST BE 75% SOFT LANDSCAPING
- Rear Yard Setbacks**  
150.8.60.20.(2)  
(A) IF REAR LOT LINE DOES NOT ABUT A STREET OR LANE AND THERE ARE NO OPENINGS, 0M REQUIRED  
(B) IN ALL OTHER CASES 1.0M
- Heights**  
150.8.60.40  
(1) MAXIMUM HEIGHT IS 4M BASED ON SEPARATION OF 4M
- Side Yard Setbacks**  
150.8.60.20(3)  
(A) IF THE SIDE LOT LINE DOES NOT ABUT A STREET OR LANE AND THERE ARE NO OPENINGS SUCH AS VEHICLE ACCESS, DOORS OR WINDOWS IN THE SIDE MAIN WALL OF THE ANCILLARY BUILDING, 0.0 METRES;  
(B) IF THE SIDE LOT LINE ABUTS A STREET, THE REQUIRED MINIMUM SIDE YARD SETBACK FOR THE RESIDENTIAL BUILDING ON THE LOT;  
(C) IF THE SIDE LOT LINE ABUTS A LOT IN THE R, RD, RS, RT OR RM ZONE AND THE REAR LOT LINE ABUTS A LANE, BEGINNING FROM A HEIGHT OF 4.0 METRES, AN ANCILLARY BUILDING MUST BE SET BACK 1.5 METRES FROM THE SIDE LOT LINE THAT ABUTS THE REAR LOT LINE OF ANOTHER LOT; AND  
(D) IN ALL OTHER CASES, 1.0 METRES.
- Separation and Dimensions**  
150.8.60.30(1)  
(A) NO LESS THAN 5.0 METRES FROM A RESIDENTIAL BUILDING ON THE SAME LOT IF THE HEIGHT OF THE ANCILLARY BUILDING IS NO GREATER THAN 4.0 METRES; AND  
(B) NO LESS THAN 7.5 METRES FROM A RESIDENTIAL BUILDING ON THE SAME LOT IF THE HEIGHT OF THE ANCILLARY BUILDING IS GREATER THAN 4.0 METRES.
- Equipment**  
150.8.60.60(7)  
WALL MOUNTED EQUIPMENT ON AN ANCILLARY BUILDING CONTAINING A LANEWAY SUITE, SUCH AS VENTS, PIPES, UTILITY EQUIPMENT, SATELLITE DISHES, ANTENNAE OR AIR CONDITIONERS, MAY ENCROACH A MAXIMUM OF 0.6 METRES INTO:  
(A) ON A MAIN WALL OF THE ANCILLARY BUILDING FACING A LANE, THE MINIMUM BUILDING SETBACKS ABUTTING THE LANE REQUIRED IN CLAUSE 150.8.60.20; AND  
(B) ON THE FRONT MAIN WALL OF THE ANCILLARY BUILDING, THE DISTANCE SEPARATION REQUIRED IN REGULATION 150.8.60.30(1)
- Floor Area**  
150.8.60.50  
(2) THE INTERIOR FLOOR AREA OF A LANEWAY SUITE MUST BE LESS THAN THE GROSS FLOOR AREA OF THE RESIDENTIAL BUILDING ON THE LOT.
- Bicycle Parking**  
150.8.80.1  
(2) A MINIMUM OF TWO BICYCLE PARKING SPACES REQUIRED

#### Length of Path of Travel for Fire Department Access

A MAXIMUM OF 45 METRES IN LENGTH MEASURED FROM THE PUBLIC STREET TO THE ENTRY OF THE LANEWAY SUITE,  
-A MAXIMUM OF 90 METRES IN LENGTH MEASURED FROM THE PUBLIC STREET OR A FLANKING STREET THROUGH THE LANEWAY TO THE ENTRY OF THE LANEWAY SUITE ALONG WITH AT LEAST ONE ADDITIONAL FIRE-SAFETY MEASURE, ACCEPTABLE TO THE CITY OF TORONTO.  
-A FIRE HYDRANT MUST ALSO BE LOCATED WITHIN 45 METRES OF WHERE A FIREFIGHTING VEHICLE WOULD PARK IN FRONT OF THE SUBJECT PROPERTY OR AT THE INTERSECTION OF A FLANKING STREET AND THE LANEWAY.

#### Additional Fire-Safety Measures

THERE ARE TWO OPTIONS FOR FIRE-SAFETY MEASURES DEVELOPED BY THE CITY OF TORONTO THAT DESIGNERS MAY INCORPORATE WITHIN THEIR LANEWAY SUITE DESIGNS TO ALLOW THE MAXIMUM TRAVEL DISTANCE TO INCREASE FROM 45 M TO 90 M:

OPTION 1: AUTOMATIC SPRINKLER; EXTERIOR STROBE LIGHT AND SMOKE ALARMS/WARNING SYSTEM

OPTION 2: INCREASED FIRE PROTECTION MATERIALS AND BUILDING METHODS; EXTERIOR STROBE LIGHT; AND SMOKE ALARMS/WARNING SYSTEM.

NO. REVISION		DATE
TITLE: TWO BEDROOM LANEWAY HOUSING PRE-APPROVED PLANS		
DATE: MARCH 2025		DRAWING NO.:  A1
SCALE: 1"=10'-0"		

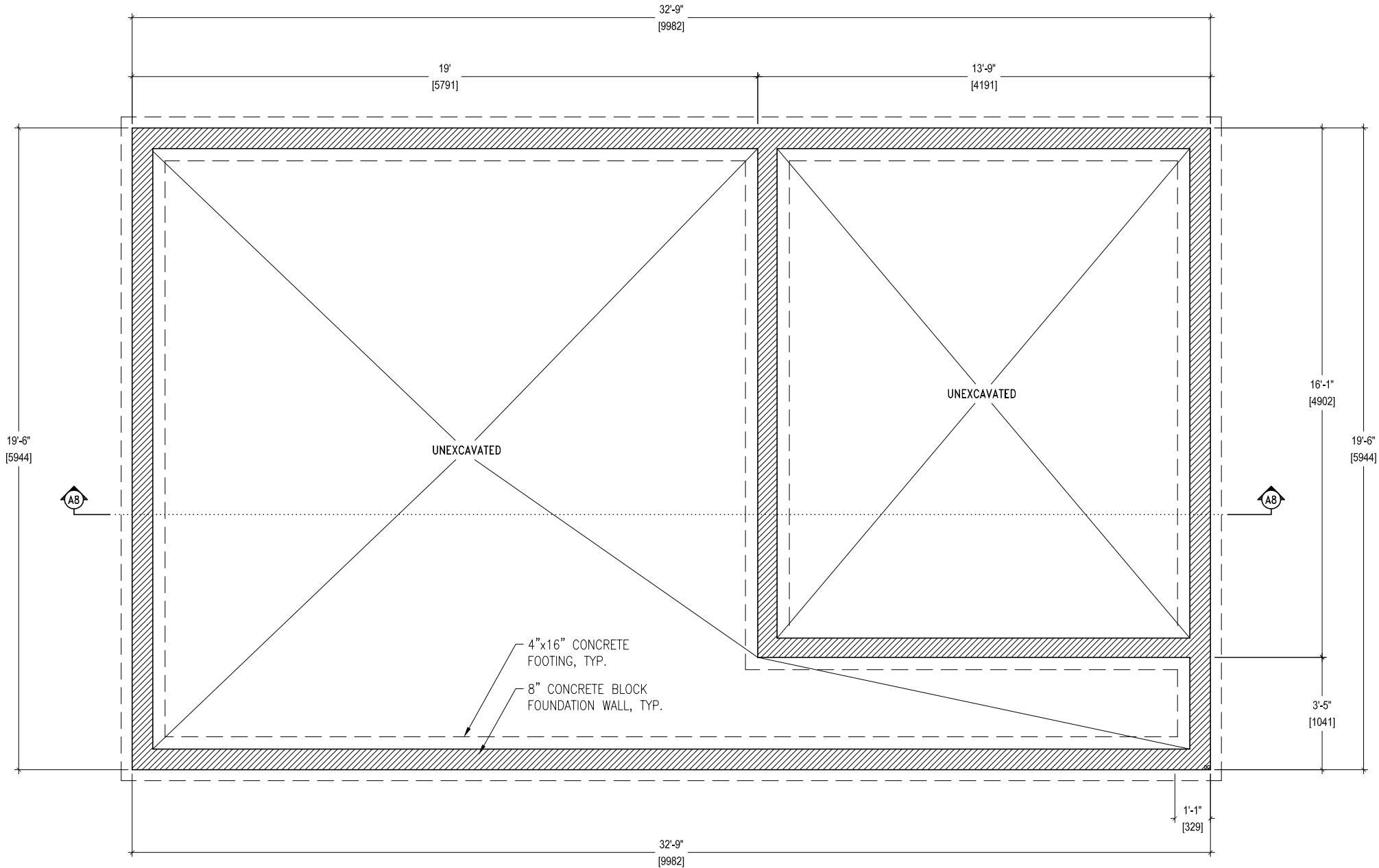


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L2H-0 PACKAGE  
LANEWAY TWO  
BEDROOM HEAT  
PUMP- NO OPTION

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FOUNDATION PLAN



NO. REVISION		DATE
TITLE: TWO BEDROOM LANEWAY HOUSING PRE-APPROVED PLANS		
DATE: MARCH 2025		DRAWING NO.:  A2
SCALE: 1/4"=1'-0"		

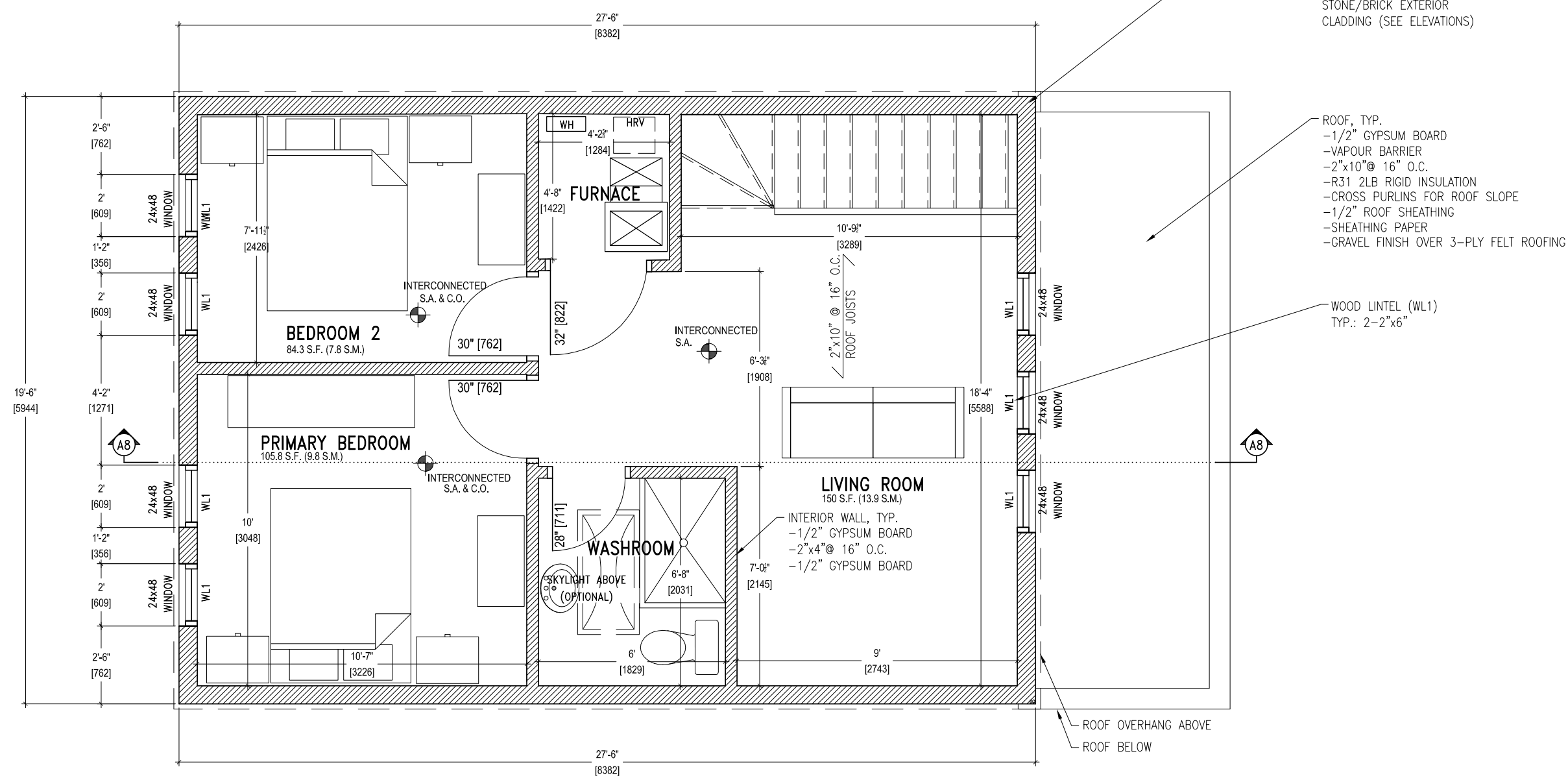


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NO.	REVISION	DATE
TITLE: TWO BEDROOM LANEWAY HOUSING PRE-APPROVED PLANS		
DATE: MARCH 2025		DRAWING NO.:  <b>A3</b>
SCALE: 1/4"=1'-0"		

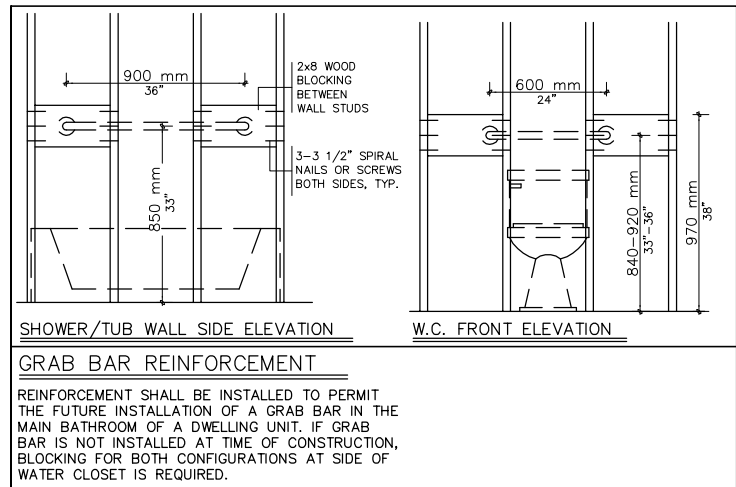




L2H-0 PACKAGE  
LANEWAY TWO  
BEDROOM HEAT  
PUMP- NO OPTION

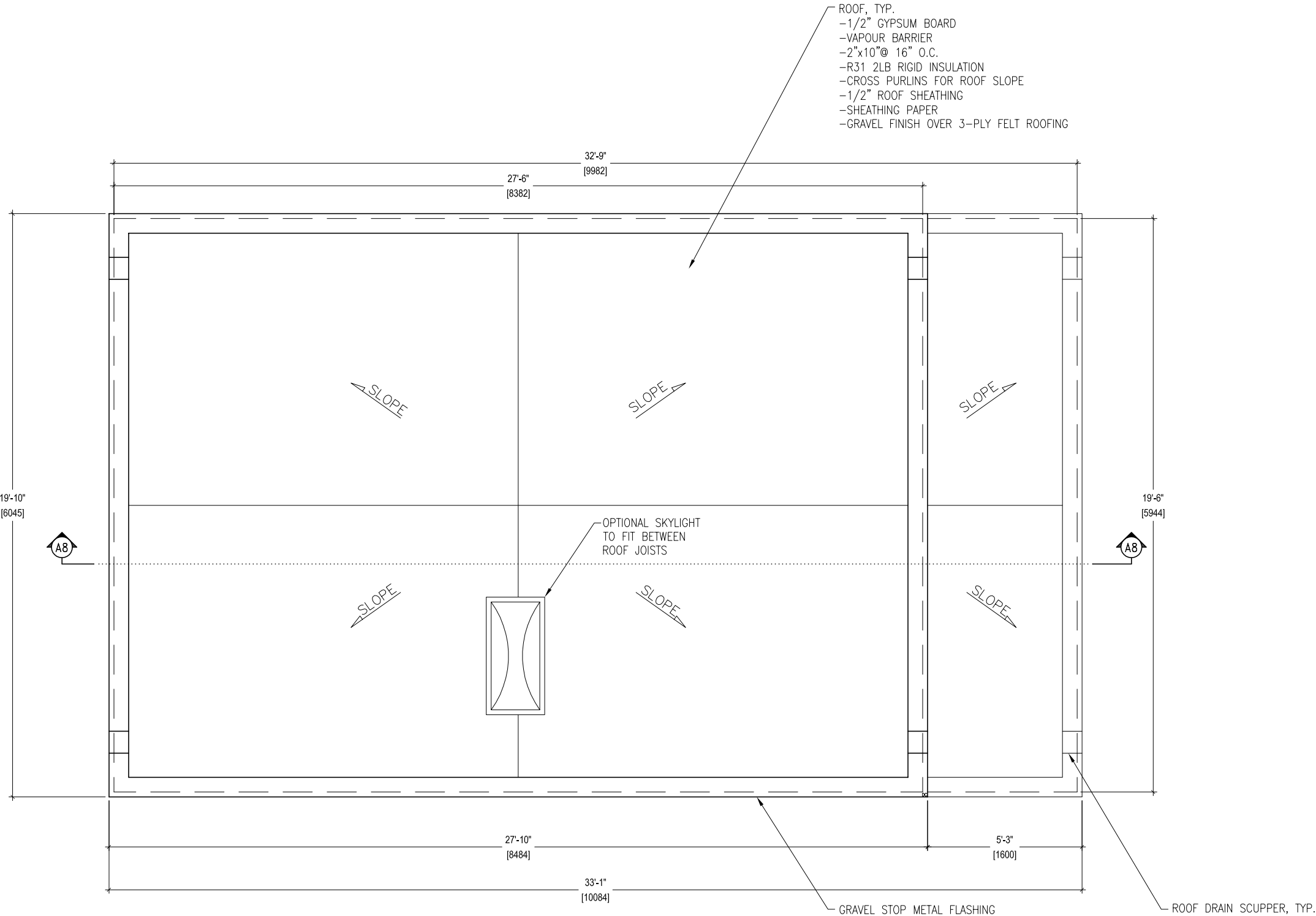
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SECOND FLOOR PLAN



NO. REVISION		DATE
TITLE: TWO BEDROOM LANEWAY HOUSING PRE-APPROVED PLANS		
DATE: MARCH 2025	DRAWING NO.:	
SCALE: 1/4"=1'-0"	A4	





L2H-0 PACKAGE  
LANEWAY TWO  
BEDROOM HEAT  
PUMP- NO OPTION

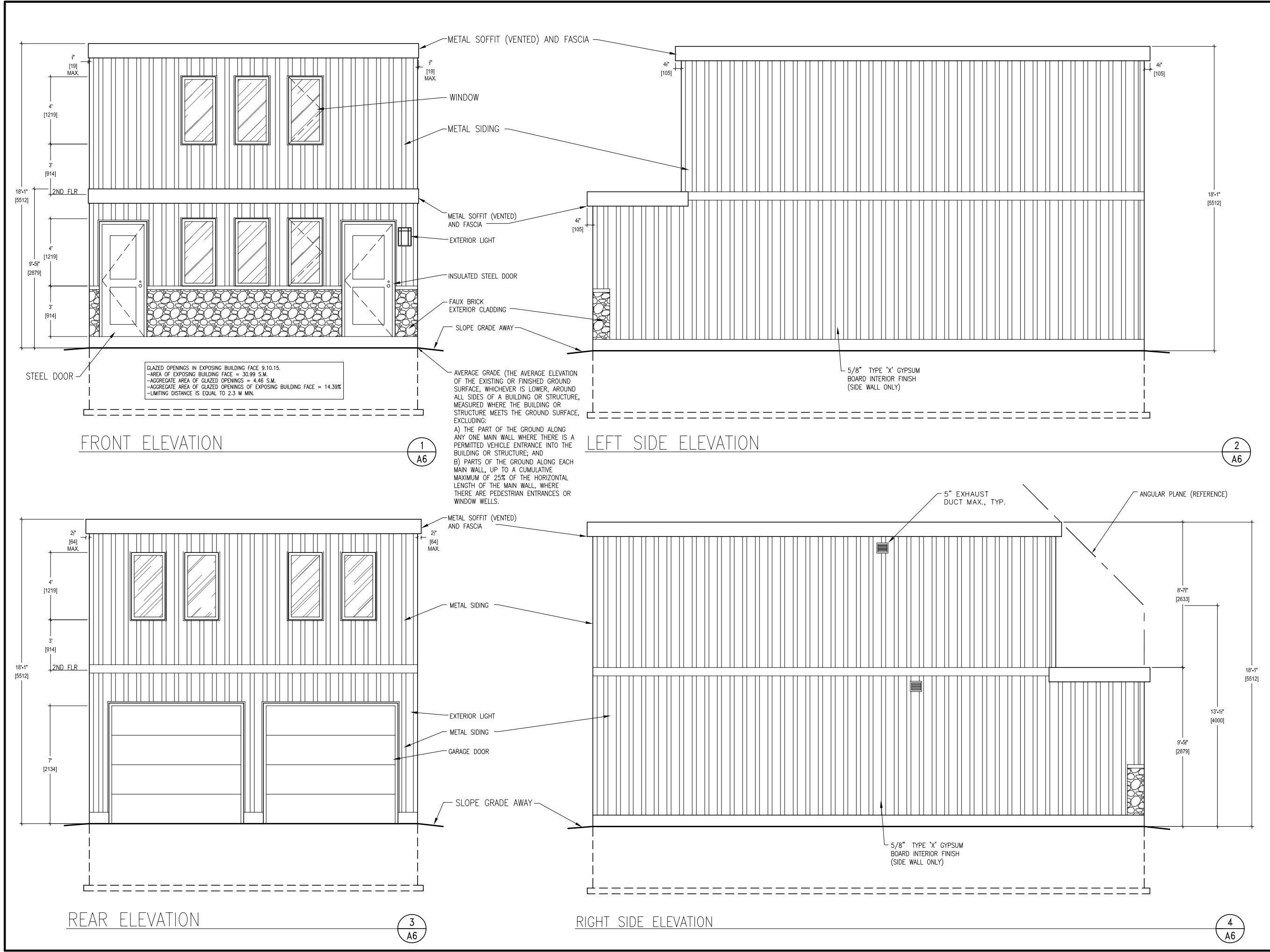
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ROOF PLAN

NO. REVISION		DATE
TITLE: TWO BEDROOM LANEWAY HOUSING PRE-APPROVED PLANS		
DATE: MARCH 2025		DRAWING NO.:  <b>A5</b>
SCALE: 1/4"=1'-0"		



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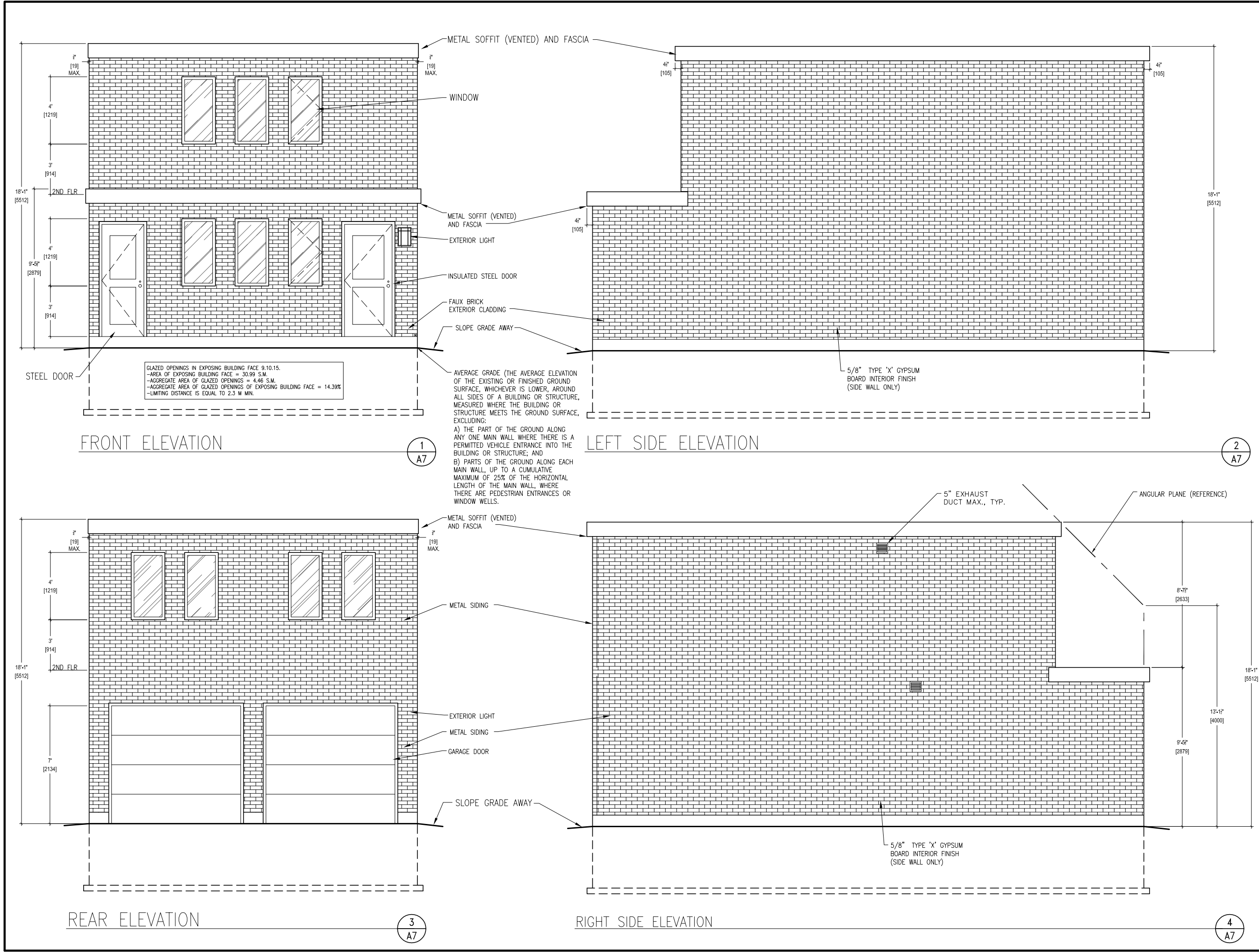
L2H-0 PACKAGE  
LANEWAY TWO  
BEDROOM HEAT  
PUMP- NO OPTION

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**ELEVATIONS (OPTION 1)**

NO. REVISION		DATE
TITLE: TWO BEDROOM LANEWAY HOUSING PRE-APPROVED PLANS		
DATE: MARCH 2025	DRAWING NO.: <b>A6</b>	
SCALE: 3/16"=1'-0"		

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L2H-0 PACKAGE  
LANEWAY TWO  
BEDROOM HEAT  
PUMP- NO OPTION

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REFERENCE  
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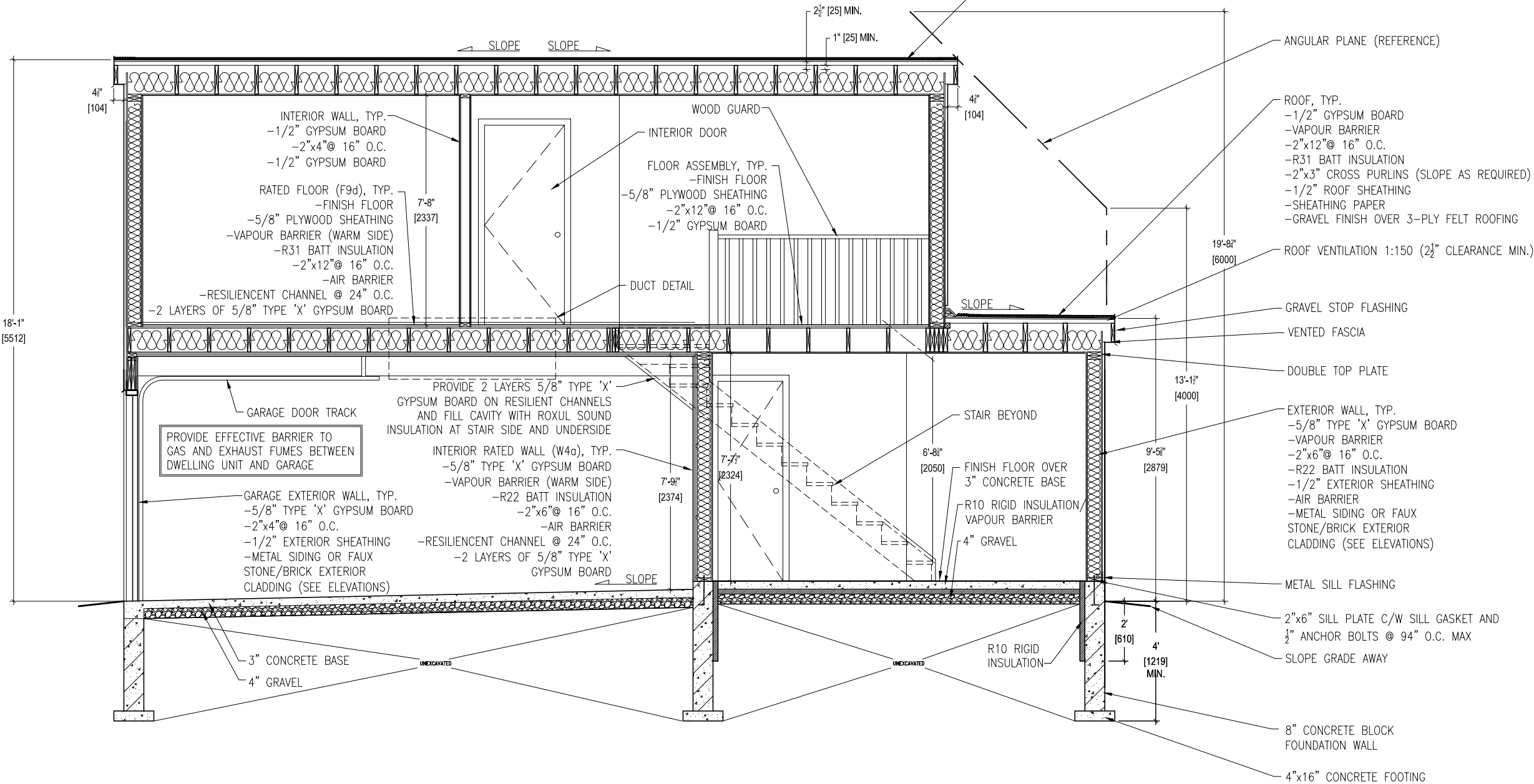
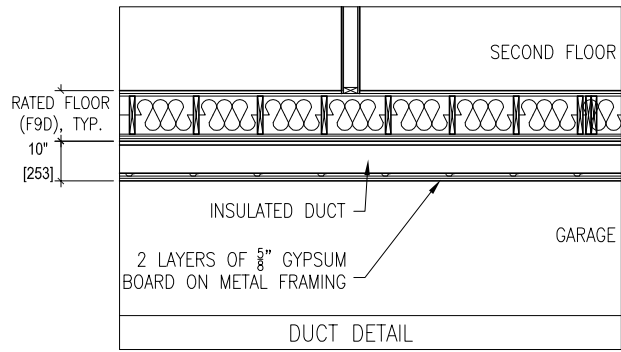
ELEVATIONS (OPTION 2)

NO. REVISION		DATE
TITLE:		
TWO BEDROOM LANEWAY HOUSING		
PRE-APPROVED PLANS		
DATE:	DRAWING NO.:	
MARCH 2025	A7	
SCALE:	3/16"=1'-0"	



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L2H-0 PACKAGE  
LANEWAY TWO  
BEDROOM HEAT  
PUMP- NO OPTION

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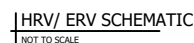
**BUILDING SECTION**

NO. REVISION		DATE
TITLE: TWO BEDROOM LANEWAY HOUSING PRE-APPROVED PLANS		
DATE: MARCH 2025		DRAWING NO.:  <b>A8</b>
SCALE: 1/4"=1'-0"		



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ENERGY RECOVERY FAN				
UNIT	MAKE	EXTERNAL STATIC PRESSURE (IN W.C.)	AIR VOLUME (CFM)	EFFECTIVENESS @0 °C (32 °F)
ERV-1	ENERGY RECOVERY VENTILATOR	0.4	60	75%

ELECTRIC BASEBOARD HEATER			
UNIT	MAKE	MODEL #	HEATING OUTPUT
BH-1	ELEC. BASEBOARD HEATER	GENERIC	1909 BTU/h (563 W)

## INSTALL COLD-CLIMATE HEAT PUMP

**KITCHEN/DINING**  
122 S.F. (11.3 S.M.)

**Garage**

**Storage**

**Laundry**

**W/D**

**REF**

**SNK**

**D/W**

**STOVE**

**2"x10" @ 16" O.C. FLOOR JOISTS**

**2"x10" @ 16" O.C. FLOOR JOISTS**

**2"x10" @ 16" O.C. FLOOR JOISTS**

**2"x12" @ 16" O.C. ROOF JOISTS**

**DOUBLE JOIST (D/J)**

**5'-2"x10" FLUSH WOOD BEAM**

**INTERCONNECTED S.A.**

**IO-1**

**OU-1**

**SLOPE**

EXHAUST FAN KITCHEN 110 CFM/ Ø6"/1.3  
SONES OR RANGE HOOD (MIN 100CFM & TO  
BE SELECTED BY CONTRACTOR WITH  
OWNER/ ARCHITECT).

## TWO BEDROOM LANEWAY HOUSING

SB-12 Table 3.1.1.2.A (IP),ZONE 1 - COMPLIANCE  
PACKAGE A1  
TOTAL HEAT LOSS - 20273 BTU/H

L2H-0 PACKAGE  
LANEWAY TWO  
BEDROOM HEAT  
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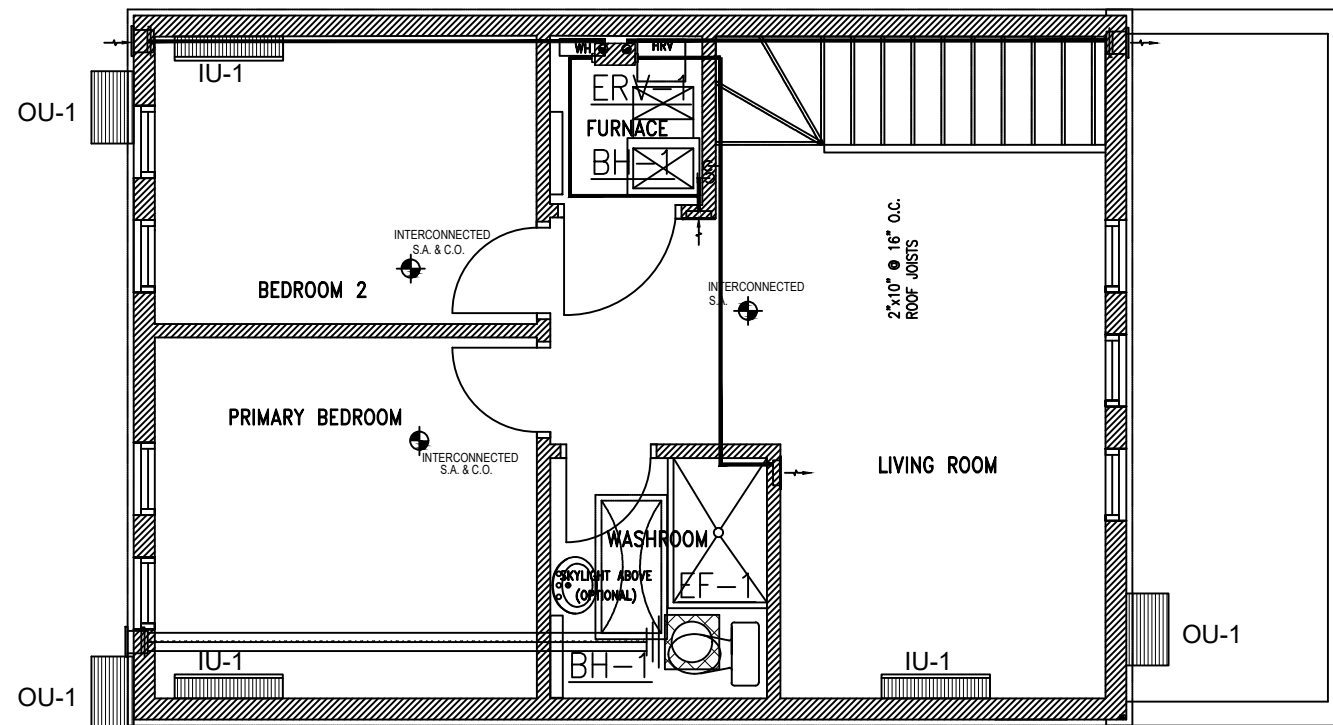
NO. REVISION		DATE	
TITLE:			
TWO-BEDROOM LANEWAY HOUSING			
PRE-APPROVED PLANS			
DATE:		DRAWING NO.:	
MARCH 2025		<b>M1</b>	
SCALE:			
3/16"=1'			

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ERV TO BE INSTALLED AS PER  
MANUFACTURER SPECIFICATION.



## TWO BEDROOM LANEWAY HOUSING

NO. REVISION		DATE
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DATE: MARCH 2025		DRAWING NO.: <b>M2</b>
SCALE: 3/16"=1'		

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CONTRACTOR TO VERIFY IF ANY PIPING IS TOO LOW TO DRAIN BY GRAVITY. IF TOO LOW, SUBMIT PLUMBING DESIGN REVISION TO INCLUDE SEWAGE EJECTOR PUMP.

**FOR  
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ONLY**

NO. / REVISION	DATE
TITLE: TWO BEDROOM LANEWAY HOUSING PRE-APPROVED PLANS	
DATE: MARCH 2025  SCALE: 3/16"=1'	DRAWING NO.:  <div style="font-size: 48px; font-weight: bold; text-align: center;">P1</div>

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## TWO BEDROOM LANEWAY HOUSING

NEW PLUMBING CONNECTION TO BE IN ACCORDANCE WITH OBC 7.1.2.4.

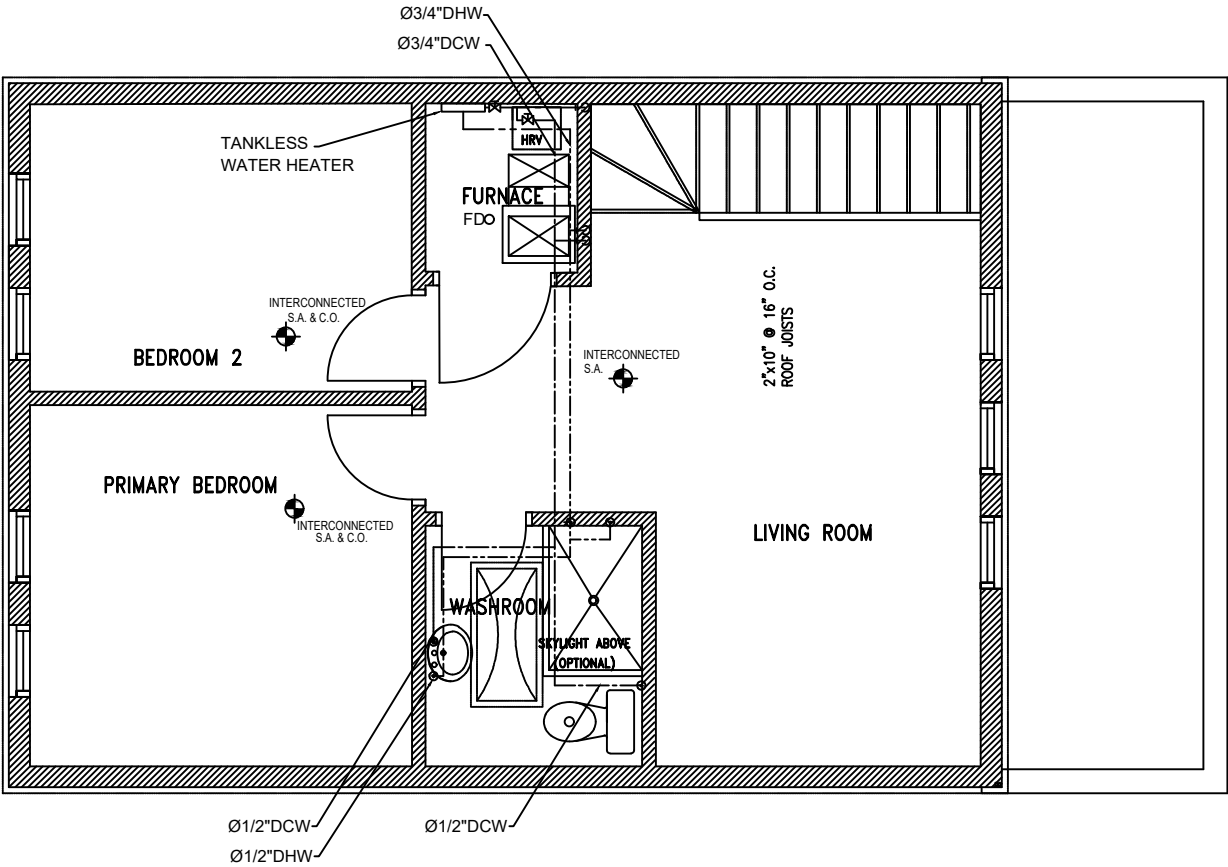
INSULATE ALL PIPES EXPOSED TO UNCONDITIONED SPACE, PROTECTION AGAINST FREEZING, AS PER OBC 7.3.5.3.

INSTALL SANITARY CLEANOUT AT EACH CHANGE OF DIRECTION GREATER THAN 45 DEG, AS PER OBC 7.4.7.1.

EVERY DRAINAGE PIPE SHALL HAVE A DOWNWARD SLOPE IN THE DIRECTION OF FLOW OF AT LEAST 1 IN 50, AS PER OBC 7.4.8.

TRAP PROTECTION TO BE INSTALLED AS PER OBC 7.4.5.

CONTRACTOR TO VERIFY IF ANY PIPING IS TOO LOW TO DRAIN BY GRAVITY. IF TOO LOW, SUBMIT PLUMBING DESIGN REVISION TO INCLUDE SEWAGE EJECTOR PUMP.



L2H-0 PACKAGE  
LANEWAY TWO  
BEDROOM HEAT  
PUMP- NO OPTION

**FOR  
REFERENCE  
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DATE:	MARCH 2025	DRAWING NO.:
SCALE:	3/16"=1'	<b>P2</b>

TWO BEDROOM LANEWAY HOUSING

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TORONTO BUILDING DIVISION  
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PLUMBING AND DRAINAGE NOTES

1.

ALL DRAINAGE PIPING 3" OR LESS SHALL BE SLOPPED IN THE DIRECTION OF FLOW.
2.

ALL DRAINAGE PIPING 4" OR LARGER SHALL BE SLOPPED IN THE DIRECTION OF THE FLOW.
3.

SANITARY DRAIN AND VENT PIPING ABOVE GRADE SHALL BE TYPE:  
DMW HRD COPPER FITTINGS TO ASTM B306.  
WITH CAST BRASS OR WROUGHT COPPER  
CERTIFIED TO CAN/CSA B125, OR  
ABS SCHEDULE 40 PLASTIC PIPE CERTIFIED TO CAN/CSA-B181.1,  
PVC SCHEDULE 40 PLASTIC PIPE CERTIFIED TO CAN/CSA-B181.12.,  
XFR-PVC SCHEDULE 40 CERTIFIED TO CAN/CSA B181.2, "PVC DRAIN, WASTE AND VENT PIPE FITTINGS".  
IPEX-SYSTEM 15 (DWV) SCHEDULE 40  
CERTIFIED TO CAN/CSA-B181.2, "PVC DRAIN, WASTE AND VENT PIPE AND FITTINGS", OR  
CAST IRON PIPE CERTIFIED TO ASTM A888, PLAIN ENDS, ALL COUPLINGS SHALL BE HUBLESS JOINTS COUPLINGS WITH NEOPRENE GASKETS AND STAINLESS STEEL SHIELD AND CLAMPS.
4.

SANITARY DRAIN PIPING BELOW GRADE SHALL BE HUBLESS CAST IRON PIPE CERTIFIED TO ASTM A888, PLAIN ENDS, ALL COUPLINGS SHALL BE HUBLESS JOINT COUPLINGS WITH NEOPRENE GASKETS AND STAINLESS STEEL SHIELD AND CLAMPS.  
DRAIN BELOW GRADE SHALL BE ABS SDR. USED UNDERGROUND OUTSIDE OF BUILDING OR UNDER A BUILDING. SANITARY DRAINAGE SYSTEM SHALL BE CERTIFIED TO CAN/CSA-B182.2, CAN/CSA-B181.1, OR  
DRAIN BELOW GRADE SHALL BE PLASTIC PIPE, USED UNDERGROUND OUTSIDE OF BUILDING OR UNDER THE BUILDING. A SANITARY DRAINAGE SYSTEM OR VENTING SYSTEM SHALL BE CERTIFIED TO (C) CAN/CSA-B181.2, "PVC DRAIN, WASTE AND VENT PIPE AND PIPE FITTINGS.  
IPEX-SYSTEM 15 (DWV) SCHEDULE 40 CERTIFIED TO CAN/CSA-B181.2., IPEX BDS ( BUILDIND DRAIN, SEWER AND STORM) CERTIFIED TO CAN/CSA.

5.

PUMPED DRAIN PIPING BELOW GRADE SHALL BE TYPE K SOFT COPPER, ASTM B88 SEAMLESS PLAIN ENDS.
6.

PROVIDE TRAP SEAL PRIMING TO ALL FLOOR DRAINS AS INDICATED WITH P-TRAPS IN ACCORDANCE WITH ONTARIO BUILDING CODE, PART 7 AND THE REQUIREMENTS OF ALL LOCAL AUTHORITIES HAVING JURISDICTION.
7.

LOCATE AND CONFIRM ELEVATIONS OF ALL SANITARY DRAINAGE TIE-IN POINTS.
8.

INSTALL AND TEST ALL PLUMBING AND DRAINAGE SYSTEMS IN ACCORDANCE WITH ONTARIO BUILDING CODE AND THE REQUIREMENTS OF ALL LOCAL AUTHORITIES HAVING JURISDICTION.
9.

FINAL LOCATIONS OF ALL FLOOR DRAINS TO BE CONFIRMED IN THE FIELD TO SUIT PROCESS EQUIPMENT LAYOUT AND INTERIOR WALLS.

ALL SANITARY VENT TERMINALS THAT PASSES THROUGH EXTERIOR WALLS SHALL BE VERTICAL, MINIMAL SIZE OF 3" AND TERMINATE A MINIMAL DISTANCE OF 1 METER ABOVE FROM ANY OPENABLE WINDOW, DOOR AND AIR INLET OR CONNECT DIRECTLY TO A BRANCH VENT OR VENT STACK WITHIN THE BUILDING.

PROVIDE SHUT OFF VALVES FOR A HOT AND COLD WATER SUPPLY LINES FOR EVERY INDIVIDUAL RESIDENTIAL SUITE IN ORDER TO INSULATE INDIVIDUAL SUITE WITHOUT AFFECTING THE WATER SUPPLY TO ANY OTHER AREA WITHIN THE BUILDING.

REMOVE CAPS FROM TEMPERATURE AND PRESSURE SAFETY RELIEF VALVE PARTS ON HOT WATER TANKS AND INSTALL TEMPERATURE AND PRESSURE SAFETY RELIEF VALVES.

PROVIDE A MIXING VALVE OR OTHER MEANS TO MAINTAIN A MAXIMUM HOT WATER TEMPERATURE OF 49°C TO ALL RESIDENTIAL SUITE.

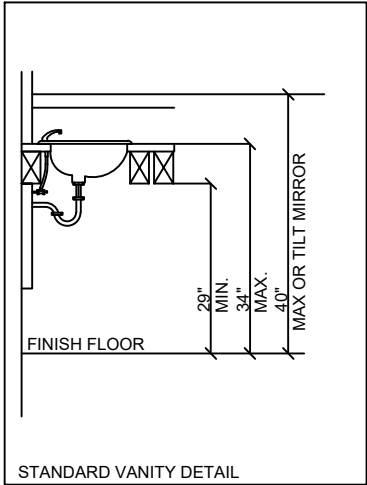
PROVIDE A TRAP SEAL PRIMER OR AN EQUALLY EFFECTIVE WAY TO PROVIDE A TRAP SEAL FOR ALL FLOOR DRAINS AND TUB DOORS.

FIRE RATED PVC (XFR) PIPES SHALL BE USED FOR EACH PIPE PENETRATES THRU FIRE RATED ASSEMBLY.  
ABS PIPES CAN BE USED WITHIN THE UNITS. PROVIDE FIRE STOP DONUTS AT EACH PIPE PENETRATION THRU FIRE RATED ASSEMBLY.

PROVIDE VALVE ½" COLD/ HOT WATER PIPING CONNECTIONS TO ALL PLG FIXTURES.

ALL SANITARY PIPES UNDER RAISED FLOOR OR SLAB, AND C/W AND H/W PIPE IN CEILING.

CONTRACTOR TO LOCATE ON SITE CONNECTION MAIN COLD WATER LINE, HOT WATER TANK AND DRAIN LINES IN MAIN BUILDING.



L2H-0 PACKAGE  
LANEWAY TWO  
BEDROOM HEAT  
PUMP- NO OPTION

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PLUMBING LEGEND	
<div>—</div>	SANITARY DRAINAGE
<div>- - -</div>	DOMESTIC COLD WATER
<div>- - - -</div>	DOMESTIC HOT WATER
<div>CO</div>	CEANOUT
<div>FDO</div>	FLOOR DRAIN

PLUMBING FIXTURE CONNECTION

TAG	DESCRIPTION		WATER		DRAIN	
			H.W.	H.W.	WASTE	VENT
WC	WATER CLOSET		-	1/2"	3"	1 1/2"
L	LAVATORY		1/2"	1/2"	1 1/2"	1 1/4"
KS	KITCHEN SINK		1/2"	1/2"	2"	1 1/2"
FD	FLOOR DRAIN		-	-	3"	1 1/2"
SH	SHOWER		1/2"	1/2"	1 1/2"	1 1/4"
TUB	BATH TUB		1/2"	1/2"	2"	1 1/2"
DW	DISHWASHER		1/2"	-	2"	1 1/2"

NO.	REVISION	DATE
TITLE: PLUMBING NOTES PRE-APPROVED PLANS		
DATE:	MARCH 2025	DRAWING NO.:
SCALE:	3/16"=1'	P3

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